

GENERAL NOTES

GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE (BCBC), GOOD CONSTRUCTION PRACTICE, AS WELL AS ANY OTHER LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE

ALL MEASUREMENTS TO BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION. COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF THE DRAWINGS/SITE CONDITIONS AND MEANS DIMENSIONS & ELEVATIONS HAVE BEEN VERIFIED & ARE ACCEPTABLE

IF ANY DISCREPANCIES ARISE, THEY SHOULD BE REPORTED TO THE DESIGNER

DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE

FRAMING LUMBER SHALL BE GRADED #2 OR BETTER UNLESS OTHERWISE SPECIFIED

ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES AND MILLWORK TO OWNERS APPROVAL

STAIR TREADS TO BE PLYWOOD OR OTHER ENGINEERED PRODUCT AND SECURED WITH SCREWS AND SUB-FLOOR ADHESIVE

TEMPORARY HEAT REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN DRYING OF FRAMEWORK. MOISTURE CONTENT OF FRAMEWORK MUST NOT EXCEED 19%

SITE PLAN
LAYOUT TO BE CONFIRMED BY A CURRENTLY REGISTERED BRITISH COLUMBIA LEGAL LAND SURVEYOR

ALL SET BACKS TO BE CONFIRMED BY THE OWNER AND BUILDER

ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER AND BUILDER

VERIFY EXISTING AND PROPOSED GRADES PRIOR TO CONSTRUCTION

FOUNDATION
THE BUILDER IS RESPONSIBLE FOR LOCATING THE FOOT PRINT OF THE STRUCTURE IN THE PROPER PLACE AS PER PLANS

CONCRETE FOUNDATION WALLS NOT SUBJECT TO SURCHARGE SHALL BE INSTALLED ON COMPACTED, UNDISTURBED, INORGANIC STABLE SOILS BELOW THE DEPTH OF FROST PENETRATION WITH AN ALLOWABLE BEARING PRESSURE OF 75 kPa OR GREATER. IF SOFTER CONDITIONS APPLY, THE BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER

THE SILL PLATE IS TO BE FASTENED TO THE FOUNDATION WALL WITH NOT LESS THAN 12.7mm Ø ANCHOR BOLTS SPACED NOT MORE THAN 2.4m O.C. OR FOR BRACED WALL PANELS 2 15mm Ø ANCHOR BOLTS PER BRACED WALL PANEL 500mm FROM THE ENDS OF THE FOUNDATION AND SPACED 1.7m O.C. EMBEDDED 100mm DEEP

ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE TREATED OR PROTECTED BY A MOISTURE RESISTANT GASKET

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED AND ADVISE THE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE ENGINEERING

ALL FOUNDATION WALLS ARE 200mm THICK 20MPa CONCRETE UNLESS OTHERWISE SPECIFIED

FOUNDATION WALLS MAY BE A MAXIMUM OF 4' HIGH FROM GRADE TO UNDERSIDE OF FLOOR IF LATERALLY UNSUPPORTED AT TOP. ALL OTHER CONCRETE FOUNDATION WALLS TO BE ENGINEERED

FRAMING
ALL ENGINEERED COMPONENTS TO BE SIZED BY SUPPLIER

ALL SPANS AND LOADINGS SHALL CONFORM TO THE CURRENT VERSION OF THE BCBC. VERIFICATION OF ALL COMPONENTS IS THE RESPONSIBILITY OF THE OWNER/BUILDER. ANY COMPONENTS WHICH CANNOT BE DESIGNED WITH THE BCBC SHALL BE DESIGNED BY A QUALIFIED ENGINEER

TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS

IT IS ASSUMED THAT THE CONTRACTOR IS FAMILIAR WITH THE BCBC AND INDUSTRY STANDARDS FOR WOOD FRAME CONSTRUCTION. NOT EVERY DETAIL OF WOOD FRAMING IS SHOWN ON THESE DRAWINGS

ALL LINTELS DOUBLE 2X10 S.S. SPF FOR CLEAR SPANS UP TO 5' UNLESS OTHERWISE NOTED

EXTERIOR WALL THICKNESS SHOWN ARE MEASURED FROM OUTSIDE OF EXTERIOR SHEATHING TO INSIDE OF DRYWALL

INTERIOR WALL THICKNESS SHOWN ARE MEASURED FROM OUTSIDE OF DRYWALL TO OUTSIDE OF DRYWALL

ROOM MEASUREMENTS SHOWN ARE TO THE NEAREST INCH. DIMENSIONS SHOWN ARE TO THE NEAREST 1/2"

CONFIRM ALL VANITY'S, BATHTUBS, SHOWERS AND KITCHEN CUPBOARDS WITH OWNER PRIOR TO FRAMING AS THESE MAY REQUIRE MODIFICATIONS TO THE ROOM SIZES

TYPICAL DOOR AND WINDOW HEADER HEIGHT*

8' CEILINGS: 6'8"
9' CEILINGS: 7'0"
10' CEILINGS: VARIES

ROOFING

ALL ROOFING SHALL BE APPLIED TO THE MANUFACTURERS SPECIFICATIONS AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMMING AND SNOW BUILD UP

PLUMBING AND ELECTRICAL

ANY PLUMBING AND ELECTRICAL SHOWN ON THESE PLANS IS FOR ILLUSTRATIONAL PURPOSES ONLY AND MUST BE DESIGNED AND INSTALLED BY A QUALIFIED PROFESSIONAL

FLASHING

ALL PENETRATIONS THROUGH THE ROOF WILL REQUIRE FLASHING.

ALL ROOFING TO INCLUDE STEP FLASHING.

ALL EXPOSED OPENINGS TO INCLUDE FLASHING

ALL FLASHING END DAMS TO BE 25mm (1") HIGH

DOORS

FRAME HEIGHT TO BE 1 1/4" WIDER THAN DOOR
FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS.
FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT IS 81.5"
ALL INTERIOR DOORS TO BE 30" WIDE UNLESS OTHERWISE SPECIFIED

FENESTRATION

ALL WINDOWS, DOORS & SKYLIGHTS TO CONFORM TO NAFS-08 AND THE CANADIAN SUPPLEMENT TO NAFS

FENESTRATION PERFORMANCE REQUIREMENTS:
CLASS R - PG 30 - +VE/-VE DP = 1440Pa/1440Pa - WATER PENETRATION RESISTANCE = 260Pa - CANADIAN AIR INFILTRATION/EXFILTRATION = A2

WINDOW/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION

SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS AND MILLWORK TO OWNERS APPROVAL

ALL WINDOWS ADJACENT TO BATH TUBS TO BE SAFETY GLASS

GUARDS/HANDRAILS
INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" TO 38" ABOVE STAIR NOSING

INSTALL GUARDS AT ALL BALCONIES, DECKS AND PORCHES GREATER THAN 2' ABOVE GRADE.
INSTALL GUARD AT 42" HEIGHT WHERE SURFACE IS GREATER THAN 6' ABOVE ADJACENT SURFACE, OTHERWISE 36" GUARDRAIL ALLOWABLE

TOPLESS GLASS GUARDS TO BE ENGINEERED WITH SEALED DRAWINGS

VENTILATION
PROVIDE ATTIC AND CRAWLSPACE ACCESS AND VENTILATION IN ACCORDANCE WITH BCBC

PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH BCBC AND LOCAL BYLAWS

MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FRAMING INSPECTION

MISC.

SMOKE/CARBON MONOXIDE ALARMS TO BE PROVIDED ON EVERY FLOOR AND ARE TO BE HARDWIRED AND WITHIN 5m OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. SMOKE ALARMS TO ALSO BE PROVIDED IN EVERY BEDROOM. ALL SMOKE ALARM LOCATIONS WILL HAVE BOTH PHOTOELECTRIC AND IONIC DETECTION SYSTEMS

BEDROOM WINDOWS FOR EGRESS SHALL HAVE OPENINGS WITH AREAS NOT LESS THAN 3.8m² WITH NO DIMENSION LESS THAN 15"

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO CHECK AND VERIFY ALL ASPECTS OF THESE PLANS PRIOR TO START OF CONSTRUCTION OR DEMOLITION. ADAPT DESIGN DOES NOT ACCEPT RESPONSIBILITY FOR THE FOLLOWING:
-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE
-CONFORMITY OF PLANS TO SITE
-ERRORS AND/OR OMISSIONS
-ANY HOUSE BUILT FROM THESE PLANS
THESE PLANS REMAIN THE PROPERTY OF ADAPT DESIGN AND CAN BE RECLAIMED AT ANY TIME

COMMENCEMENT OF CONSTRUCTION OR DEMOLITION MEANS THAT YOU HEREBY EXPRESSLY WAIVE AND RELEASE ANY AND ALL CLAIMS WHICH HAVE OR MAY IN FUTURE HAVE, AGAINST ADAPT DESIGN, AND ITS OFFICERS, DIRECTORS, EMPLOYEES, AGENTS, REPRESENTATIVES, AFFILIATES, SHAREHOLDERS, SUCCESSORS, AND ASSIGNS (COLLECTIVELY, "RELEASEES"), ON ACCOUNT OF ERRORS OR OMISSIONS ON THE DRAWINGS WHICH MAY RESULT IN CONSEQUENTIAL LOSS, INJURY, DAMAGE INCLUDING BUT NOT LIMITED TO LOSS OF PROFITS AND LOSS OF MARKETS. I COVENANT NOT TO MAKE OR BRING ANY SUCH CLAIM, INCLUDING CLAIMS OF NEGLIGENCE, AGAINST ADAPT DESIGN OR ANY OTHER RELEASEE, AND FOREVER RELEASE AND DISCHARGE ADAPT DESIGN AND ALL OTHER RELEASEES FROM LIABILITY UNDER SUCH CLAIMS.



- PERSPECTIVE VIEW

		Issued
COVER SHEET & GENERAL INFO		
A-001	COVER SHEET	<input type="checkbox"/>
A-001	SITE PLAN	<input type="checkbox"/>
A-002	LANDSCAPE PLAN AND STREETSCAPE	<input type="checkbox"/>
PLANS		
A-101	FOUNDATION PLAN	<input type="checkbox"/>
A-101	LOWER FLOOR PLAN AND CROSS SECTION	<input type="checkbox"/>
A-102	MAIN AND UPPER FLOOR PLAN	<input type="checkbox"/>
A-104	UPPER FLOOR PLAN	<input type="checkbox"/>
A-105	ROOF PLAN	<input type="checkbox"/>
ELEVATIONS		

PROJECT: NEW SINGLE FAMILY DWELLING

ADAPT
DESIGN

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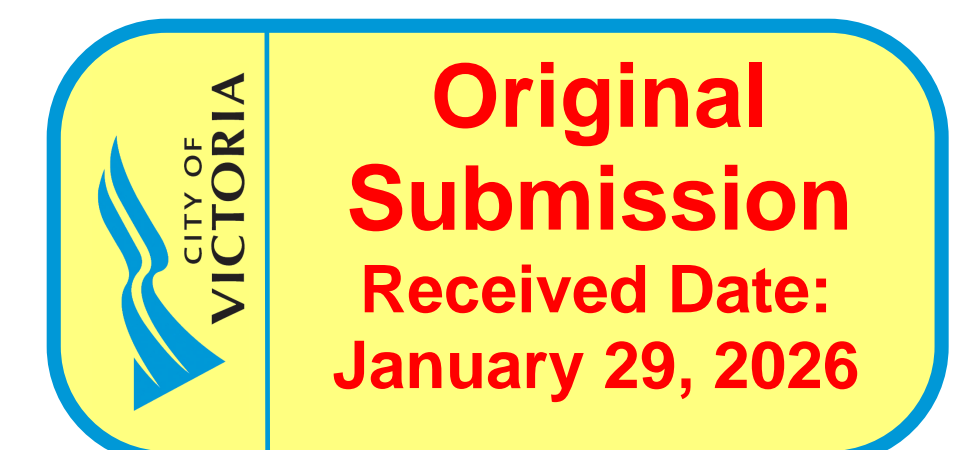
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COVER SHEET

A-001

Printed: 2026-01-22



BLOCK A	LOWER FLOOR	MAIN FLOOR	UPPER FLOOR	TOTAL	GARAGE
UNIT A	29.76 m ²	51.74 m ²	51.74 m ²	133.24 m ²	21.98 m ²
UNIT B	30.06 m ²	52.71 m ²	52.71 m ²	135.48 m ²	22.65 m ²
UNIT C	29.08 m ²	51.74 m ²	51.74 m ²	132.56 m ²	22.65 m ²
TOTAL	88.90 m²	156.19 m²	156.19 m²	401.28 m²	67.28 m²

BLOCK B	LOWER FLOOR	MAIN FLOOR	UPPER FLOOR	TOTAL	GARAGE
UNIT A	29.19 m ²	50.63 m ²	50.63 m ²	103.45 m ²	21.45 m ²
UNIT B	29.50 m ²	51.62 m ²	51.62 m ²	132.74 m ²	22.12 m ²
UNIT C	29.50 m ²	51.62 m ²	51.62 m ²	132.74 m ²	22.12 m ²
UNIT D	28.51 m ²	50.63 m ²	50.63 m ²	129.77 m ²	22.12 m ²
TOTAL	116.70 m²	204.50 m²	204.50 m²	525.70 m²	87.81 m²

BLOCK A	Zoning	Proposed
Setbacks:		
Front	4.0m	4.29m
Right	1.5m	6.87m
Left	1.5m	1.5m
Block B	8.0m	8.0m
Roof Height	12.0m	11.64m
Floor Area:		
Lower		88.90 m ²
Main		156.19 m ²
Upper		156.19 m ²
Garage	(3x18.58=55.74m ²)	67.28 m ²
Total		412.82 m ²
Building Footprint:		188.21 m ²

BLOCK B	Zoning	Proposed
Setbacks:		
Rear	8.0m	*4.5m
Right	1.5m	1.5m
Left	1.5m	1.5m
Block A	8.0m	8.0m
Roof Height	12.0m	11.56m
Floor Area:		
Lower		116.70 m ²
Main		204.50 m ²
Upper		204.50 m ²
Garage	(4x18.58=74.32m ²)	87.81 m ²
Total		539.19 m ²
Building Footprint:		235.64 m ²

Applicable Codes
-BC Building Code Current Edition (2024)

Energy
Compliance path: BCBC 9.36
Requirements applicable to this project: Step Code 3 via Energy Advisor (EA) compliance

Ventilation
BCBC 9.32

Property Information

Project Type: TWO NEW SSMUHS
Site Address: 1076 Davie St
Legal Description: Site Plan of Lot 40 & The North Part of Lot 41, Section 74, Victoria District, Plan 252.
Zoning: GRD-1

	Zoning	Proposed
Lot Area:		973 m ²
Total Floor Area		952.01 m ²
Total FSR	2.6:1	0.98
Total Footprint:		423.85 m ²
Lot Coverage:	45%	43.56%
Open Site Space Area		316.14m ²
Single Cont. Land.	35m ²	161.78m ²
Min. Open Site Space	30%	32.49%
Landscape Area		308.47m ²
Min. Landscape Area	10%	31.7%

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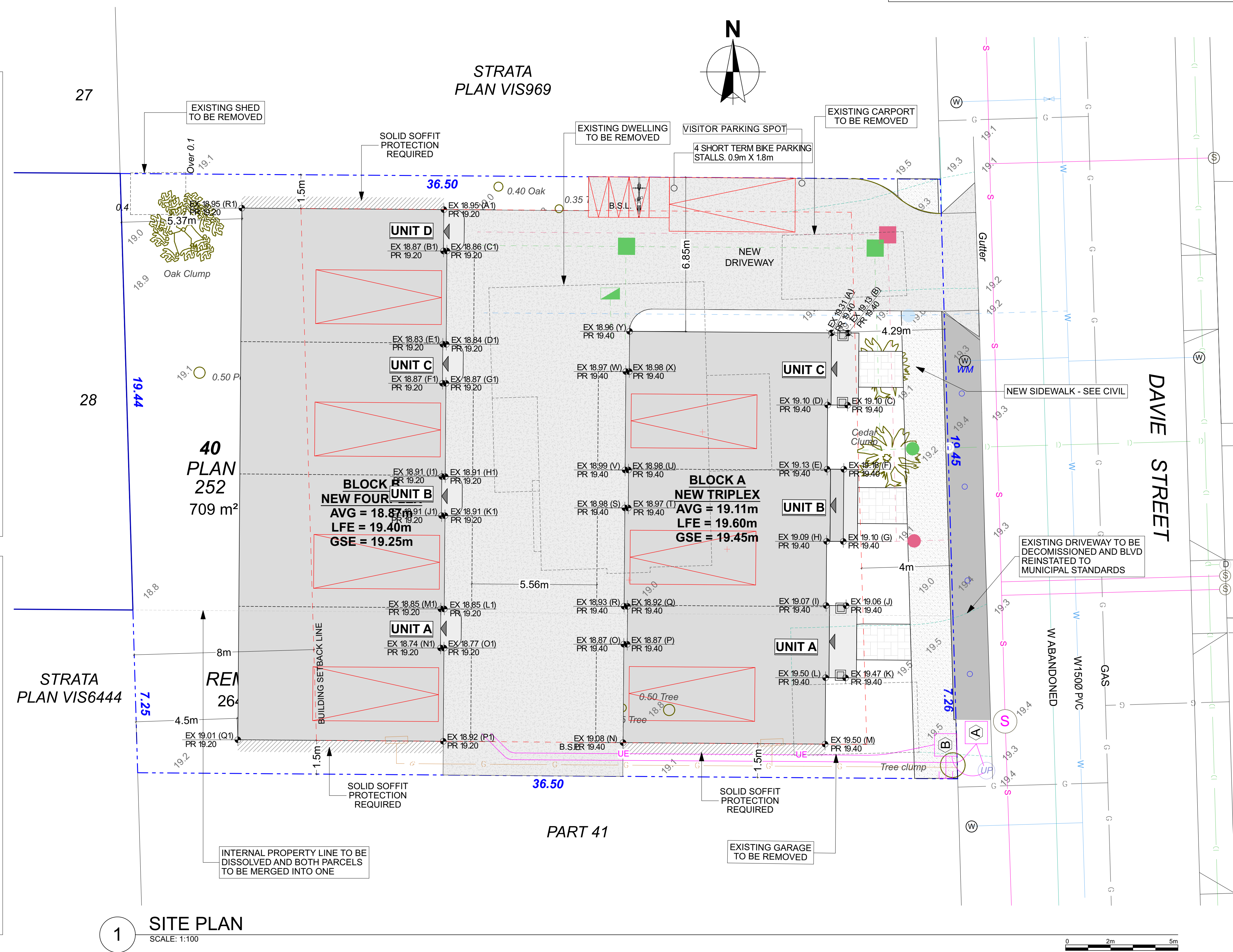
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GRADE POINTS (LESSER OF EX/PR)	GRADE POINTS	AVERAGE OF POINTS	DISTANCE BETWEEN GRADE POINTS	TOTALS
A=	19.31 m	Points A&B	((19.31+19.13)/2) x 0.74 m	14.22
B=	19.13 m	Points B&C	((19.13+19.1)/2) x 3.21 m	61.36
C=	19.10 m	Points C&D	((19.1+19.1)/2) x 0.89 m	17.00
D=	19.10 m	Points D&E	((19.1+19.13)/2) x 2.86 m	54.67
E=	19.13 m	Points E&F	((19.13+19.16)/2) x 0.74 m	14.17
F=	19.16 m	Points F&G	((19.16+19.1)/2) x 3.21 m	61.41
G=	19.10 m	Points G&H	((19.1+19.09)/2) x 0.74 m	14.13
H=	19.09 m	Points H&I	((19.09+19.07)/2) x 2.86 m	54.57
I=	19.07 m	Points I&J	((19.07+19.06)/2) x 0.89 m	16.97
J=	19.06 m	Points J&K	((19.06+19.4)/2) x 3.21 m	61.73
K=	19.40 m	Points K&L	((19.4+19.4)/2) x 0.89 m	17.27
L=	19.40 m	Points L&M	((19.4+19.4)/2) x 2.96 m	57.42
M=	19.40 m	Points M&N	((19.4+19.08)/2) x 8.99 m	172.97
N=	19.40 m	Points N&O	((19.08+18.87)/2) x 4.38 m	83.11
O=	19.08 m	Points O&P	((18.87+18.87)/2) x 0.15 m	2.83
P=	18.87 m	Points P&Q	((18.87+18.92)/2) x 1.69 m	31.93
Q=	18.87 m	Points Q&R	((18.92+18.93)/2) x 0.15 m	2.84
R=	18.92 m	Points R&S	((18.93+18.98)/2) x 4.38 m	83.02
S=	18.93 m	Points S&T	((18.98+18.97)/2) x 0.15 m	2.85
T=	18.93 m	Points T&U	((18.97+18.98)/2) x 1.69 m	32.07
U=	18.98 m	Points U&V	((18.98+18.99)/2) x 0.15 m	2.85
V=	18.98 m	Points V&W	((18.99+18.97)/2) x 4.38 m	83.88
W=	18.99 m	Points W&X	((18.97+18.98)/2) x 0.15 m	2.86
X=	18.97 m	Points X&Y	((18.98+18.96)/2) x 1.79 m	34.08
Y=	18.96 m	Points Y&A	((18.96+19.31)/2) x 8.99 m	171.08
				1,151.27
BLOCK A		PERIMETER OF BUILDING:	60.24 m	
		GRADE CALCULATION:	19.11 m	

GRADE POINTS (LESSER OF EX/PR)	GRADE POINTS	AVERAGE OF POINTS	DISTANCE BETWEEN GRADE POINTS	TOTALS
A1=	18.95 m	Points A1&B1	((18.95+18.87)/2) x 3.21 m	60.70
B1=	18.87 m	Points B1&C1	((18.87+18.86)/2) x 0.15 m	2.83
C1=	18.86 m	Points C1&D1	((18.86+18.84)/2) x 2.86 m	53.91
D1=	18.84 m	Points D1&E1	((18.84+18.83)/2) x 0.15 m	2.83
E1=	18.83 m	Points E1&F1	((18.83+18.87)/2) x 3.21 m	60.51
F1=	18.87 m	Points F1&G1	((18.87+18.87)/2) x 0.15 m	2.83
G1=	18.87 m	Points G1&H1	((18.87+18.91)/2) x 2.86 m	54.03
H1=	18.91 m	Points H1&I1	((18.91+18.91)/2) x 0.15 m	2.84
I1=	18.91 m	Points I1&J1	((18.91+18.91)/2) x 3.21 m	60.70
J1=	18.91 m	Points J1&K1	((18.91+18.91)/2) x 0.15 m	2.84
K1=	18.91 m	Points K1&L1	((18.91+18.85)/2) x 2.96 m	55.88
L1=	18.85 m	Points L1&M1	((18.85+18.85)/2) x 8.99 m	169.46
M1=	18.85 m	Points M1&N1	((18.85+18.74)/2) x 4.38 m	82.32
N1=	18.74 m	Points N1&O1	((18.74+18.77)/2) x 0.15 m	2.81
O1=	18.77 m	Points O1&P1	((18.77+18.92)/2) x 1.69 m	31.85
P1=	18.92 m	Points P1&Q1	((18.92+19.01)/2) x 0.15 m	2.84
Q1=	19.01 m	Points Q1&R1	((19.01+18.95)/2) x 4.38 m	83.13
R1=	18.95 m	Points R1&A1	((18.95+18.95)/2) x 0.15 m	2.84
				735.15
BLOCK B		PERIMETER OF BUILDING:	38.95 m	
		GRADE CALCULATION:	18.87 m	

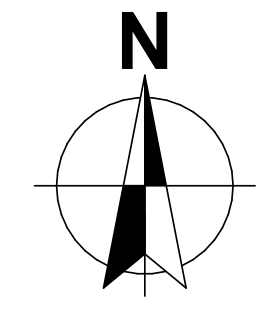
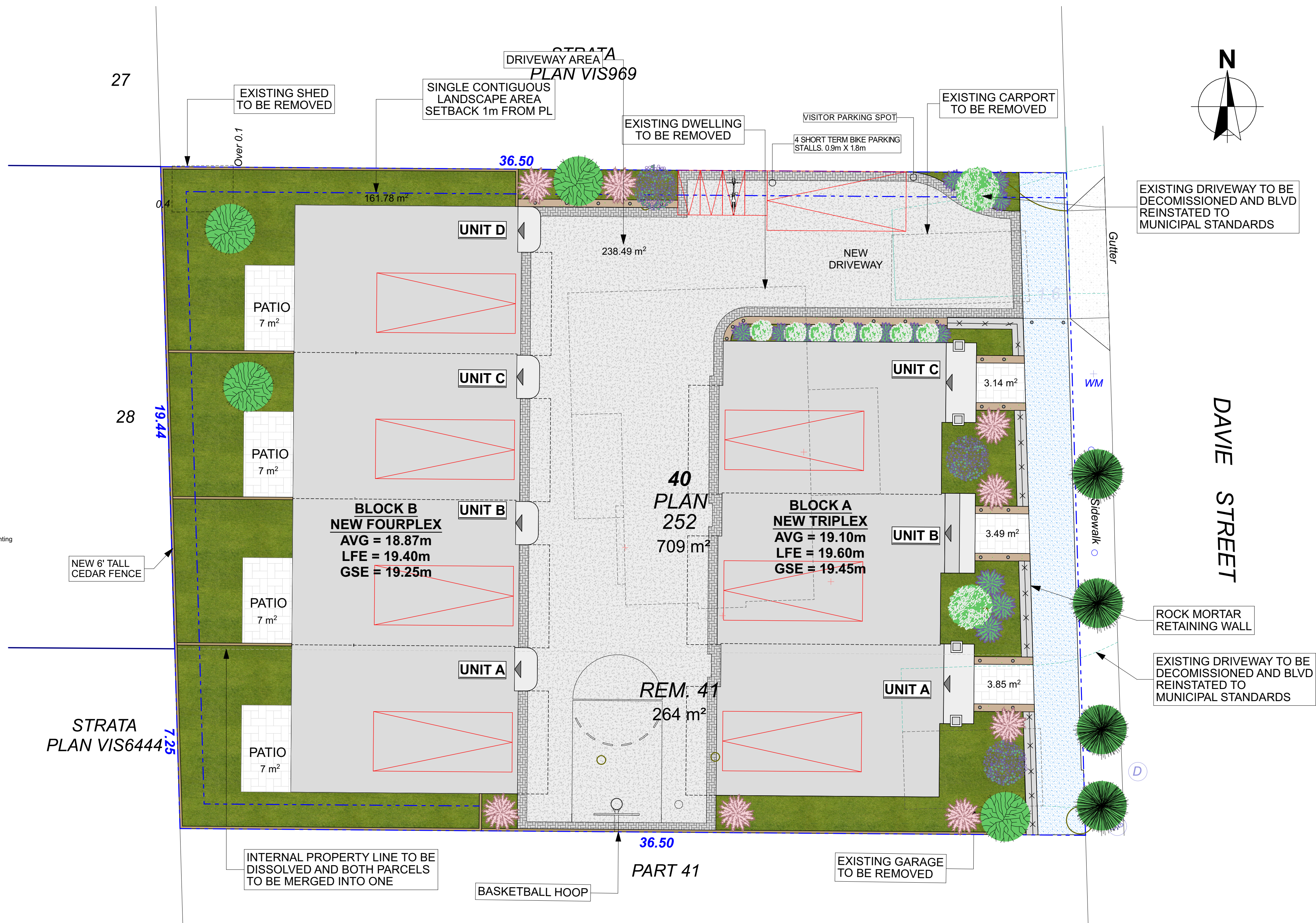
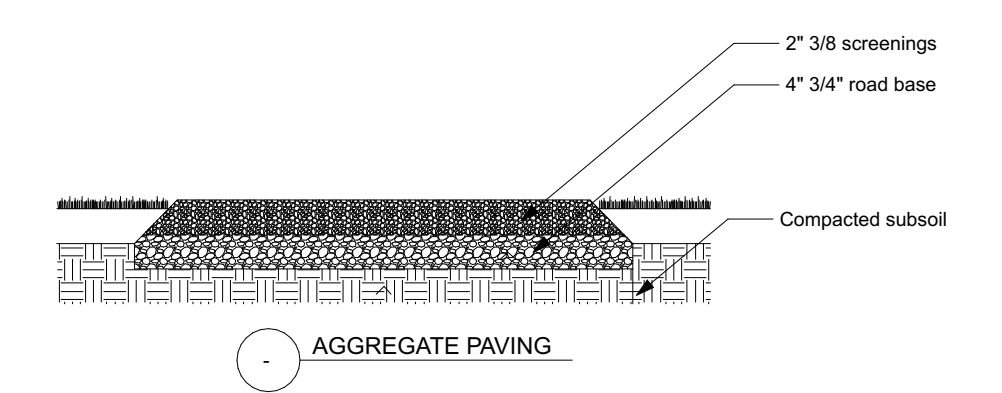
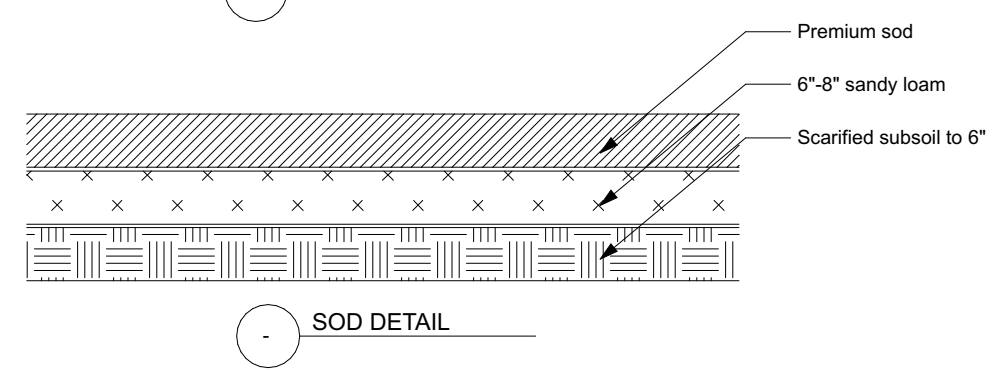
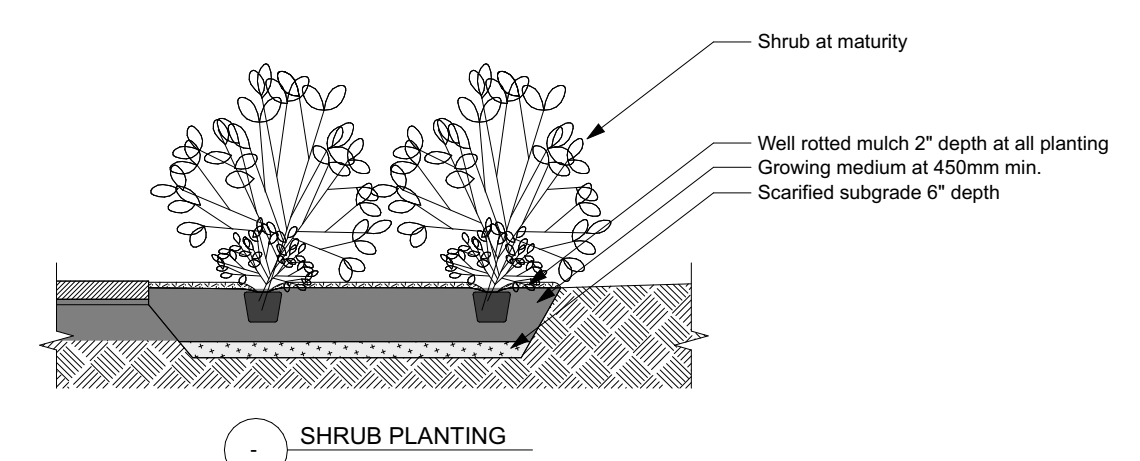
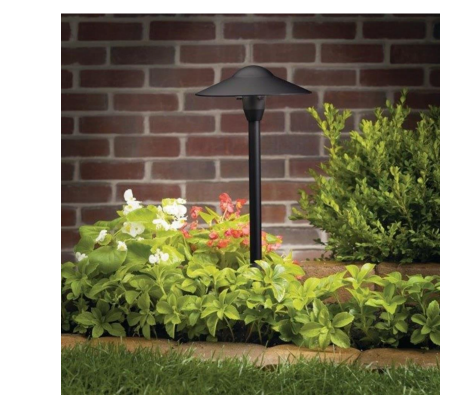
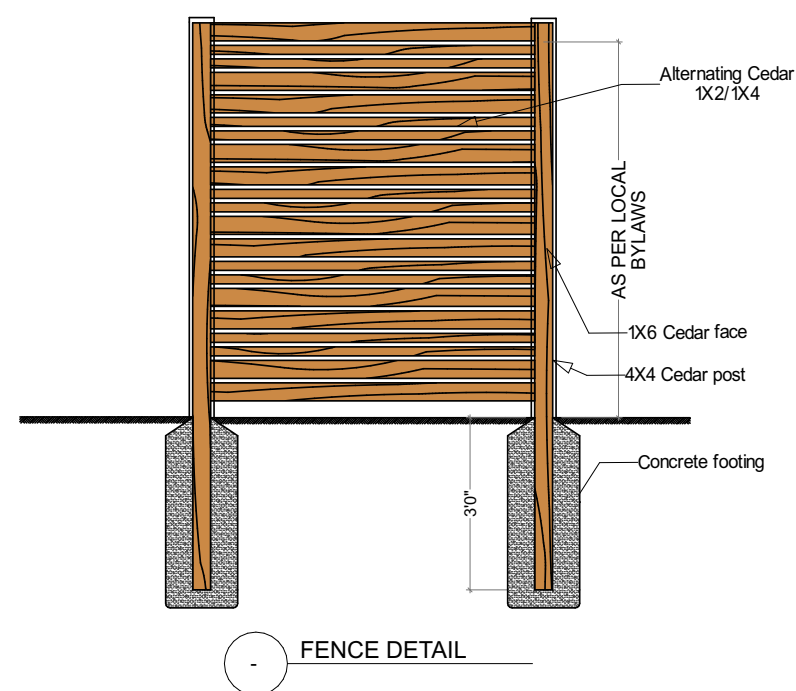


1 SITE PLAN
SCALE: 1:100

ISSUED FOR DP

ISSUED:

SITE PLAN



LANDSCAPE LEGEND	
	GRASS PERENNIAL RYE
	PERMEABLE PAVERS
	BUILDING FOOTPRINT
	NEW DRIVEWAY CONCRETE
	CHARCOAL BORDER PAVERS
	CEDAR MULCH NATURAL
	ROCK MORTAR WALL W/ BLACK METAL FENCE
	LOW VOLTAGE LIGHTING
	NEW SEDUM
	NEW CLEVELAND SAGE
	NEW OCEAN SPRAY
	NEW LAVENDER
	EXISTING TREE TO REMAIN
	NEW BOULEVARD TREE

NOTES

Contractor to locate, identify and have crews be aware of all new and existing utilities on and around the property.

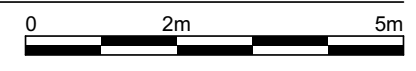
All landscaping on municipal property to conform to municipal standards

All fencing to conform to municipal bylaws

Planting locations shown on plans are approximate and should be verified by survey if important

Project Arborist to install tree protection fencing where required and to be available for onsite supervision when working near critical root zones

1 LANDSCAPE PLAN
SCALE: 1:100



STREETSCAPE



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ISSUED:

LANDSCAPE PLAN AND STREETSCAPE

A-002



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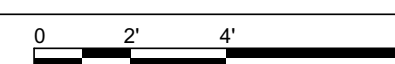
FOUNDATION PLAN

A-101

Printed: 2026-01-22

1 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



BLOCK A TRIPLEX



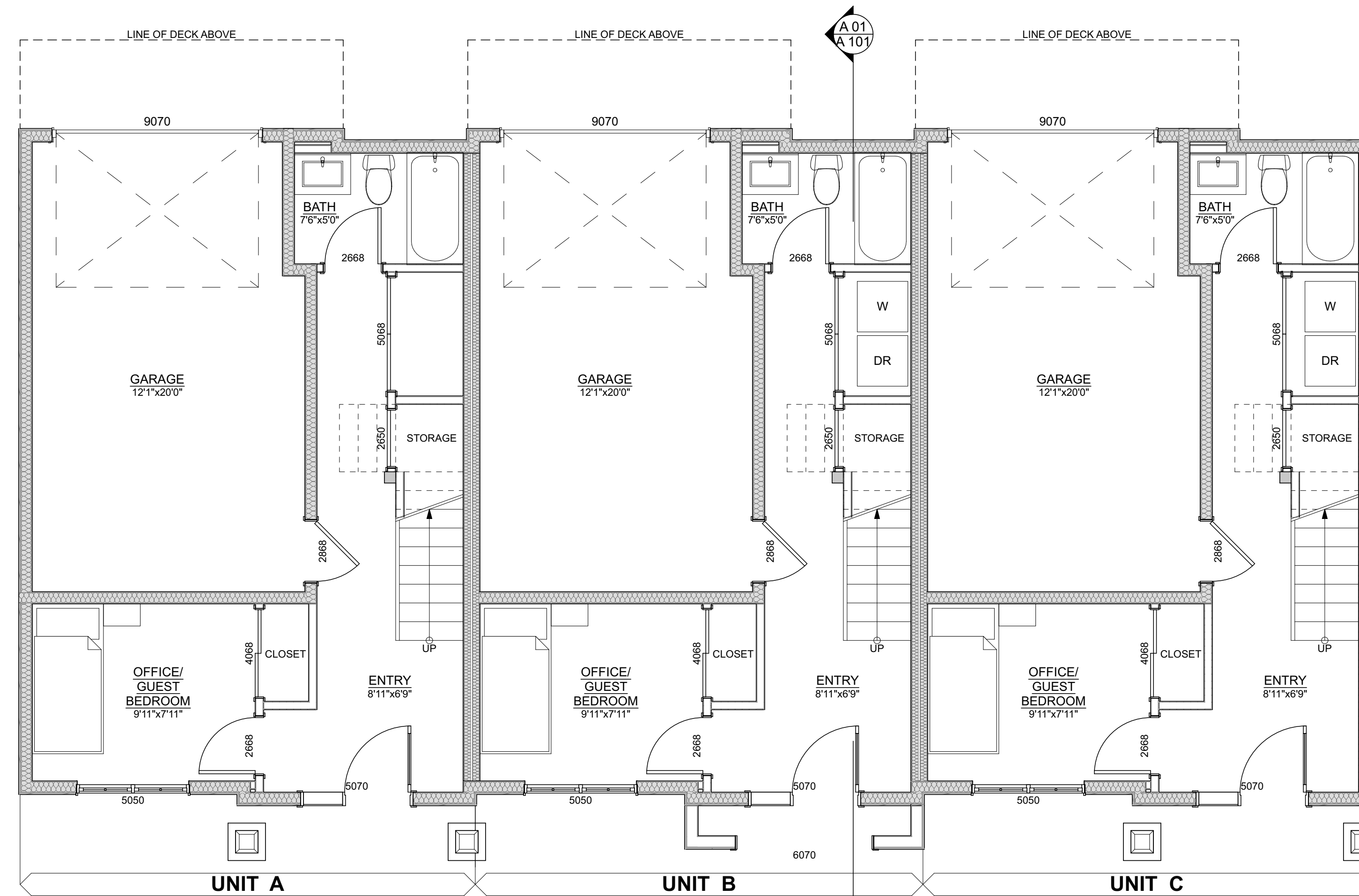
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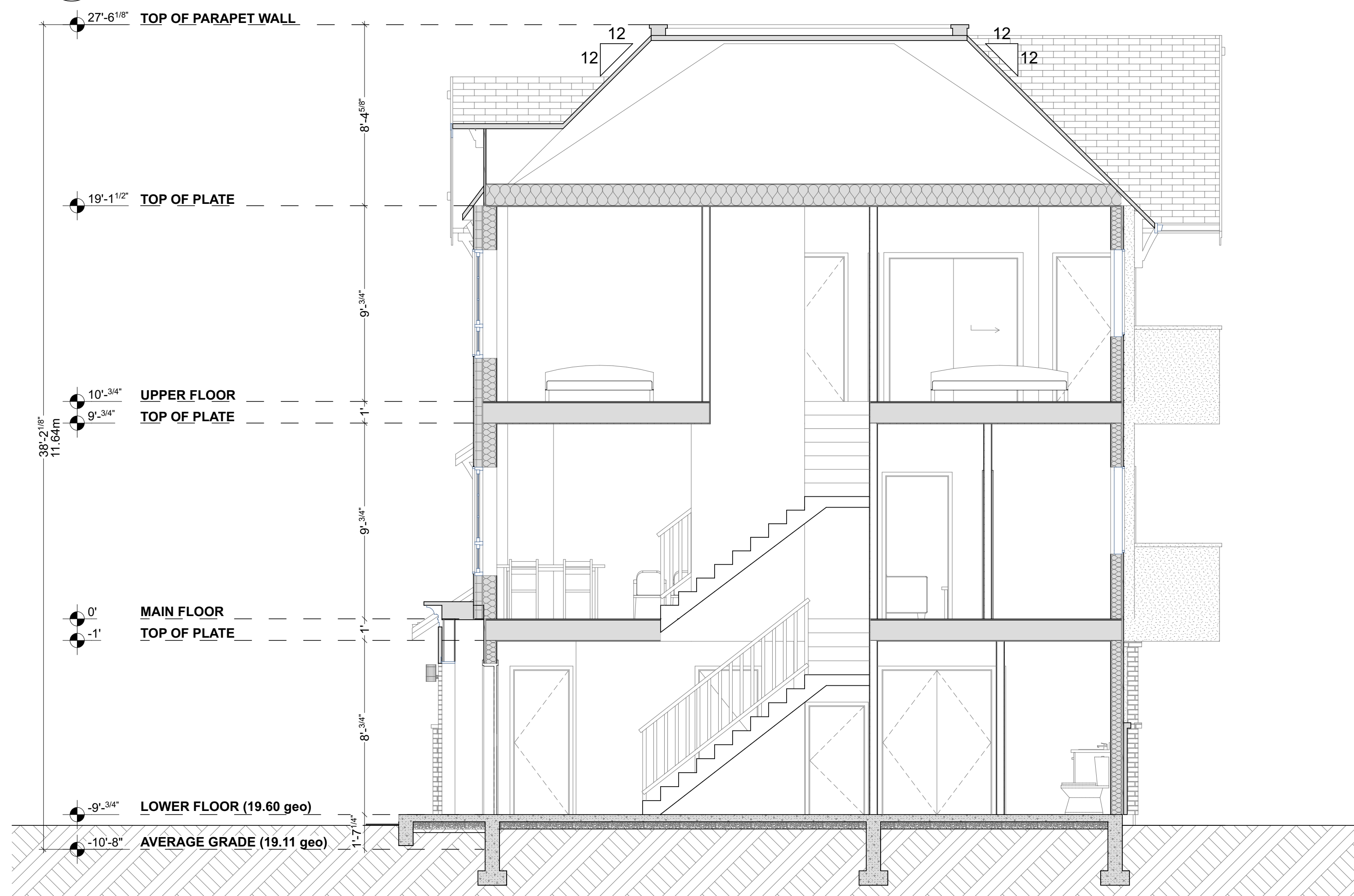


UNIT A
LOWER FLOOR AREA 320 sq ft
GARAGE AREA 237 sq ft

UNIT B
LOWER FLOOR AREA 324 sq ft
GARAGE AREA 244 sq ft

UNIT C
LOWER FLOOR AREA 313 sq ft
GARAGE AREA 244 sq ft

1 LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



CROSS SECTION 01
SCALE: 1/4" = 1'-0"

ISSUED FOR DP

ISSUED:

LOWER FLOOR PLAN
AND CROSS SECTION

A-101

BLOCK A TRIPLEX



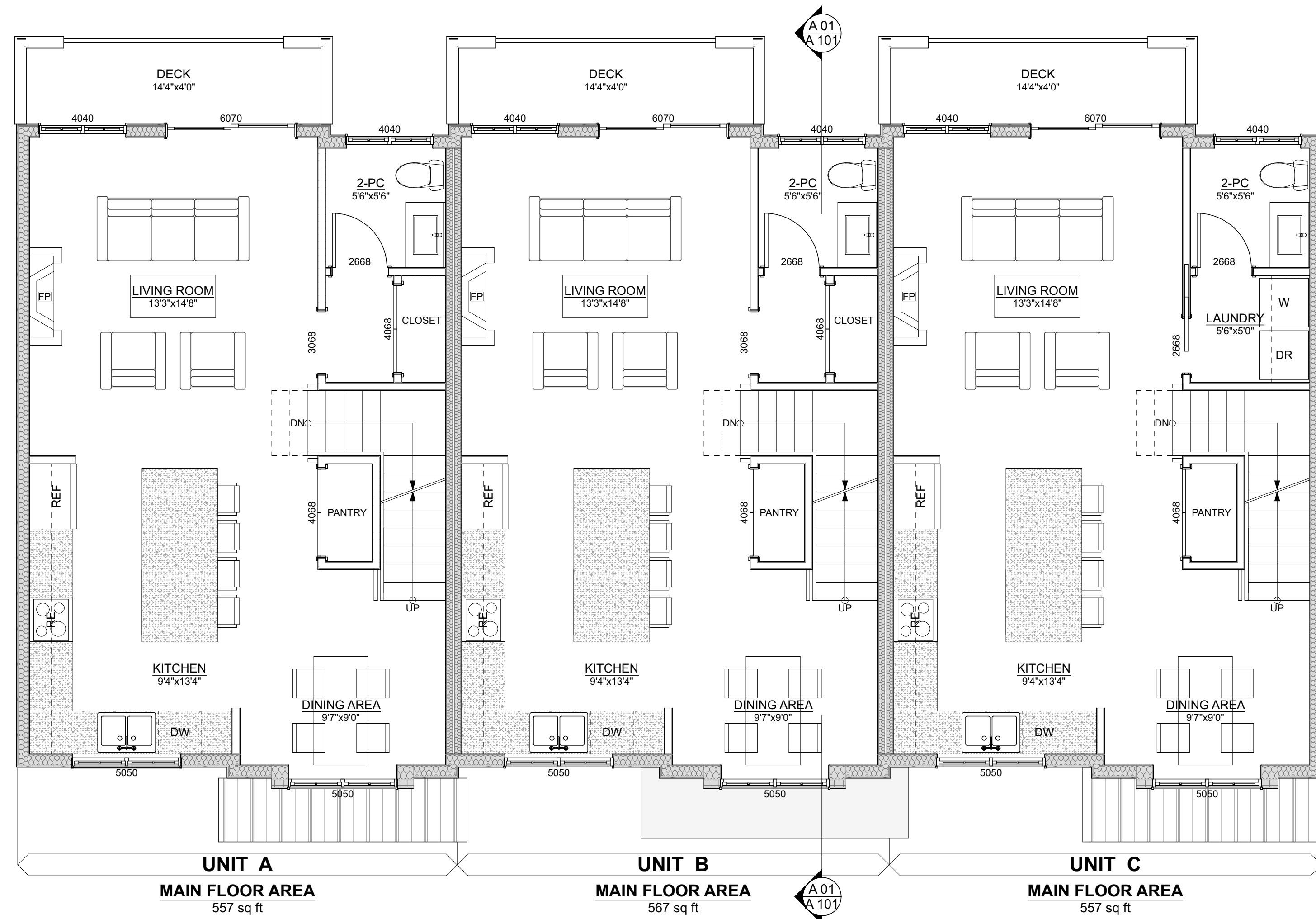
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1 MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

ISSUED FOR DP

ISSUED:

MAIN AND UPPER FLOOR PLAN

A-102



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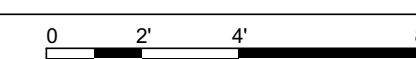
UPPER FLOOR PLAN

A-104

Printed: 2026-01-22

1 UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"





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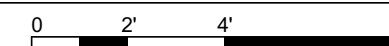
ROOF PLAN

A-105

Printed: 2024-01-22

1 ROOF PLAN

SCALE: 1/4" = 1'-0"



BLOCK A TRIPLEX

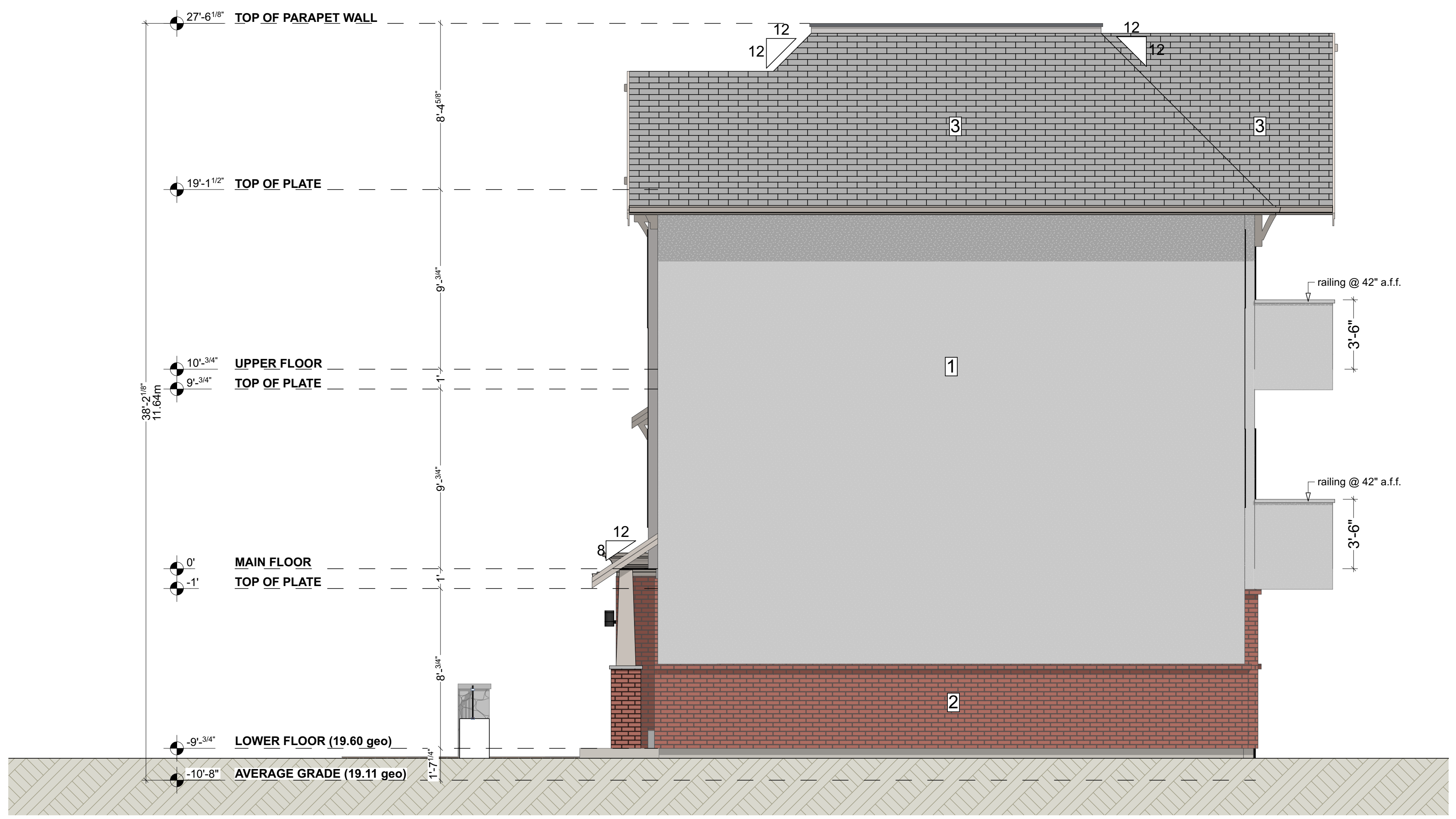
EXTERIOR CLADDING LEGEND	
1	STUCCO PREFINISHED
2	BRICK VENEER PREFINISHED
3	ASPHALT ROOFING SHINGLES
4	STANDING SEAM METAL ROOFING PREFINISHED
5	1X4 CLEAR CEDAR CHEVRON PATTERN STAINED

ADDITIONAL EXTERIOR FINISHINGS	
GUTTERS	5" CONTINUOUS ALUMINUM (PREFINISHED)
SCOFFIT	2X4 COMB FACED SFF (PAINTED)
FASCIA	2X4 COMB FACED SFF (PAINTED)
WINDOW TRIM	2X4 COMB FACED SFF TOPSIDES CW 2X4
SLOPED	SILL & 2X4 SUBSILL (PAINTED)
DOOR TRIM	2X4 COMB FACED SFF (PAINTED)
CORNER TRIM	1X4 COMB FACED SFF (PAINTED)

NOTE:
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL R.O. PRIOR TO ORDERING WINDOWS
FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS
ALL COLOURS AS PER OWNER



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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ISSUED FOR DP

ISSUED:

ELEVATIONS

A-201

BLOCK A TRIPLEX

EXTERIOR CLADDING LEGEND

- 1 STUCCO PREFINISHED
- 2 BRICK VENEER PREFINISHED
- 3 ASPHALT ROOFING SHINGLES
- 4 STANDING SEAM METAL ROOFING PREFINISHED
- 5 1X4 CLEAR CEDAR CHEVRON PATTERN STAINED

ADDITIONAL EXTERIOR FINISHINGS

GUTTERS	5" CONTINUOUS ALUMINUM (PREFINISHED)
SCOFF	2X6 COMB FACED SPF (PAINTED)
FASCIA	2X6 COMB FACED SPF (PAINTED)
WINDOW TRIM	2X4 COMB FACED SPF TOPSIDES CW 2X4
SLOPED	SILL & 2X4 SUBSILL (PAINTED)
DOOR TRIM	2X4 COMB FACED SPF (PAINTED)
CORNER TRIM	1X4 COMB FACED SPF (PAINTED)

NOTE: WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL I.D. PRIOR TO ORDERING WINDOWS. FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS ALL COLOURS AS PER OWNER.



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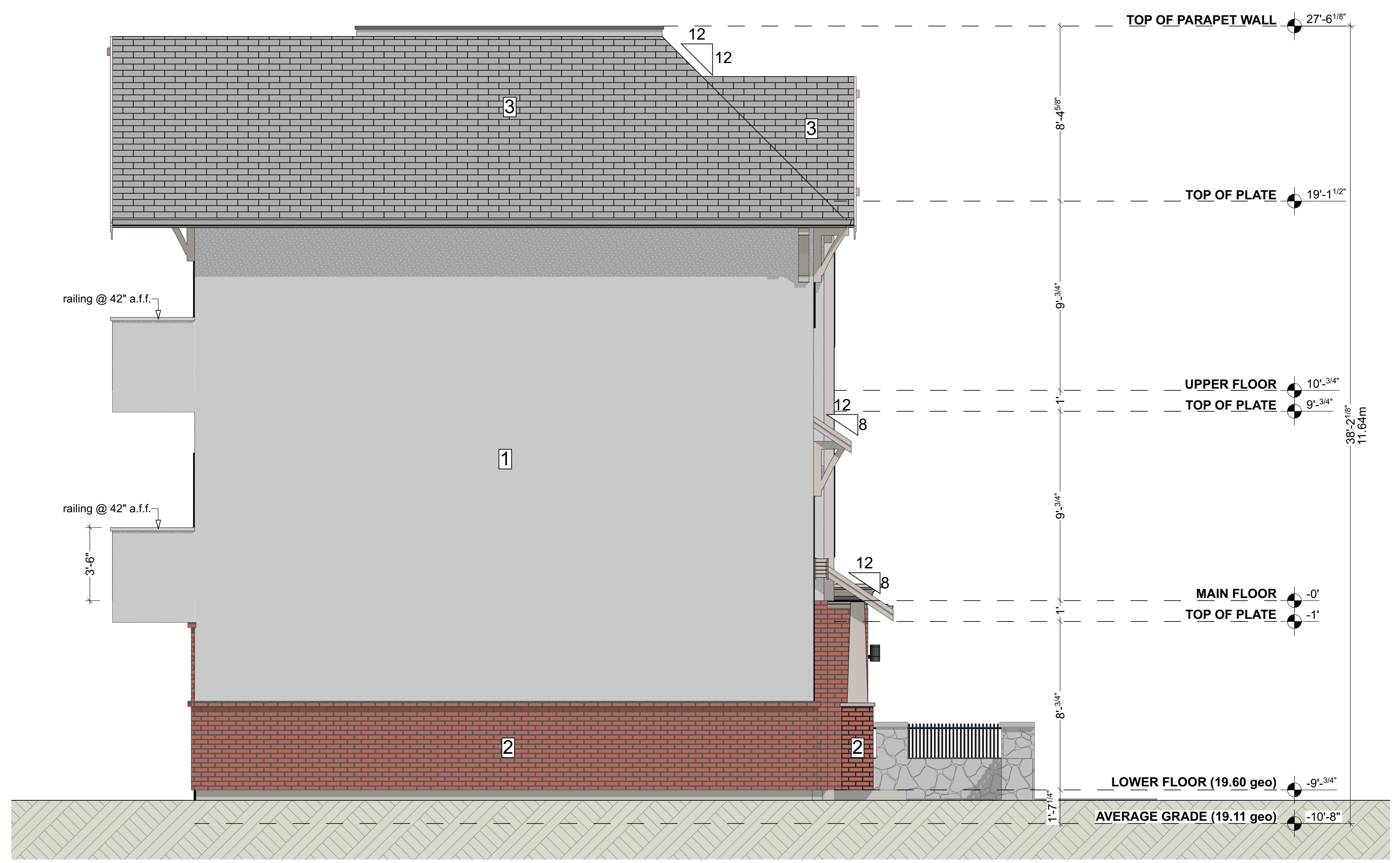
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3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

ISSUED FOR DP

ISSUED:

ELEVATIONS

A-202

BLOCK B FOURLEX



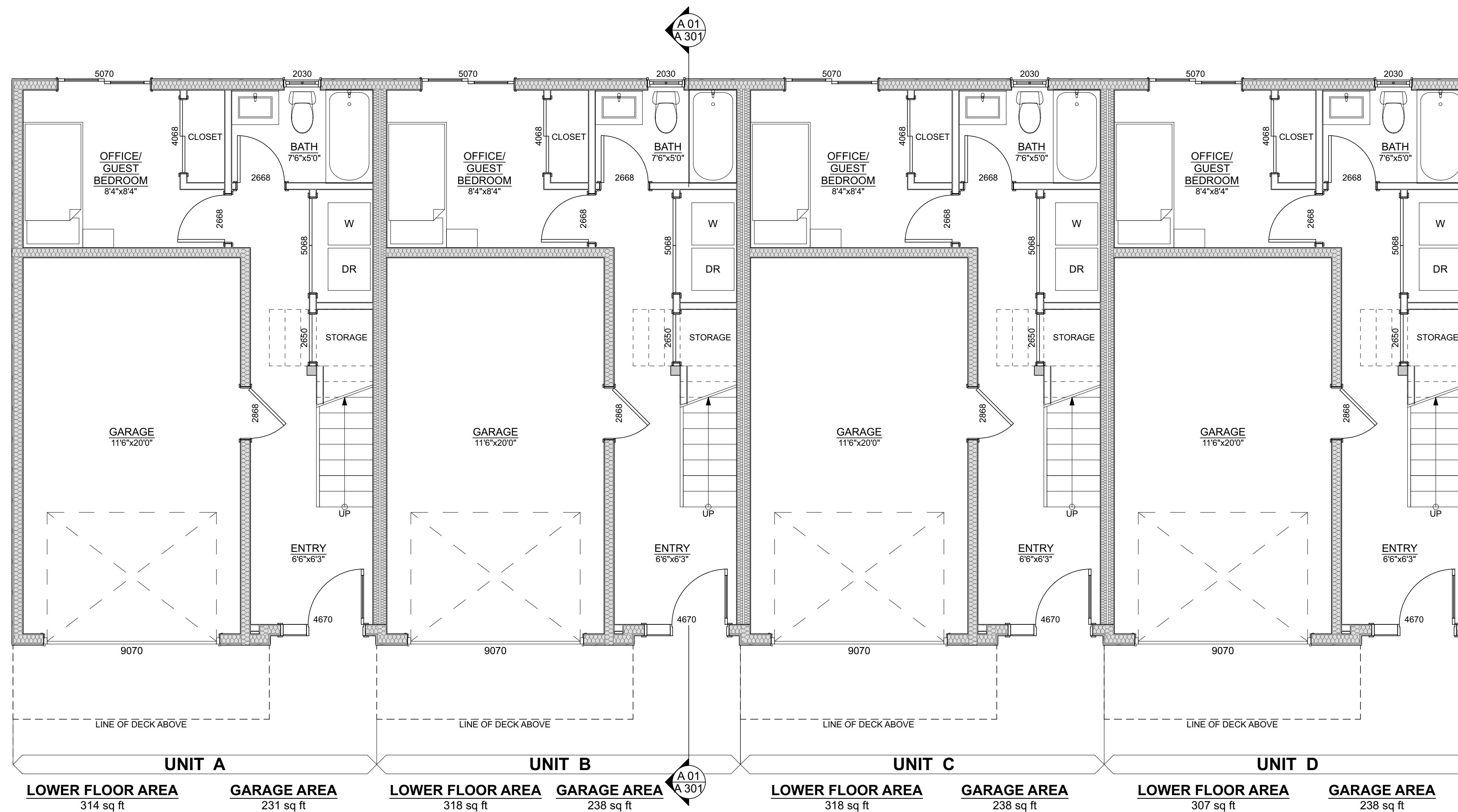
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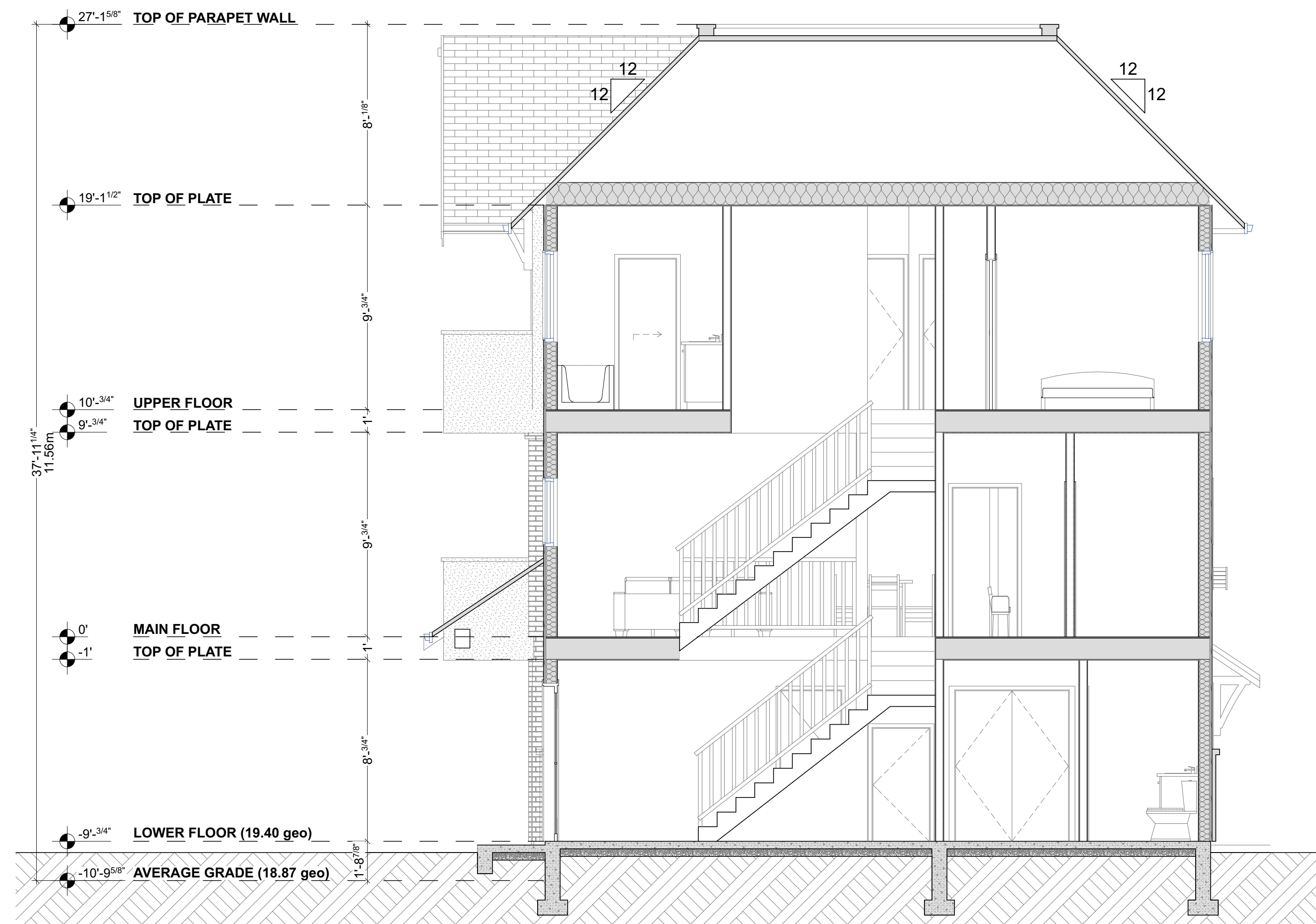
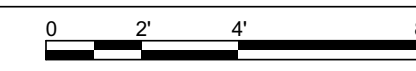
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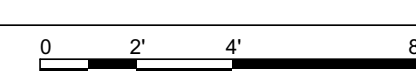
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1 LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



CROSS SECTION 01
SCALE: 1/4" = 1'-0"



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ISSUED:

LOWER FLOOR PLAN
AND CROSS SECTION

A-301

BLOCK B FOURLEX



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ISSUED FOR DP

ISSUED:

MAIN AND UPPER FLOOR PLAN

A-302

BLOCK B FOURLEX

EXTERIOR CLADDING LEGEND	
1	STUCCO PREFINISHED
2	BRICK VENEER PREFINISHED
3	ASPHALT ROOFING SHINGLES
4	STANDING SEAM METAL ROOFING PREFINISHED
5	1X4 CLEAR CEDAR CHEVRON PATTERN STAINED

ADDITIONAL EXTERIOR FINISHINGS	
GUTTERS	5" CONTINUOUS ALUMINUM (PREFINISHED)
SCOFF	CW 2X2 ALUMINUM DOWNSPOUT (PREFINISHED)
FASCIA	VENTED ALUMINUM (PREFINISHED)
WINDOW TRIM	2X4 COMB FACED SPF (PAINTED)
SOFFIT	2X4 COMB FACED SPF TOPSIDES CW 2X4
DOOR TRIM	2X4 COMB FACED SPF (PAINTED)
DOOR TRIM	2X4 COMB FACED SPF (PAINTED)
CORNER TRIM	1X4 COMB FACED SPF (PAINTED)

NOTE: WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL R.O. PRIOR TO ORDERING WINDOWS. FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS ALL COLOURS AS PER OWNER.



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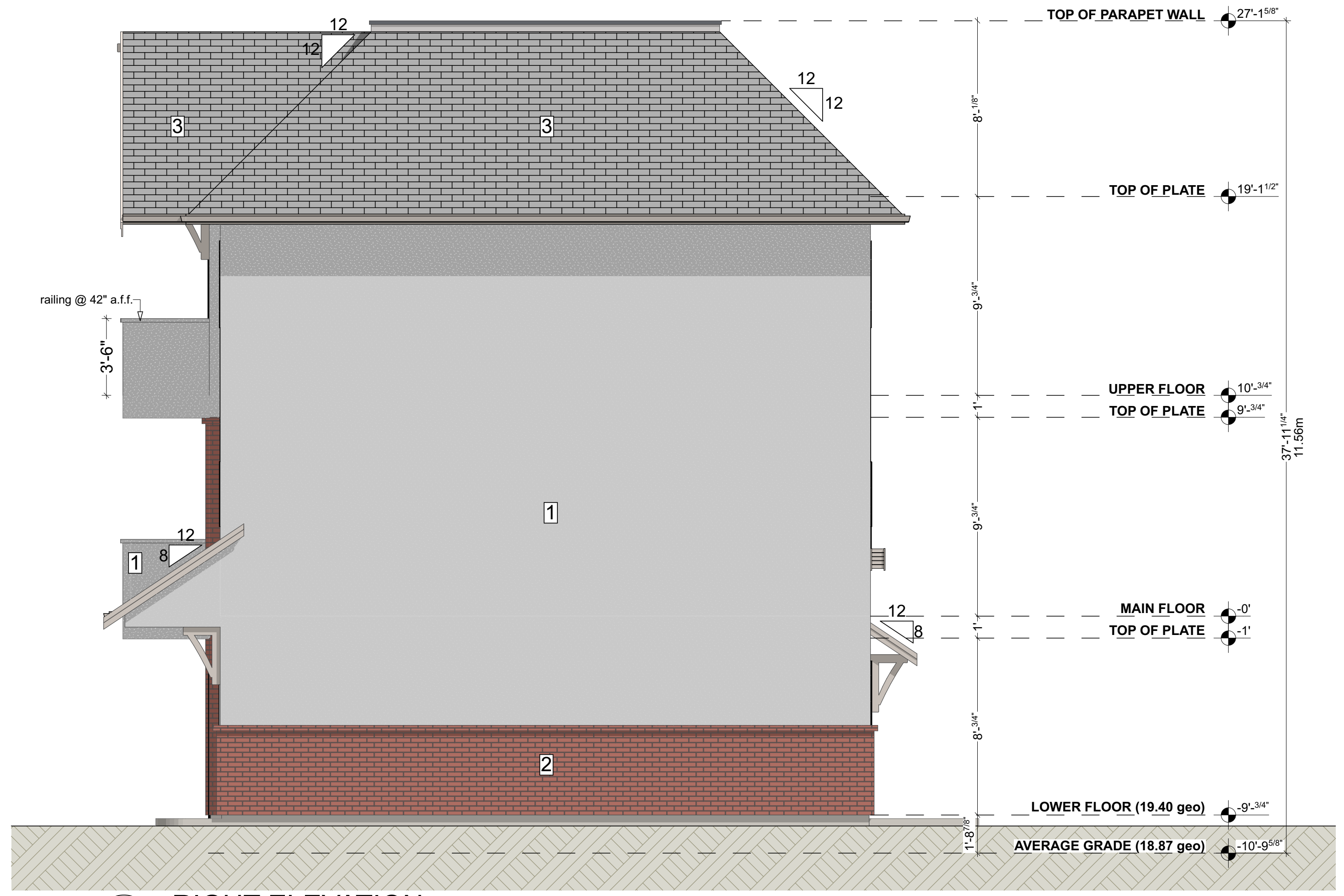
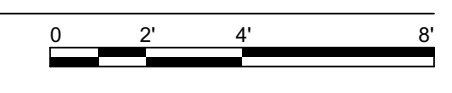
ELEVATIONS

A-401

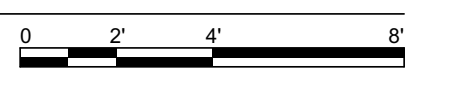
Printed: 2026-01-22



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



BLOCK B FOURLEX

EXTERIOR CLADDING LEGEND	
1	STUCCO PREFINISHED
2	BRICK VENEER PREFINISHED
3	ASPHALT ROOFING SHINGLES
4	STANDING SEAM METAL ROOFING PREFINISHED
5	1X4 CLEAR CEDAR CHEVRON PATTERN STAINED

ADDITIONAL EXTERIOR FINISHINGS	
GUTTERS	5" CONTINUOUS ALUMINUM (PREFINISHED)
SOFFIT	CW 4"x2" ALUMINUM DOWNSPOUT (PREFINISHED)
FASCIA	VENTED ALUMINUM (PREFINISHED)
WINDOW TRIM	2X6 COMB FACED SPF (PAINTED)
SLOPED	2X4 COMB FACED SPF TOP/SIDES CW 2X4
DOOR TRIM	S&L 2 X4 SUBSILL (PAINTED)
CORNER TRIM	2X4 COMB FACED SPF (PAINTED)
	1X4 COMB FACED SPF (PAINTED)

NOTE:
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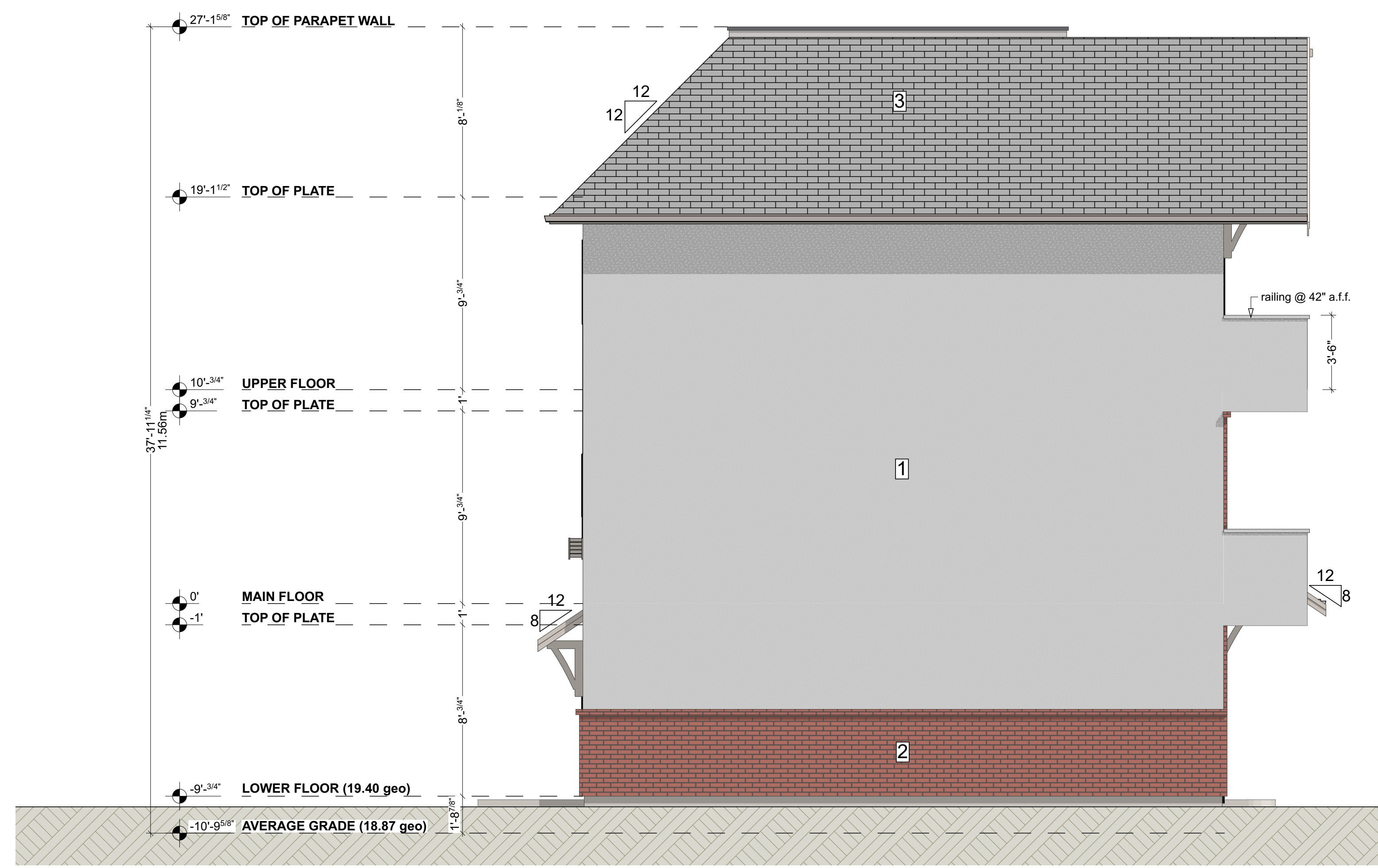
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3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

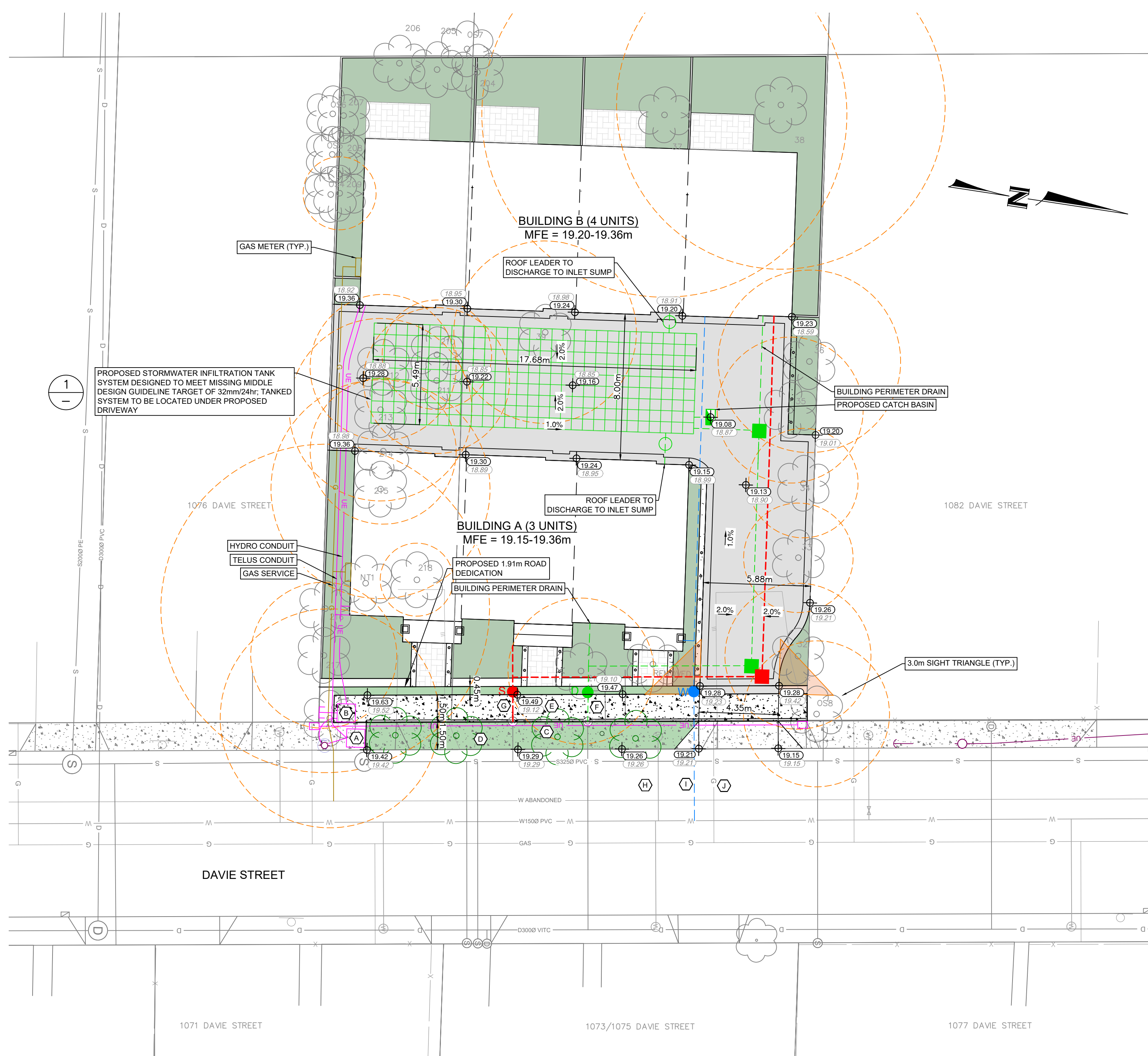
ISSUED FOR DP

ISSUED:

ELEVATIONS

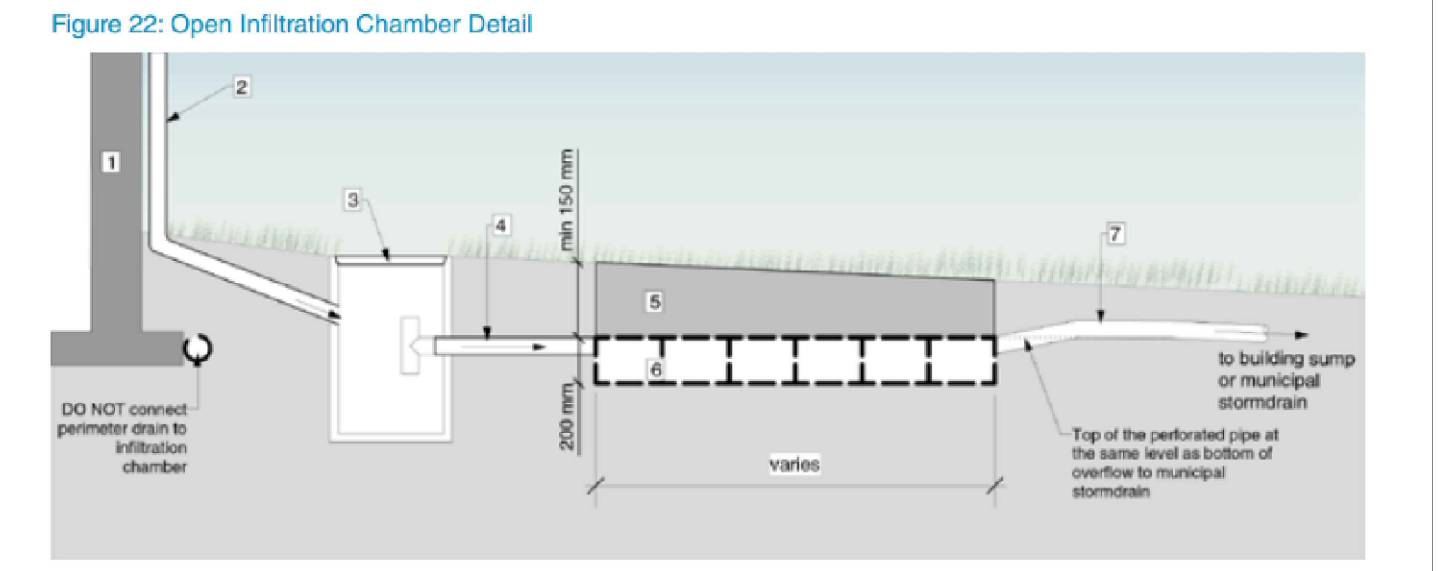
A-402

1076 DAVIE STREET PROPOSED 7-UNIT DEVELOPMENT



- GENERAL NOTES**
- ALL EXISTING ONSITE STRUCTURES AND HARDSCAPING TO BE REMOVED
- SERVICING NOTES:**
- (A) TELUS SERVICE BOX
 - (B) HYDRO JUNCTION BOX TYPE 332
 - (C) STREETLIGHT CONDUIT OFFSET 0.2m FROM THE PROPOSED SIDEWALK & W/ JUNCTION BOXES AT NORTH AND SOUTH PROPERTY LINES. SEE DETAIL 2 FOR TRENCH.
 - (D) EXISTING SIDEWALK TO BE REMOVED AND REPLACED WITH TOPSOIL AND SOD.
 - (E) PROPOSED 1.5m WIDE CONCRETE SIDEWALK.
 - (F) EXISTING 100mm DRAIN SERVICE TO BE EXTENDED TO PL. EXISTING DIC TO BE REMOVED AND NEW DIC TO BE INSTALLED AT PL.
 - (G) EXISTING 100mm SEWER SERVICE TO BE EXTENDED TO PL. EXISTING SIC TO BE REMOVED AND NEW SIC TO BE INSTALLED AT PL.
 - (H) EXISTING WATER SERVICE AND METER TO BE REMOVED BY COV FORCES AT DEVELOPER'S EXPENSE.
 - (I) PROPOSED 38mm WATER SERVICE AND METER BY COV FORCES AT DEVELOPER'S EXPENSE.
 - (J) EXISTING GAS SERVICE TO BE ABANDONED

Capital Tree Service Inc.										
Appendix A - Tree Inventory/Hazard Ratings Summary										
Location: 1076 Davie Street, Victoria, BC V8S 4E3										
Date: October 9, 2025										
Conditions: 13°C, Cloudy, 10km/hr NE										
Tag #	Species	DBH (cm)	Hgt (m)	Canopy (%)	Health	Risk	Value	Action	Observations	Comments
229	Falx cypripis	159	33	4	F/P	Yes			4x stem "1.3m above grade (15, 55, 46, and 64cm DBH). Poor aspect ratio in union. Ivy. Unseen canopy. Dieback. Deadwood.	
218	Cherry	17	2	3	F/P	Yes			Vines. Significant lean connected. Limited canopy area.	
051	Common alder	47	6	-	Dead	Yes			Dead tree covered in large English ivy vines.	
217	Common alder	33	4	3	F/P	Yes			Multiple stems (13, 15, 5, 2, and 2cm DBH). Poor aspect ratio in union. Epiphytic. Ivy.	
216	Common alder	71	9	3	F/P	Yes			Multiple stems (16, 14, 21, cm DBH). Poor aspect ratio in union. Epiphytic. Ivy.	
215	Lombardy poplar	53	6	2	F/P	Yes			Ivy covered (DBH over ivy). Poor five crown ratio. Narrow angle of attachment. Poor aspect ratio in union. Previously topped. Decay at trapping locations suspected.	
214	Lombardy poplar	37	4	2	F/P	Yes			Ivy covered (DBH over ivy). Poor five crown ratio. Narrow angle of attachment. Poor aspect ratio in union. Previously topped. Decay at trapping locations suspected.	
213	Lombardy poplar	44	5	2	F/P	Yes			Ivy covered (DBH over ivy). Poor five crown ratio. Narrow angle of attachment. Poor aspect ratio in union. Previously topped. Decay at trapping locations suspected.	
212	Lombardy poplar	34	4	2	F/P	Yes			Ivy covered (DBH over ivy). Poor five crown ratio. Narrow angle of attachment. Poor aspect ratio in union. Previously topped. Decay at trapping locations suspected.	
211	Common hawthorn	42	7	4	F/P	Yes			Multiple stems "0.3m above grade (16, 16, 15, 25, 8, 17, 15, 4, and 7cm DBH). Poor aspect ratio in union. Ivy covered.	
010	English holly	25	3	4	F/P	Yes			3x stem at grade (8, 8, and 11cm DBH). Dieback. Deadwood. Ivy.	
011	English holly	40	5	4	F/P	Yes			Estimated DBH. 2x stem "0.3m above grade (20-20cm DBH). Poor aspect ratio in union. Narrow angle of attachment. Included bark. Dieback. Deadwood.	
209	Cherry	20	2	3	F/P	Yes			Ivy lean.	
053	Prunus	20	2	3	F/P	No			Photographic. Sparse canopy. Leaf past damage.	
054	Prunus	14	2	3	F/P	No			Photographic. Sparse canopy. Leaf past damage.	
055	Prunus	25	3	3	F/P	No			Lean into site. Ivy.	
208	Mountain ash	24	3	2	F/P	No			3x stem "0.2m above grade (10, 9, and 5cm DBH). Epiphytic. Ivy.	
207	Common hawthorn	27	3	5	F/P	No			Canopy over neighbouring property. Ivy.	
056	Prunus	17	2	4	F/P	No			Photographic. Sparse canopy. Leaf past damage. Ivy. Significant stem deflections.	
206	Cherry laurel	25	3	2	G/P	No			3x stem "0.3m above grade (8, 8, and 8cm DBH). Poor aspect ratio in union.	
205	Western red cedar	16	2	2	F/P	No			Previously topped. Flagging.	
057	Prunus	20	2	5	F/P	No			Significant lean at basal stem. Dieback. Deadwood. Large pruning cut.	
204	Plum	28	3	5	F/P	No			2x stem "2.5m above grade. Poor aspect ratio in union. Dieback. Deadwood.	
39	Apple	41	5	5	F/P	Yes			Internal decay. Bulbous root collar. 2x stem "1.5m above grade. Poor aspect ratio in union. Narrow angle of attachment. Dieback. Deadwood. Epiphytic. Limbs tilted.	
38	Common hawthorn	74	9	4	F/P	Yes			Multiple stems covered in (14, 13, 14, 7, 16, 22, 14, and 18cm DBH). DBHs measured over ivy.	
37	Pear	81	10	5	F/P	Yes			3x stem "1m above grade. Poor aspect ratio in union. Epiphytic. Limbs tilted. Dieback. Deadwood.	
N13	Horse chestnut	1	0	1	F/P	No			Planned to be replacement tree for removed cypress along fence. Stem deflections.	
36	Sigleaf maple	40	5	3	F/P	Yes			Epiphytic. Heavily reduced canopy.	
35	Elm	35	4	3	F/P	Yes			Epiphytic. Heavily reduced canopy. Stem deflections. Surface roots.	
34	Hazelnut	24	3	2	F/P	No			Multi stemmed from grade. Stem deflections. Epiphytic.	
33	Flowering cherry	28	3	3	F/P	No			Ivy. Gummosis. Regular significant canopy pruning.	
32	English holly	36	4	2	G/P	Yes			4x stem at grade (9, 23, 4, and 4cm DBH). Dense foliage. Many time stems between grade and "1m above grade (15, 9, 15, 10, 10, 10, 15, and 15cm DBH). Mostly estimated DBHs. Poor aspect ratio in union. Narrow angle of attachment. Epiphytic. Internal deadwood. Minor dieback.	
058	English yew	45	5	4	G/P	Yes				



- Open Infiltration Chamber Materials**
- Structural wall
 - Building rainwater leader/downspout
 - Infiltration chamber sump
 - Solid pipe to infiltration chamber
 - Growing medium
 - Open grate chamber system, 200 mm depth
 - Non-woven geotextile on bottom, sides and top of drain rock
 - Solid overflow pipe complete with PVC backflow preventer valve (if required) as per City Plumbing Code.

STORMWATER SIZING CALCULATIONS:

MISSING MIDDLE DESIGN GUIDELINES:

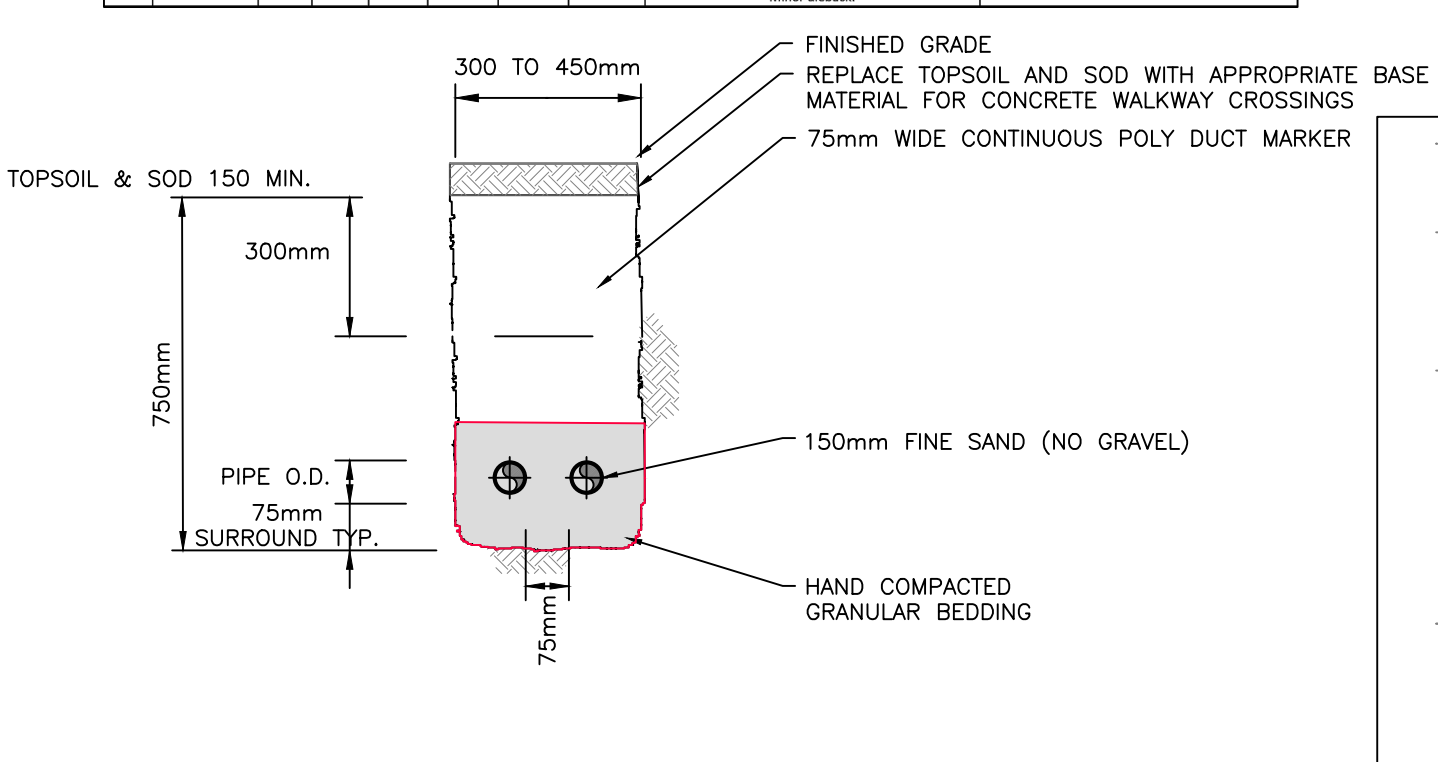
THE CITY OF VICTORIA'S TARGET IS 32mm/24hr
SUGGESTED MINIMUM HYDRAULIC CONDUCTIVITY = 2mm/hr OR 48mm/day

CHOSEN STORM WATER MANAGEMENT STRATEGY: OPEN INFILTRATION CHAMBER

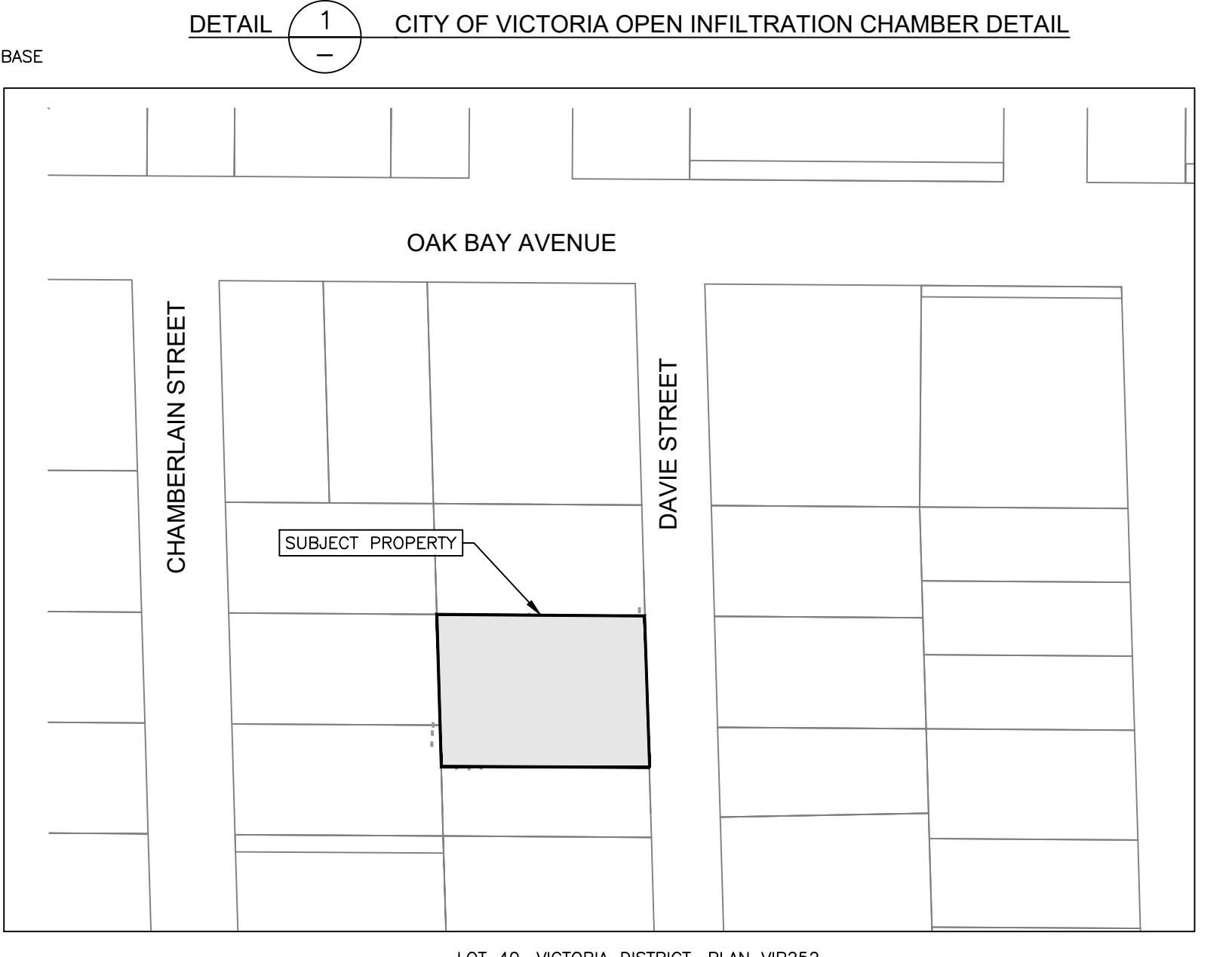
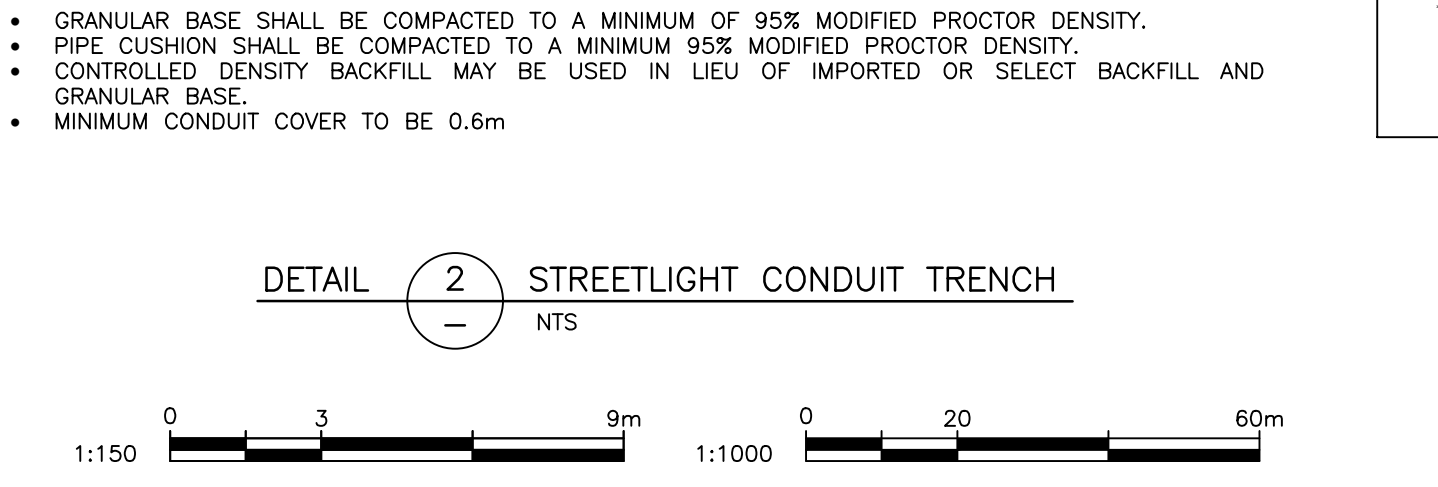
PER PAGE 56 IN THE PROFESSIONAL RAINWATER MANAGEMENT STANDARDS THE SIZING CALCULATION IS: PERMEABLE BASE AREA = IMPERVIOUS TRIBUTARY AREA x SIZING FACTOR
WHERE THE SIZING FACTOR IS 13% MINIMUM AND CALCULATED: 32 / (24 x Ks + n x Dr)
Ks = HYDRAULIC CONDUCTIVITY
Dr = DEPTH OF OPEN CHAMBER SYSTEM
n = POROSITY OF DRAIN ROCK (0.35 TYP. FOR K OR 0.95 FOR TYPICAL OPEN CRATE SYSTEM)

SIZING CALCULATIONS:

HYDRAULIC CONDUCTIVITY = 2mm/hr (ASSUMED MINIMUM)
SIZING FACTOR = 13% (MAX Dr = 200mm WHEN Ks = 2mm/hr)
IMPERVIOUS AREA = 730m²
PERMEABLE BASE AREA = 620m² x 13% = 94.9m² REQUIRED
PERMEABLE AREA PROVIDED = 97.0m²



- NOTES:**
- FINISHED GRADE SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY.
 - PIPE CUSHION SHALL BE COMPACTED TO A MINIMUM 95% MODIFIED PROCTOR DENSITY.
 - CONTROLLED DENSITY BACKFILL MAY BE USED IN LIEU OF IMPORTED OR SELECT BACKFILL AND GRANULAR BASE.
 - MINIMUM CONDUIT COVER TO BE 0.6m



January 27, 2026
SUBMITTED FOR DEVELOPMENT PERMIT APPLICATION

ISLANDER ENGINEERING
623 DISCOVERY STREET
VICTORIA, B.C. V8T5G4
PHONE 250.590.1200
www.islanderengineering.com

1
THE CONTRACTOR IS TO CALL B.C. ONE CALL, AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION

CALL
1-800-474-6886

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DISCLAIMER:
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

DRAWINGS ARE NOT TO BE SCALED

EXISTING		PROPOSED	
○	SANITARY MANHOLE	○	SANITARY MANHOLE
○	STORM MANHOLE	○	STORM MANHOLE
○	CATCH-BASIN	○	CATCH-BASIN
○	GATE VALVE	○	GATE VALVE
○	FIRE HYDRANT	○	FIRE HYDRANT
○	SANITARY FORCE MAIN	○	SANITARY SEWER
○	SANITARY LOW PRESSURE	○	STORM SEWER
○	STORM MAIN	○	WATER MAIN
○	WATER MAIN	○	
○	DITCHLINE	○	DITCHLINE
○	SWALE	○	SWALE
○	INLET/OUTLET HEADWALL	○	INLET/OUTLET HEADWALL
○	END CAP	○	END CAP
○	OVERHEAD HYDRO-COMMUNICATIONS	○	GAS OVERHEAD
○	UNDERGROUND HYDRO-COMMUNICATIONS	○	UNDERGROUND COMMUNICATIONS
○	OVERHEAD HYDRO POWER	○	OVERHEAD HYDRO POWER
○	UNDERGROUND HYDRO POWER	○	UNDERGROUND HYDRO POWER

ISSUE/REVISION INFORMATION				
ISSUE No.	DATE	DESIGNED	DRAWN	CHECKED

PERMIT No.: 1003310	PROJECT No.: 3026
SEAL	DRAWING NAME: C01
	DRAWING No.: 1 OF 1
	REVISION No.: 0
CITY OF VICTORIA	
1076 DAVIE STREET	
CONCEPTUAL SITE SERVICING PLAN	
Design: JTA	Drawn: DS
Scale: Hor: 1:150	Vertical: -
Checked: JJB	Date: 2025-11-23