

Contacts

Client

Oceangate Developments
205-998 Harbourside Drive
North Vancouver, BC V7P 3T2
604.818.4766 nick@oceangatedev.com

Architect

D'Ambrosio architecture + urbanism
2960 Jutland Road
Victoria, BC V8T 5K2
250.384.2400 mail@daustudio.ca

Landscape Architect

Hapa Collaborative
403 - 375 West Fifth Avenue
Vancouver, BC V5Y 1J6
604.909.4150 info@hapacobo.com

Civil Engineer

WSP Engineering
301 - 3600 Uptown Boulevard
Victoria, BC V8Z 0B8
250.886.2775 jeff.somerville@wsp.com

Surveyor

Polaris Land Surveying Inc.
130 - 1834C Oak Bay Avenue
Victoria, BC V8R 0A4
250.412.3513 info@plsi.ca

Heritage Consultant

Donald Luxton and Associates Inc.
1030 - 470 Granville Street
Vancouver, BC V6C 1V5
604.688.1216 info@donaldluxton.com

List of Drawings

Architectural

A0.00	Cover Sheet
A1.0	Rendered Views
A1.1	Rendered Views
A1.2	Existing Site Survey
A1.3	Site Plan and Project Data
A1.4	Sun and Shade Studies
A1.5	Sun and Shade Studies
A2.1	Level P4 Plan
A2.2	Level P3 Plan
A2.3	Level P2 Plan
A2.4	Level P1 Plan
A2.5	Level 1 Ground Floor Plan
A2.6	Level 2 Floor Plan
A2.7	Level 3 Floor Plan
A2.8	Levels 4-5 Floor Plan
A2.9	Level 6 Floor Plan
A2.10	Level 7-12 Floor Plan
A2.11	Penthouse and Roof Plan
A2.12	Roof Plan
A3.1	Building Elevations (West)
A3.2	Building Elevations (North)
A3.3	Building Elevations (East)
A3.4	Building Elevations (South)
A3.5	Context Elevations (West & North)
A4.1	Building Sections N-S
A4.2	Building Sections W-E

Hampton Inn Downtown Victoria / 603 Pandora Ave Victoria, BC

OCEANGATE
DEVELOPMENTS

D'AMBROSIO 20-36
architecture + urbanism

2960 Jutland Road
Victoria BC Canada V8T5K2

tel 250.384.2400
eml mail@daustudio.ca
web www.daustudio.ca

Heritage Advisory Panel

Issued for HAPL
August 9, 2024



CITY OF VICTORIA

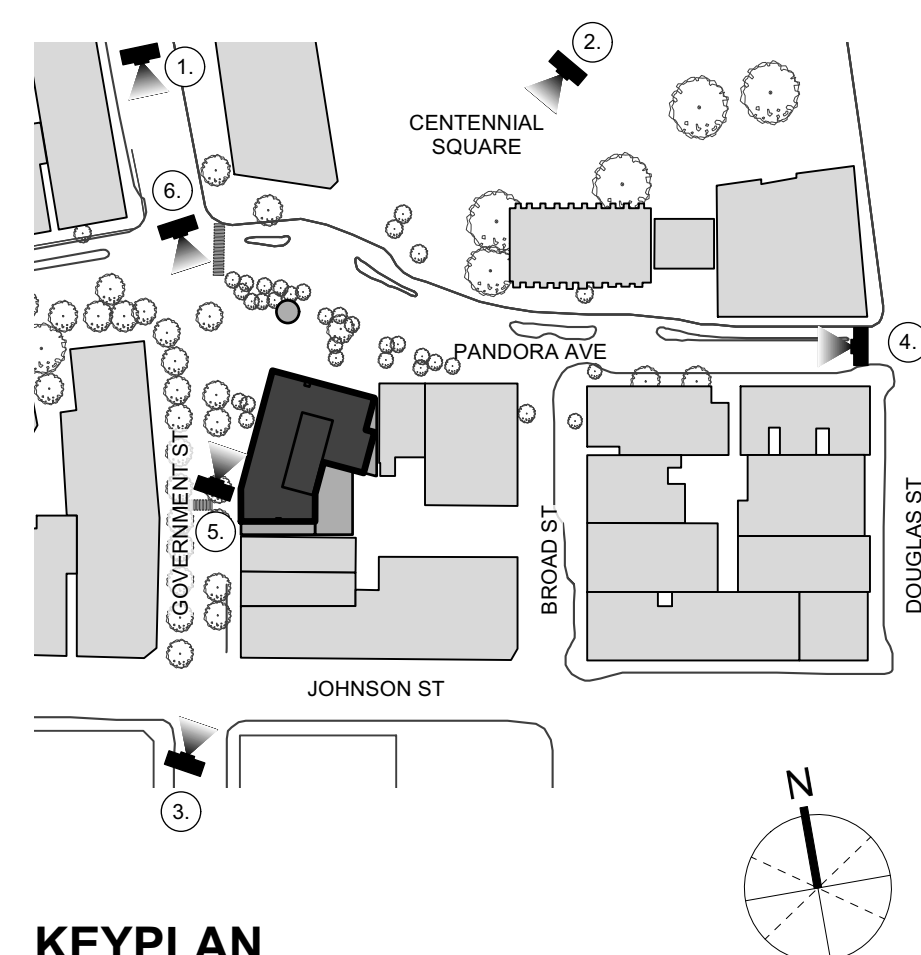
Revisions
Bubbled areas indicate revisions compared to the previously submitted plans

Received Date
August 9, 2024

REVISION SET



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

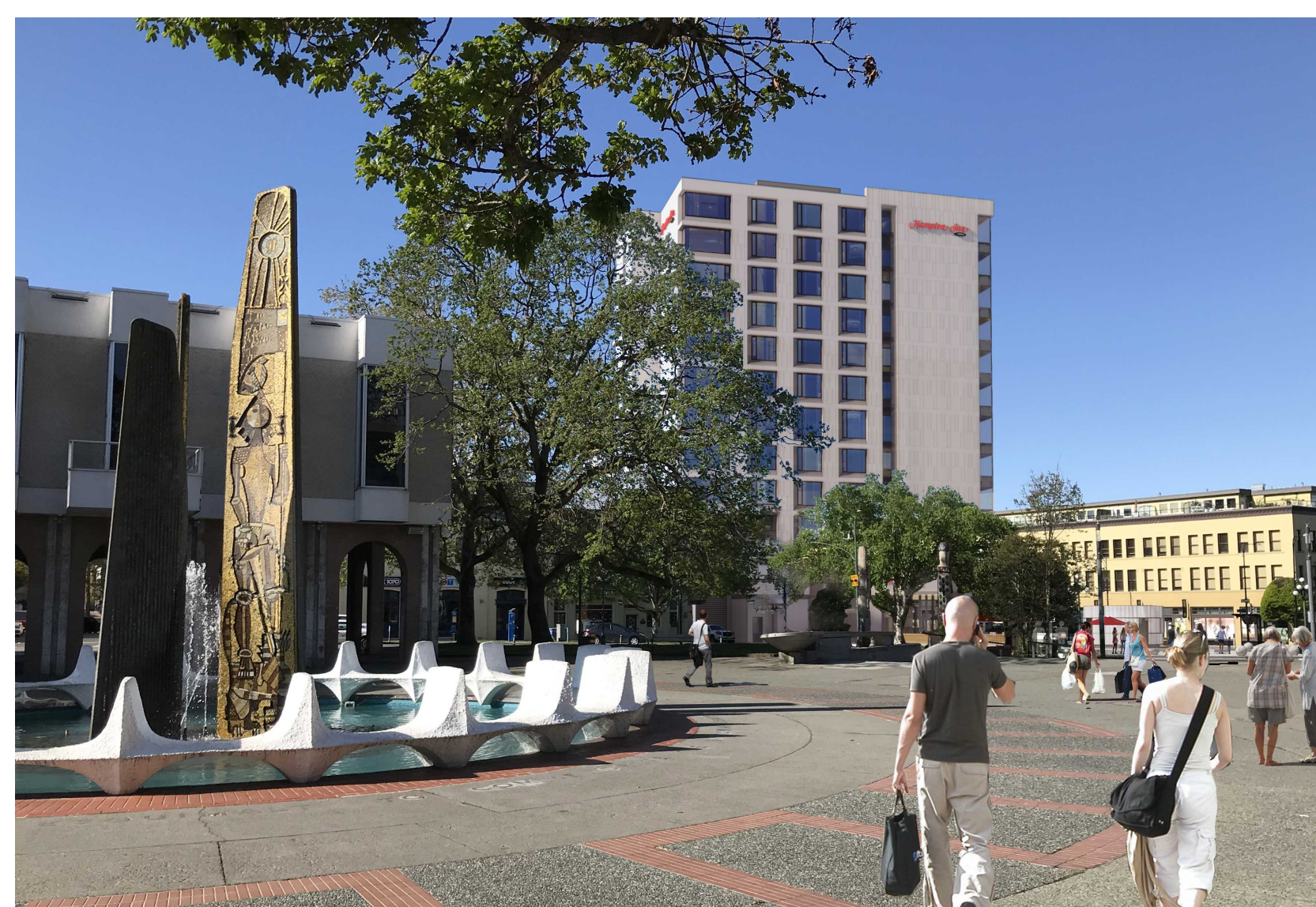


KEYPLAN



1. VIEW LOOKING SOUTH ON GOVERNMENT STREET

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



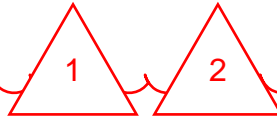
2. VIEW FROM CENTENNIAL SQUARE



3. VIEW LOOKING NORTH ALONG GOVERNMENT STREET



4. VIEW LOOKING WEST ALONG PANDORA AVE



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

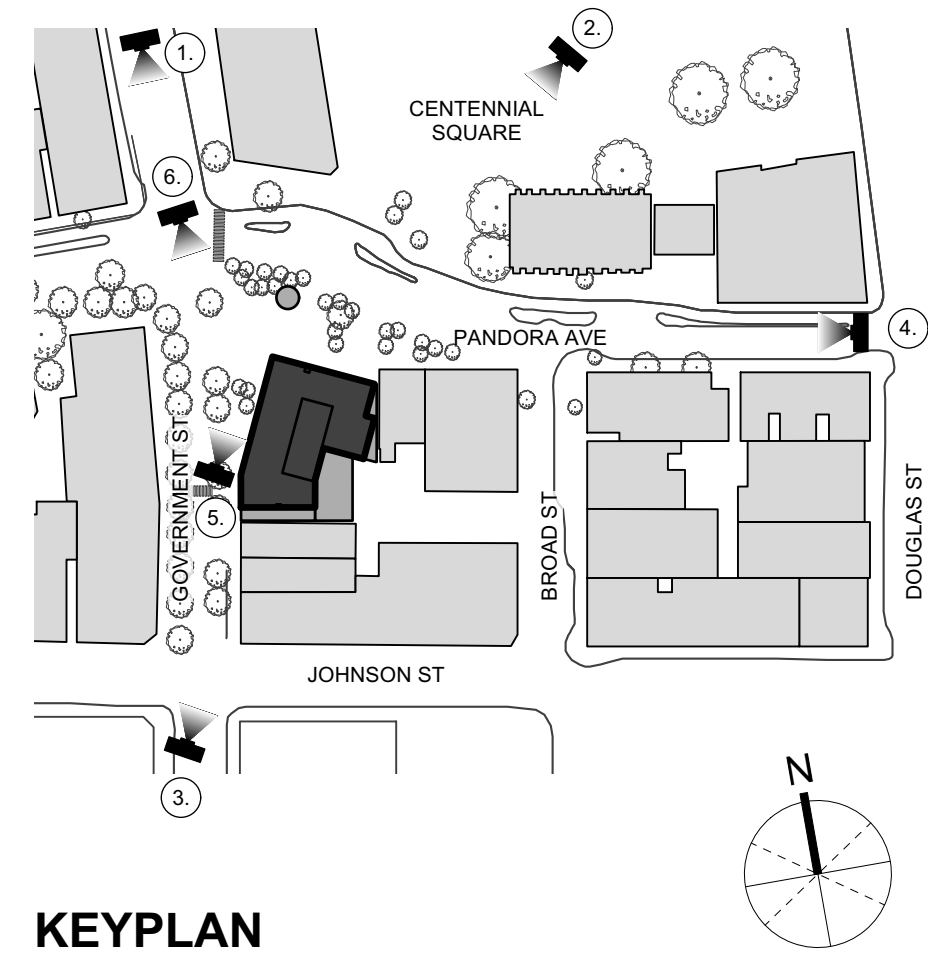
sheet title
Rendered Views

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	as noted
drawn by	JA/JH
checked by	ES
revision no.	sheet no.

2 A1.0



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



KEYPLAN



5. STREET LEVEL ON GOVERNMENT STREET



SECTION DETAIL / PERSPECTIVE



6. PLAZA AT GOVERNMENT & PANDORA

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.

2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.		

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Rendered Views

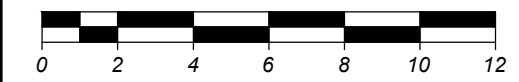
project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	as noted
drawn by	JA/JH
checked by	ES

revision no.	sheet no.
--------------	-----------

2 A1.1

TOPOGRAPHIC PLAN OF LOT 1, PLAN 7110 AND PARTS OF
LOTS 661, 662 AND 663, ALL IN VICTORIA CITY.

BCGS MAP SHEET 92B.044



The intended plot size of this plan is 432mm in width by 559mm in height (C-Size) when plotted at a scale of 1:200.

All distances and elevations are in metres and decimals thereof, unless otherwise noted.

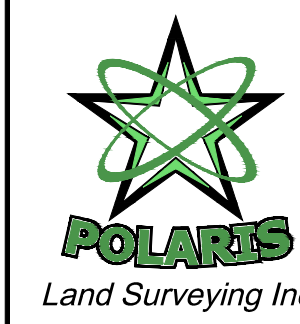
LEGEND

- denotes Drain
- denotes Catch Basin
- denotes Lamp Post
- denotes Manhole - Storm
- denotes Traffic Light
- denotes Sign Post
- denotes Spot Elevation
- denotes Tree
- denotes Valve
- denotes Water Valve
- denotes Electrical Vault
- denotes Unmarked Measured Point
- denotes Building Corner
- denotes Curb
- denotes Gutter
- denotes Fence - Wire
- denotes Fence - Wood
- denotes Edge of Sidewalk
- denotes Edge of Building
- denotes Dripline

Note: Boundaries as shown are approximate and subject to further investigation.

Parcels are subject to Covenant CA319807.

GOVERNMENT STREET



Mailing & delivery address:
P.O. Box 261
Brentwood Bay, BC, V8M 1R3

Toll Free: (877) 603 7398
Duncan Telephone: (250) 746 0775
info@plsi.ca
www.plsi.ca

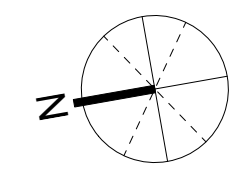
This document shows the relative location of the surveyed buildings and features with respect to the boundaries of the parcel described hereon. This document shall not be used to define property lines or property corners.

Polaris Land Surveying Inc. accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or actions taken based on this document.

© Polaris Land Surveying Inc. 2020. All rights reserved. No person may copy, reproduce, transmit or alter this document, in whole or in part, without the express written consent of Polaris Land Surveying Inc.

Date: 2020-01-27
File: 1745-01
Drawing: 1745-01-TOPO
Layout: C-Size

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



rev no	description	date
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Existing Site Survey

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	as noted
drawn by	JAJ/JH
checked by	ES
revision no.	sheet no.



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ABC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

Project Data

Legal Address
Lot 1, of Lots 661, 662, and 663, Victoria City, Plan 7110 Remainder Lots 661 - 663, Victoria, Except Those Parts In Plan 7110.

Civic Address
603 Pandora Avenue, Victoria, BC

Zoning (current)
Old Town District-1 Zone (OTD-1)

Site Area
1,490.7 sq.m

Zoning Floor Areas
(measured to interior face of wall and includes elevator shafts, though excludes bicycle parking stalls & circulation)

Level 12	856.48 m ²	(9,219.1 ft ²)
Level 11	856.48 m ²	(9,219.1 ft ²)
Level 10	856.48 m ²	(9,219.1 ft ²)
Level 9	856.48 m ²	(9,219.1 ft ²)
Level 8	856.48 m ²	(9,219.1 ft ²)
Level 7	856.48 m ²	(9,219.1 ft ²)
Level 6	857.21 m ²	(9,226.9 ft ²)
Level 5	927.12 m ²	(9,979.4 ft ²)
Level 4	927.12 m ²	(9,979.4 ft ²)
Level 3	927.12 m ²	(9,979.4 ft ²)
Level 2	536.00 m ²	(5,765.5 ft ²)
Level 1	930.00 m ²	(10,010.4 ft ²)
Total	10,243.45 m²	(110,259.5 ft²)

Floor Space Ratio
6.87

Average Grade
13.91m Geodetic

Height of Building
Permitted: 15.00m
Proposed: 51.86m - 13.91m = 37.95m
Storeys: 12

Parking Stalls
Total Provided: 122
(includes 7 accessible stalls of which 1 is to be van accessible)

Bicycle Parking

Number of Class I Spaces:	10 (provided)
Number of Class II Spaces:	14 (provided)

Building Use/Area sq.m	Spaces Required Class I	Class II
Hotel (3.3-1.2) 198 rooms	8 (1 per 25 rooms)	5 (1 per 40 rooms)
Cafe/Restaurant (CRU 1 & 2) 215m ²	2 (1 per 100m ²)	3 (1 per 100m ²)
Total (required)	10	8

Setbacks

Direction	Required (m)	Provided (m)
East:	0m	0m
South:	0m	0m
West:	0m	0m
North:	0m	-2.87m

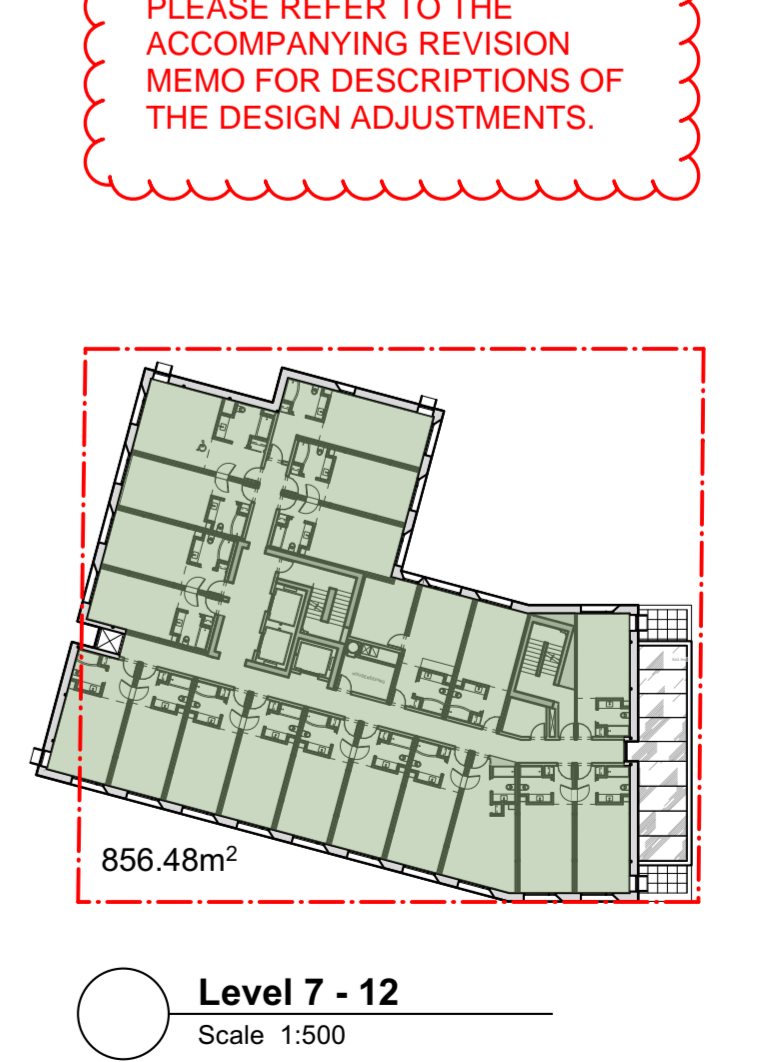
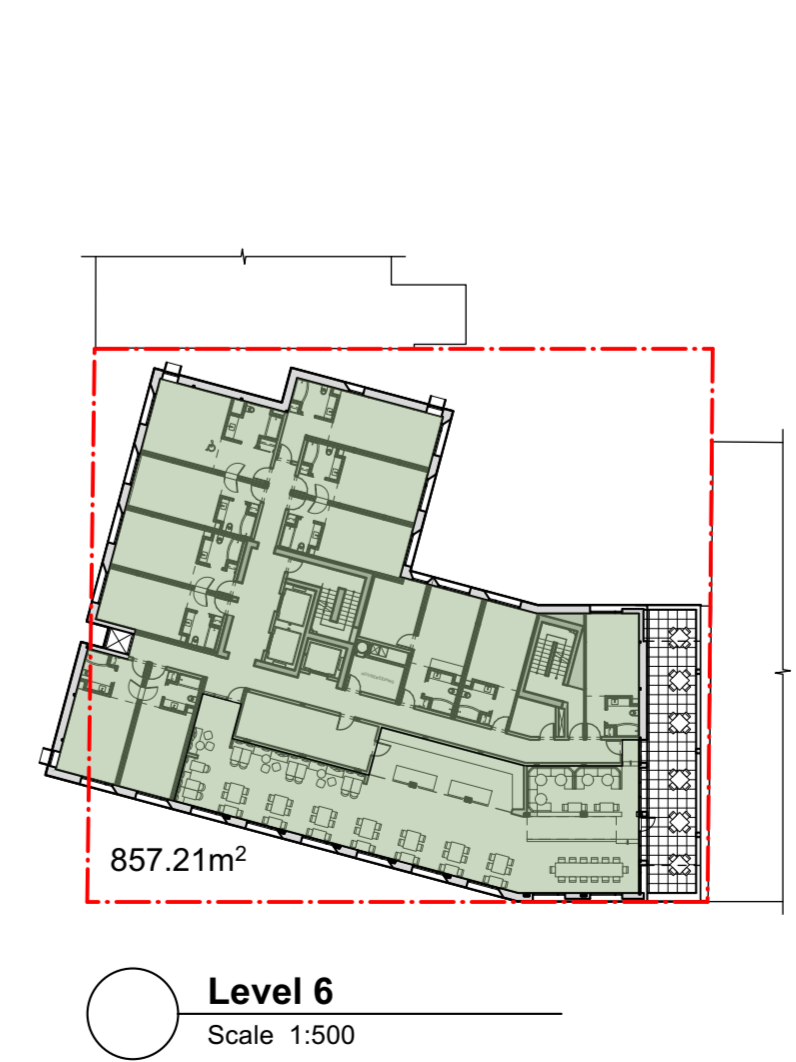
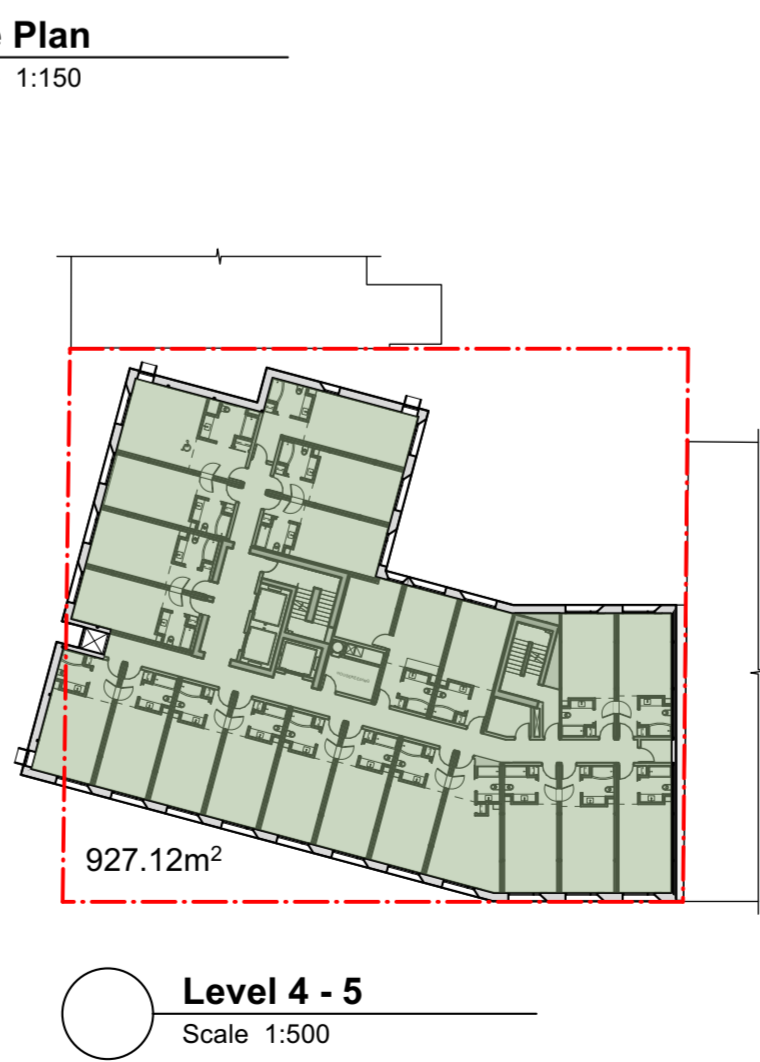
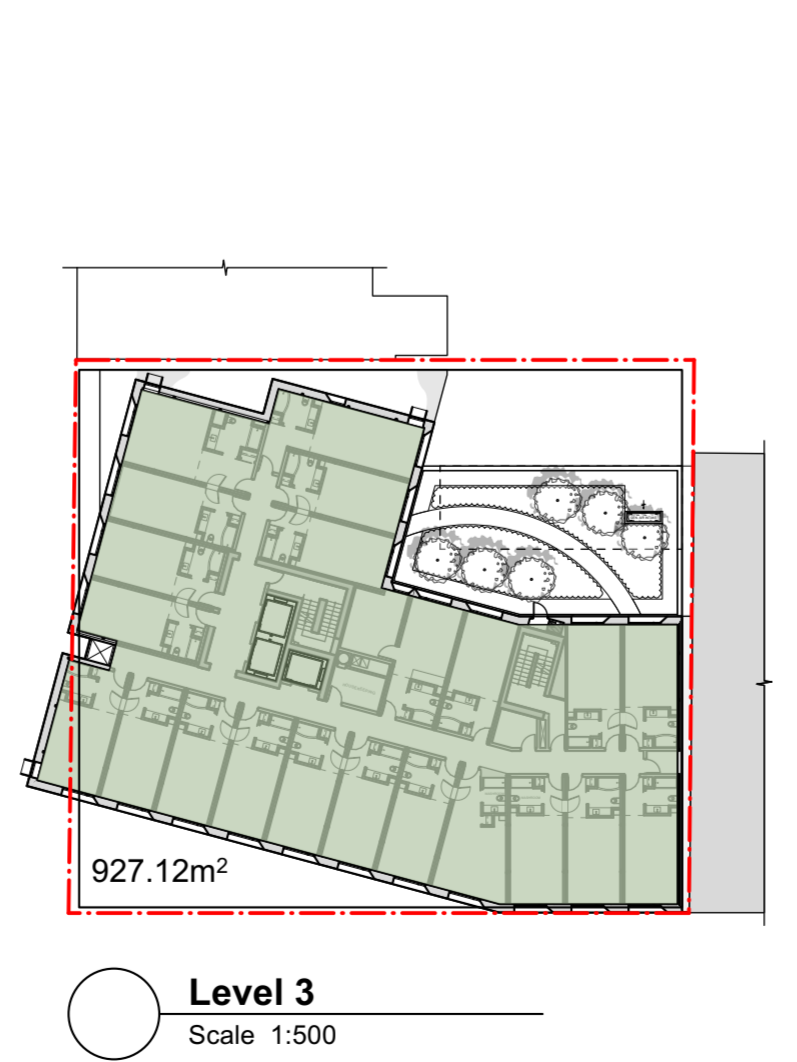
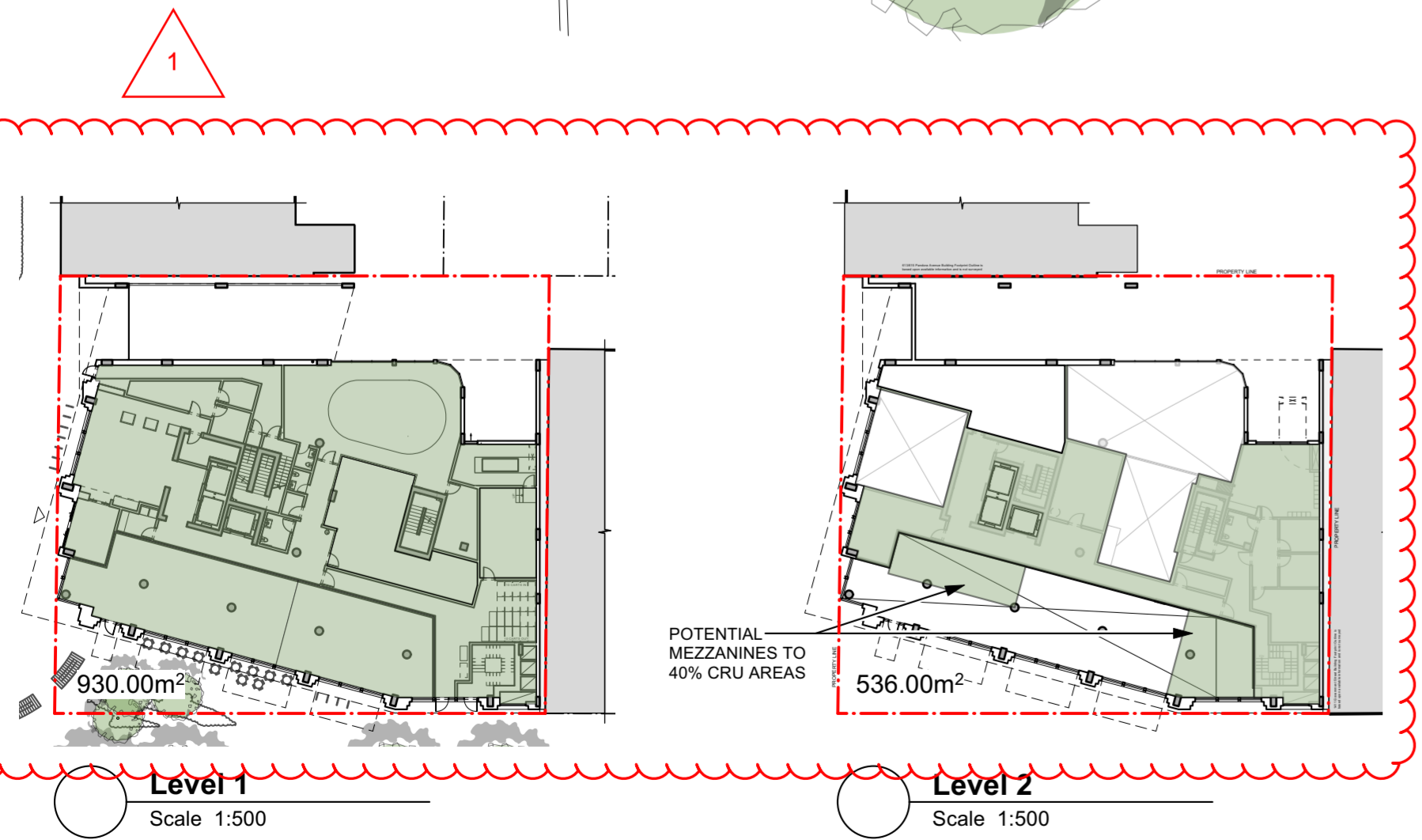
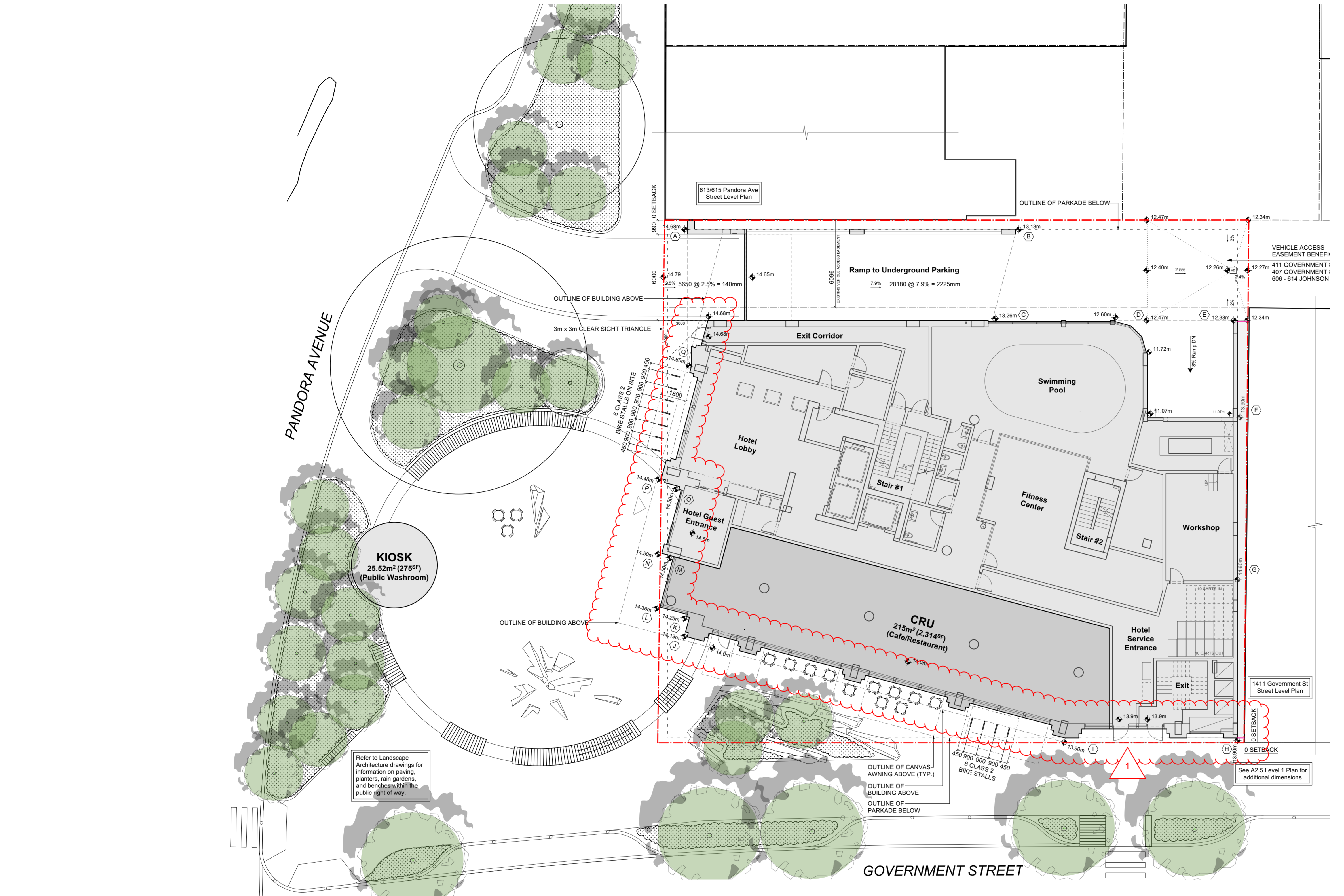
PROJECT INFORMATION TABLE

Zone (existing)	OTD-1 Old Town District 1
Proposed zone or site specific zone	New Zone
Site area (m ²)	1,490.70 m ²
Total floor area (m ²)	10,243.45 m ²
Commercial floor area (m ²)	215.00 m ²
Floor space ratio	6.87
Site coverage area	1,236.10 m ²
Site coverage (%)	82.92 %
Open site area (m ²)	168.00 m ²
Open site space (%)	11.27 %
Height of building (m)	37.95 m
Number of storeys	12
Parking stalls (number) on site	122
Bicycle parking number (Class I & Class 2)	10 + 14 : 24
Building Setbacks (m)	
Front yard	-2.87 m
Rear yard	0 m
Corner side yard (west)	0 m
Side yard (east)	0 m
Hotel Use Details	
Total number of units	198
Unit type, e.g., 1 bedroom	Hotel Rooms
Minimum unit floor area (m ²)	28.90 m ²
Total hotel floor area (m ²)	10,028.45 m ²

AVERAGE GRADE

ID	Grade (m)	Interval	Average Grade	Distance (m)	Subtotal Grade
A	14.68	A - B	13.91	23.05	320.51
B	13.13	B - C	13.20	6.59	86.96
C	13.26	C - D	12.87	10.85	139.59
D	12.47	D - E	12.40	6.31	78.24
E	12.33	E - F	13.12	6.77	88.79
F	13.90	F - G	14.25	11.33	161.45
G	14.60	G - H	14.25	11.12	158.46
H	13.90	H - I	13.90	12.08	167.91
I	13.90	I - J	14.02	27.55	386.11
J	14.13	J - K	14.19	1.52	21.57
K	14.25	K - L	14.32	2.18	31.21
L	14.38	L - M	14.44	3.67	52.99
M	14.50	M - N	14.50	0.85	12.33
N	14.50	N - O	14.50	4.88	70.76
O	14.50	O - P	14.49	1.39	20.14
P	14.48	P - Q	14.57	8.38	122.05
Q	14.65	Q - A	14.67	9.54	139.90
Subtotal				148.06	2058.98
Average Grade =			13.91		

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no. description date

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

Site Plan and Project Data

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:125
drawn by	JA/JH
checked by	ES
revision no.	sheet no.



2024-08-09

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHENTICATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



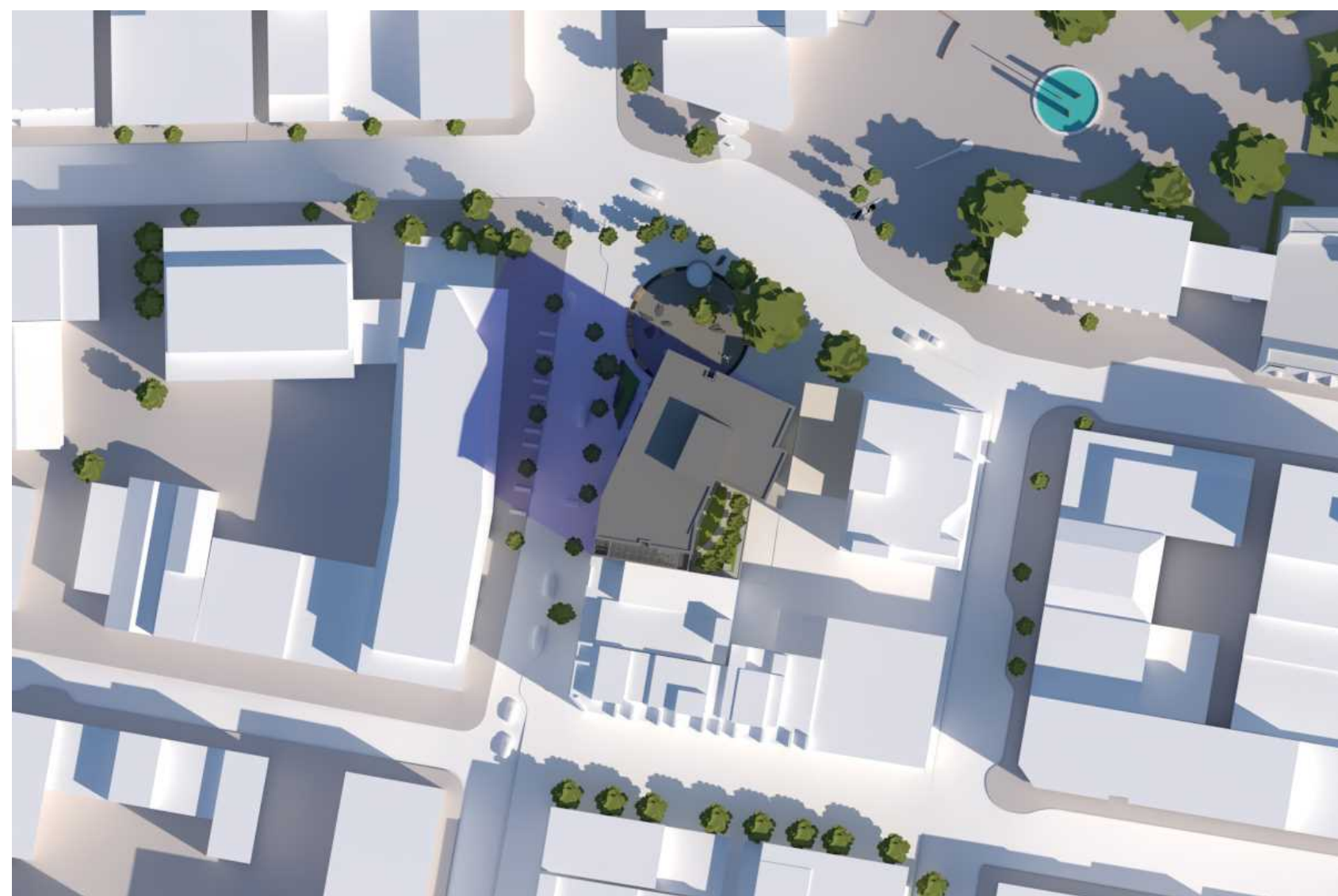
WINTER SOLSTICE 1000h



WINTER SOLSTICE 1200h



WINTER SOLSTICE 1500h



EQUINOX 0900h



EQUINOX 1200h



EQUINOX 1600h



SUMMER SOLSTICE 0900h

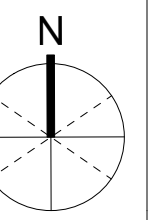


SUMMER SOLSTICE 1200h



SUMMER SOLSTICE 1700h

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.		

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Sun and Shade Studies

project no. 20-36

drawing file -

date issued August 9, 2024

scale n.t.s.

drawn by JAJH

checked by ES

revision no. sheet no.

2 A1.4



2024-08-09

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

GENERAL NOTES:

1. March 20, 2023 was used as the date of the Equinox.
2. All calculations are approximate and have been generated from 2D views of the Sketch Up model.
3. All calculations are relative and are not to scale.
4. The building height is 38.1m and is classified as a high rise residential building for the purposes of City of Victoria Downtown Core Area Plan Appendix 4 Design Guidelines.

DCAP Appendix 4: 6.1.d.i.

Spring / Autumn Equinox
March 20 / September 22, 2023
The spring and autumn equinoxes mark the start of spring or autumn and are the midway point between summer and winter solstices.

The City of Victoria General Urban Design Guidelines (2022) contains the following guideline for tall buildings:

where unshaded by existing off-site conditions, a minimum of approximately 4 hours of cumulative sunlight provided on at least 60% of the length of the sidewalk located across the street from the development should be achieved between 1000h and 1600h on the equinoxes.

The proposal meets the guideline as follows:

Pandora Avenue
The sidewalk is fully unshaded until 1400h when a sweeping shadow occurs over 14% of the sidewalk.

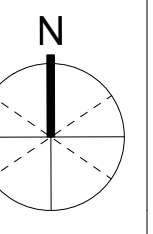
Government Street
The sidewalk is shaded by the proposed development from 1000h until approximately 1040h when the shadow has reduced to 55%. The sidewalk remains fully unshaded until 1300h when 66% shading by the existing adjacent building begins until 1600h.

LEGEND

sidewalk in sun

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS

time recommended by urban design guidelines



1000h - 100% sun



1100h - 100% sun



1200h - 100% sun



1300h - 100% sun



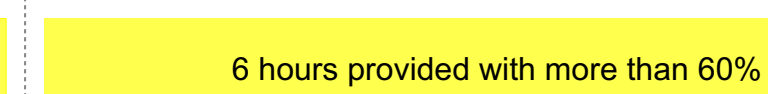
1400h - 86% sun



1500h - 86% sun



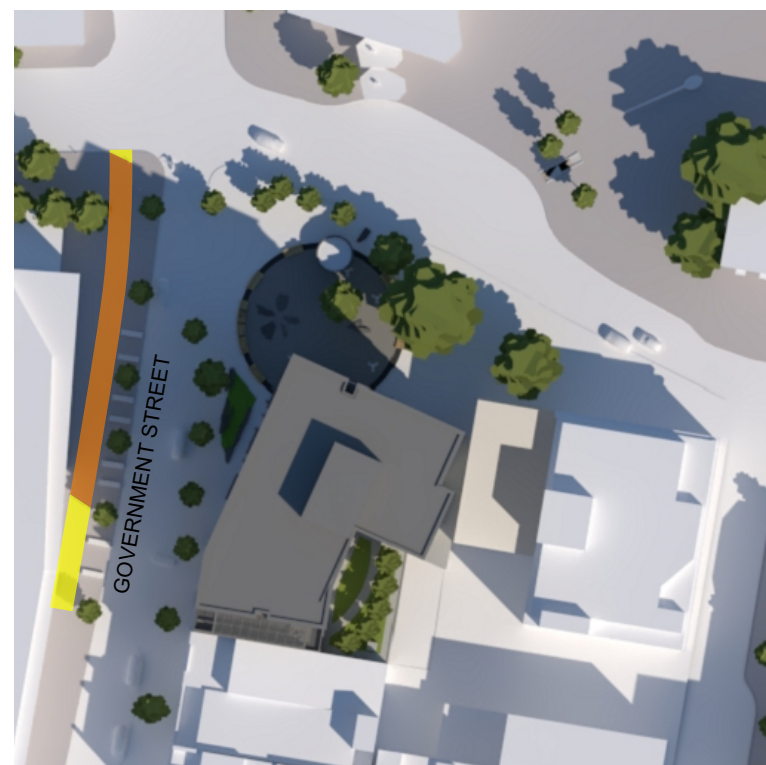
1600h - 91% sun



6 hours provided with more than 60% sun

4 hours required with more than 50% Sun

PANDORA AVENUE



1000h - 26% sun



1040h - 55% sun



1200h



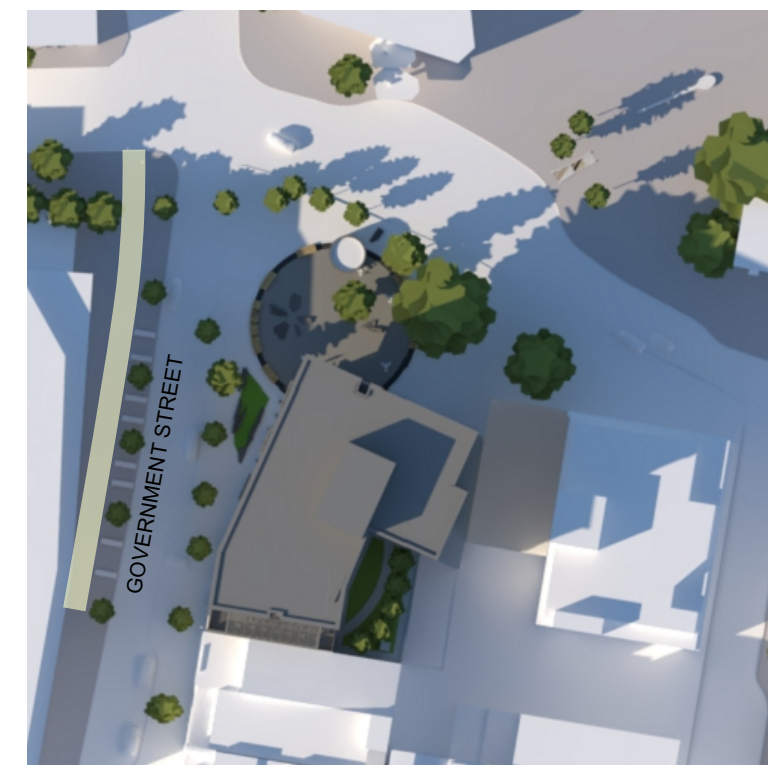
1300h - 66% sun (shaded by existing buildings)



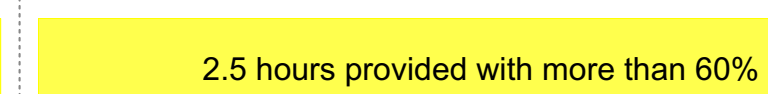
1400h - 0% sun (shaded by existing buildings)



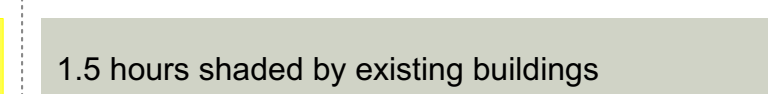
1500h - 0% sun (shaded by existing buildings)



1600h - 0% sun (shaded by existing buildings)



2.5 hours provided with more than 60% Sun



1.5 hours shaded by existing buildings



4 hours required with more than 50% Sun

GOVERNMENT STREET

2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Sun and Shade Studies

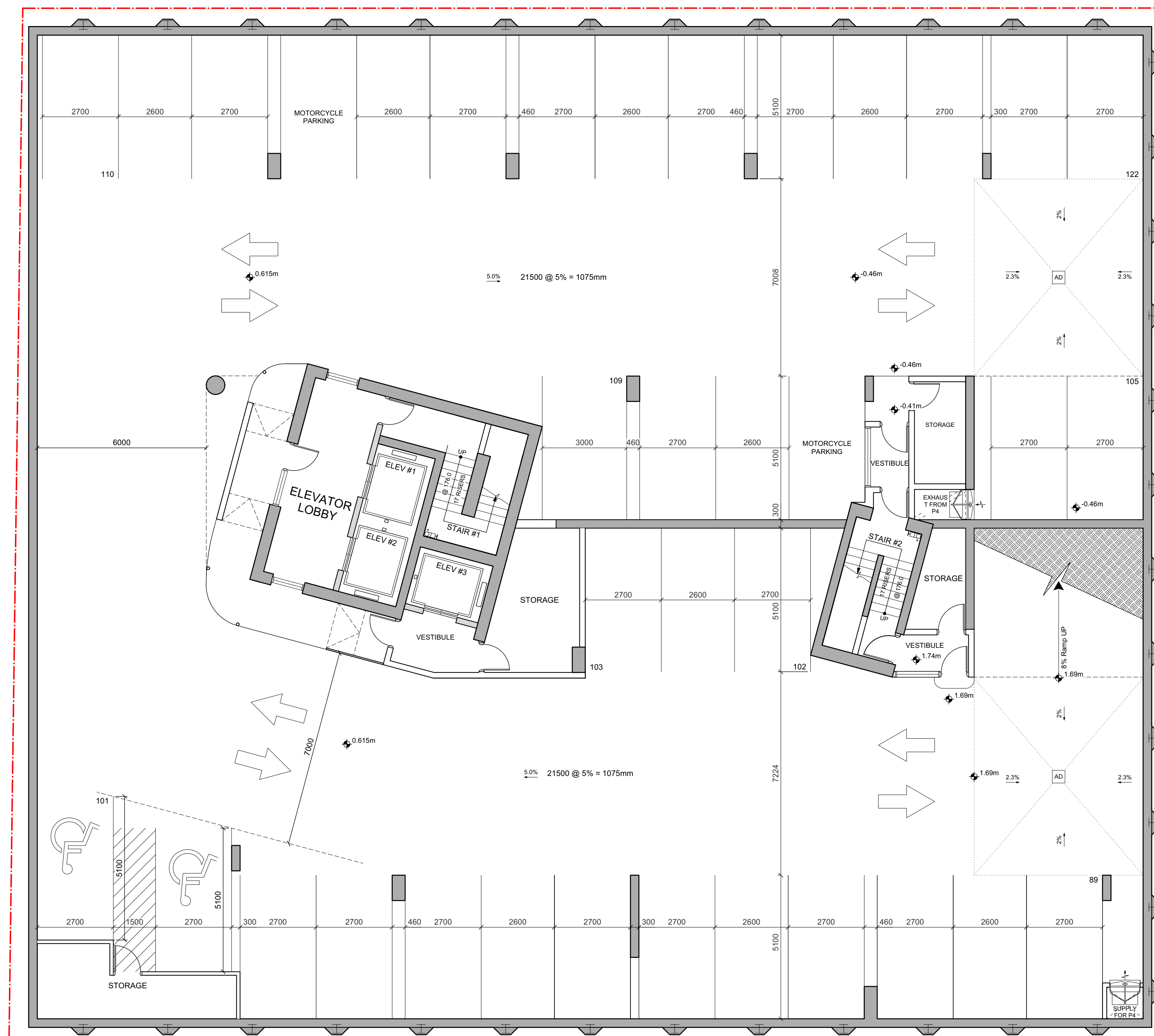
project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	n.t.s.
drawn by	JA/JH
checked by	ES

revision no.	sheet no.
2	A1.5

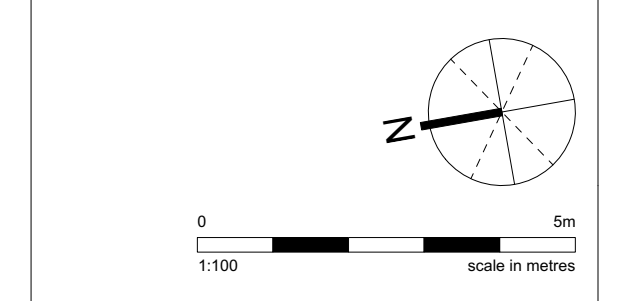


2024-08-09

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Level P4 Plan

project no. 20-36
drawing file -

date issued August 9, 2024

scale 1:100
drawn by JA/JH

checked by ES

revision no. sheet no.
2 A2.1

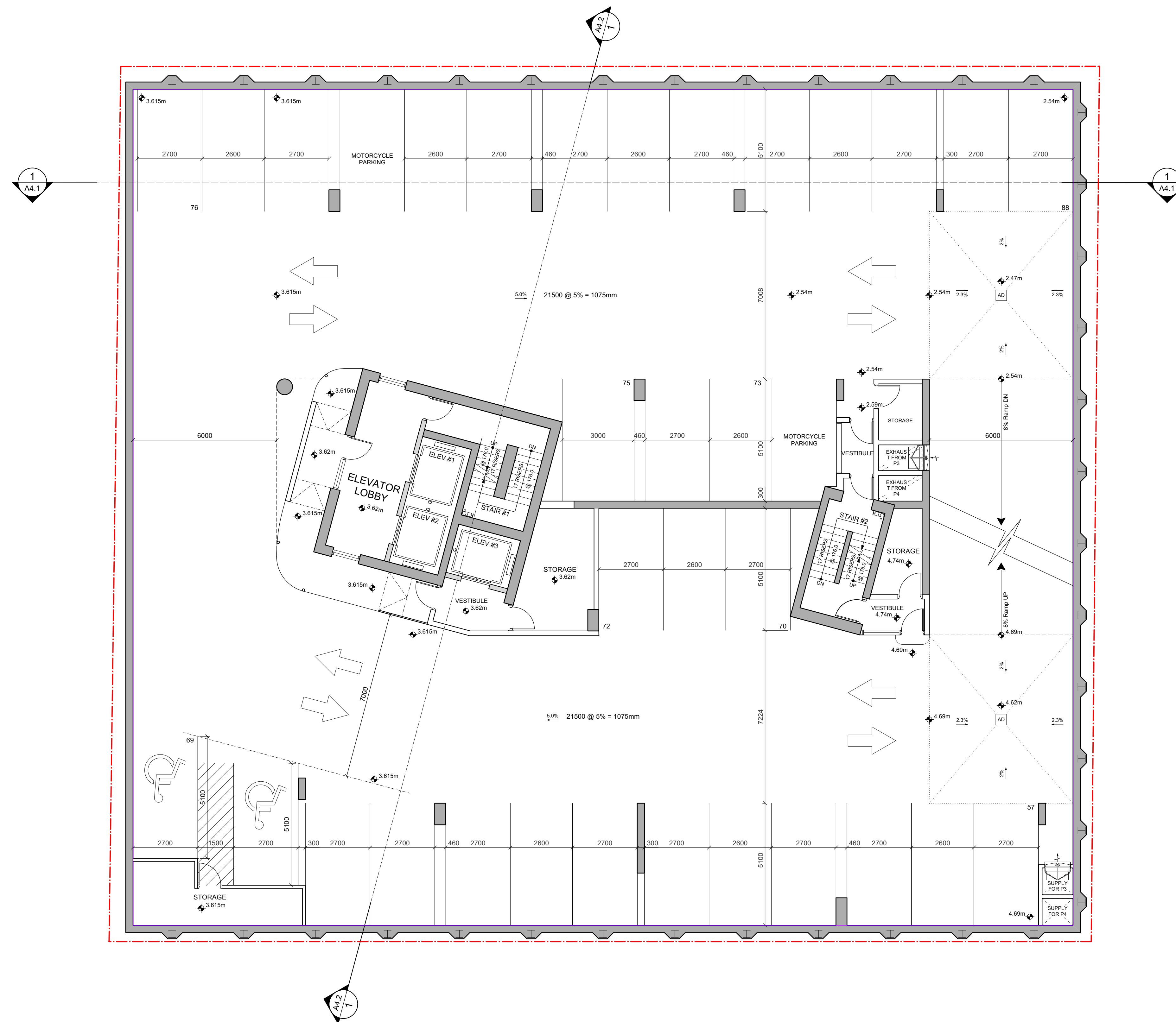
Level P4 Plan
Scale 1:100

PARKING COUNT							
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible Van Accessible	2	Hotel 1 per 25 rooms @ 198 rooms = 8 CRU @ 215sqm 1 per 150sqm=2	8	Hotel 1 per 40 rooms @ 198 rooms = 5 CRU @ 215sqm 1 per 100sqm = 3
P3		32		2			
P2		32		2			
P1		24		1			
Level 1 CRU	0	0	0	0	2	2	8
Total	50	122	2	7	8+2=10	10	5+3=8

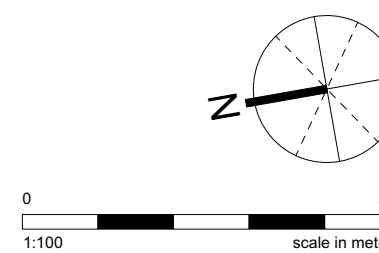


2024-08-09

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Level P3 Plan

project no. 20-36
drawing file -

date issued August 9, 2024

scale 1:100

drawn by JA/JH

checked by ES

revision no. sheet no.

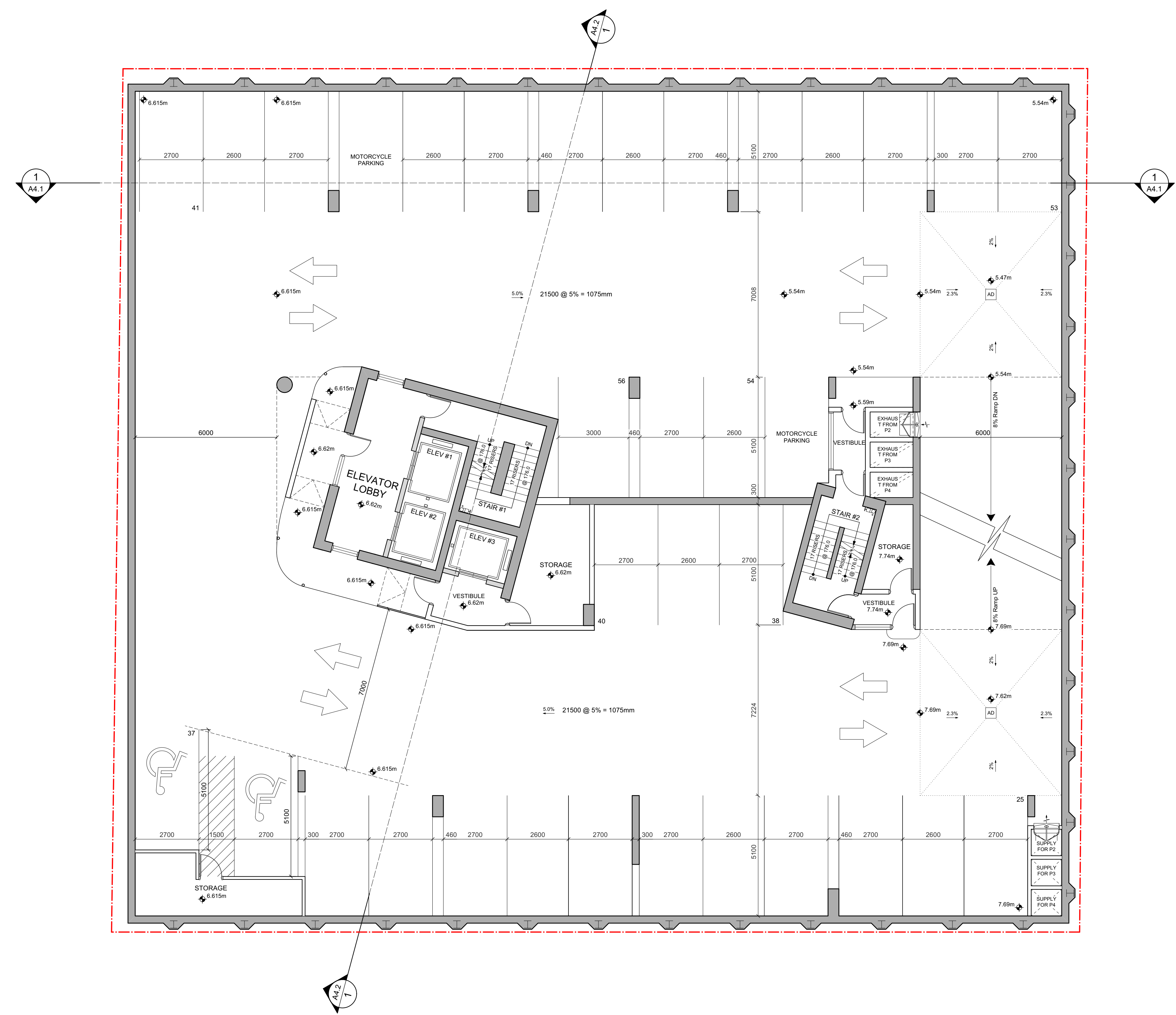
2 A2.2

Level P3 Plan
Scale 1:100

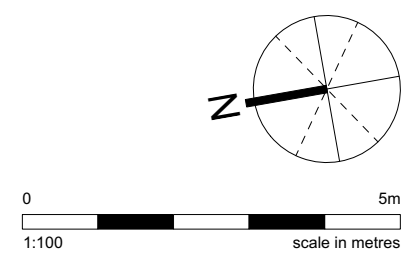
PARKING COUNT							
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	2	Hotel 1 per 25 rooms @ 198 rooms= 8	8	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2			
P2		32	Van Accessible	1			
P1		24		0	CRU @ 215sqm 1 per 150sqm=2	2	CRU @ 215sqm 1 per 100sqm = 3
Level 1 CRU	0	0					
Total	50	122	2	7	8+2=10	10	5+3=8



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no description date

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Level P2 Plan

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES
revision no.	sheet no.

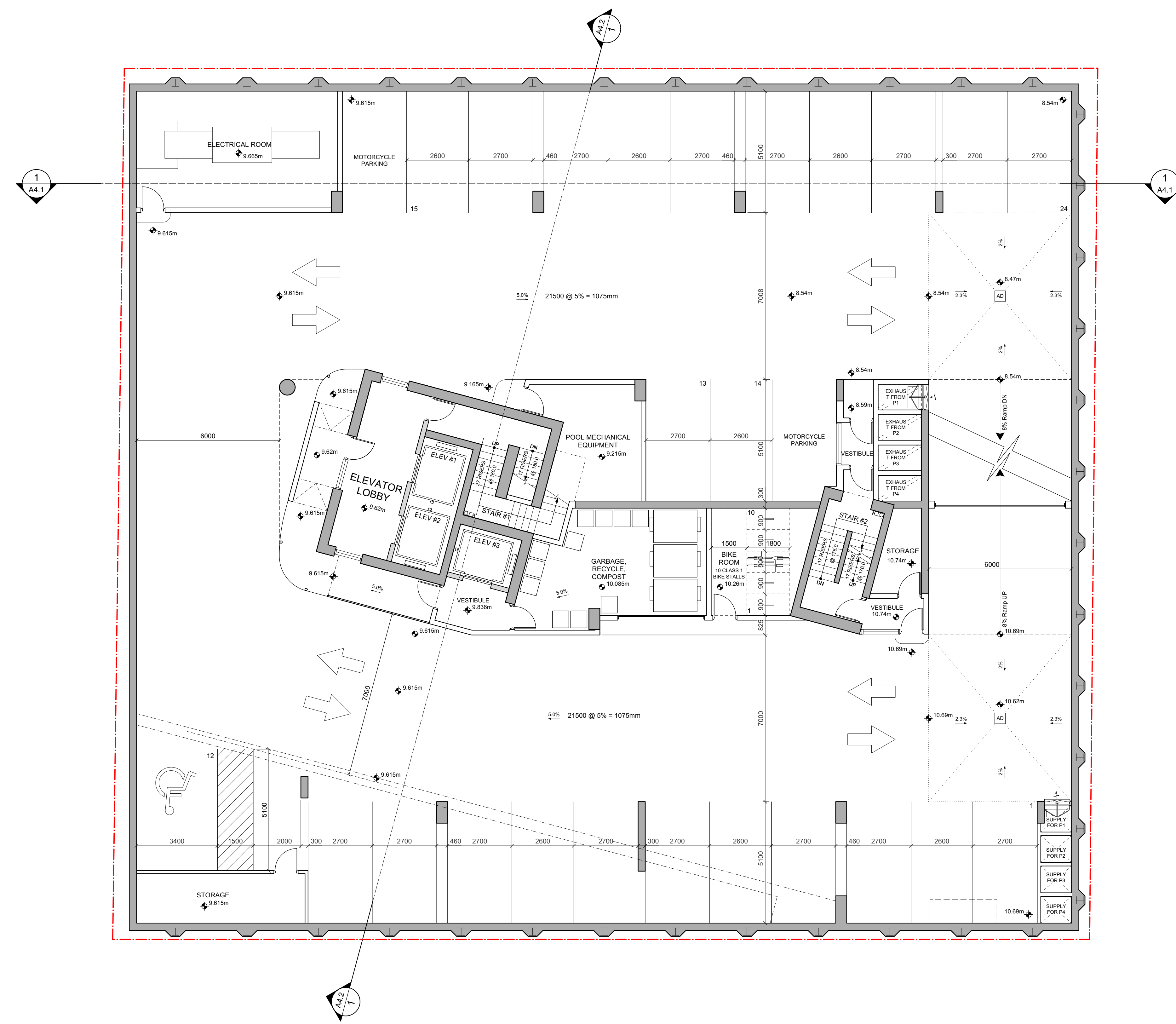
2 A2.3

Level P2 Plan
Scale 1:100

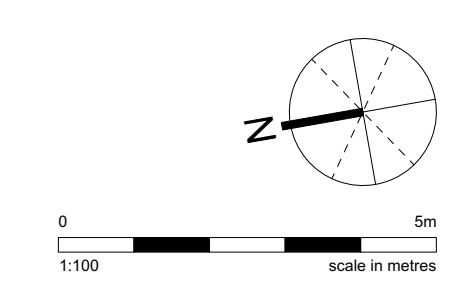
PARKING COUNT							
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	2	Hotel 1 per 25 rooms @ 198 rooms = 8	8	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2			6
P2		32		2			
P1		24	Van Accessible	1			
Level 1 CRU	0	0		0	CRU @ 215sqm 1 per 150sqm=2	2	CRU @ 215sqm 1 per 100sqm = 3
Total	50	122	2	7	8+2=10	10	5+3=8



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITY ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Level P1 Plan

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES
revision no.	sheet no.

2 A2.4

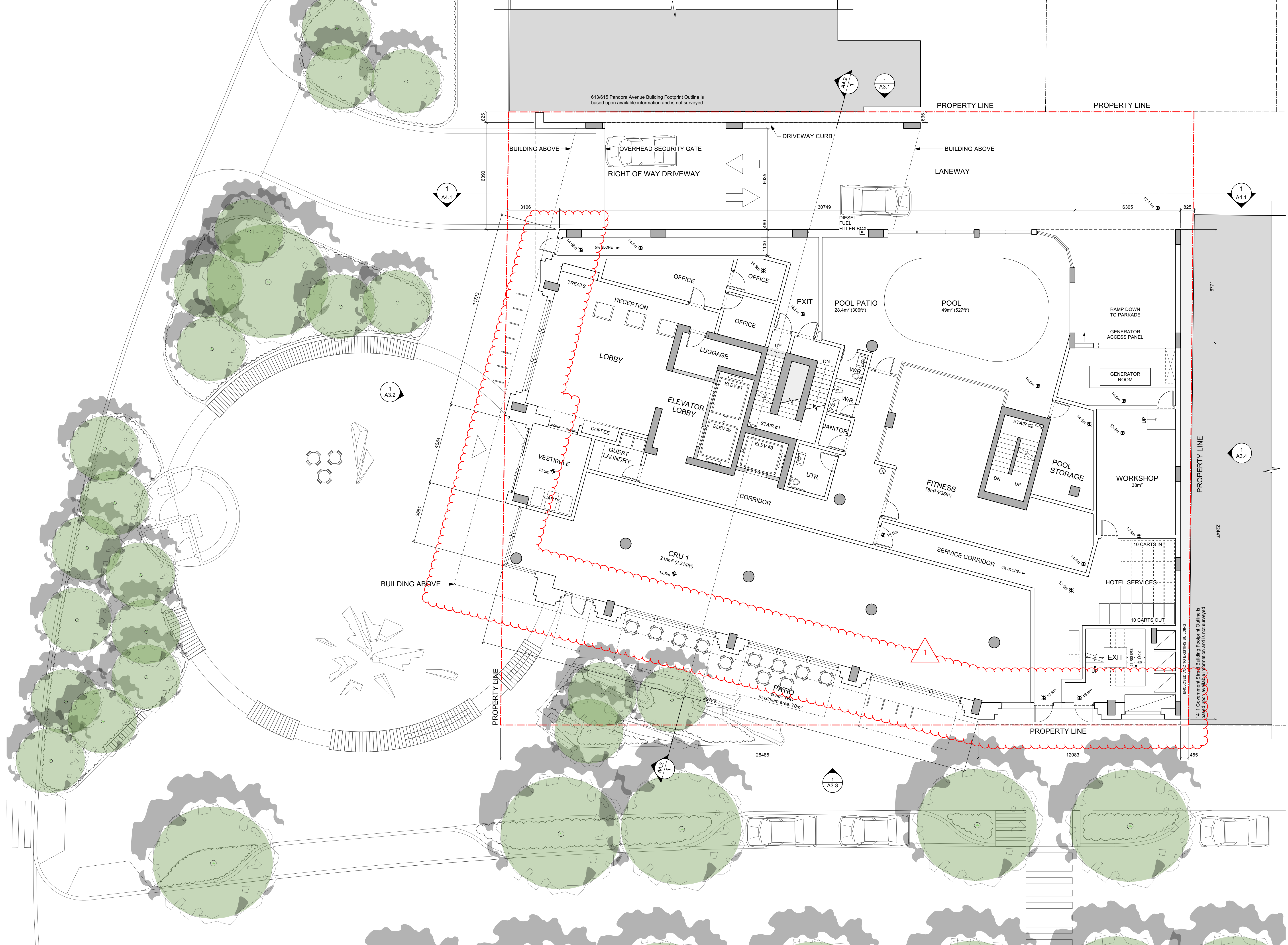
Level P1 Plan
Scale 1:100

PARKING COUNT							
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	2	Hotel 1 per 25 rooms @ 198 rooms = 8	8	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2			
P2		32	Van Accessible	1			
P1		24		0	CRU @ 215sqm 1 per 150sqm = 2	2	CRU @ 215sqm 1 per 100sqm = 3
Level 1 CRU		0		0			
Total	50	122	2	7	8+2=10	10	5+3=8

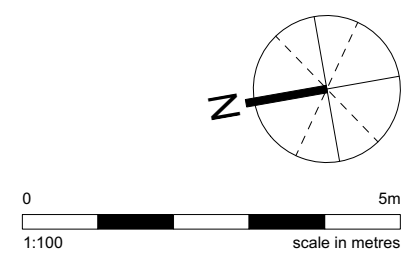


2024-08-09

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ABC. THE AUTHENTICATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Level 1
Ground Floor Plan

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
2	A2.5

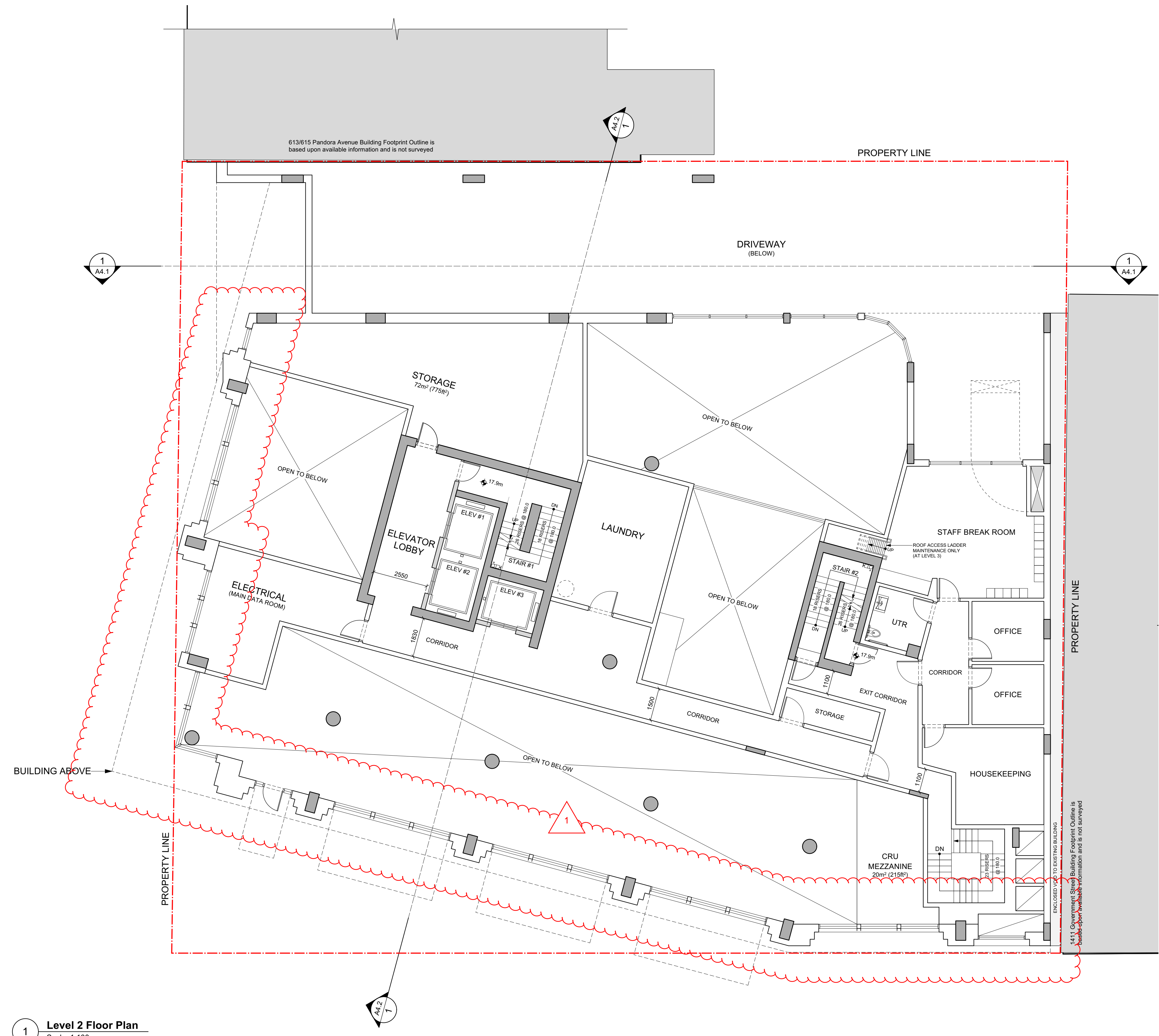


1 Level 1 Plan
Scale 1:100



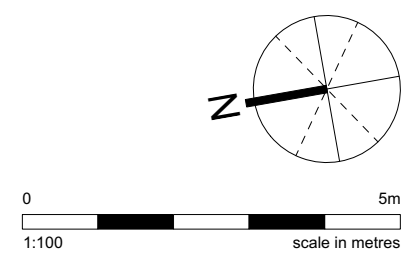
2024-08-09

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



1 Level 2 Floor Plan
Scale 1:100

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Floor Plan - Level 2

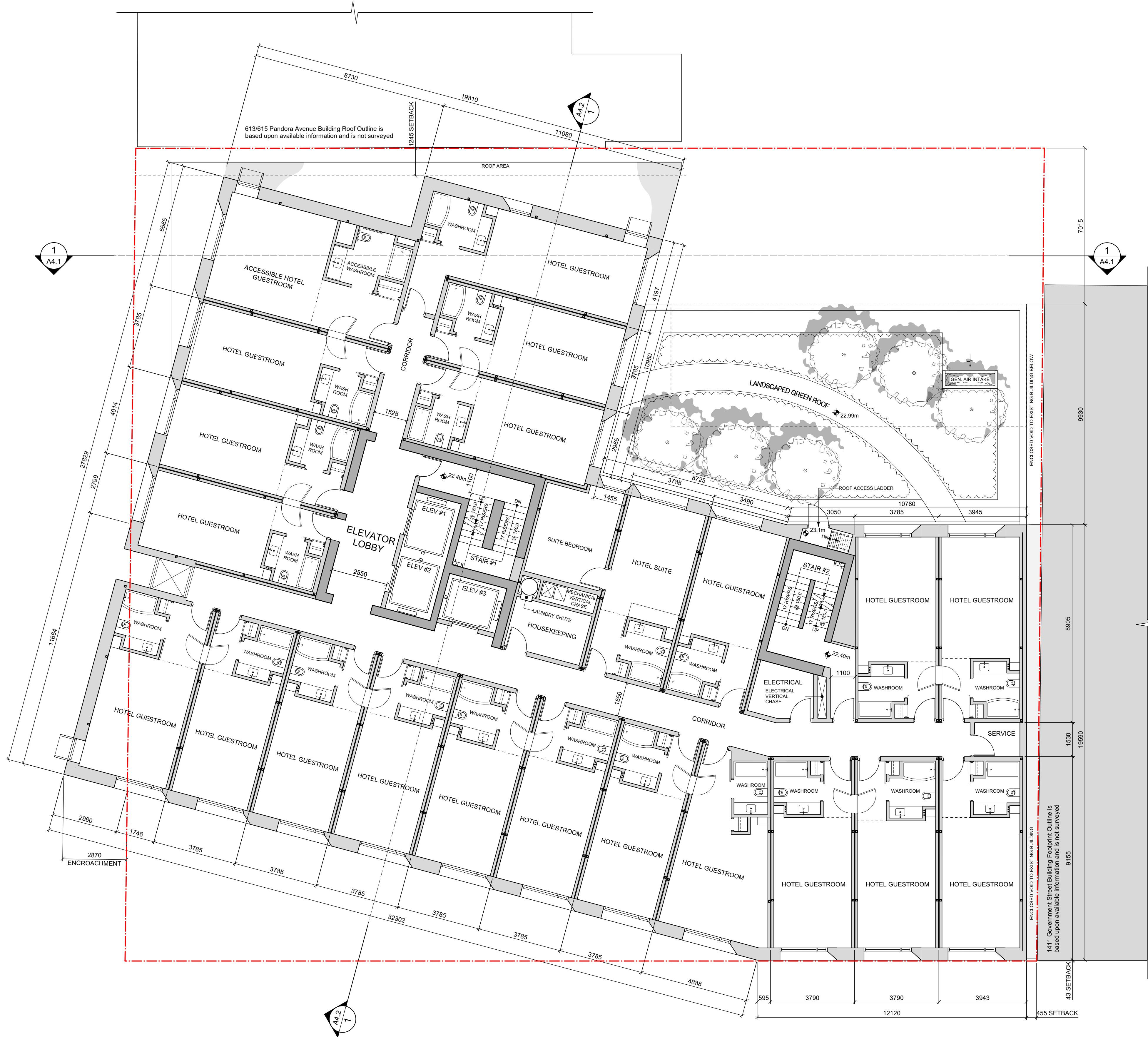
project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
2	A2.6



2024-08-09

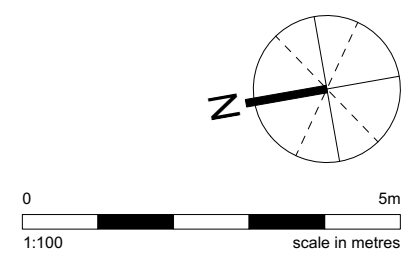
THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



Unit Count & Area
22 units / floor
1004.2 m² / floor
10,809 ft² / floor

1 Level 3
Scale 1:100

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

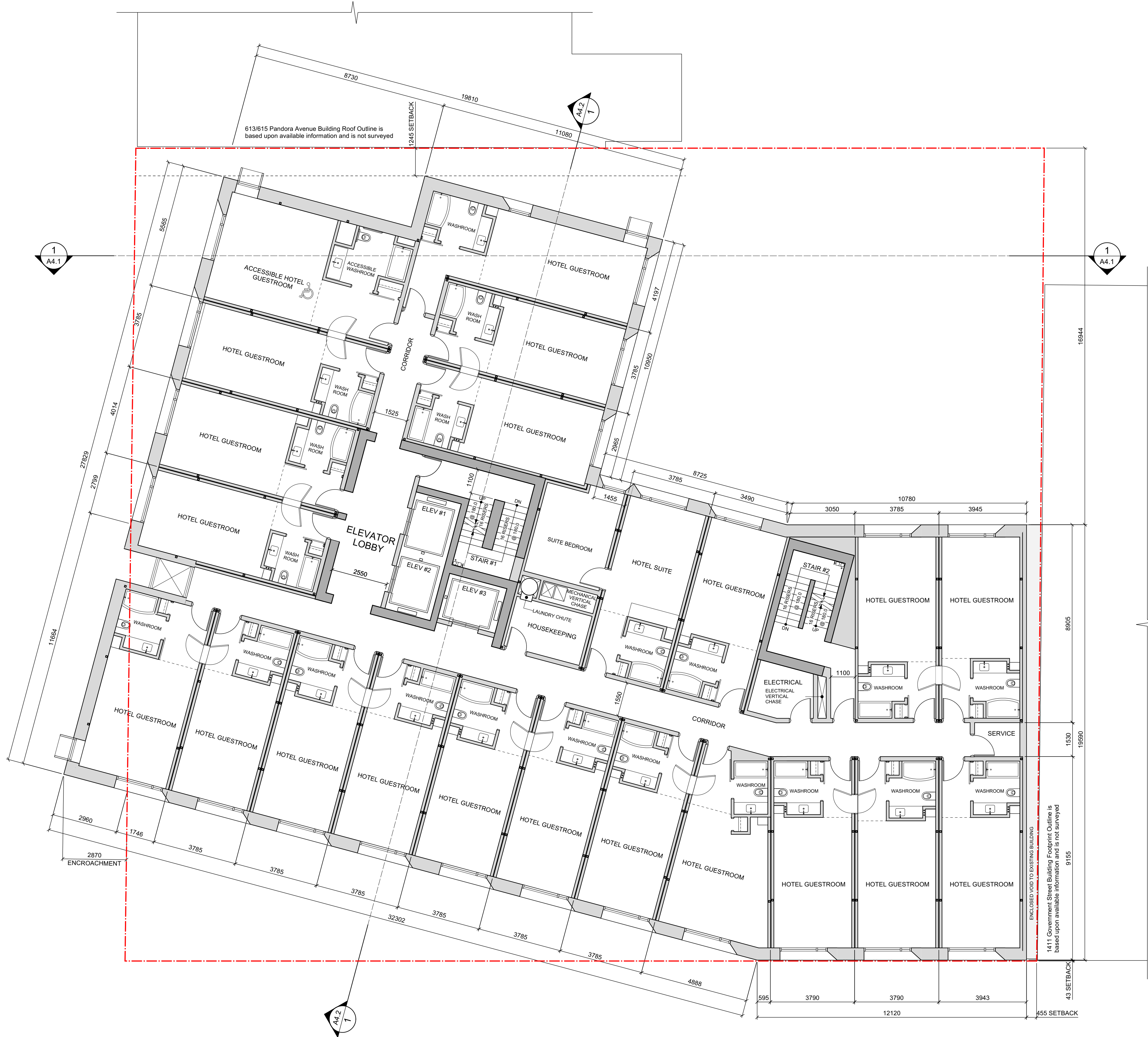
sheet title
Floor Plan - Level 3

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES

revision no.	sheet no.
2	A2.7



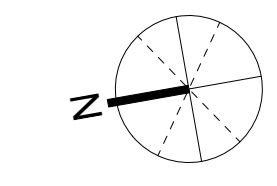
THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITY ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



Unit Count & Area
22 units / floor
1004.2 m² / floor
10,809 ft² / floor

1 Level 4 - Level 5
Scale 1:100

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



0 1:100 5m
scale in metres

2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
**Floor Plan -
Level 4 - Level 5**

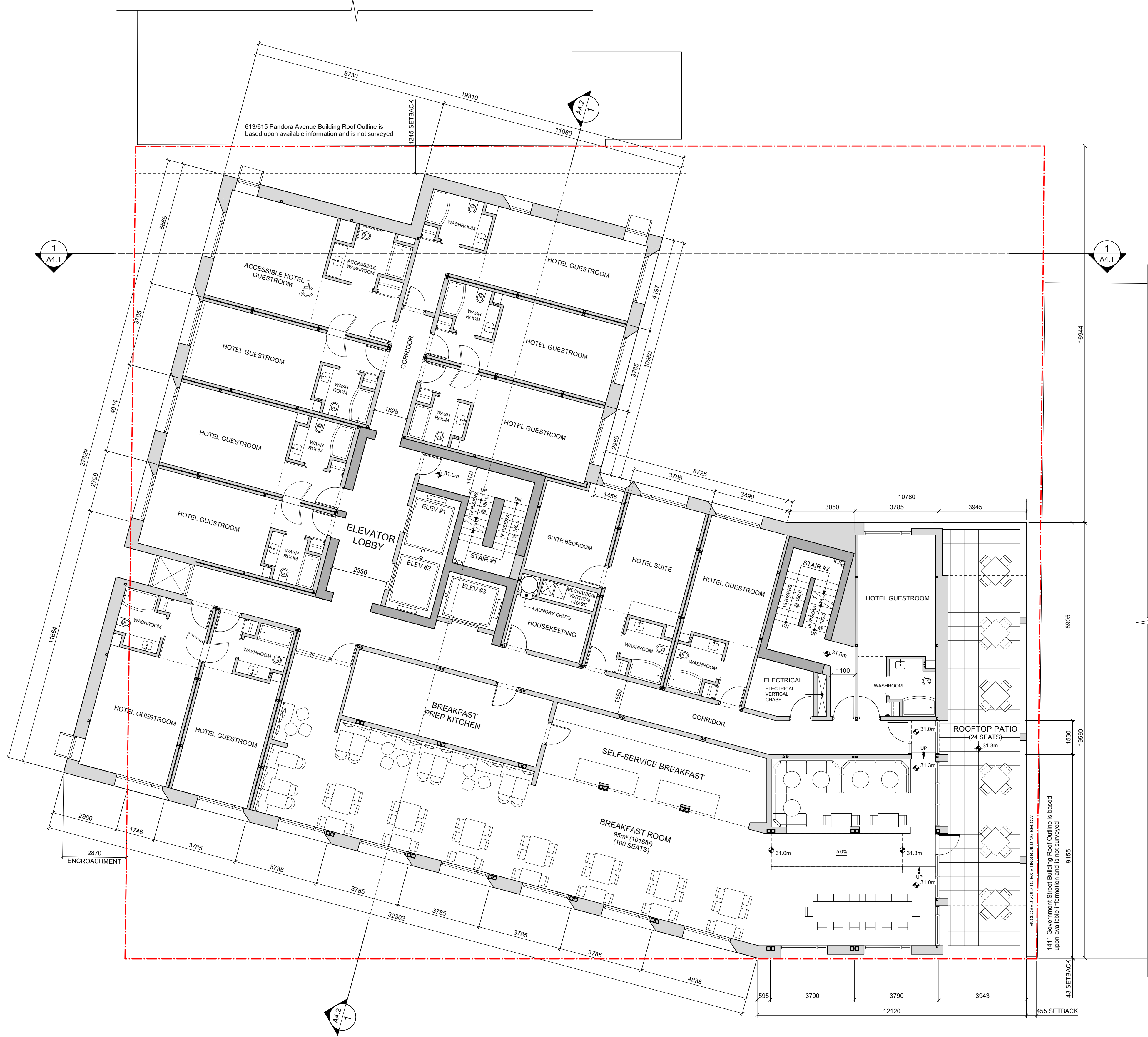
project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES

revision no. sheet no.
2 A2.8



2024-08-09

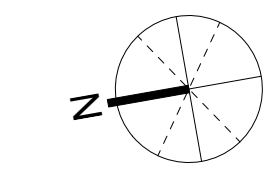
THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



Unit Count & Area
12 units / floor
934.9m² / floor
10,063 ft² / floor

1 Level 6
Scale 1:100

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



0 1:100 scale in metres

2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

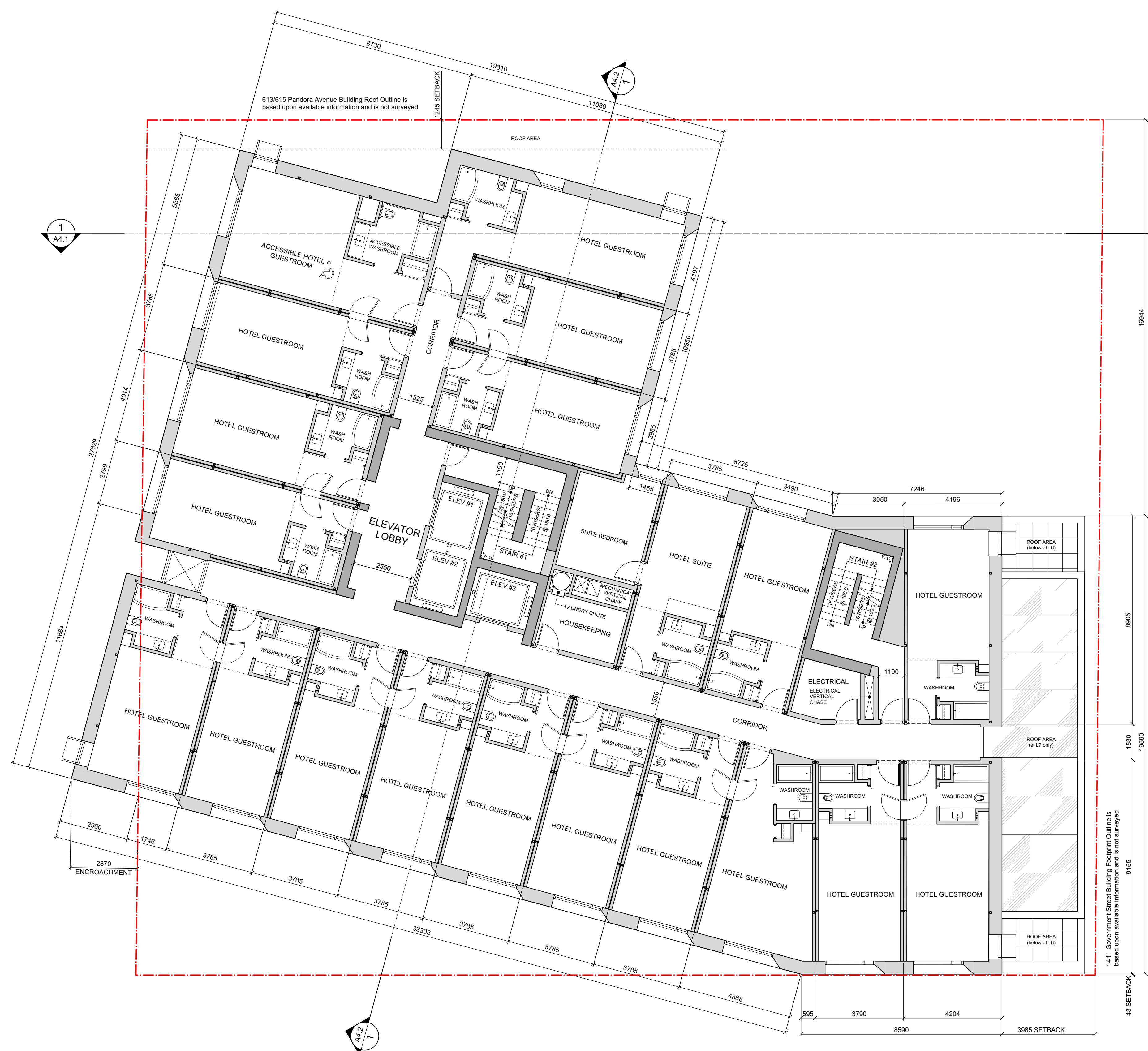
sheet title
Floor Plan - Level 6

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES

revision no. sheet no.
2 A2.9



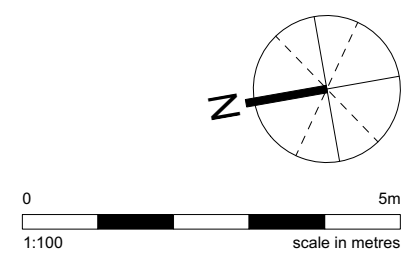
THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ABC. THE AUTHENTIC ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



Unit Count & Area
20 units / floor
933.9 m² / floor
10,052 ft² / floor

1 Level 7 - Level 12
Scale 1:100

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

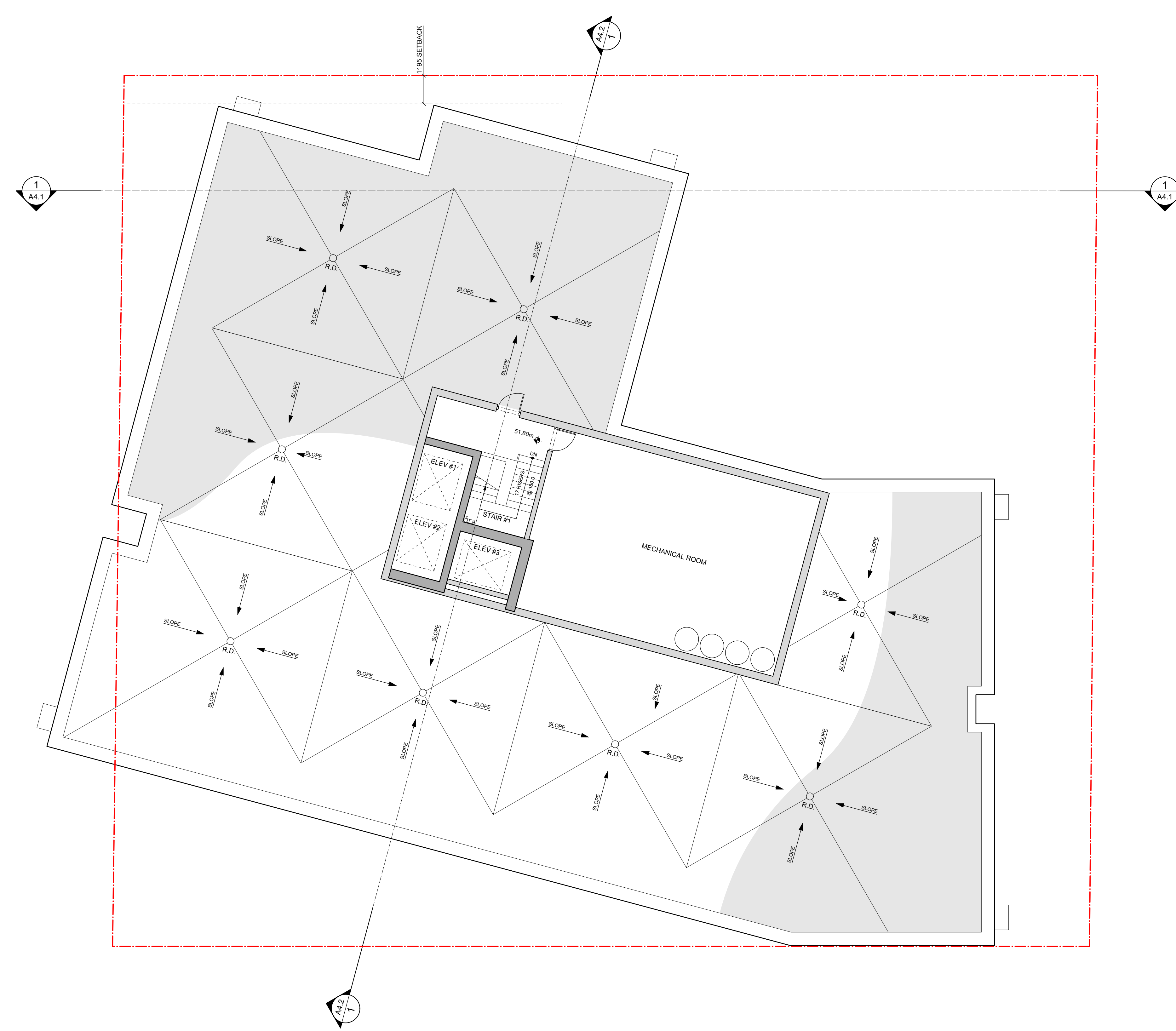
sheet title
**Floor Plan -
Level 7 - Level 12**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES

revision no.	sheet no.
2	A2.10



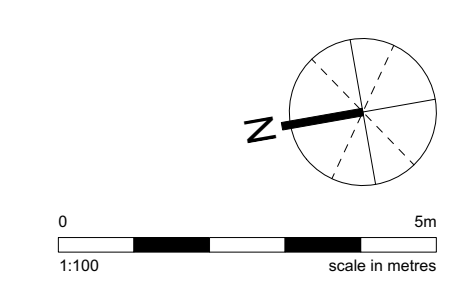
THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



Area
Penthouse G.F.A. Excluded
0.00 m²
0 ft²

1 Penthouse and Roof Plan
Scale 1:100

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Penthouse and Roof Plan

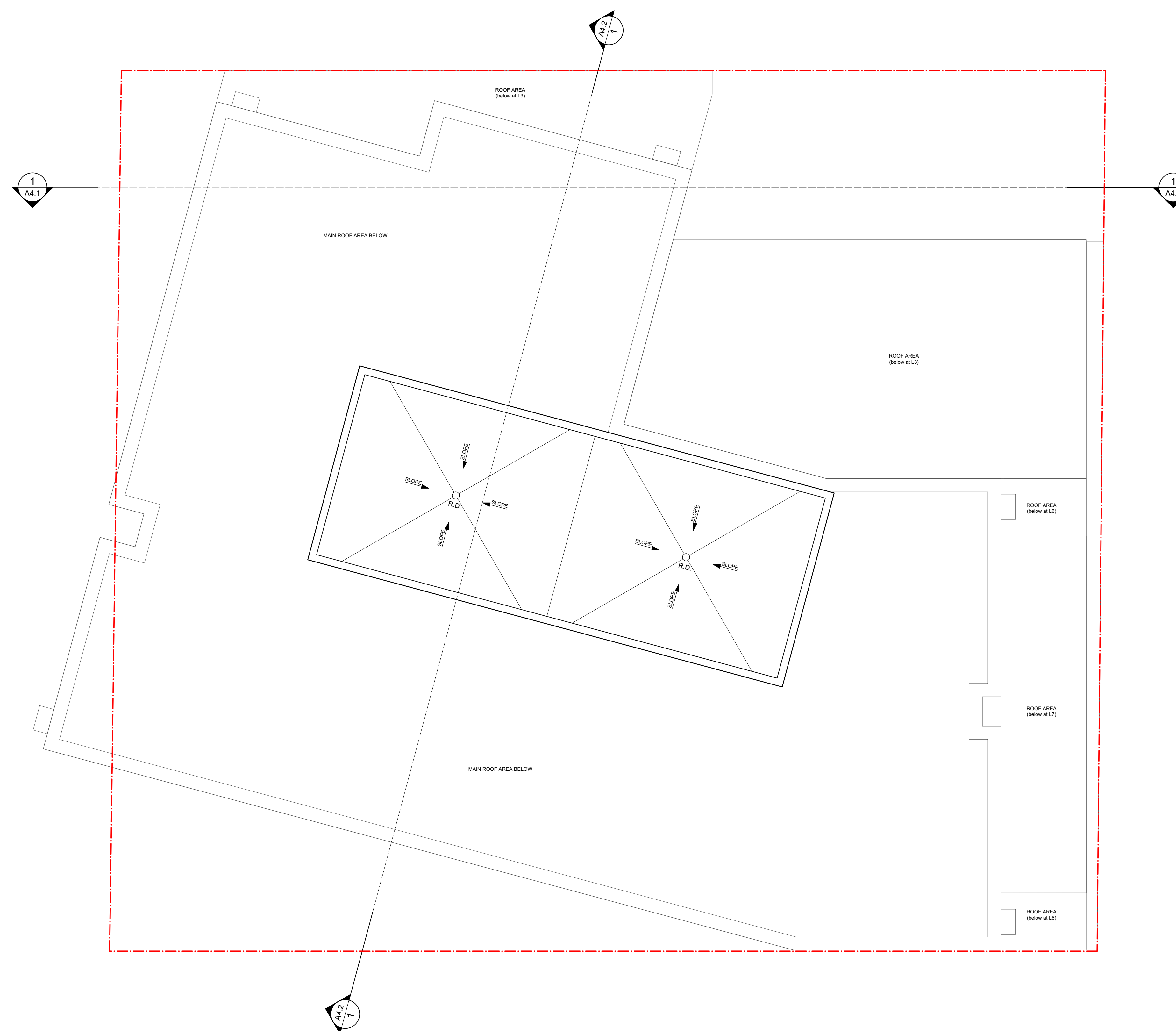
project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES

revision no.	sheet no.
2	A2.11



2024-08-09

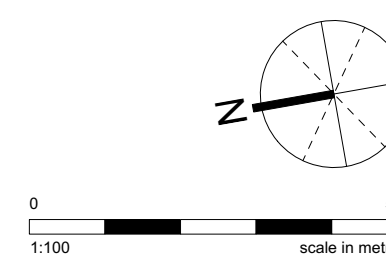
THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



Area
Penthouse G.F.A. Excluded
0.00 m²
0 ft²

1 Penthouse and Roof Plan
Scale 1:100

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Roof Plan

project no. 20-36

drawing file -

date issued August 9, 2024

scale 1:100

drawn by JA/JH

checked by ES

revision no. sheet no.

2 A2.12



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



rev no	description	date
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

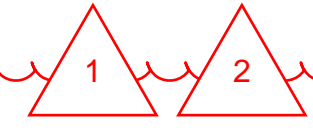
sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES

revision no.	sheet no.
2	A3.1



West Elevation (Government St)
Scale 1:100





2024-08-09

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



rev no	description	date
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

2
A3.2



North Elevation (Pandora Ave.)
Scale 1:100

1 2



2024-08-09

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flushing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



rev no	description	date
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

2
A3.3



East Elevation
Scale 1:100

1 2



2024-08-09

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flushing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

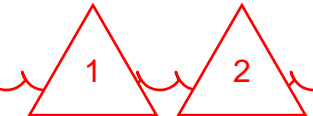
sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES

revision no.	sheet no.
2	A3.4



South Elevation
Scale 1:100





2024-08-09

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flushing Colour Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



Context Elevation - Government Street
Scale 1:250



Context Elevation - Pandora Avenue
Scale 1:250

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.

0 5m
1:100 scale in metres

2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
--------	-------------	------

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Context Elevations

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES

revision no.	sheet no.
2	A3.1



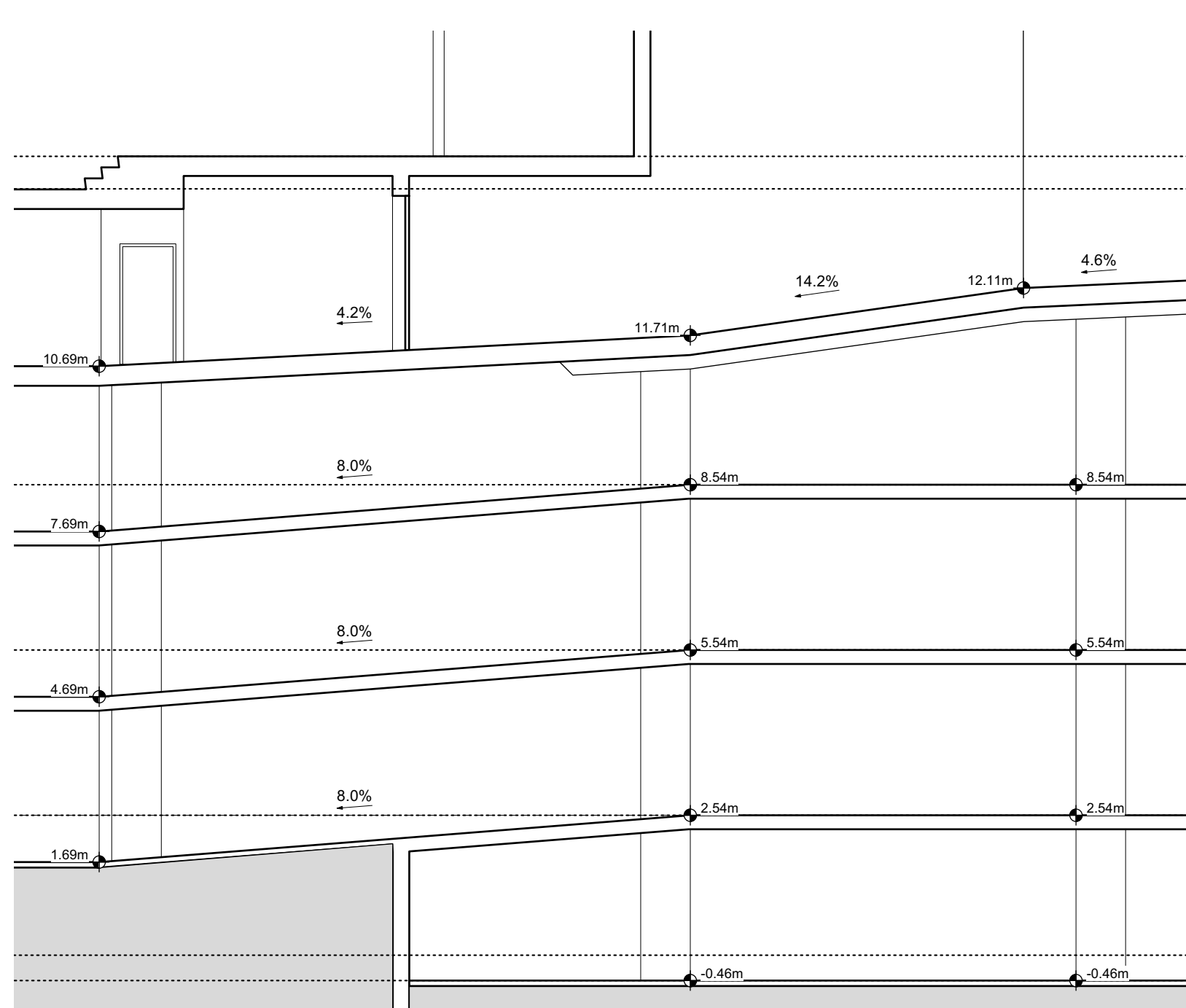
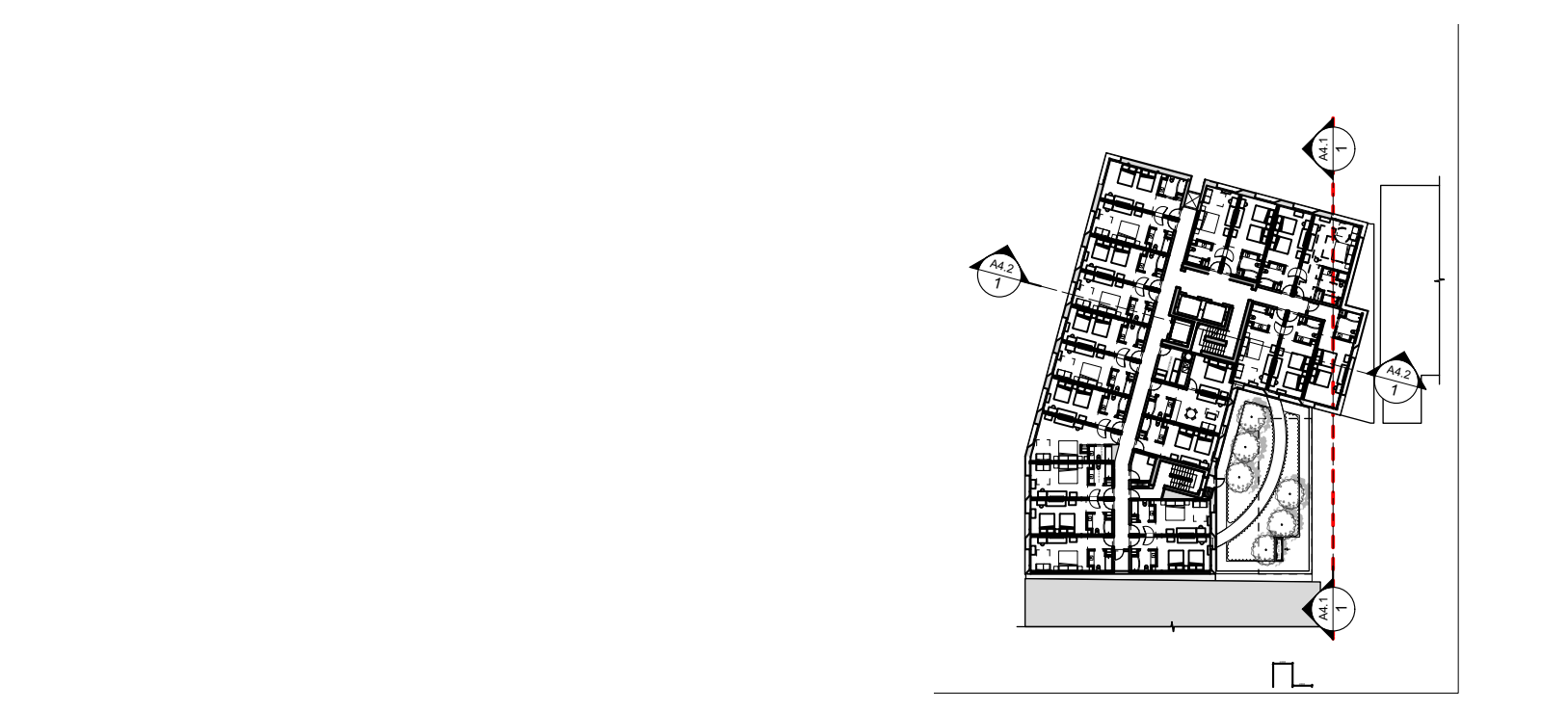
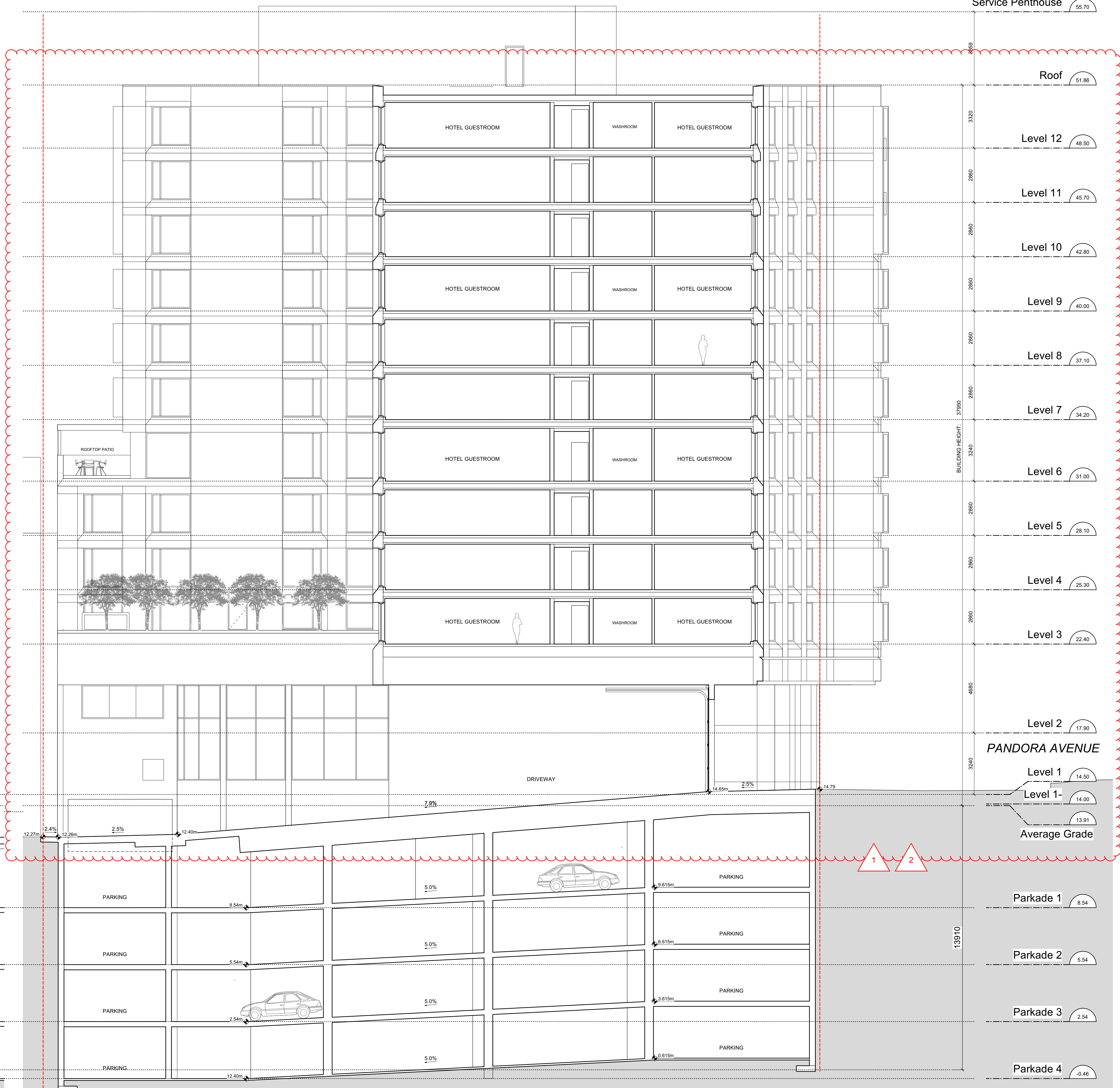
2024-08-09

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

Elevation Materials Key:

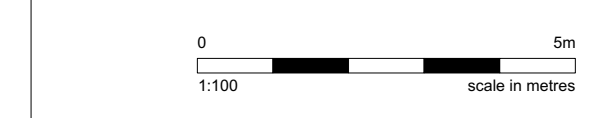
1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



2 Partial Section E-W Internal Ramp System
Scale 1:100

1 Section N-S
Scale 1:100



rev no	description	date
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Building Section N-S

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

2 A4.1



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour

PLEASE REFER TO THE ACCOMPANYING REVISION MEMO FOR DESCRIPTIONS OF THE DESIGN ADJUSTMENTS.



rev no	description	date
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Building Section N-S

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

2
A4.2

Section E-W
Scale 1:100

