

**Revisions**  
Bubbled areas indicate revisions compared to the previously submitted plans

**Received Date**  
**September 24, 2024**

## Contacts

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North Vancouver, BC V7P 3T2  
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### Civil Engineer

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### Surveyor

Polaris Land Surveying Inc.  
130 - 1834C Oak Bay Avenue  
Victoria, BC V8R 0A4  
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### Heritage Consultant

Donald Luxton and Associates Inc.  
1030 - 470 Granville Street  
Vancouver, BC V6C 1V5  
604.688.1216 info@donaldluxton.com

### Electrical Engineer

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3795 Carey Road  
Victoria, BC V8Z 6T8  
250.381.6121 Victoria@AESengr.com

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## Hampton Inn Downtown Victoria / 603 Pandora Ave Victoria, BC

**OCEANGATE**  
DEVELOPMENTS

**D'AMBROSIO** 20-36  
architecture + urbanism

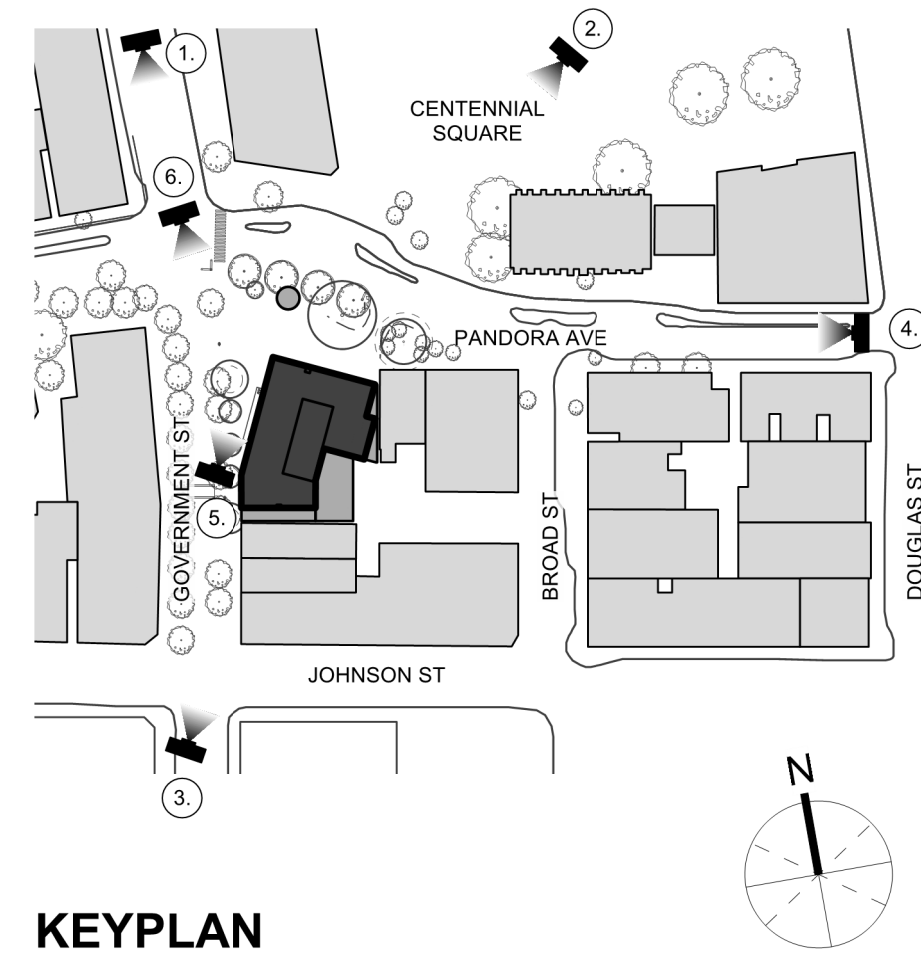
2960 Jutland Road  
Victoria BC Canada V8T5K2  
tel 250.384.2400  
eml mail@daustudio.ca  
web www.daustudio.ca

## Rezoning / DP Application Resubmission Issued September 12, 2024



### REVISION SET

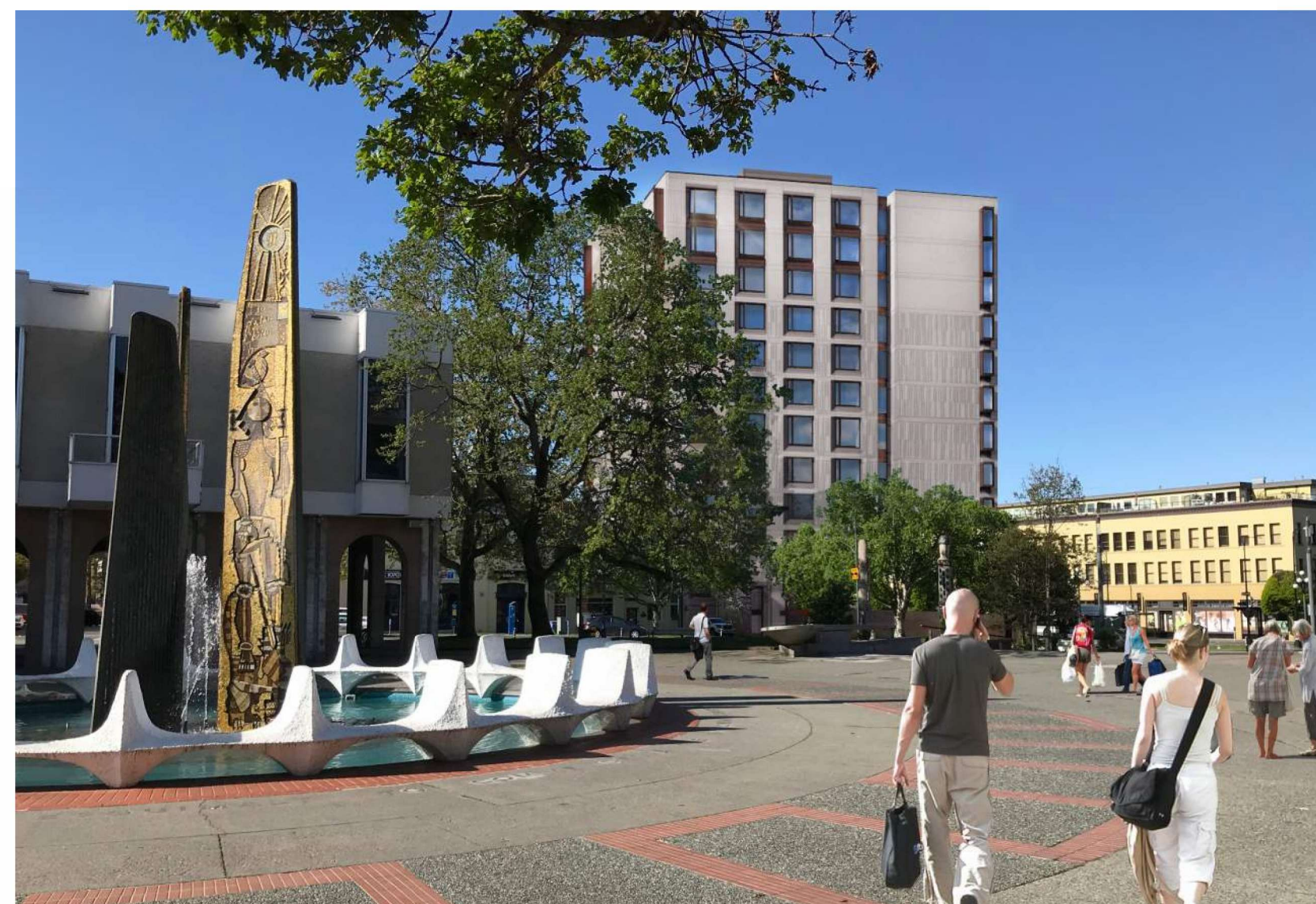
PLEASE REFER TO THE  
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MEMO FOR DESCRIPTIONS OF  
THE DESIGN ADJUSTMENTS.



KEYPLAN



1. VIEW LOOKING SOUTH ON GOVERNMENT STREET



2. VIEW FROM CENTENNIAL SQUARE



3. VIEW LOOKING NORTH ALONG GOVERNMENT STREET



4. VIEW LOOKING WEST ALONG PANDORA AVE



2024-09-17

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3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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project name  
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603 Pandora Avenue  
Victoria, BC

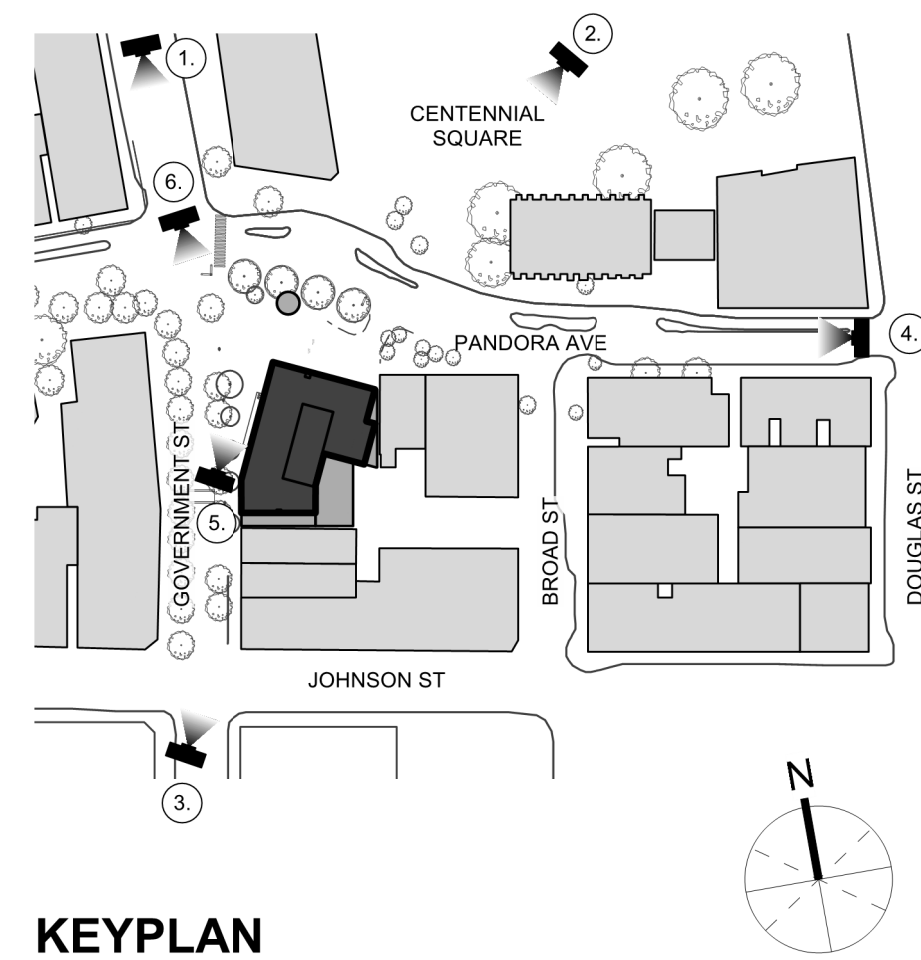
sheet title  
**Rendered Views**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	as noted
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
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KEYPLAN



5. STREET LEVEL ON GOVERNMENT STREET



SECTION DETAIL / PERSPECTIVE



6. PLAZA AT GOVERNMENT & PANDORA



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sheet title  
**Rendered Views**

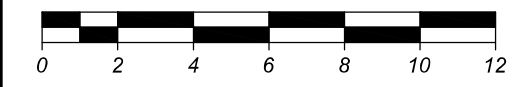
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checked by	ES
revision no.	sheet no.

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TOPOGRAPHIC PLAN OF LOT 1, PLAN 7110 AND PARTS OF  
LOTS 661, 662 AND 663, ALL IN VICTORIA CITY.

BCGS MAP SHEET 92B.044



The intended plot size of this plan is 432mm in width by 559mm in height (C-Size) when plotted at a scale of 1:200.

All distances and elevations are in metres and decimals thereof, unless otherwise noted.

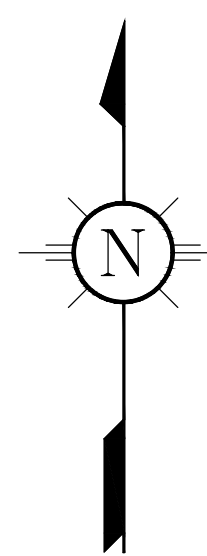
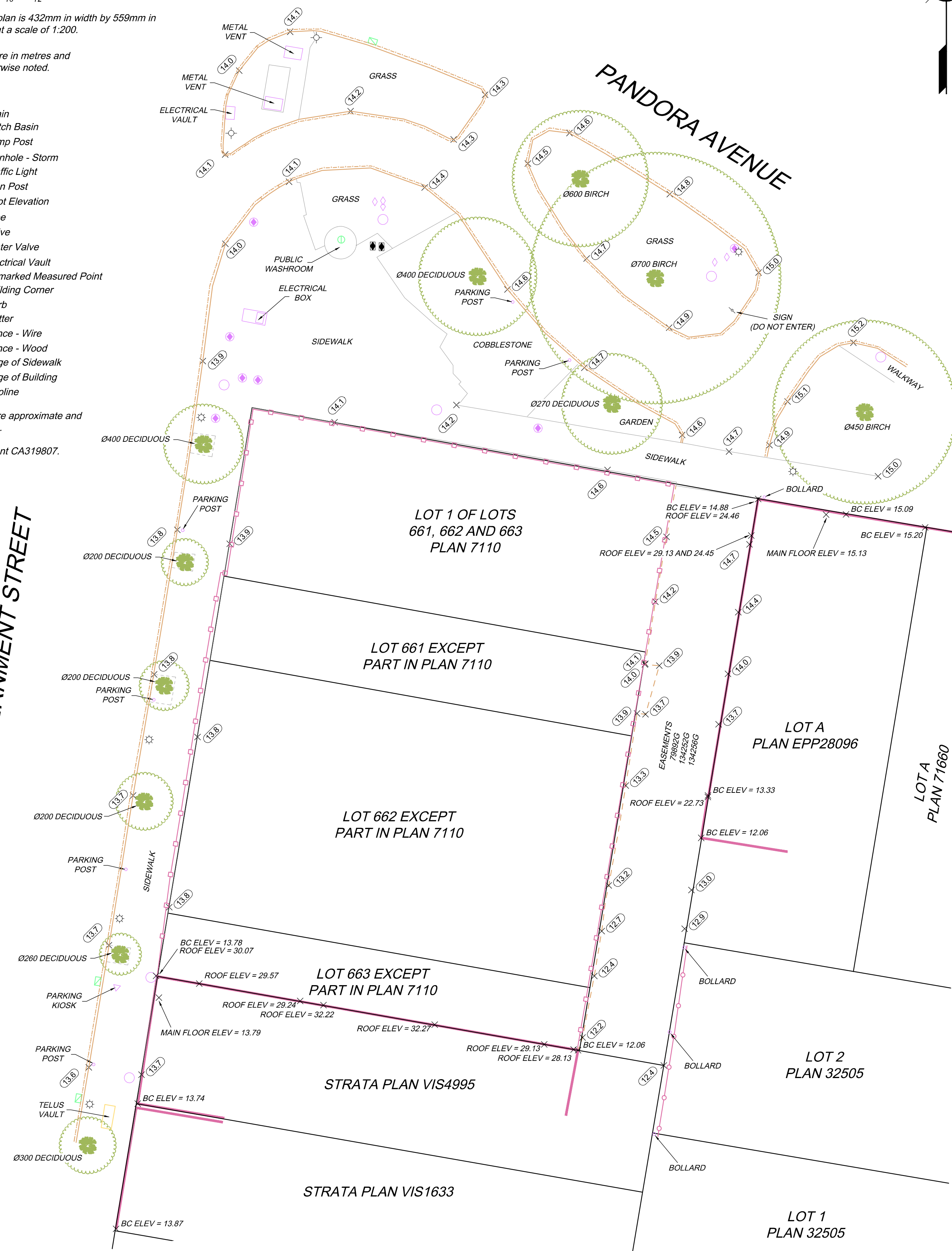
LEGEND

- denotes Drain
- denotes Catch Basin
- denotes Lamp Post
- denotes Manhole - Storm
- denotes Traffic Light
- denotes Sign Post
- denotes Spot Elevation
- denotes Tree
- denotes Valve
- denotes Water Valve
- denotes Electrical Vault
- denotes Unmarked Measured Point
- denotes Building Corner
- denotes Curb
- denotes Gutter
- denotes Fence - Wire
- denotes Fence - Wood
- denotes Edge of Sidewalk
- denotes Edge of Building
- denotes Dripline

Note: Boundaries as shown are approximate and subject to further investigation.

Parcels are subject to Covenant CA319807.

GOVERNMENT STREET



**POLARIS**  
Land Surveying Inc.

Mailing & delivery address:  
P.O. Box 261  
Brentwood Bay, BC, V8M 1R3

Toll Free: (877) 603 7398  
Duncan Telephone: (250) 746 0775  
info@plsi.ca  
www.plsi.ca

This document shows the relative location of the surveyed buildings and features with respect to the boundaries of the parcel described hereon. This document shall not be used to define property lines or property corners.

Polaris Land Surveying Inc. accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or actions taken based on this document.

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Date: 2020-01-27  
File: 1745-01  
Drawing: 1745-01-TOPO  
Layout: C-Size

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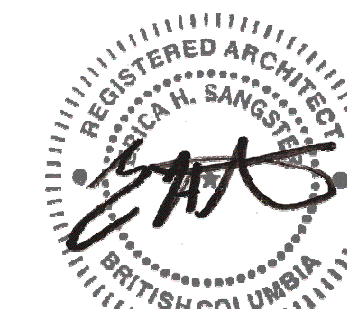
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project name  
**Hampton Inn**  
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sheet title  
**Existing Site Survey**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	as noted
drawn by	JAJH
checked by	ES
revision no.	sheet no.





2024-09-17

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WINTER SOLSTICE 1000h



WINTER SOLSTICE 1200h



WINTER SOLSTICE 1500h



EQUINOX 0900h



EQUINOX 1200h



EQUINOX 1600h



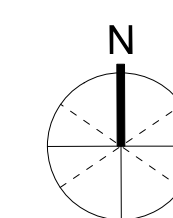
SUMMER SOLSTICE 0900h



SUMMER SOLSTICE 1200h



SUMMER SOLSTICE 1700h



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rev no	description	date

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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Sun and Shade Studies**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	n.t.s.
drawn by	JAJH
checked by	ES

revision no.	sheet no.
3	A1.4



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GENERAL NOTES:

1. March 20, 2023 was used as the date of the Equinox.
2. All calculations are approximate and have been generated from 2D views of the Sketch Up model.
3. All calculations are relative and are not to scale.
4. The building height is 38.1m and is classified as a high rise residential building for the purposes of City of Victoria Downtown Core Area Plan Appendix 4 Design Guidelines.

DCAP Appendix 4: 6.1.d.i.

Spring / Autumn Equinox  
March 20 / September 22, 2023  
The spring and autumn equinoxes mark the start of spring or autumn and are the midway point between summer and winter solstices.

The City of Victoria General Urban Design Guidelines (2022) contains the following guideline for tall buildings:

where unshaded by existing off-site conditions, a minimum of approximately 4 hours of cumulative sunlight provided on at least 60% of the length of the sidewalk located across the street from the development should be achieved between 1000h and 1600h on the equinoxes.

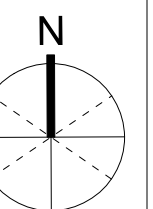
The proposal meets the guideline as follows:

**Pandora Avenue**  
The sidewalk is fully unshaded until 1400h when a sweeping shadow occurs over 14% of the sidewalk.

**Government Street**  
The sidewalk is shaded by the proposed development from 1000h until approximately 1040h when the shadow has reduced to 55%. The sidewalk remains fully unshaded until 1300h when 66% shading by the existing adjacent building begins until 1600h.

LEGEND

- sidewalk in sun
- sidewalk shaded by proposed building
- sidewalk shaded by existing buildings
- time recommended by urban design guidelines



1000h - 100% sun



1100h - 100% sun



1200h - 100% sun



1300h - 100% sun



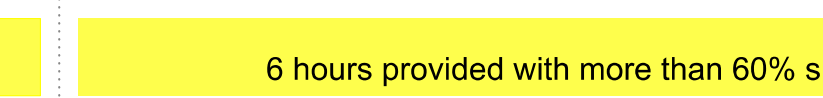
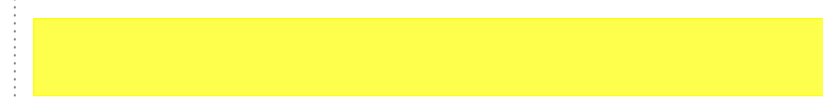
1400h - 86% sun



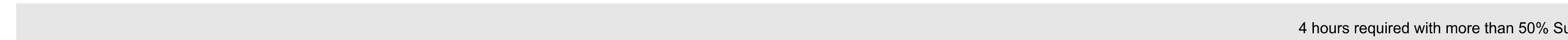
1500h - 86% sun



1600h - 91% sun



6 hours provided with more than 60% sun



4 hours required with more than 50% Sun

PANDORA AVENUE



1000h - 26% sun



1040h - 55% sun



1200h



1300h - 66% sun (shaded by existing buildings)



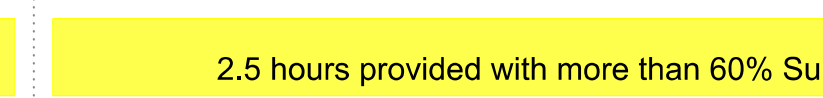
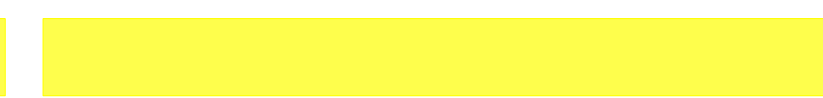
1400h - 0% sun (shaded by existing buildings)



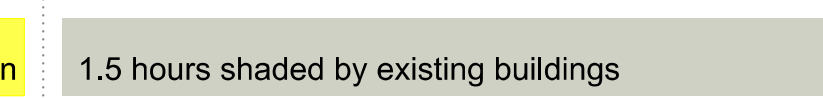
1500h - 0% sun (shaded by existing buildings)



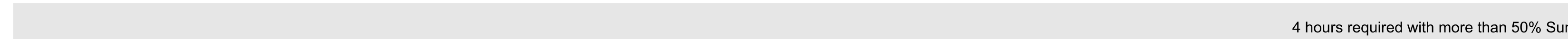
1600h - 0% sun (shaded by existing buildings)



2.5 hours provided with more than 60% Sun



1.5 hours shaded by existing buildings



4 hours required with more than 50% Sun

GOVERNMENT STREET

3	Revised Rezoning / DP	2024/09/12
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rev no	description	date
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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Sun and Shade Studies**

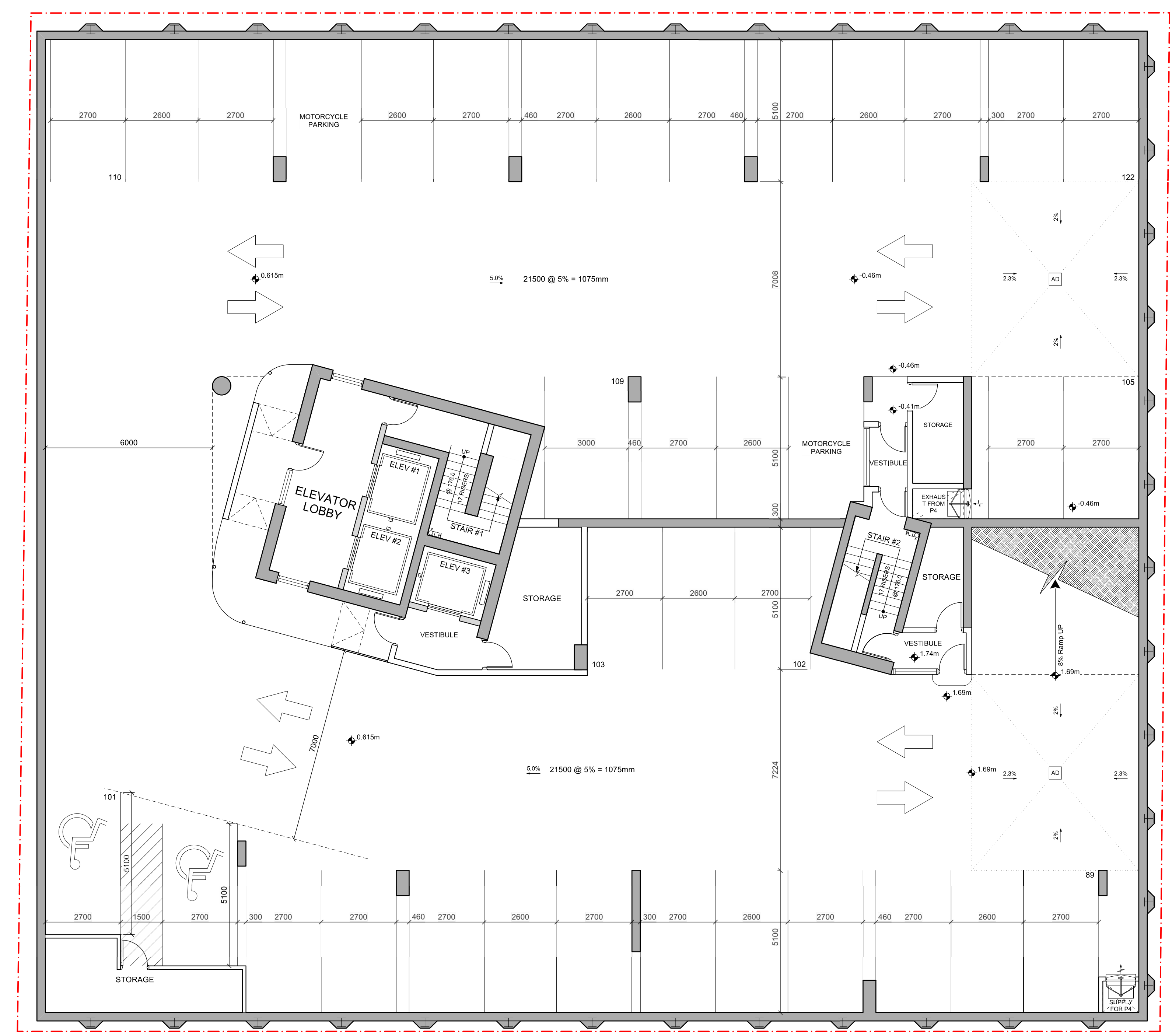
project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	n.t.s.
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
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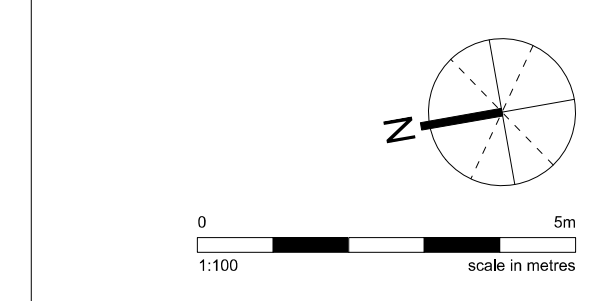
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sheet title  
**Level P4 Plan**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES
revision no.	sheet no.

3 A2.1

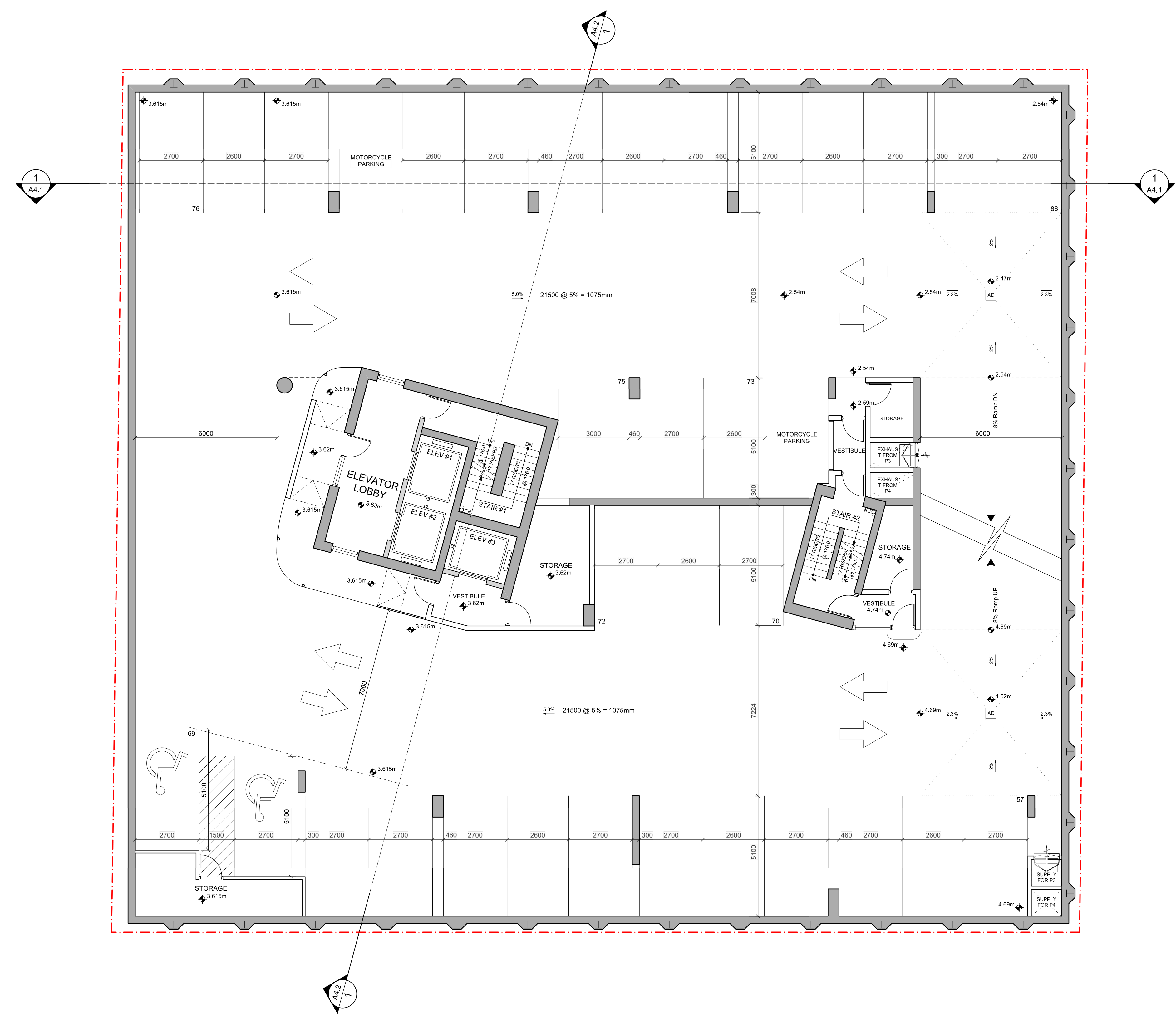
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Scale 1:100

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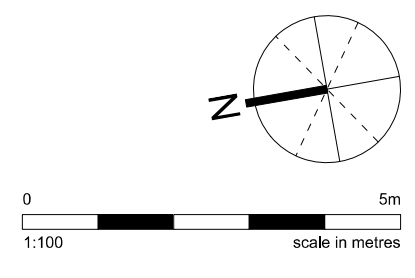
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P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible  Van Accessible	2	Hotel 1 per 25 rooms @ 198 rooms = 8	8	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2			
P2		32		2			
P1		24		1			
Level 1 CRU	0	0	0	0	CRU & patio @ 285sqm 1 per 150sqm=2	2	CRU & patio @ 285sqm 1 per 100sqm = 3
<b>Total</b>	<b>50</b>	<b>122</b>	<b>2</b>	<b>7</b>	<b>8+2=10</b>	<b>10</b>	<b>5+3=8</b>



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Victoria, BC

sheet title  
**Level P3 Plan**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES
revision no.	sheet no.

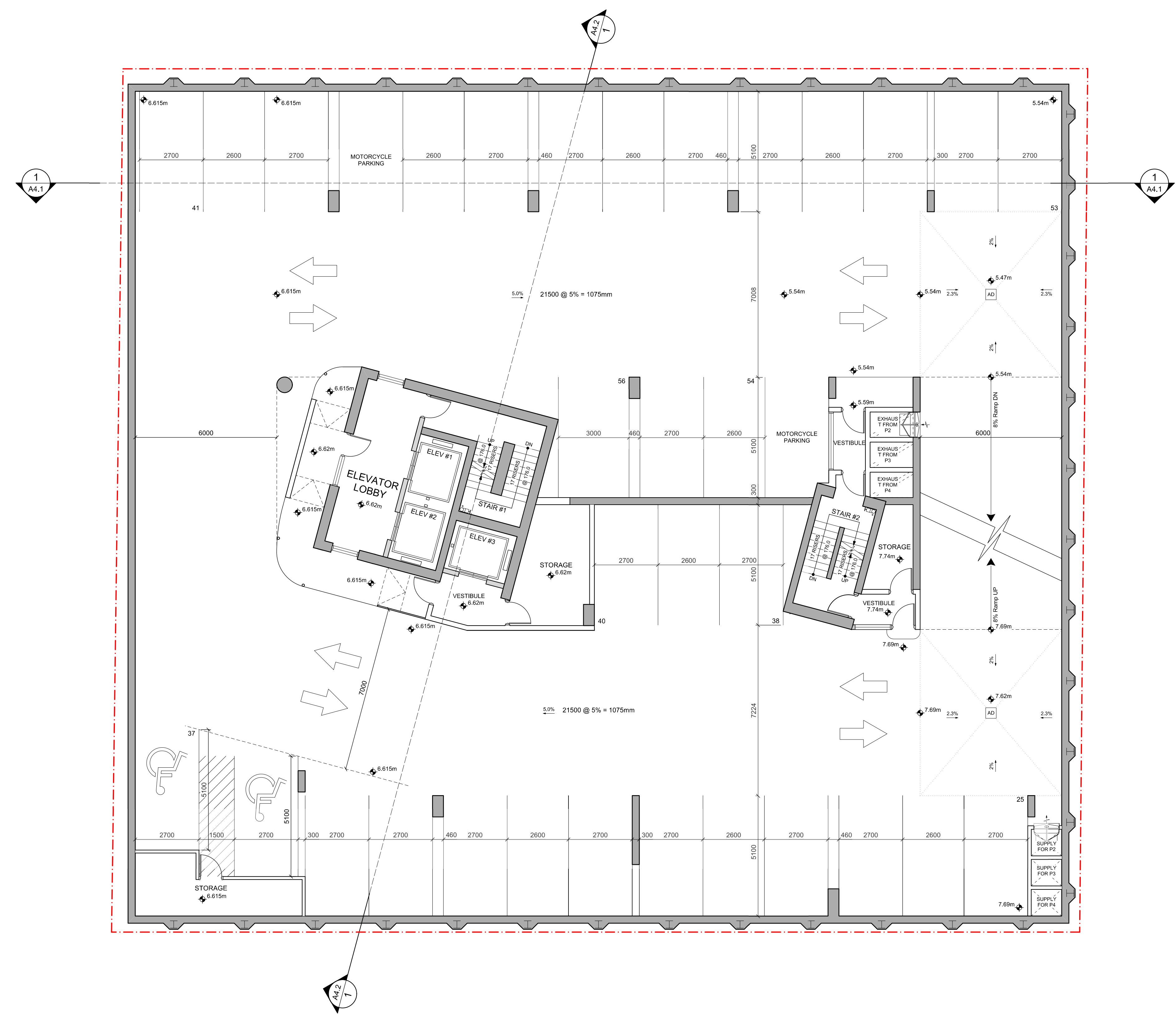
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**A2.2**

**Level P3 Plan**  
Scale 1:100

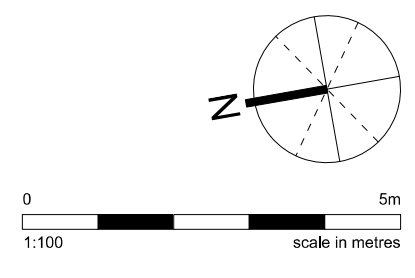
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P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	2	Hotel 1 per 25 rooms @ 198 rooms = 8	8	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2			
P2		32	Van Accessible	1			
P1		24			CRU & patio @ 285sqm 1 per 150sqm=2	2	CRU & patio @ 285sqm 1 per 100sqm = 3
Level 1 CRU	0	0					
<b>Total</b>	<b>50</b>	<b>122</b>	<b>2</b>	<b>7</b>	<b>8+2=10</b>	<b>10</b>	<b>5+3=8</b>



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sheet title  
**Level P2 Plan**

project no.	20-36
drawing file	-
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scale	1:100
drawn by	JAJ/JH
checked by	ES
revision no.	sheet no.

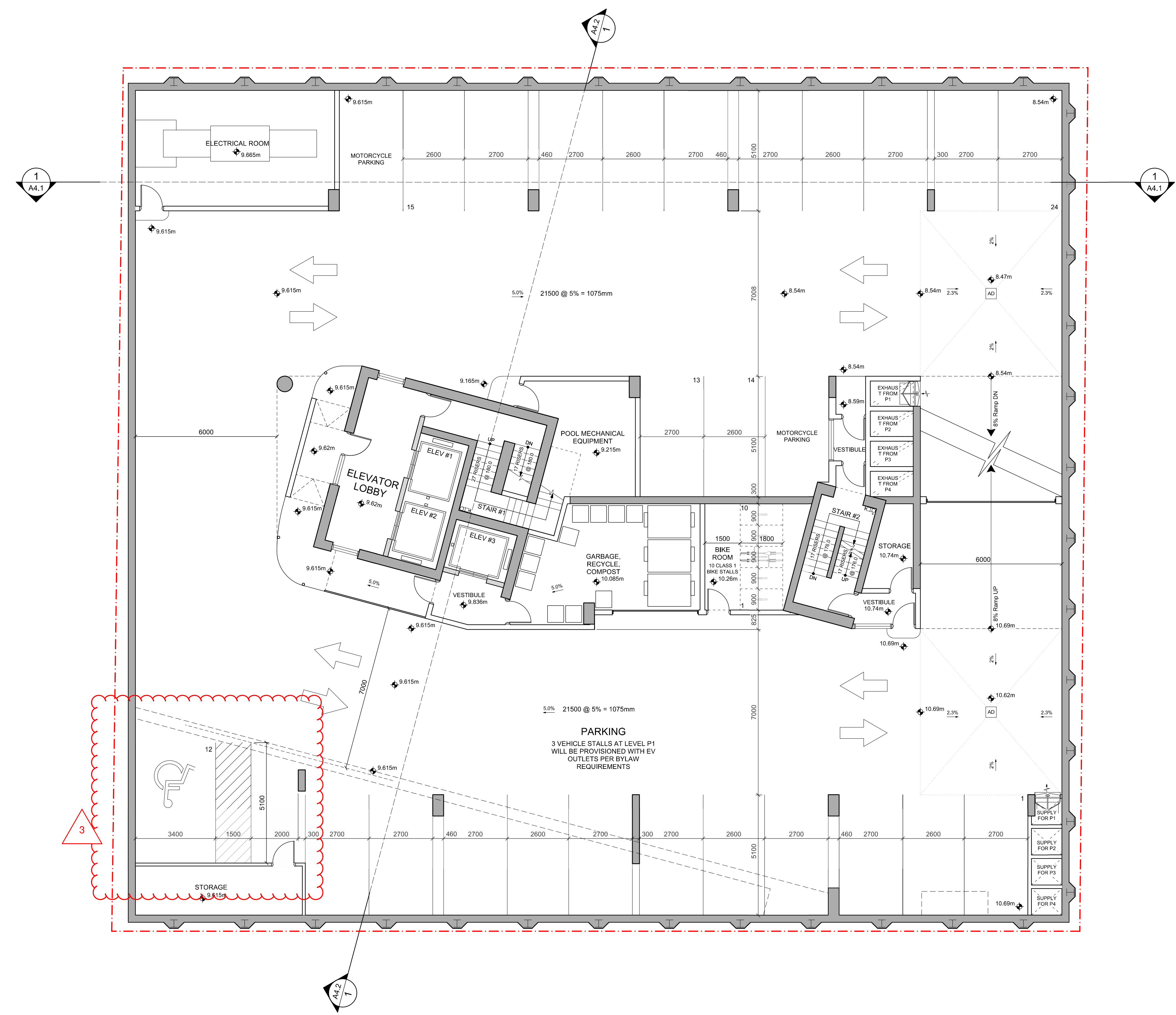
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**A2.3**

**Level P2 Plan**  
Scale 1:100

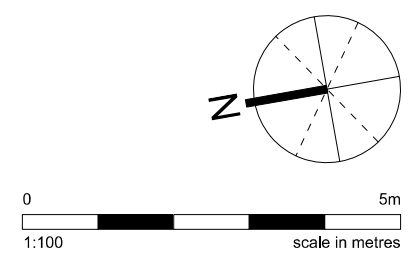
PARKING COUNT							
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	2	Hotel 1 per 25 rooms @ 198 rooms = 8	8	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2			6
P2		32	Van Accessible	1			
P1		24			CRU & patio @ 285sqm 1 per 150sqm=2	2	CRU & patio @ 285sqm 1 per 100sqm = 3
Level 1 CRU	0	0					8
<b>Total</b>	<b>50</b>	<b>122</b>	<b>2</b>	<b>7</b>	<b>8+2=10</b>	<b>10</b>	<b>5+3=8</b>



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3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Level P1 Plan**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES
revision no.	sheet no.

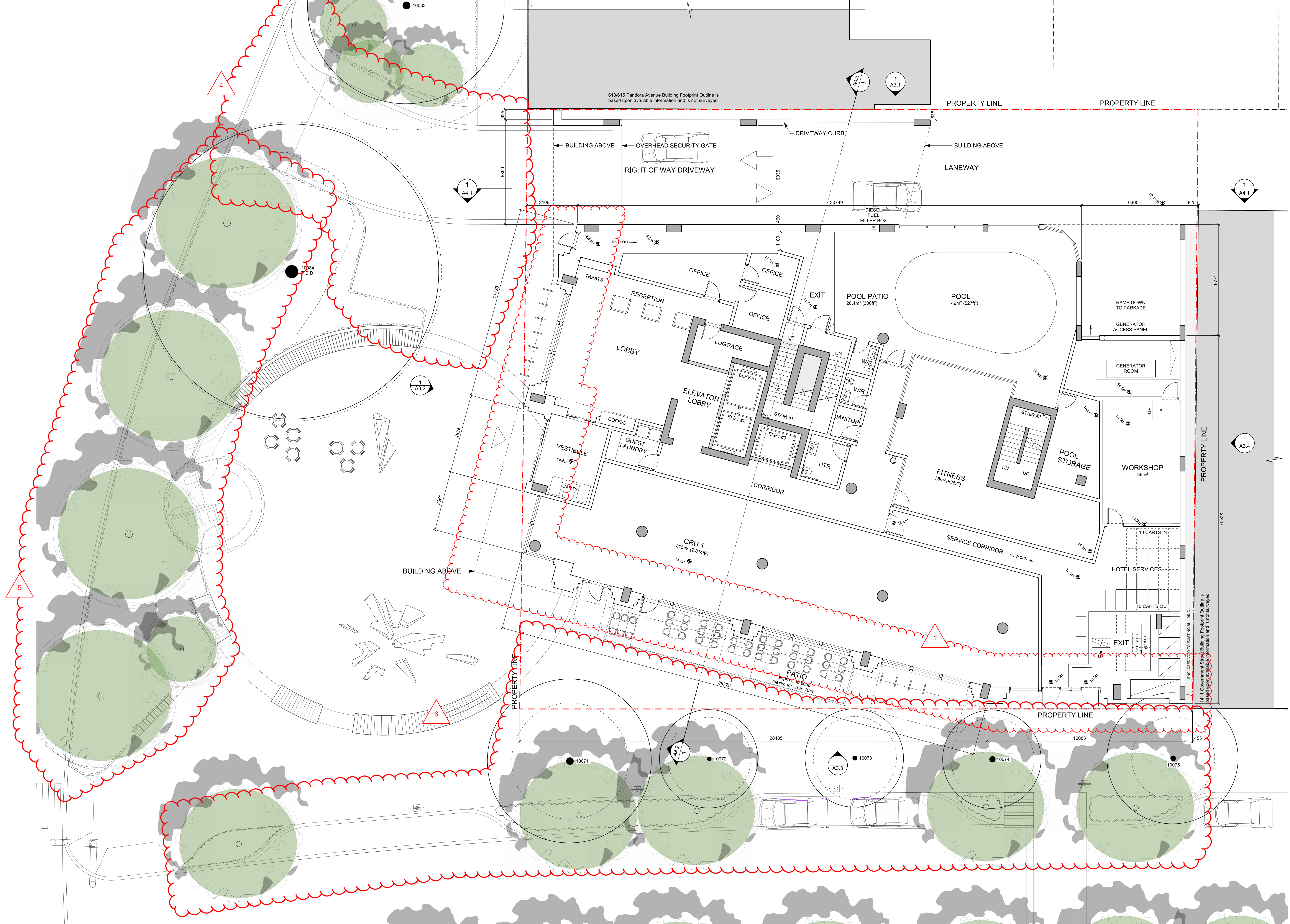
3 A2.4

**Level P1 Plan**  
Scale 1:100

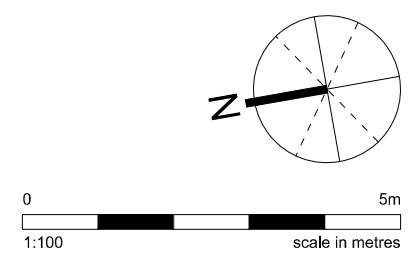
PARKING COUNT							
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements
P4		34	*26-50 = 1 Accessible	2	Hotel 1 per 25 rooms @ 198 rooms= 8		Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2		8	
P2		32		2			
P1		24	Van Accessible	1			
Level 1 CRU	0	0		0	CRU & patio @ 285sqm 1 per 150sqm=2	2	CRU & patio @ 285sqm 1 per 100sqm = 3
<b>Total</b>	<b>50</b>	<b>122</b>	<b>2</b>	<b>7</b>	<b>8+2=10</b>	<b>10</b>	<b>5+3=8</b>



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3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

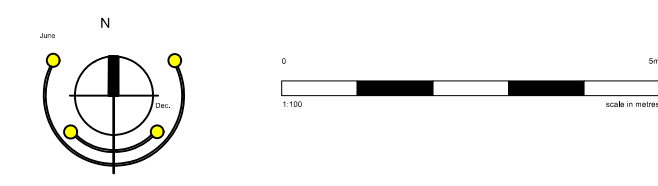
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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Level 1**  
**Ground Floor Plan**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

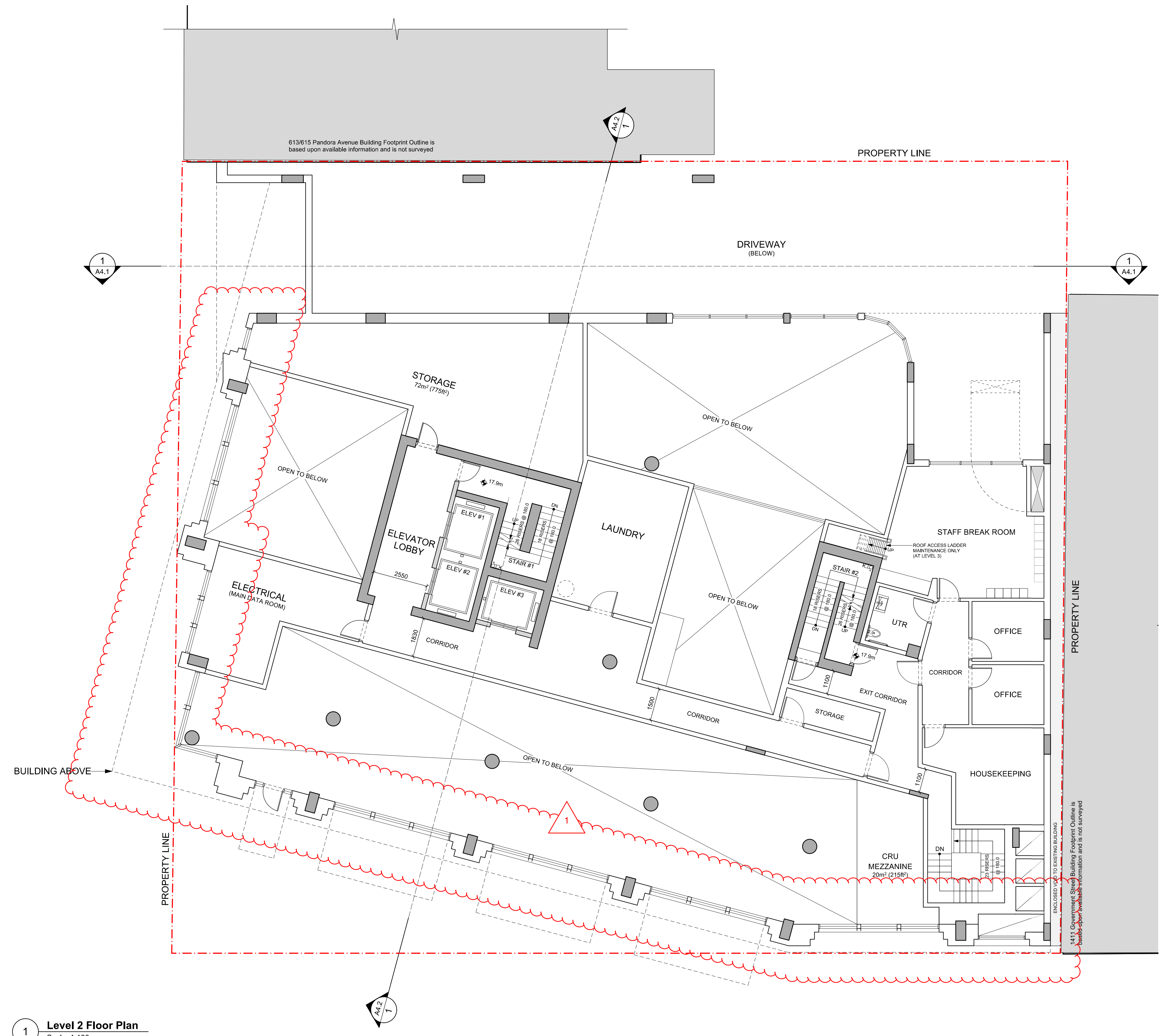
revision no.	sheet no.
3	A2.5



1 **Level 1 Plan**  
Scale 1:100

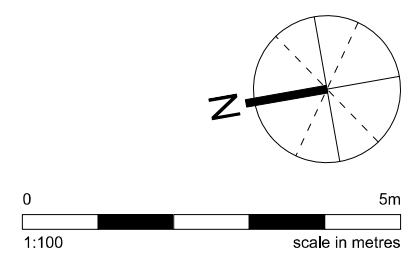


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1 Level 2 Floor Plan  
Scale 1:100

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3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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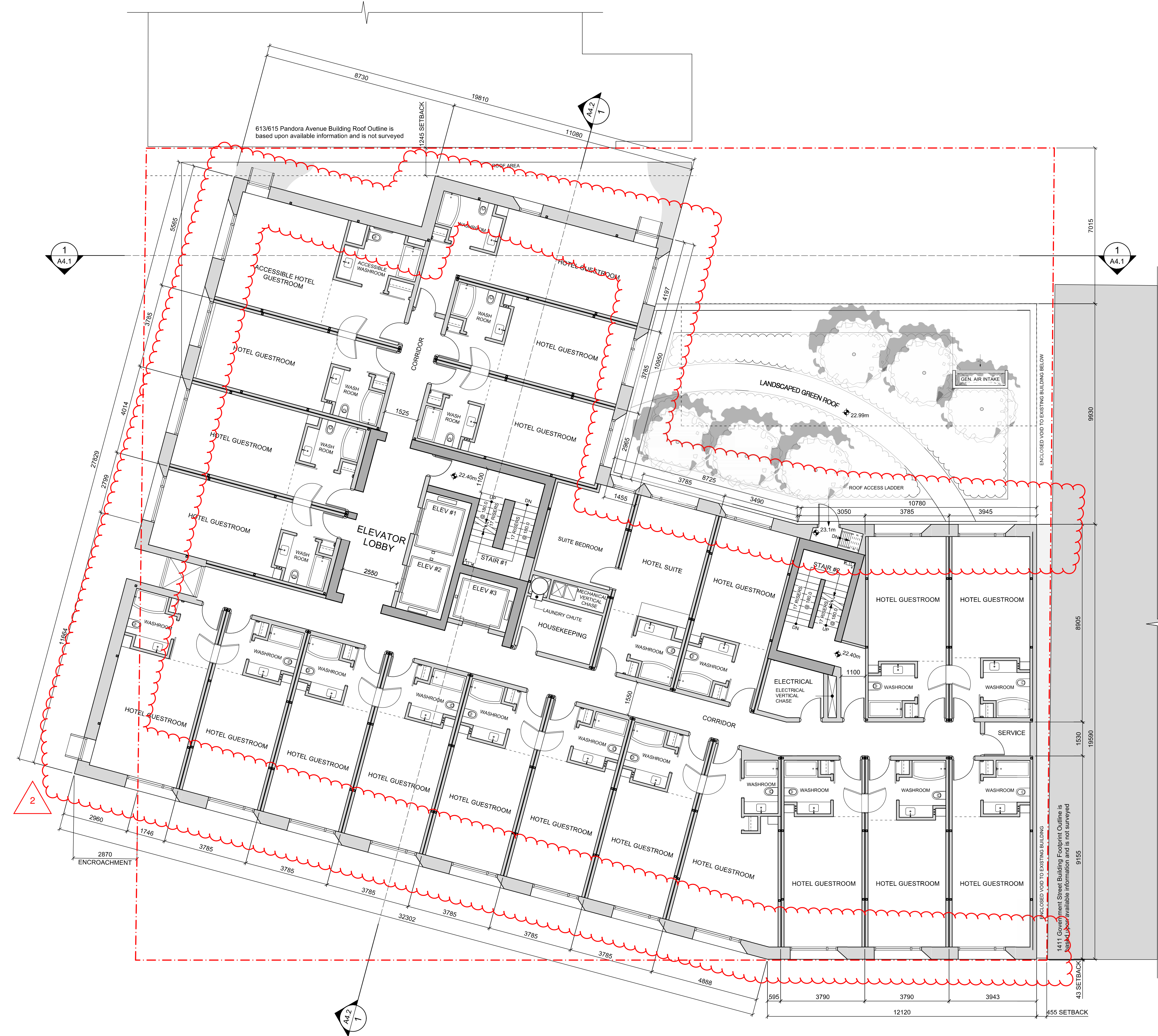
sheet title  
**Floor Plan - Level 2**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.6



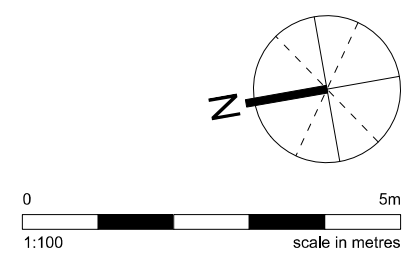
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**Unit Count & Area**  
22 units / floor  
1004.2 m<sup>2</sup> / floor  
10,809 ft<sup>2</sup> / floor

**1 Level 3**  
Scale 1:100

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3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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project name  
**Hampton Inn**  
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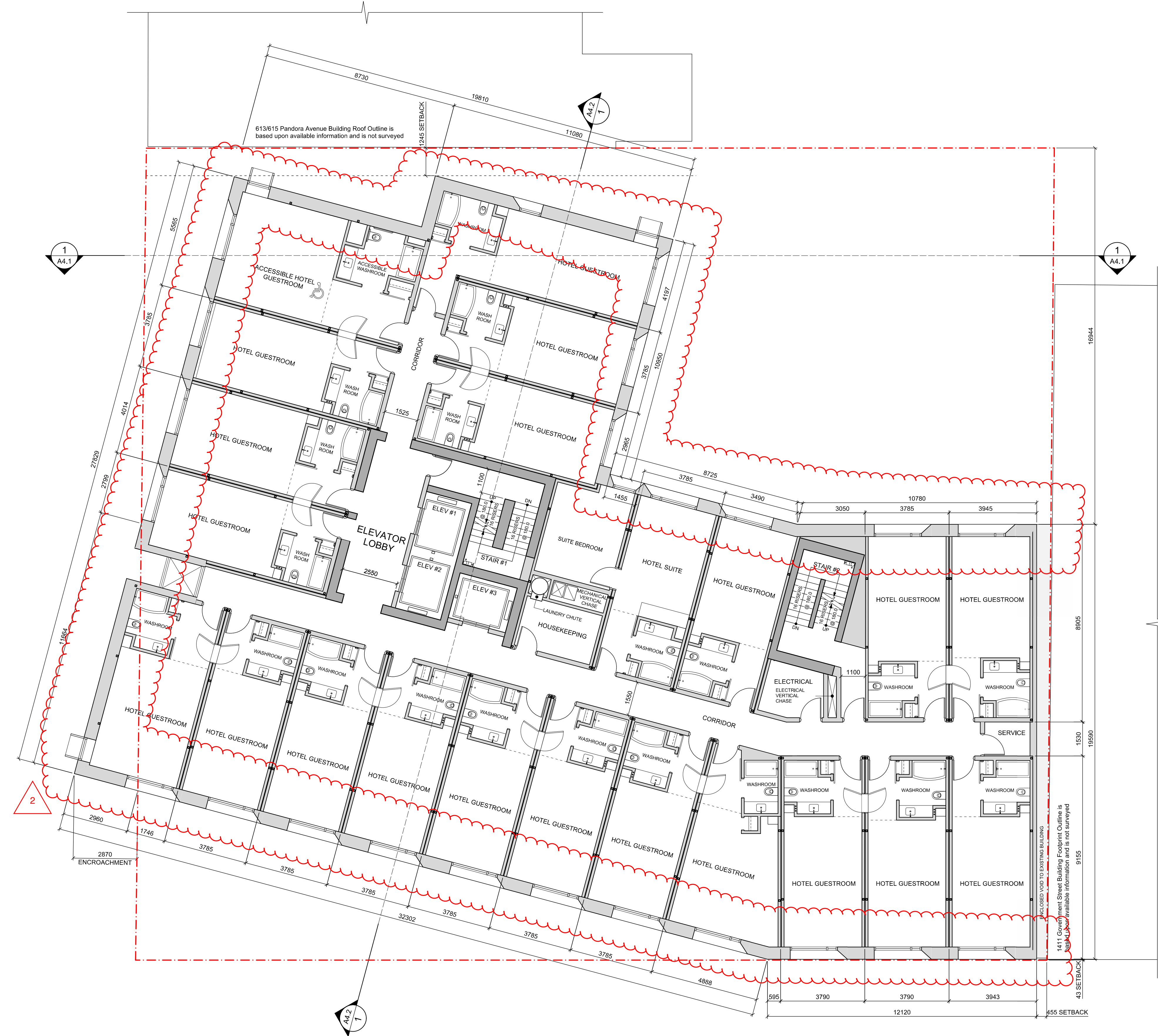
sheet title  
**Floor Plan - Level 3**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.7



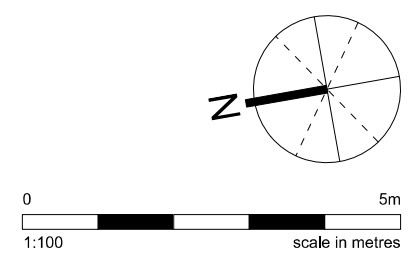
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**Unit Count & Area**  
22 units / floor  
1004.2 m<sup>2</sup> / floor  
10,809 ft<sup>2</sup> / floor

**1 Level 4 - Level 5**  
Scale 1:100

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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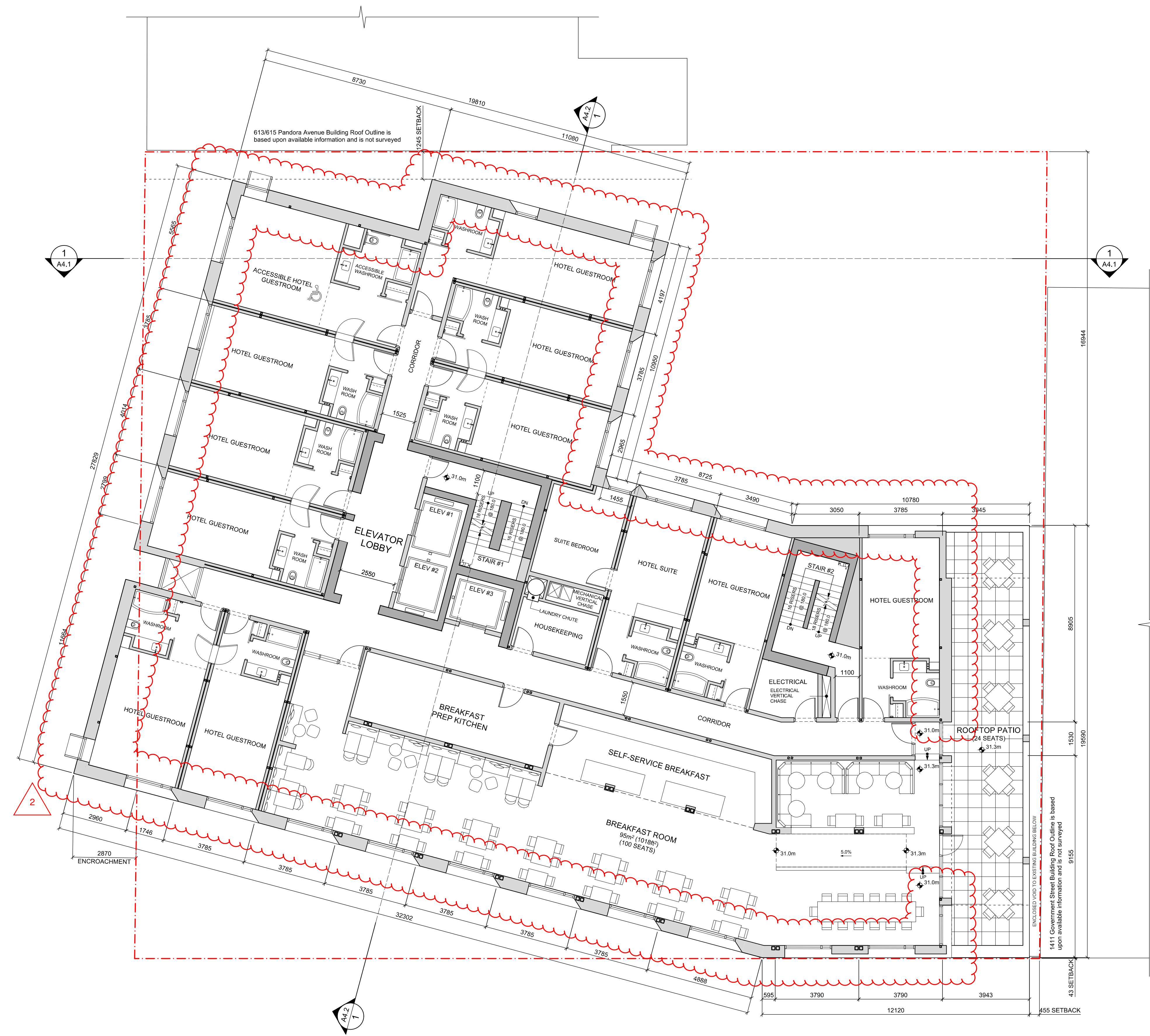
sheet title  
**Floor Plan -  
Level 4 - Level 5**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.8



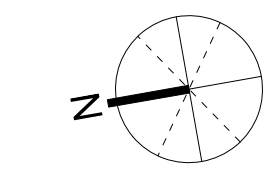
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**Unit Count & Area**  
12 units / floor  
934.9m<sup>2</sup> / floor  
10,063 ft<sup>2</sup> / floor

**1 Level 6**  
Scale 1:100

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



0 5m  
1:100 scale in metres

3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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**Hampton Inn**  
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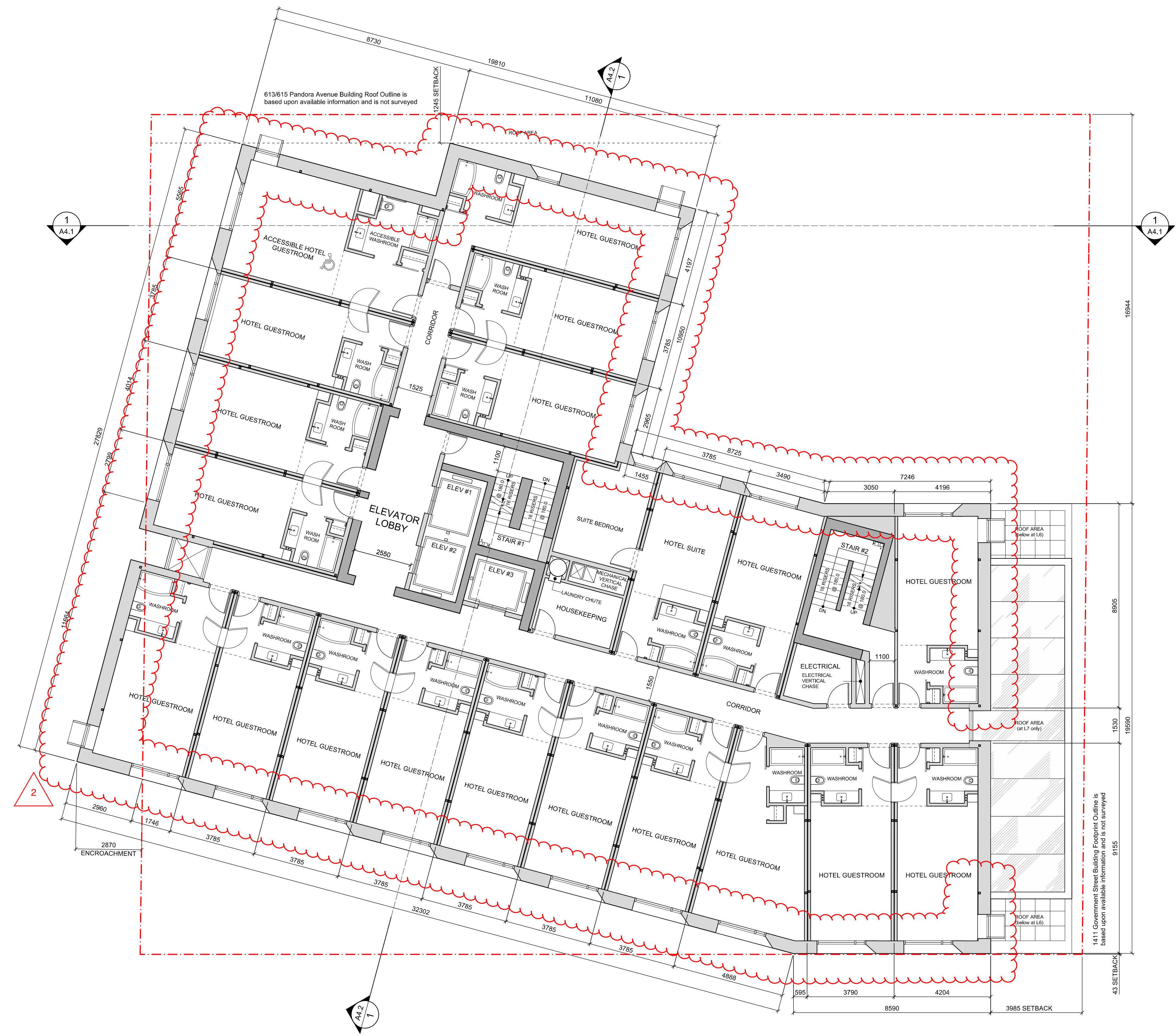
sheet title  
**Floor Plan - Level 6**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.9



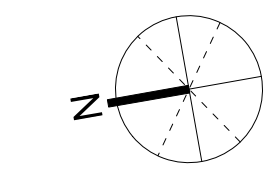
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**Unit Count & Area**  
20 units / floor  
933.9 m<sup>2</sup> / floor  
10,052 ft<sup>2</sup> / floor

**1 Level 7 - Level 12**  
Scale 1:100

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



0 5m  
1:100 scale in metres

3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date

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project name  
**Hampton Inn**  
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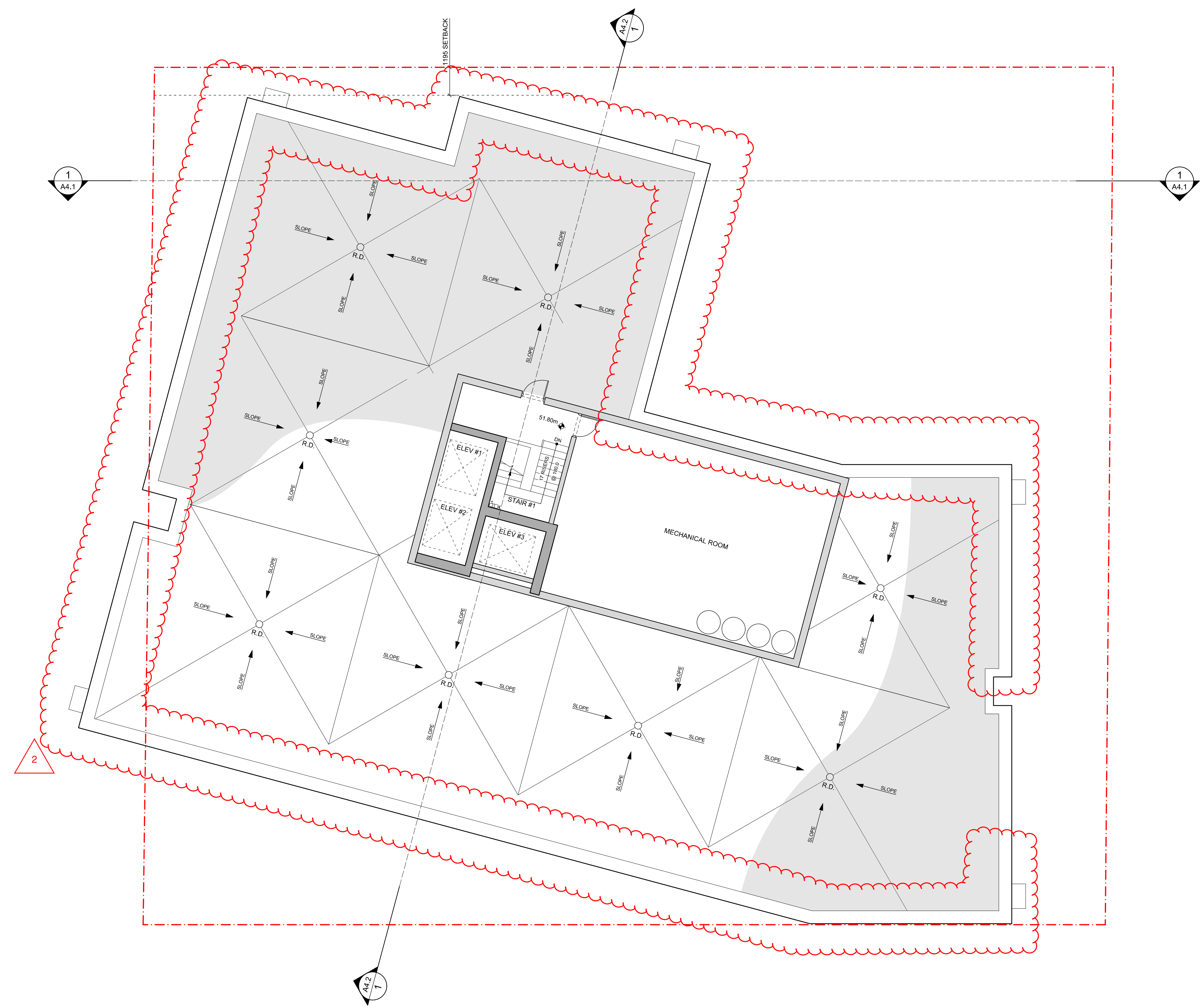
sheet title  
**Floor Plan -  
Level 7 - Level 12**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.10



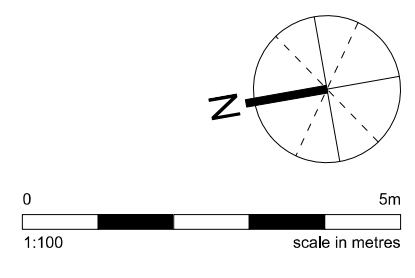
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**Area**  
Penthouse G.F.A. Excluded  
0.00 m<sup>2</sup>  
0 ft<sup>2</sup>

**1 Penthouse and Roof Plan**  
Scale 1:100

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Penthouse and Roof Plan**

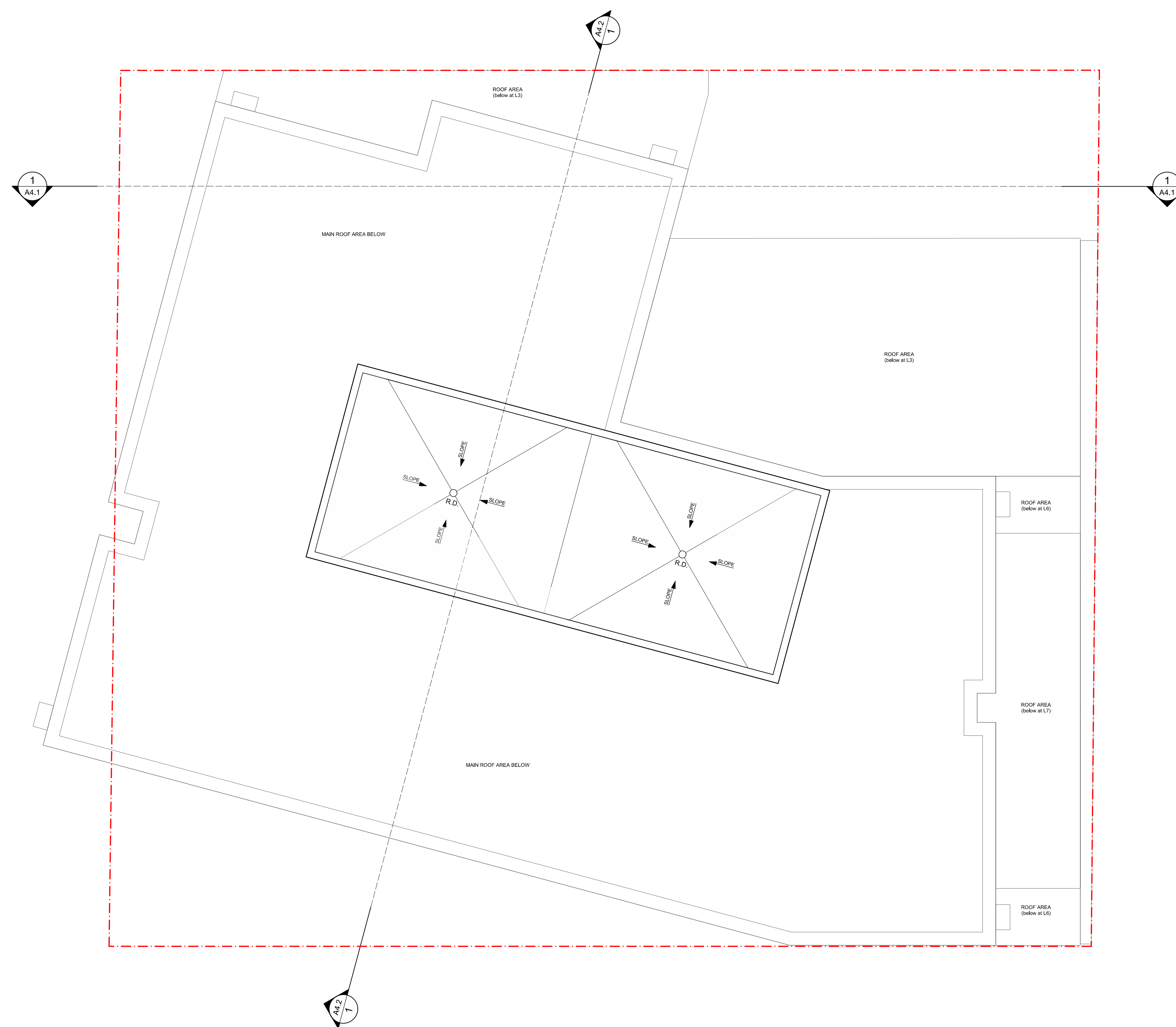
project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.11



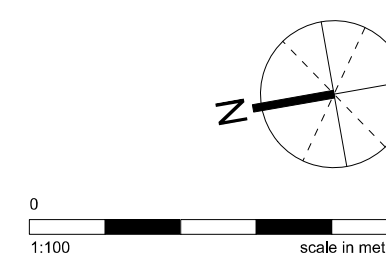
2024-09-17

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**Area**  
Penthouse G.F.A. Excluded  
0.00 m<sup>2</sup>  
0 ft<sup>2</sup>

**1 Penthouse and Roof Plan**  
Scale 1:100



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Roof Plan**

project no. 20-36

drawing file -

date issued September 12, 2024

scale 1:100

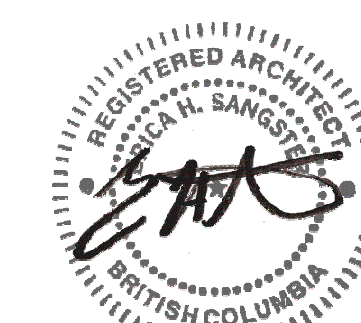
drawn by JAJ/JH

checked by ES

revision no. sheet no.

3

**A2.12**

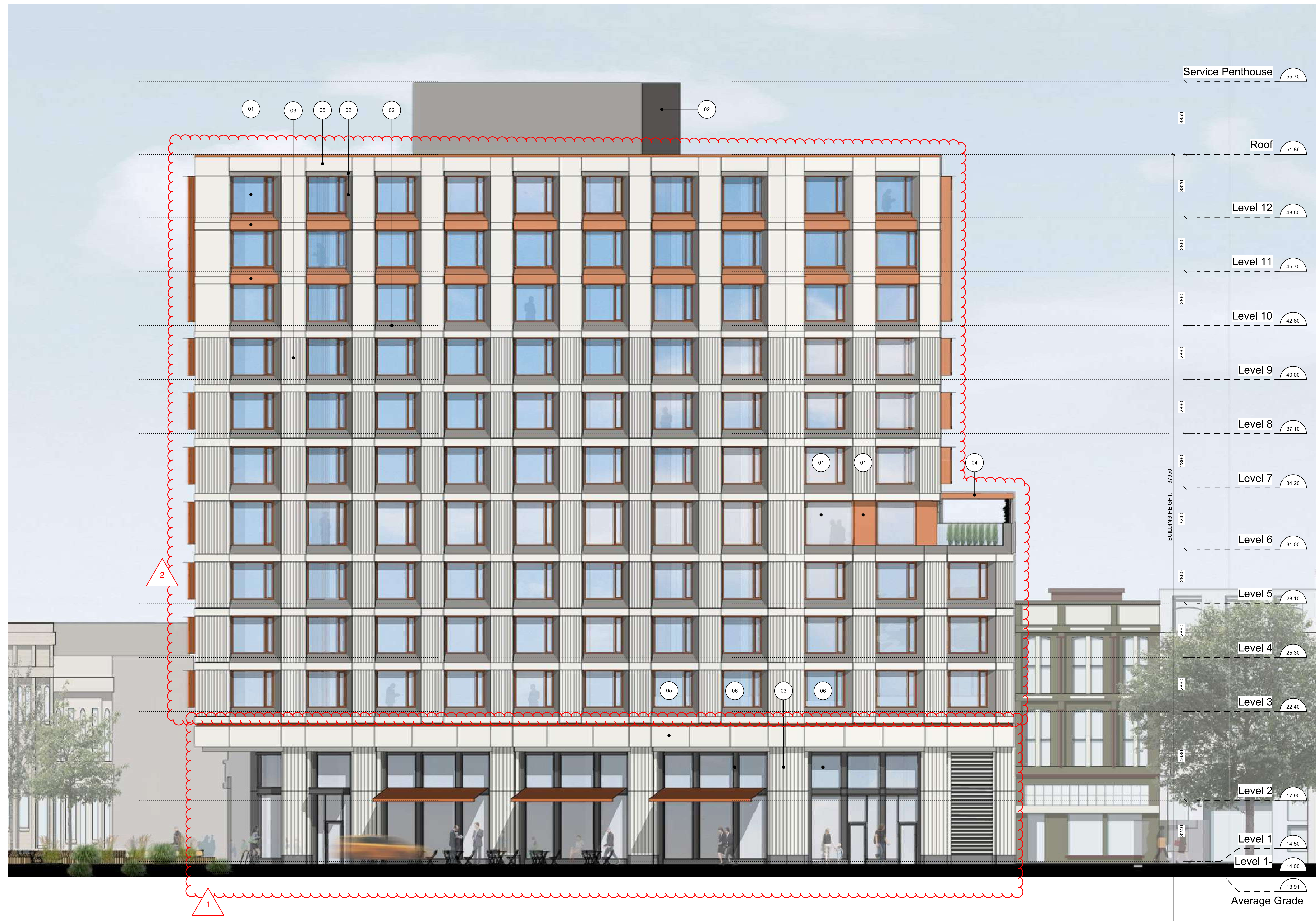


2024-09-17

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**Elevation Materials Key:**

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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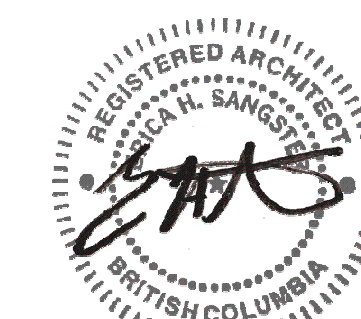
sheet title  
**Building Elevations**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

3

A3.1

West Elevation (Government St)  
Scale 1:100



2024-09-17

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**Elevation Materials Key:**

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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project name  
**Hampton Inn**  
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sheet title  
**Building Elevations**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JP/GK/JH
checked by	ES
revision no.	sheet no.

3  
**A3.2**

North Elevation (Pandora Ave.)  
Scale 1:100



2024-09-17

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**Elevation Materials Key:**

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flushing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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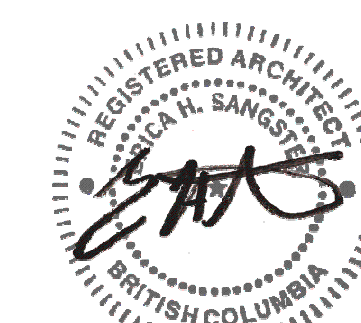
sheet title  
**Building Elevations**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

3  
**A3.3**



**East Elevation**  
Scale 1:100



2024-09-17

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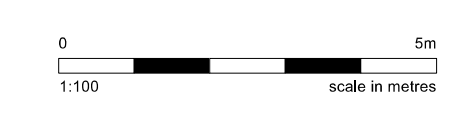
**Elevation Materials Key:**

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



Service Penthouse	55.70
Roof	51.86
Level 12	48.50
Level 11	45.70
Level 10	42.80
Level 9	40.00
Level 8	37.10
Level 7	34.20
Level 6	31.00
Level 5	28.10
Level 4	25.30
Level 3	22.40
Level 2	17.90
Level 1	14.50
Level 1-	14.00
Average Grade	13.91

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Building Elevations**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES

revision no.	sheet no.
3	A3.4

South Elevation  
Scale 1:100



2024-09-17

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**Elevation Materials Key:**

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flushing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



Context Elevation - Government Street  
Scale 1:250



Context Elevation - Pandora Avenue  
Scale 1:250

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.

0 5m  
1:100 scale in metres

3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
rev no	description	date

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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Context Elevations**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

3

A3.1

1 2



2024-09-17

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**Elevation Materials Key:**

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flushing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

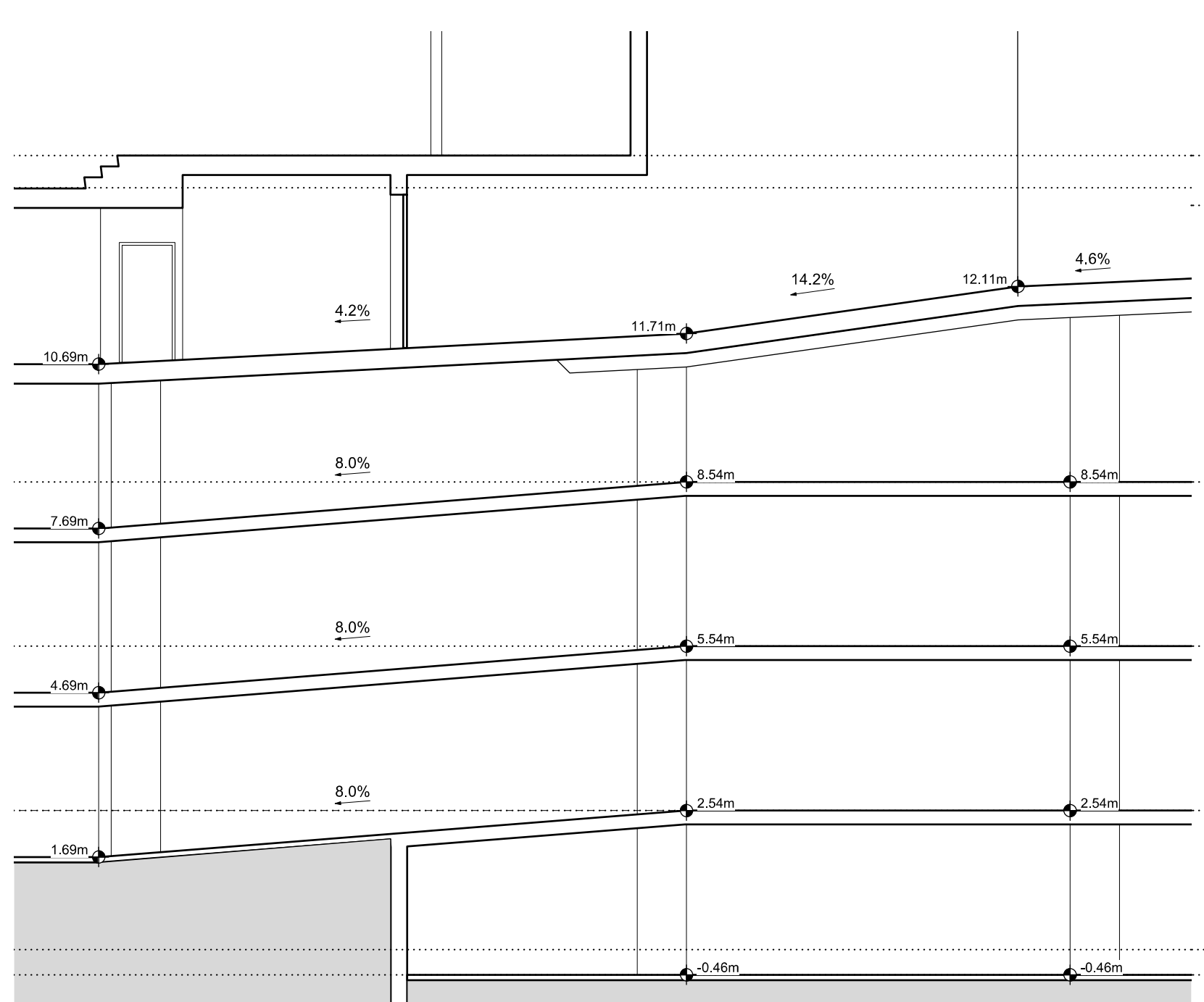
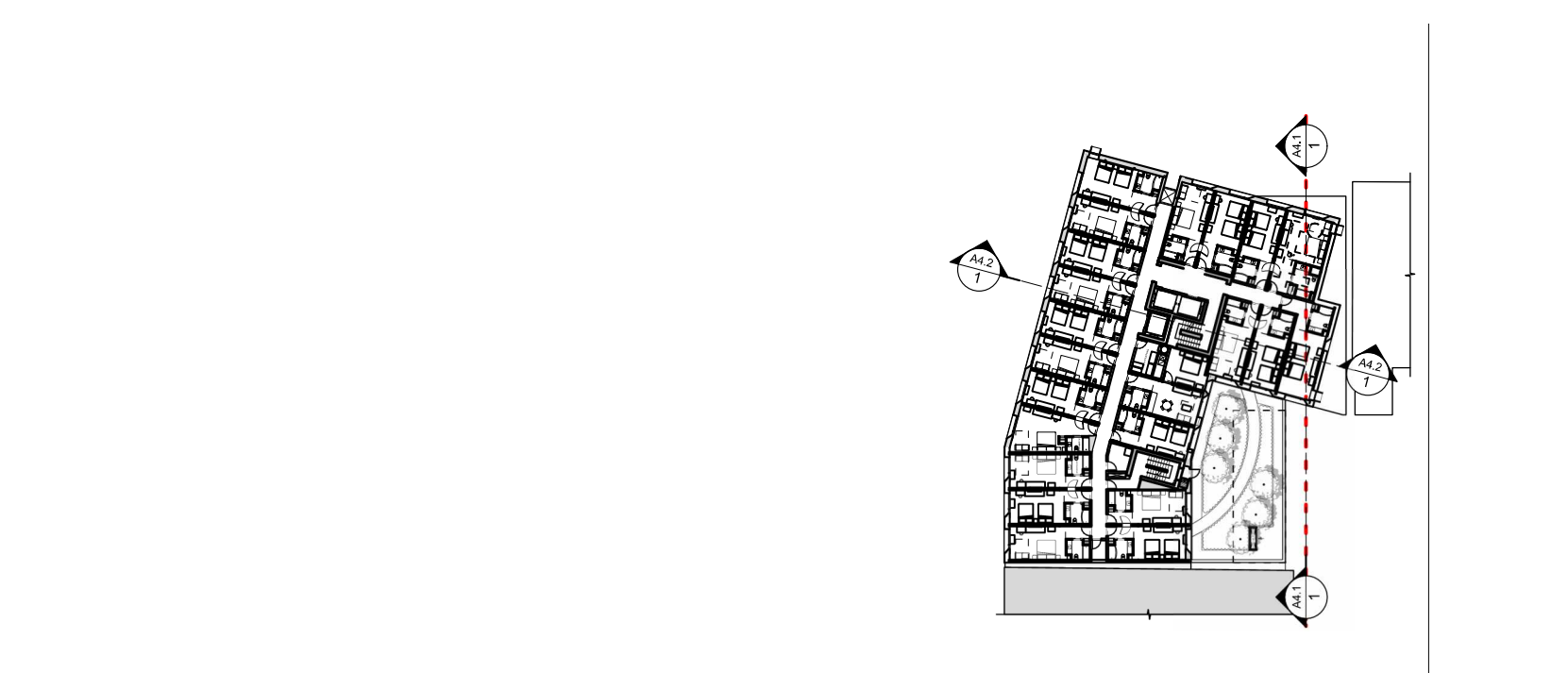
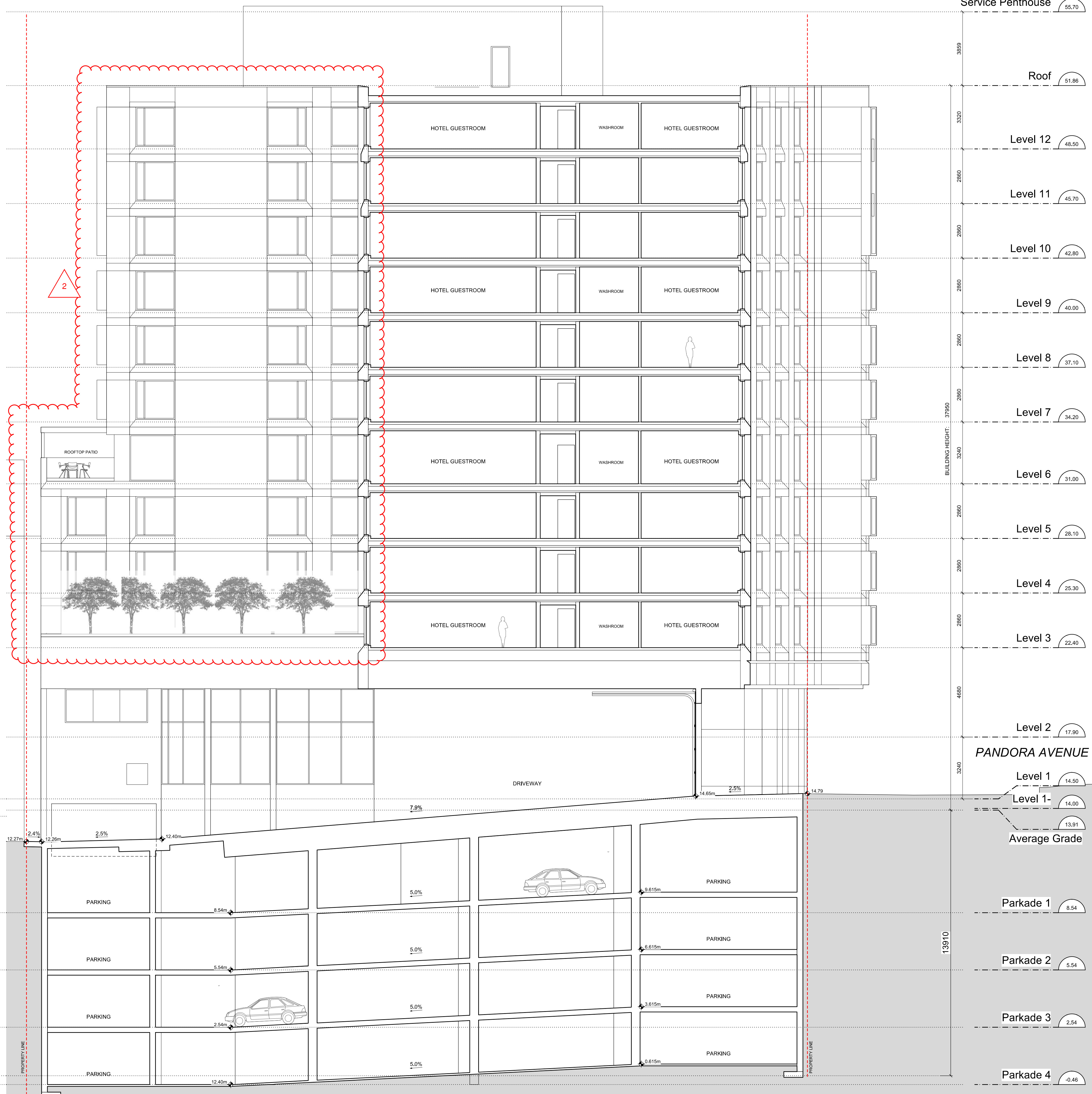
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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Building Section N-S**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

3  
**A4.1**



**2 Partial Section E-W Internal Ramp System**  
Scale 1:100

**1 Section N-S**  
Scale 1:100



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- Elevation Materials Key:**
1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
  2. Prefinished Metal Panel / Flashing Pewter Finish
  3. Cementitious Panel - Plank Format Warm Light Grey
  4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
  5. Cementitious Panel Warm Light Grey
  6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

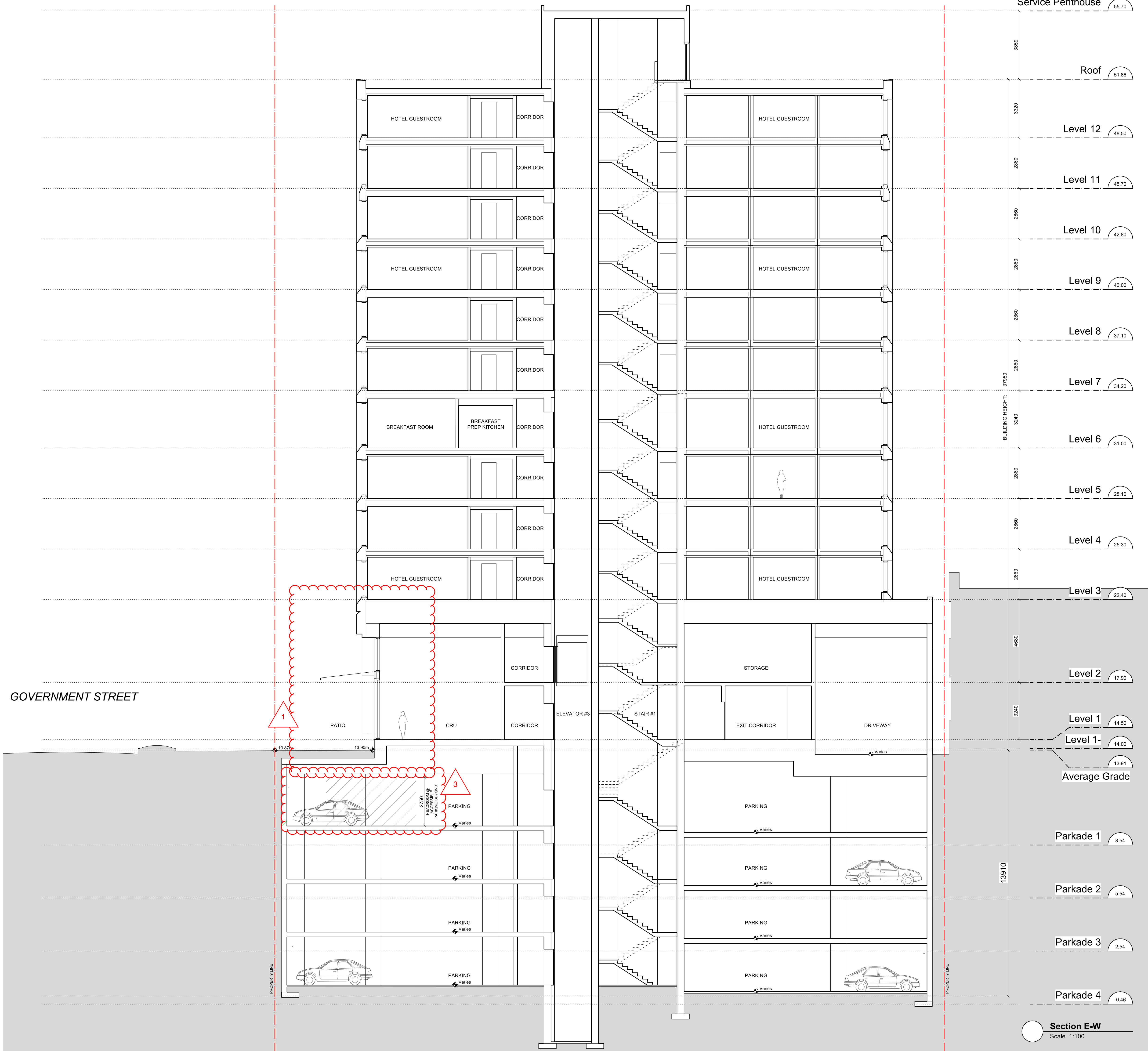
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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Building Section N-S**

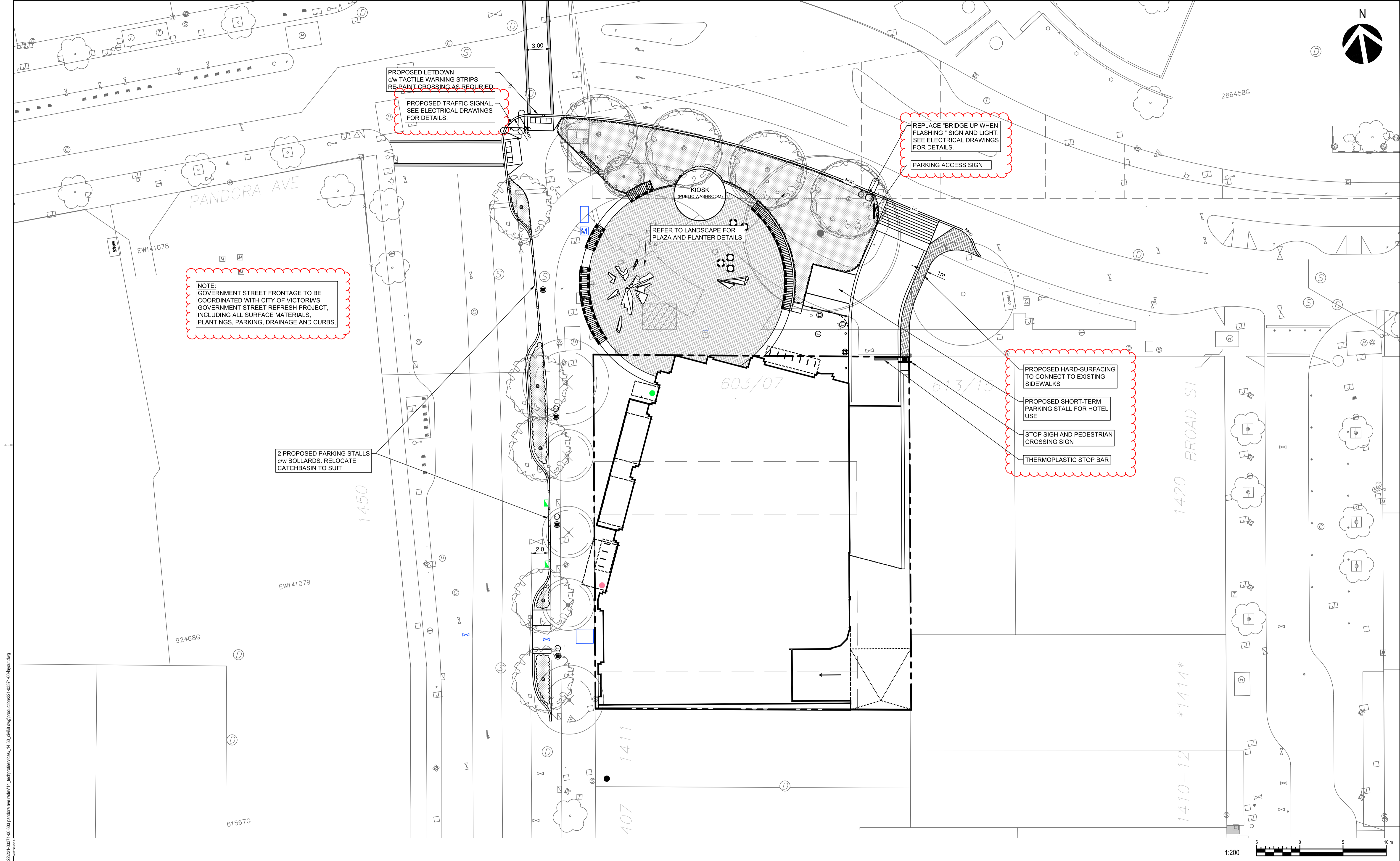
project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

3  
**A4.2**



**Section E-W**  
Scale 1:100





C:\Users\jcs\OneDrive\Documents\2024\09\16\_12:54 PM  
 FILE: v:\projects\2024\221-03371-00\603\_pandora\_ave\_redev\14\_swp\production\221-03371-00\603.dwg  
 14.08.2024 14:08:00

REV	DATE	DESCRIPTION	DES	DRN	CHK
1	2024/09/14	ISSUED FOR REZONING	JCS	SG	JCS

SEAL: \_\_\_\_\_

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DISCIPLINE: CIVIL

ORIGINAL SCALE: 1:200

DESIGNED BY: JCS

CHECKED BY: JCS

DRAWN BY: SG

APPROVED BY: \_\_\_\_\_

DATE: 2022/04/08

IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.

25mm

**wsp**

WSP Canada Inc.  
301-3600 Uptown Boulevard, Victoria, BC, V8Z 0B9  
T 250-364-5510 | www.wsp.com

PROJECT NUMBER: 221-03371-00

CLIENT: DAU STUDIO

CLIENT REF. #: --

TITLE: SURFACE WORKS

PROJECT: 603 PANDORA AVENUE REDEVELOPMENT

DRAWING NUMBER: C102

REV: 1



# HAMPTON INN - PANDORA AND GOVERNMENT

## Victoria, BC

Issued for Rezoning / DP - Sept 16th, 2024

### LANDSCAPE DRAWING LIST

L0.00 - Cover Sheet  
L0.01 - Tree Survey  
L0.02 - Tree Management Plan

Concept Plan  
L1.01 - Concept Plan L1  
L1.02 - Concept Plan L3

Landscape Plan  
L1.11 - Landscape Plan  
L1.12 - Landscape Plan

Planting Plan  
L1.41 - Planting Plan  
L1.42 - Planting Plan

Site Perspectives  
L2.01 - Site Perspectives

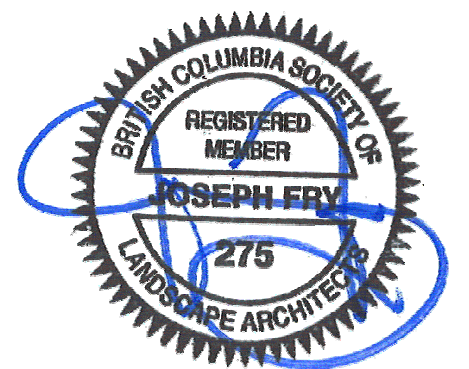
Details  
L4.11 - Paving  
L4.21 - Site Furnishings  
L4.41 - Planting  
L4.42 - Planting

### DP / REZONING REVISIONS:

1. EXISTING TREES ON GOVERNMENT PRESERVED
2. SPACING OF STREET TREES ALONG PANDORA REVISED PER BYLAW
3. TREE QUANTITY IN PLANTED AREAS REDUCED
4. TREE PLANTING / BENCH ISLAND DELETED
5. ADDITIONAL SIDEWALK CONNECTION AT PANDORA REMOVED
6. GEOMETRY OF PAVED AREA ADJACENT LANE REVISED TO BETTER PROTECT EXISTING BIRCH TREE
7. MAINTENANCE BAND OF GROUND COVER ADDED TO PLANTED AREAS
8. REPLACEMENT TREE SPECIES REVISED PER PART 3 OF SCHEDULE E
9. SOIL TABLE FOR TREES ADDED TO PLANTING PLAN
10. PLANTING SPECIES MIX REVISED TO ENSURE 30% NATIVE, FOOD BEARING OR POLLINATOR
11. NOTES ADDED TO PLANTING PLAN
12. PERSPECTIVE VIEWS UPDATED

3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No. Description Date



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### Plaza Hotel

603 Pandora Ave  
Victoria, BC

### Cover Sheet

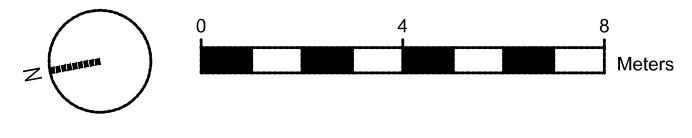
Date **Aug. 03/22** Drawing Number  
Project No. **2215**  
Scale **1:100** **L0.00**  
Drawn/Checked **kk | JF**

**TREE SURVEY LEGEND**

QTY.	DESCRIPTION
10	EXISTING TREES
	CRITICAL ROOT ZONE (CRZ)

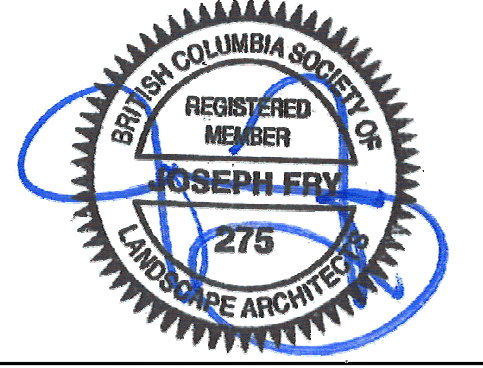
- NOTES**
1. THE TREE SURVEY PLAN REFERENCES THE SURVEY PREPARED BY POLARIS LAND SURVEYING ON 01/27/2020.
  2. NO STORAGE OF BUILDING / CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
  3. ANY PRUNING OF BRANCHES OR ROOTS MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
  4. PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS, VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH, REFER TO TREE PROTECTION SPECIFICATIONS.
  5. WHEN REMOVING ASPHALT, PAVING OR OTHER MATERIALS FROM DIRECT CONTACT WITH TREE ROOTS OR PROTECTION ZONES - CONSULT WITH ARBORIST ON SITE.
  6. REFER TO ARBORIST'S INVENTORY/ASSESSMENT REPORT PREPARED BY PROJECT ARBORIST FOR TREE SPECIES AND GENERAL CONDITIONS. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH AN ARBORIST REPORT.

**NOTES**  
FOR TREE INVENTORY AND RELATED NOTES REFER TO L0.02.



No.	Description	Date
3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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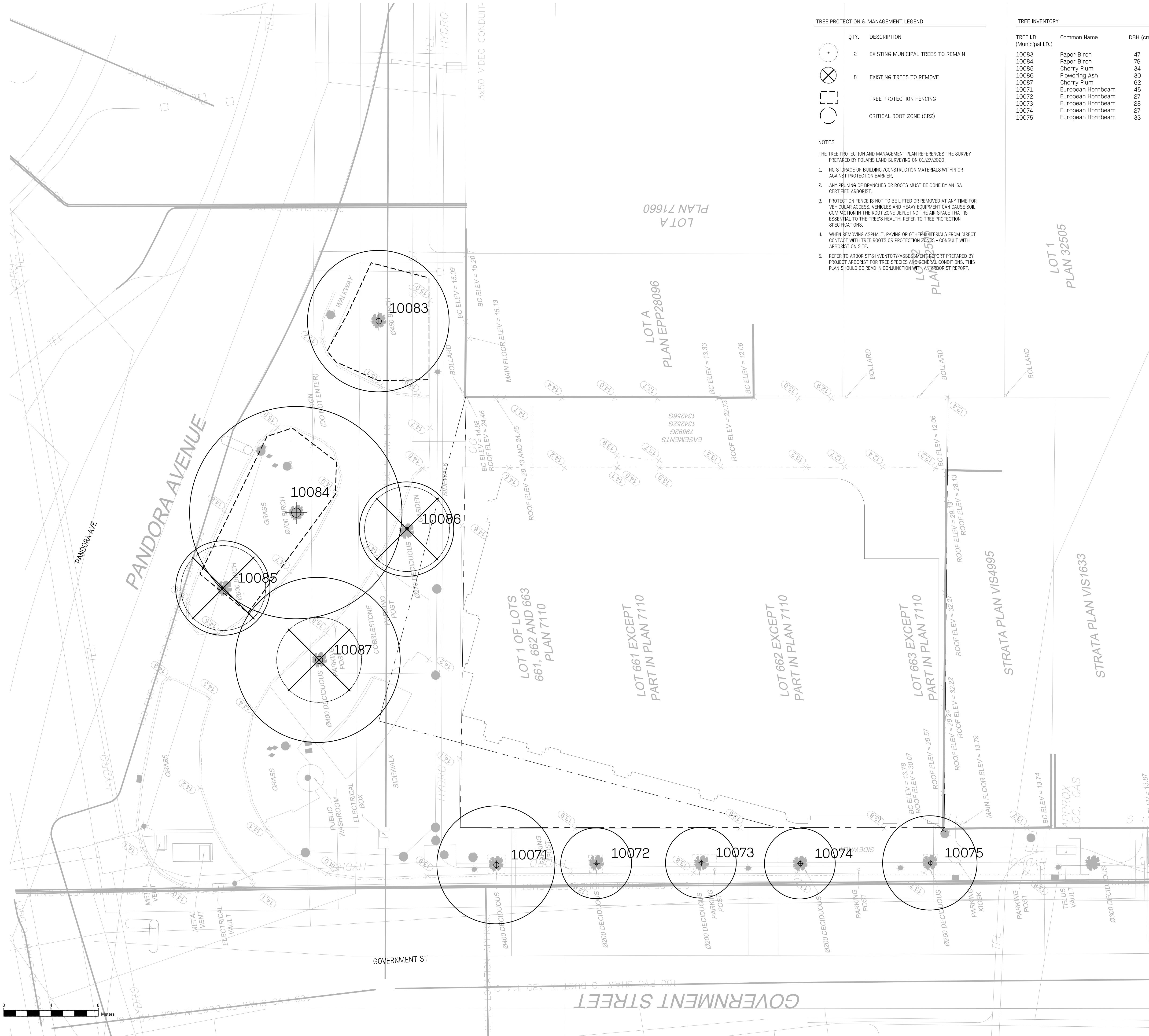
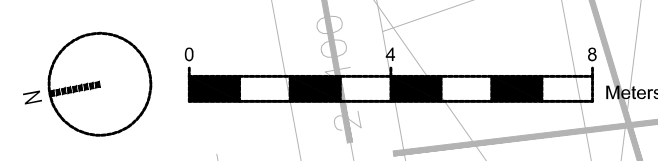


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**Plaza Hotel**  
603 Pandora Ave  
Victoria, BC

**Tree Survey**

Date	Aug. 03/22	Drawing Number	
Project No.	2215		
Scale	1:150		<b>L0.01</b>
Drawn/Checked	kk   JF		



**TREE PROTECTION & MANAGEMENT LEGEND**

QTY.	DESCRIPTION
2	EXISTING MUNICIPAL TREES TO REMAIN
8	EXISTING TREES TO REMOVE
	TREE PROTECTION FENCING
	CRITICAL ROOT ZONE (CRZ)

**NOTES**

THE TREE PROTECTION AND MANAGEMENT PLAN REFERENCES THE SURVEY PREPARED BY POLARIS LAND SURVEYING ON 02/27/2020.

- NO STORAGE OF BUILDING /CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
- ANY PRUNING OF BRANCHES OR ROOTS MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
- PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH. REFER TO TREE PROTECTION SPECIFICATIONS.
- WHEN REMOVING ASPHALT, PAVING OR OTHER MATERIALS FROM DIRECT CONTACT WITH TREE ROOTS OR PROTECTION ZONES - CONSULT WITH ARBORIST ON SITE.
- REFER TO ARBORIST'S INVENTORY/ASSESSMENT REPORT PREPARED BY PROJECT ARBORIST FOR TREE SPECIES AND GENERAL CONDITIONS. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH AN ARBORIST REPORT.

**TREE INVENTORY**

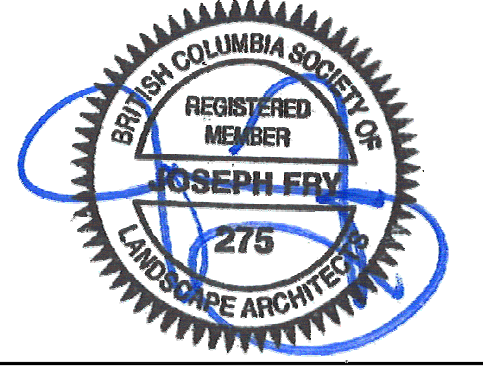
TREE I.D. (Municipal I.D.)	Common Name	DBH (cm)	Crown (m) Spread	CRZ (m)	Structure	Health	Bylaw Status	Recommended Action
10083	Paper Birch	47	15	6	Good	Fair	Municipal	Protect and Retain
10084	Paper Birch	79	18	9	Good	Fair	Municipal	To Be Determined
10085	Cherry Plum	34	9	4	Fair	Fair	Municipal	Remove
10086	Flowering Ash	30	7	4	Good	Good	Municipal	Remove
10087	Cherry Plum	62	7	7	Fair	Poor	Municipal	Remove
10071	European Hornbeam	45	7	5	Good	Good	Municipal	Protect and Retain
10072	European Hornbeam	27	5	3	Good	Good	Municipal	Protect and Retain
10073	European Hornbeam	28	5	3	Good	Good	Municipal	Protect and Retain
10074	European Hornbeam	27	5	3	Good	Good	Municipal	Protect and Retain
10075	European Hornbeam	33	5	4	Good	Good	Municipal	Protect and Retain

# HAPA COLLABORATIVE

Landscape Architecture  
Urban Design  
403 - 375 West Fifth Avenue  
Vancouver BC, V5Y 1J6  
604 909 4150  
hapa.coo.com

- 3 Issued for Rez. / DP Sep. 16/24
- 2 Issued for Rezoning Mar. 7/24
- 1 Issued for CALUC Jan. 29/24

No.	Description	Date
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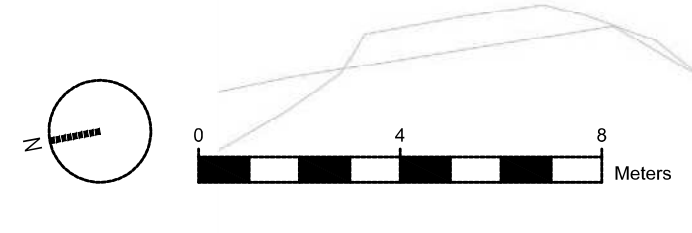
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**Plaza Hotel**

603 Pandora Ave  
Victoria, BC

**Tree Management Plan**

Date	Aug. 03/22	Drawing Number	
Project No.	2215		
Scale	1:150		<b>L0.02</b>
Drawn/Checked	kk   JF		



PANDORA AVE

INNER PLAZA DEFINED BY PERIMETER CIRCULAR BENCHES AND SPECIAL PAVING INTERIOR

GRANITE OUTCROP MISTING FEATURE

PLANTED AREAS WITH LOW PLANTING AND TREES TO PRESERVE SIGHTLINES THROUGH AT EYE LEVEL

SUCCESSIONAL STREET TREES IN PLANTING ALONG GOVERNMENT

GOVERNMENT ST

# HAPA COLLABORATIVE

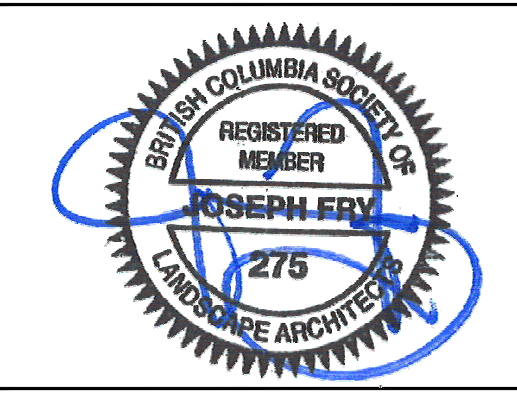
Landscape Architecture  
Urban Design

604 909 4150  
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403 - 375 West Fifth Avenue  
Vancouver, BC, V6Y 1J6

3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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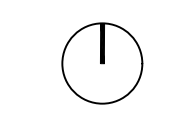


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## Plaza Hotel

603 Pandora Ave  
Victoria, BC

## Concept Plan Ground Level



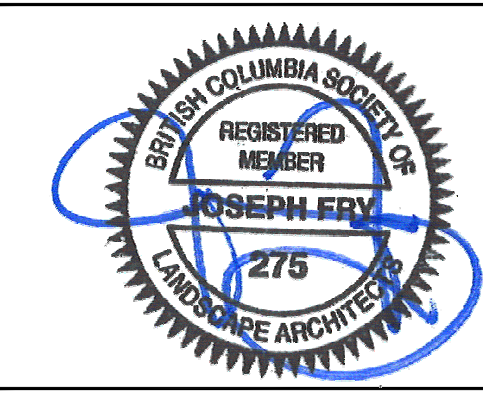
Date	Aug. 03/22	Drawing Number
Project No.	2215	<b>L1.01</b>
Scale	1:100	
Drawn/Checked	kk   JF	



- MOUNDED SHADE-TOLERANT PLANTING
- (6) SMALL SHADE TOLERANT TREES FOR SCREENING
- DECORATIVE GRAVEL ARC AND BORDER

3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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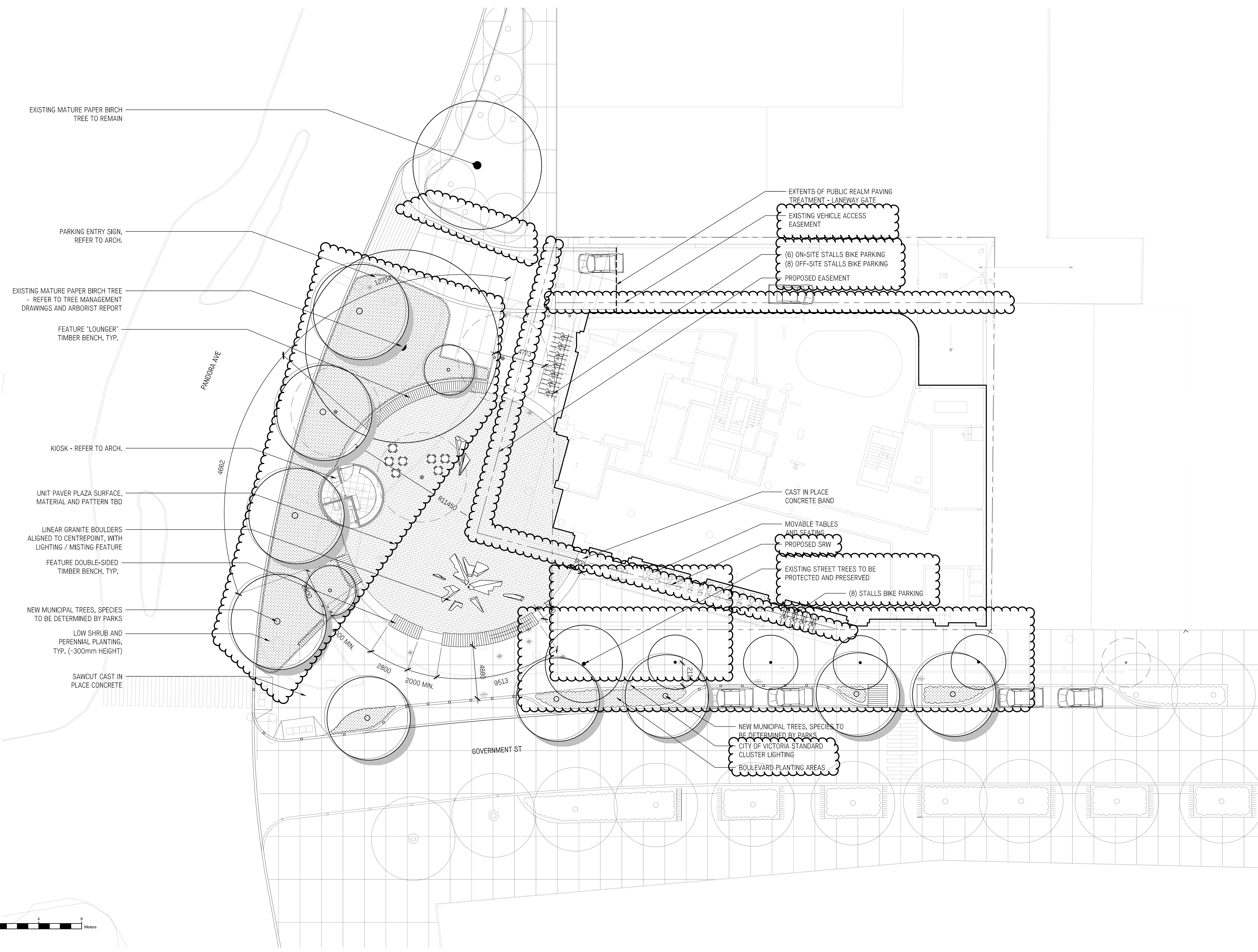


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**Plaza Hotel**  
603 Pandora Ave  
Victoria, BC

**Concept Plan**  
**Level 3**

Date	Aug. 03/22	Drawing Number
Project No.	2215	<b>L1.02</b>
Scale	1:50	
Drawn/Checked	kk   JF	



EXISTING MATURE PAPER BIRCH TREE TO REMAIN

PARKING ENTRY SIGN, REFER TO ARCH.

EXISTING MATURE PAPER BIRCH TREE - REFER TO TREE MANAGEMENT DRAWINGS AND ARBORIST REPORT

FEATURE 'LOUNGER' TIMBER BENCH, TYP.

KIOSK - REFER TO ARCH.

UNIT PAVER PLAZA SURFACE, MATERIAL AND PATTERN TBD

LINEAR GRANITE BOULDERS ALIGNED TO CENTREPOINT, WITH LIGHTING / MISTING FEATURE

FEATURE DOUBLE-SIDED TIMBER BENCH, TYP.

NEW MUNICIPAL TREES, SPECIES TO BE DETERMINED BY PARKS

LOW SHRUB AND PERENNIAL PLANTING, TYP. (~300mm HEIGHT)

SAWCUT CAST IN PLACE CONCRETE

EXTENTS OF PUBLIC REALM PAVING TREATMENT - LANEWAY GATE

EXISTING VEHICLE ACCESS EASEMENT

(6) ON-SITE STALLS BIKE PARKING  
(8) OFF-SITE STALLS BIKE PARKING

PROPOSED EASEMENT

CAST IN PLACE CONCRETE BAND

MOVABLE TABLES AND SEATING

PROPOSED SRW

EXISTING STREET TREES TO BE PROTECTED AND PRESERVED

(8) STALLS BIKE PARKING

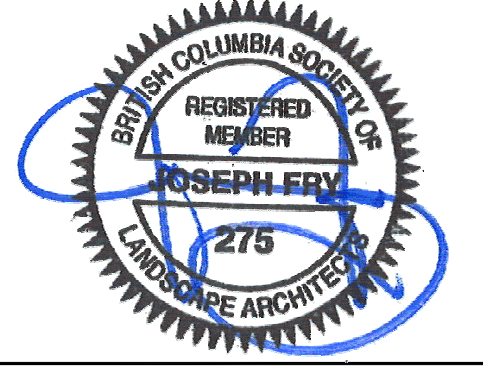
NEW MUNICIPAL TREES, SPECIES TO BE DETERMINED BY PARKS

CITY OF VICTORIA STANDARD CLUSTER LIGHTING

BOULEVARD PLANTING AREAS

3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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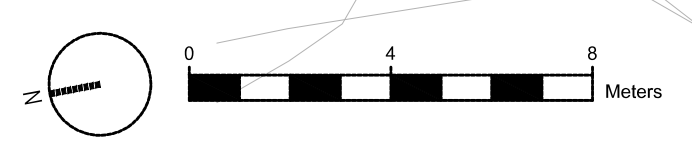
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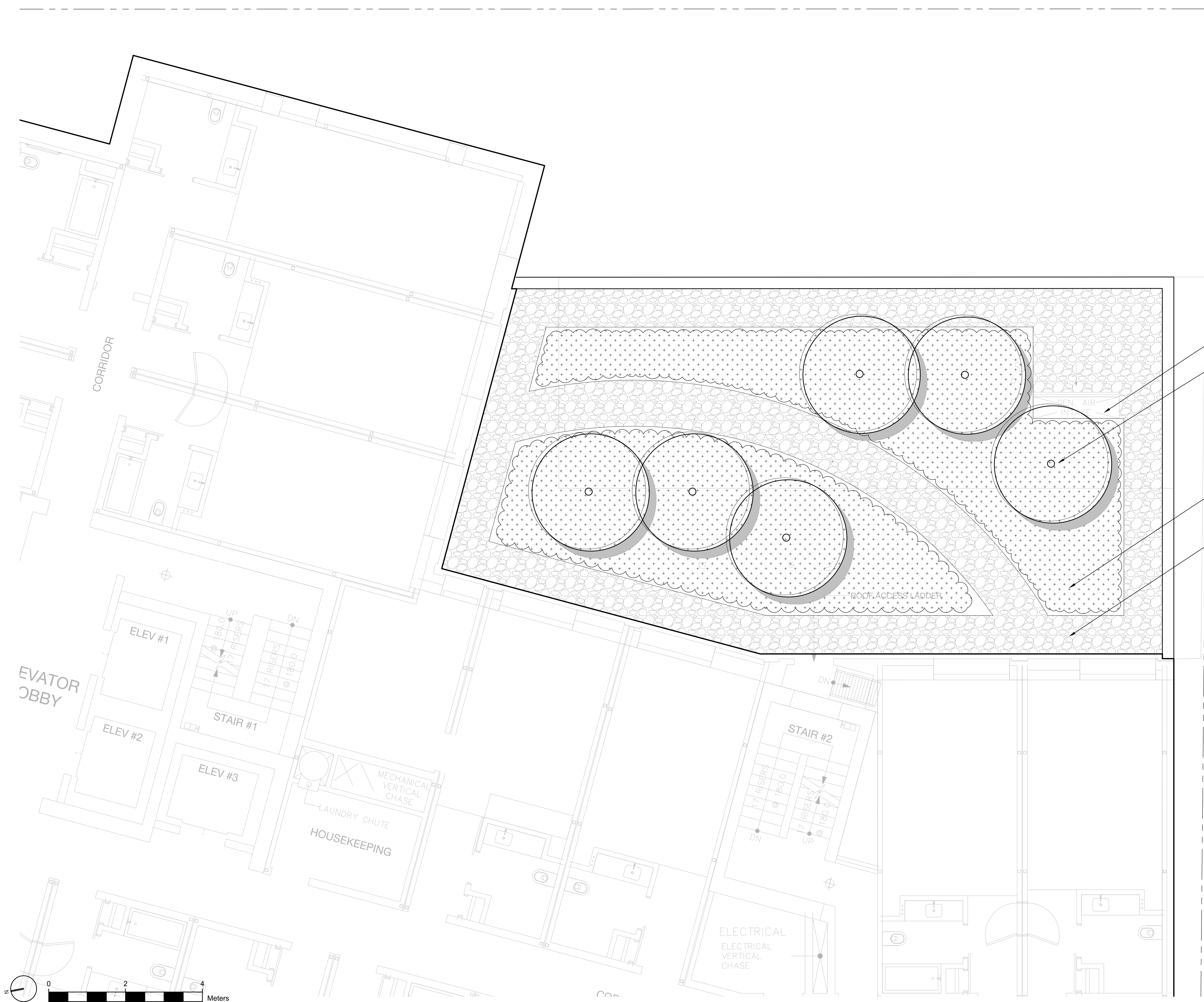
### Plaza Hotel

603 Pandora Ave  
Victoria, BC

### Landscape Plan

Date	Aug. 03/22	Drawing Number
Project No.	2215	<b>L1.11</b>
Scale	1:150	
Drawn/Checked	kk   JF	





AIR INTAKE UNIT, REFER TO MECH.

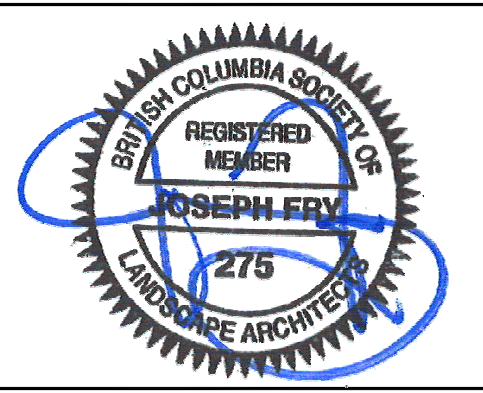
TREES PLANTED ON BERMED MOUNDS TO PROVIDE SUFFICIENT SOIL VOLUME

SHADE-TOLERANT PLANTING

DECORATIVE GRAVEL BORDER AND ARC

3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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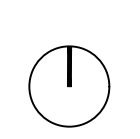


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## Plaza Hotel

603 Pandora Ave  
Victoria, BC

## Landscape Plan

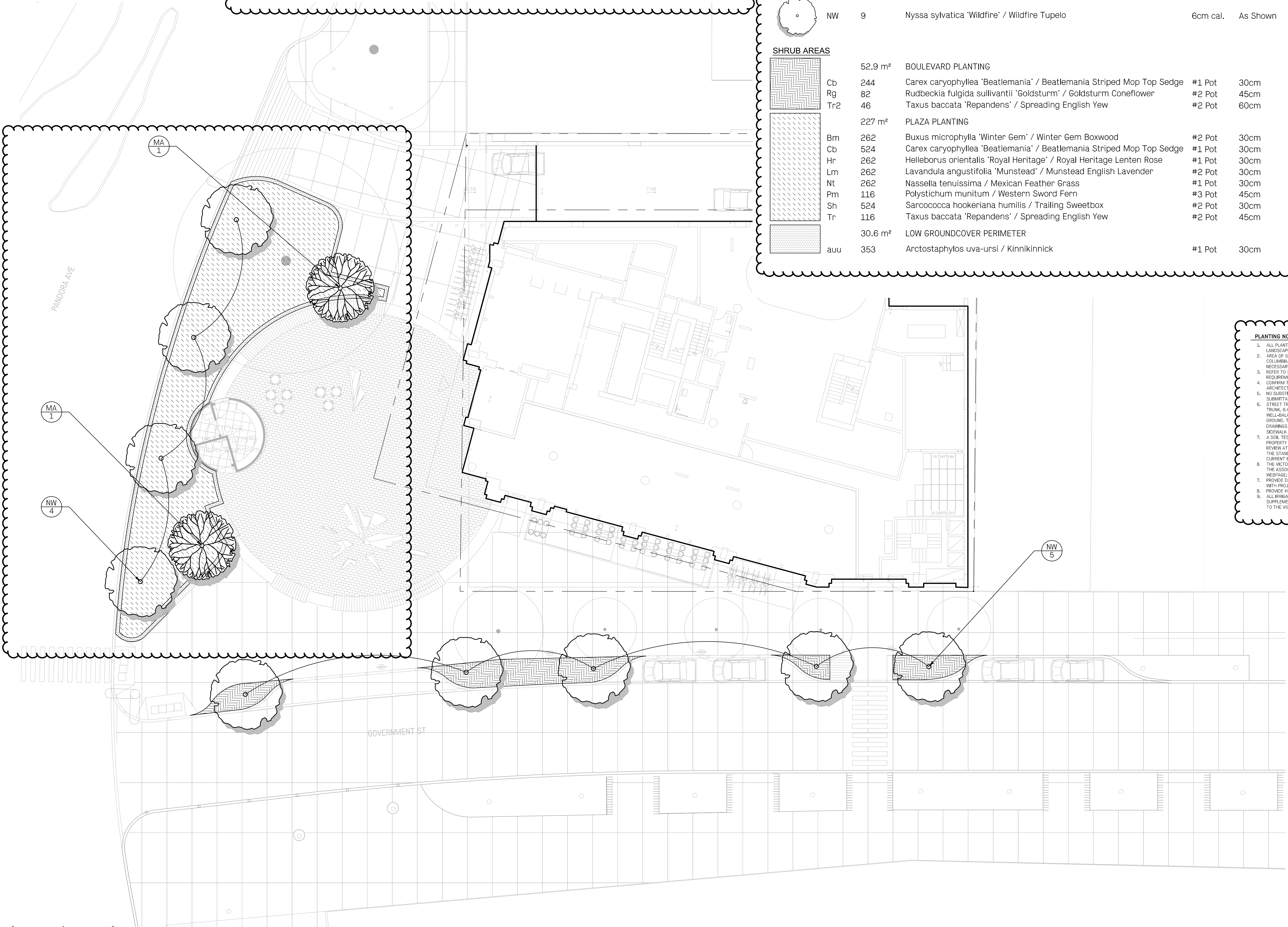


Date	Aug. 03/22	Drawing Number
Project No.	2215	<b>L1.11</b>
Scale	1:50	
Drawn/Checked	kk   JF	

Planting Area ID	Area (m2)	Soil Volume Multiplier*	A. Estimated soil volume	Replacement Trees Proposed			Soil Volume Required (m3)			Total	
				B. #Small	C. #Medium	D. #Large	E. Small	F. Medium	G. Large		
Onsite											
Planting Area 1	47	varies	40.22 cu.m.	3			3			18 cu.m.	
Planting Area 2	42	varies	23 cu.m.	3			3			18 cu.m.	
Offsite (excluding City Property)											
Calculation Instructions											
							E	F	G	Total	
							Calculation	If B=1, Bx8 If B>1, Bx6	If C=1, Cx20 If C>1, Cx15	If D=1, Dx35 If D>1, Dx30	
							36	0	0	0 36 cu.m.	

## PLANT SCHEDULE

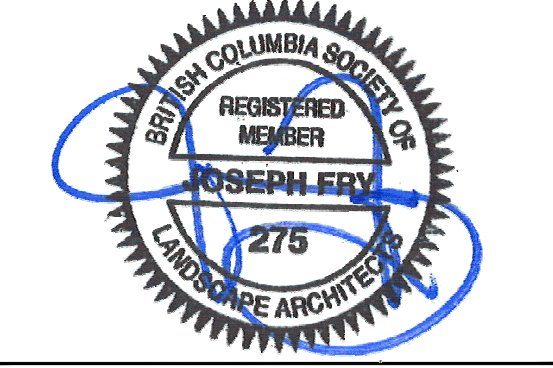
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS	REMARKS	
<b>TREES</b>								
	MA	2	Maackia amurensis / Amur Maackia	6cm cal.	As Shown	B&B, Well Branched, Dense Tree		
	NW	9	Nyssa sylvatica 'Wildfire' / Wildfire Tupelo	6cm cal.	As Shown	B&B, Well Branched, Dense Tree		
<b>SHRUB AREAS</b>								
		52.9 m <sup>2</sup>	<b>BOULEVARD PLANTING</b>					
	Cb	244	Carex caryophylla 'Beatlemania' / Beatlemania Striped Mop Top Sedge	#1 Pot	30cm			
	Rg	82	Rudbeckia fulgida sullivantii 'Goldsturm' / Goldsturm Coneflower	#2 Pot	45cm			
	Tr2	46	Taxus baccata 'Repandens' / Spreading English Yew	#2 Pot	60cm			
		227 m <sup>2</sup>	<b>PLAZA PLANTING</b>					
	Bm	262	Buxus microphylla 'Winter Gem' / Winter Gem Boxwood	#2 Pot	30cm			
	Cb	524	Carex caryophylla 'Beatlemania' / Beatlemania Striped Mop Top Sedge	#1 Pot	30cm			
	Hr	262	Helleborus orientalis 'Royal Heritage' / Royal Heritage Lenten Rose	#1 Pot	30cm			
	Lm	262	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#2 Pot	30cm			
	Nt	262	Nassella tenuissima / Mexican Feather Grass	#1 Pot	30cm			
	Pm	116	Polystichum munitum / Western Sword Fern	#3 Pot	45cm			
	Sh	524	Sarcococca hookeriana humilis / Trailing Sweetbox	#2 Pot	30cm			
	Tr	116	Taxus baccata 'Repandens' / Spreading English Yew	#2 Pot	45cm			
		30.6 m <sup>2</sup>	<b>LOW GROUNDCOVER PERIMETER</b>					
	auu	353	Arctostaphylos uva-ursi / Kinnikinnick	#1 Pot	30cm			



- PLANTING NOTES**
- ALL PLANT MATERIAL TO CNLA AND BCSLA STANDARDS. REFER TO THE CNLA LANDSCAPE STANDARDS, LATEST EDITION.
  - AREA OF SEARCH FOR PLANT MATERIAL: PACIFIC NORTHWEST, INCLUDING BRITISH COLUMBIA, WASHINGTON AND OREGON. FURTHER SEARCH TO BE TAKEN IF NECESSARY.
  - REFER TO SPECIFICATION FOR GENERAL CONDITIONS, MATERIALS AND INSTALLATION REQUIREMENTS.
  - CONFIRM TREE PLANTING LOCATIONS, AND PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE.
  - NO SUBSTITUTIONS OF ANY PLANT MATERIAL WILL BE APPROVED WITHOUT SUBMITTAL REVIEW AND APPROVAL BY THE CLIENT/LANDSCAPE ARCHITECT.
  - STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6.0 CM DIAMETER CALIPER MEASURED 15 CM ABOVE GROUND, AND A WELL-BALANCED CROWN WITH BRANCHING STARTING AT 1.8 M - 2.5 M ABOVE GROUND. TREES MUST BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWINGS SD P4 (TREE PLANTING IN BOULEVARD) AND SD P5 (TREE PLANTING IN SIDEWALK WITH TREE GUARD) AND THE CANADIAN LANDSCAPE STANDARD.
  - A SOIL TEST FOR THE GROWING MEDIA, FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS TREEPERMITS@VICTORIA.CA FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
  - THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICES BYLAW NO. 12-042 AND THE ASSOCIATED SCHEDULES CAN BE FOUND ON THE CITY OF VICTORIA BYLAWS WEBSITE.
  - PROVIDE DESIGN BUILD IRRIGATION FOR ALL PLANTER AREAS ON SITE IN COMPLIANCE WITH PROJECT SPECIFICATION, STUBOUT LOCATIONS AS PER MECHANICAL.
  - PROVIDE HIGH EFFICIENCY IRRIGATION.
  - ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICES BYLAW 12-042, AND

- 3 Issued for Rez. / DP Sep. 16/24
- 2 Issued for Rezoning Mar. 7/24
- 1 Issued for CALUC Jan. 29/24

No.	Description	Date
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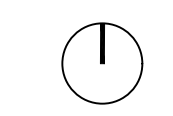


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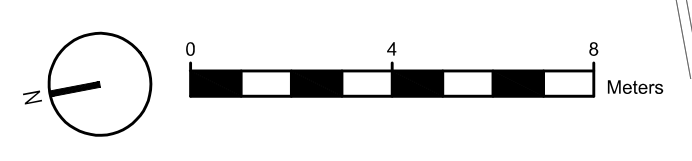
### Plaza Hotel

603 Pandora Ave  
Victoria, BC

### Planting Plan

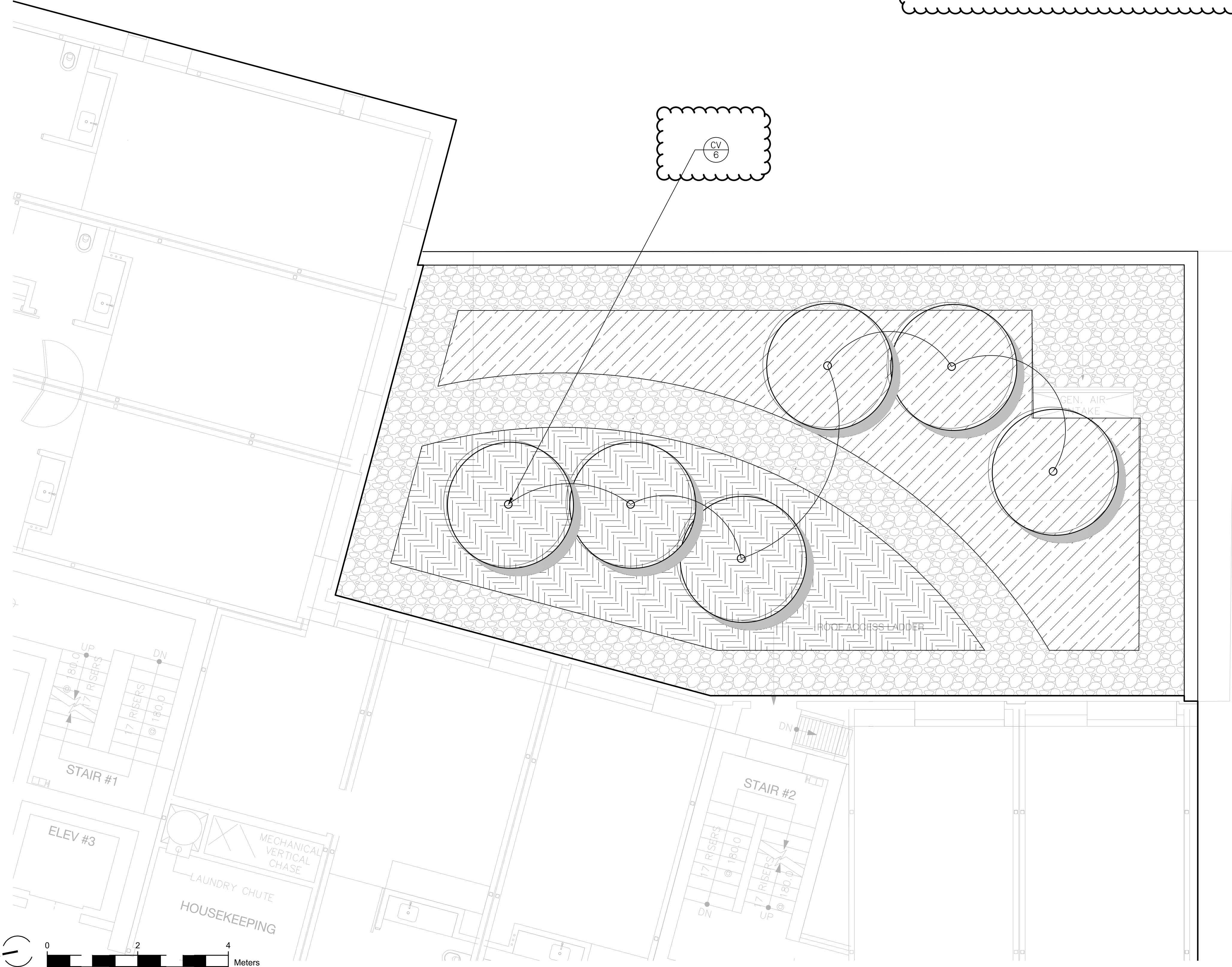


Date	Aug. 03/22	Drawing Number
Project No.	2215	
Scale	1:150	<b>L1.41</b>
Drawn/Checked	kk   JF	



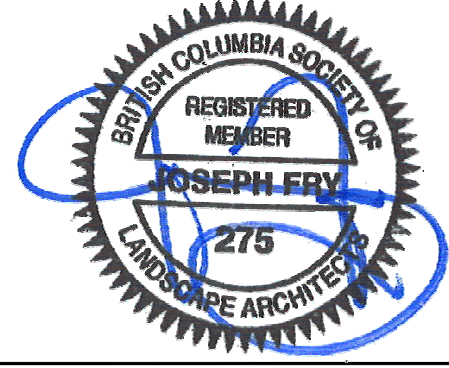
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS	REMARKS
<b>TREES</b>							
	CV	6	Cornus x 'KN30-8' / Venus® Dogwood	6cm cal.	As Shown	B&B, Well Branched, Dense Tree	
<b>SHRUB AREAS</b>							
	Cp	244	Carex pensylvanica / Pennsylvania Sedge	#2 Pot			
	Gs	65	Gaultheria shallon / Salal	#2 Pot			
	St	24	Spiraea betulifolia 'Tor Gold' / Glow Girl® Birchleaf Spirea	#2 Pot			
	<b>ROOFTOP PLANTING 2</b>						
	Hr	55	Helleborus orientalis 'Royal Heritage' / Royal Heritage Lenten Rose	#1 Pot	30cm		
	Md	109	Maianthemum dilatatum / False Lily-of-the-Valley	#2 Pot			
	Pm	73	Polystichum munitum / Western Sword Fern	#3 Pot	45cm		
	Sh	164	Sarcococca hookeriana humilis / Trailing Sweetbox	#2 Pot	30cm		
	Tr	24	Taxus baccata 'Repandens' / Spreading English Yew	#2 Pot	45cm		



- 3 Issued for Rez. / DP Sep. 16/24
- 2 Issued for Rezoning Mar. 7/24
- 1 Issued for CALUC Jan. 29/24

No.	Description	Date
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**Plaza Hotel**  
 603 Pandora Ave  
 Victoria, BC

**Landscape Plan**

Date	Aug. 03/22	Drawing Number
Project No.	2215	<b>L1.11</b>
Scale	1:50	
Drawn/Checked	kk   JF	



1 View from Pandora and Government  
L2.01



2 View North Along Building Face  
L2.01



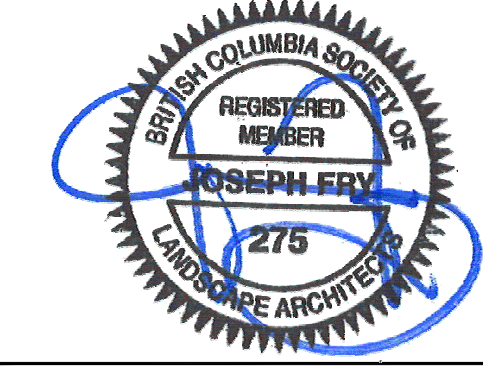
3 View into Plaza from Pandora and Government  
L2.01



4 View of Plaza from Hotel Lobby  
L2.01

3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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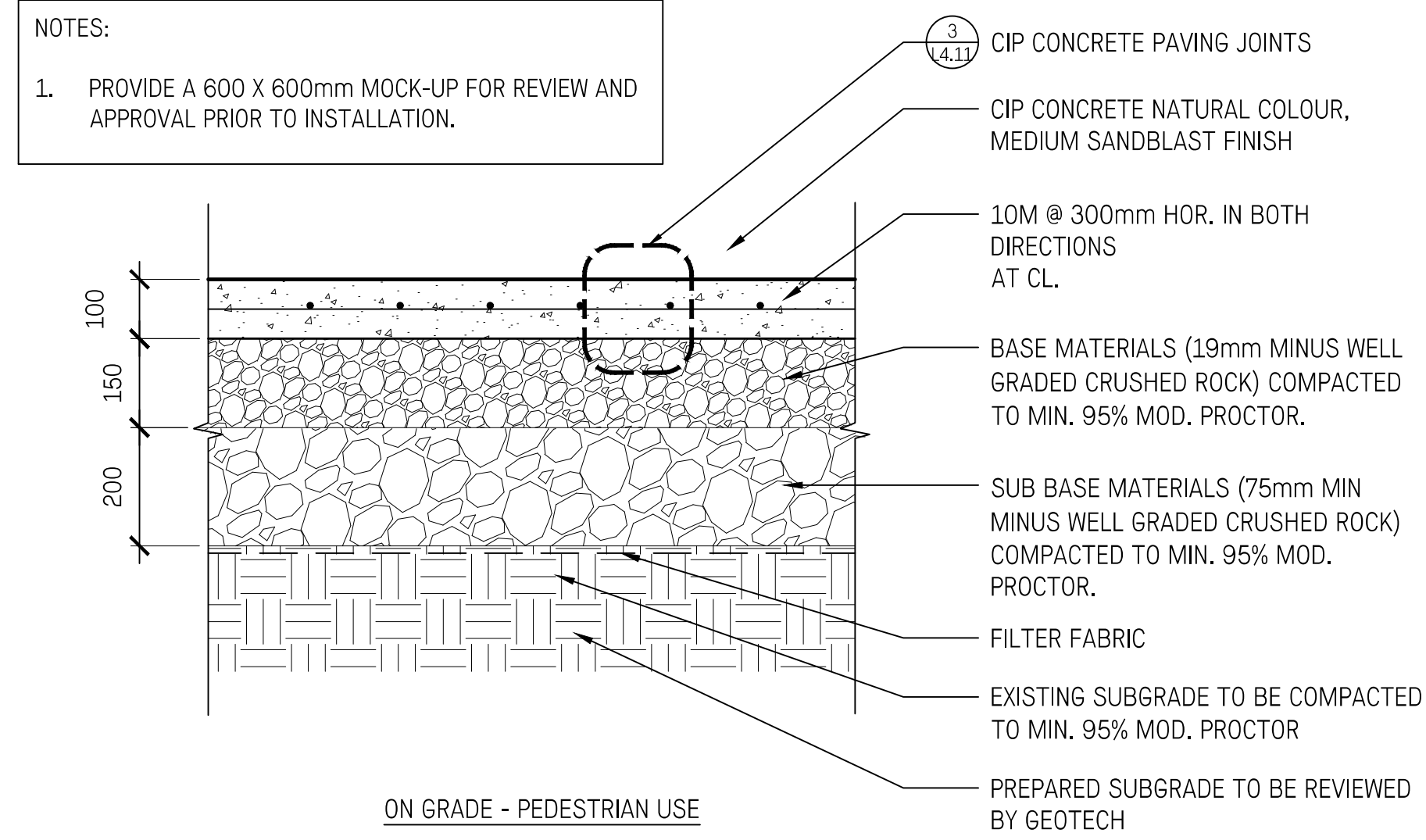


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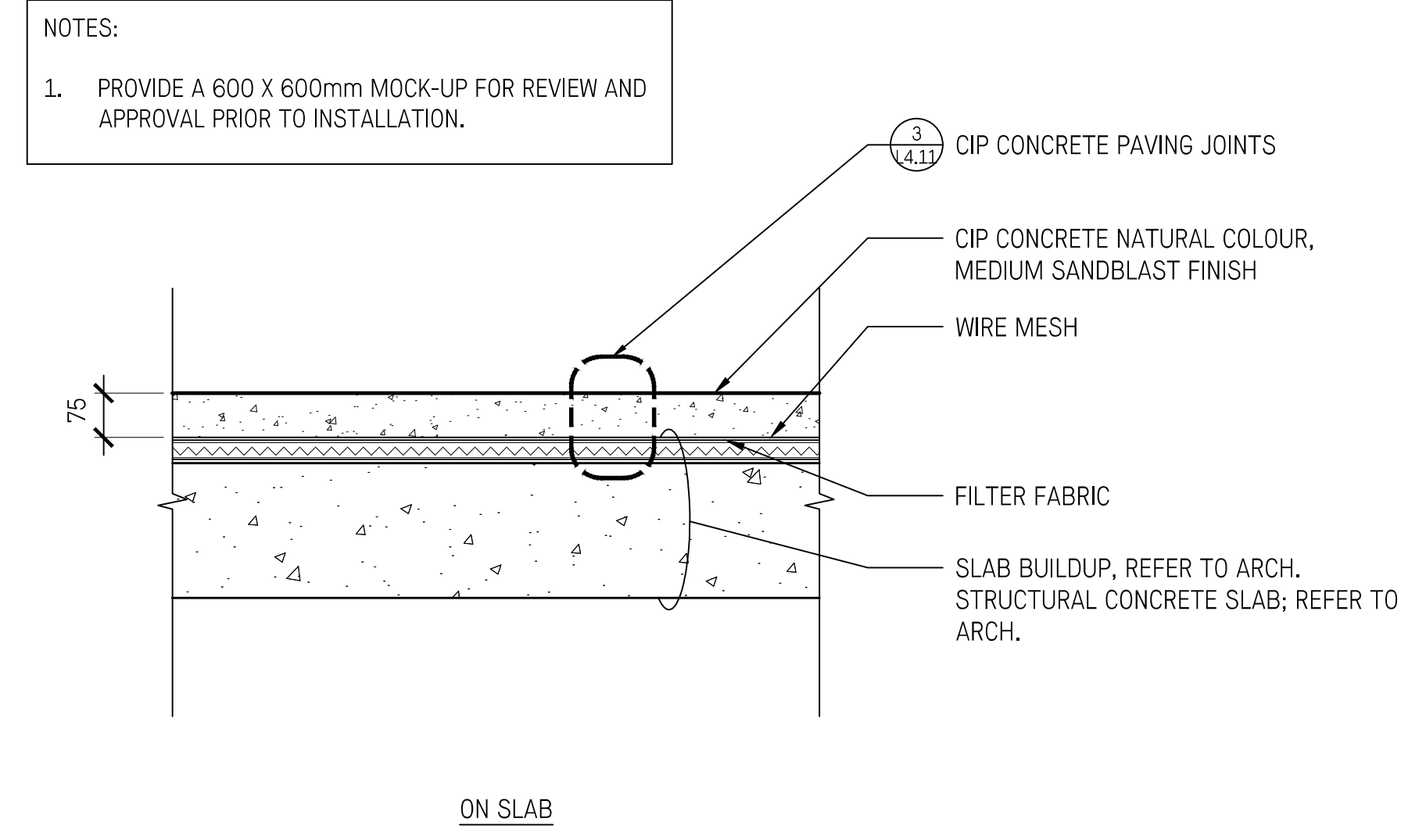
**Plaza Hotel**  
603 Pandora Ave  
Victoria, BC

**Site Perspectives**

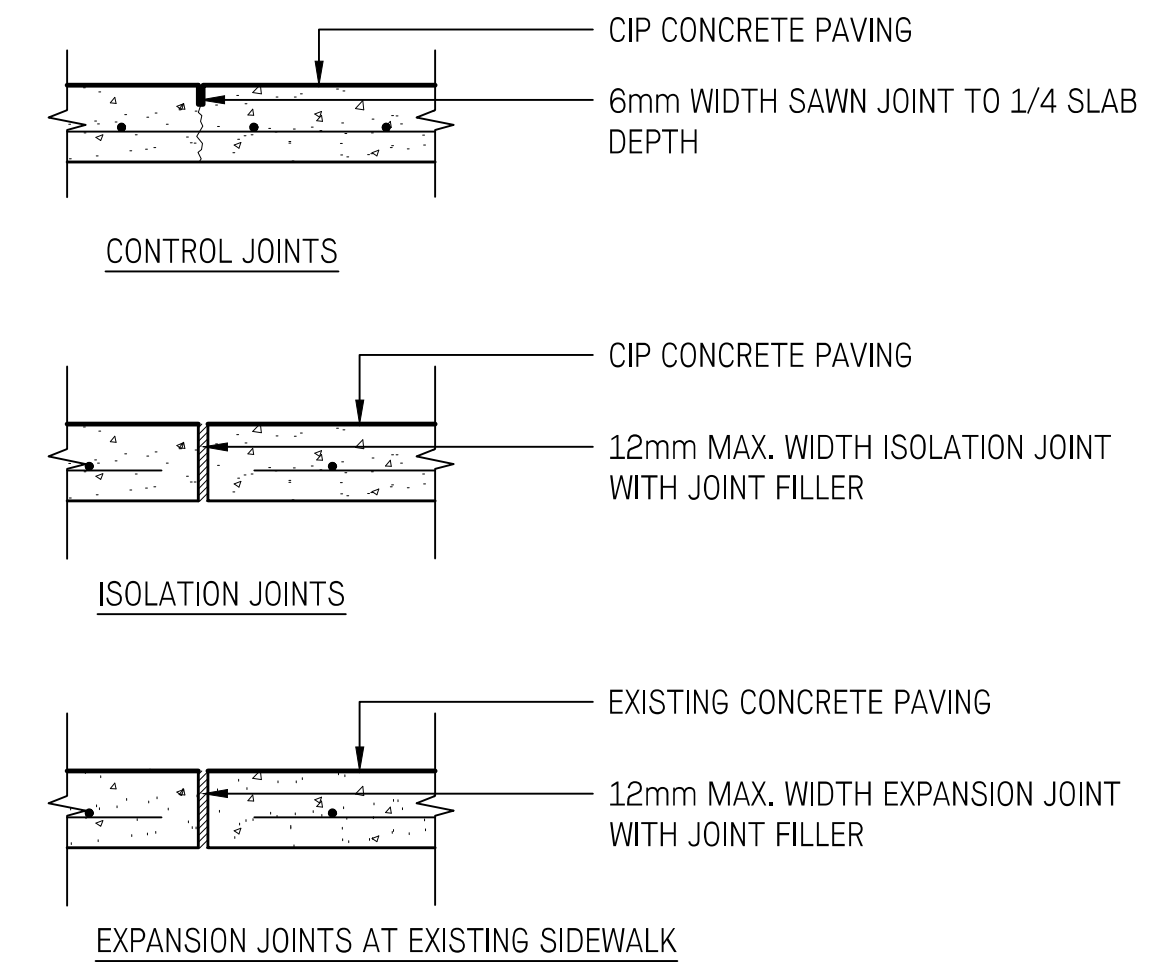
Date	Aug. 03/22	Drawing Number
Project No.	2215	<b>L2.01</b>
Scale	1:100	
Drawn/Checked	kk   JF	



1  
L4.11 PAVING TYPE A - CIP CONCRETE ON GRADE  
1:10

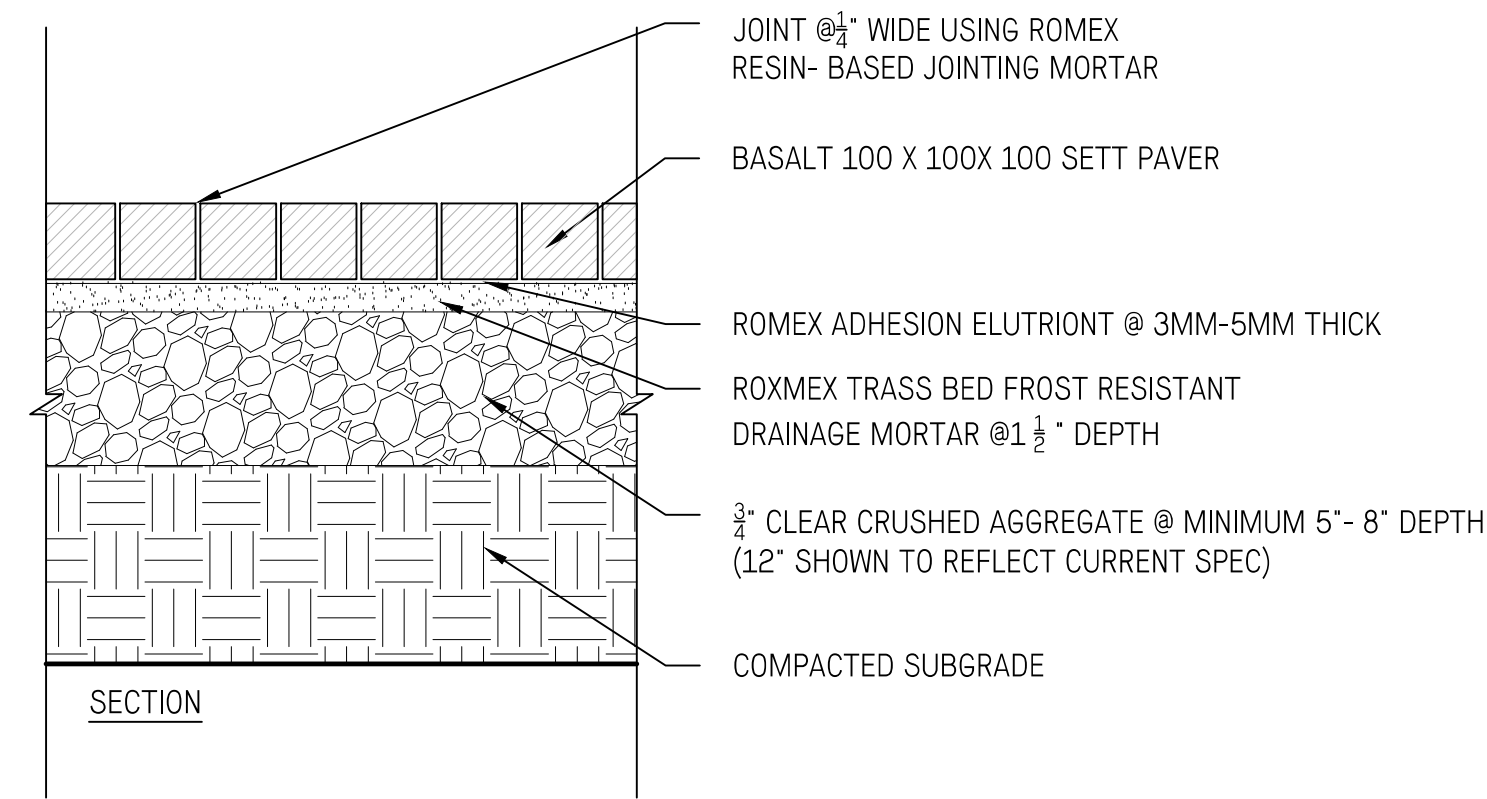


2  
L4.11 PAVING TYPE B - CIP CONCRETE ON SLAB  
1:10



3  
L4.11 CIP CONCRETE PAVING JOINTS  
1:10

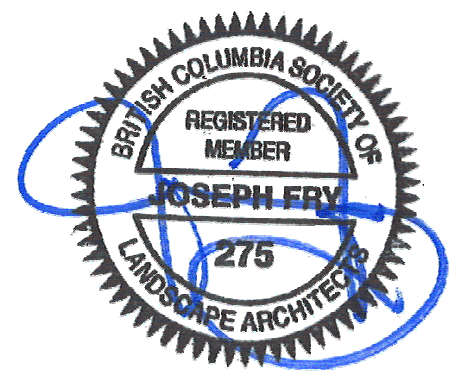
- NOTES:
1. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH;
  2. CUT JOINTS BEFORE RANDOM CRACKING OCCURS;
  3. C-2 SAWCUT CONTROL JOINTS WITHIN 18 HOURS OF FINISHING SLABS REFER TO LAYOUT PLAN.
  4. PROVIDE ISOLATION JOINTS: AS SHOWN ON PLAN; BETWEEN POURS; AT CHANGE IN MATERIALS; AT EDGES ABUTTING STRUCTURES AND OTHER FIXED ELEMENTS; AT MAX. 6.0m O.C.
  5. ENSURE CLEAN CUT EDGE OF EXISTING PAVING ALONG PROPERTY LINE.



4  
L4.11 PERMEABLE STONE PAVER  
1:10

No.	Description	Date
3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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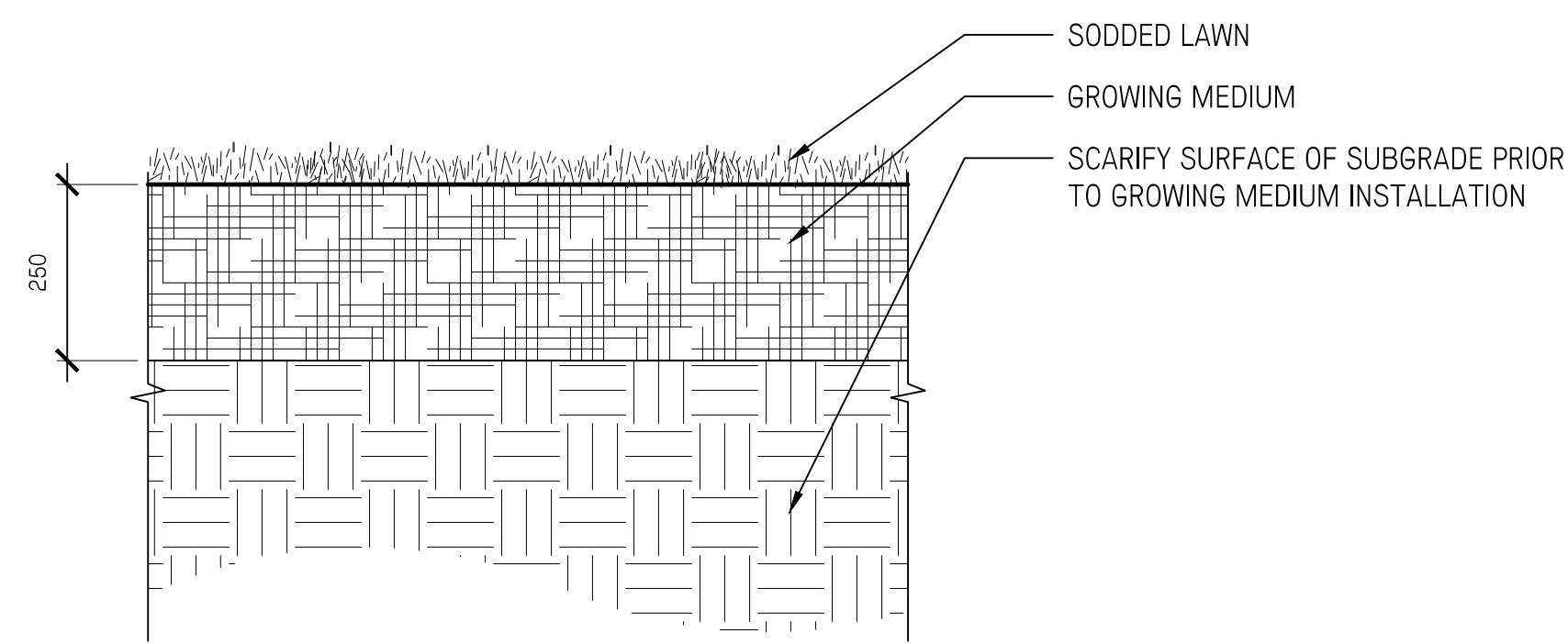
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**Plaza Hotel**

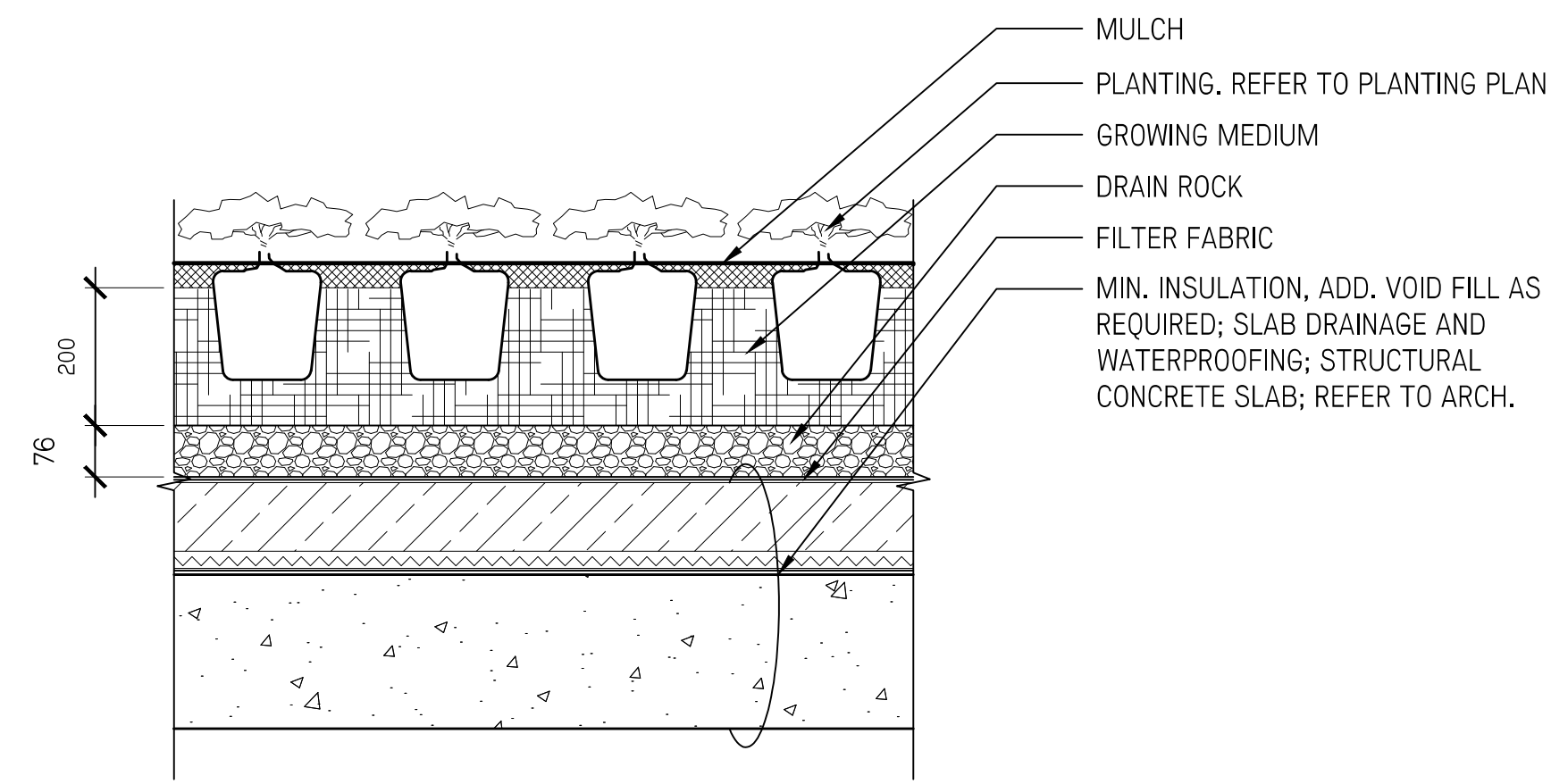
603 Pandora Ave  
Victoria, BC

**Landscape Details  
Paving**

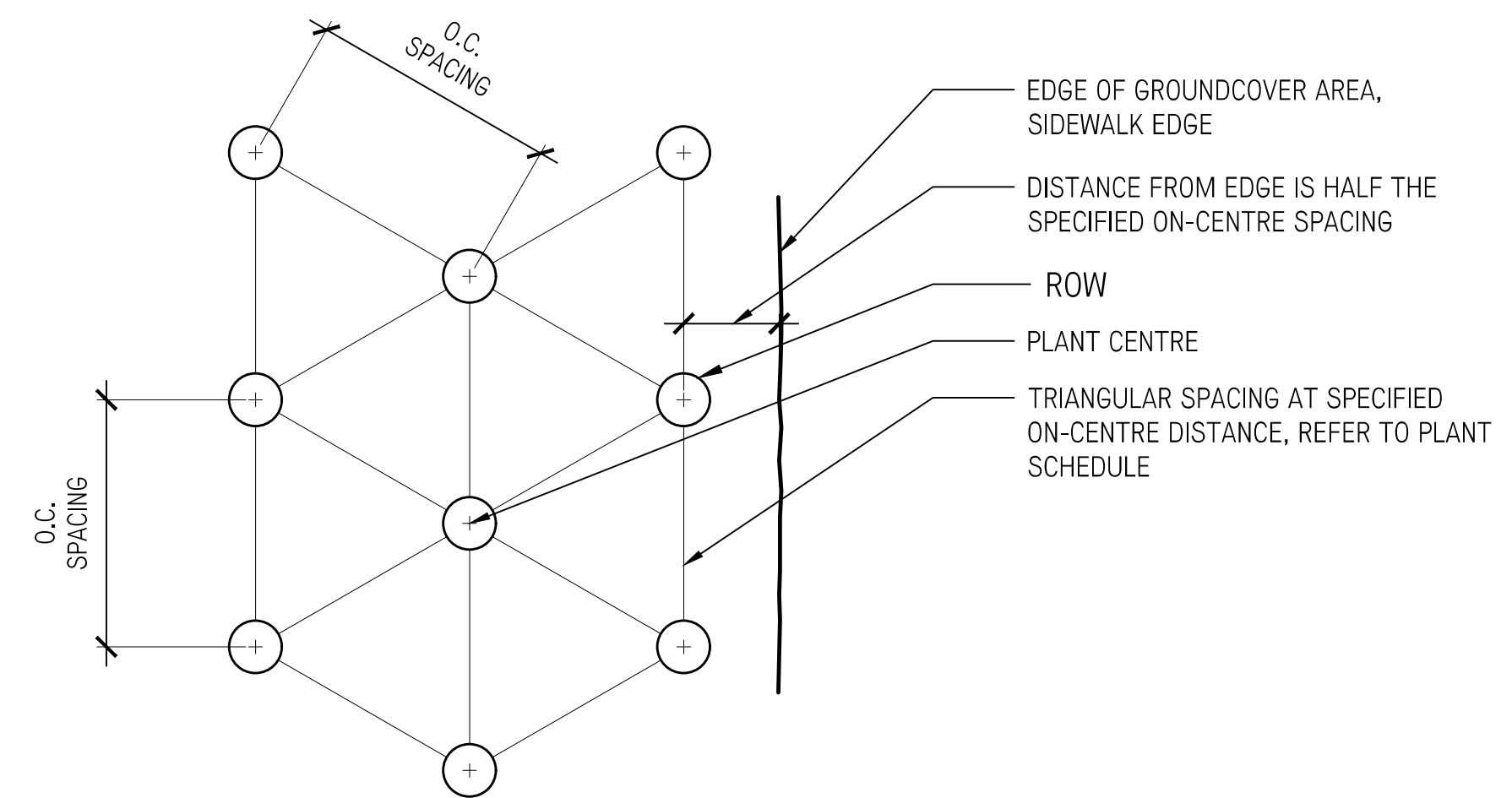
Date	Aug. 03/22	Drawing Number
Project No.	2215	
Scale	1:100	<b>L4.11</b>
Drawn/Checked	kk   JF	



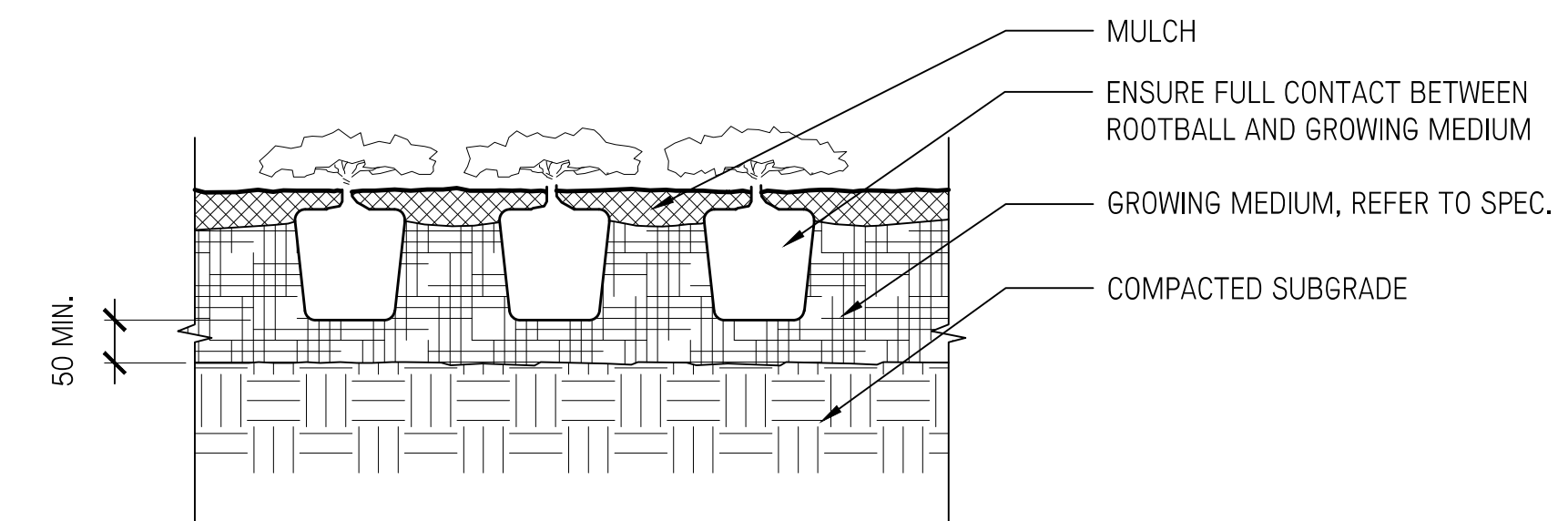
LAWN PLANTING



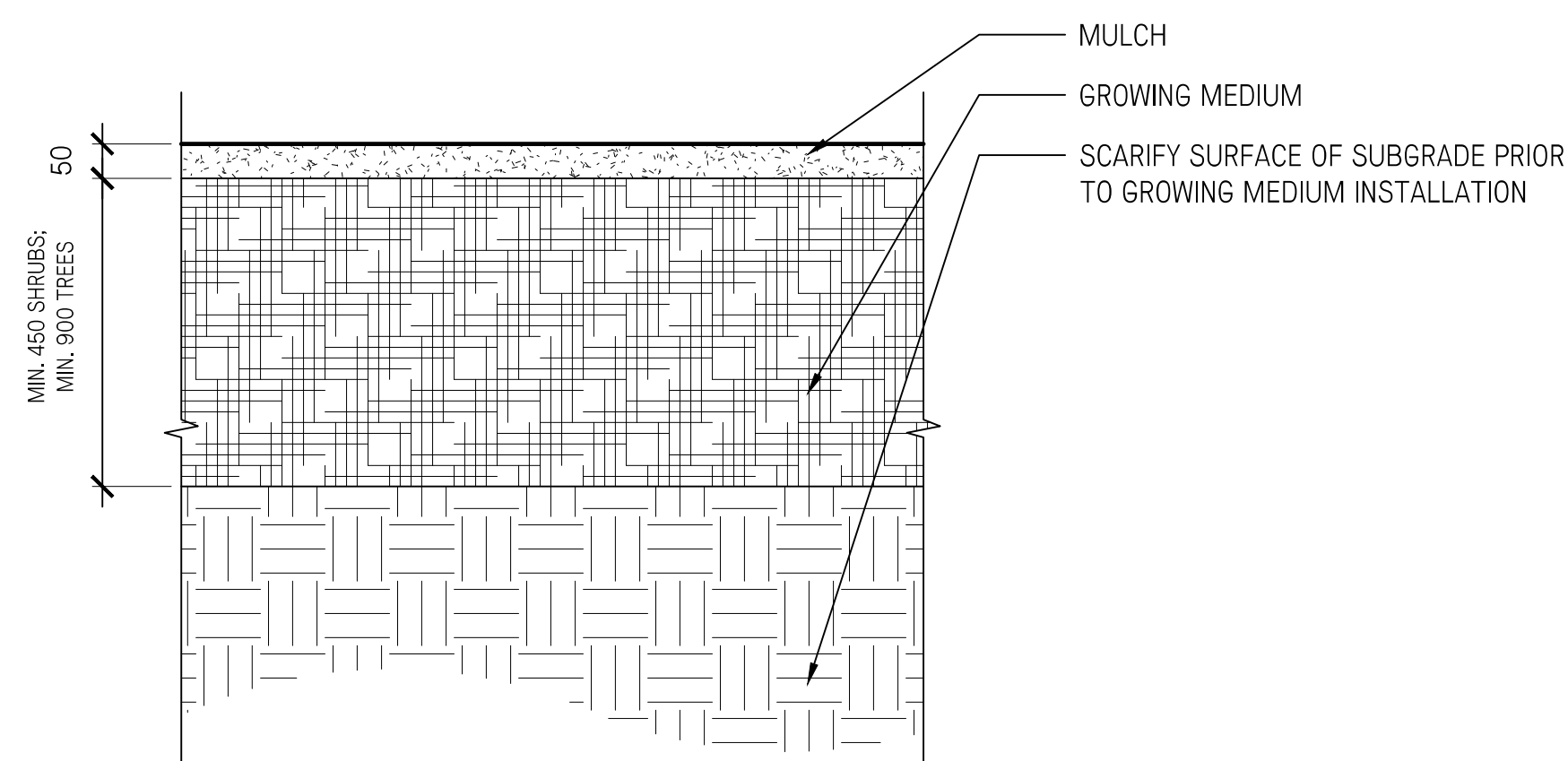
SHRUB PLANTING



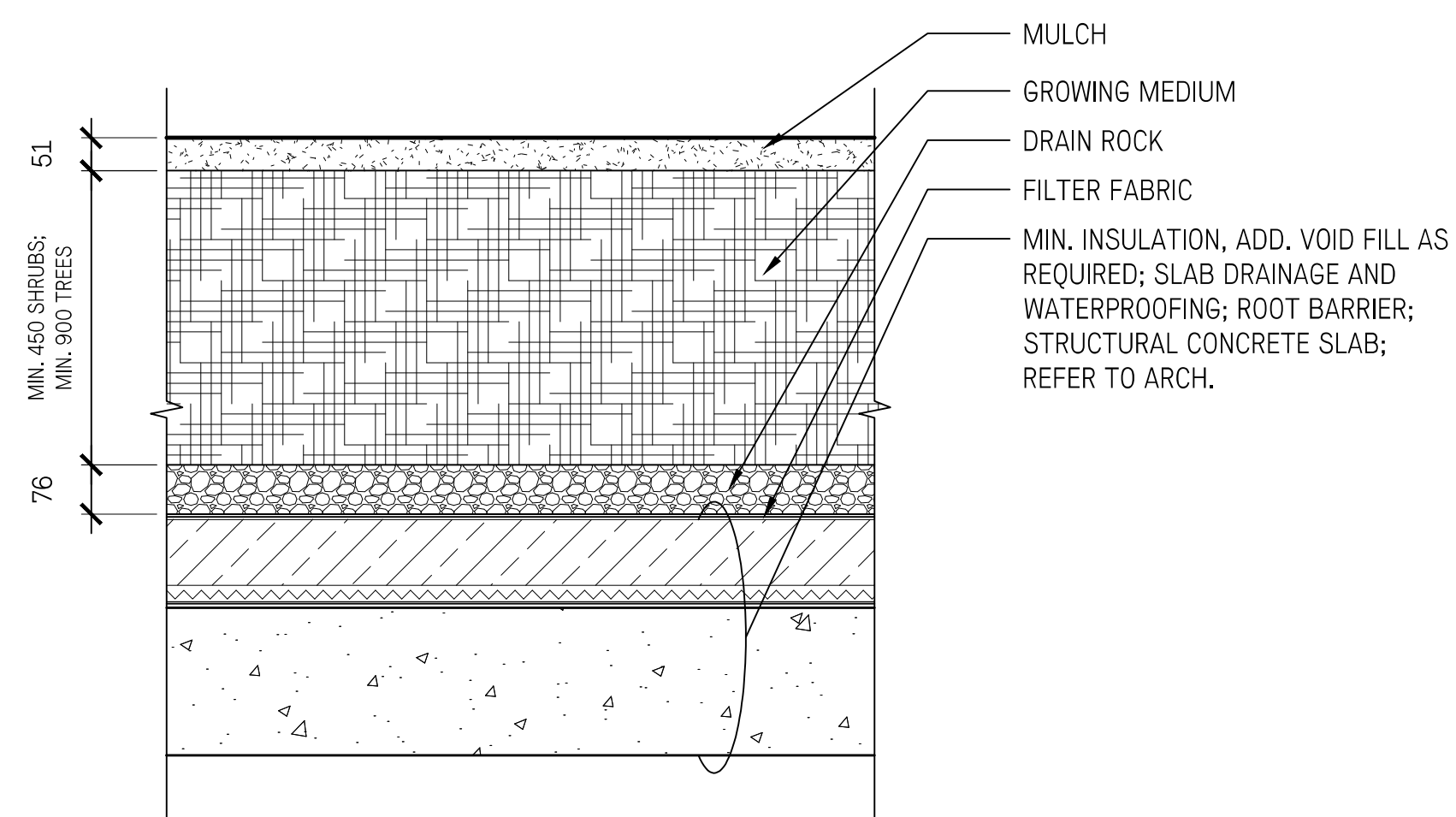
SPACING PLAN



GROUND COVER PLANTING



SHRUB/TREE PLANTING

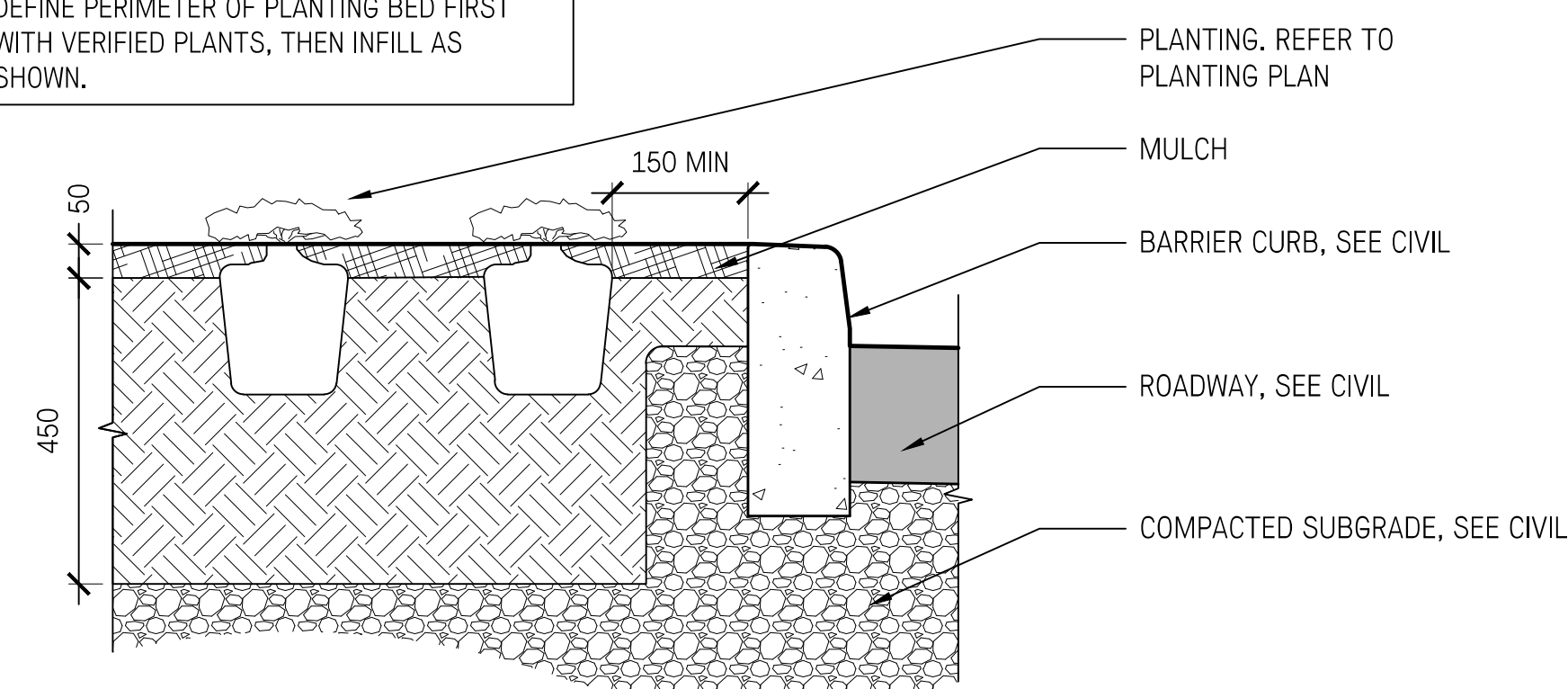


SHRUB/TREE PLANTING

1 SOIL PROFILES ON GRADE  
L4.41 1:10

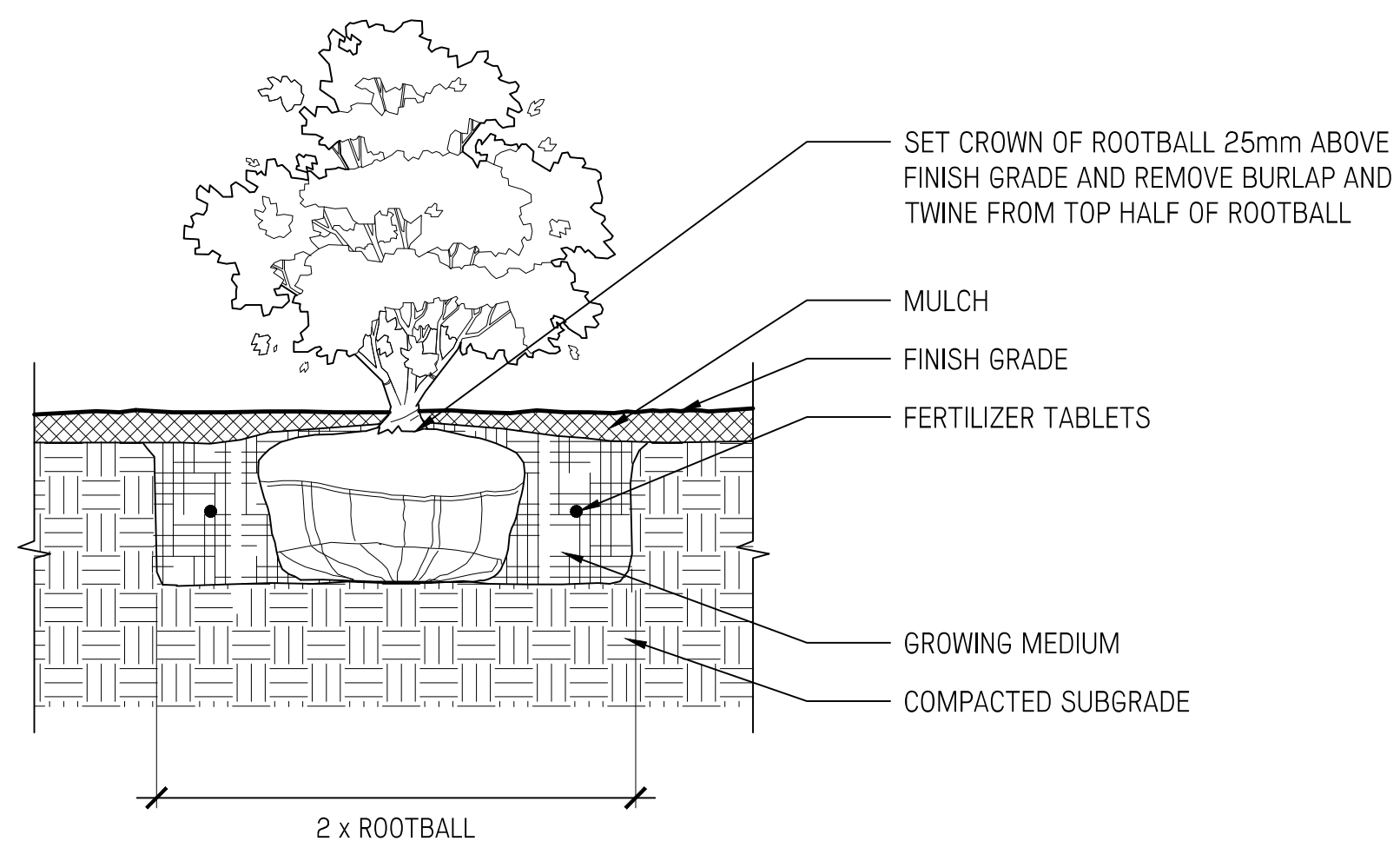
2 SOIL PROFILES ON SLAB  
L4.41 1:10

- NOTES:
1. PROVIDE A MINIMUM 150 mm GAP BETWEEN PLANTING AND EDGE OF CURB;
  2. DEFINE PERIMETER OF PLANTING BED FIRST WITH VERIFIED PLANTS, THEN INFILL AS SHOWN.



GROUND COVER/SHRUB PLANTING SECTION NEXT TO CURB

4 SHRUB PLANTING NEXT TO CURB  
L4.41 1:10



5 SHRUB PLANTING  
L4.41 1:10

No.	Description	Date
3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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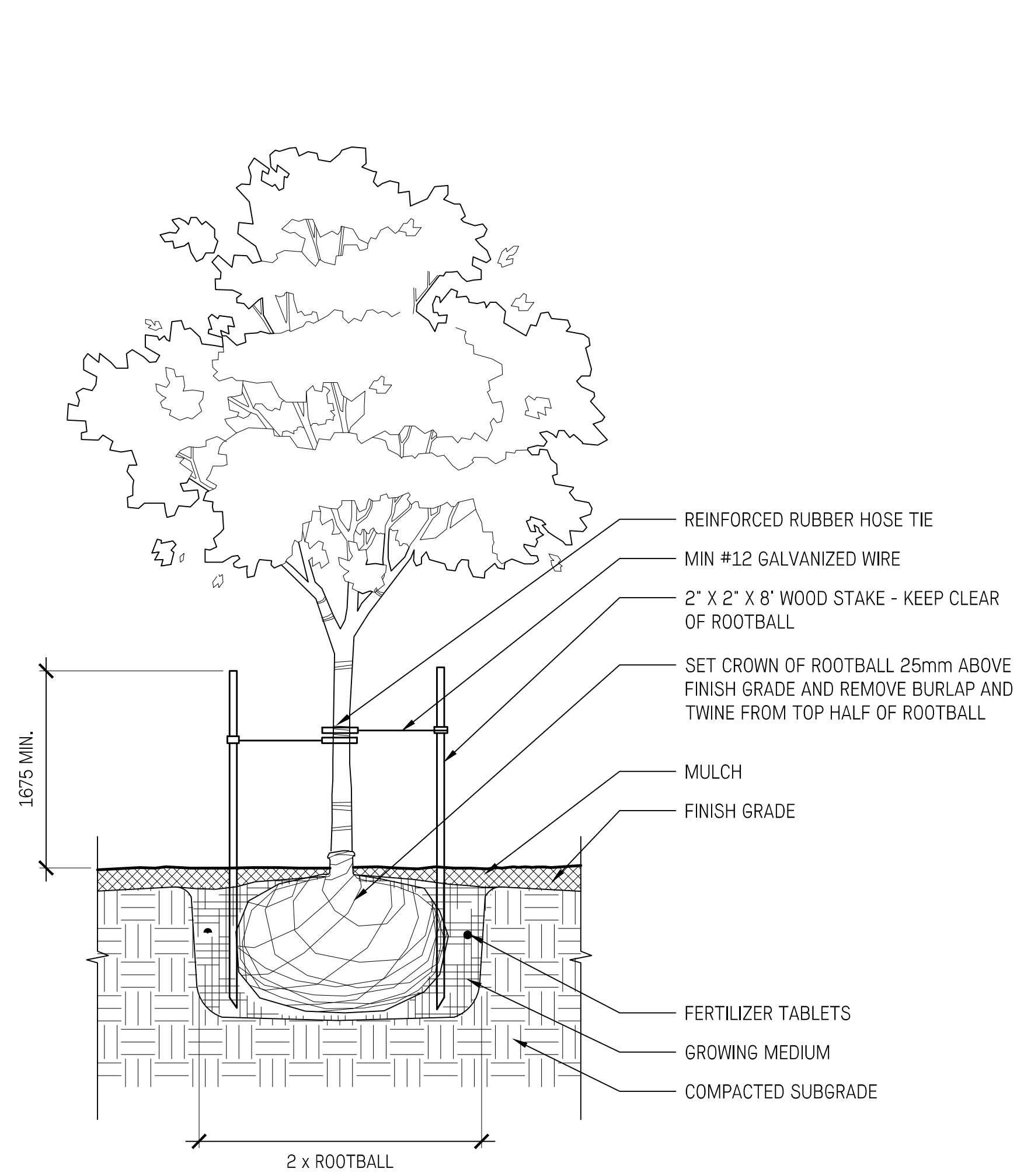
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**Plaza Hotel**

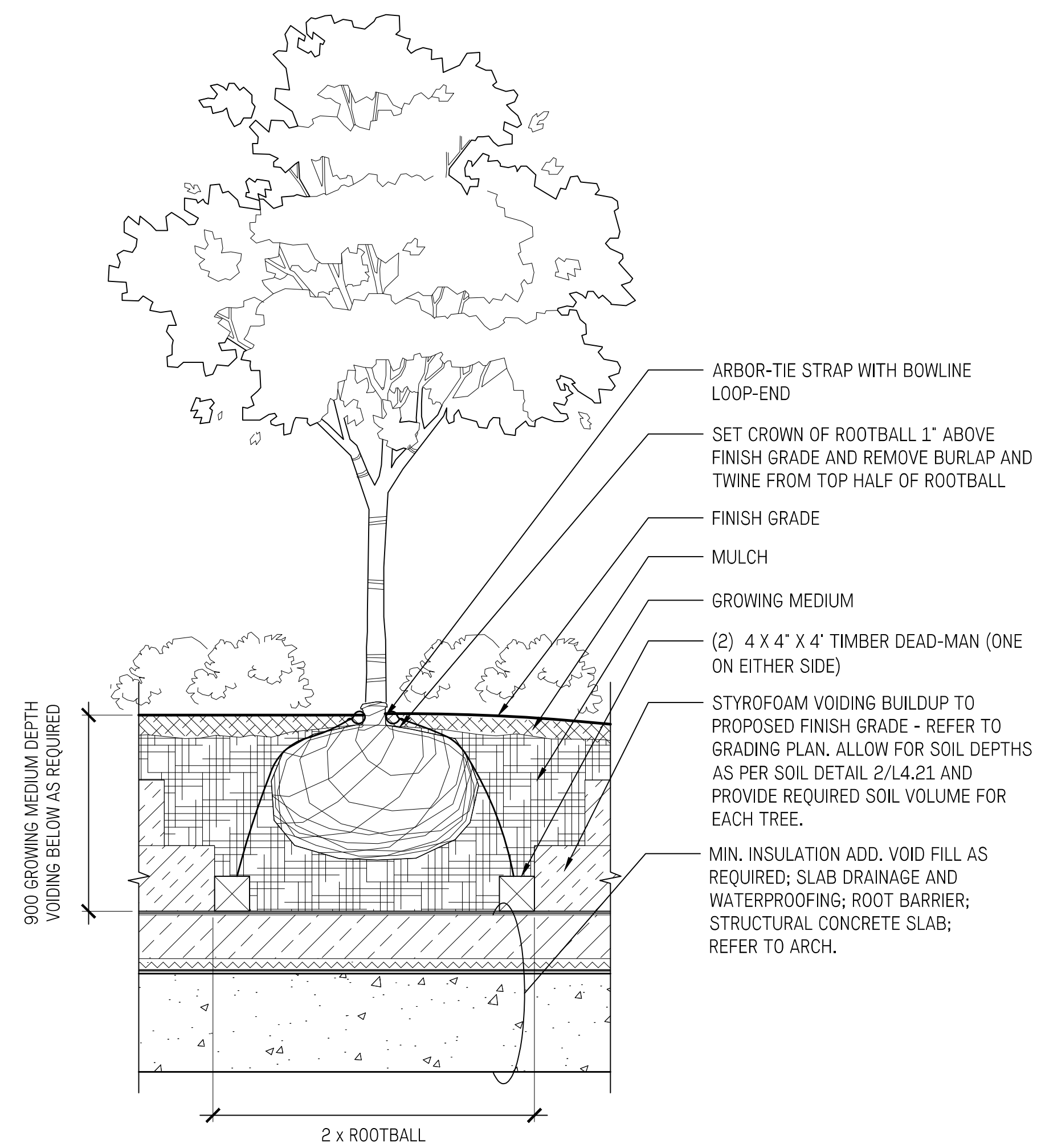
603 Pandora Ave  
Victoria, BC

**Landscape Details  
Planting**

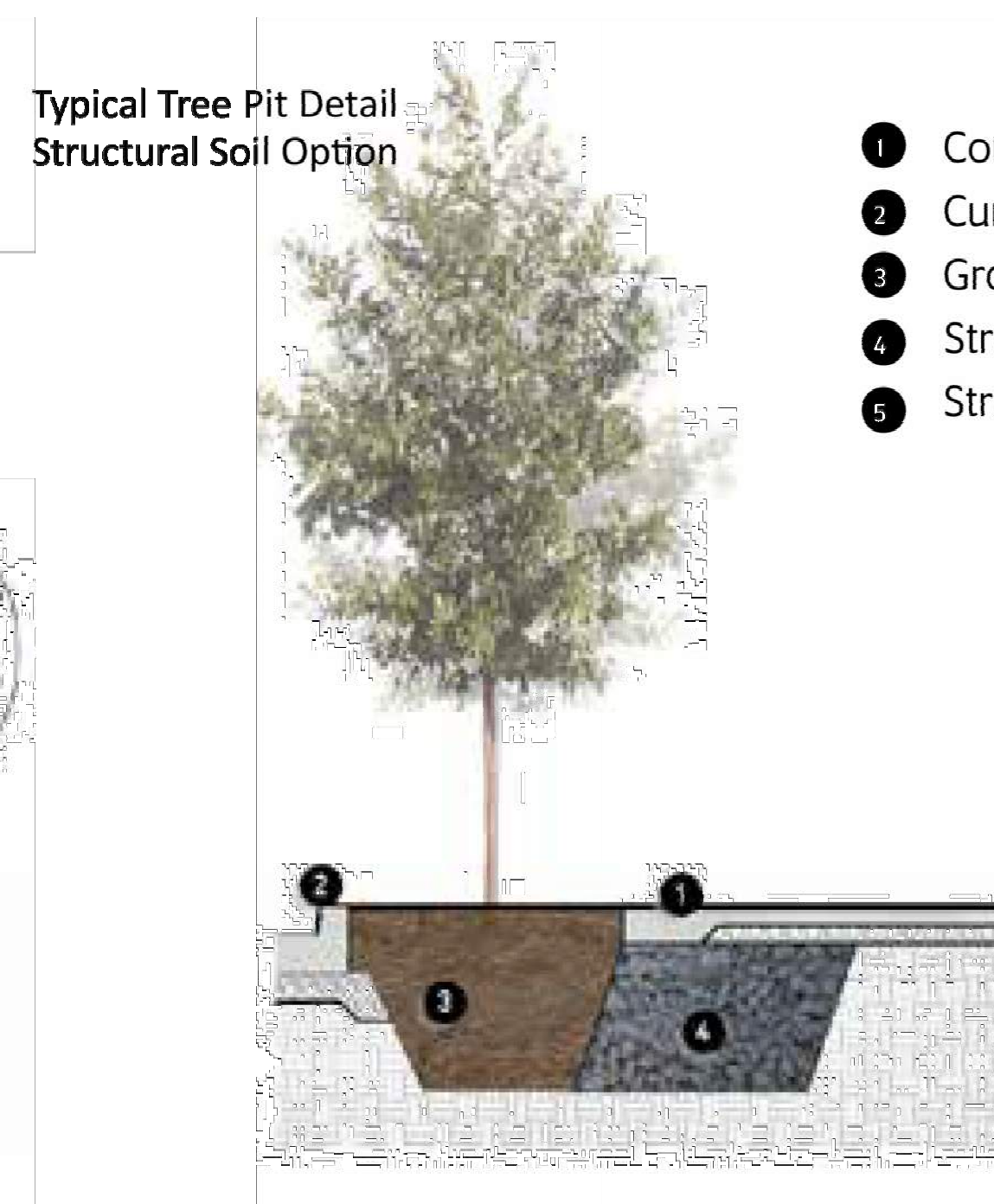
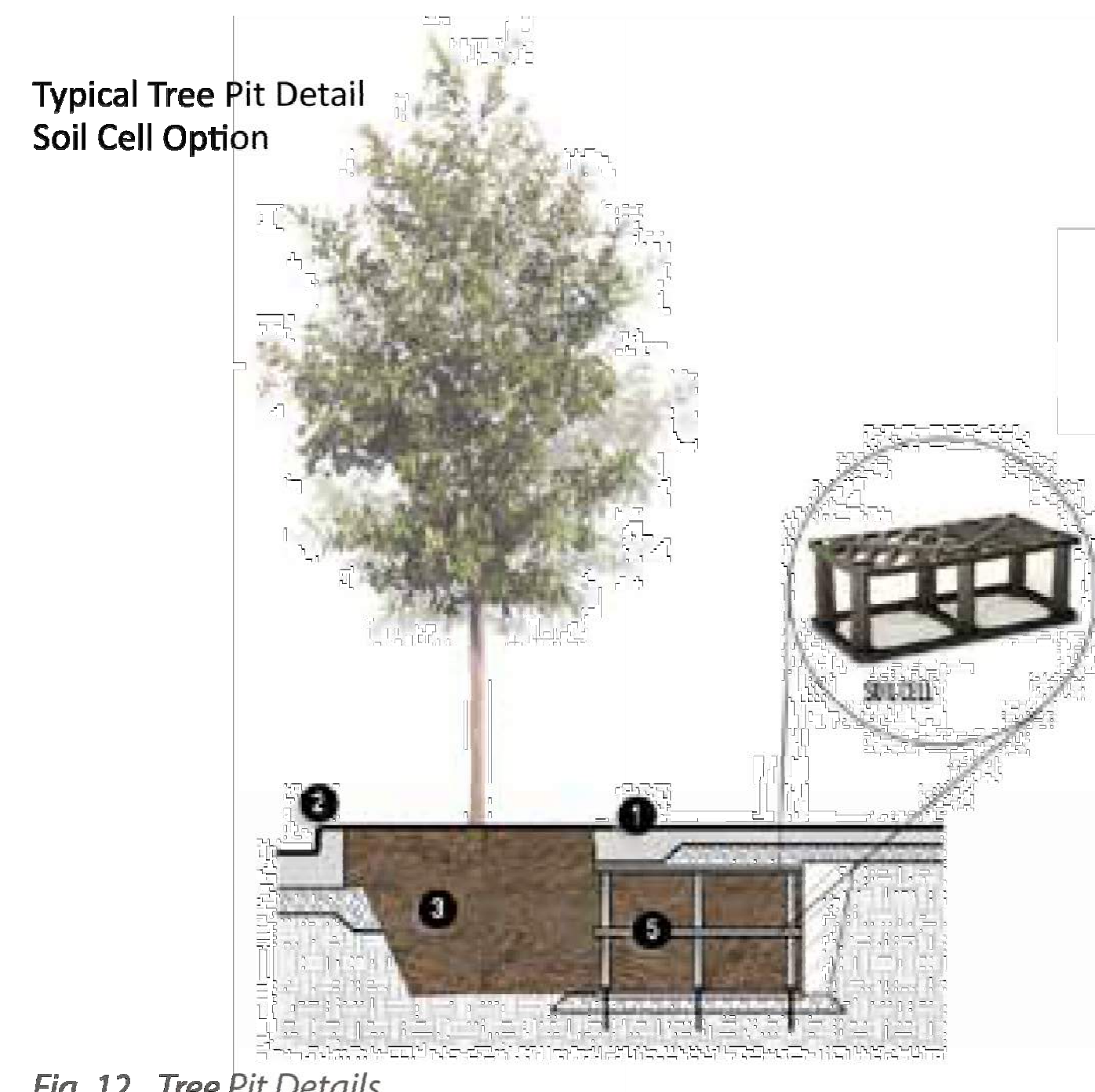
Date	Aug. 03/22	Drawing Number
Project No.	2215	<b>L4.41</b>
Scale	1:100	
Drawn/Checked	kk   JF	



1 TREE PLANTING  
 L4.22 1:10



2 TREE PLANTING - ON SLAB  
 L4.42 1:10



- 1 Concrete Sidewalk
- 2 Curb and Gutter
- 3 Growing Medium
- 4 Structural Growing Medium
- 5 Structural Soil Cell

Note: refer to the Urban Forest Master Plan for details

Fig. 12 Tree Pit Details

2 CITY OF VICTORIA TREE PIT DETAILS  
 L4.22 1:10

No.	Description	Date
3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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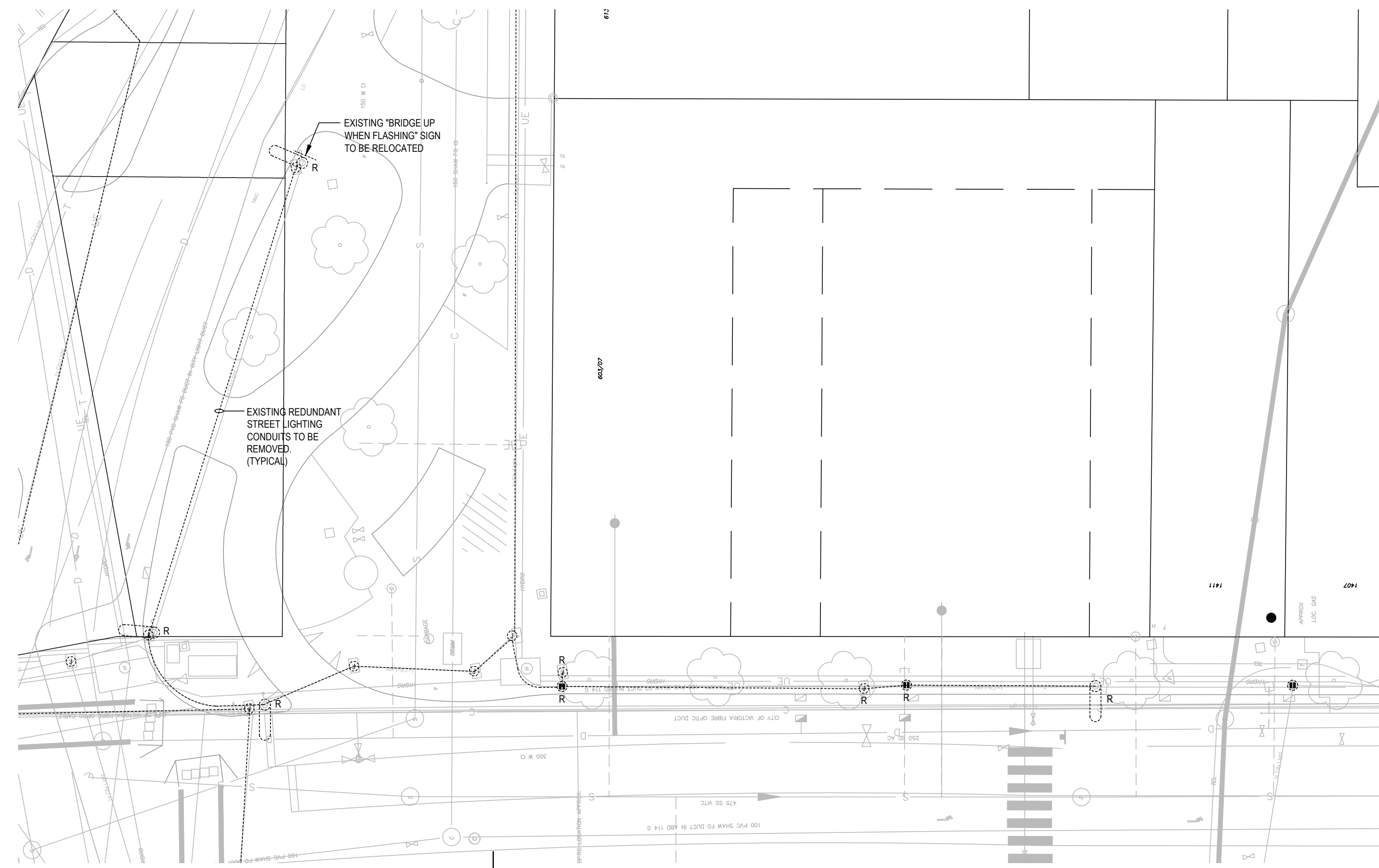
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**Plaza Hotel**

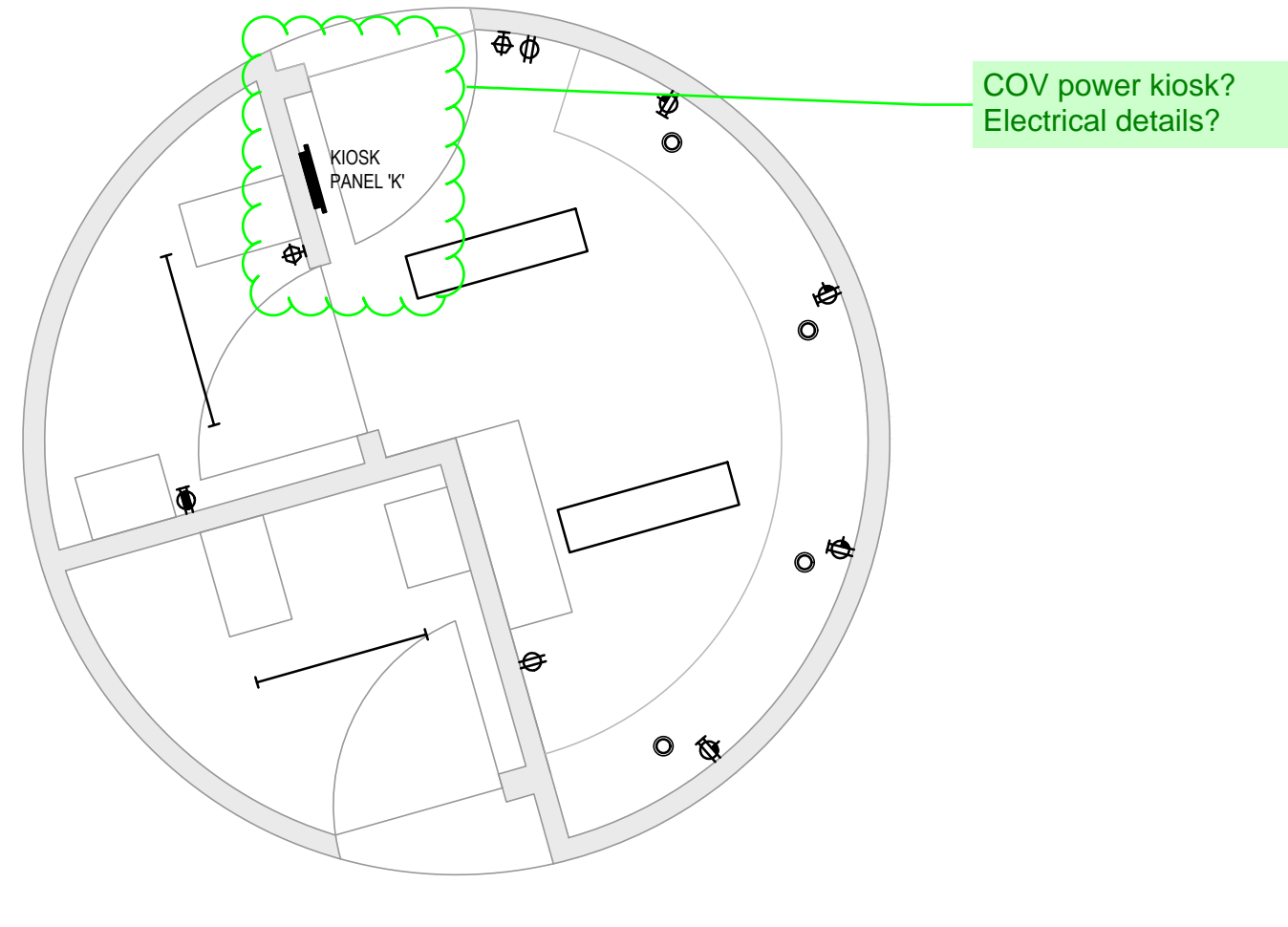
603 Pandora Ave  
 Victoria, BC

**Landscape Details  
 Planting**

Date	Aug. 03/22	Drawing Number
Project No.	2215	<b>L4.41</b>
Scale	1:100	
Drawn/Checked	kk   JF	



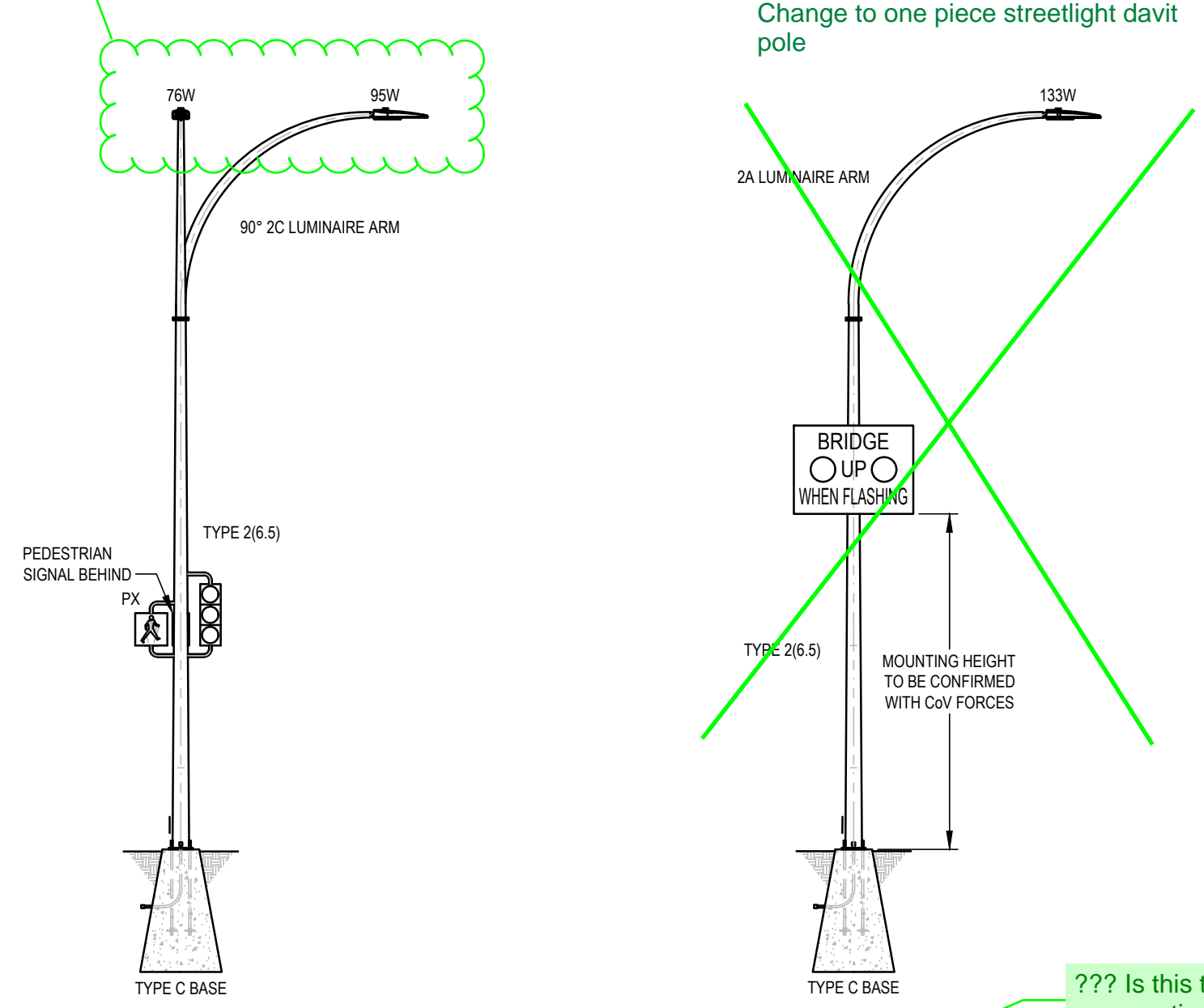
**1 EXISTING SITE PLAN**  
E1.0  
1:250



**3 KIOSK ELECTRICAL LAYOUT**  
E1.0  
1:50

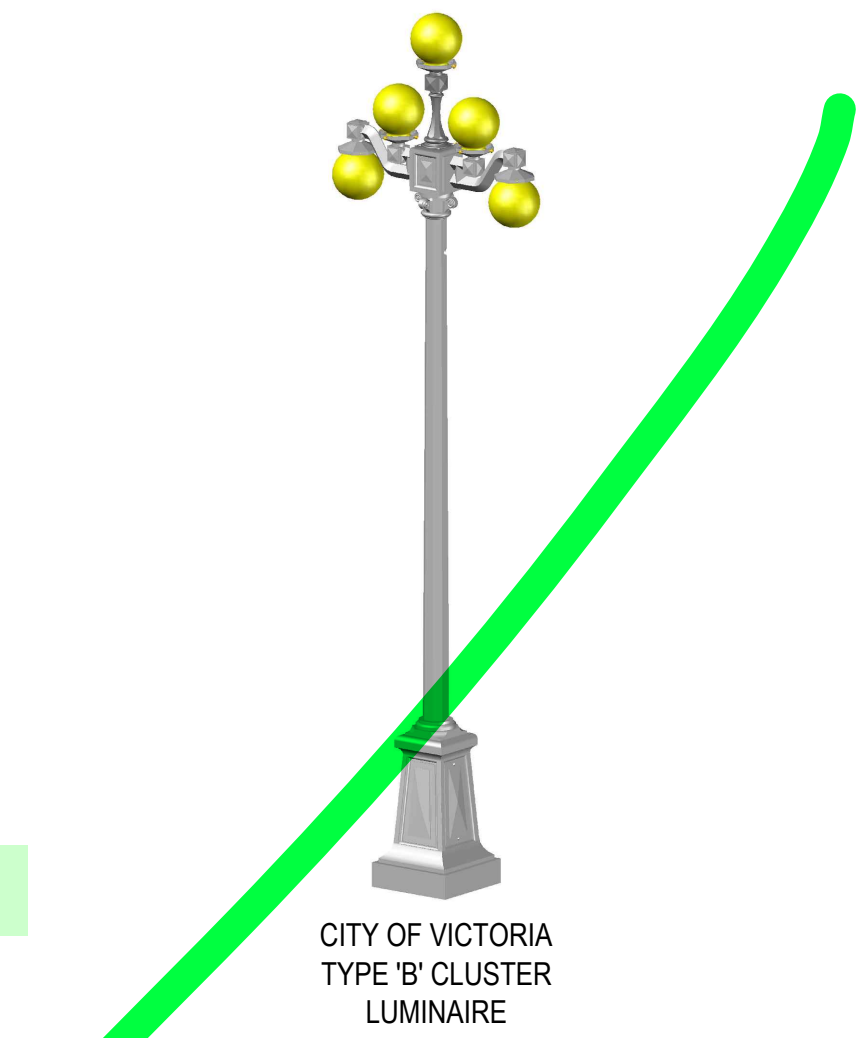
ELECTRICAL SYMBOL LEGEND	
ABBREVIATIONS	
NOTE	EQUIPMENT SHOWN DOTTED IS EXISTING AND TO REMAIN UNLESS INDICATED OTHERWISE
R	EXISTING DEVICE TO BE REMOVED
WP	DENOTES WEATHER PROOF DEVICE
LIGHTING	
	SURFACE MOUNTED LUMINAIRE
	STRIP LIGHT
	RECESSED DOWNLIGHT
	POLE MOUNTED LUMINAIRE
	BOLLARD LUMINAIRE
	SINGLE POLE TOGGLE SWITCH, GANGED AS SHOWN
	OCCUPANCY SENSOR, WALL MOUNTED
	OCCUPANCY SENSOR, CEILING MOUNTED
POWER	
	DUPLEX RECEPTACLE
	ABOVE COUNTER DUPLEX RECEPTACLE (T-SLOT)
	RECEPTACLE (GFCI)
	JUNCTION BOX
	FLUSH JUNCTION BOX
	PANEL BOARD

Notes:  
1. Black poles (RAL 9005)



**4 POLE 1 ELEVATION**  
E1.0  
1:75

**5 POLE 2 ELEVATION**  
E1.0  
1:75



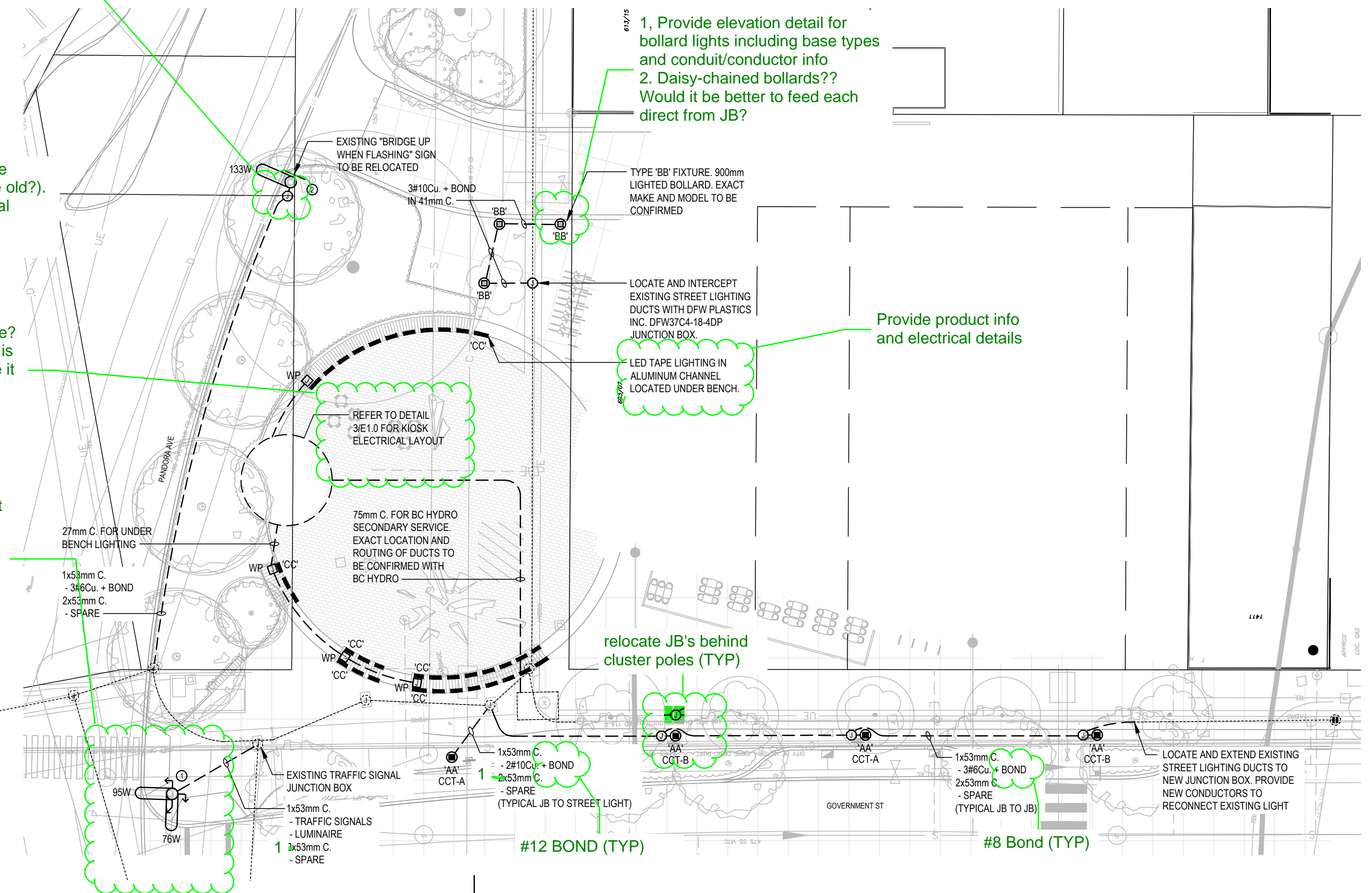
**6 TYPE 'AA' POLE DETAIL**  
E1.0  
NOT TO SCALE

Identify JB sizes (TYP)

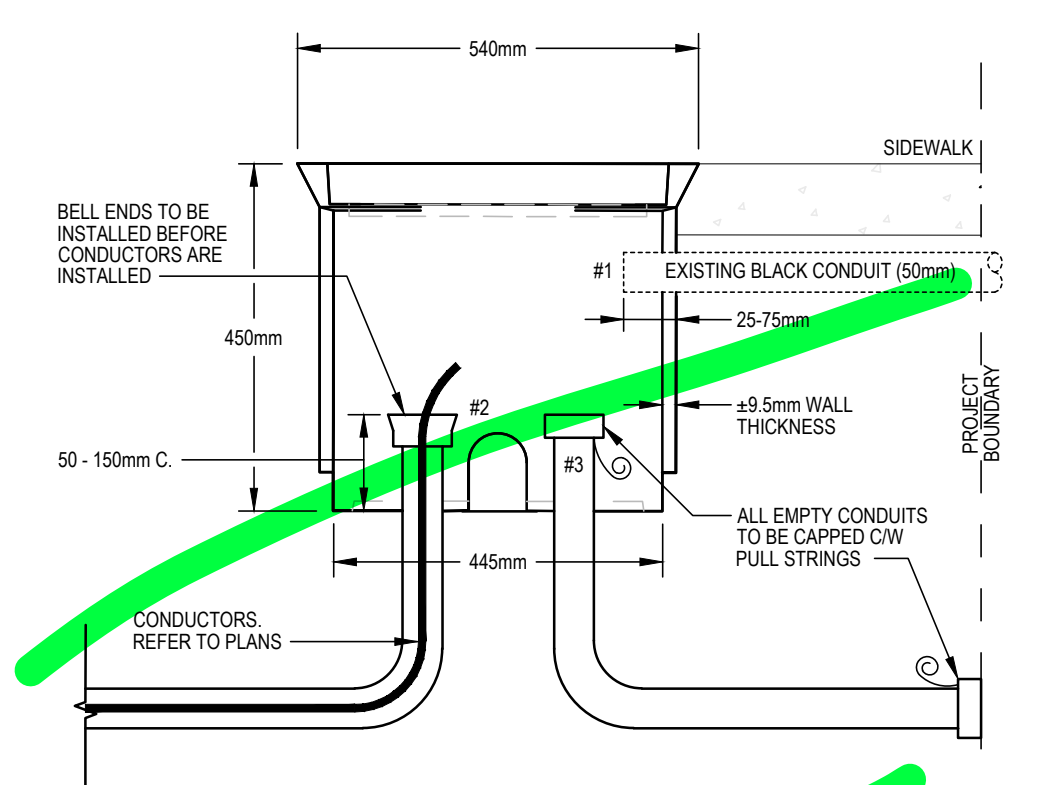
Show existing conduit and provide instructions to contractor (remove old?). Note that a connection to electrical conduit heading east must be maintained or re-established

Is this a new COV Electrical Service? If so, shouldn't it connect to all that is included in this design? It looks like it only feeds the new loads in the Square

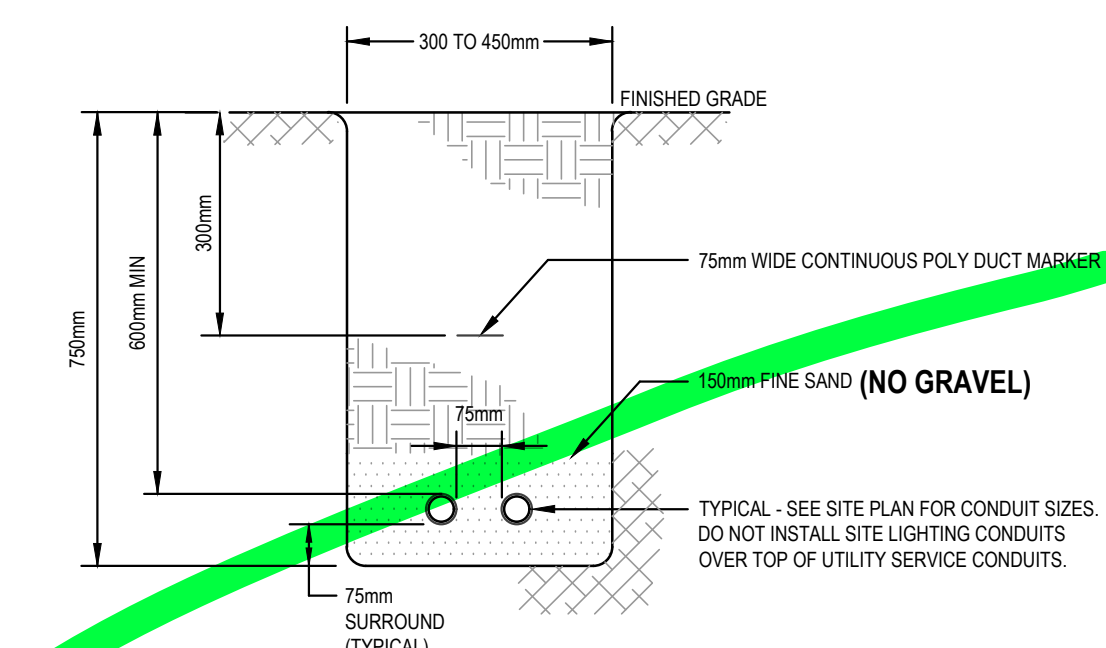
Show all existing conduit and JB's at traffic signal poles so that installer knows how to intercept, reconnect, etc... You need to calculate how many conduit and size the JB accordingly



**2 REVISED SITE PLAN**  
E1.0  
1:250



**7 TYPICAL JUNCTION BOX DETAIL**  
E1.0  
NOT TO SCALE

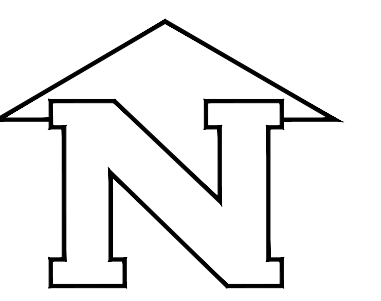


**8 TYPICAL TRENCH SECTION**  
E1.0  
NOT TO SCALE

Contractor must check and verify all dimensions and conditions on site and report any discrepancies to designer and/or engineer prior to proceeding with work

DO NOT SCALE DRAWINGS

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PROJECT NORTH

PRODUCTION DRAWINGS BY:



1	ISSUED FOR DP	09/06/2024
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REV	DESCRIPTION	DATE
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PROJECT NAME:

Plaza Hotel

603 Pandora Ave  
Victoria, BC

DRAWING TITLE:

OFFSITE ELECTRICAL LAYOUTS AND DETAILS

DATE:	04/09/2024
SCALE:	AS NOTED
DRAWN BY:	SS
CHECKED BY:	BK
JOB NUMBER:	0122.0229

DRAWING NUMBER:

E1.0

AES2024-04-SEP-24 14:13 H:\PROJECTS\2022\1-22-229\DW