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Victoria, BC V8R 0A4
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Hampton Inn Downtown Victoria / 603 Pandora Ave Victoria, BC



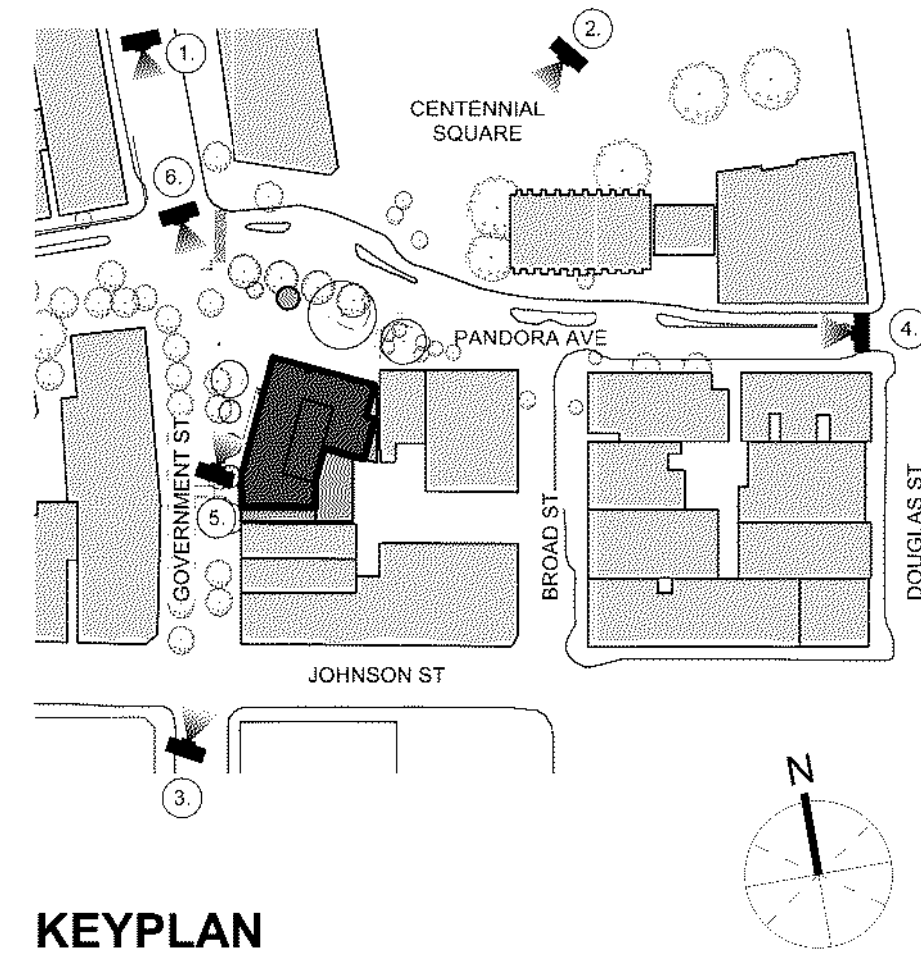
2960 Jutland Road
Victoria BC Canada V8T5K2
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Rezoning / DP Application Resubmission Issued September 12, 2024





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KEYPLAN



1. VIEW LOOKING SOUTH ON GOVERNMENT STREET



2. VIEW FROM CENTENNIAL SQUARE



3. VIEW LOOKING NORTH ALONG GOVERNMENT STREET



4. VIEW LOOKING WEST ALONG PANDORA AVE

3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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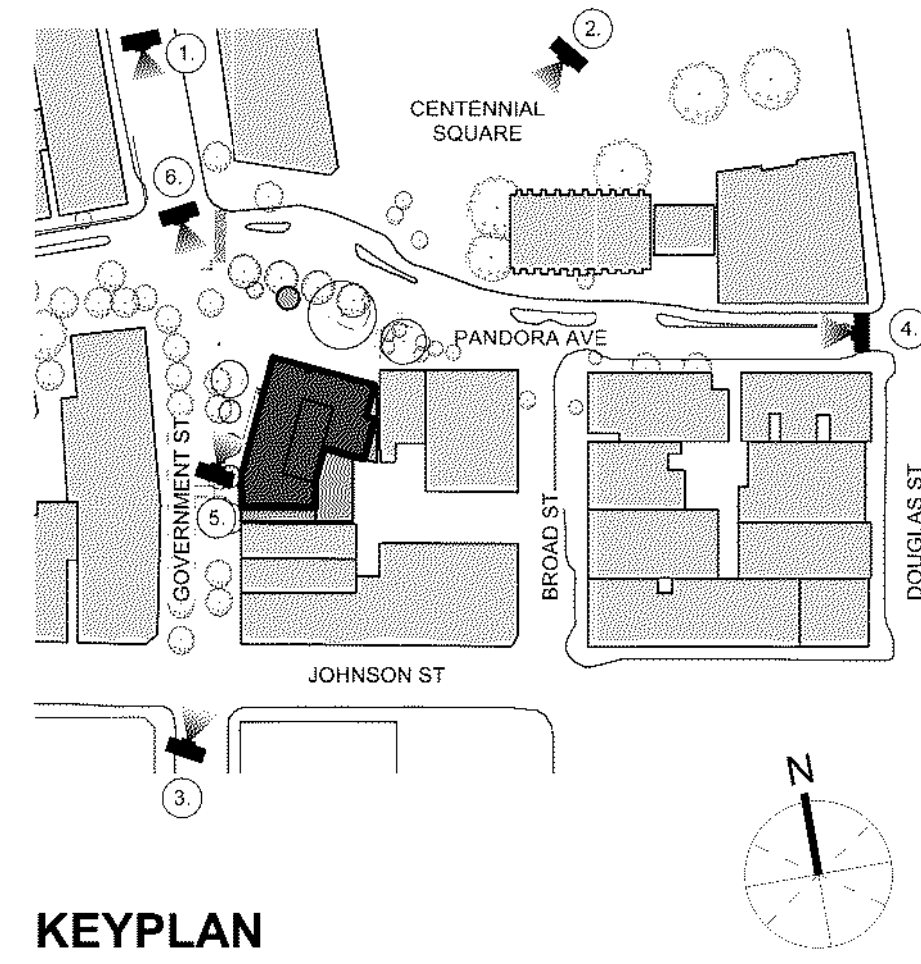
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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Rendered Views

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	as noted
drawn by	JAJ/JH
checked by	ES
revision no.	sheet no.

3 A1.0



KEYPLAN



5. STREET LEVEL ON GOVERNMENT STREET



SECTION DETAIL / PERSPECTIVE



6. PLAZA AT GOVERNMENT & PANDORA



2024-09-17

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project name
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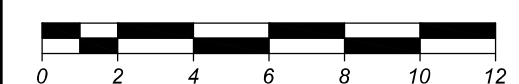
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Rendered Views

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revision no.	sheet no.

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TOPOGRAPHIC PLAN OF LOT 1, PLAN 7110 AND PARTS OF
LOTS 661, 662 AND 663, ALL IN VICTORIA CITY.

BCGS MAP SHEET 92B.044



The intended plot size of this plan is 432mm in width by 559mm in height (C-Size) when plotted at a scale of 1:200.

All distances and elevations are in metres and decimals thereof, unless otherwise noted.

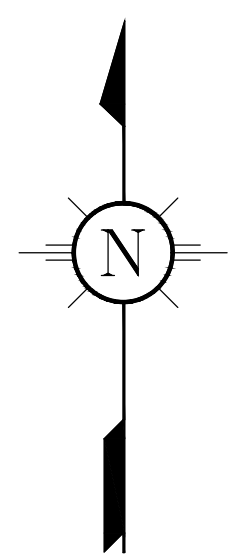
LEGEND

- denotes Drain
- denotes Catch Basin
- denotes Lamp Post
- denotes Manhole - Storm
- denotes Traffic Light
- denotes Sign Post
- denotes Spot Elevation
- denotes Tree
- denotes Valve
- denotes Water Valve
- denotes Electrical Vault
- denotes Unmarked Measured Point
- denotes Building Corner
- denotes Curb
- denotes Gutter
- denotes Fence - Wire
- denotes Fence - Wood
- denotes Edge of Sidewalk
- denotes Edge of Building
- denotes Dripline

Note: Boundaries as shown are approximate and subject to further investigation.

Parcels are subject to Covenant CA319807.

GOVERNMENT STREET



POLARIS
Land Surveying Inc.

Mailing & delivery address:
P.O. Box 261
Brentwood Bay, BC, V8M 1R3

Toll Free: (877) 603 7398
Duncan Telephone: (250) 746 0775
info@plsi.ca
www.plsi.ca

This document shows the relative location of the surveyed buildings and features with respect to the boundaries of the parcel described hereon. This document shall not be used to define property lines or property corners.

Polaris Land Surveying Inc. accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or actions taken based on this document.

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Date: 2020-01-27
File: 1745-01
Drawing: 1745-01-TOPO
Layout: C-Size

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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Existing Site Survey

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	as noted
drawn by	JAJH
checked by	ES
revision no.	sheet no.



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Project Data

Legal Address
Lot 1, of Lots 661, 662, and 663, Victoria City, Plan 7110 Remainder Lots 661 - 663, Victoria, Except Those Parts In Plan 7110.

Civic Address
603 Pandora Avenue, Victoria, BC

Zoning (current)
Old Town District-1 Zone (OTD-1)

Site Area
1,490.7 sq.m

Zoning Floor Areas
(measured to interior face of wall and includes elevator shafts, though excludes bicycle parking stalls & circulation)

Level 12	856.48 m ²	(9,219.1 ft ²)
Level 11	856.48 m ²	(9,219.1 ft ²)
Level 10	856.48 m ²	(9,219.1 ft ²)
Level 9	856.48 m ²	(9,219.1 ft ²)
Level 8	856.48 m ²	(9,219.1 ft ²)
Level 7	856.48 m ²	(9,219.1 ft ²)
Level 6	857.21 m ²	(9,226.9 ft ²)
Level 5	927.12 m ²	(9,979.4 ft ²)
Level 4	927.12 m ²	(9,979.4 ft ²)
Level 3	927.12 m ²	(9,979.4 ft ²)
Level 2	536.00 m ²	(5,769.5 ft ²)
Level 1	930.00 m ²	(10,010.4 ft ²)
Total	10,243.45 m²	(110,299.5 ft²)

Floor Space Ratio
6.87

Average Grade
13.91m Geodetic

Height of Building
Permitted: 15.00m
Proposed: 51.86m - 13.91m = 37.95m
Storeys: 12

Parking Stalls
Total Provided: 122
(includes 7 accessible stalls of which 1 is to be van accessible)

Bicycle Parking

Number of Class I Spaces:	10 (provided)
Number of Class II Spaces:	14 (provided)

Building Use/Area sq.m	Spaces Required Class I	Class II
Hotel (3,3-1,12) 198 rooms	8 (1 per 25 rooms)	5 (1 per 40 rooms)
Cafe/Restaurant (CRU 1 & 2 & patio) 285m ²	2 (1 per 150m ²)	3 (1 per 100m ²)
Total (required)	10	8

Setbacks

Direction	Required (m)	Provided (m)
East:	0m	0m
South:	0m	0m
West:	0m	0m
North:	0m	-2.87m

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rev no	description	date

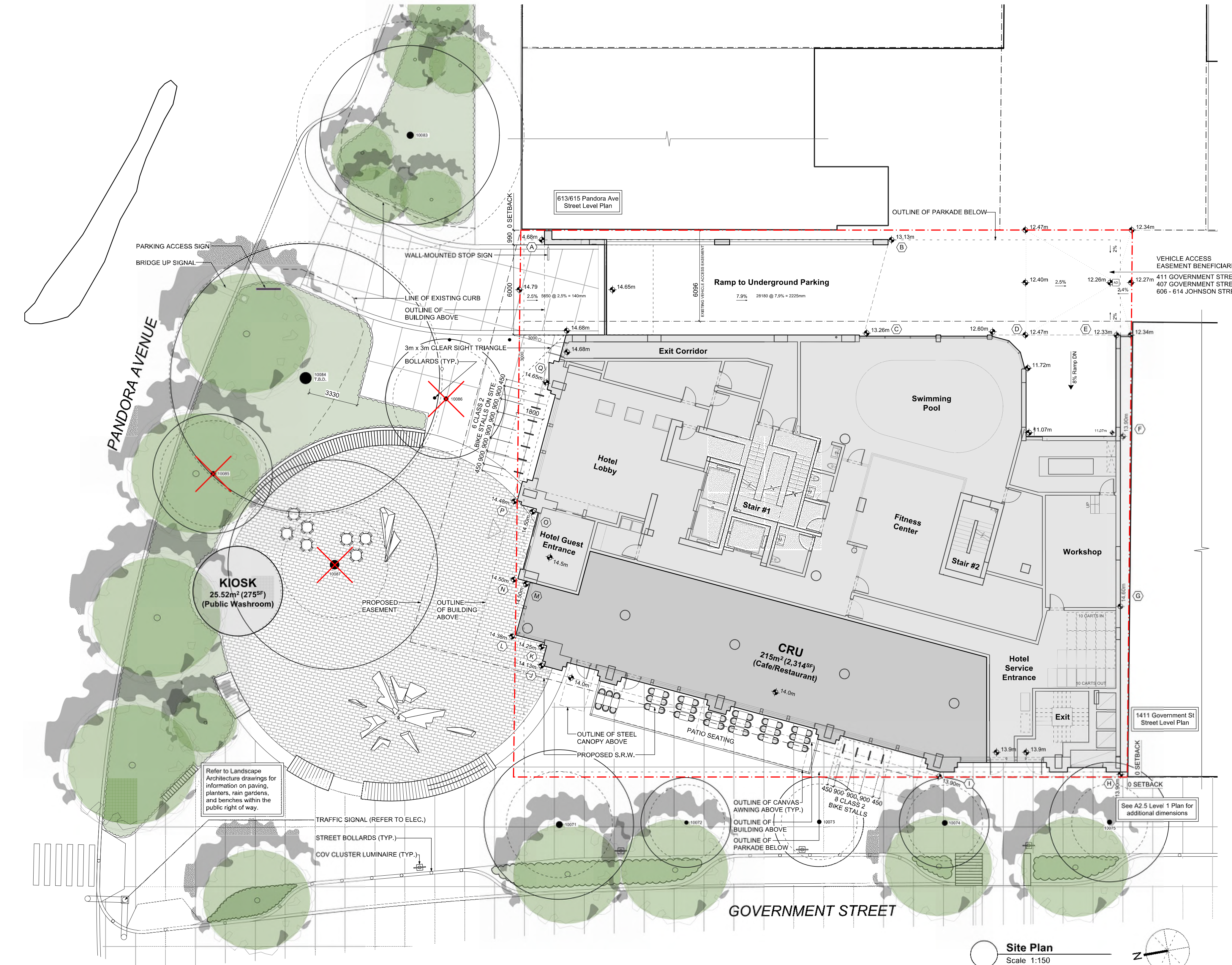
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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Site Plan and Project Data

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:150
drawn by	JA/JH
checked by	ES
revision no.	sheet no.

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PROJECT INFORMATION TABLE

Zone (existing)	OTD-1 Old Town District 1
Proposed zone or site specific zone	New Zone
Site area (m ²)	1,490.70 m ²
Total floor area (m ²)	10,243.45 m ²
Commercial floor area (m ²)	215.00 m ²
Floor space ratio	6.87
Site coverage area	1,236.10 m ²
Site coverage (%)	82.92 %
Open site area (m ²)	168.00 m ²
Open site space (%)	11.27 %
Height of building (m)	37.95 m
Number of storeys	12
Parking stalls (number) on site	122
Bicycle parking number (Class I & Class 2)	10 + 14 : 24

Building Setbacks (m)

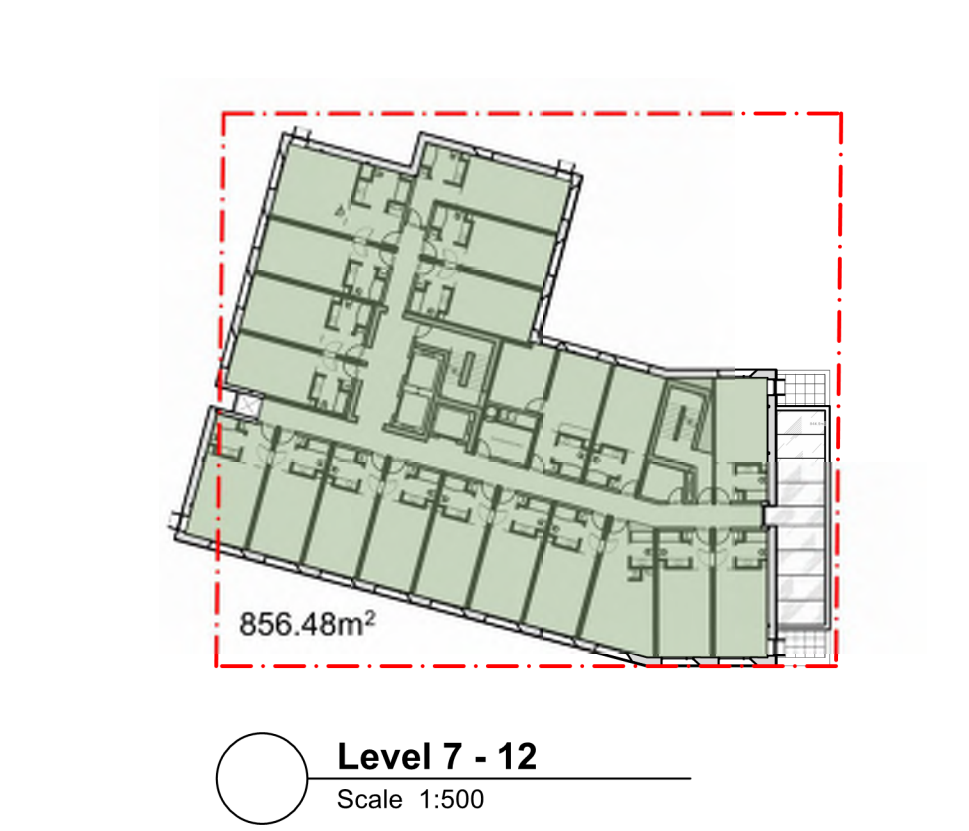
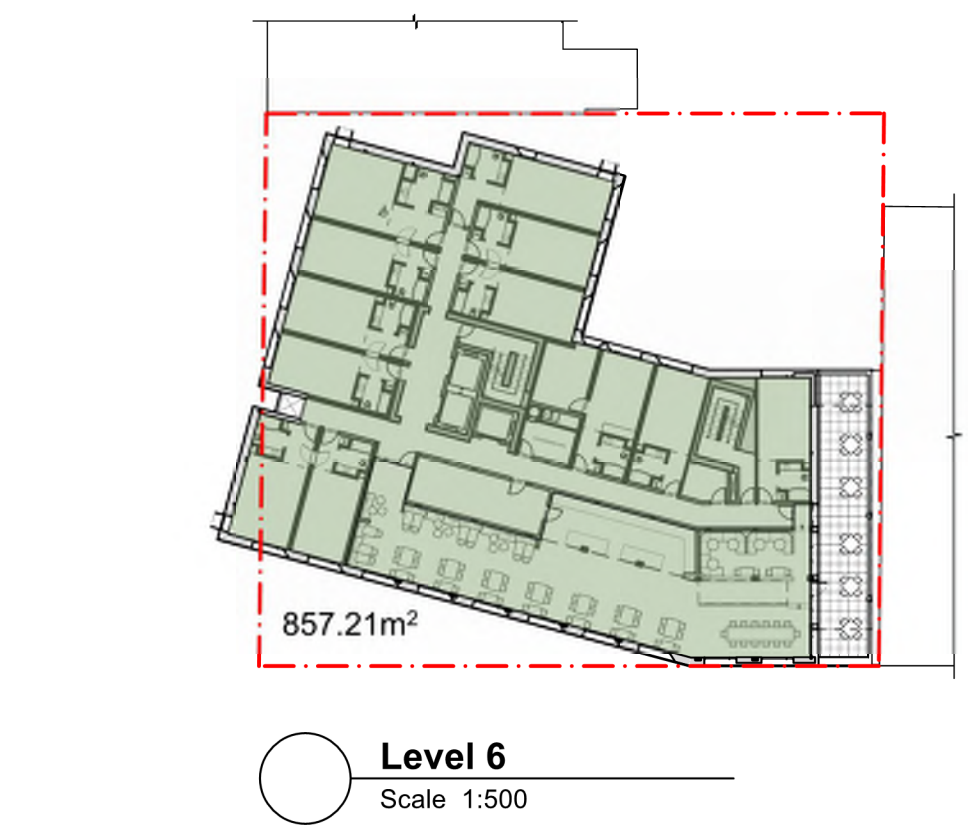
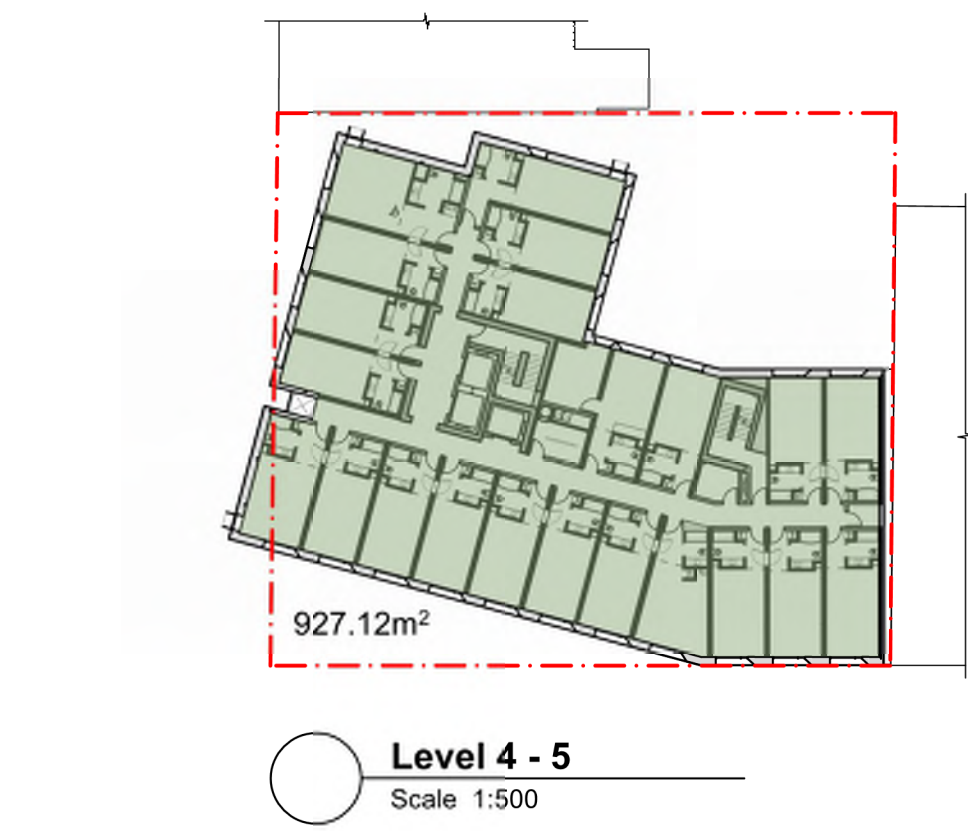
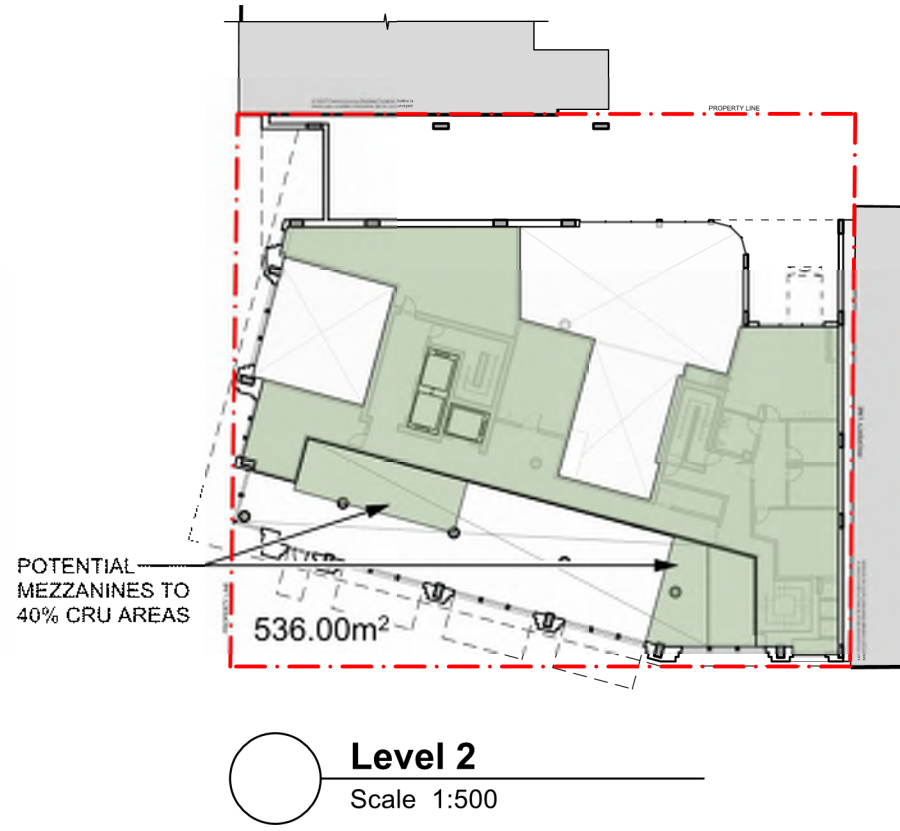
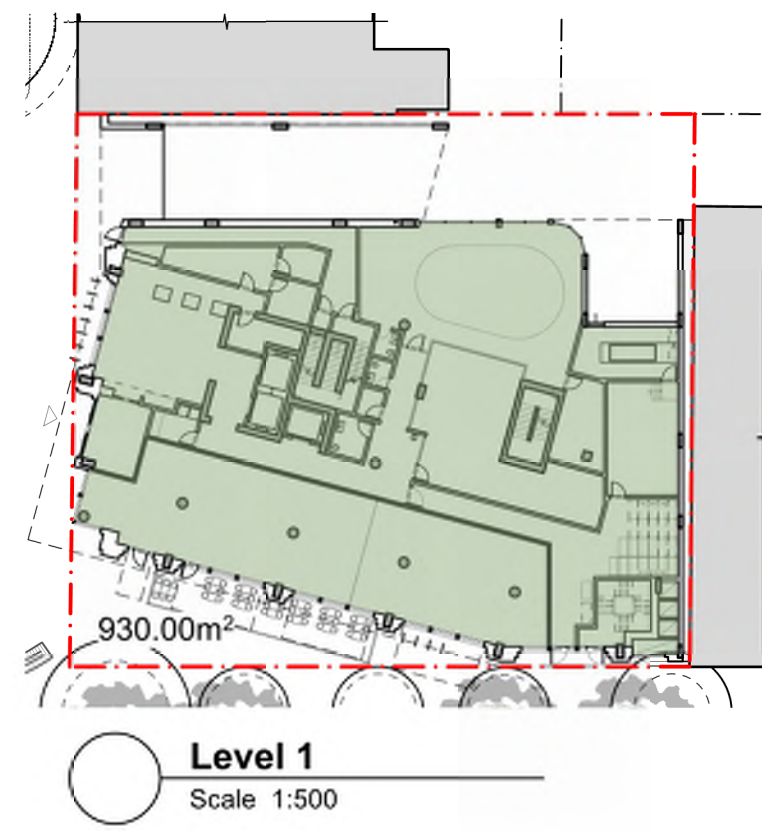
Front yard	-2.87 m
Rear yard	0 m
Corner side yard (west)	0 m
Side yard (east)	0 m

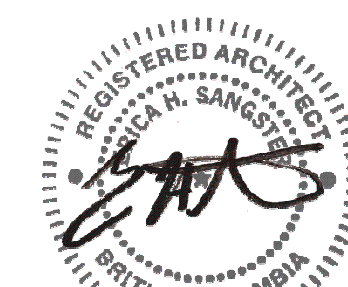
Hotel Use Details

Total number of units	198
Unit type, e.g., 1 bedroom	Hotel Rooms
Minimum unit floor area (m ²)	28.90 m ²
Total hotel floor area (m ²)	10,028.45 m ²

AVERAGE GRADE

ID	Grade (m)	Interval	Average	Distance (m)	Subtotal
A	14.68	A - B	13.91	23.05	320.51
B	13.13	B - C	13.20	6.59	86.96
C	13.26	C - D	12.87	10.85	139.59
D	12.47	D - E	12.40	6.31	78.24
E	12.33	E - F	13.12	6.77	88.79
F	13.90	F - G	14.25	11.33	161.45
G	14.60	G - H	14.25	11.12	158.46
H	13.90	H - I	13.90	12.08	167.91
I	13.90	I - J	14.02	27.55	386.11
J	14.13	J - K	14.19	1.52	21.57
K	14.25	K - L	14.32	2.18	31.21
L	14.38	L - M	14.44	3.67	52.99
M	14.50	M - N	14.50	0.85	12.33
N	14.50	N - O	14.50	4.88	70.76
O	14.50	O - P	14.49	1.39	20.14
P	14.48	P - Q	14.57	8.38	122.05
Q	14.65	Q - A	14.67	9.54	139.90
Subtotal				148.06	2058.98
Average Grade =				13.91	





2024-09-17

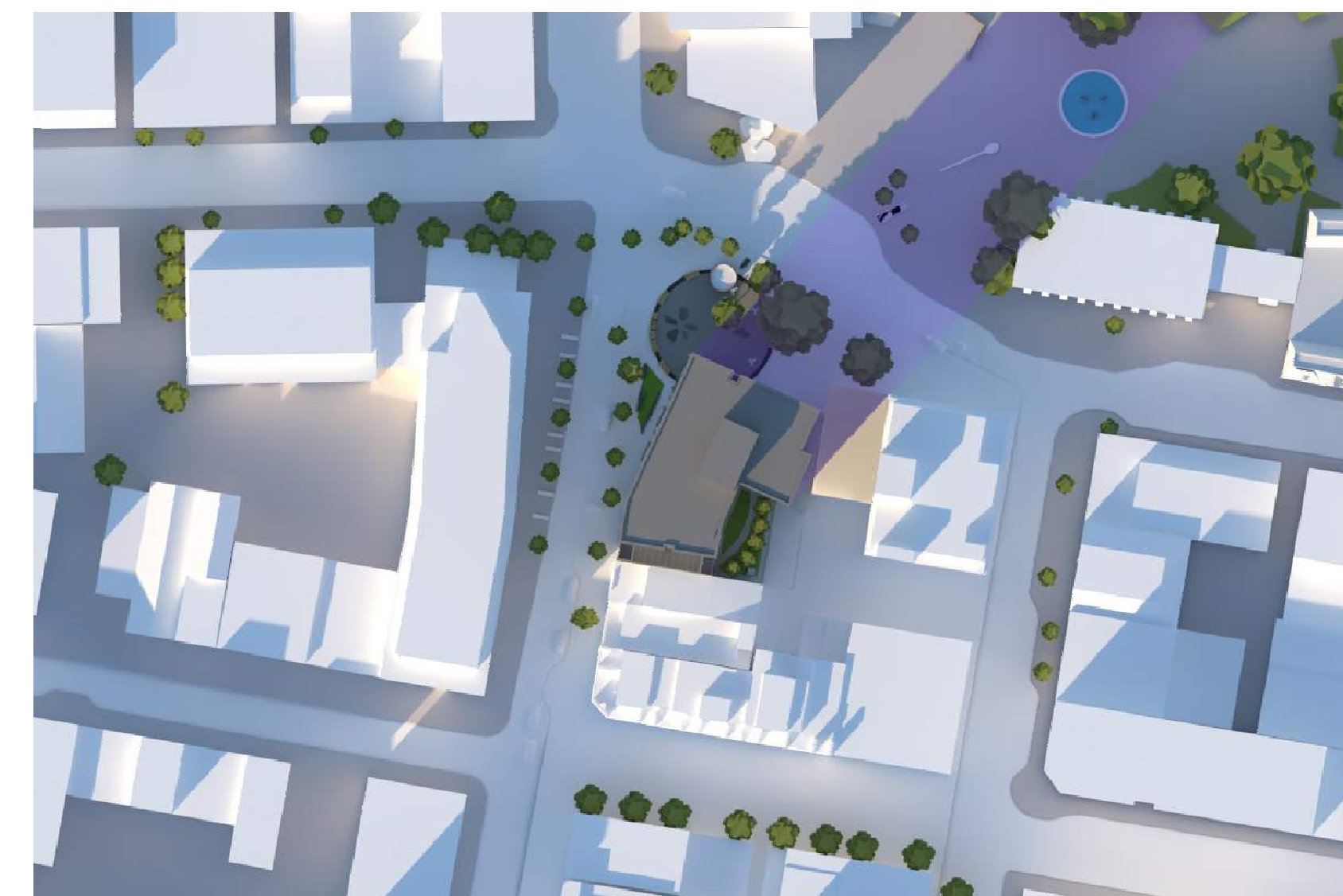
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WINTER SOLSTICE 1000h



WINTER SOLSTICE 1200h



WINTER SOLSTICE 1500h



EQUINOX 0900h



EQUINOX 1200h



EQUINOX 1600h



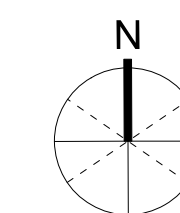
SUMMER SOLSTICE 0900h



SUMMER SOLSTICE 1200h



SUMMER SOLSTICE 1700h



3	Revised Rezoning / DP	2024/09/12
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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Sun and Shade Studies

project no. 20-36

drawing file -

date issued September 12, 2024

scale n.t.s.

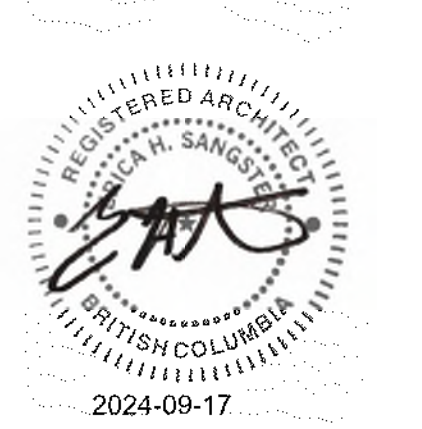
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GENERAL NOTES:

1. March 20, 2023 was used as the date of the Equinox.
2. All calculations are approximate and have been generated from 2D views of the Sketch Up model.
3. All calculations are relative and are not to scale.
4. The building height is 38.1m and is classified as a high rise residential building for the purposes of City of Victoria Downtown Core Area Plan Appendix 4 Design Guidelines.

DCAP Appendix 4: 6.1.d.i.

Spring / Autumn Equinox
March 20 / September 22, 2023
The spring and autumn equinoxes mark the start of spring or autumn and are the midway point between summer and winter solstices.

The City of Victoria General Urban Design Guidelines (2022) contains the following guideline for tall buildings:

where unshaded by existing off-site conditions, a minimum of approximately 4 hours of cumulative sunlight provided on at least 60% of the length of the sidewalk located across the street from the development should be achieved between 1000h and 1600h on the equinoxes.

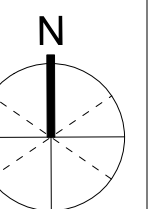
The proposal meets the guideline as follows:

Pandora Avenue
The sidewalk is fully unshaded until 1400h when a sweeping shadow occurs over 14% of the sidewalk.

Government Street
The sidewalk is shaded by the proposed development from 1000h until approximately 1040h when the shadow has reduced to 55%. The sidewalk remains fully unshaded until 1300h when 66% shading by the existing adjacent building begins until 1600h.

LEGEND

- sidewalk in sun
- sidewalk shaded by proposed building
- sidewalk shaded by existing buildings
- time recommended by urban design guidelines



1000h - 100% sun



1100h - 100% sun



1200h - 100% sun



1300h - 100% sun



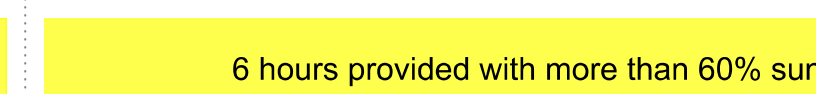
1400h - 86% sun



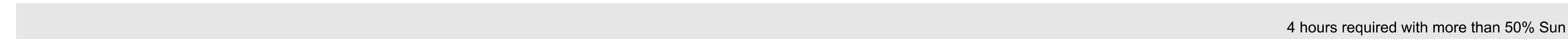
1500h - 86% sun



1600h - 91% sun



6 hours provided with more than 60% sun



4 hours required with more than 50% Sun

PANDORA AVENUE



1000h - 26% sun



1040h - 55% sun



1200h



1300h - 66% sun (shaded by existing buildings)



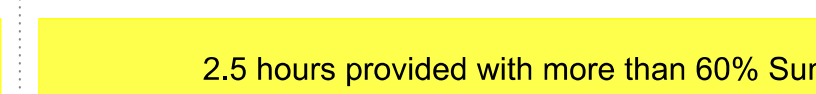
1400h - 0% sun (shaded by existing buildings)



1500h - 0% sun (shaded by existing buildings)



1600h - 0% sun (shaded by existing buildings)



2.5 hours provided with more than 60% Sun



1.5 hours shaded by existing buildings



4 hours required with more than 50% Sun

GOVERNMENT STREET

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sheet title
Sun and Shade Studies

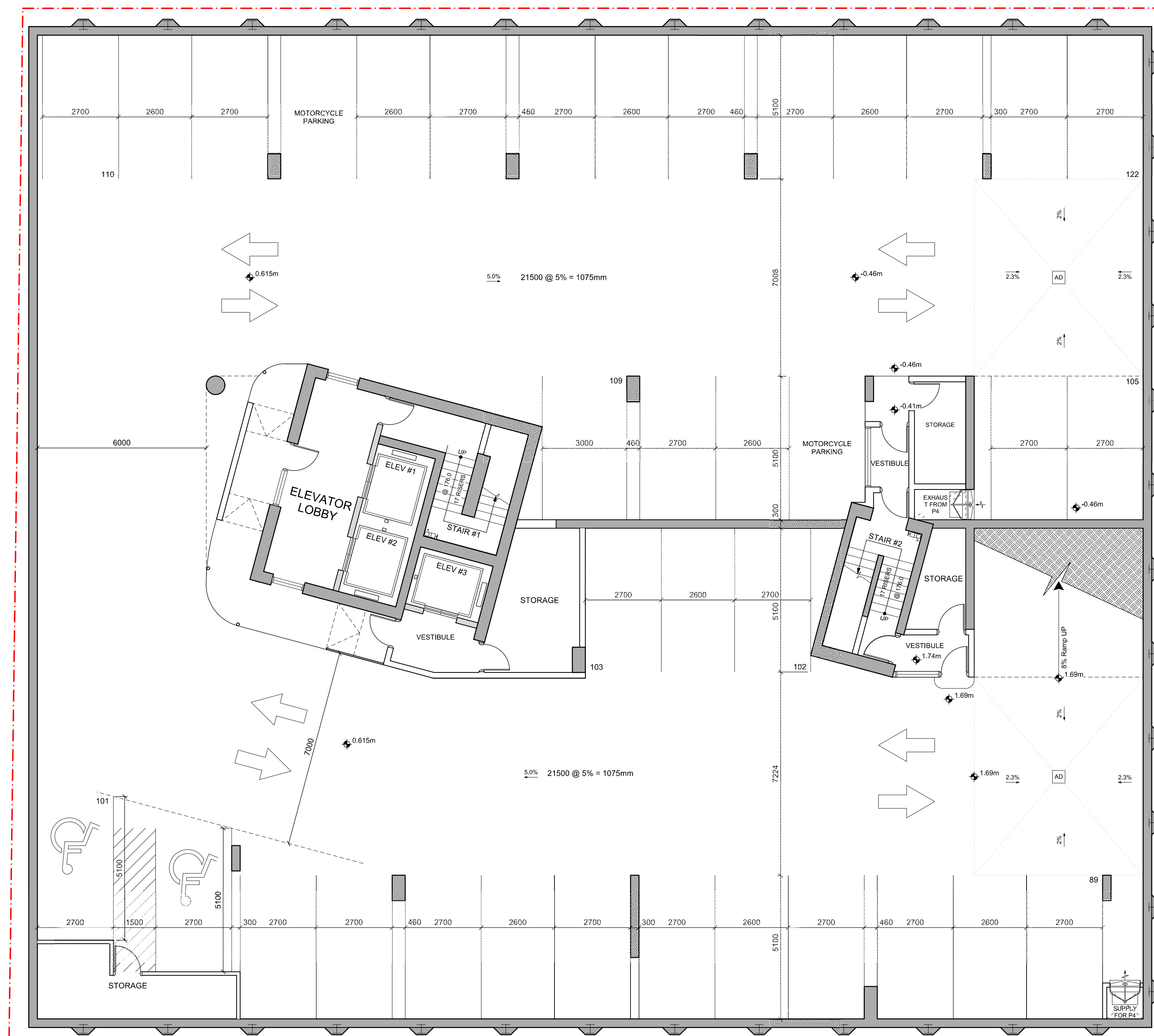
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drawing file	-
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scale	n.t.s.
drawn by	JAJ/JH
checked by	ES

revision no. sheet no.

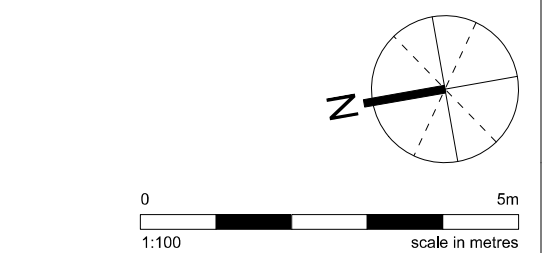
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Level P4 Plan
Scale 1:100



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rev no description date

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Level P4 Plan

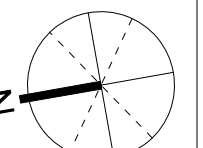
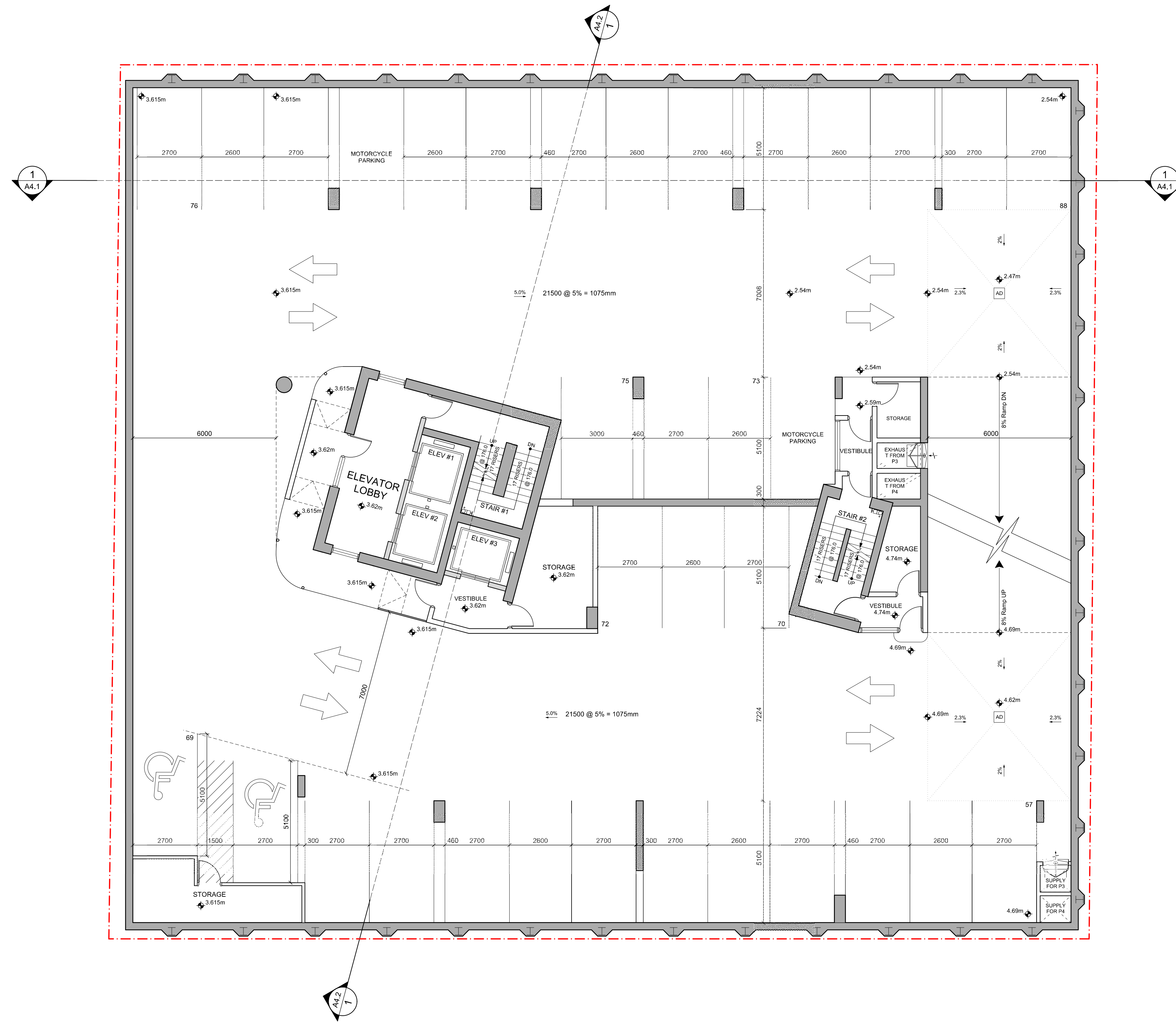
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drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.1

PARKING COUNT								
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements	Short Term Bicycle Provided
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible Van Accessible	2	Hotel 1 per 25 rooms @ 198 rooms = 8 CRU & patio @ 285sqm 1 per 150sqm=2	8	Hotel 1 per 40 rooms @ 198 rooms = 5 CRU & patio @ 285sqm 1 per 100sqm = 3	6
P3		32		2				
P2		32		2				
P1		24		1				
Level 1 CRU	0	0	0	2	2	8	8	
Total	50	122	2	7	8+2=10	10	5+3=8	14



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0 5m
1:100 scale in metres

3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Level P3 Plan

project no. 20-36

drawing file -

date issued September 12, 2024

scale 1:100

drawn by JAJ/JH

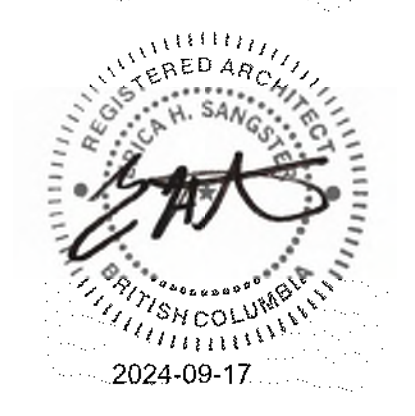
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revision no. sheet no.

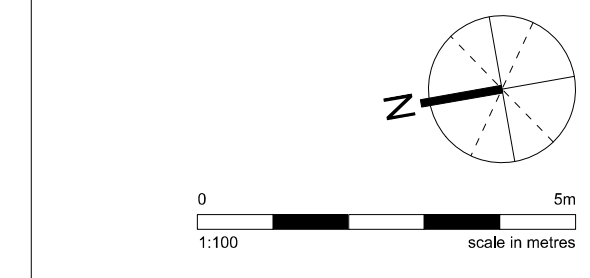
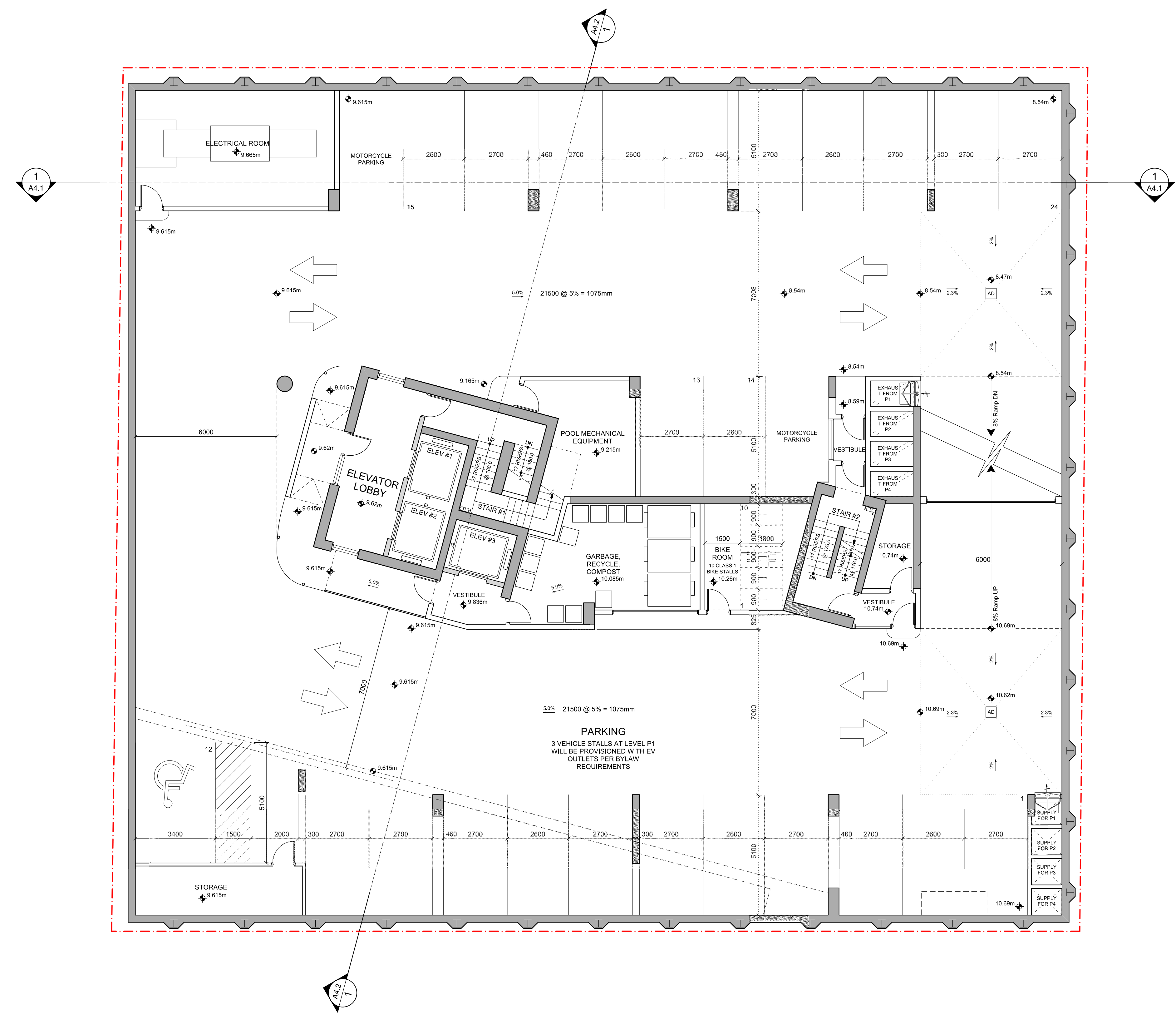
3 A2.2

Level P3 Plan
Scale 1:100

PARKING COUNT							
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	2	Hotel 1 per 25 rooms @ 198 rooms= 8	8	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2			
P2		32		2			
P1		24	Van Accessible	1			
Level 1 CRU	0	0		0	CRU & patio @ 285sqm 1 per 150sqm=2	2	CRU & patio @ 285sqm 1 per 100sqm = 3
Total	50	122	2	7	8+2=10	10	5+3=8



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3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Level P1 Plan

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES
revision no.	sheet no.

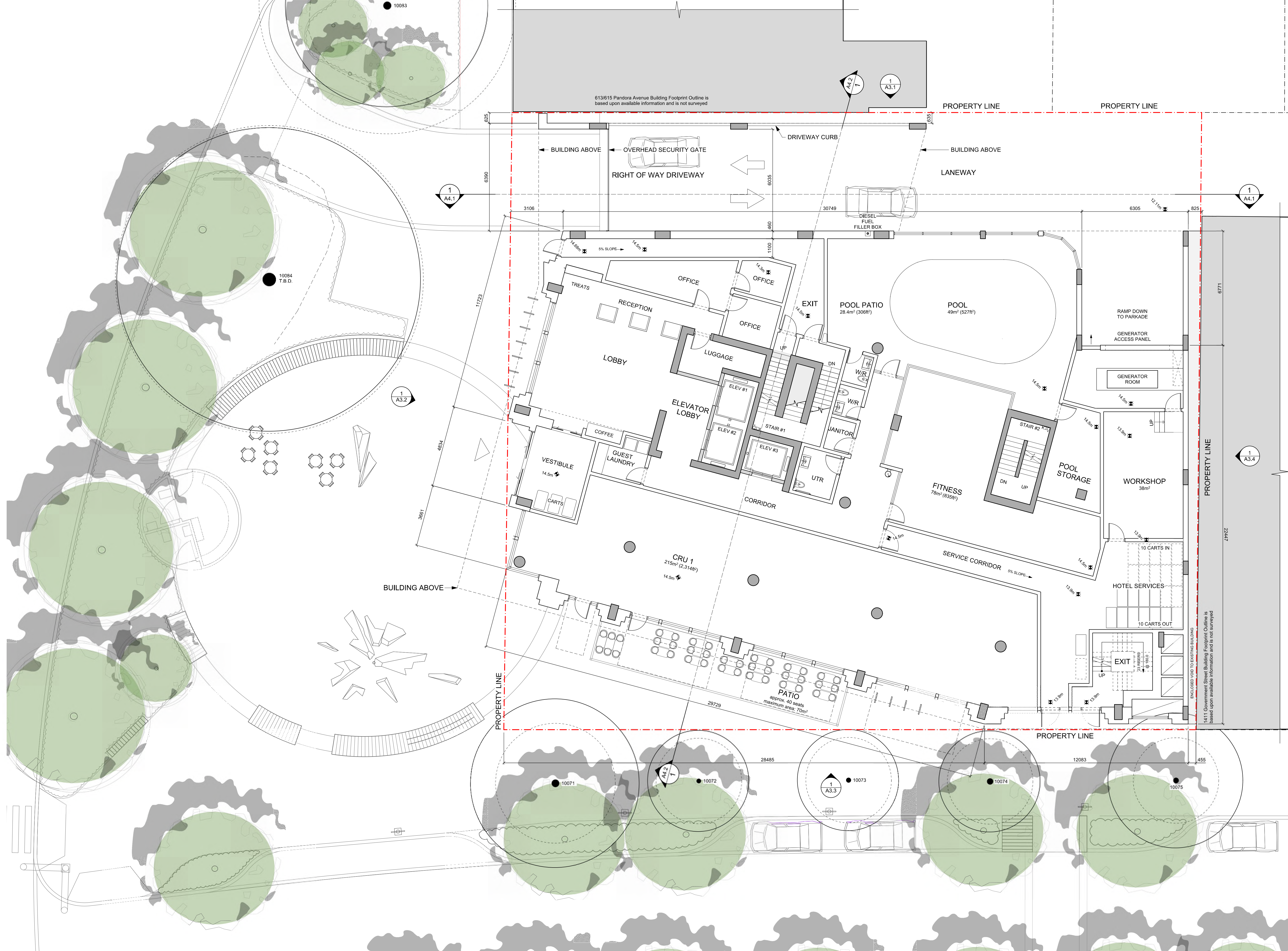
3 A2.4

Level P1 Plan
Scale 1:100

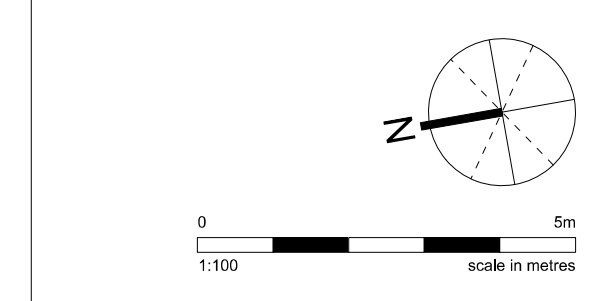
PARKING COUNT							
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	2	Hotel 1 per 25 rooms @ 198 rooms= 8	8	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2			
P2		32		2			6
P1		24	Van Accessible	1			
Level 1 CRU	0	0		0	CRU & patio @ 285sqm 1 per 150sqm=2	2	CRU & patio @ 285sqm 1 per 100sqm = 3
Total	50	122	2	7	8+2=10	10	5+3=8



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1 Level 1 Plan
Scale 1:100



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

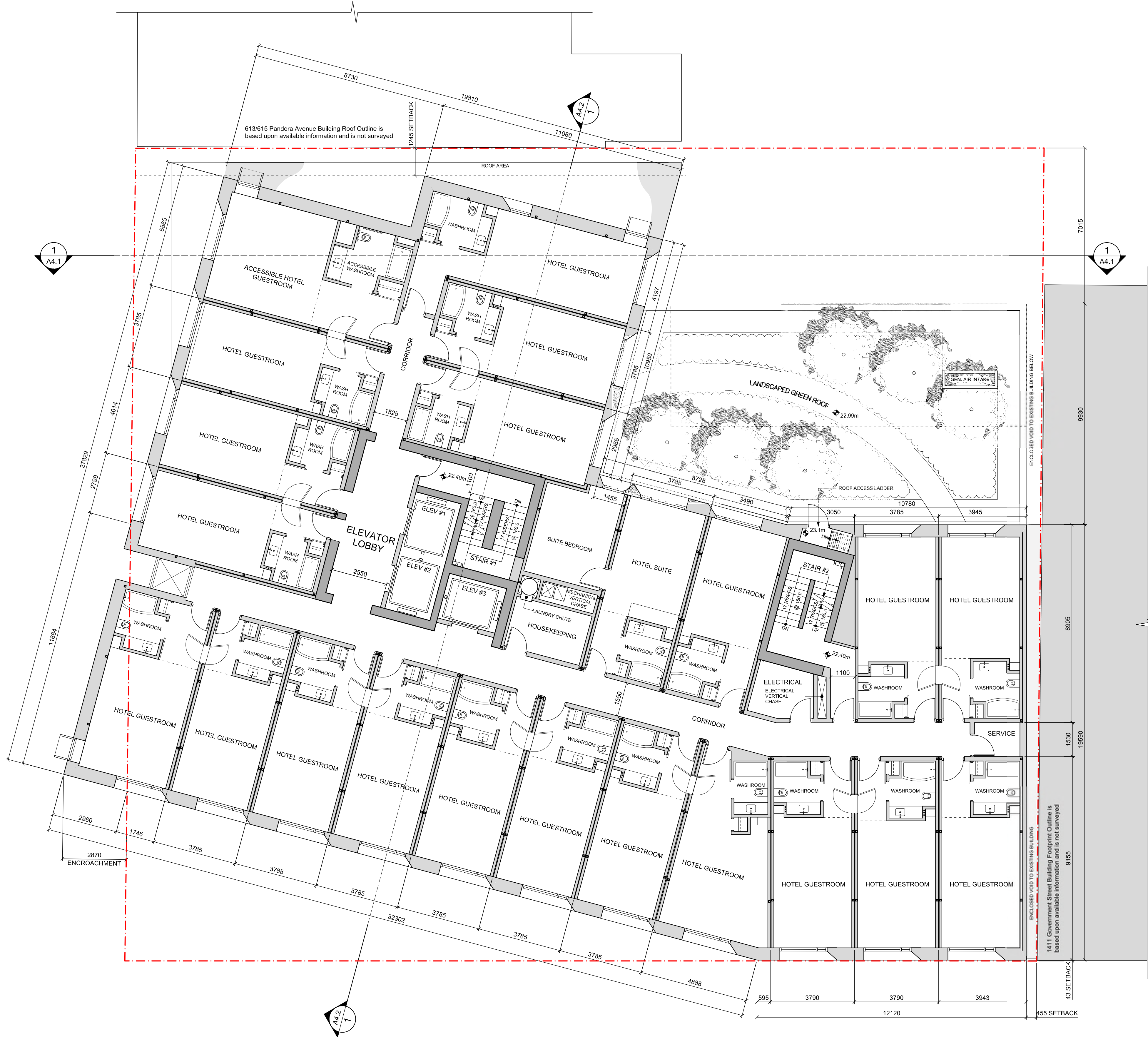
sheet title
Level 1
Ground Floor Plan

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES
revision no.	sheet no.

3 A2.5

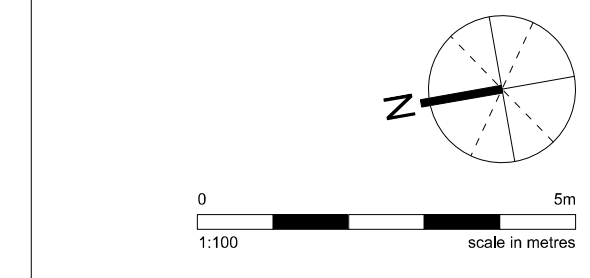


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Unit Count & Area
22 units / floor
1004.2 m² / floor
10,809 ft² / floor

1 Level 3
Scale 1:100



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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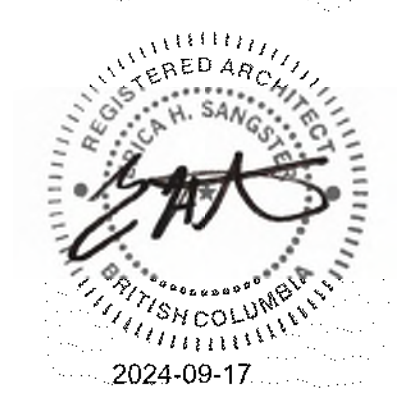
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603 Pandora Avenue
Victoria, BC

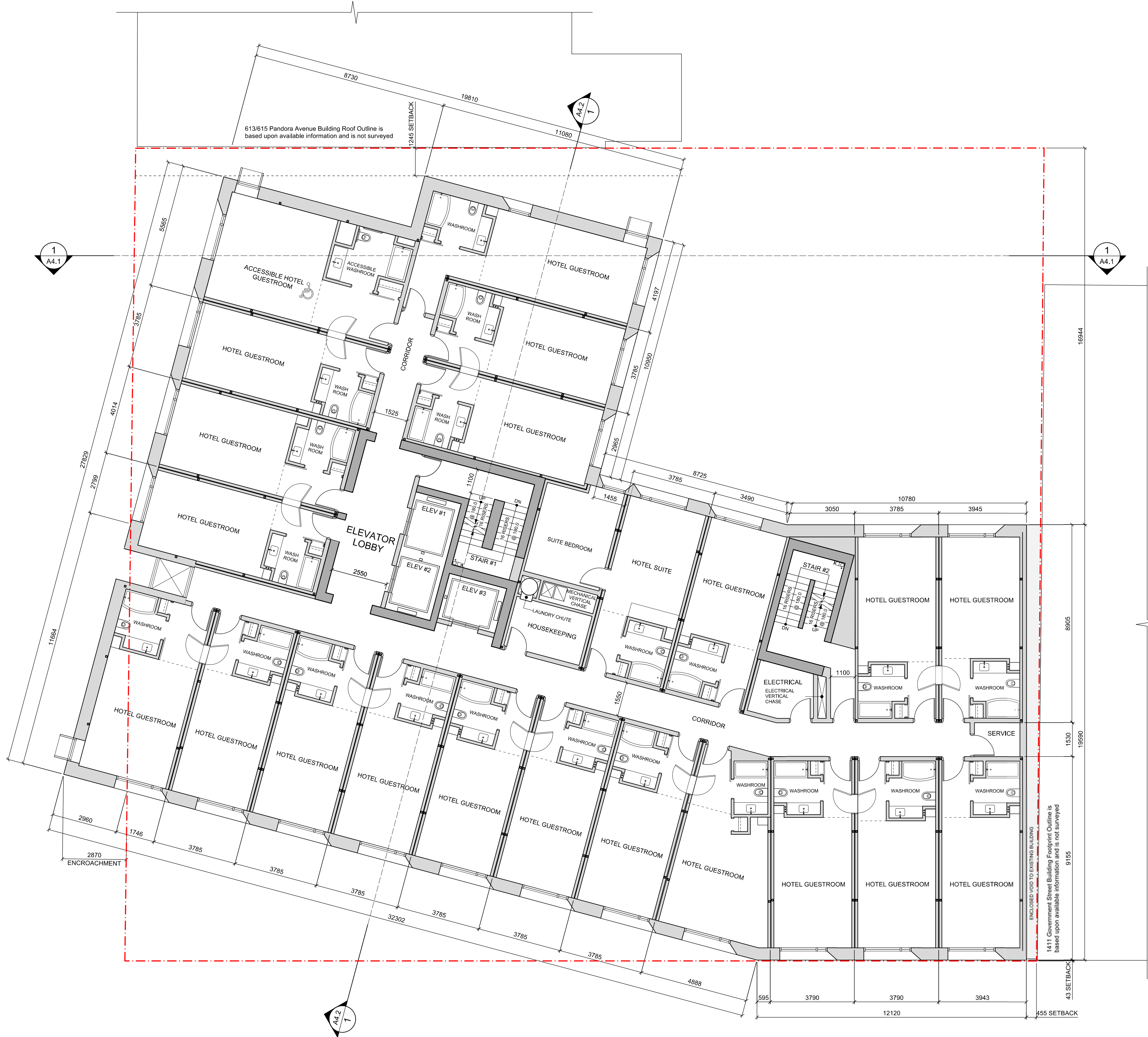
sheet title
Floor Plan - Level 3

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.7

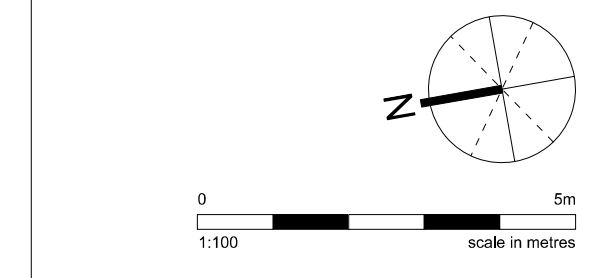


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Unit Count & Area
22 units / floor
1004.2 m² / floor
10,809 ft² / floor

1 Level 4 - Level 5
Scale 1:100



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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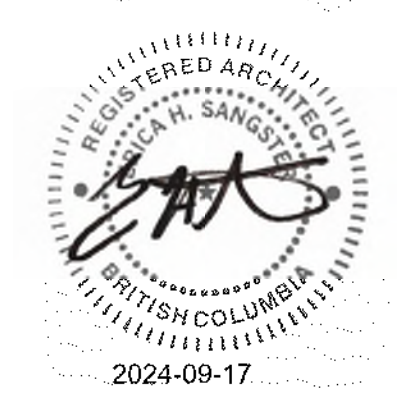
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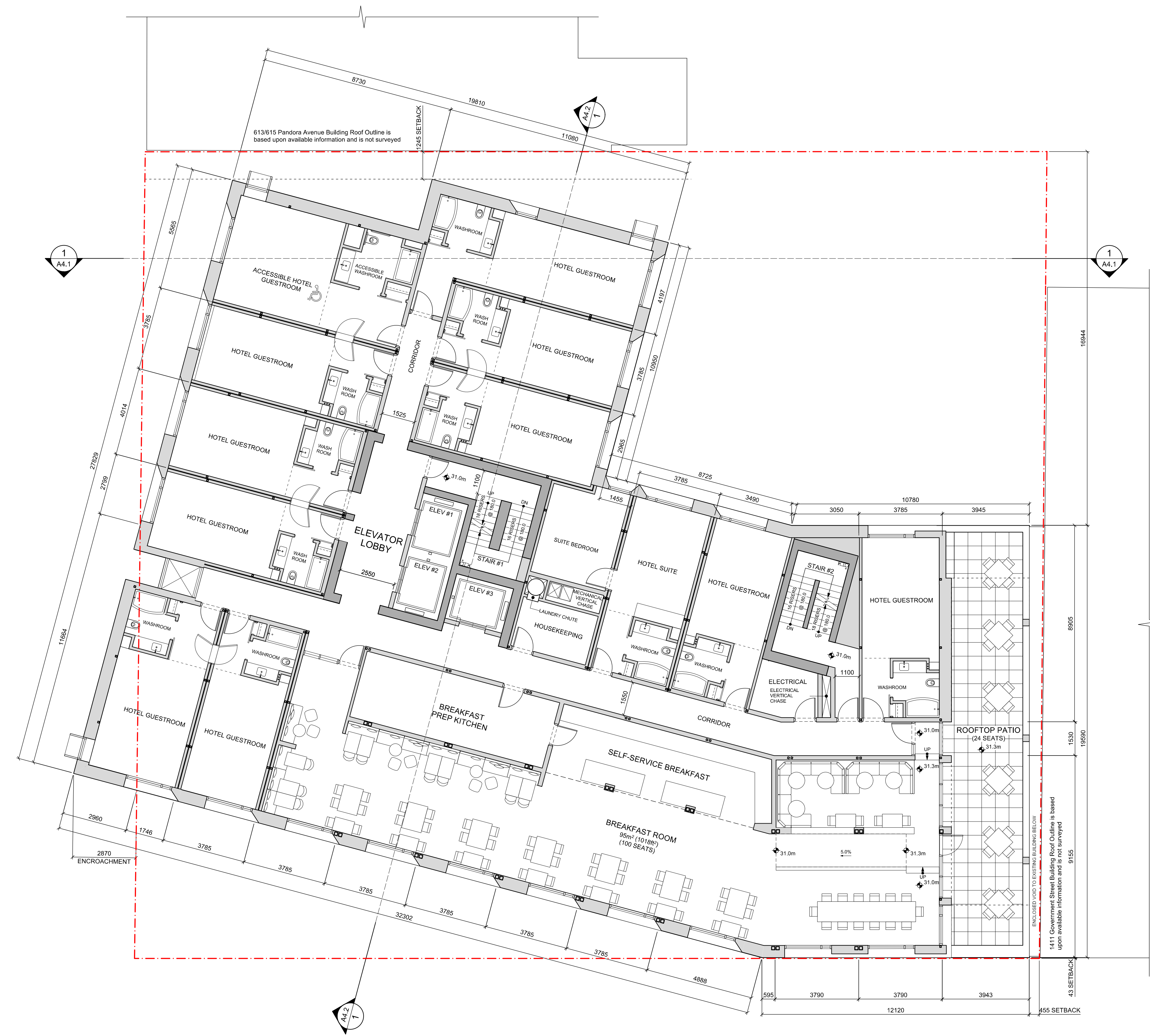
sheet title
**Floor Plan -
Level 4 - Level 5**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.8

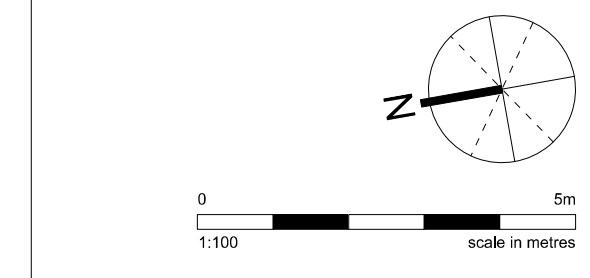


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Unit Count & Area
12 units / floor
934.9m² / floor
10,063 ft² / floor

1 Level 6
Scale 1:100



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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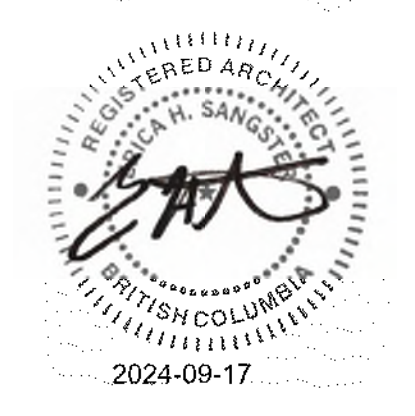
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Victoria, BC

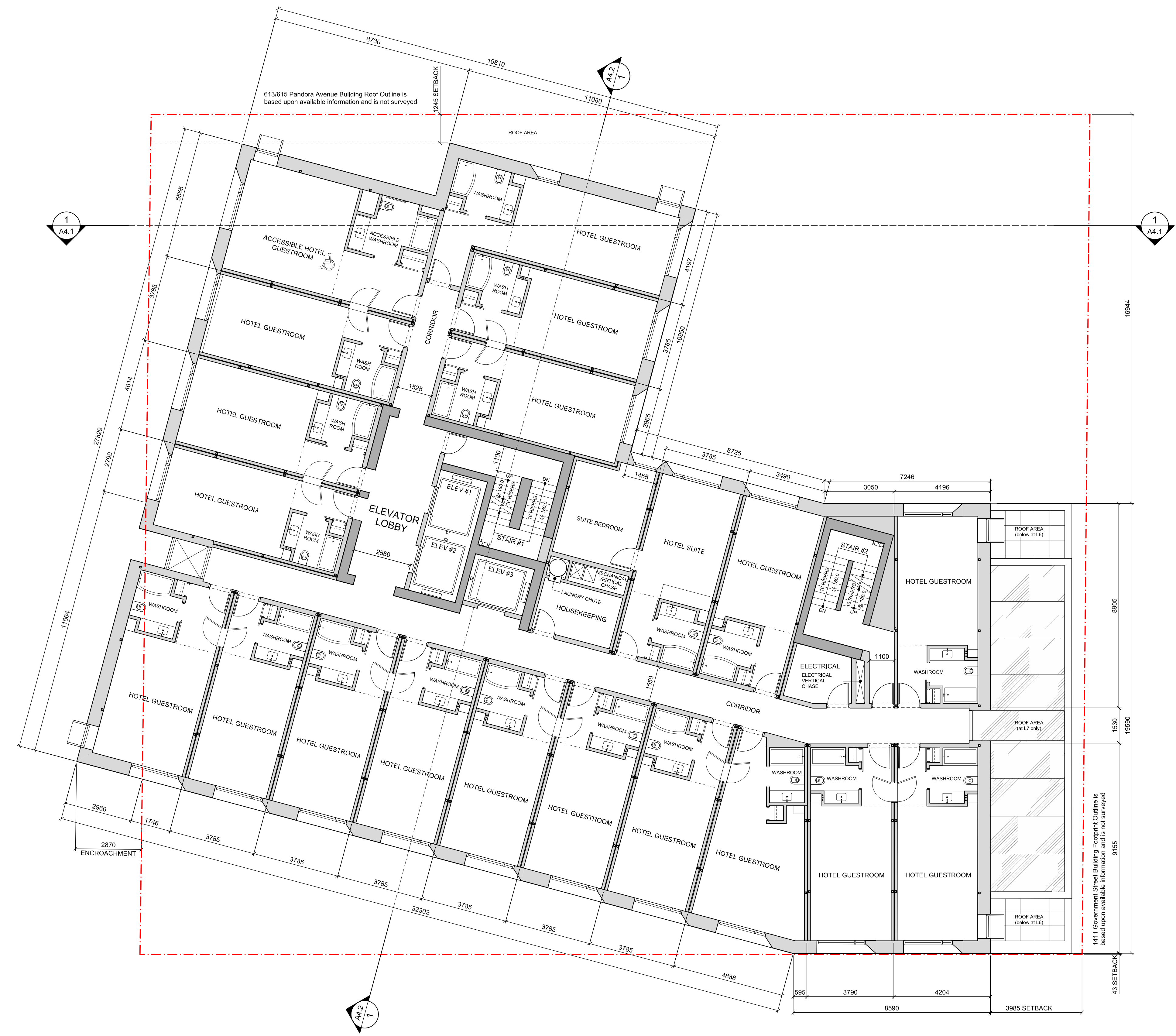
sheet title
Floor Plan - Level 6

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.9

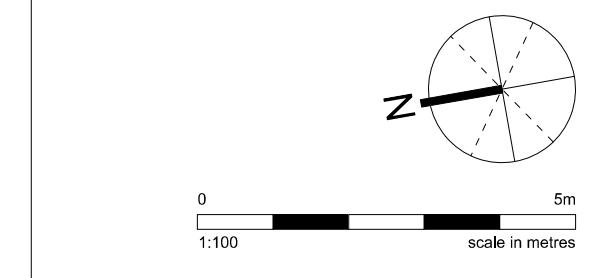


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Unit Count & Area
20 units / floor
933.9 m² / floor
10,052 ft² / floor

1 Level 7 - Level 12
Scale 1:100



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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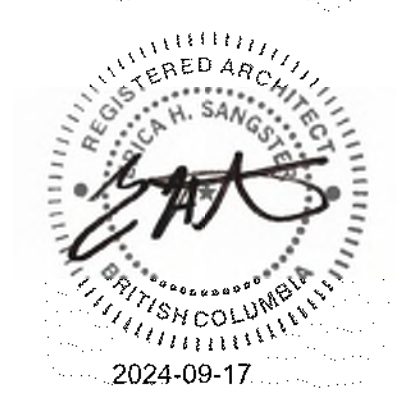
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project name
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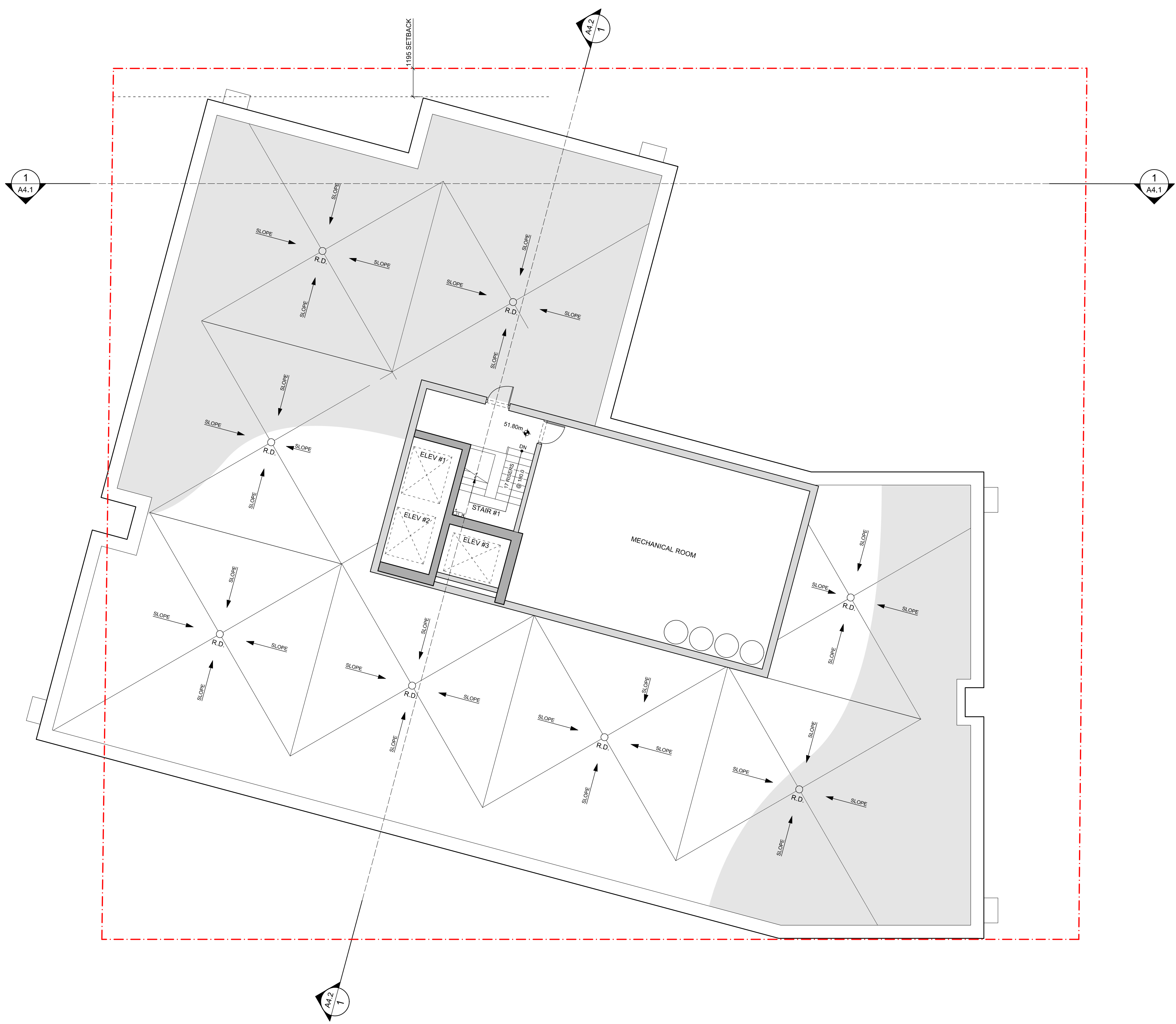
sheet title
**Floor Plan -
Level 7 - Level 12**

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.10

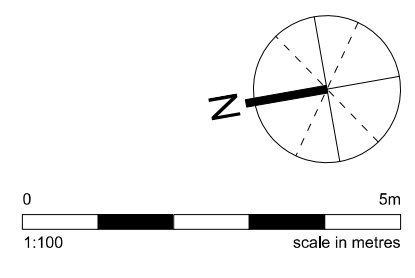


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Area
Penthouse G.F.A. Excluded
0.00 m²
0 ft²

1 Penthouse and Roof Plan
Scale 1:100



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
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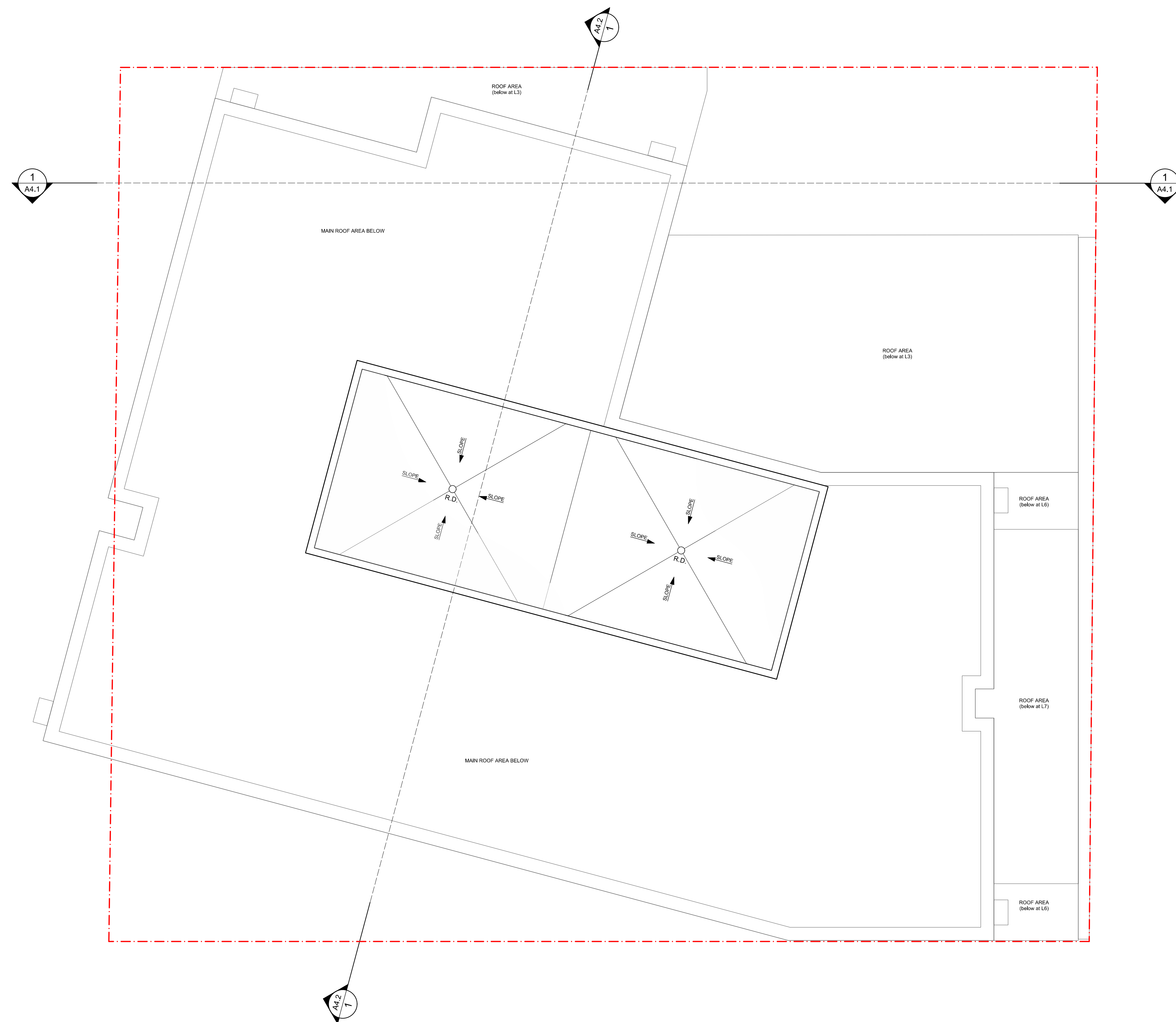
sheet title
Penthouse and Roof Plan

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.11

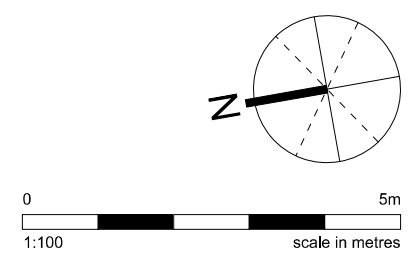


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Area
Penthouse G.F.A. Excluded
0.00 m²
0 ft²

1 Penthouse and Roof Plan
Scale 1:100



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Roof Plan

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
3	A2.12



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Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



West Elevation (Government St)
Scale 1:100

rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

3
A3.1



2024-09-17

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Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

3
A3.2



North Elevation (Pandora Ave.)
Scale 1:100



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Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

3
A3.3



East Elevation
Scale 1:100



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Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flushing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
rev no	description	date

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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

3
A3.4



South Elevation
Scale 1:100



2024-09-17

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Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



Context Elevation - Government Street
Scale 1:250



Context Elevation - Pandora Avenue
Scale 1:250



3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

rev no	description	date

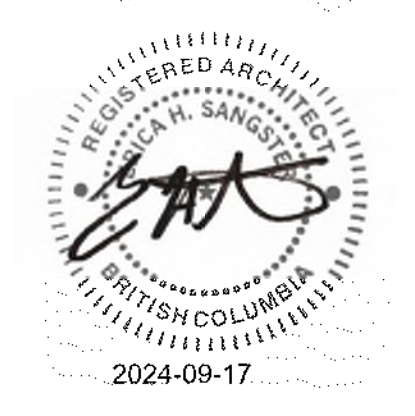
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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Context Elevations

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES

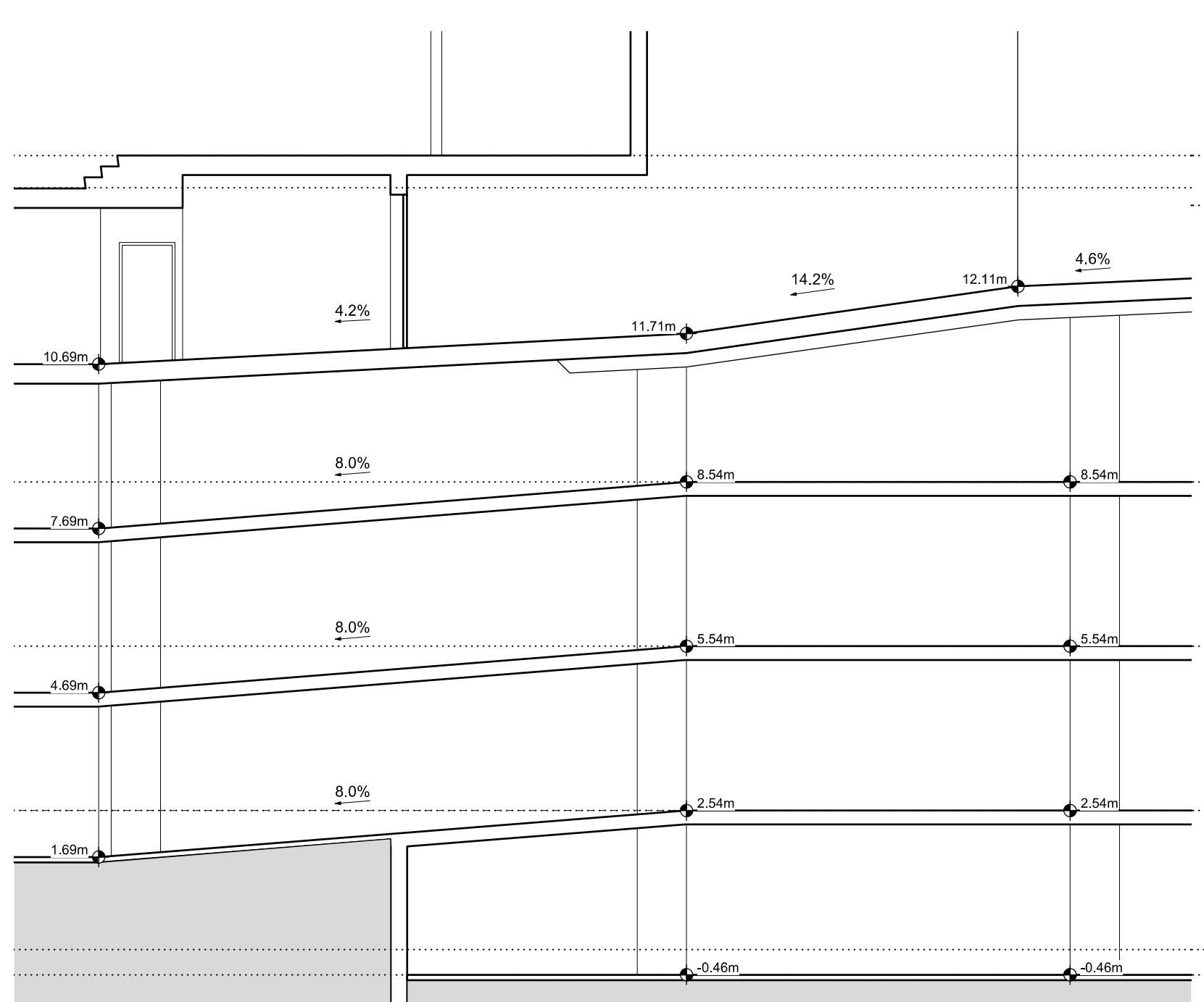
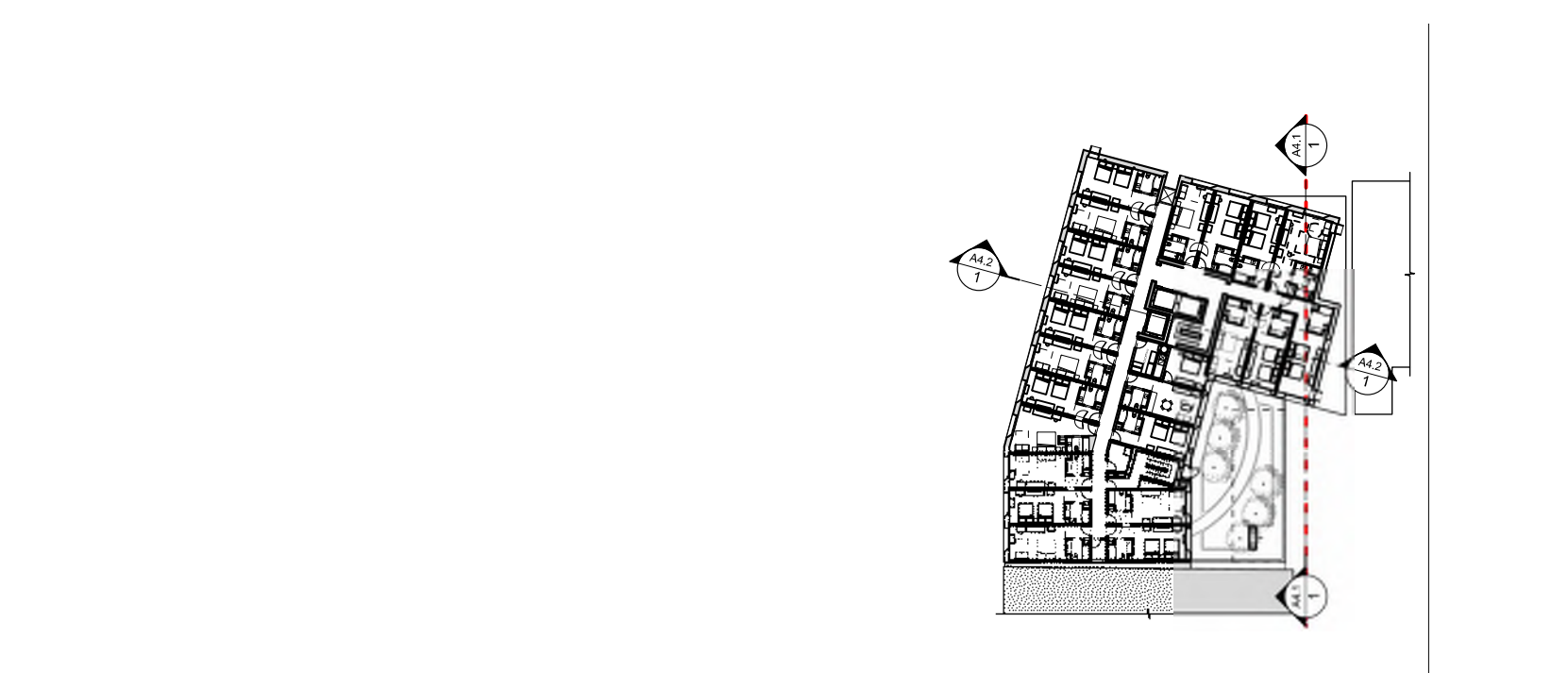
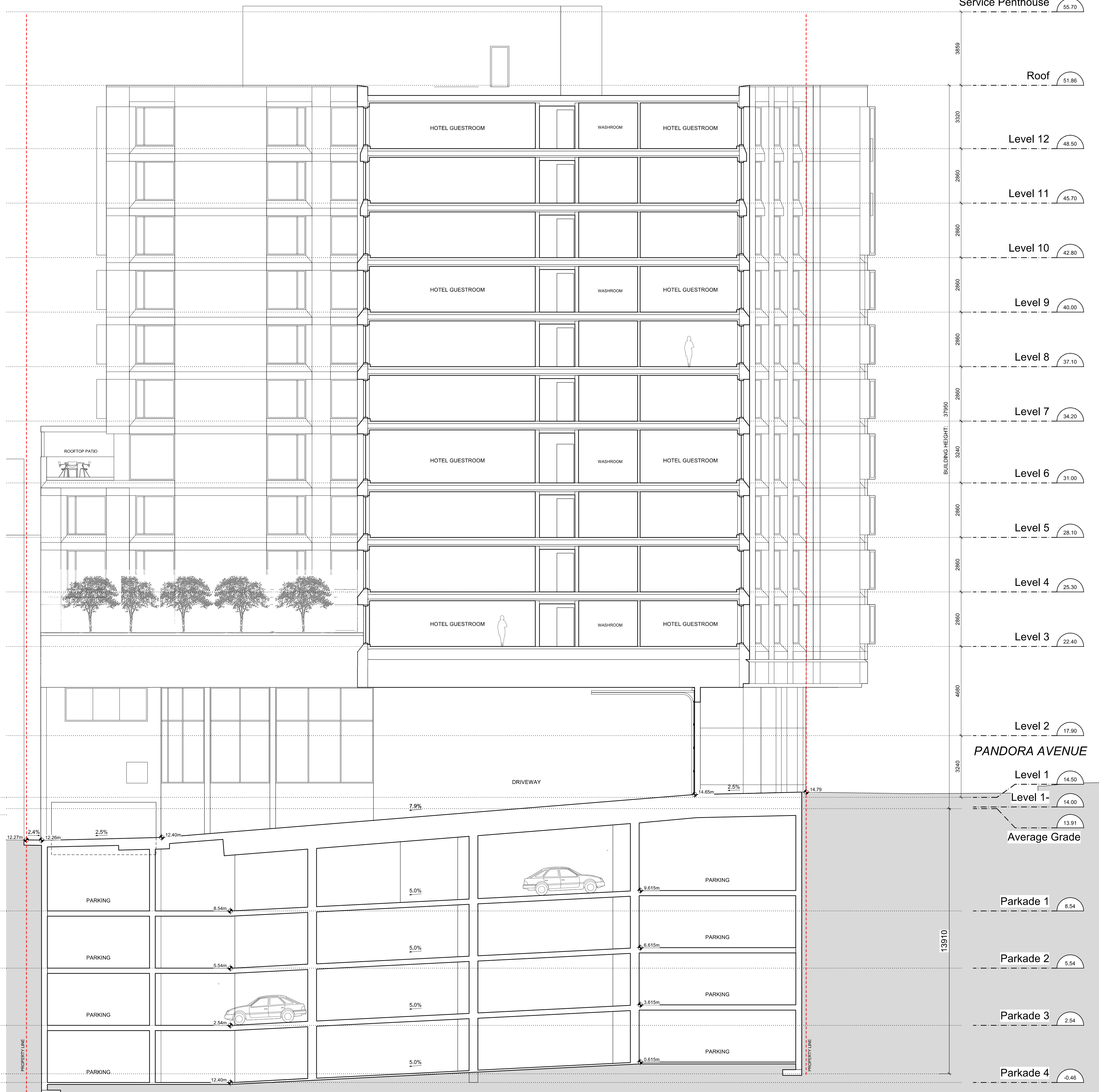
revision no.	sheet no.
3	A3.1



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Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



2 Partial Section E-W Internal Ramp System
Scale 1:100

1 Section N-S
Scale 1:100

rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

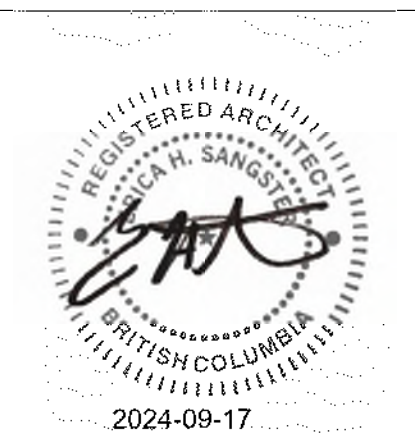
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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Building Section N-S

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

3
A4.1



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Elevation Materials Key:

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



rev no	description	date
3	Revised Rezoning / DP	2024/09/12
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05

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project name
Hampton Inn
603 Pandora Avenue
Victoria, BC

sheet title
Building Section N-S

project no.	20-36
drawing file	-
date issued	September 12, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

3
A4.2



Section E-W
Scale 1:100



C:\Users\jcs\OneDrive\Documents\2024\09\14\21-03371-00\pandora_ave_redev\14_schp\pandora_ave_redev_14_80_civil.dwg
 2024-09-14 12:54 PM
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REV	DATE	DESCRIPTION	DES	DRN	CHK
1	2024/09/14	ISSUED FOR REZONING	JCS	SG	JCS

SEAL:

JCS & SCHERVILLE
#35628
ENGINEER

WSP Canada Inc.
Engineers & Geoscientists BC
Permit #1000200

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ORIGINAL SCALE: 1:200

DATE: 2022/04/08

DESIGNED BY: JCS

CHECKED BY: JCS

DRAWN BY: SG

APPROVED BY: --

DISCIPLINE: CIVIL

IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.

25mm

WSP Canada Inc.
301-3600 Uptown Boulevard, Victoria, BC, V8Z 0B9
T 250-384-5510 | www.wsp.com

PROJECT NUMBER: 221-03371-00

CLIENT: DAU STUDIO

CLIENT REF. #: --

TITLE: SURFACE WORKS

PROJECT: 603 PANDORA AVENUE REDEVELOPMENT

DRAWING NUMBER: C102

REV: 1

HAMPTON INN - PANDORA AND GOVERNMENT

Victoria, BC

Issued for Rezoning / DP - Sept 16th, 2024

LANDSCAPE DRAWING LIST

L0.00 - Cover Sheet
L0.01 - Tree Survey
L0.02 - Tree Management Plan

Concept Plan
L1.01 - Concept Plan L1
L1.02 - Concept Plan L3

Landscape Plan
L1.11 - Landscape Plan
L1.12 - Landscape Plan

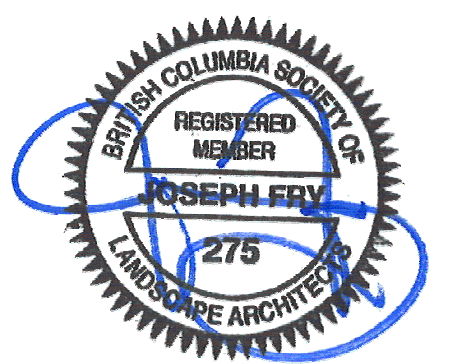
Planting Plan
L1.41 - Planting Plan
L1.42 - Planting Plan

Site Perspectives
L2.01 - Site Perspectives

Details
L4.11 - Paving
L4.21 - Site Furnishings
L4.41 - Planting
L4.42 - Planting

3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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Plaza Hotel

603 Pandora Ave
Victoria, BC

Cover Sheet

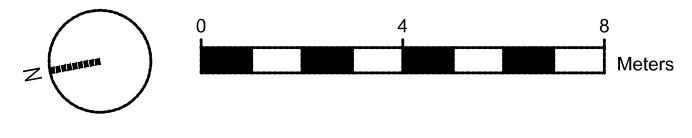
Date	Aug. 03/22	Drawing Number
Project No.	2215	L0.00
Scale	1:100	
Drawn/Checked	kk JF	

TREE SURVEY LEGEND

QTY.	DESCRIPTION
10	EXISTING TREES
	CRITICAL ROOT ZONE (CRZ)

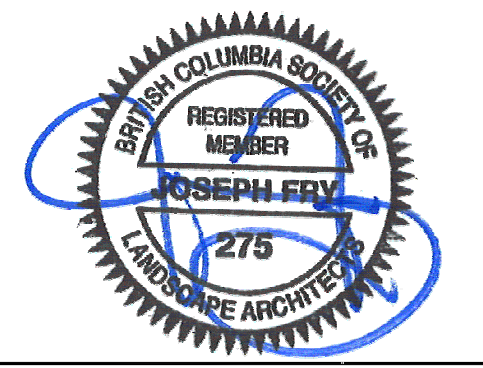
- NOTES**
1. THE TREE SURVEY PLAN REFERENCES THE SURVEY PREPARED BY POLARIS LAND SURVEYING ON 01/27/2020.
 2. NO STORAGE OF BUILDING / CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
 3. ANY PRUNING OF BRANCHES OR ROOTS MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
 4. PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH. REFER TO TREE PROTECTION SPECIFICATIONS.
 5. WHEN REMOVING ASPHALT, PAVING OR OTHER MATERIALS FROM DIRECT CONTACT WITH TREE ROOTS OR PROTECTION ZONES - CONSULT WITH ARBORIST ON SITE.
 6. REFER TO ARBORIST'S INVENTORY/ASSESSMENT REPORT PREPARED BY PROJECT ARBORIST FOR TREE SPECIES AND GENERAL CONDITIONS. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH AN ARBORIST REPORT.

NOTES
FOR TREE INVENTORY AND RELATED NOTES REFER TO L0.02.



3	Issued for Rez. / DP	Sep. 16/24
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No.	Description	Date
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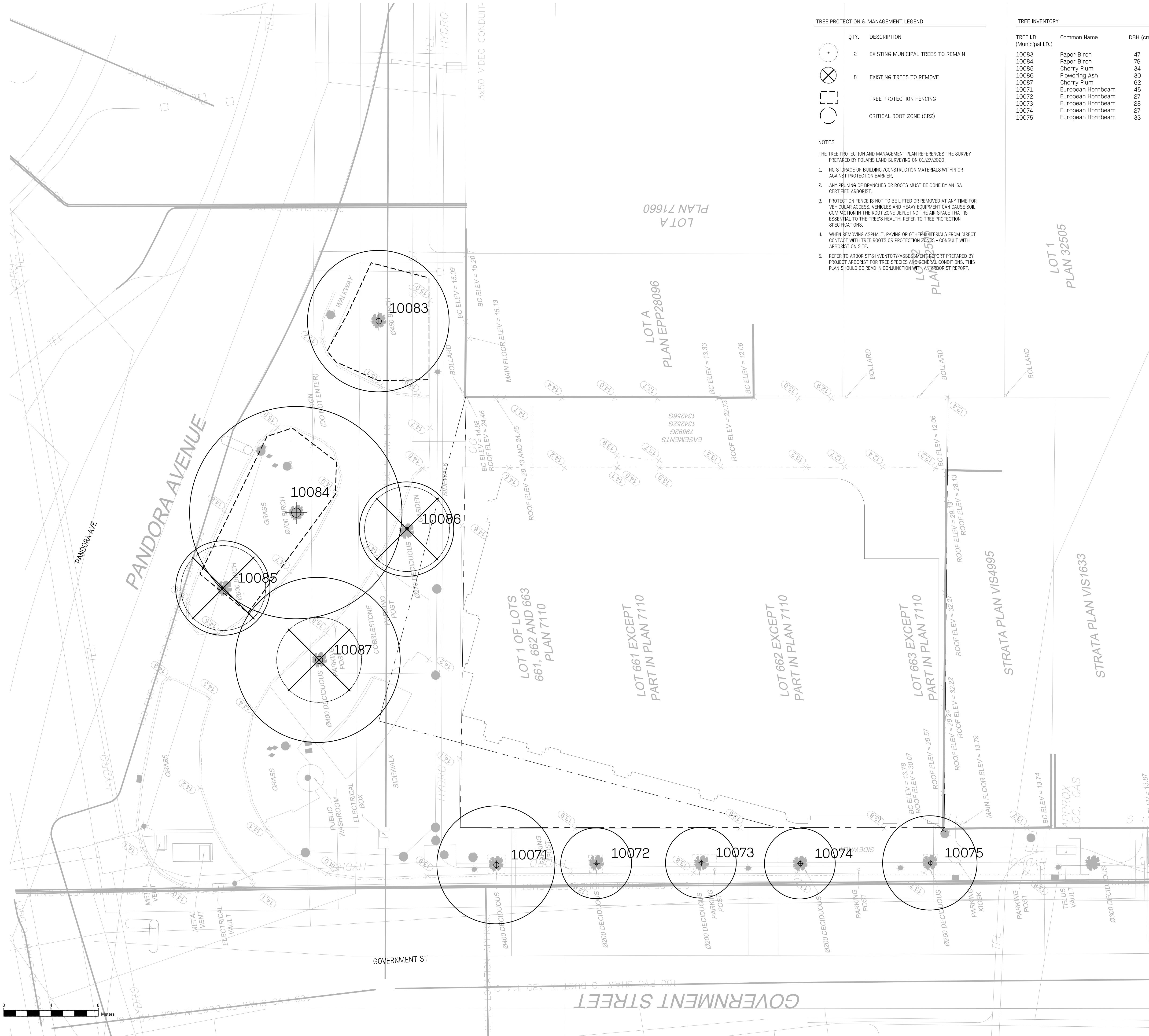
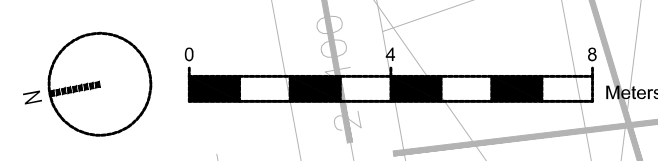


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Plaza Hotel
603 Pandora Ave
Victoria, BC

Tree Survey

Date	Aug. 03/22	Drawing Number
Project No.	2215	L0.01
Scale	1:150	
Drawn/Checked	kk JF	



TREE PROTECTION & MANAGEMENT LEGEND

QTY.	DESCRIPTION
2	EXISTING MUNICIPAL TREES TO REMAIN
8	EXISTING TREES TO REMOVE
	TREE PROTECTION FENCING
	CRITICAL ROOT ZONE (CRZ)

NOTES

THE TREE PROTECTION AND MANAGEMENT PLAN REFERENCES THE SURVEY PREPARED BY POLARIS LAND SURVEYING ON 02/27/2020.

- NO STORAGE OF BUILDING /CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
- ANY PRUNING OF BRANCHES OR ROOTS MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
- PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH. REFER TO TREE PROTECTION SPECIFICATIONS.
- WHEN REMOVING ASPHALT, PAVING OR OTHER MATERIALS FROM DIRECT CONTACT WITH TREE ROOTS OR PROTECTION ZONES - CONSULT WITH ARBORIST ON SITE.
- REFER TO ARBORIST'S INVENTORY/ASSESSMENT REPORT PREPARED BY PROJECT ARBORIST FOR TREE SPECIES AND GENERAL CONDITIONS. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH AN ARBORIST REPORT.

TREE INVENTORY

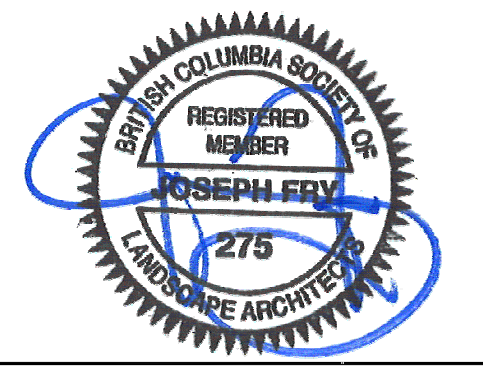
TREE I.D. (Municipal I.D.)	Common Name	DBH (cm)	Crown (m) Spread	CRZ (m)	Structure	Health	Bylaw Status	Recommended Action
10083	Paper Birch	47	15	6	Good	Fair	Municipal	Protect and Retain
10084	Paper Birch	79	18	9	Good	Fair	Municipal	To Be Determined
10085	Cherry Plum	34	9	4	Fair	Fair	Municipal	Remove
10086	Flowering Ash	30	7	4	Good	Good	Municipal	Remove
10087	Cherry Plum	62	7	7	Fair	Poor	Municipal	Remove
10071	European Hornbeam	45	7	5	Good	Good	Municipal	Protect and Retain
10072	European Hornbeam	27	5	3	Good	Good	Municipal	Protect and Retain
10073	European Hornbeam	28	5	3	Good	Good	Municipal	Protect and Retain
10074	European Hornbeam	27	5	3	Good	Good	Municipal	Protect and Retain
10075	European Hornbeam	33	5	4	Good	Good	Municipal	Protect and Retain

HAPA COLLABORATIVE

Landscape Architecture
Urban Design
403 - 375 West Fifth Avenue
Vancouver BC, V5Y 1J6
604 909 4150
hapa@hapa.com

- 3 Issued for Rez. / DP Sep. 16/24
- 2 Issued for Rezoning Mar. 7/24
- 1 Issued for CALUC Jan. 29/24

No.	Description	Date
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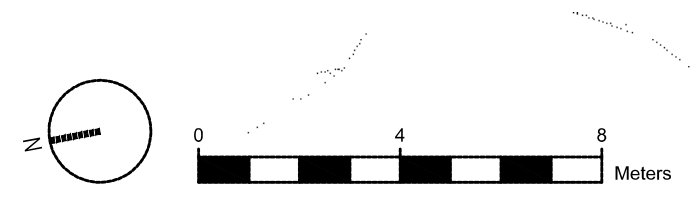


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Plaza Hotel
603 Pandora Ave
Victoria, BC

Tree Management Plan

Date	Aug. 03/22	Drawing Number	
Project No.	2215		
Scale	1:150		L0.02
Drawn/Checked	kk JF		



PANDORA AVE

INNER PLAZA DEFINED BY PERIMETER CIRCULAR BENCHES AND SPECIAL PAVING INTERIOR

GRANITE OUTCROP MISTING FEATURE

PLANTED AREAS WITH LOW PLANTING AND TREES TO PRESERVE SIGHTLINES THROUGH AT EYE LEVEL

SUCCESSIONAL STREET TREES IN PLANTING ALONG GOVERNMENT

GOVERNMENT ST

HAPA COLLABORATIVE

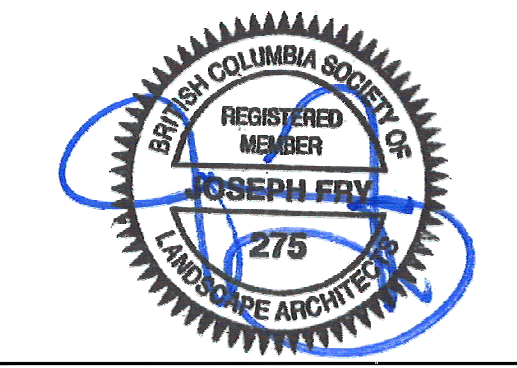
Landscape Architecture
Urban Design

403 - 375 West Fifth Avenue
Vancouver, BC, V6Y 1J6

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No.	Description	Date
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2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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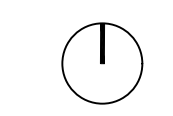


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Plaza Hotel

603 Pandora Ave
Victoria, BC

Concept Plan Ground Level



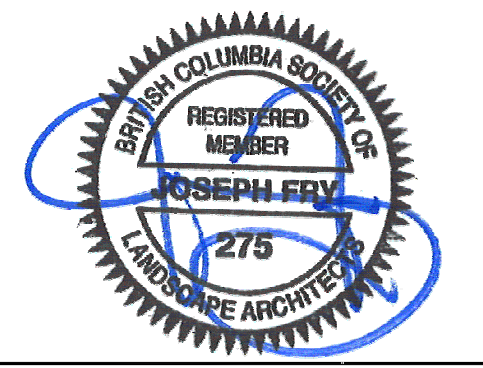
Date	Aug. 03/22	Drawing Number	
Project No.	2215	Scale	L1.01
Drawn/Checked	kk JF		



- MOUNDED SHADE-TOLERANT PLANTING
- (6) SMALL SHADE TOLERANT TREES FOR SCREENING
- DECORATIVE GRAVEL ARC AND BORDER

No.	Description	Date
3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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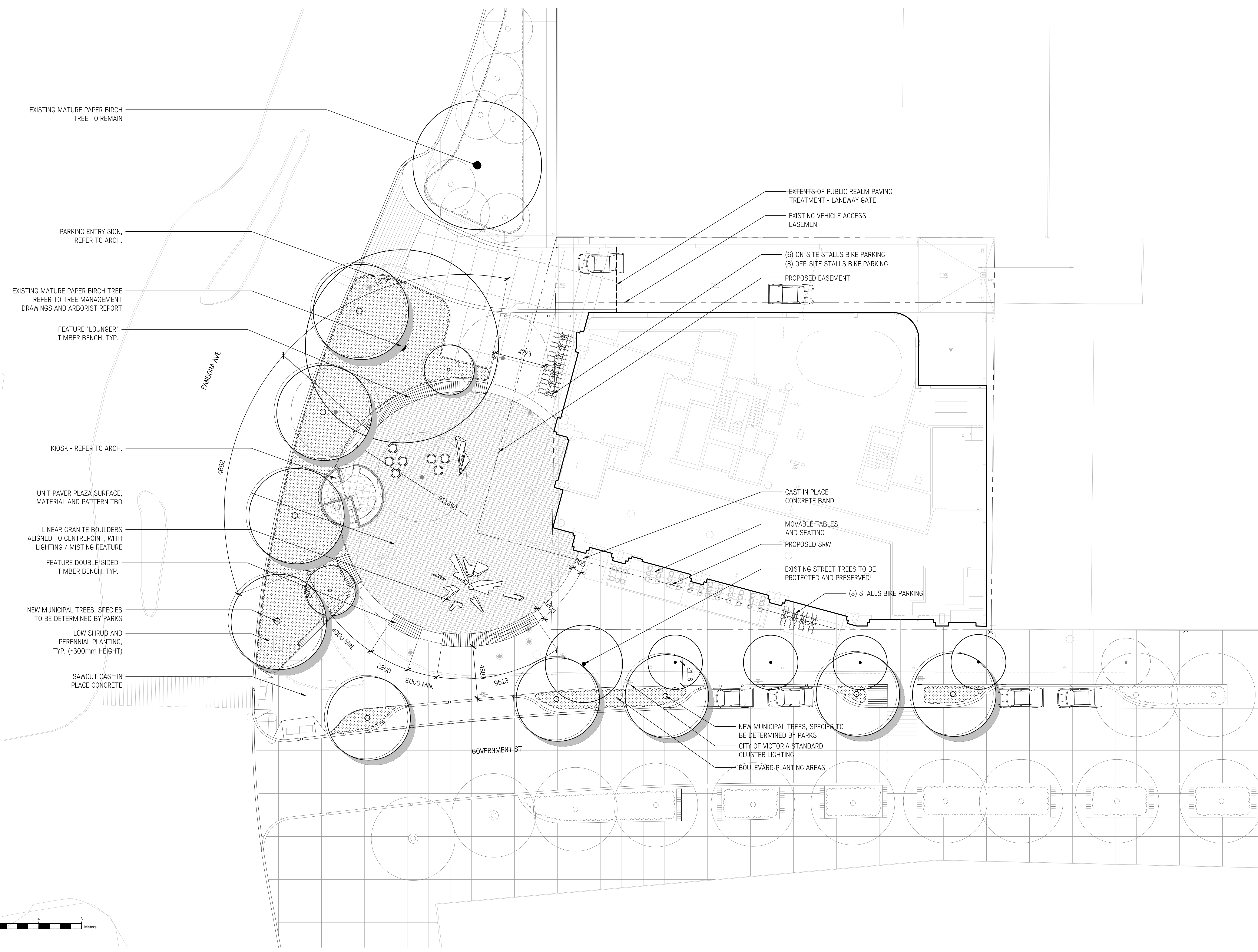
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Plaza Hotel

603 Pandora Ave
 Victoria, BC

**Concept Plan
 Level 3**

Date	Aug. 03/22	Drawing Number
Project No.	2215	L1.02
Scale	1:50	
Drawn/Checked	kk JF	



- EXISTING MATURE PAPER BIRCH TREE TO REMAIN
- PARKING ENTRY SIGN, REFER TO ARCH.
- EXISTING MATURE PAPER BIRCH TREE - REFER TO TREE MANAGEMENT DRAWINGS AND ARBORIST REPORT
- FEATURE 'LOUNGER' TIMBER BENCH, TYP.
- KIOSK - REFER TO ARCH.
- UNIT PAVER PLAZA SURFACE, MATERIAL AND PATTERN TBD
- LINEAR GRANITE BOULDERS ALIGNED TO CENTREPOINT, WITH LIGHTING / MISTING FEATURE
- FEATURE DOUBLE-SIDED TIMBER BENCH, TYP.
- NEW MUNICIPAL TREES, SPECIES TO BE DETERMINED BY PARKS
- LOW SHRUB AND PERENNIAL PLANTING, TYP. (~300mm HEIGHT)
- SAWCUT CAST IN PLACE CONCRETE

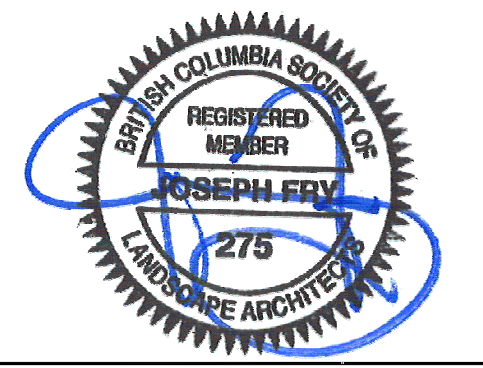
- EXTENTS OF PUBLIC REALM PAVING TREATMENT - LANEWAY GATE
- EXISTING VEHICLE ACCESS EASEMENT
- (6) ON-SITE STALLS BIKE PARKING
(8) OFF-SITE STALLS BIKE PARKING
- PROPOSED EASEMENT

- CAST IN PLACE CONCRETE BAND
- MOVABLE TABLES AND SEATING
- PROPOSED SRW
- EXISTING STREET TREES TO BE PROTECTED AND PRESERVED
- (8) STALLS BIKE PARKING

- NEW MUNICIPAL TREES, SPECIES TO BE DETERMINED BY PARKS
- CITY OF VICTORIA STANDARD CLUSTER LIGHTING
- BOULEVARD PLANTING AREAS

No.	Description	Date
3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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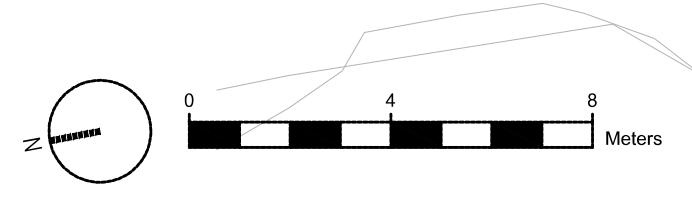


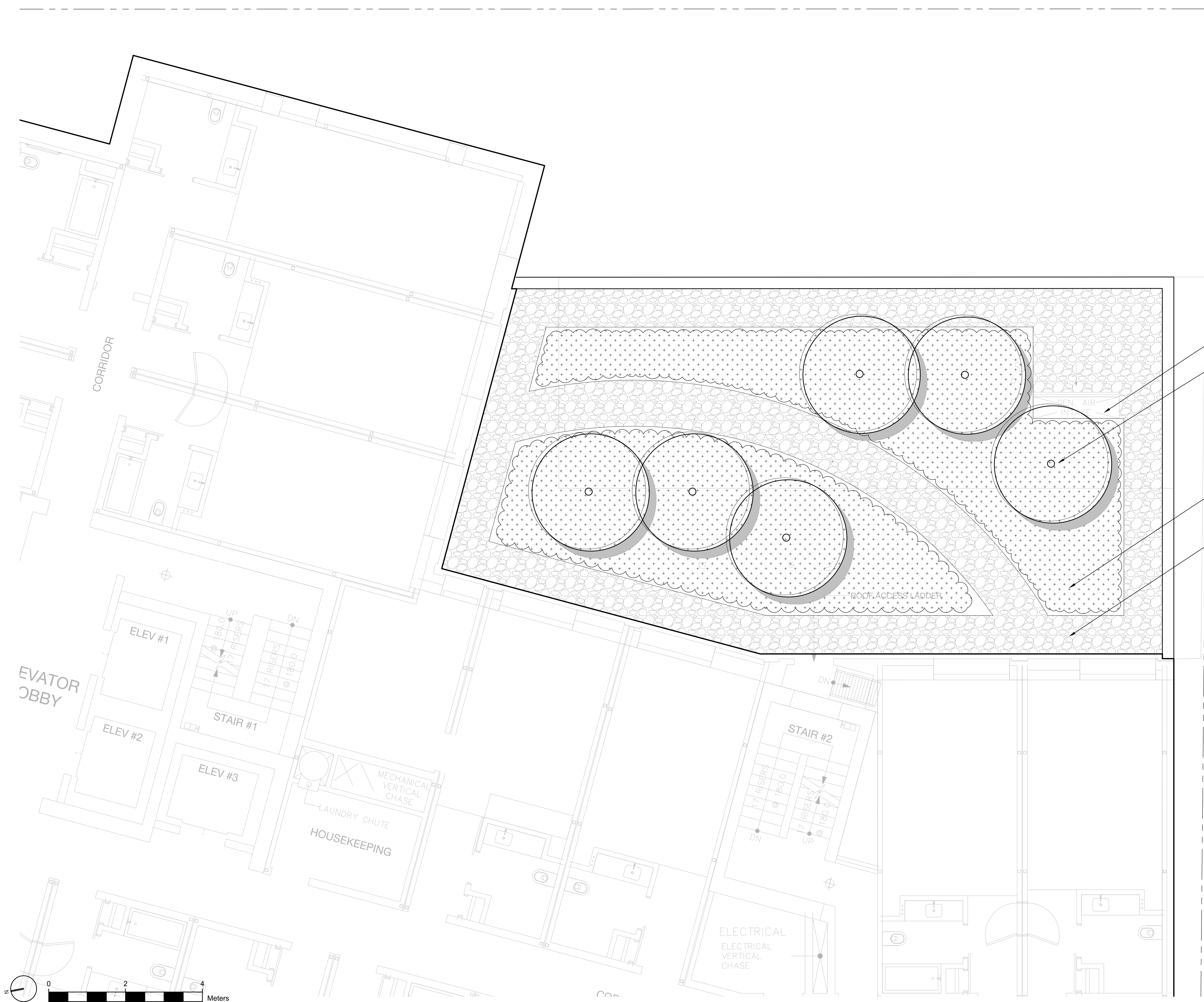
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Plaza Hotel
603 Pandora Ave
Victoria, BC

Landscape Plan

Date	Aug. 03/22	Drawing Number
Project No.	2215	L1.11
Scale	1:150	
Drawn/Checked	kk JF	





AIR INTAKE UNIT, REFER TO MECH.

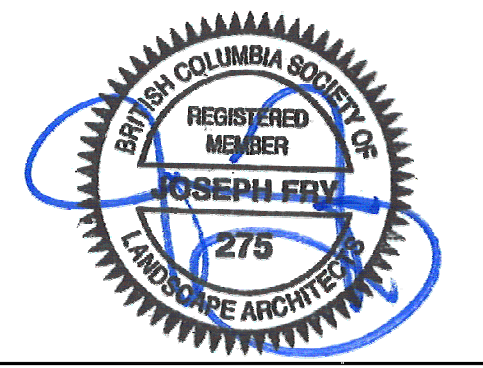
TREES PLANTED ON BERMED MOUNDS TO PROVIDE SUFFICIENT SOIL VOLUME

SHADE-TOLERANT PLANTING

DECORATIVE GRAVEL BORDER AND ARC

3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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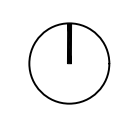


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Plaza Hotel

603 Pandora Ave
Victoria, BC

Landscape Plan



Date	Aug. 03/22	Drawing Number
Project No.	2215	L1.11
Scale	1:50	
Drawn/Checked	kk JF	

Planting Area ID	Area (m2)	Soil Volume Multiplier*	A. Estimated soil volume	Replacement Trees Proposed			Soil Volume Required (m3)			Total	
				B. #Small	C. #Medium	D. #Large	E. Small	F. Medium	G. Large		
Onsite											
Planting Area 1	47	varies	40.22 cu.m.	3			3			18 cu.m.	
Planting Area 2	42	varies	23 cu.m.	3			3			18 cu.m.	
Offsite (excluding City Property)											
Calculation Instructions											
				E	F	G	Total				
				Calculation	If B=1, Bx8 If B>1, Bx6	If C=1, Cx20 If C>1, Cx15	If D=1, Dx35 If D>1, Dx30	36	0	0	96 cu.m.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS	REMARKS	
TREES								
	MA	2	Maackia amurensis / Amur Maackia	6cm cal.	As Shown	B&B, Well Branched, Dense Tree		
	NW	9	Nyssa sylvatica 'Wildfire' / Wildfire Tupelo	6cm cal.	As Shown	B&B, Well Branched, Dense Tree		
SHRUB AREAS								
		52.9 m²	BOULEVARD PLANTING					
	Cb	244	Carex caryophylla 'Beatlemania' / Beatlemania Striped Mop Top Sedge	#1 Pot	30cm			
	Rg	82	Rudbeckia fulgida sullivanii 'Goldsturm' / Goldsturm Coneflower	#2 Pot	45cm			
	Tr2	46	Taxus baccata 'Repandens' / Spreading English Yew	#2 Pot	60cm			
		227 m²	PLAZA PLANTING					
	Bm	262	Buxus microphylla 'Winter Gem' / Winter Gem Boxwood	#2 Pot	30cm			
	Cb	524	Carex caryophylla 'Beatlemania' / Beatlemania Striped Mop Top Sedge	#1 Pot	30cm			
	Hr	262	Helleborus orientalis 'Royal Heritage' / Royal Heritage Lenten Rose	#1 Pot	30cm			
	Lm	262	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#2 Pot	30cm			
	Nt	262	Nassella tenuissima / Mexican Feather Grass	#1 Pot	30cm			
	Pm	116	Polystichum munitum / Western Sword Fern	#3 Pot	45cm			
	Sh	524	Sarcococca hookeriana humilis / Trailing Sweetbox	#2 Pot	30cm			
	Tr	116	Taxus baccata 'Repandens' / Spreading English Yew	#2 Pot	45cm			
		30.6 m²	LOW GROUNDCOVER PERIMETER					
	auu	353	Arctostaphylos uva-ursi / Kinnikinnick	#1 Pot	30cm			

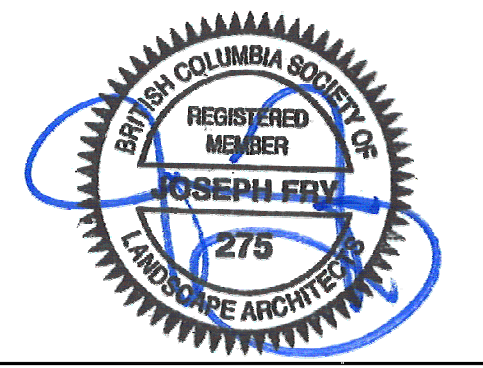


PLANTING NOTES

- ALL PLANT MATERIAL TO CNLA AND BCSLA STANDARDS. REFER TO THE CNLA LANDSCAPE STANDARDS, LATEST EDITION.
- AREA OF SEARCH FOR PLANT MATERIAL: PACIFIC NORTHWEST, INCLUDING BRITISH COLUMBIA, WASHINGTON AND OREGON. FURTHER SEARCH TO BE TAKEN IF NECESSARY.
- REFER TO SPECIFICATION FOR GENERAL CONDITIONS, MATERIALS AND INSTALLATION REQUIREMENTS.
- CONFIRM TREE PLANTING LOCATIONS, AND PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE.
- NO SUBSTITUTIONS OF ANY PLANT MATERIAL WILL BE APPROVED WITHOUT SUBMITTAL REVIEW AND APPROVAL BY THE CLIENT/LANDSCAPE ARCHITECT.
- STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6.0 CM DIAMETER CALIPER MEASURED 15 CM ABOVE GROUND, AND A WELL-BALANCED CROWN WITH BRANCHING STARTING AT 1.8 M - 2.5 M ABOVE GROUND. TREES MUST BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWINGS SD P4 (TREE PLANTING IN BOULEVARD) AND SD P5 (TREE PLANTING IN SIDEWALK WITH TREE GUARD) AND THE CANADIAN LANDSCAPE STANDARD.
- A SOIL TEST FOR THE GROWING MEDIA, FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS TREEPERMITS@VICTORIA.CA FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
- THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICES BYLAW NO. 12-042 AND THE ASSOCIATED SCHEDULES CAN BE FOUND ON THE CITY OF VICTORIA BYLAWS WEBSITE.
- PROVIDE DESIGN BUILD IRRIGATION FOR ALL PLANTER AREAS ONSITE IN COMPLIANCE WITH PROJECT SPECIFICATION, STUBOUT LOCATIONS AS PER MECHANICAL.
- PROVIDE HIGH EFFICIENCY IRRIGATION.
- ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICES BYLAW 12-042, AND

- 3 Issued for Rez. / DP Sep. 16/24
- 2 Issued for Rezoning Mar. 7/24
- 1 Issued for CALUC Jan. 29/24

No.	Description	Date
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Plaza Hotel

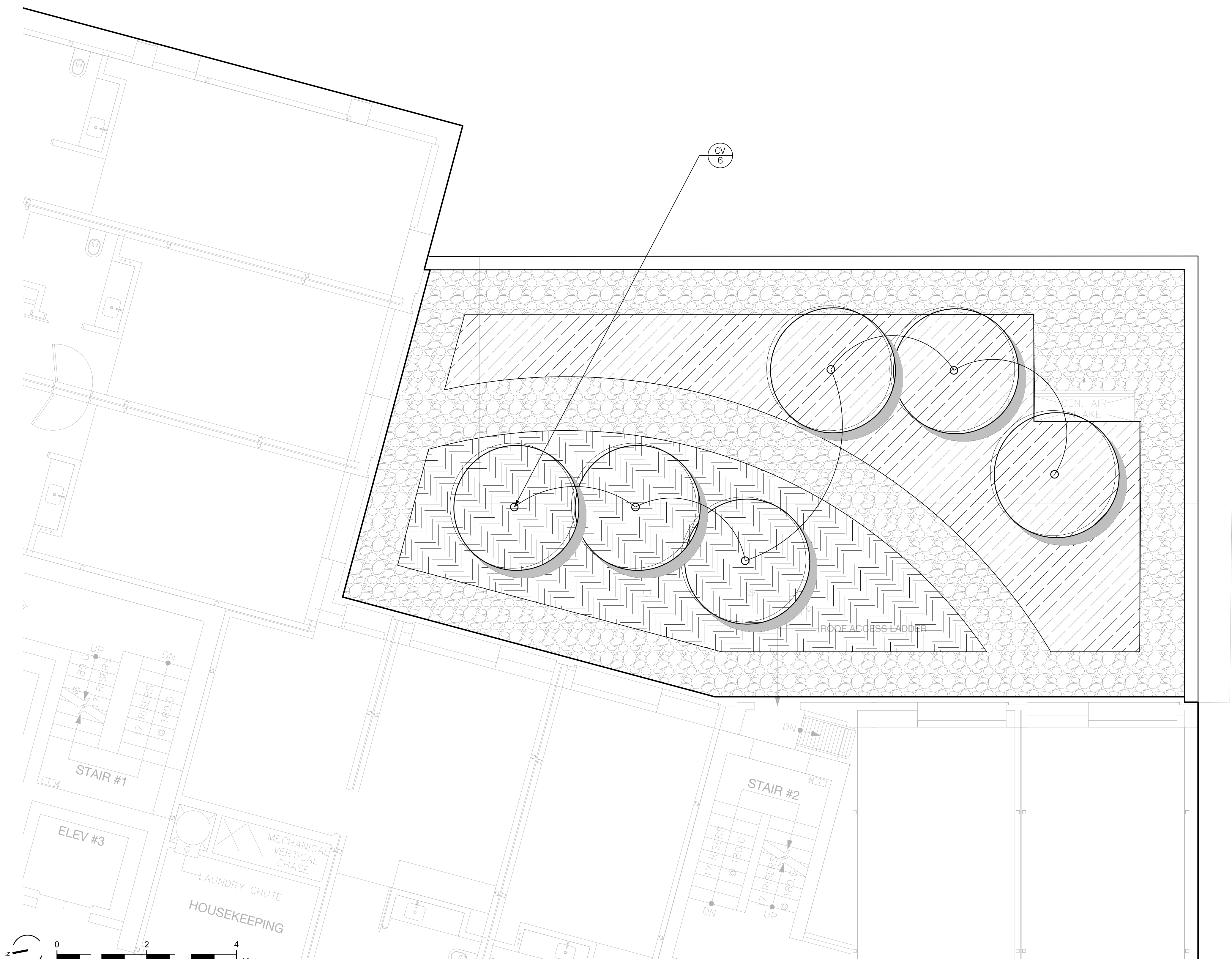
603 Pandora Ave
Victoria, BC

Planting Plan

Date	Aug. 03/22	Drawing Number	
Project No.	2215		
Scale	1:150		L1.41
Drawn/Checked	kk JF		

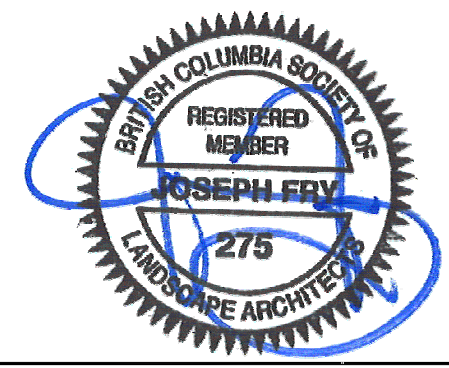
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS	REMARKS
TREES							
	CV	6	Cornus x 'KN30-8' / Venus® Dogwood	6cm cal.	As Shown	B&B, Well Branched, Dense Tree	
SHRUB AREAS							
	Cp	244	Carex pensylvanica / Pennsylvania Sedge	#2 Pot			
	Gs	65	Gaultheria shallon / Salal	#2 Pot			
	St	24	Spiraea betulifolia 'Tor Gold' / Glow Girl® Birchleaf Spirea	#2 Pot			
SHRUB AREAS							
	Hr	55	Helleborus orientalis 'Royal Heritage' / Royal Heritage Lenten Rose	#1 Pot	30cm		
	Md	109	Maianthemum dilatatum / False Lily-of-the-Valley	#2 Pot			
	Pm	73	Polystichum munitum / Western Sword Fern	#3 Pot	45cm		
	Sh	164	Sarcococca hookeriana humilis / Trailing Sweetbox	#2 Pot	30cm		
	Tr	24	Taxus baccata 'Repandens' / Spreading English Yew	#2 Pot	45cm		



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Plaza Hotel
 603 Pandora Ave
 Victoria, BC

Landscape Plan

Date	Aug. 03/22	Drawing Number
Project No.	2215	L1.11
Scale	1:50	
Drawn/Checked	kk JF	



1 View from Pandora and Government
L2.01



2 View North Along Building Face
L2.01



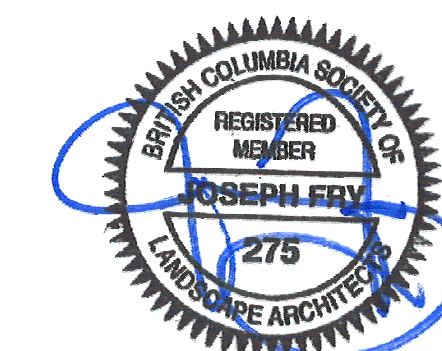
3 View into Plaza from Pandora and Government
L2.01



4 View of Plaza from Hotel Lobby
L2.01

3	Issued for Rez. / DP	Sep. 16/24
2	Issued for Rezoning	Mar. 7/24
1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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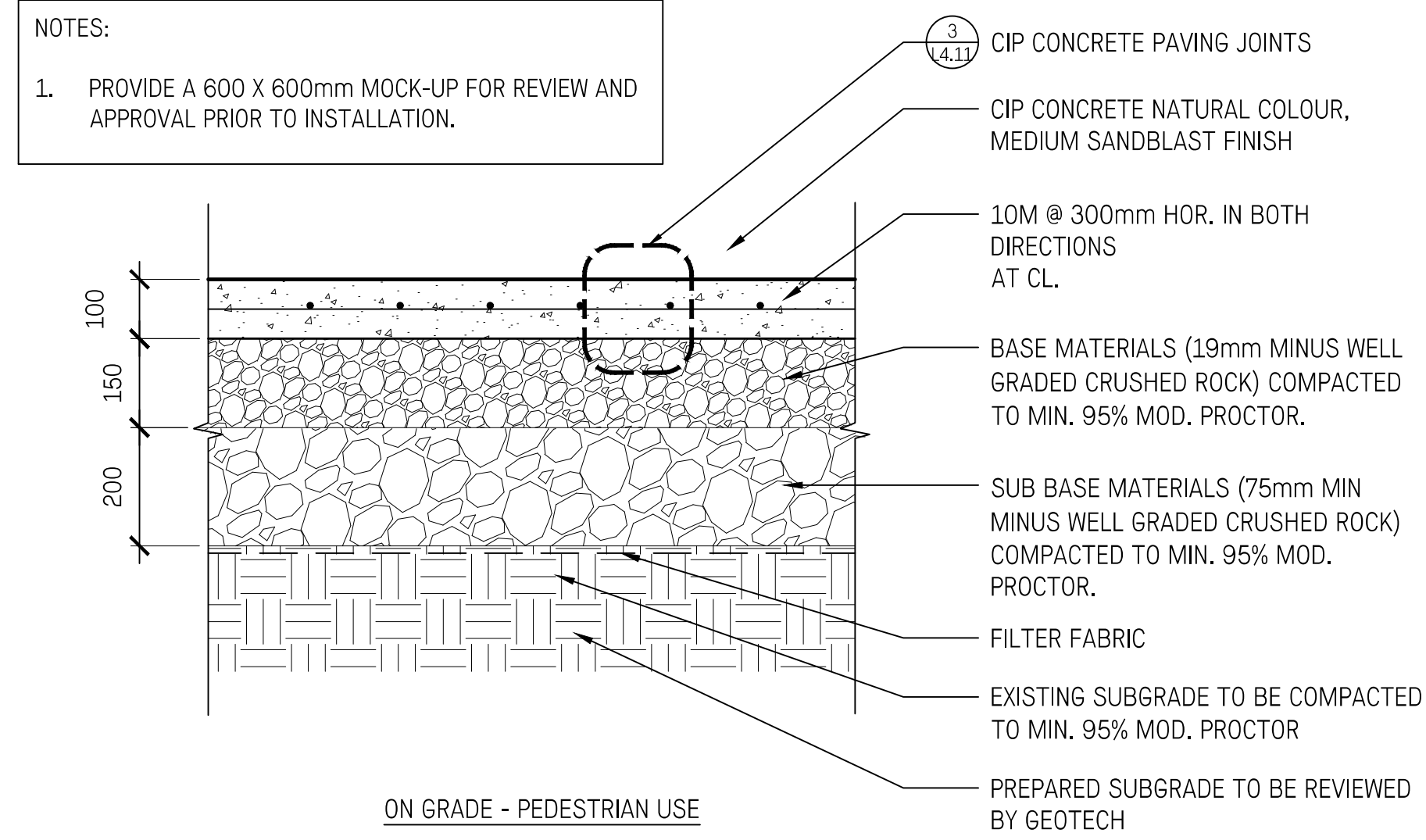
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Plaza Hotel

603 Pandora Ave
Victoria, BC

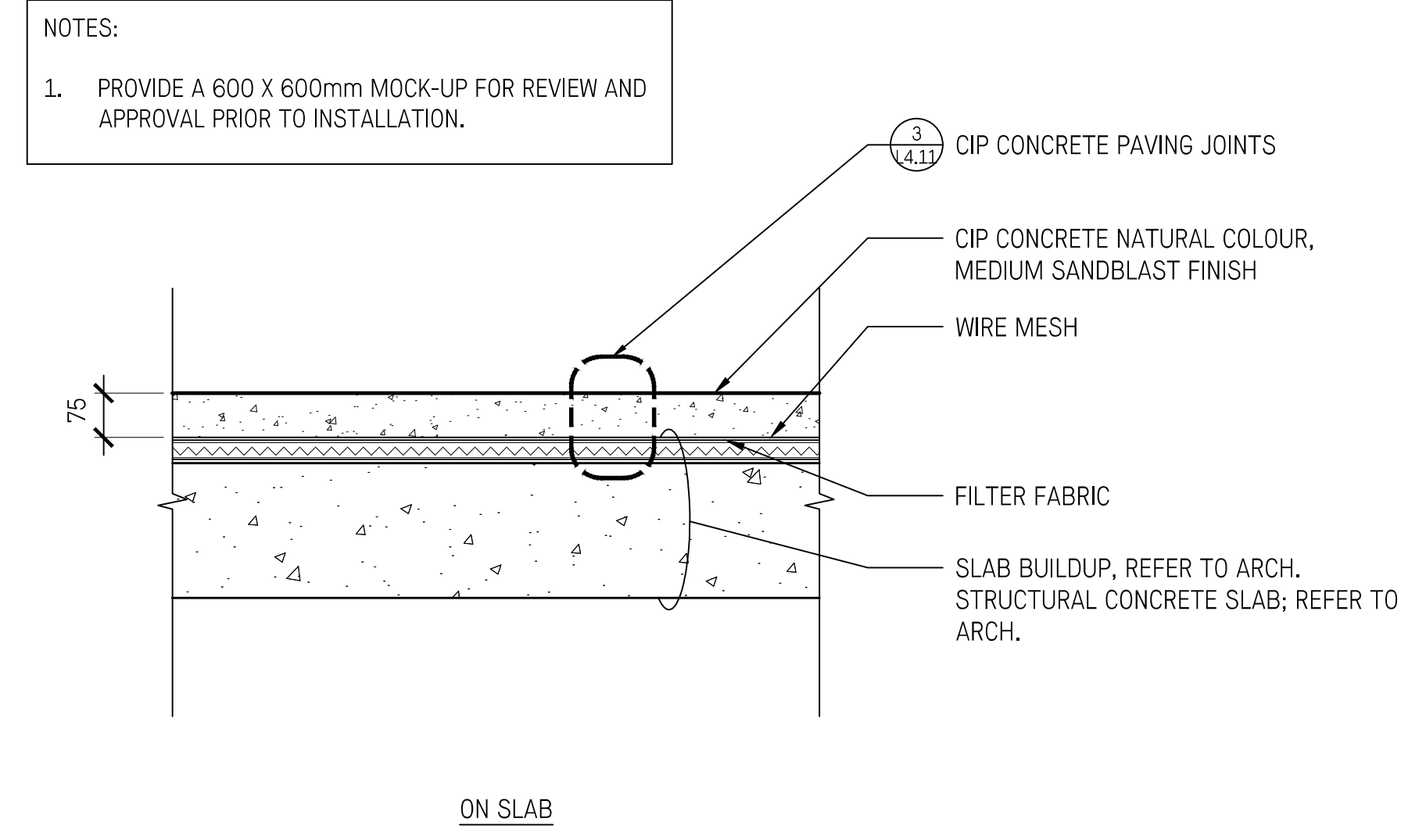
Site Perspectives

Date	Aug. 03/22	Drawing Number
Project No.	2215	L2.01
Scale	1:100	
Drawn/Checked	kk JF	



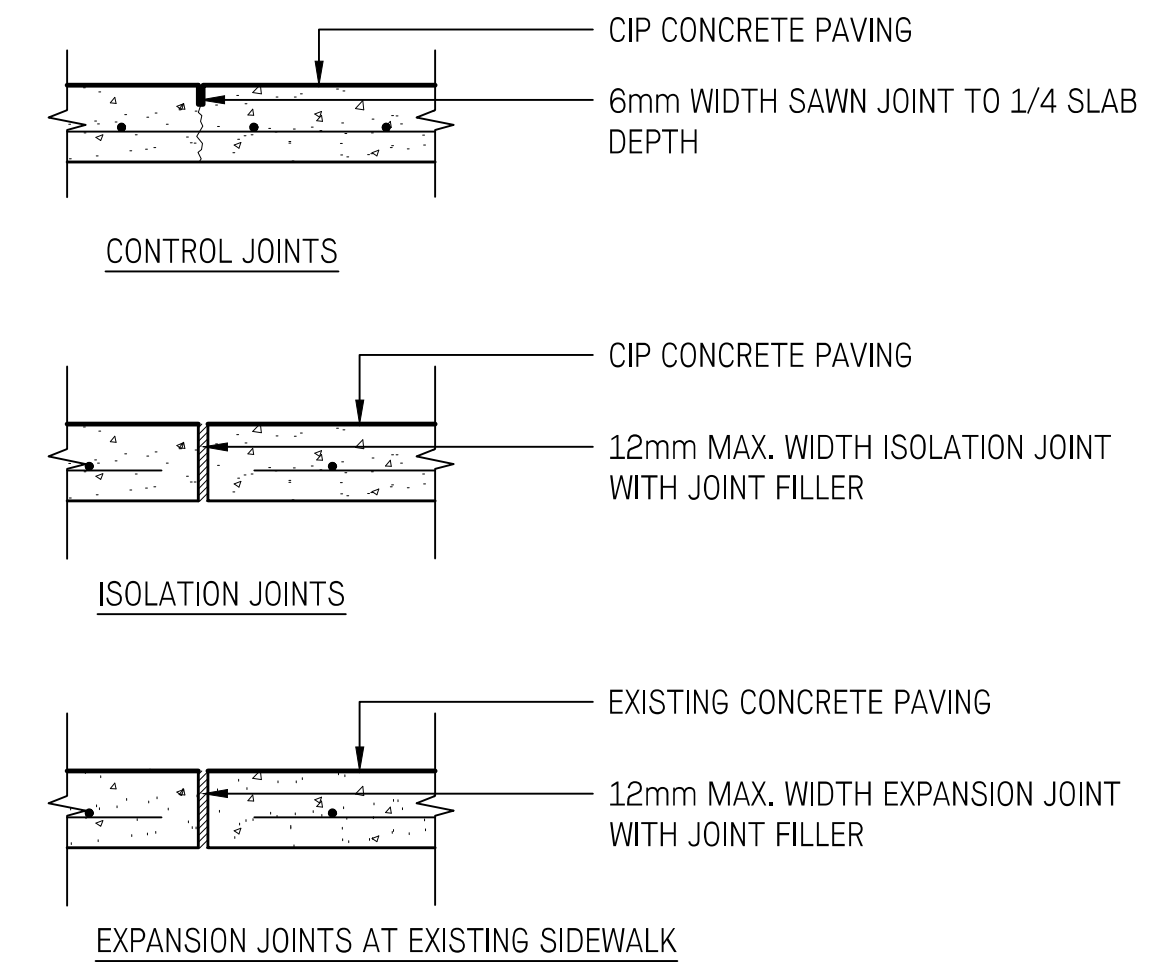
1
4.11

PAVING TYPE A - CIP CONCRETE ON GRADE
1:10



2
4.11

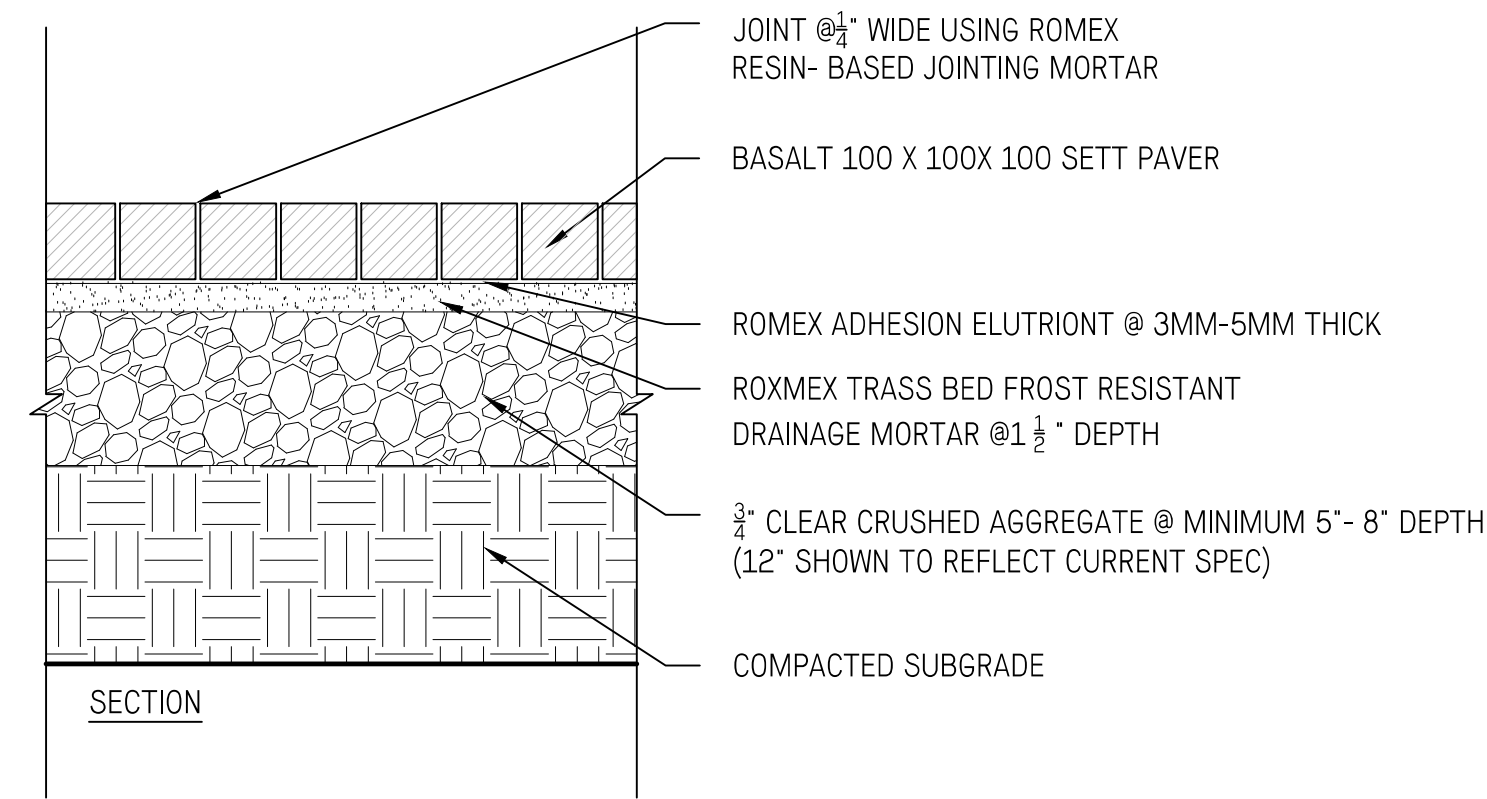
PAVING TYPE B - CIP CONCRETE ON SLAB
1:10



3
4.11

CIP CONCRETE PAVING JOINTS
1:10

- NOTES:
1. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH;
 2. CUT JOINTS BEFORE RANDOM CRACKING OCCURS;
 3. C-2 SAWCUT CONTROL JOINTS WITHIN 18 HOURS OF FINISHING SLABS REFER TO LAYOUT PLAN.
 4. PROVIDE ISOLATION JOINTS: AS SHOWN ON PLAN; BETWEEN POURS; AT CHANGE IN MATERIALS; AT EDGES ABUTTING STRUCTURES AND OTHER FIXED ELEMENTS; AT MAX. 6.0m O.C.
 5. ENSURE CLEAN CUT EDGE OF EXISTING PAVING ALONG PROPERTY LINE.

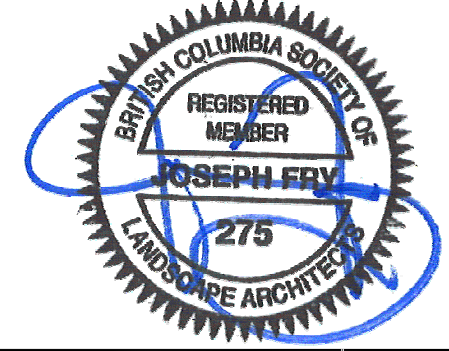


4
4.11

PERMEABLE STONE PAVER
1:10

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1	Issued for CALUC	Jan. 29/24

No.	Description	Date
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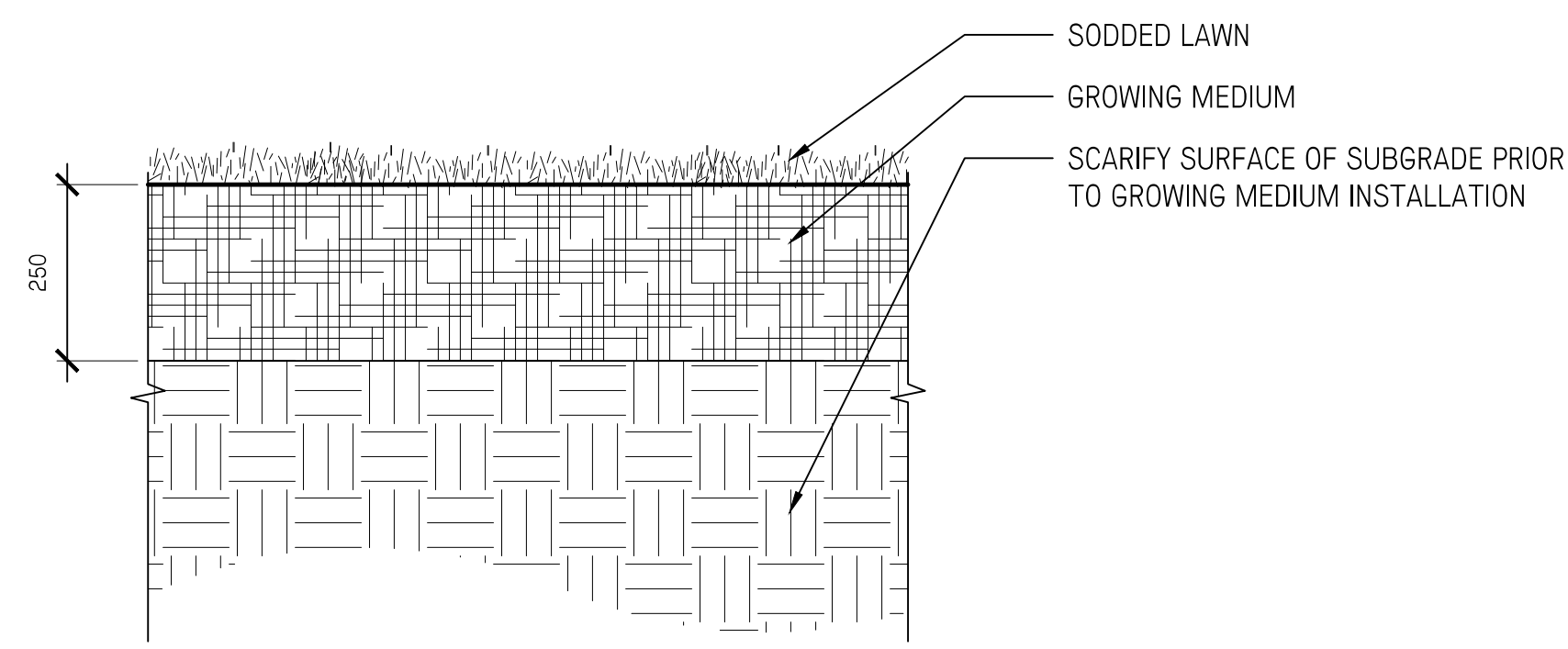
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Plaza Hotel

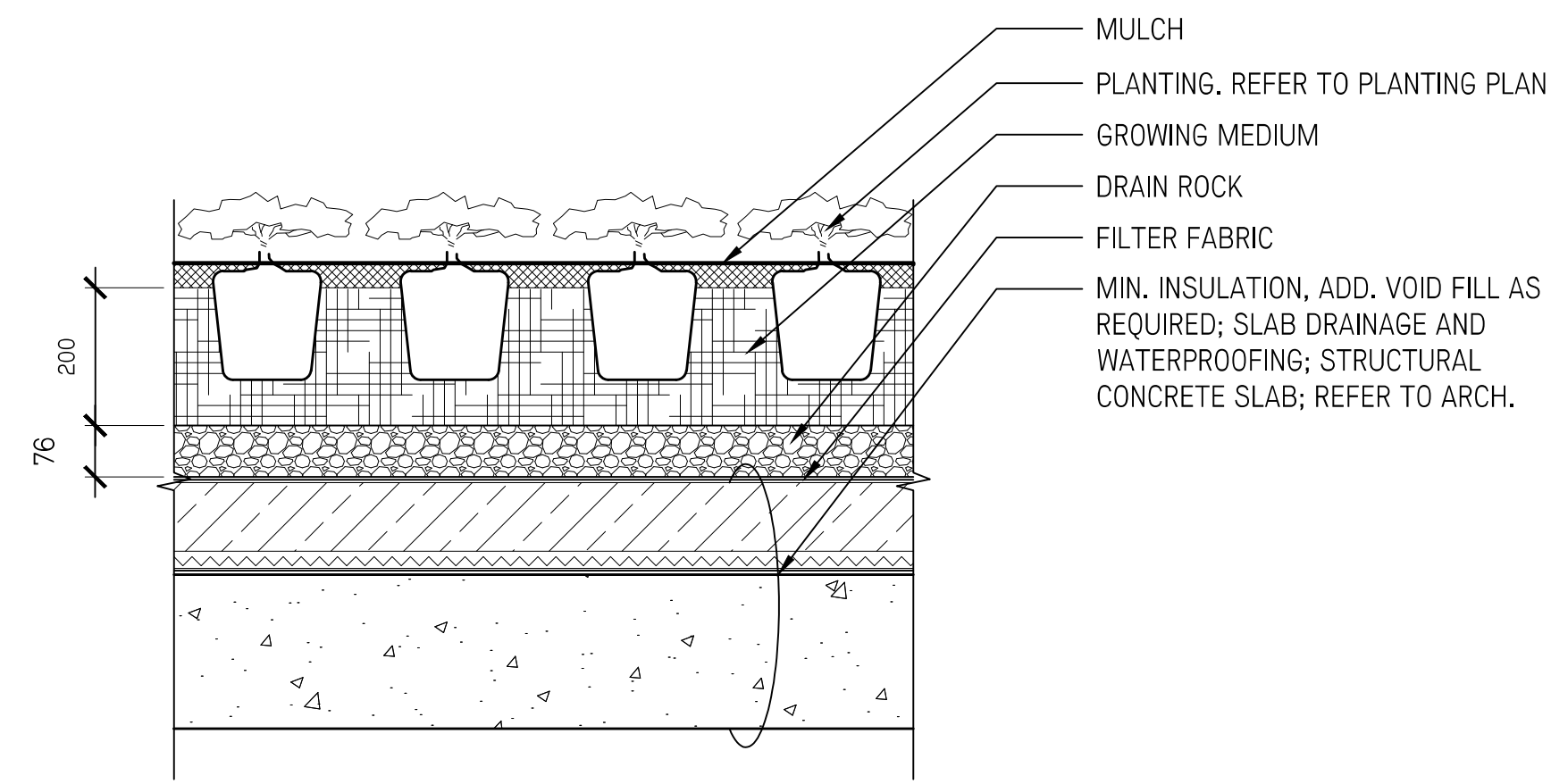
603 Pandora Ave
Victoria, BC

**Landscape Details
Paving**

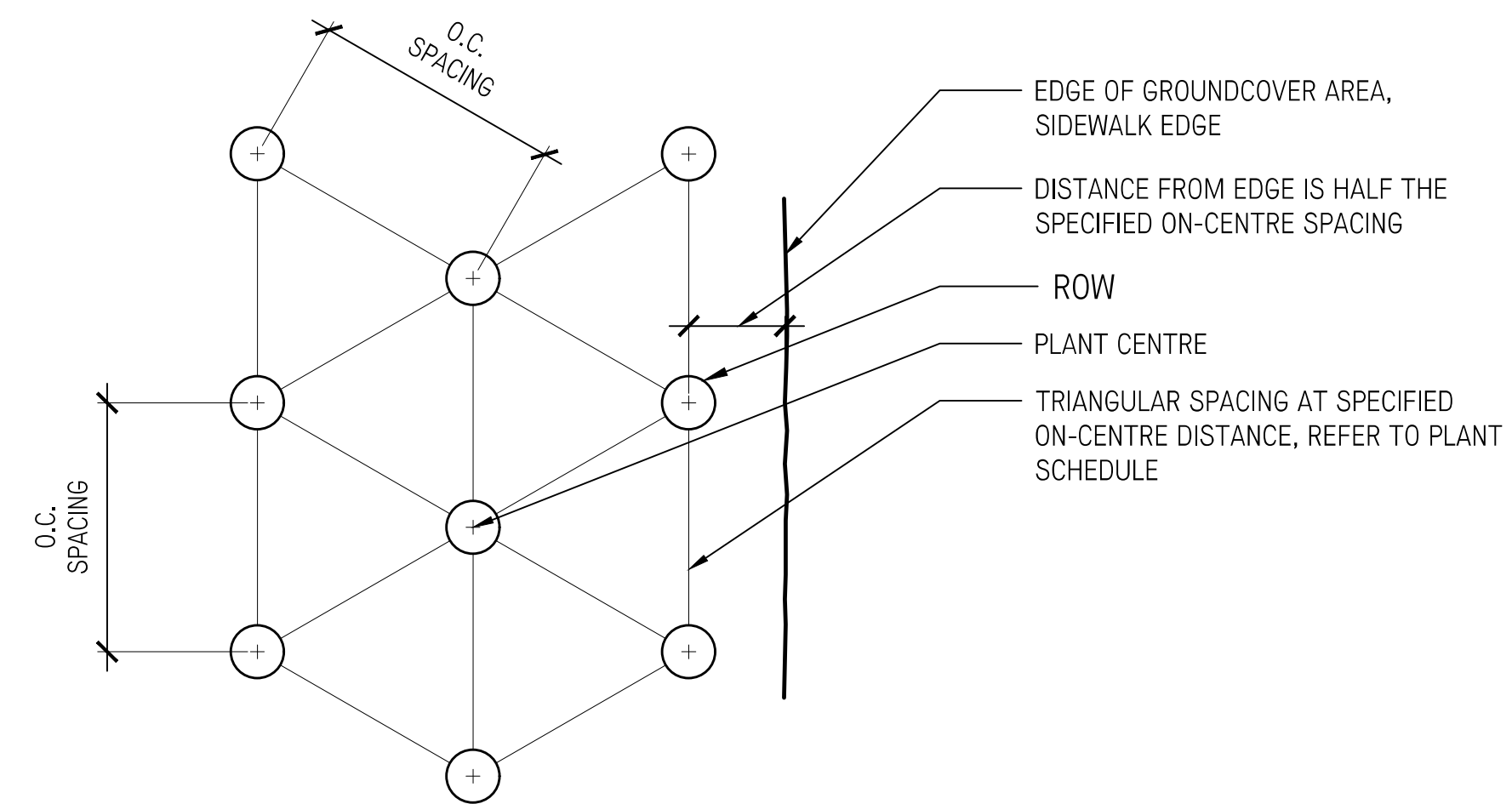
Date	Aug. 03/22	Drawing Number
Project No.	2215	L4.11
Scale	1:100	
Drawn/Checked	kk JF	



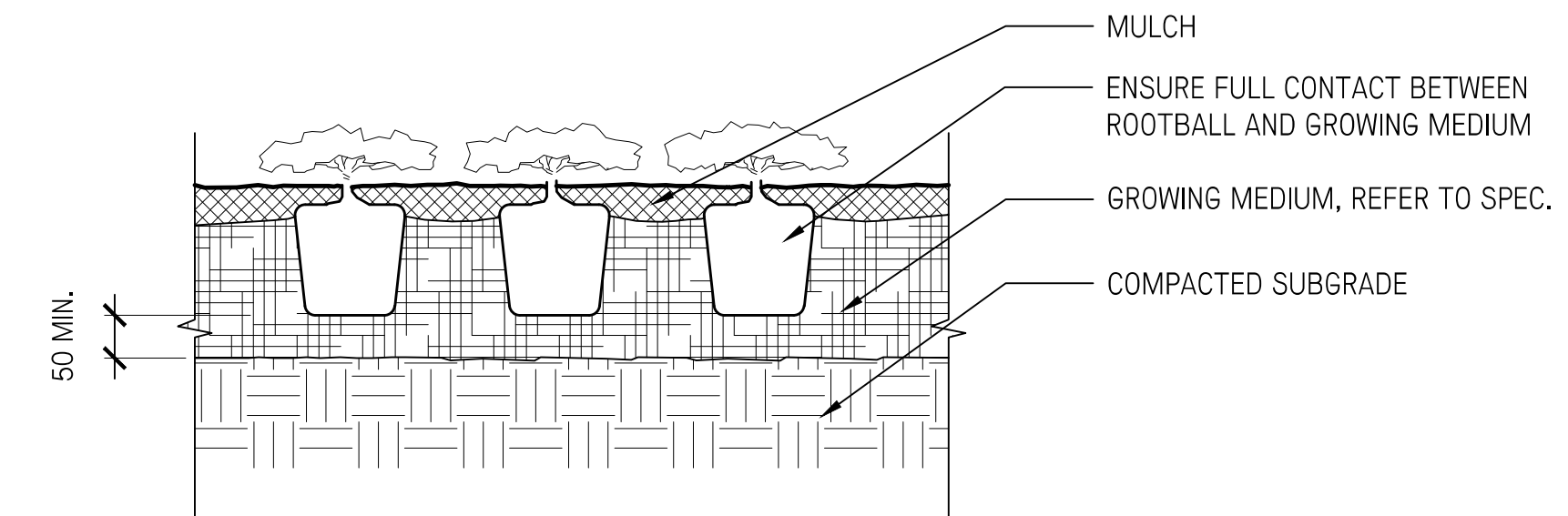
LAWN PLANTING



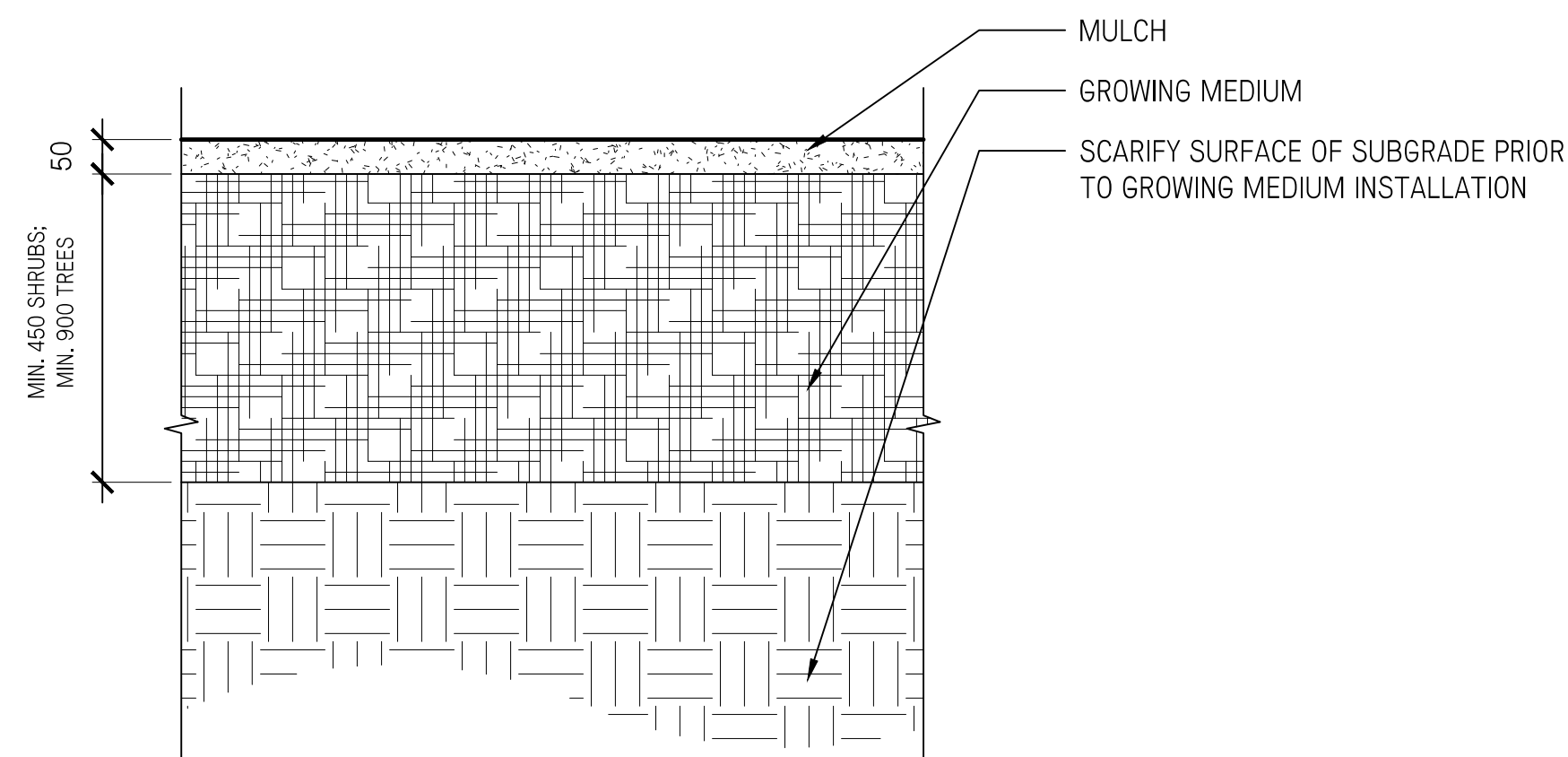
SHRUB PLANTING



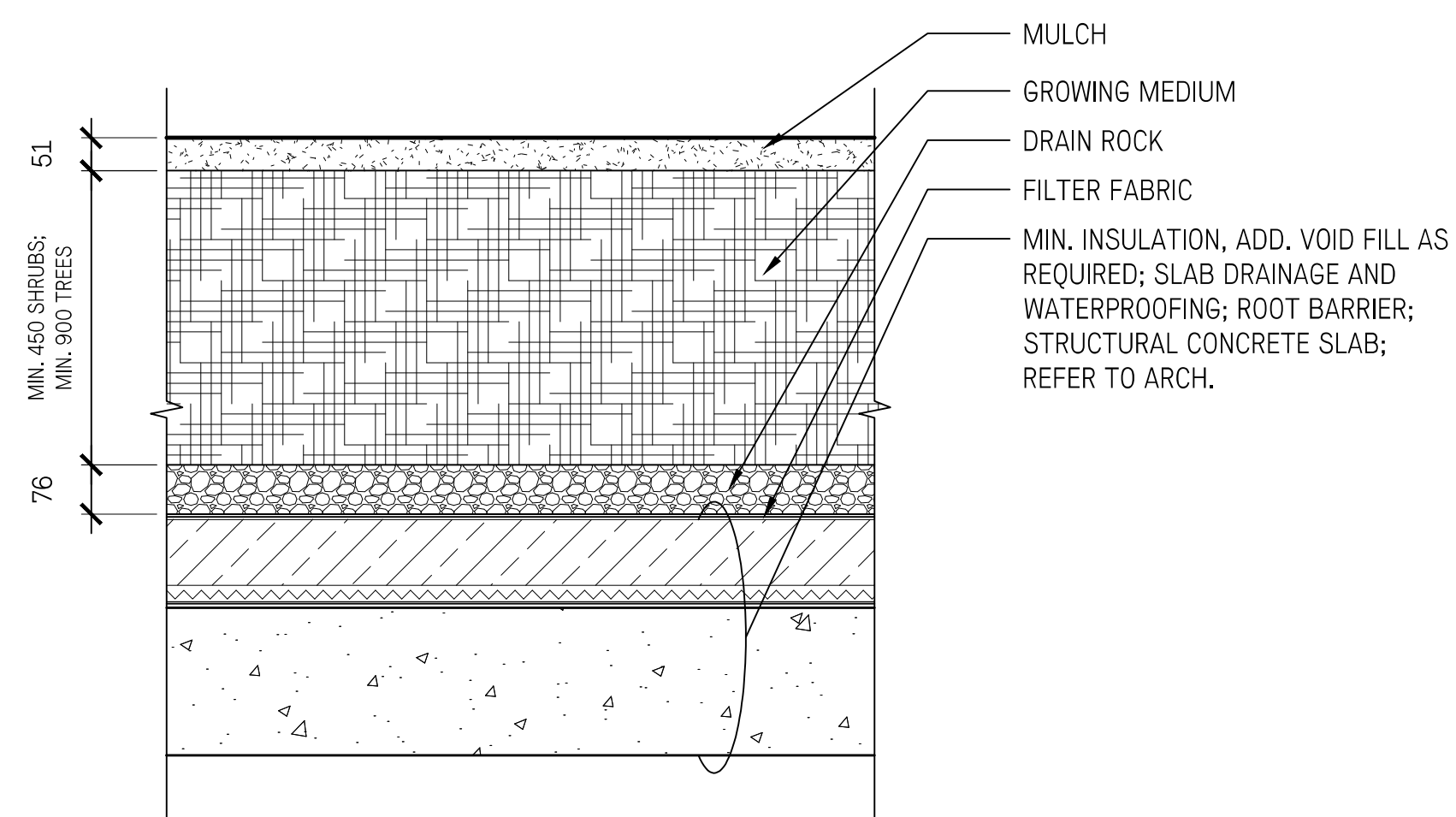
SPACING PLAN



GROUND COVER PLANTING



SHRUB/TREE PLANTING

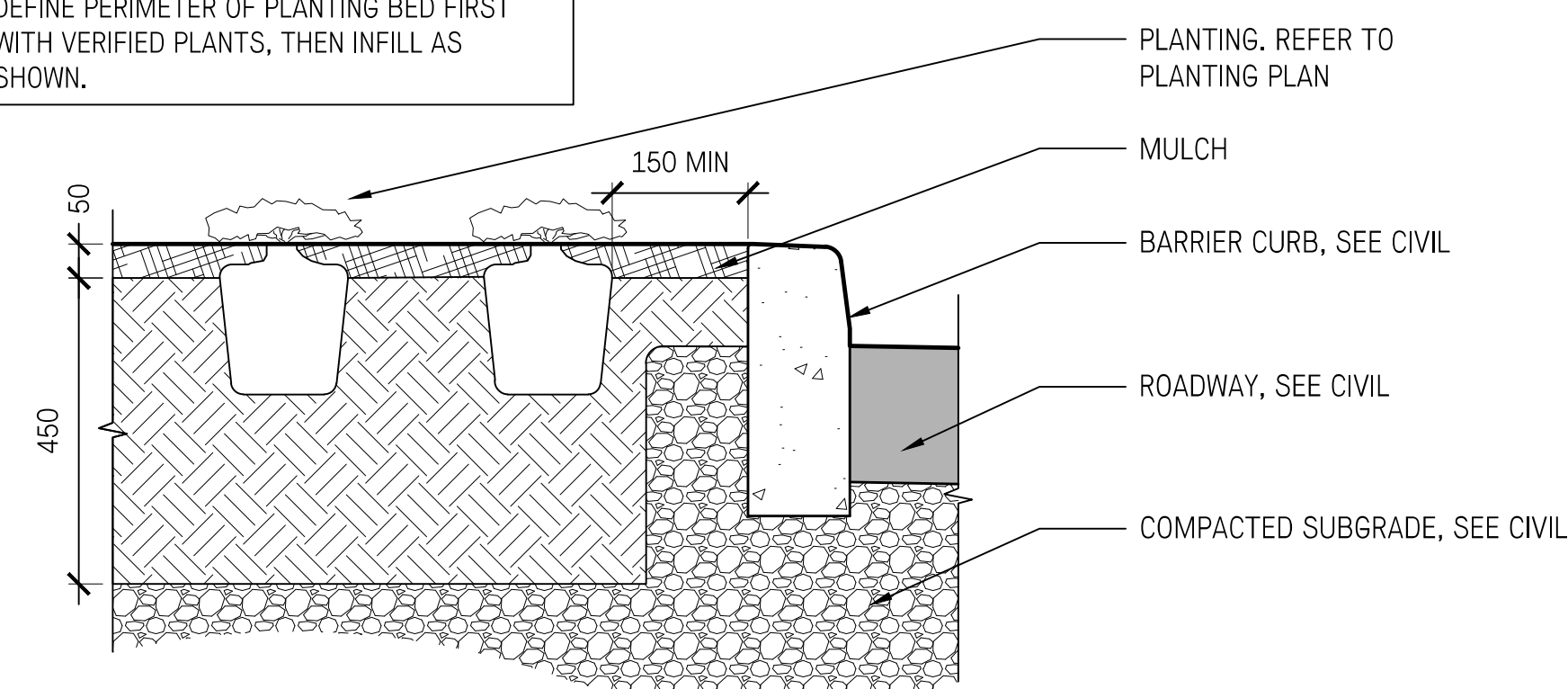


SHRUB/TREE PLANTING

1 SOIL PROFILES ON GRADE
L4.41 1:10

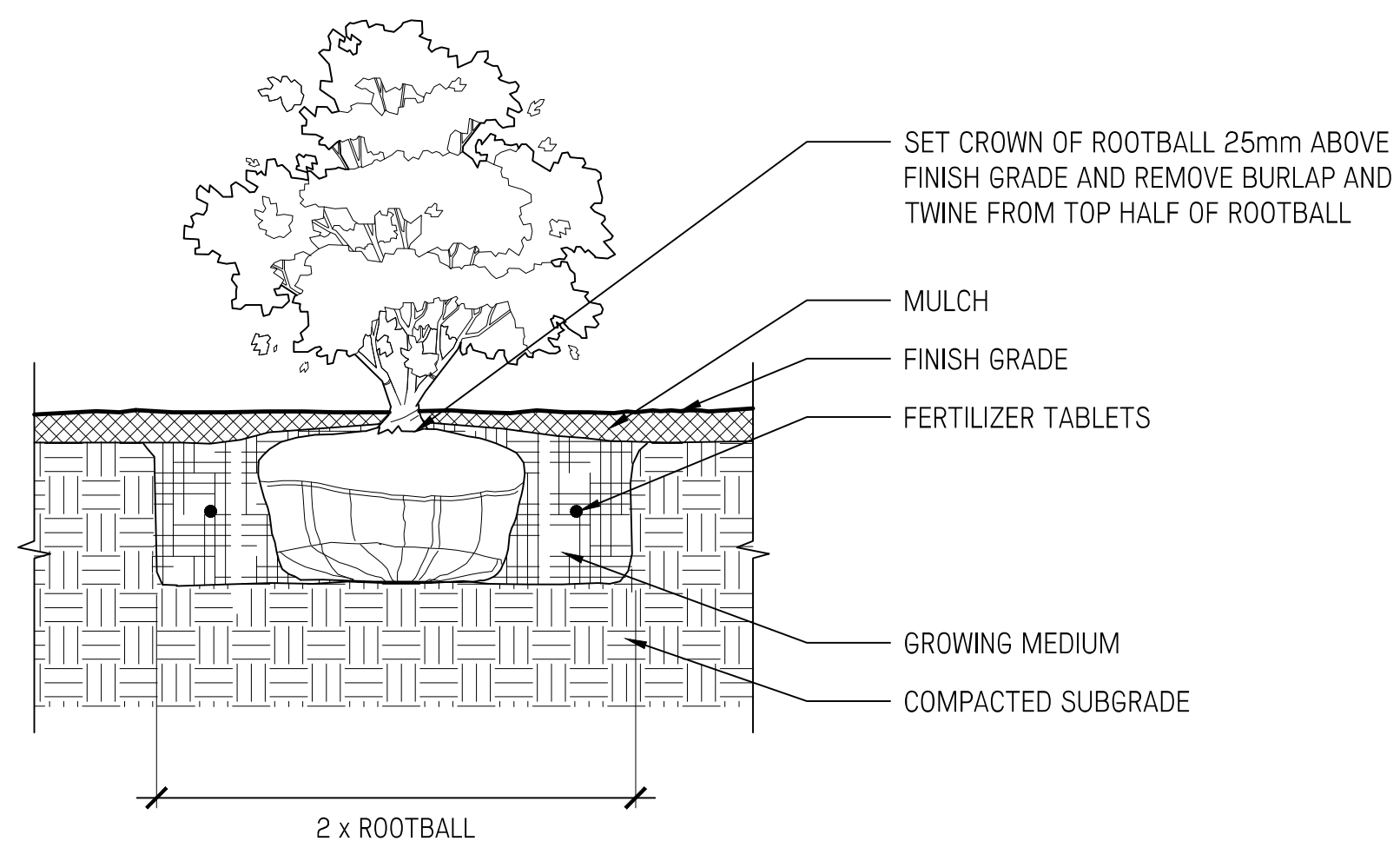
2 SOIL PROFILES ON SLAB
L4.41 1:10

- NOTES:
1. PROVIDE A MINIMUM 150 mm GAP BETWEEN PLANTING AND EDGE OF CURB;
 2. DEFINE PERIMETER OF PLANTING BED FIRST WITH VERIFIED PLANTS, THEN INFILL AS SHOWN.



GROUND COVER/SHRUB PLANTING SECTION NEXT TO CURB

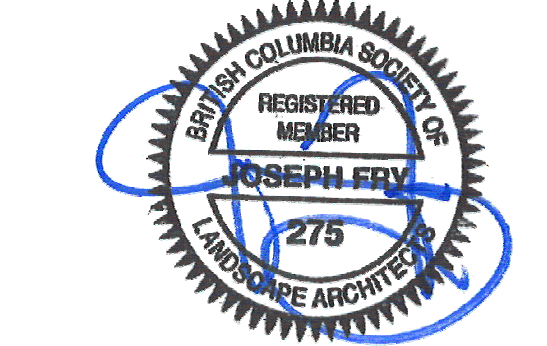
4 SHRUB PLANTING NEXT TO CURB
L4.41 1:10



5 SHRUB PLANTING
L4.41 1:10

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No.	Description	Date
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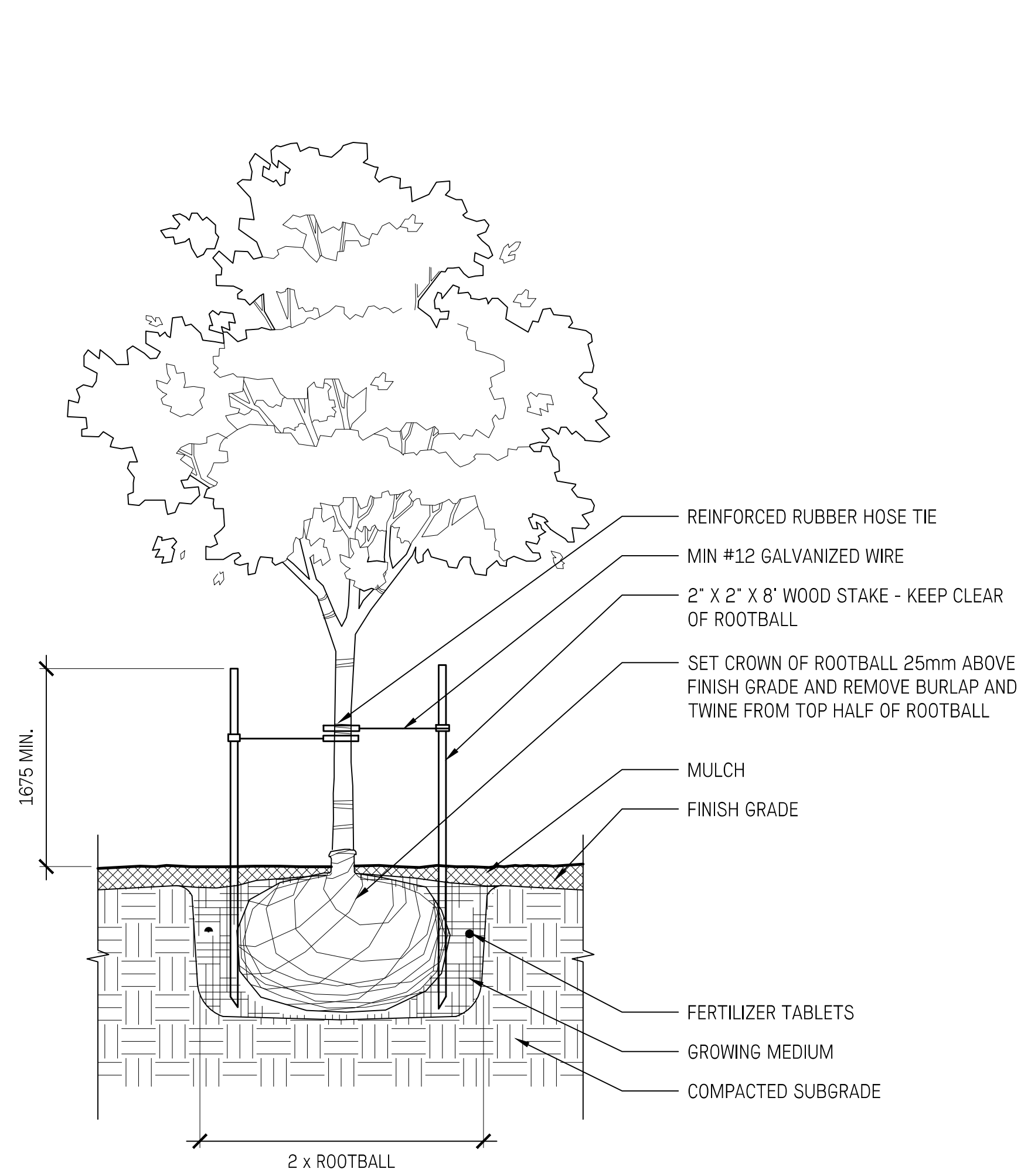
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Plaza Hotel

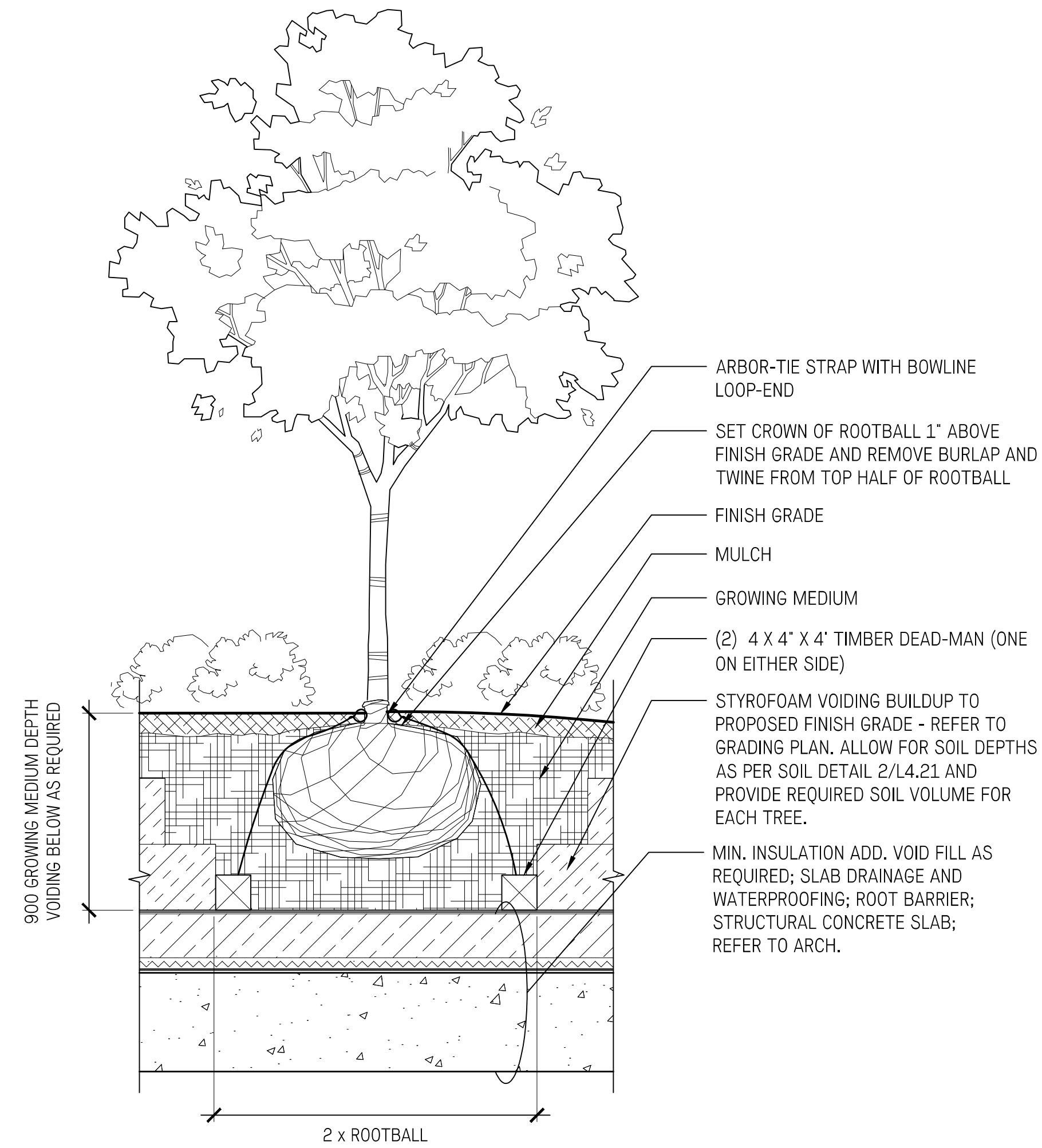
603 Pandora Ave
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**Landscape Details
Planting**

Date	Aug. 03/22	Drawing Number
Project No.	2215	L4.41
Scale	1:100	
Drawn/Checked	kk JF	

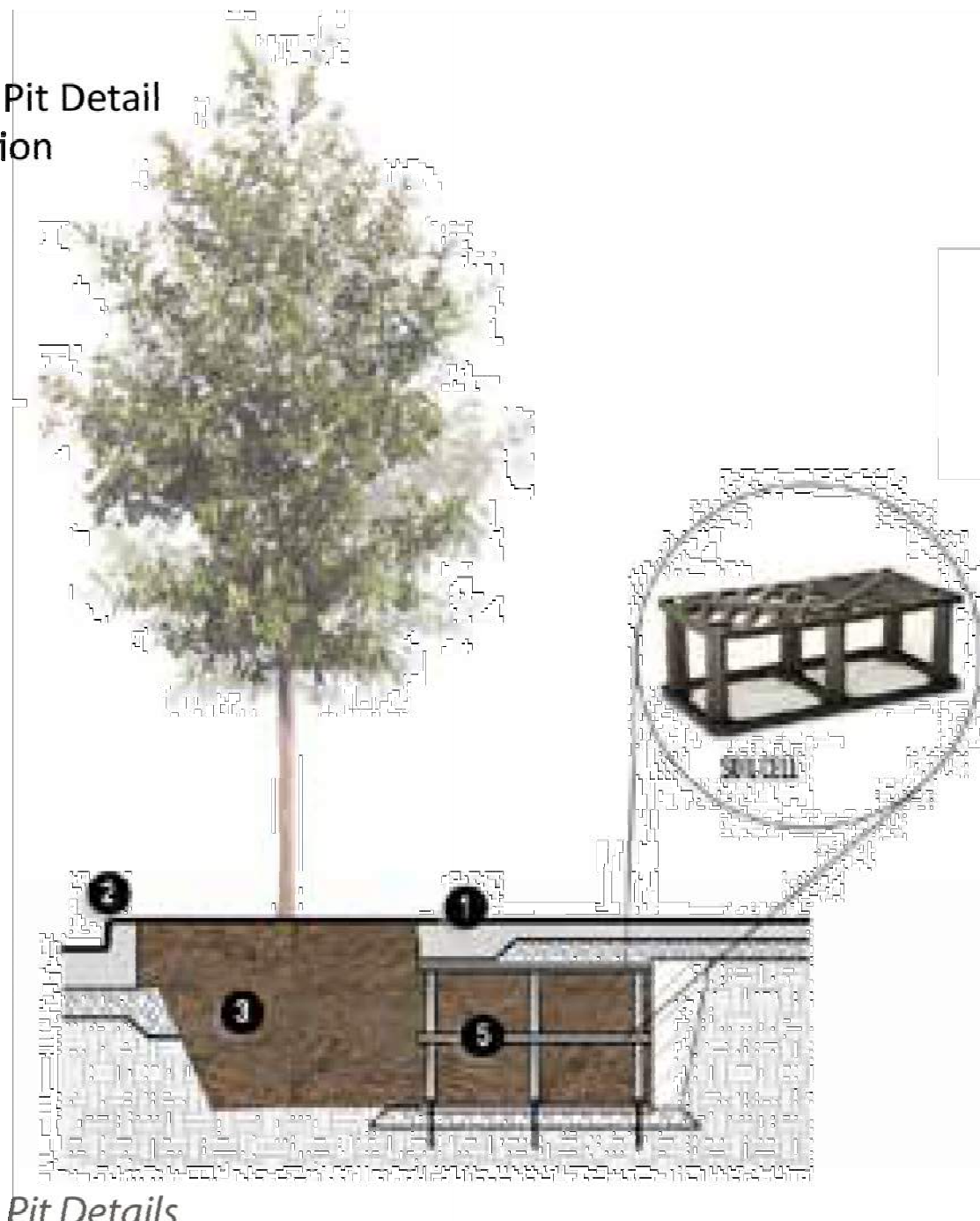


1 TREE PLANTING
L4.22 1:10

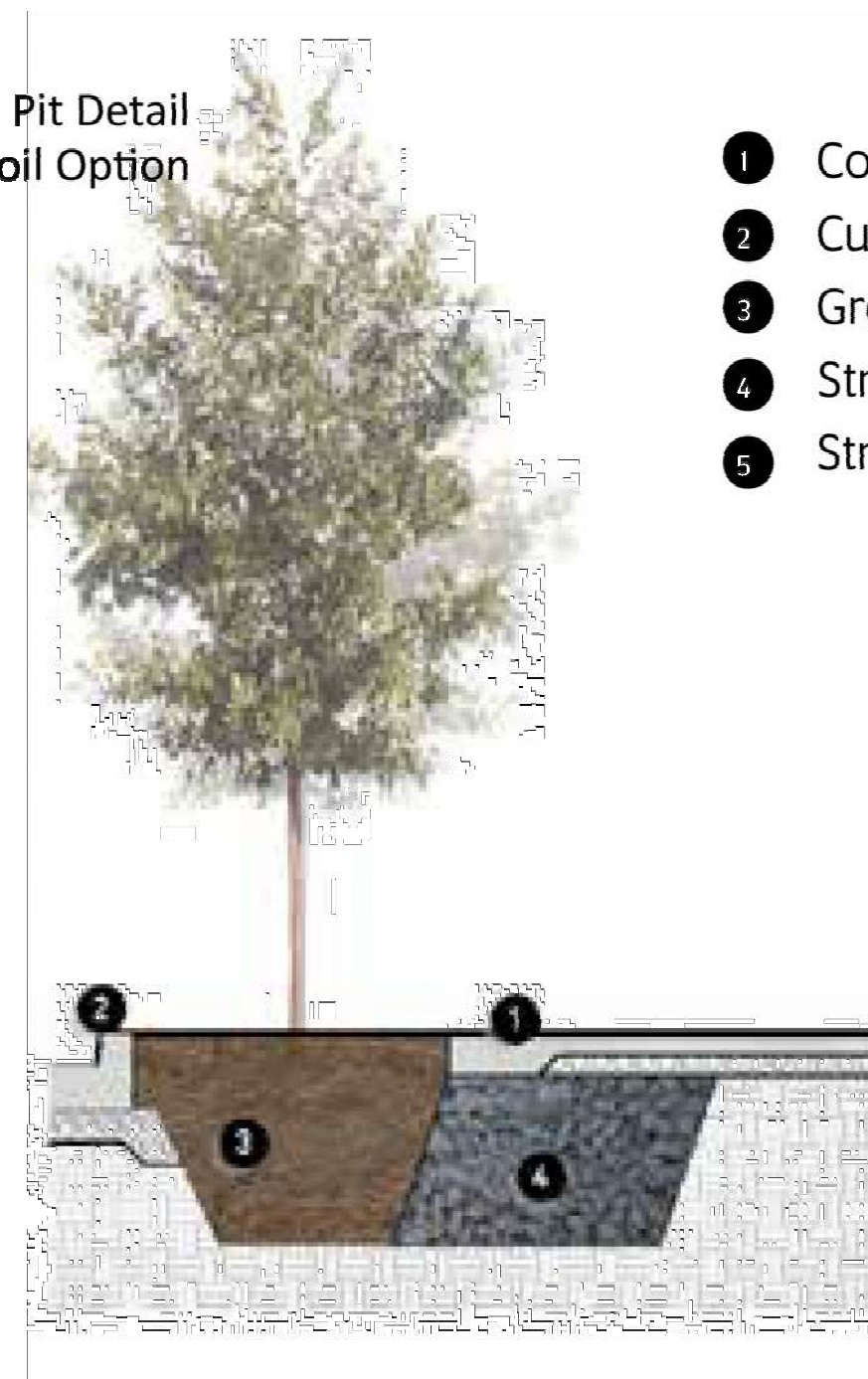


2 TREE PLANTING - ON SLAB
L4.42 1:10

Typical Tree Pit Detail
Soil Cell Option



Typical Tree Pit Detail
Structural Soil Option



- 1 Concrete Sidewalk
- 2 Curb and Gutter
- 3 Growing Medium
- 4 Structural Growing Medium
- 5 Structural Soil Cell

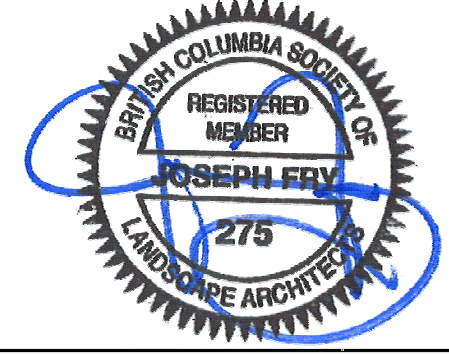
Note: refer to the Urban Forest Master Plan for details

Fig. 12 Tree Pit Details

2 CITY OF VICTORIA TREE PIT DETAILS
L4.22 1:10

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Plaza Hotel

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**Landscape Details
Planting**

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