



LOCATION - CONTEXT PLAN  
SCALE = 1 : 175

**PROJECT ADDRESS**

1244 Wharf Street, Victoria, BC

**LEGAL DESCRIPTION**

Lot A, Lot 201 Victoria District, Plan VIP86556  
PID 027-882-853

**OWNER**

**Salient (1244 Wharf) Limited Partnership**  
225-209 Carrall Street  
Vancouver, BC  
V6B 2J2

Contact:  
Robert Fung  
rfung@thesalientgroup.com

**ARCHITECT**

**Cascadia Architects Inc.**  
101-804 Broughton Street  
Victoria, BC  
V8W 1E4  
250.590.3223

Contact:  
Gregory Damant, Principal, AIBC Architect,  
LEED AP  
greg@cascadiaarchitects.ca

**CIVIL ENGINEER**

**Big Fish Endeavors**  
Port Renfrew Chamber of Commerce  
Port Renfrew, BC  
V0S 1K0  
250.888.0385

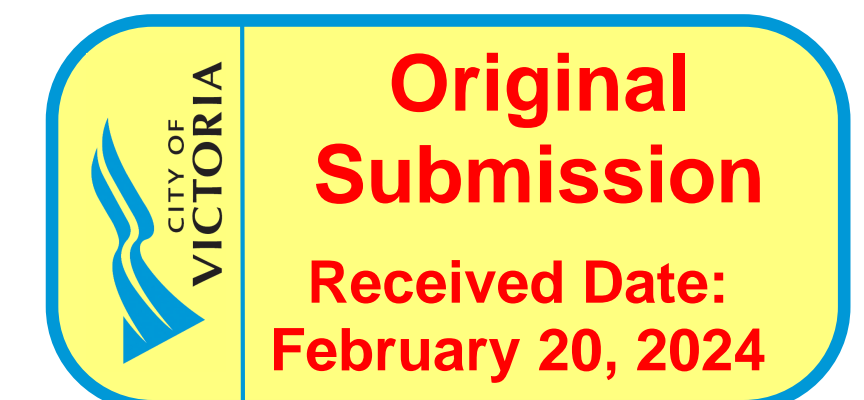
DRAWING LIST - RZ SET Copy 1

ARCHITECTURAL - RZ SET

A 001	SITE PLAN & PROJECT DATA TABLE
A 002	ZONING CALCULATIONS
A 004	WHARF STREET FRONTAGE
A 005	DOOR & WINDOW DETAILS
A 006	CORNICE & PEDIMENT
A 100	LEVEL 1 - PROPOSED LAYOUT
A 101	LEVEL 2 - PROPOSED LAYOUT
A 102	LEVEL 3 - PROPOSED LAYOUT
A 103	LEVEL 4 - PROPOSED LAYOUT
A 104	LEVEL 5 - PROPOSED LAYOUT
A 105	LEVEL 6 - PROPOSED LAYOUT
A 106	LEVEL 7 - PROPOSED LAYOUT
A 107	ROOF PLAN
A 200	PROPOSED EAST & NORTH ELEVATIONS
A 201	PROPOSED WEST & SOUTH ELEVATIONS
A 300	BUILDING SECTIONS
A 301	CONTEXT ELEVATIONS

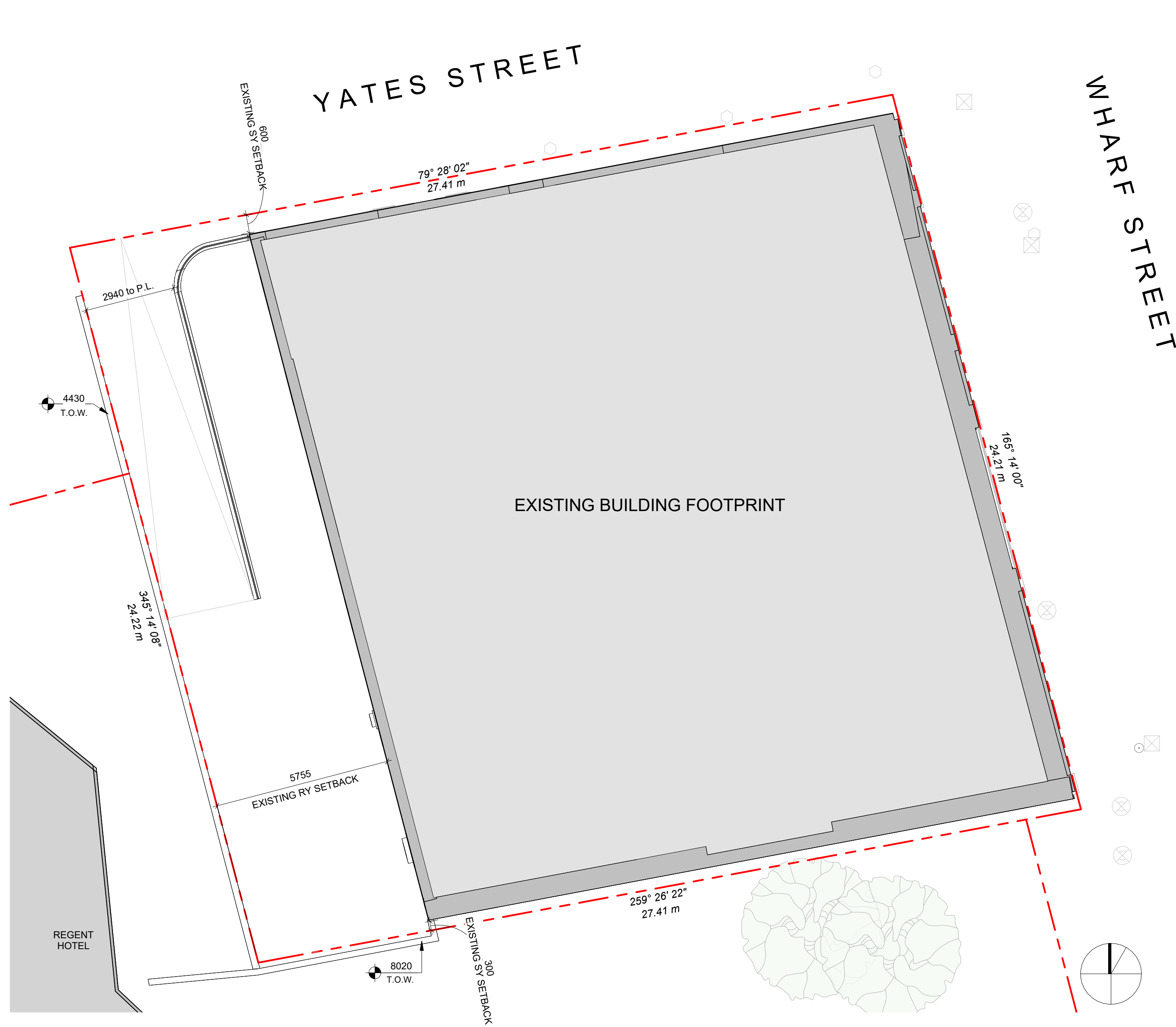
Salient Group  
**1244 Wharf Street**  
Rezoning & HAP - February 14, 2024

Project #	2011	Date	February 14, 2024
Sheet #	A 000	Revision	

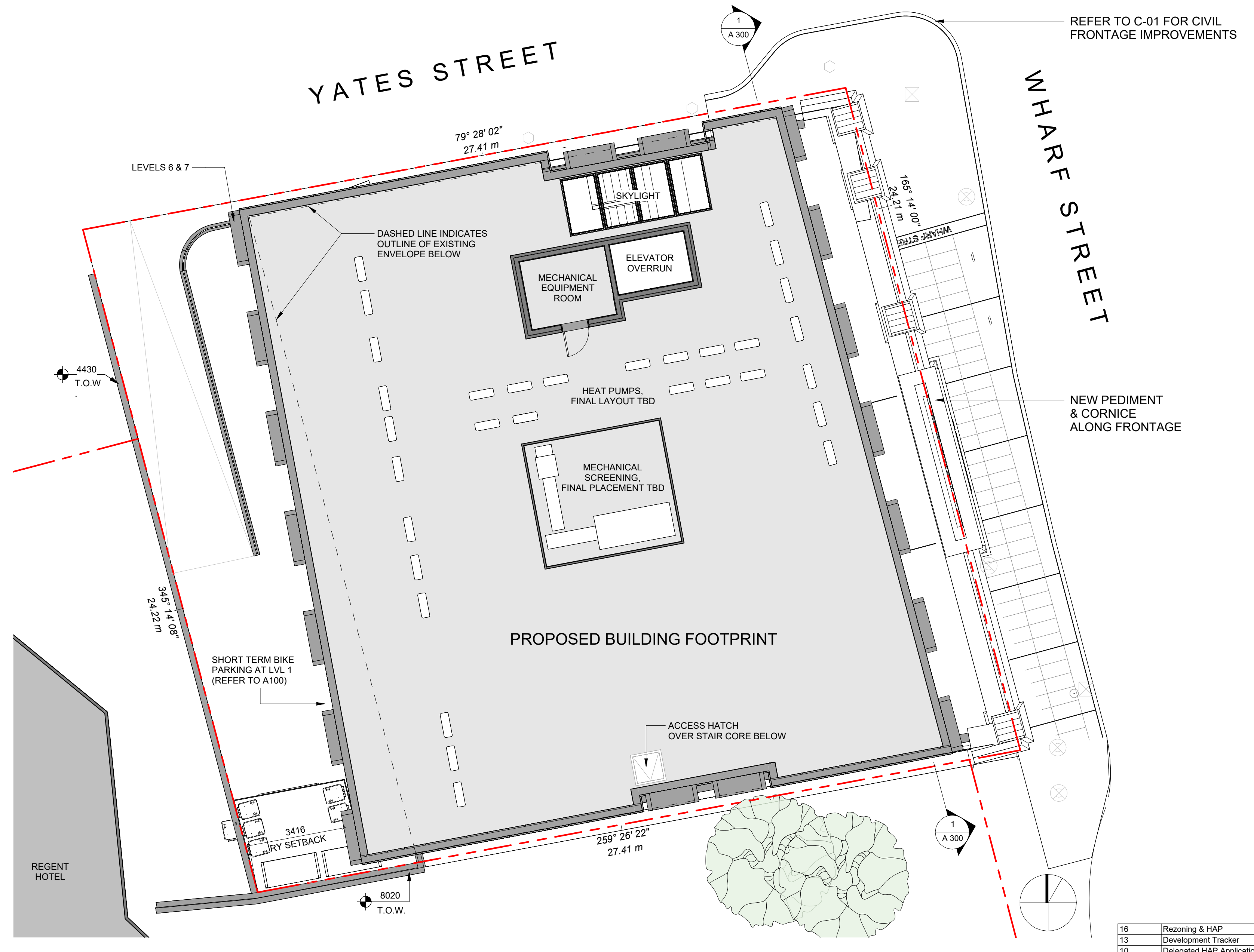


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101-804 Broughton Street  
Victoria BC V8W 1E4 Canada  
250.590.3223  
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**1 SITE PLAN-EXISTING**  
SCALE = 1 : 100

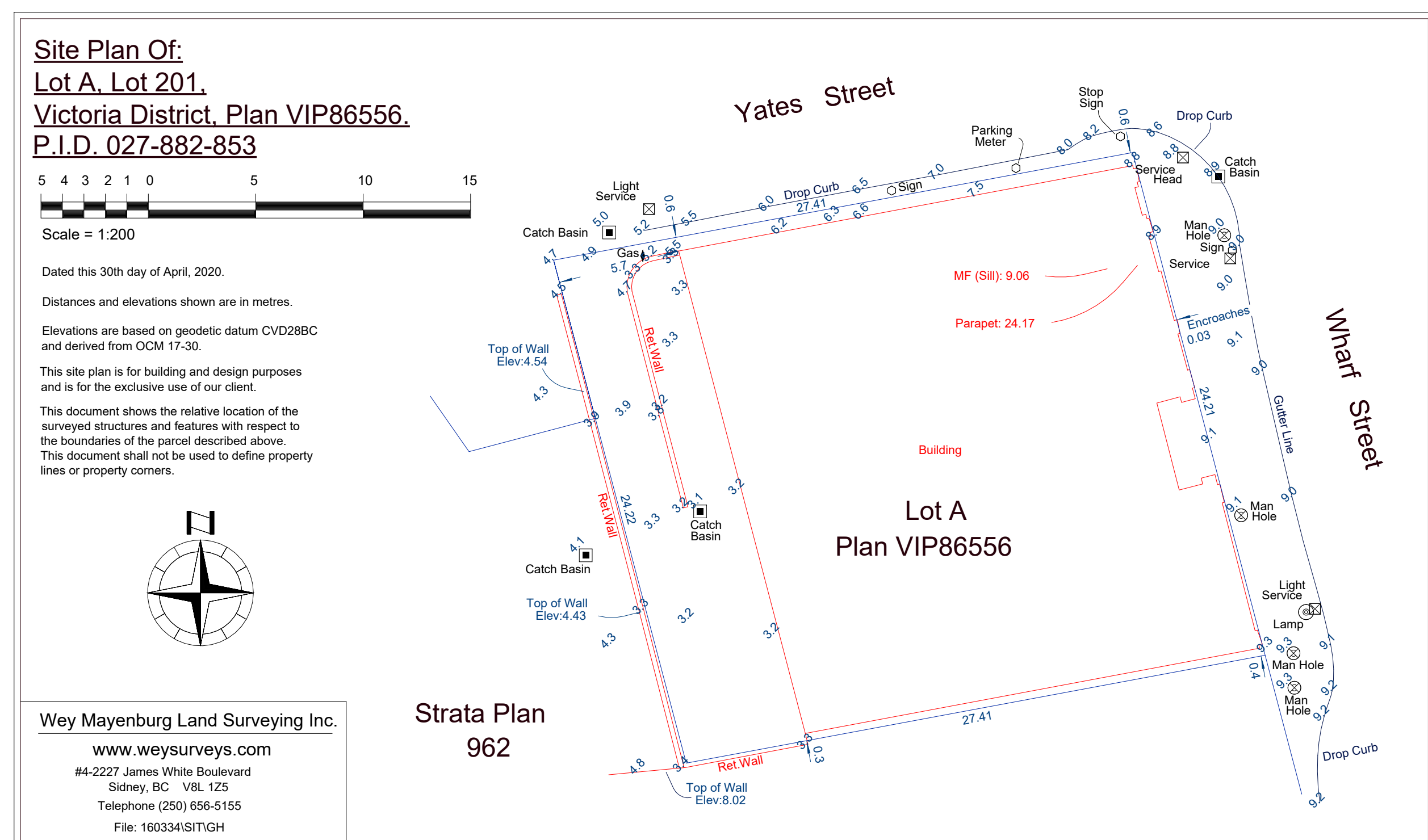


**2 SITE PLAN-PROPOSED**  
SCALE = 1 : 100

REFER TO C-01 FOR CIVIL FRONTAGE IMPROVEMENTS

NEW PEDIMENT & CORNICE ALONG FRONTAGE

16	Rezoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
10	Delegated HAP Application	April 26, 2022
NO.	DESCRIPTION	DATE



**3 SITE SURVEY - EXISTING**  
SCALE = 1 : 200

**PROJECT DATA**

MUNICIPALITY	CITY OF VICTORIA
MUNICIPAL ADDRESS	1244 WHARF STREET, VICTORIA, BC
LEGAL DESCRIPTION	LOT A LOT 201 VICTORIA DISTRICT, PLAN VIP86556
PROJECT DESCRIPTION	7 STOREY MIXED USE / MULTI-UNIT RESIDENTIAL

EXISTING	IMHc Zone
ZONE	IMHc Zone
SITE AREA (m <sup>2</sup> )	662.1
PROPOSED	
TOTAL FLOOR AREA (m <sup>2</sup> )	2,210m <sup>2</sup>
COMMERCIAL FLOOR AREA (m <sup>2</sup> )	272m <sup>2</sup>
FLOOR SPACE RATIO	3.34 : 1
LOT COVERAGE (%)	82%
ZONING HEIGHT (m)	23.0. SEE ELEVATIONS
STOREYS	5 (+ 2 BASEMENT)

**BICYCLE PARKING CALCULATIONS**

**Hotel Suites: 52 rooms**  
 Long Term – 1 space per 25 rooms = 3 stalls  
 Short Term – 1 space per 40 rooms = 2 stalls

**Restaurant/Drinking Establishment:**  
 Long Term – 1 space per 400 sq.m. = 1 stall  
 Short Term – 1 space per 100 sq.m. = 2 stalls

**Basement Commercial:**  
 Long Term – 1 space per 200 sq.m. = 1 stall  
 Short Term – 1 space per 200 sq.m. = 1 stall

**Total Required Long Term = 5**  
**Total Required Short Term = 5**

**PARKING**

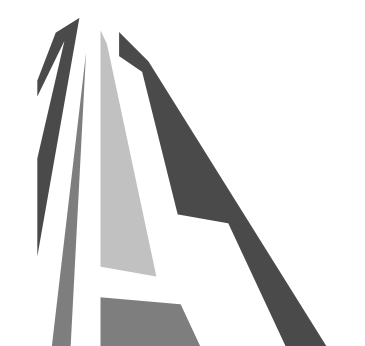
	REQUIRED	PROVIDED
PARKING STALLS (#) ON SITE	0	0
BICYCLE PARKING - LONG TERM	5	8
BICYCLE PARKING - SHORT TERM	5	6

**BUILDING SETBACKS (m)**

	REQUIRED	PROVIDED
STREET FRONT (WHARF)	N/A	0 (PEDIMENT/CORNICE ENCROACHMENT AGREEMENT)
REAR (WEST)	N/A	3.4m (LEVEL 6 & 7)
SIDE YARD (NORTH)	N/A	0 (PEDIMENT/CORNICE)
SIDE YARD (SOUTH)	N/A	0 (PEDIMENT/CORNICE)
COMBINED SIDE YARDS	N/A	0

**HOTEL USE DETAILS**

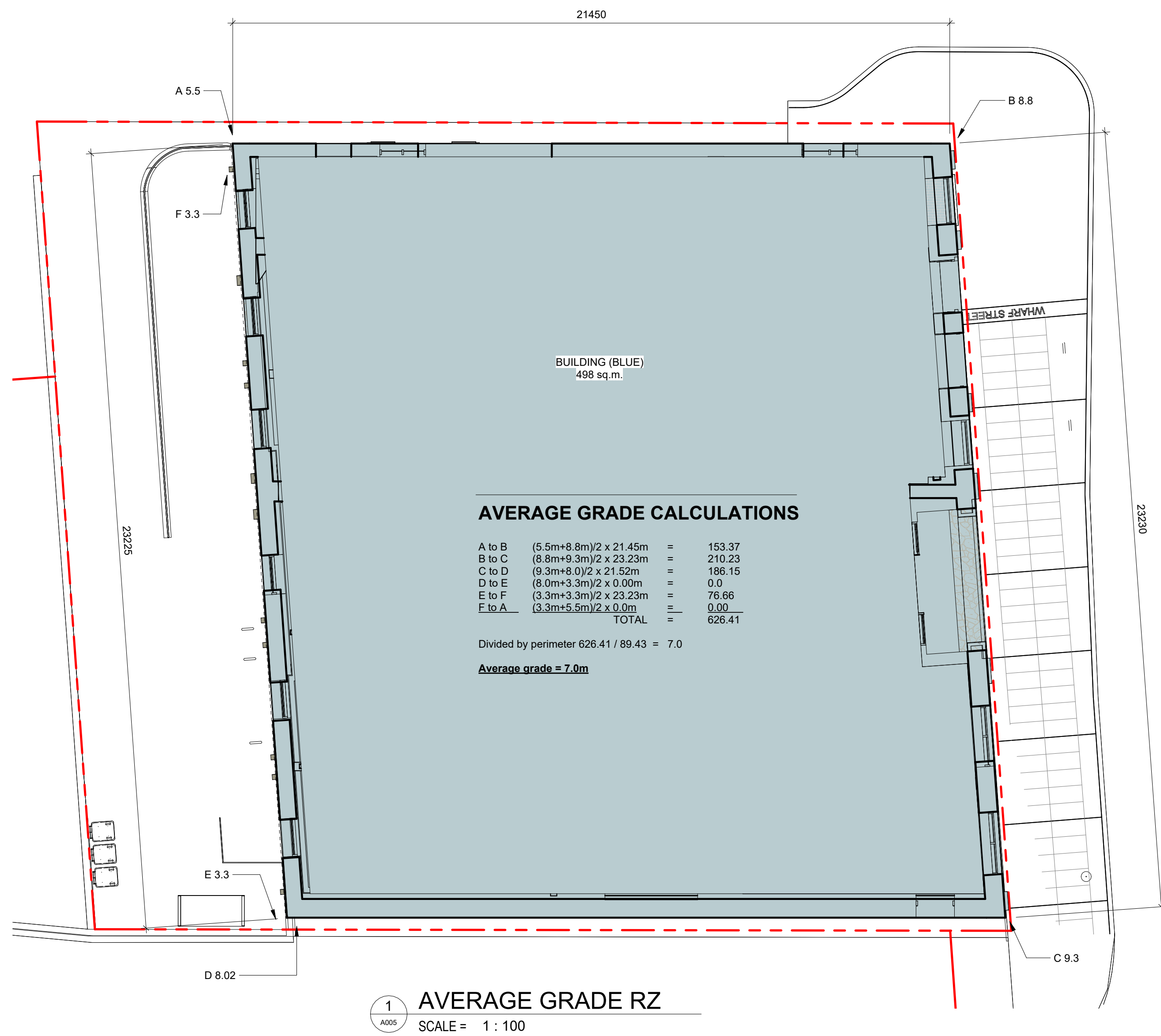
TOTAL NUMBER OF UNITS	52
UNIT TYPE, E.G., 1 BEDROOM	6 ONE BEDROOM + 46 STUDIOS
GROUND-ORIENTATED UNITS	0
MINIMUM UNIT FLOOR AREA (m <sup>2</sup> )	25m <sup>2</sup>
TOTAL HOTEL FLOOR AREA (m <sup>2</sup> )	1706m <sup>2</sup> (SUITE AREA ONLY - EXCLUDES CORRIDORS, AMENITY & STORAGE)



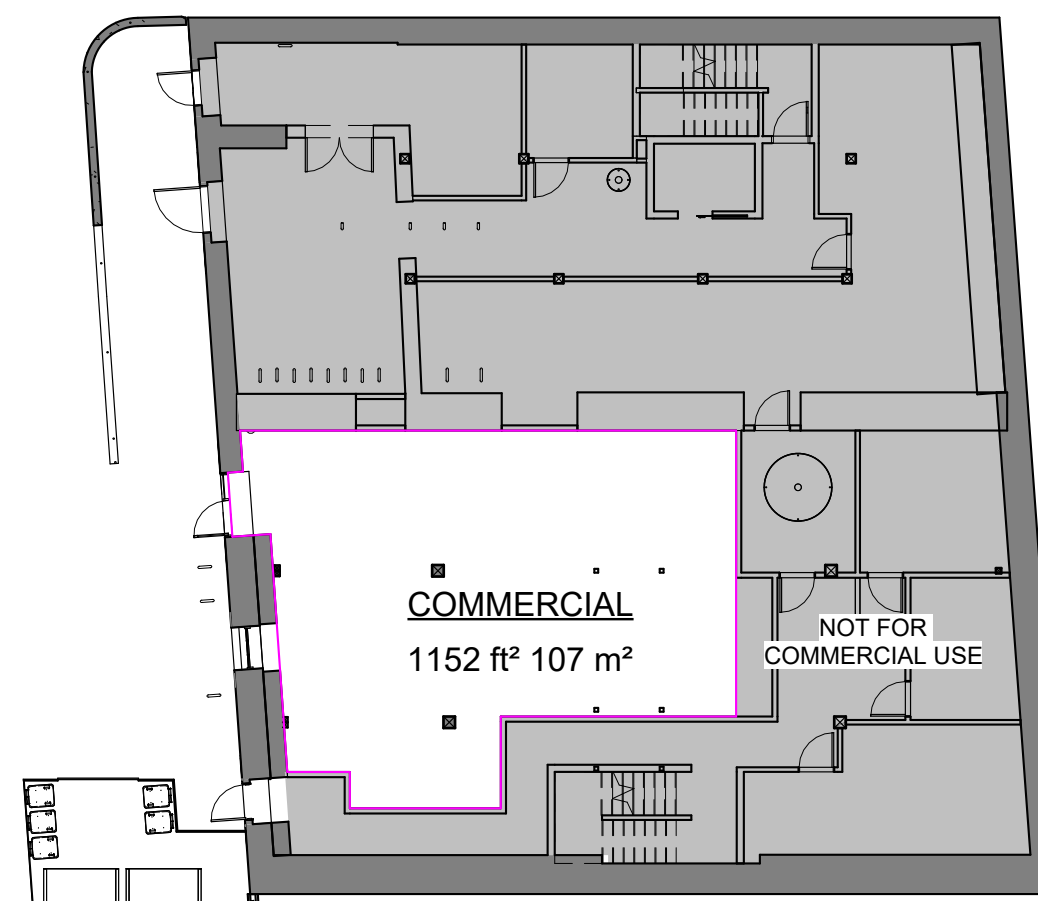
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Project	1244 Wharf Street	
	Salient Group	
Sheet Name	SITE PLAN & PROJECT DATA TABLE	
Date	2024-02-13 4:14:32 PM	
Scale	As indicated	Project # 2011
	Revision	
	Sheet #	A 001



**1 AVERAGE GRADE RZ**  
SCALE = 1 : 100



**2 Commercial Level 1**  
SCALE = 1 : 200



**3 Commercial Level 2**  
SCALE = 1 : 200

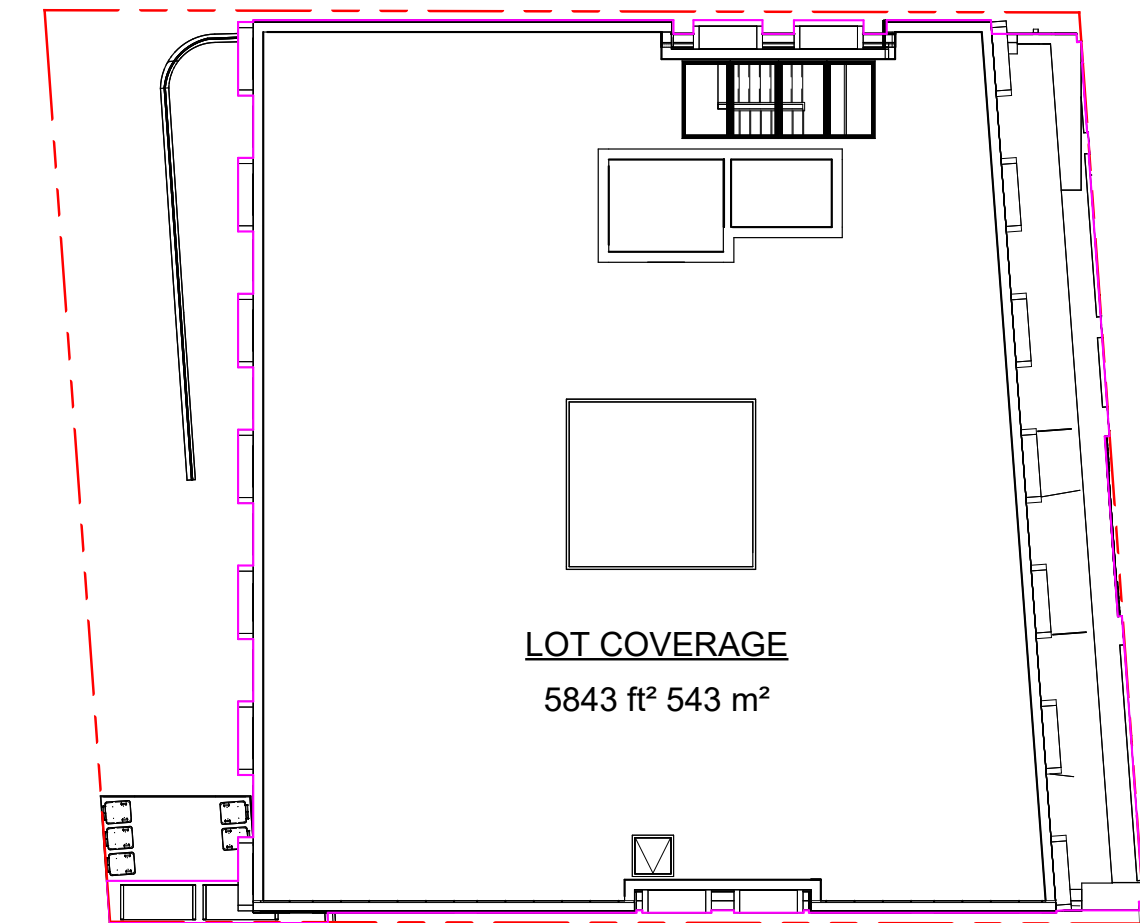


**4 Commercial Level 3**  
SCALE = 1 : 200

**NOTE:**  
AREA MEASURED FROM INTERIOR FACE OF EXTERIOR WALL & FACE OF INTERIOR PARTITION.

**SUPPORTING CALCULATIONS**

ZONING REGULATION BYLAW FLOOR AREAS		FLOOR SPACE RATIO	
Level 3	434m²	2,210m² / 662.1	= 3.34
Level 4	440m²	FSR =	3.34 : 1
Level 5	450m²		
Level 6	443m²		
Level 7	443m²		
Grand total: 5	2,210m²	543m² / 662.1m² =	0.82 (82%)



**6 LOT COVERAGE**  
SCALE = 1 : 200

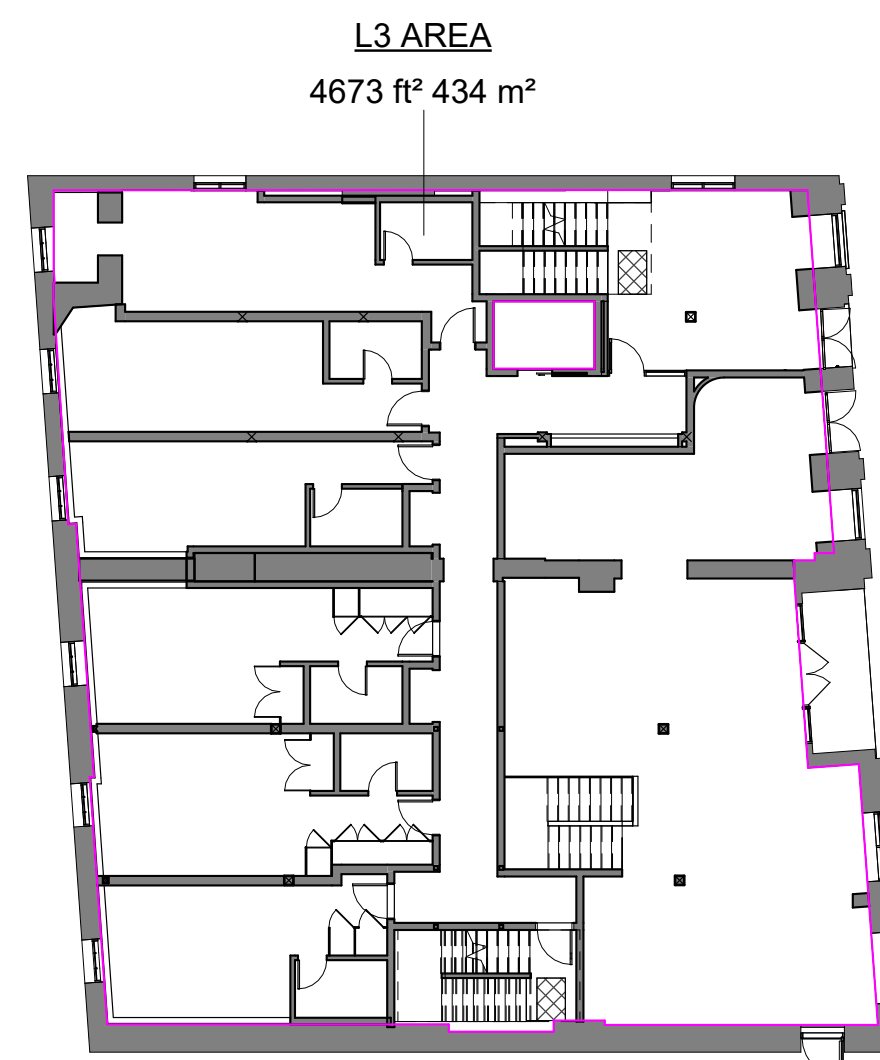
NO.	DESCRIPTION	DATE
16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023



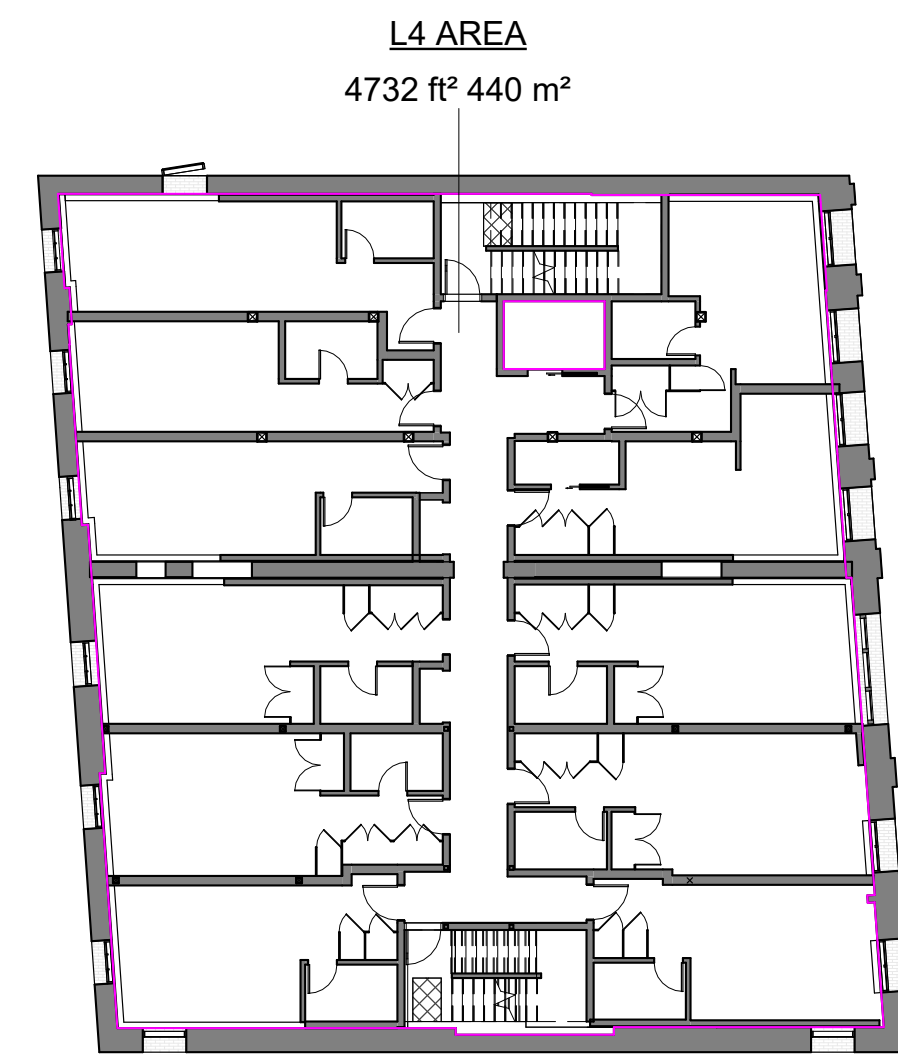
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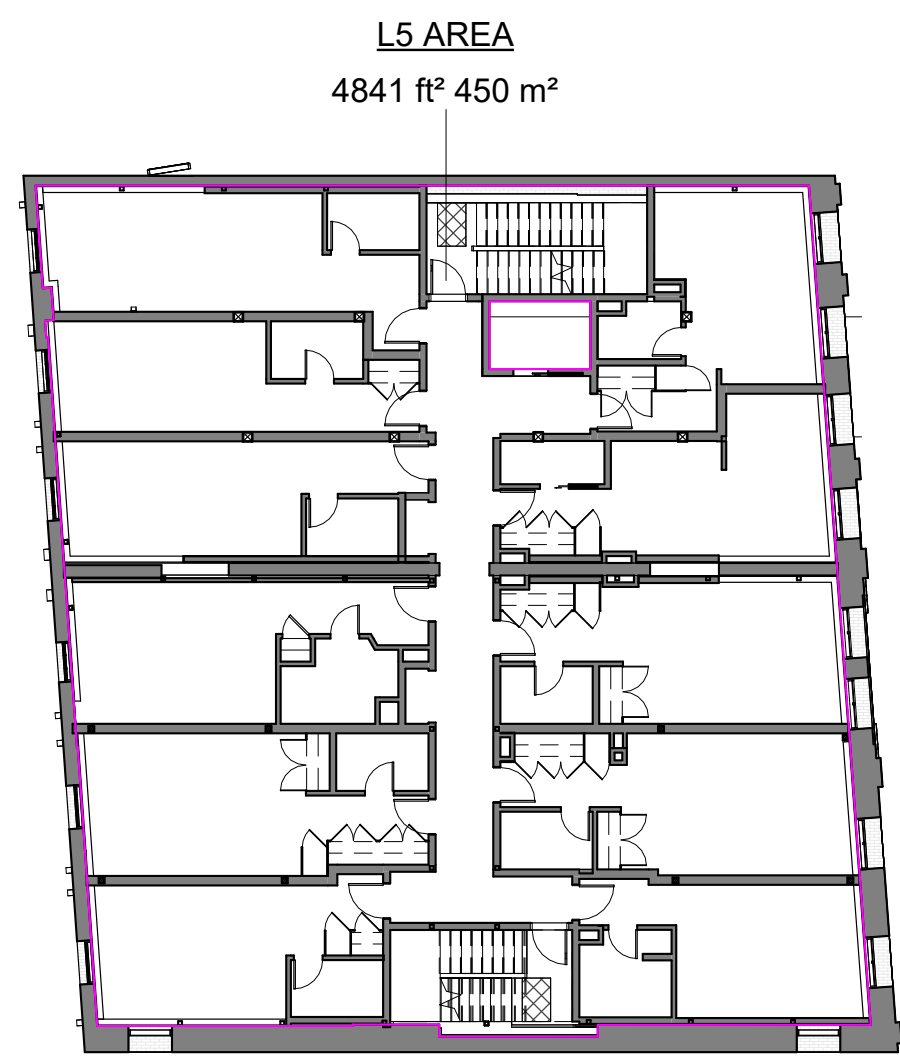
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	Salient Group	
Sheet Name	ZONING CALCULATIONS	
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Scale	As indicated	Project # 2011
		Revision
		Sheet #
		<b>A 002</b>



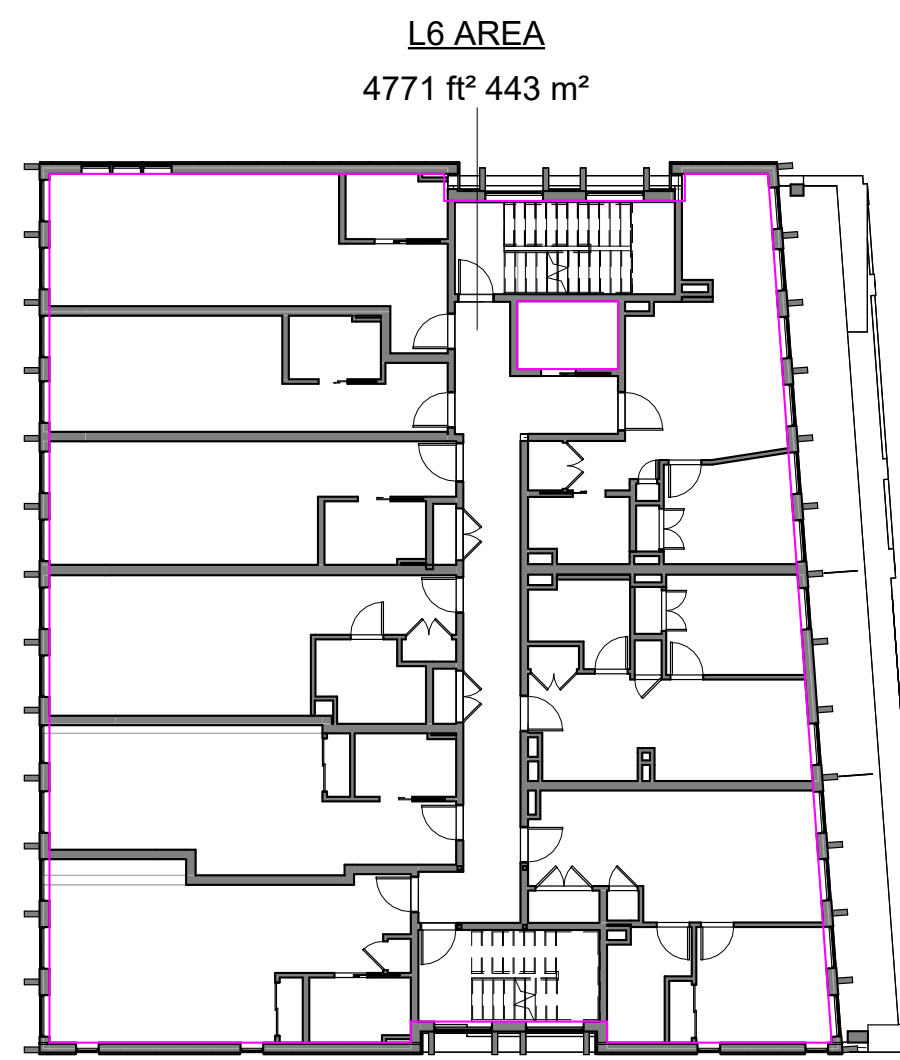
**7 L3 FLOOR AREA**  
SCALE = 1 : 200



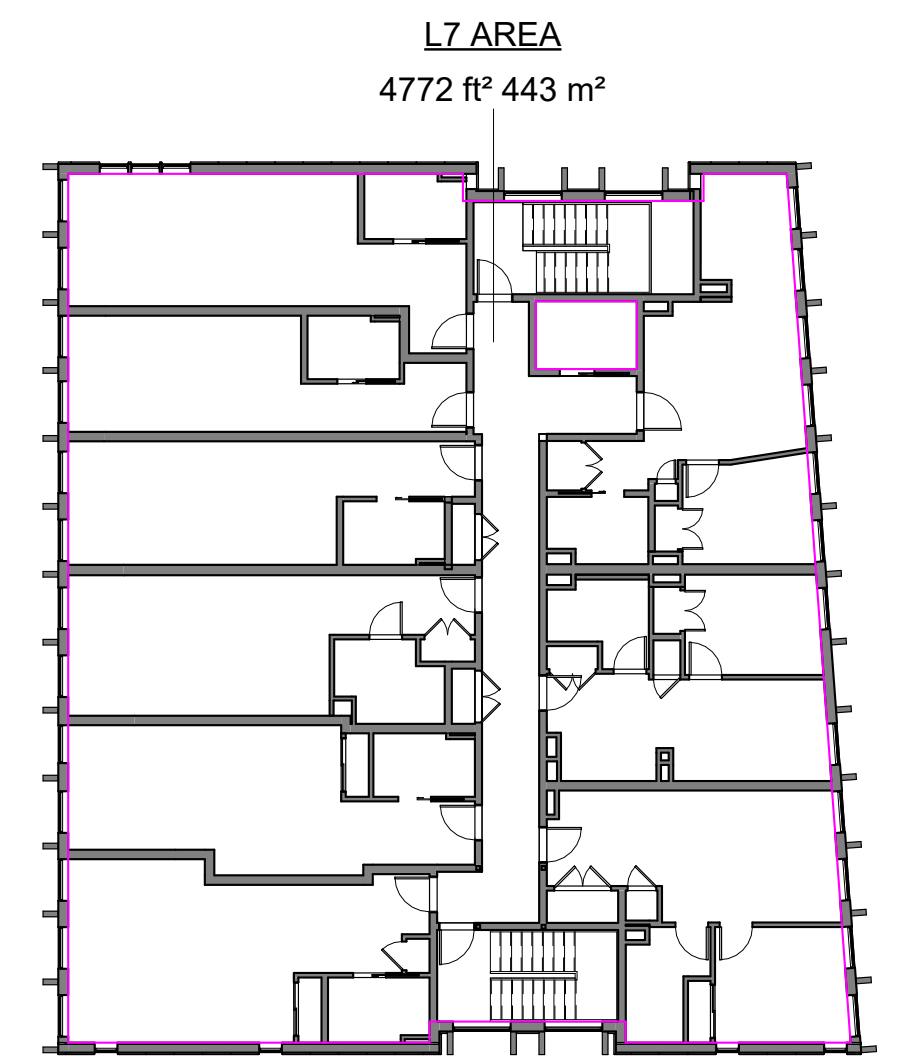
**8 L4 FLOOR AREA**  
SCALE = 1 : 200



**9 L5 FLOOR AREA**  
SCALE = 1 : 200



**10 L6 FLOOR AREA**  
SCALE = 1 : 200



**11 L7 FLOOR AREA**  
SCALE = 1 : 200



**RESTORED TO HISTORIC FINISH AS PER CP HERITAGE FINISH SCHEDULE**

**PROPOSED MODERN FINISH**

- 1 EXISTING BRICK - NEW PAINT - DARK RED FLAT FINISH



COLOUR - BM SIENNA 2092-20

- 2 EXISTING BRICK - NEW PAINT - FLAT FINISH



COLOUR - BM SPANISH OLIVE 1509

- 4 EXISTING SANDSTONE (ENTRY ARCH, SPRINGING BLOCKS, KEYSTONES, STRING COURSES, BASE BLOCKS, CORNICES) - EXISTING PAINT FINISH STRIPPED, REPAIR AS REQUIRED & NEW MINERAL PAINT TO MATCH COLOR OF SANDSTONE

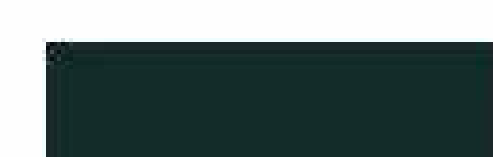


APPROXIMATED COLOUR



ARCHIVAL PHOTOGRAPH (AFTER 1896 ADDITION)

- 7 EXISTING & NEW WINDOW SASH & FRAME - NEW PAINT - DARK GREEN SEMI-GLOSS FINISH



COLOUR - BM COMOX GREEN VC-19

- 9 RESTORED SHEET METAL BALCONY - NEW PAINT - FLAT FINISH



COLOUR - BM SPANISH OLIVE 1509



ARCHIVAL PHOTOGRAPH

- 11 EXISTING GAP FLASHING - NEW PAINT - FLAT FINISH



COLOUR - BM SPANISH OLIVE 1509

COLOUR ALSO APPLIES TO NEW CAP FLASHINGS & NEW CORNICE & PEDIMENT ALONG FRONT FACADE.

- 13 NEW METAL - DARK CORTEN STYLE FINISH



COLOUR & TEXTURE

- 12 NEW & EXISTING TRANSPARENT GLAZING



MULLIONS AND JOINTS MINIMIZED IN NEW WINDOWS WITH MODERN TREATMENT

16	Rezoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
NO.	DESCRIPTION	DATE



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Project  
1244 Wharf Street  
Salient Group

Sheet Name  
**EXTERIOR MATERIALS**

Date  
2024-02-13 4:14:51 PM

Scale  
1 : 20

Project #  
2011

Revision  
Sheet #  
**A 003**





EXISTING TRANSOM & MOLDING DOES NOT MATCH SURROUNDING HISTORIC WINDOWS. (NEW MOLDING & TRANSOM TO MATCH SURROUNDING SOUND VERSIONS)

RETAIN EXISTING HISTORIC MOLDING (NEW TRANSOM & FRAME TO MATCH SURROUNDING SOUND VERSIONS)

RETAIN EXISTING HISTORIC UPPER TRANSOM, SASH, FRAME & MOLDING

REMOVE EXISTING STOREFRONT WINDOW

REMOVE EXISTING DOOR & TRANSOM

REMOVE EXISTING DOOR, LOWER TRANSOM & CASING

6/7  
RETAIN EXISTING HISTORIC WINDOWS

5  
PRESERVE MAIN ENTRY/DOOR AND REPAIR AS REQUIRED

4  
RETAIN EXISTING HISTORIC WINDOW

3  
NEW CRU ENTRANCE (MODERN STEEL FRAME, DOOR & RESTORED 1896 TRANSOM & WOOD FRAME)

2  
NEW RESIDENTIAL LOBBY ENTRANCE (MODERN STEEL FRAME, DOUBLE DOOR & RESTORED 1896 TRANSOM & WOOD FRAME)

1  
RESTORE HISTORIC 1896 OPENING & WINDOW (MATCH HISTORIC STYLE AND FINISH)



REMOVE ALL REDUNDANT METAL INSERTS & SERVICES - NEW WALL SCONCES TO HIGHLIGHT HISTORIC PILASTER RHYTHM

EXISTING MOLDING RETAINED, PAINTED TO MATCH HISTORIC WINDOW FRAMES (DARK GREEN)

RESTORED MOLDING TO MATCH SURROUNDING SOUND VERSIONS, PAINTED TO MATCH HISTORIC WINDOW FRAMES (DARK GREEN)

TROWEL PATTERN AND BROOM FINISH PER COV STREETSCAPE STANDARDS FOR 'INNER HARBOUR'

BASALT STREET NAME BAND IN ACCORDANCE WITH DOWNTOWN PUBLIC REALM STANDARDS

REMOVE EXISTING BRICK & STONE SILL

NOTCH EXISTING STONE STEP FOR FLUSH ENTRY

REMOVE EXISTING DOOR & FILL OPENING WITH IN KIND BRICK & STONE

CORNER SECTION OF SIDEWALK CONCRETE FINE BROOM FINISH OR HERRINGBONE FINISH IN ACCORDANCE WITH DOWNTOWN PUBLIC REALM STANDARDS

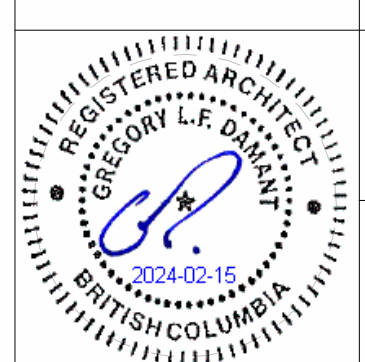
16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
NO.	DESCRIPTION	DATE



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Project	1244 Wharf Street	
	Salient Group	
Sheet Name	WHARF STREET FRONTAGE	
Date	2024-02-13 4:15:14 PM	
Scale	Project #	2011
	Revision	
	Sheet #	A 004

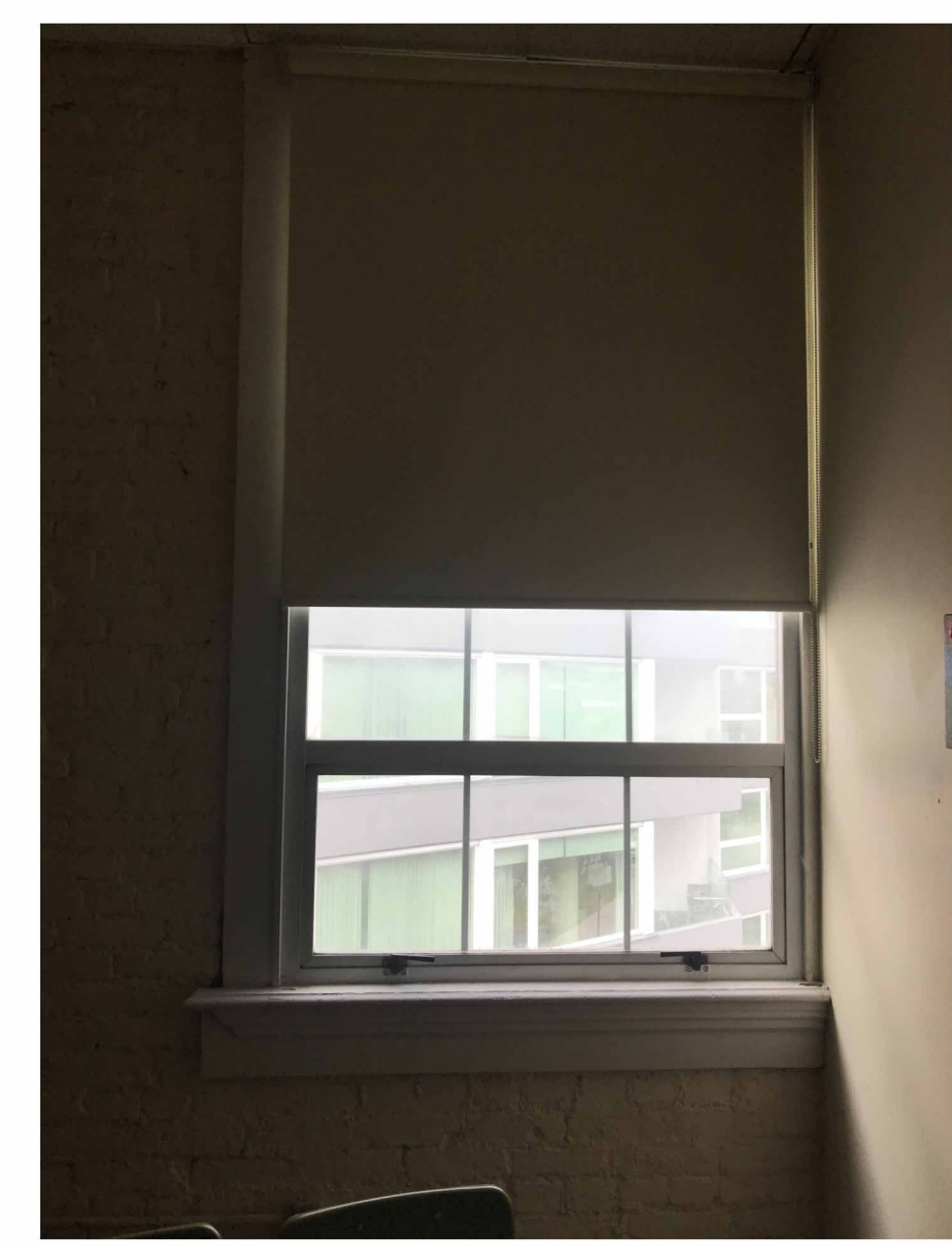




1 WEST ELEVATION - PROPOSED - WINDOW DETAIL  
SCALE = 1 : 100



1)



2)



3) & 4)

- Existing openings fully occupied by mechanical equipment
- Existing mechanical room location (interior photograph not feasible)



2 WHARF STREET DOOR DETAIL ELEVATION  
SCALE = 1 : 25

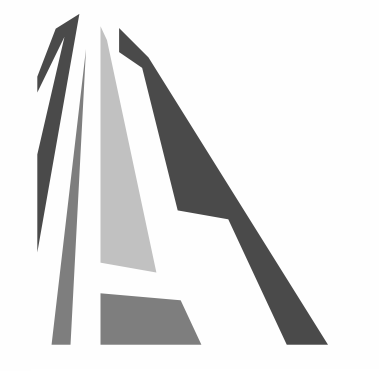
- GLAZED TRANSFORM TO MATCH 1896 WHARF STREET STOREFRONT WINDOWS
- METAL DOUBLE DOOR WITH GLAZED PANEL AND CORTEIN FINISH
- VERTICAL DOOR HANDLE PULL - WOOD FINISH



3 WHARF STREET DOOR DETAIL PERSPECTIVE  
SCALE =

- CORTEIN LINER FROM PAINTED WOOD CASING TO RECESSED DOUBLE DOOR
- CORTEIN LINER HOST FOR HANDICAP & INTERCOM LOCATION

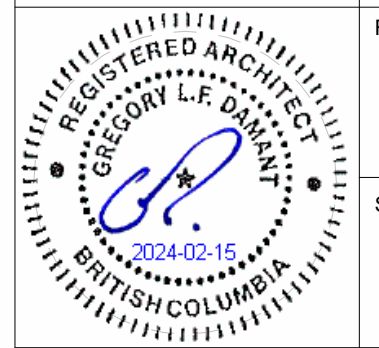
NO.	DESCRIPTION	DATE
16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023

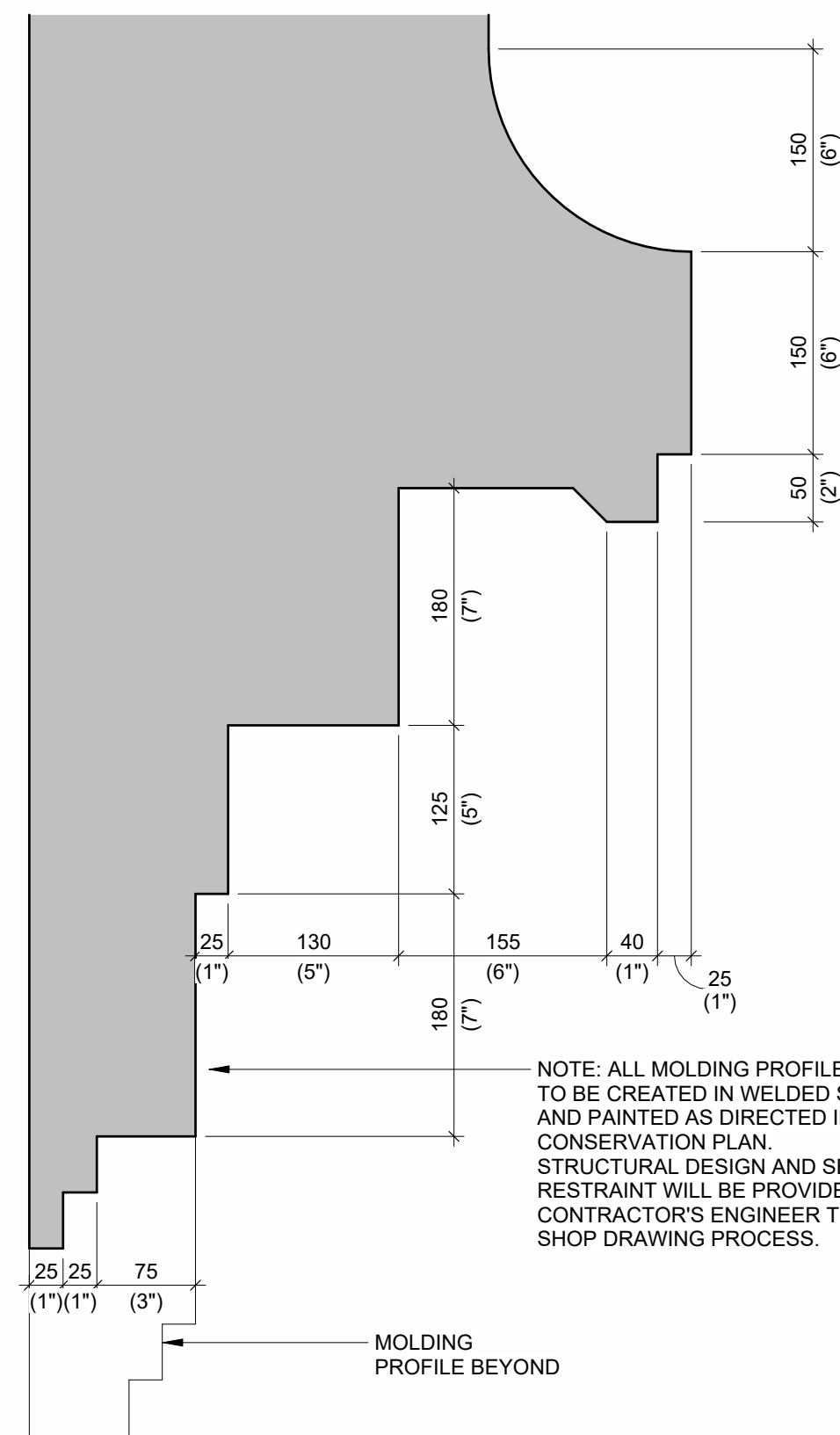


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Project		1244 Wharf Street
Client		Salient Group
Sheet Name		
Date		2024-02-13 4:15:37 PM
Scale	Project #	2011
As indicated	Revision	
Sheet #		A 005

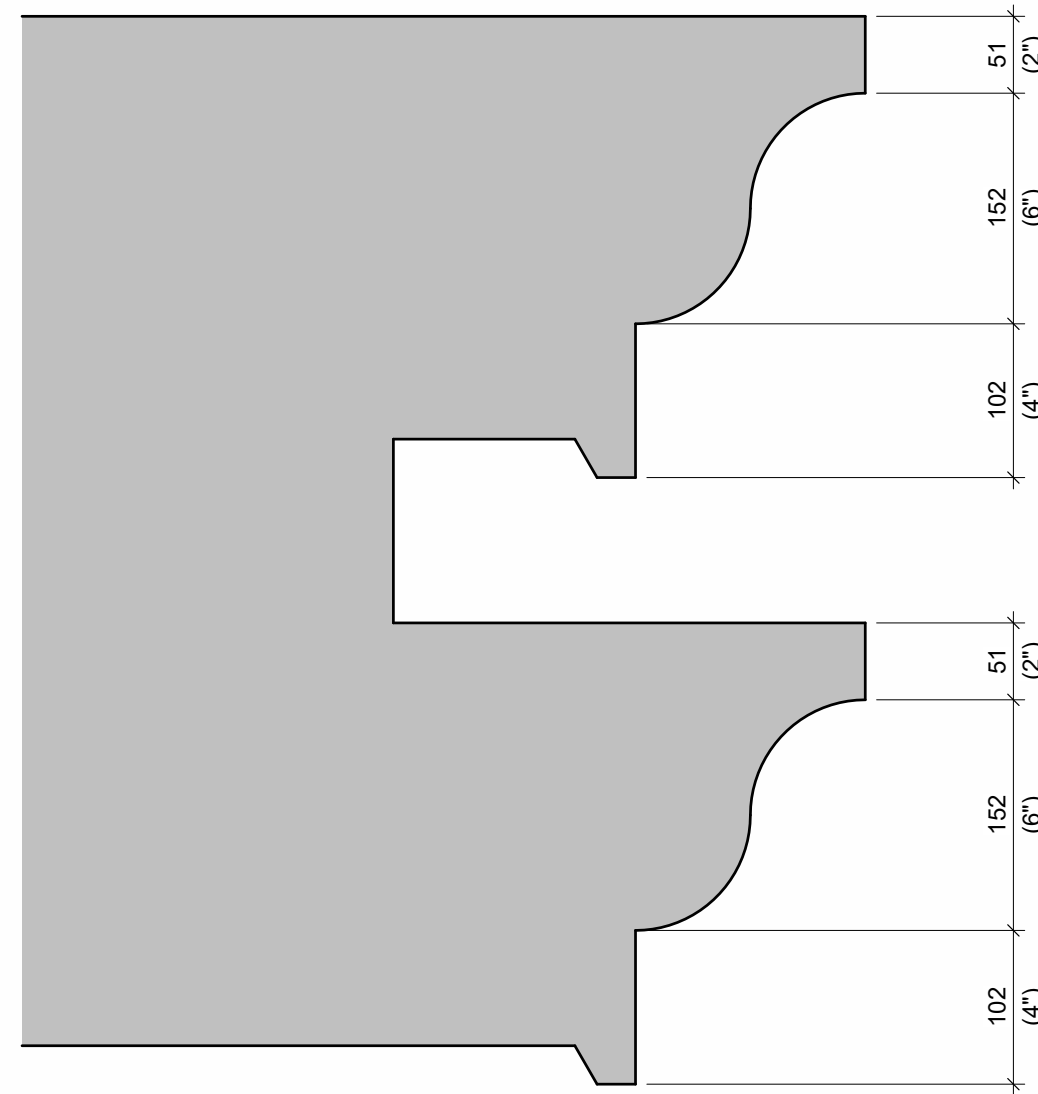




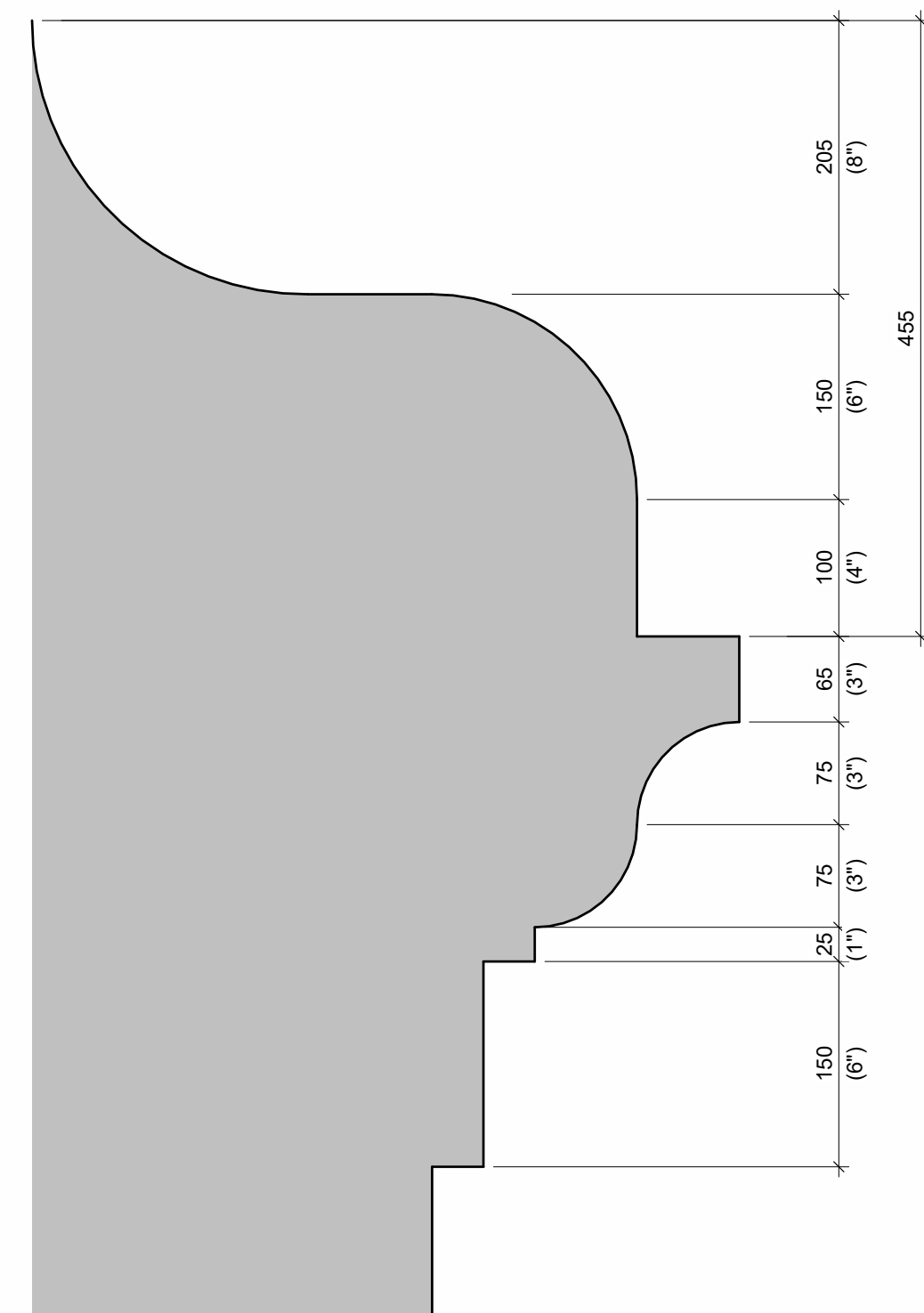
NOTE: ALL MOLDING PROFILES INDICATED TO BE CREATED IN WELDED SHEET METAL AND PAINTED AS DIRECTED IN THE CONSERVATION PLAN. STRUCTURAL DESIGN AND SEISMIC RESTRAINT WILL BE PROVIDED BY THE CONTRACTOR'S ENGINEER THROUGH THE SHOP DRAWING PROCESS.

MOLDING PROFILE BEYOND

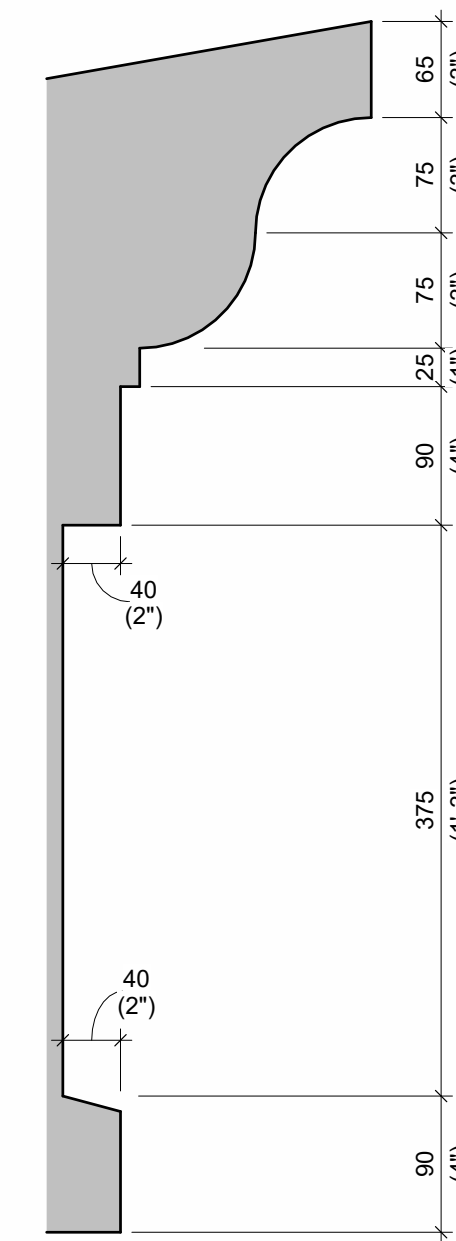
1 Moulding Profile - Pilaster Capital 1.  
SCALE = 1 : 5



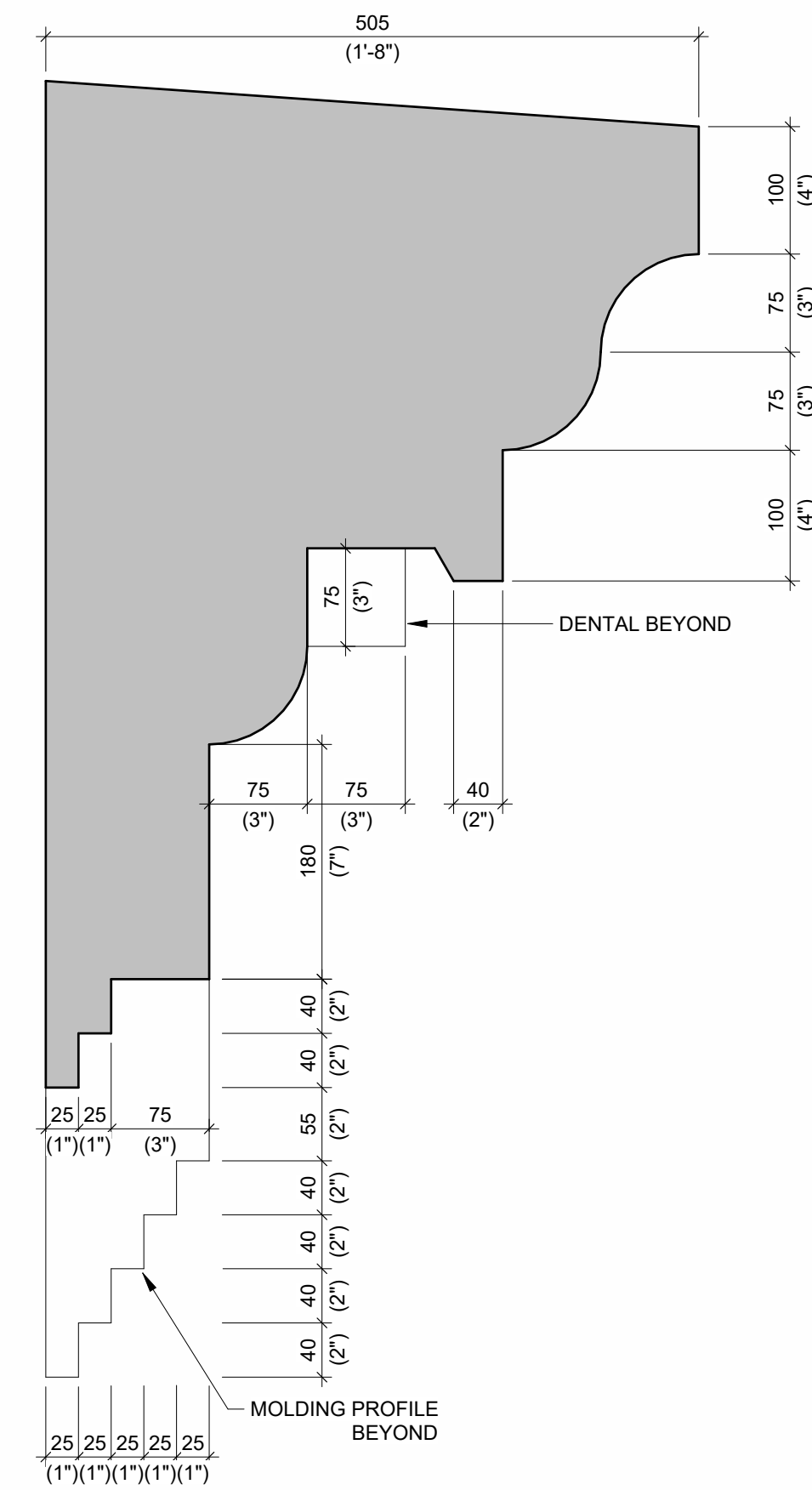
2 Moulding Profile - Pediment 1  
SCALE = 1 : 5



3 Moulding Profile - Pilaster Capital Cap rz  
SCALE = 1 : 5



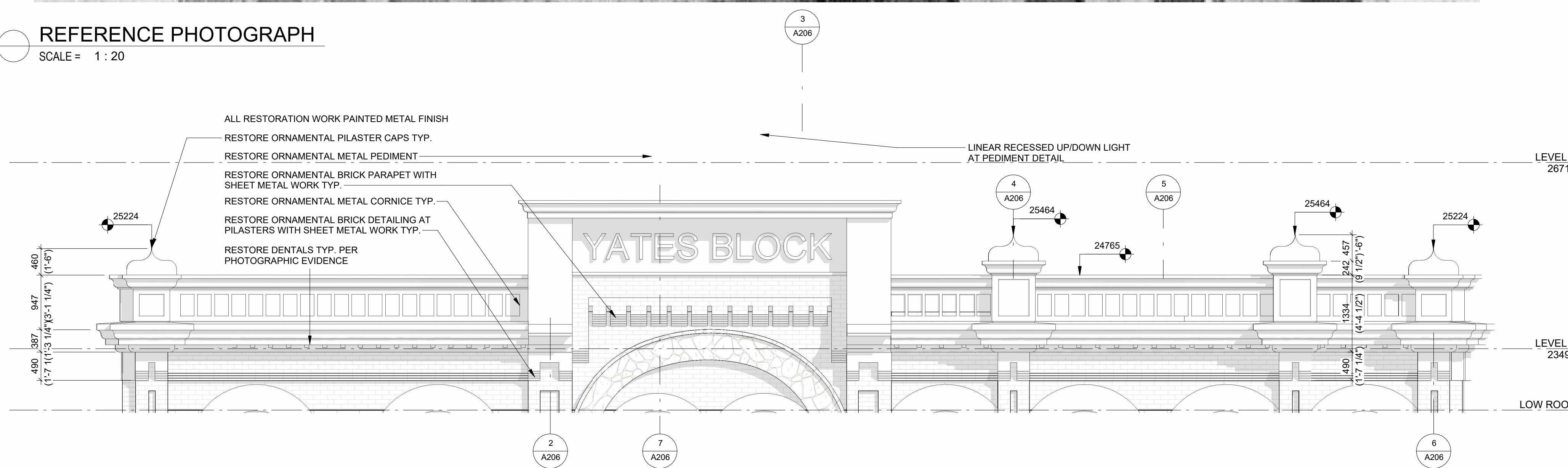
4 Moulding Profile - Cornice  
SCALE = 1 : 5



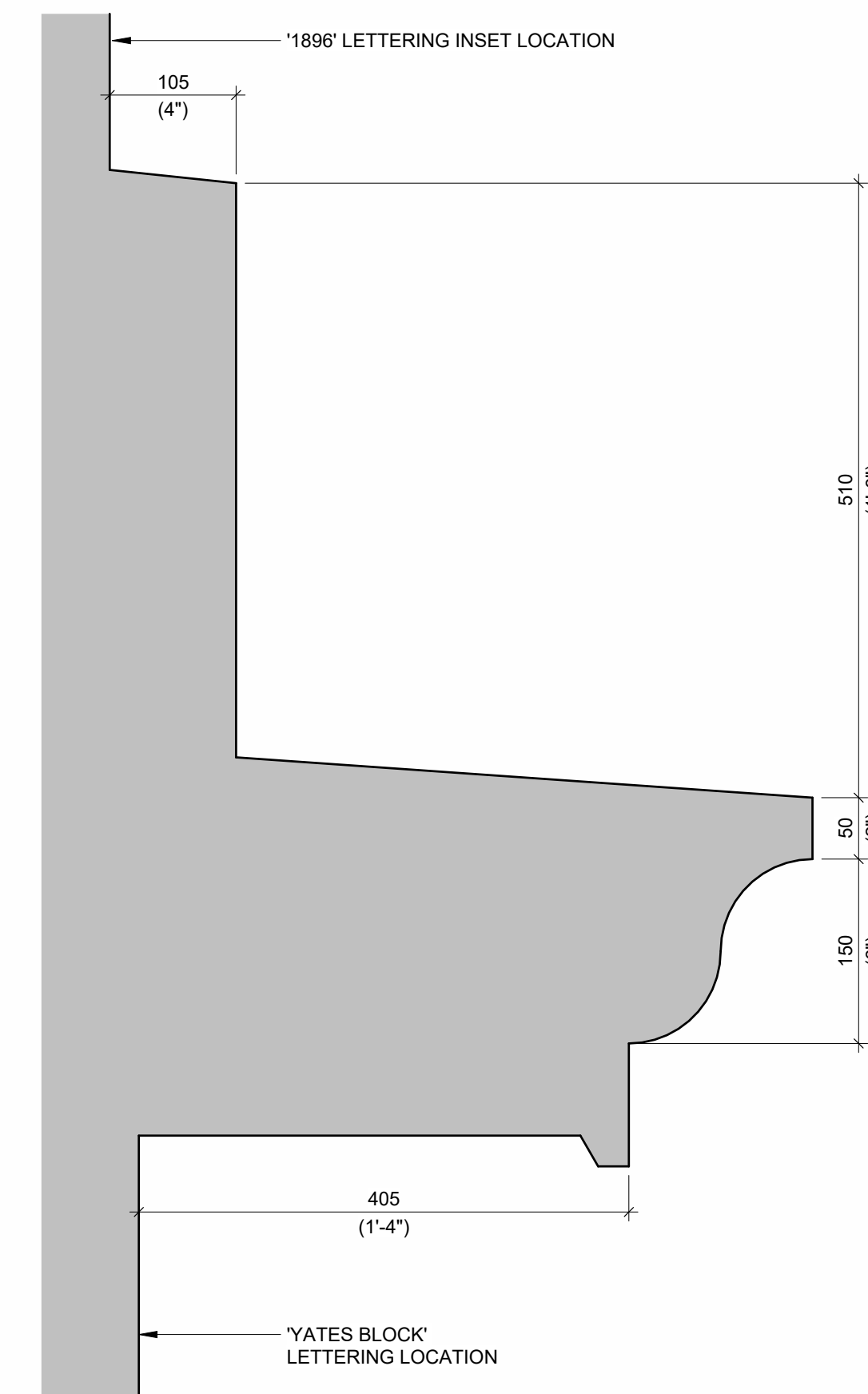
5 Moulding Profile - Pilaster Capital 2.  
SCALE = 1 : 5



REFERENCE PHOTOGRAPH  
SCALE = 1 : 20



7 EAST ELEVATION - PROPOSED CORNICE & PEDIMENT RZ  
SCALE = 1 : 50



6 Moulding Profile - Pediment 2.  
SCALE = 1 : 5

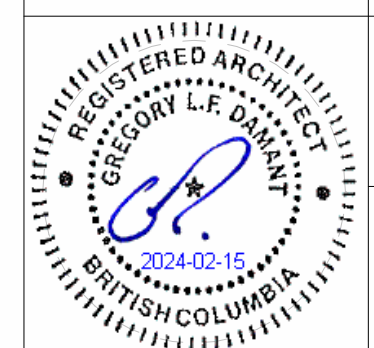
NO.	DESCRIPTION	DATE
16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023

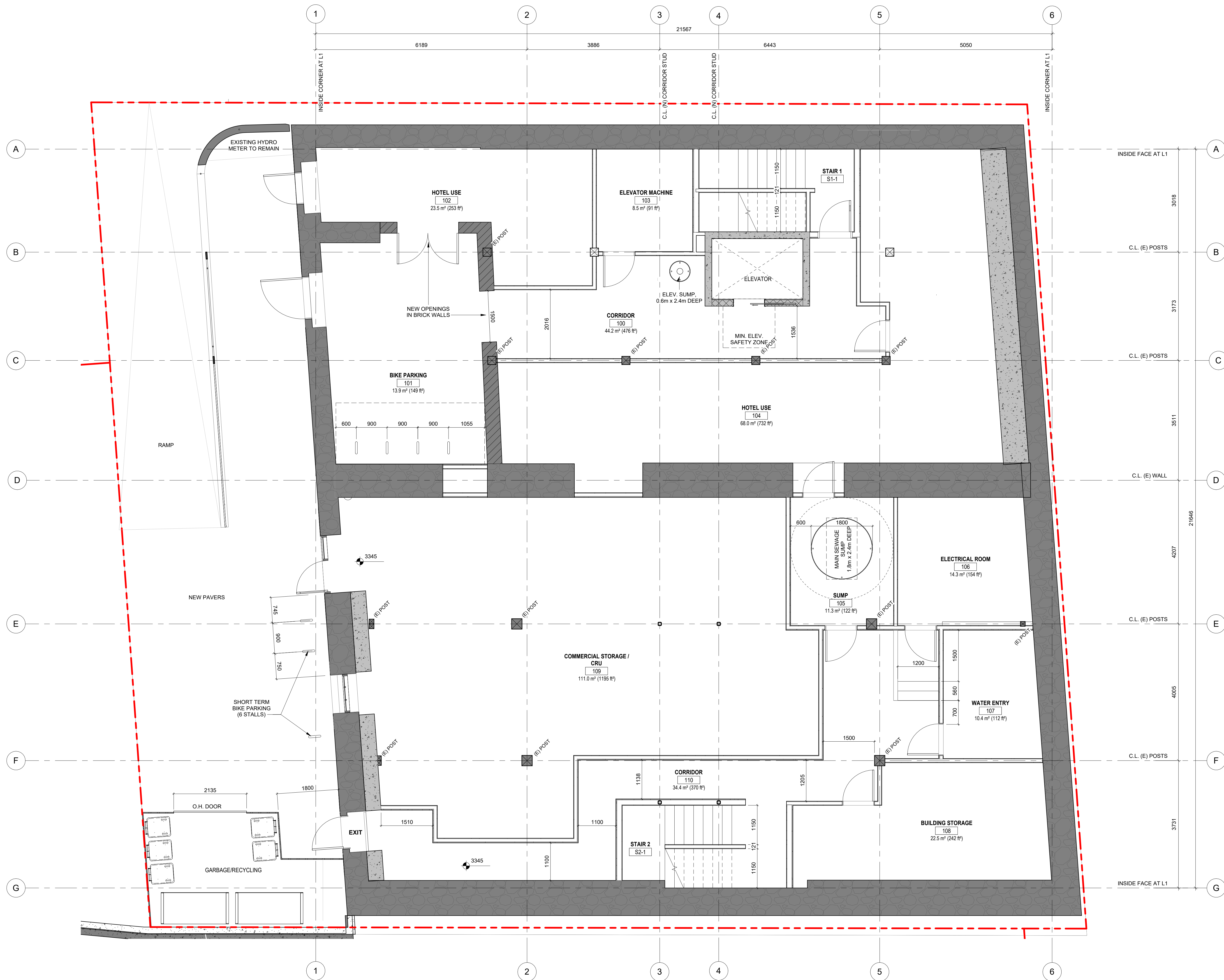


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Project	1244 Wharf Street	
	Salient Group	
Sheet Name	CORNICE & PEDIMENT	
Date	2024-02-13 4:15:44 PM	
Scale	As indicated	Project # 2011
		Revision
		Sheet #
		A 006





16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
NO.	DESCRIPTION	DATE



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Project  
**1244 Wharf Street**  
 Salient Group

Sheet Name  
**LEVEL 1 - PROPOSED LAYOUT**

Date  
 2024-02-13 4:15:45 PM

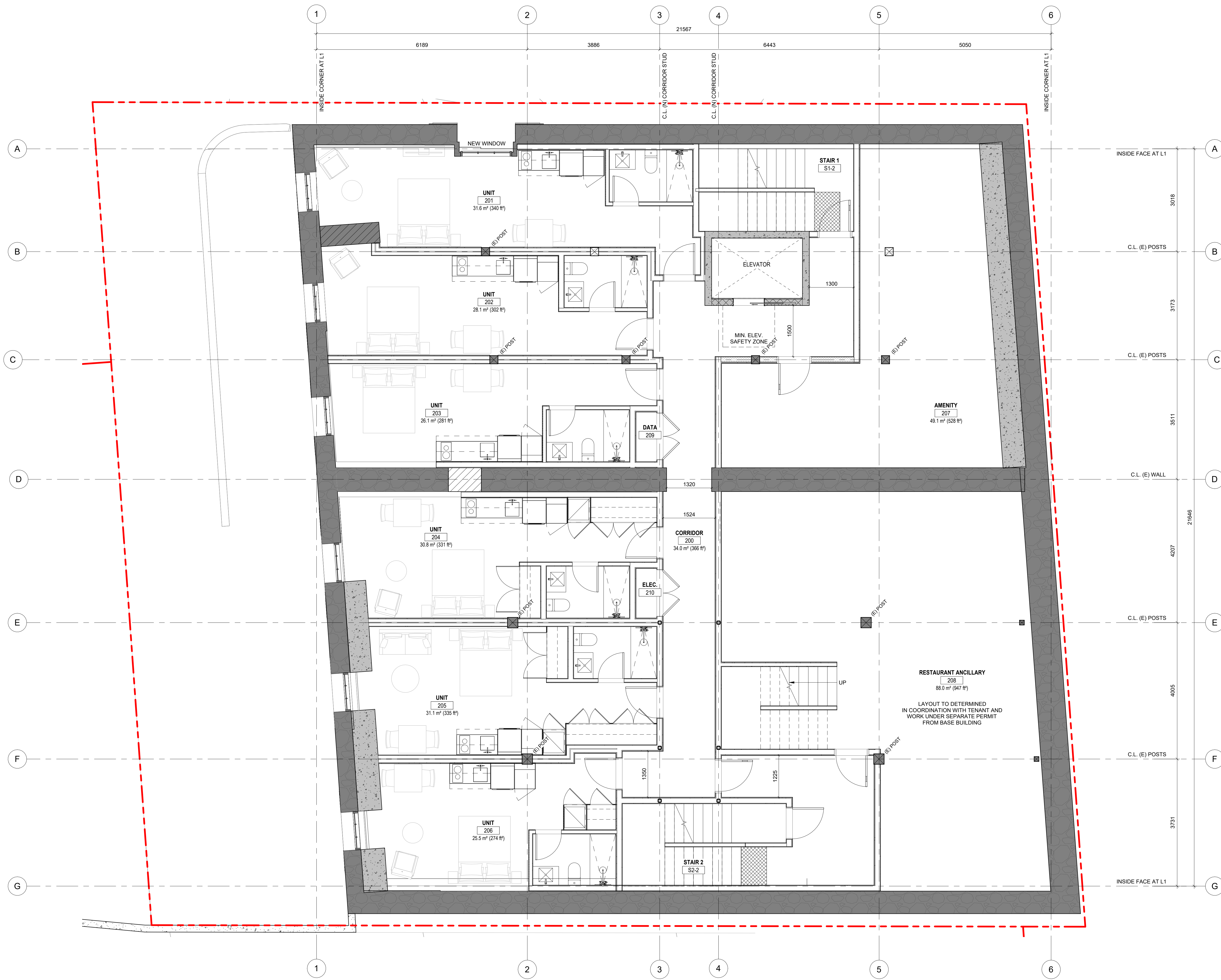
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Project #  
 2011

Revision

Sheet #  
**A 100**





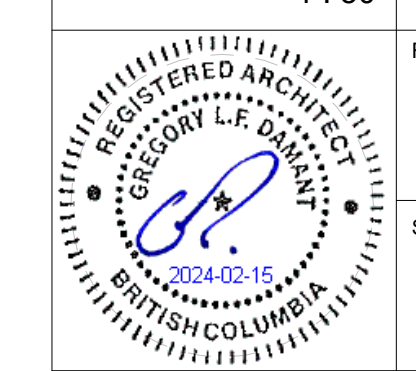
16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
NO.	DESCRIPTION	DATE

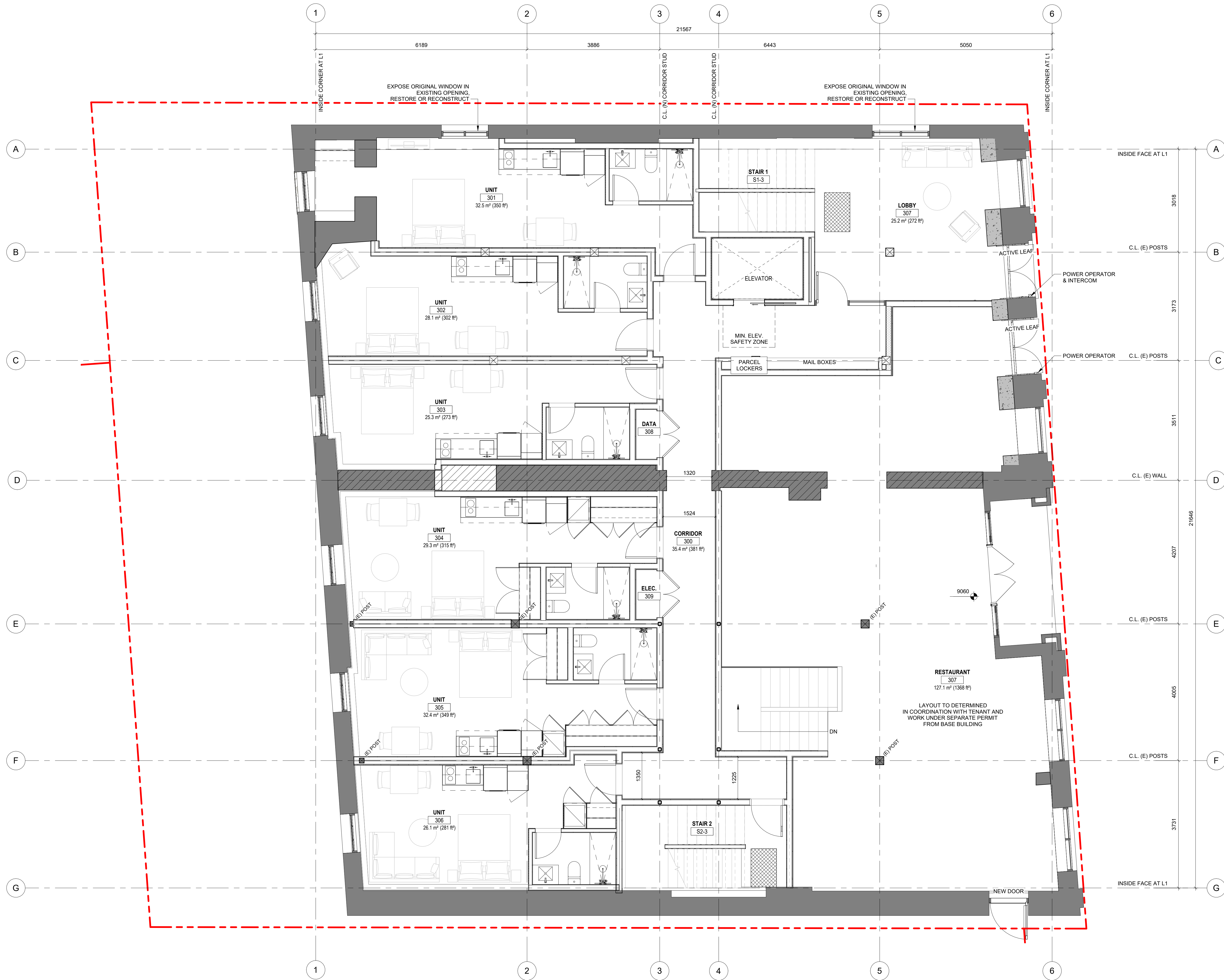


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Project	1244 Wharf Street	
	Salient Group	
Sheet Name	LEVEL 2 - PROPOSED LAYOUT	
Date	2024-02-13 4:15:47 PM	
Scale	1 : 50	Project # 2011
		Revision
		Sheet #
		<b>A 101</b>





16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
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Project  
**1244 Wharf Street**  
 Salient Group

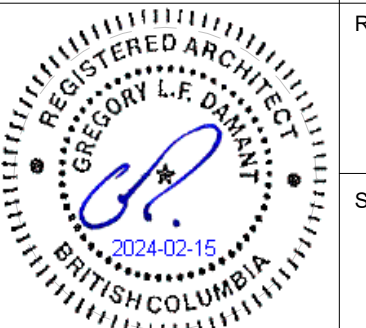
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**LEVEL 3 - PROPOSED LAYOUT**

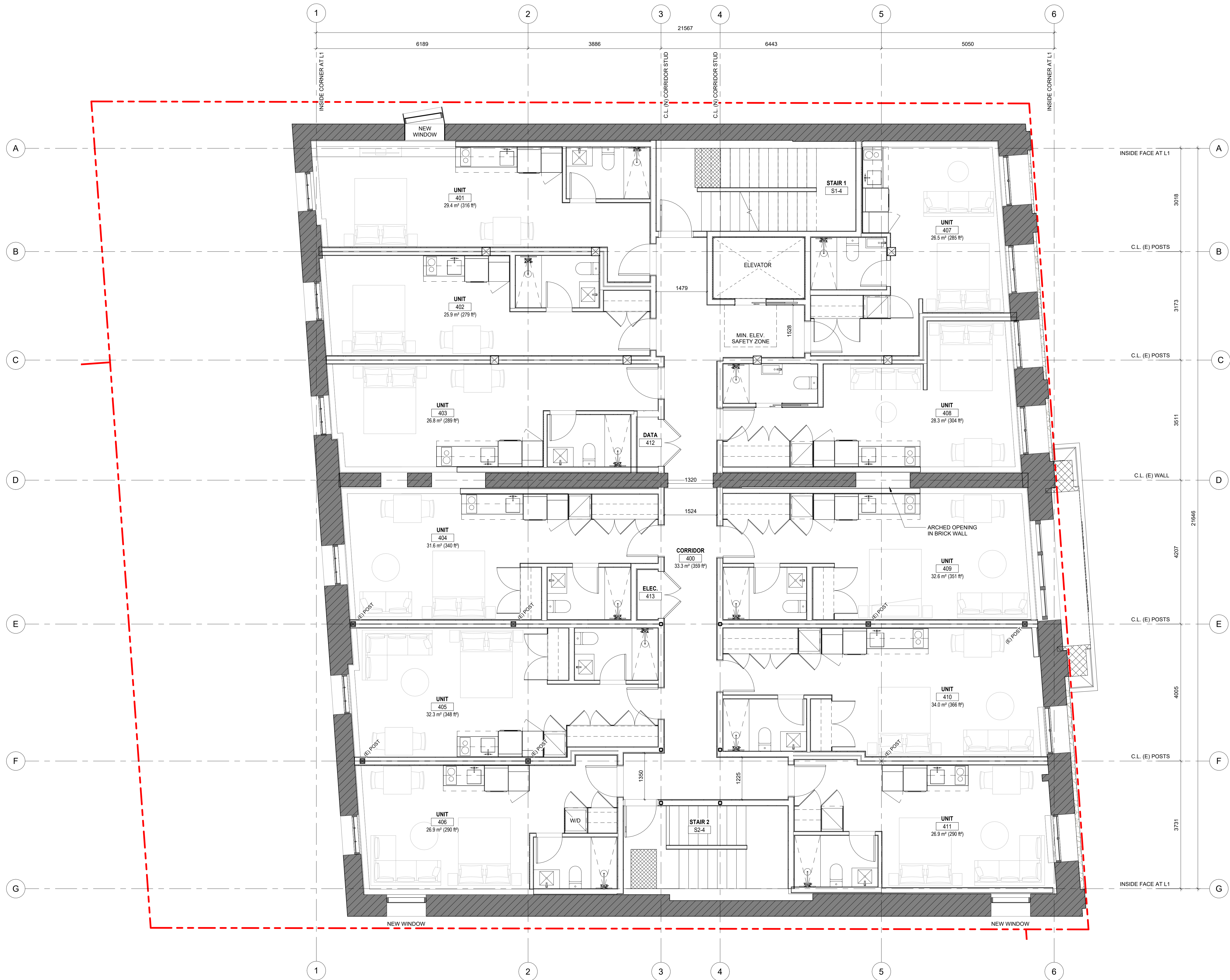
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Scale  
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Project #  
 2011

Revision  
 Sheet #  
**A 102**





16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
NO.	DESCRIPTION	DATE

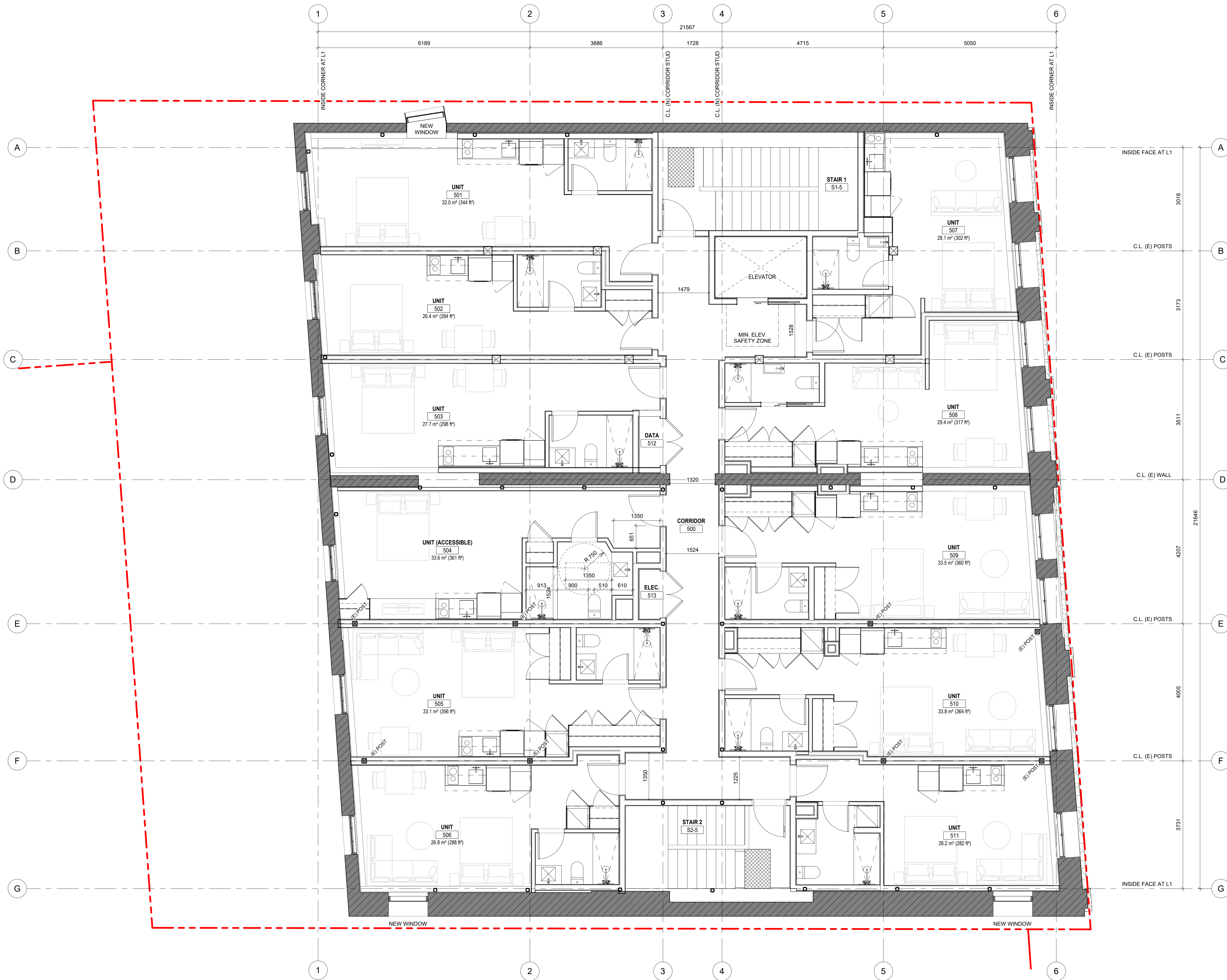


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Project	1244 Wharf Street	
	Salient Group	
Sheet Name	LEVEL 4 - PROPOSED LAYOUT	
Date	2024-02-13 4:15:50 PM	
Scale	1 : 50	Project # 2011
		Revision
		Sheet #
		<b>A 103</b>





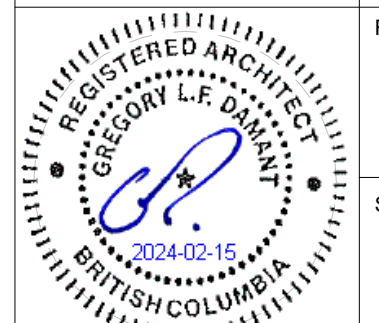
13	Development Tracker	Nov. 20, 2023
19	Delegated HAP Application	April 28, 2022
1	Floor Plans - Office	March 8, 2021
NO.	DESCRIPTION	DATE

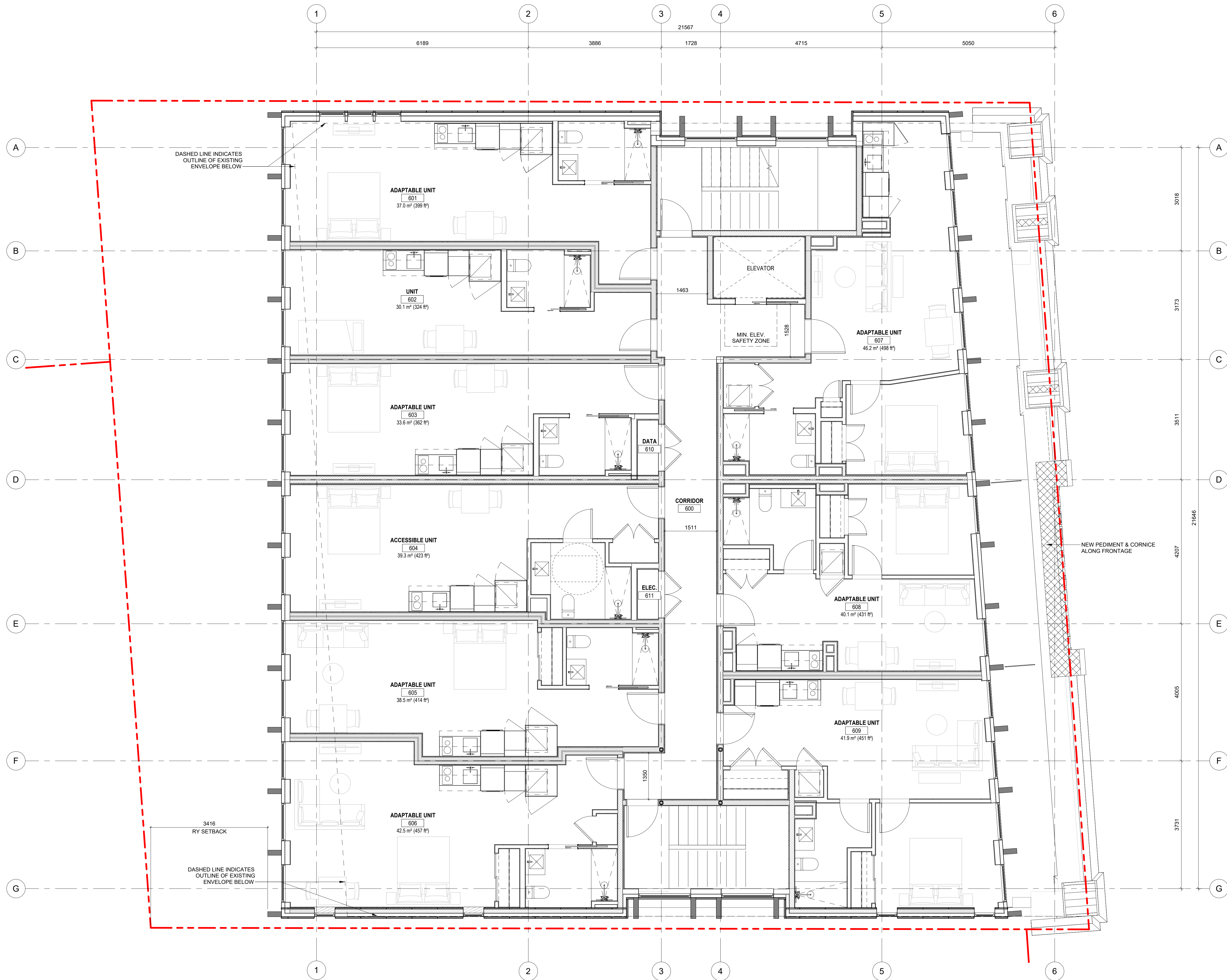


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Project	1244 Wharf Street	
	Salient Group	
Sheet Name	LEVEL 5 - PROPOSED LAYOUT	
Date	2024-02-13 4:15:53 PM	
Scale	1 : 50	Project # 2011
	Revision	
	Sheet #	A 104





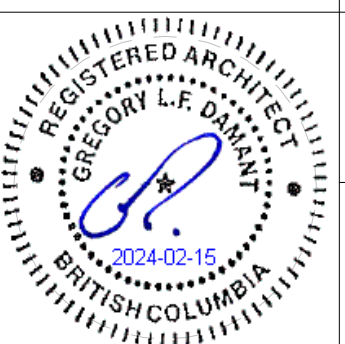
16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
NO.	DESCRIPTION	DATE

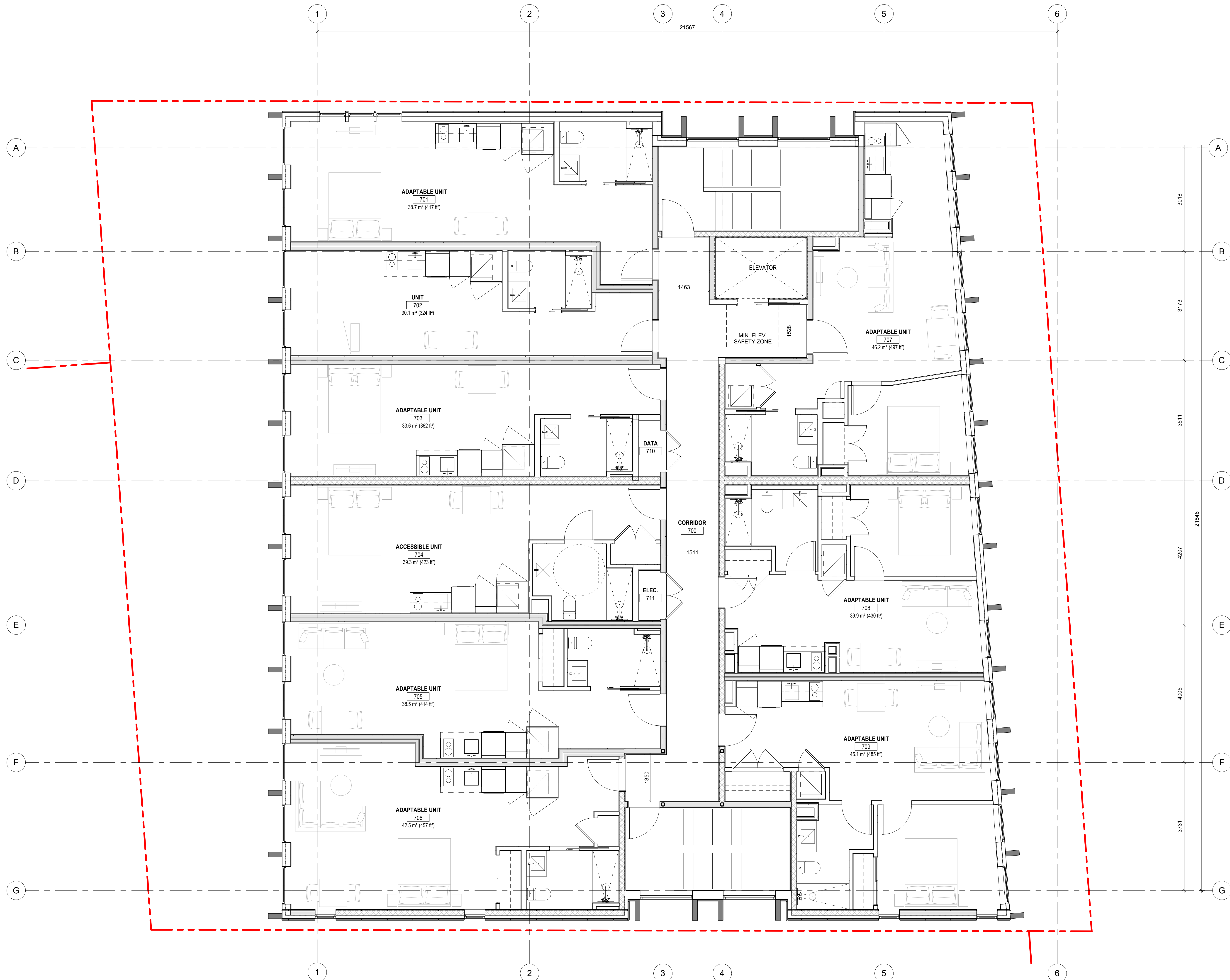


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Project	1244 Wharf Street	
	Salient Group	
Sheet Name	LEVEL 6 - PROPOSED LAYOUT	
Date	2024-02-13 4:15:55 PM	
Scale	1 : 50	Project # 2011
	Revision	
	Sheet #	A 105





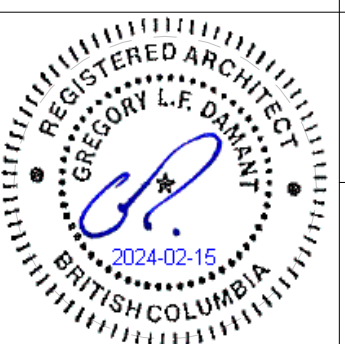
16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
NO.	DESCRIPTION	DATE

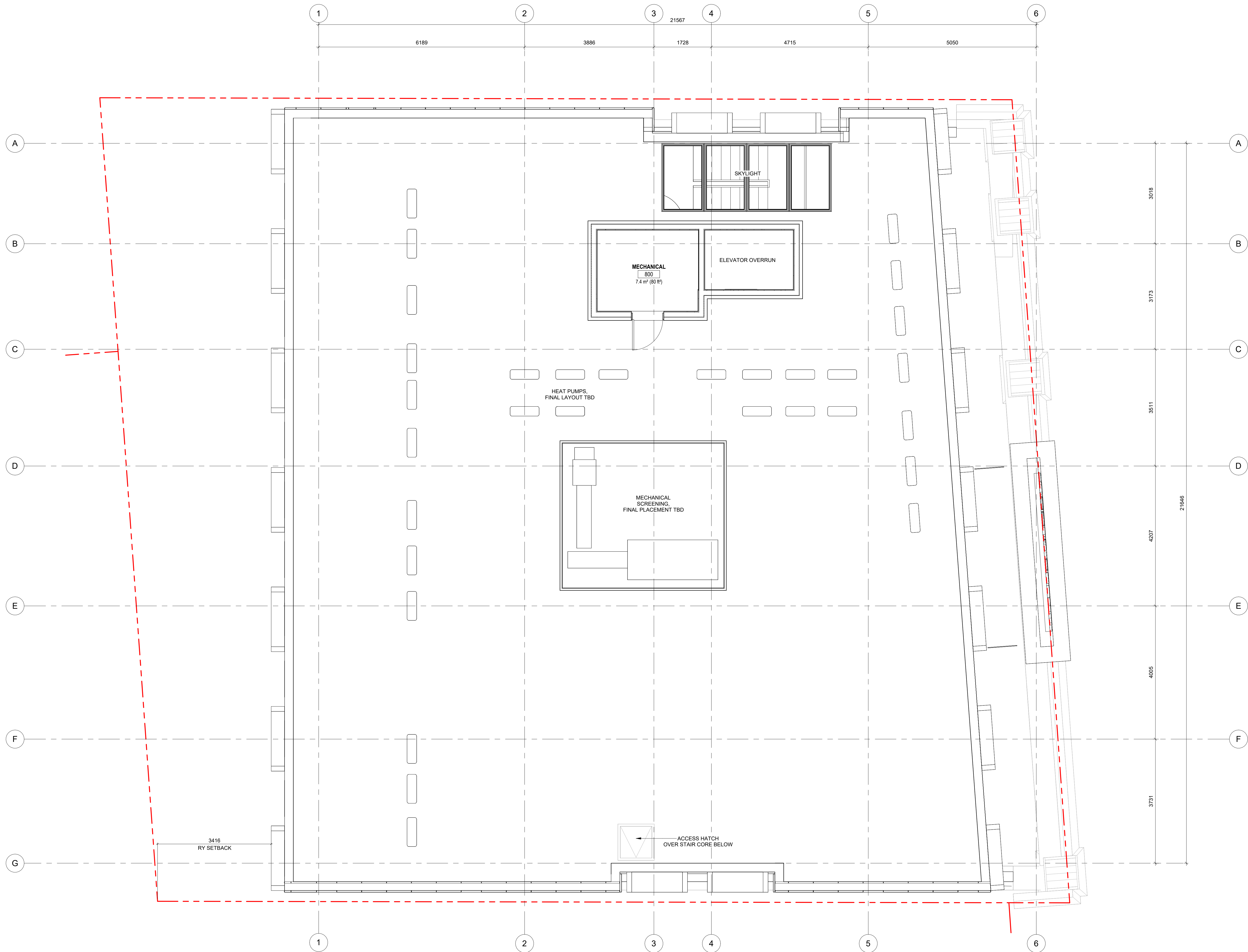


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Project		1244 Wharf Street	
		Salient Group	
Sheet Name		LEVEL 7 - PROPOSED LAYOUT	
Date		2024-02-13 4:15:57 PM	
Scale	1 : 50	Project #	2011
Revision			
Sheet #		A 106	





16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
NO.	DESCRIPTION	DATE



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Project  
**1244 Wharf Street**  
 Salient Group

Sheet Name  
**ROOF PLAN**

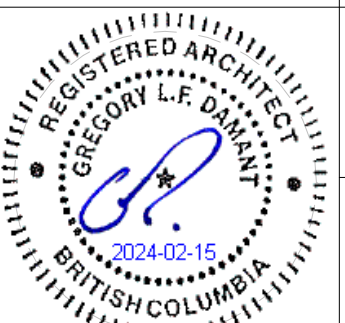
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Scale  
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Project #  
 2011

Revision

Sheet #  
**A 107**



**MATERIALS LEGEND**

REFER TO CONSERVATION PROCEDURES & SPECIFICATIONS BEFORE COMMENCING WORK. SCOPE OF HERITAGE WORK LEGALLY PROTECTED.

COLORS SPECIFIED IN LIST WILL REQUIRE TESTING ON BUILDING PRIOR TO CONFIRMING THE FINAL COLOUR SELECTION.

- ① EXISTING BRICK - NEW PAINT - DARK RED FLAT FINISH
- ② EXISTING BRICK - NEW PAINT - FLAT FINISH
- ③ EXISTING BRICK - RETAIN (NO NEW PAINT)
- ④ EXISTING SANDSTONE (ENTRY ARCH, SPRINGING BLOCKS, KEYSTONES, STRING COURSES, BASE BLOCKS, CORNICES) - EXISTING PAINT FINISH STRIPPED, REPAIR AS REQUIRED & NEW MINERAL PAINT TO MATCH COLOR OF SANDSTONE
- ⑤ EXISTING STONE ASHLAR FOUNDATION - RETAIN AND REPAIR AS REQUIRED
- ⑥ EXISTING MURAL ON STUCCO RAINSCREEN -
- ⑦ EXISTING & NEW WINDOW SASH & FRAME - NEW PAINT - DARK GREEN SEMI-GLOSS FINISH

NEW WINDOWS WILL MATCH FORM, MATERIAL & DETAILING OF REASONABLE EXISTING VERSIONS. SCOPE OF EXISTING WINDOW REPAIR & REPAIRING BETWEEN OWNER & VINTAGE WOODWORKS INC.

- ⑧ EXISTING IRONWORK FIRE SHUTTERS - RETAIN & REPAIR AS REQUIRED. NEW PAINT TO MATCH EXISTING GREY COLOUR
- ⑨ RESTORED SHEET METAL BALCONY - NEW PAINT - FLAT FINISH
- ⑩ EXISTING WOODWORK - RETAIN & REPAIR AS REQUIRED. NEW PAINT - HERITAGE CONSULTANT TO REVIEW ON SITE PRIOR TO COMMENCING
- ⑪ EXISTING CAP FLASHING - NEW PAINT - FLAT FINISH. COLOUR ALSO APPLIES TO NEW CAP FLASHINGS & NEW CORNICE & PEDIMENT ALONG FRONT FACADE.
- ⑫ NEW & EXISTING TRANSPARENT GLAZING
- ⑬ NEW METAL - DARK CORTEN STYLE FINISH

NO.	DESCRIPTION	DATE
16	Rezoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023



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Project  
**1244 Wharf Street**  
Salient Group

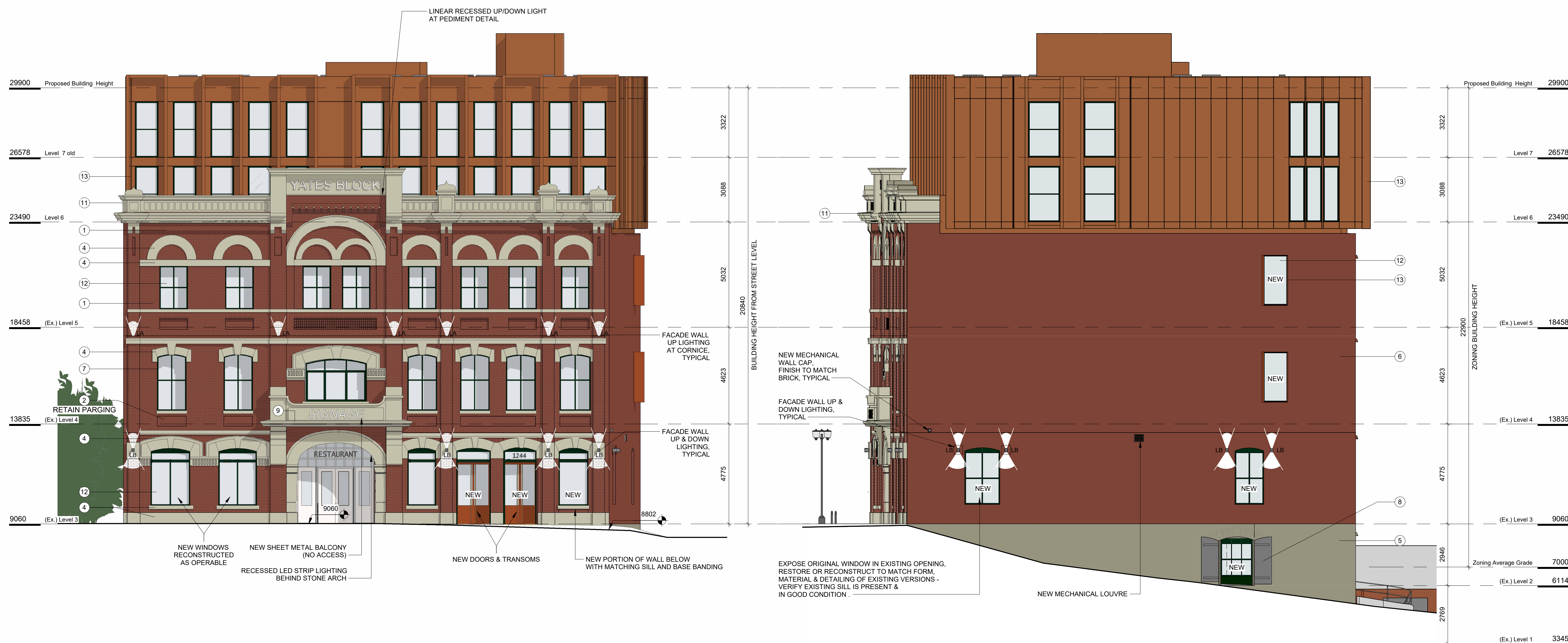
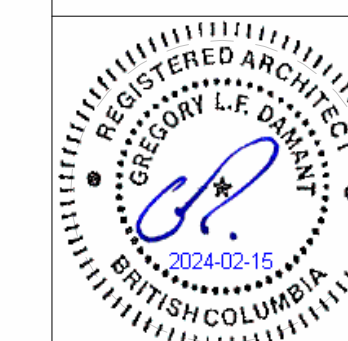
Sheet Name  
**PROPOSED EAST & NORTH ELEVATIONS**

Date  
2024-02-13 4:37:55 PM

Scale  
As indicated

Project #  
2011

Revision  
Sheet #  
**A 200**



**1 EAST ELEVATION - PROPOSED**  
SCALE = 1 : 100

**2 NORTH ELEVATION - PROPOSED**  
SCALE = 1 : 100

**MATERIALS LEGEND**

REFER TO CONSERVATION PROCEDURES & SPECIFICATIONS BEFORE COMMENCING WORK. SCOPE OF HERITAGE WORK LEGALLY PROTECTED.

COLORS SPECIFIED IN LIST WILL REQUIRE TESTING ON BUILDING PRIOR TO CONFIRMING THE FINAL COLOUR SELECTION.

- ① EXISTING BRICK - NEW PAINT - DARK RED FLAT FINISH
- ② EXISTING BRICK - NEW PAINT - FLAT FINISH
- ③ EXISTING BRICK - RETAIN (NO NEW PAINT)
- ④ EXISTING SANDSTONE (ENTRY ARCH, SPRINGING BLOCKS, KEYSTONES, STRING COURSES, BASE BLOCKS, CORNICES) - EXISTING PAINT FINISH STRIPPED, REPAIR AS REQUIRED & NEW MINERAL PAINT TO MATCH COLOR OF SANDSTONE
- ⑤ EXISTING STONE ASHLAR FOUNDATION - RETAIN AND REPAIR AS REQUIRED
- ⑥ EXISTING MURAL ON STUCCO RAINSCREEN -
- ⑦ EXISTING & NEW WINDOW SASH & FRAME - NEW PAINT - DARK GREEN SEMI-GLOSS FINISH

NEW WINDOWS WILL MATCH FORM, MATERIAL & DETAILING OF REASONABLE EXISTING VERSIONS. SCOPE OF EXISTING WINDOW REPAIR & REPAINTING BETWEEN OWNER & VINTAGE WOODWORKS INC.

- ⑧ EXISTING IRONWORK FIRE SHUTTERS - RETAIN & REPAIR AS REQUIRED. NEW PAINT TO MATCH EXISTING GREY COLOUR
- ⑨ RESTORED SHEET METAL BALCONY - NEW PAINT - FLAT FINISH
- ⑩ EXISTING WOODWORK - RETAIN & REPAIR AS REQUIRED. NEW PAINT - HERITAGE CONSULTANT TO REVIEW ON SITE PRIOR TO COMMENCING
- ⑪ EXISTING CAP FLASHING - NEW PAINT - FLAT FINISH  
COLOUR ALSO APPLIES TO NEW CAP FLASHINGS & NEW CORNICE & PEDIMENT ALONG FRONT FACADE.
- ⑫ NEW & EXISTING TRANSPARENT GLAZING
- ⑬ NEW METAL - DARK CORTEN STYLE FINISH

NO.	DESCRIPTION	DATE
16	Rezoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023



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Project		1244 Wharf Street	
		Salient Group	
Sheet Name		PROPOSED WEST & SOUTH ELEVATIONS	
Date		2024-02-13 4:16:39 PM	
Scale	As indicated	Project #	2011
Revision			
Sheet #		A 201	



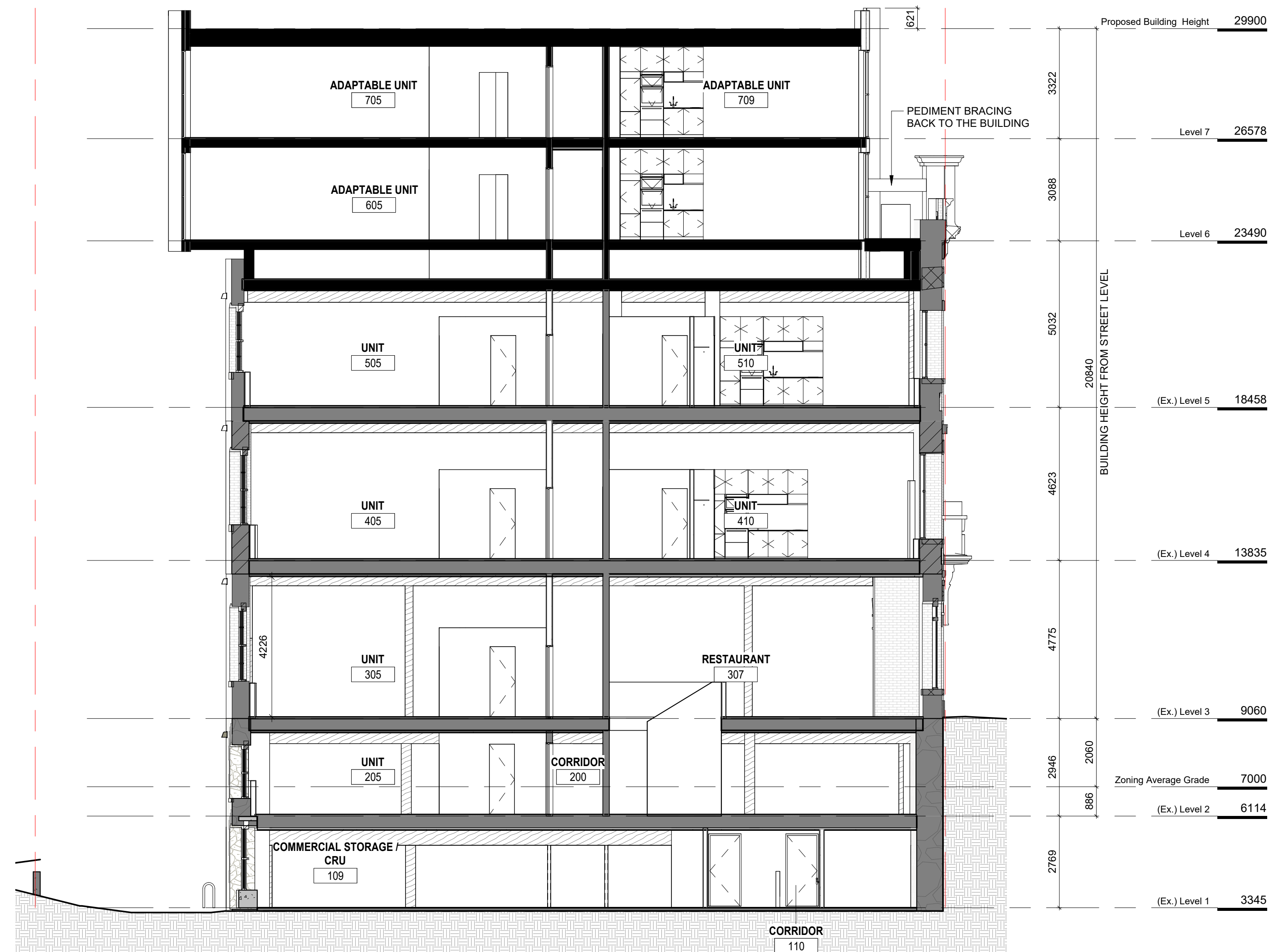
① WEST ELEVATION - PROPOSED  
SCALE = 1 : 100



② SOUTH ELEVATION - PROPOSED  
SCALE = 1 : 100



1 BUILDING SECTION 1  
SCALE = 1 : 100



2 BUILDING SECTION 2  
SCALE = 1 : 100

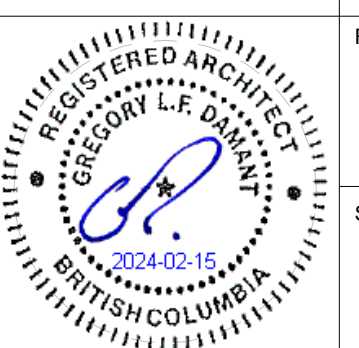
16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
NO.	DESCRIPTION	DATE



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Project		1244 Wharf Street	
		Salient Group	
Sheet Name		BUILDING SECTIONS	
Date		2024-02-13 4:16:42 PM	
Scale	1 : 100	Project #	2011
Revision			
Sheet #		A 300	





1 CONTEXT ELEVATION  
SCALE = 1 : 150

16	Reasoning & HAP	Feb. 14, 2024
13	Development Tracker	Nov. 20, 2023
NO.	DESCRIPTION	DATE



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Project  
1244 Wharf Street  
Salient Group

Sheet Name  
CONTEXT ELEVATIONS

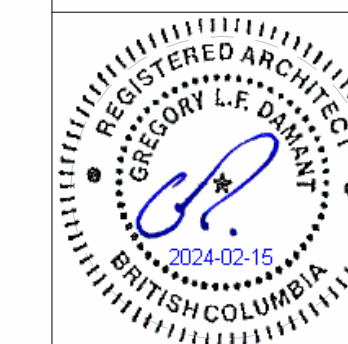
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Scale  
1 : 150

Project #  
2011

Revision

Sheet #  
A 301





**DETAILED CONSTRUCTION NOTES:**

- (A) EXISTING 150mm SANITARY SEWER SERVICE TO REMAIN IN USE. CAMERA INSPECTED AND DETERMINED TO BE CLEAR AND IN GOOD REPAIR.
- (B) EXISTING FIRE SERVICE INSIDE BUILDING IN EXCELLENT CONDITION AND TO REMAIN. NEW 100mm DOMESTIC WATER SERVICE BY CoV FORCES PER CoV STD DWG SD W2K. EXISTING 50mm DOMESTIC WATER CONNECTION TO BE ABANDONED.
- (C) EXISTING 150MM STORM CONNECTION TO REMAIN IN USE. SERVICE CONNECTION HAS BEEN VIDEO INSPECTED AND IS IN GOOD CONDITION.
- (D) NEW SIDEWALK ON FRONTAGE. EXISTING CURB AND GUTTER TO BE REPLACE WITH MOUNTABLE CURB PER MMCD STD DWG C4. SIDEWALK FINISH TO BE CAST IN PLACE CONCRETE WITH TROWEL PATTERN AND BROOM FINISH PER CoV STREET SCAPE STANDARDS FOR "INNER HARBOR". GRADE OF SIDEWALK TO ALWAYS SLOPE AWAY FROM BUILDING AT EXISTING ELEVATIONS. ALL STREET FURNITURE, LIGHTING, PULL BOXES, METER LIDS AND ANY OTHER APPURTENANCES WITHIN THE SIDEWALK TO BE SET TO NEW GRADES.
- (E) ASPHALT TO BE CUT 1m OFFSET FROM PROPOSED GUTTER LINE. 42m<sup>2</sup> NEW ASPHALT AT 50mm MIN OR MATCH EXISTING ASPHALT THICKNESS; WHICHEVER IS GREATER. LAP JOINT TO BE USED TO TIE TO EXISTING ASPHALT TO EXTEND TO BIKE LANE CENTERLINE. ANY PAINT MARKINGS REMOVED DURING THE PROCESS TO BE REINSTATED.
- (F) NEW THERMOPLASTIC STOP BAR AND PAINTED CENTERLINE TAG LINE. ERADICATE ANY EXISTING PAINT FROM EXISTING STOP BAR. PAINT TYPES TO BE APPROVED BY CoV ENGINEERING PRIOR TO APPLICATION.
- (G) SOUTHERN 61m<sup>2</sup> SECTION OF SIDEWALK TO BE FINISHED IN ACCORDANCE WITH CoV INNER HARBOR STANDARDS. SEE DETAIL SHEET C02.
- (H) CORNER 43m<sup>2</sup> SECTION OF SIDEWALK TO BE FINISHED IN CONCRETE BROOM FINISH OR HERRINGBONE BRICK FINISH ACCORDANCE WITH DOWNTOWN PUBLIC REALM STANDARDS. FINISH STYLE AT OWNERS DISCRETION.
- (I) BASALT STREET NAME BANDS TO BE INSTALLED IN ACCORDANCE WITH DOWNTOWN PUBLIC REALM STANDARDS AT PROJECT OWNERS DISCRETION.
- (J) BIKE RACKS TO BE REINSTALLED IN EXISTING LOCATION.

**1. GENERAL NOTES**

- 1.1. ALL CONSTRUCTION AND MATERIALS WITHIN MUNICIPAL RIGHT-OF-WAYS TO BE IN ACCORDANCE WITH THE MUNICIPAL ENGINEERING SPECIFICATIONS AND STANDARD DRAWINGS AND THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) PLATINUM EDITION - VOLUME II. WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- 1.2. ALL WORKS ON PRIVATE PROPERTY (ONSITE) TO BE AS PER THE LATEST BC BUILDING CODE AND ARE TO BE INSPECTED BY THE MUNICIPAL PLUMBING OR BUILDING INSPECTOR. A PLUMBING PERMIT IS REQUIRED.
- 1.3. CONTRACTOR TO OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE MUNICIPALITY 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
- 1.4. CONTRACTOR SHALL SUBMIT EMERGENCY CONTACT NUMBERS TO THE MUNICIPALITY A MINIMUM OF 48 HRS PRIOR TO THE START OF CONSTRUCTION.
- 1.5. CONTRACTOR TO MAINTAIN AN UP-TO-DATE SET OF AS-CONSTRUCTED DRAWINGS. DRAWINGS TO BE DELIVERED TO THE ENGINEER PRIOR TO SUBSTANTIAL PERFORMANCE.
- 1.6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION LAYOUT, MEANS, METHODS, TECHNIQUES, PROCEDURES, AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.
- 1.7. CONTRACTOR TO ENSURE EXISTING MONUMENTS AND IRON PINS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS OR IRON PINS IN DANGER OF DISTURBANCE SHALL BE REFERENCED AND, IF DISTURBED, REPLACED BY A BOLS AT THE DEVELOPER'S EXPENSE.
- 1.8. CONTRACTOR TO PROVIDE A MINIMUM OF 24 HRS NOTICE PRIOR TO INSPECTION OR WITNESS TESTS.

**2. TRAFFIC MANAGEMENT**

- 2.1. THE CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN AT ANY TIME REQUIRED BY THE CITY OF VICTORIA AND DURING AND STREET OCCUPATION FOR CONSTRUCTION. STREET OCCUPANCY PERMITS MAY BE REQUIRED.
- 2.2. THE CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES UNLESS OTHERWISE PERMITTED BY THE CITY.

**3. CONCRETE WORKS**

- 3.1. THE CONTRACTOR SHALL COORDINATE INSPECTION OF ANY CONCRETE FORMWORK SUCH AS CURBS OR SIDEWALKS PRIOR TO PLACING CONCRETE. FORMWORK MUST BE APPROVED BY THE ENGINEER OF RECORD AND CoV STAFF.

**4. ENVIRONMENTAL PROTECTION**

- 4.1. TO PROTECT THE SOIL, WATER, AND VEGETATIVE RESOURCES OF THE DEVELOPMENT ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION OF THE WORKS AND SERVICES CONTAINED IN THE ENGINEERING DRAWINGS ARE TO BE DISTURBED.

PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR CONTROLLING EROSION AND SEDIMENT TRANSFER BY UTILIZING SUCH MEASURES AS CONSTRUCTION OF INTERCEPTOR DITCHES, SILT FENCES, HAY BALE STRUCTURES, SEDIMENT CONTROL PONDS, SEDIMENT TRAPS, STAGED GRAVEL FILTERS, OR OTHER METHODS HE MAY DEEM NECESSARY TO PREVENT DISCHARGE OF SEDIMENT INTO WATERCOURSES.

THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR DAMAGES RESULTING FROM IMPROPER EROSION AND SEDIMENT CONTROL MEASURES UNDERTAKEN BY THE CONTRACTOR.

- 4.2. ENVIRONMENTAL PROTECTION MEASURES TO BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.

- 4.3. CONTRACTOR TO OBTAIN PERMIT PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY.

**5. HYDRO/TELEPHONE/CABLE/STREETLIGHTING**

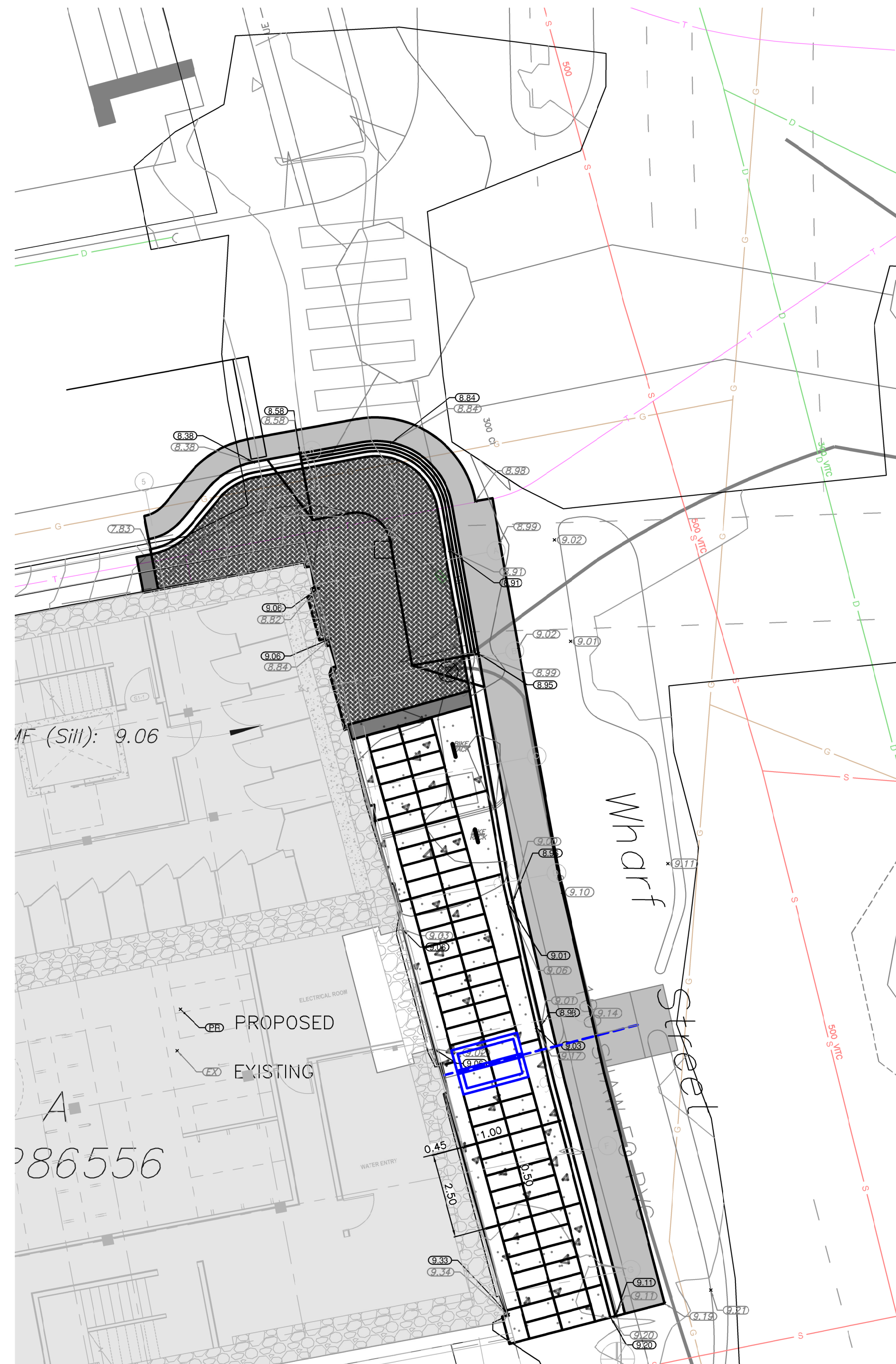
- 5.1. HYDRO/TEL/CABLE SERVICING AS EXISTING SHALL REMAIN - BY OTHERS

**6. QUALITY ASSURANCE TESTING**

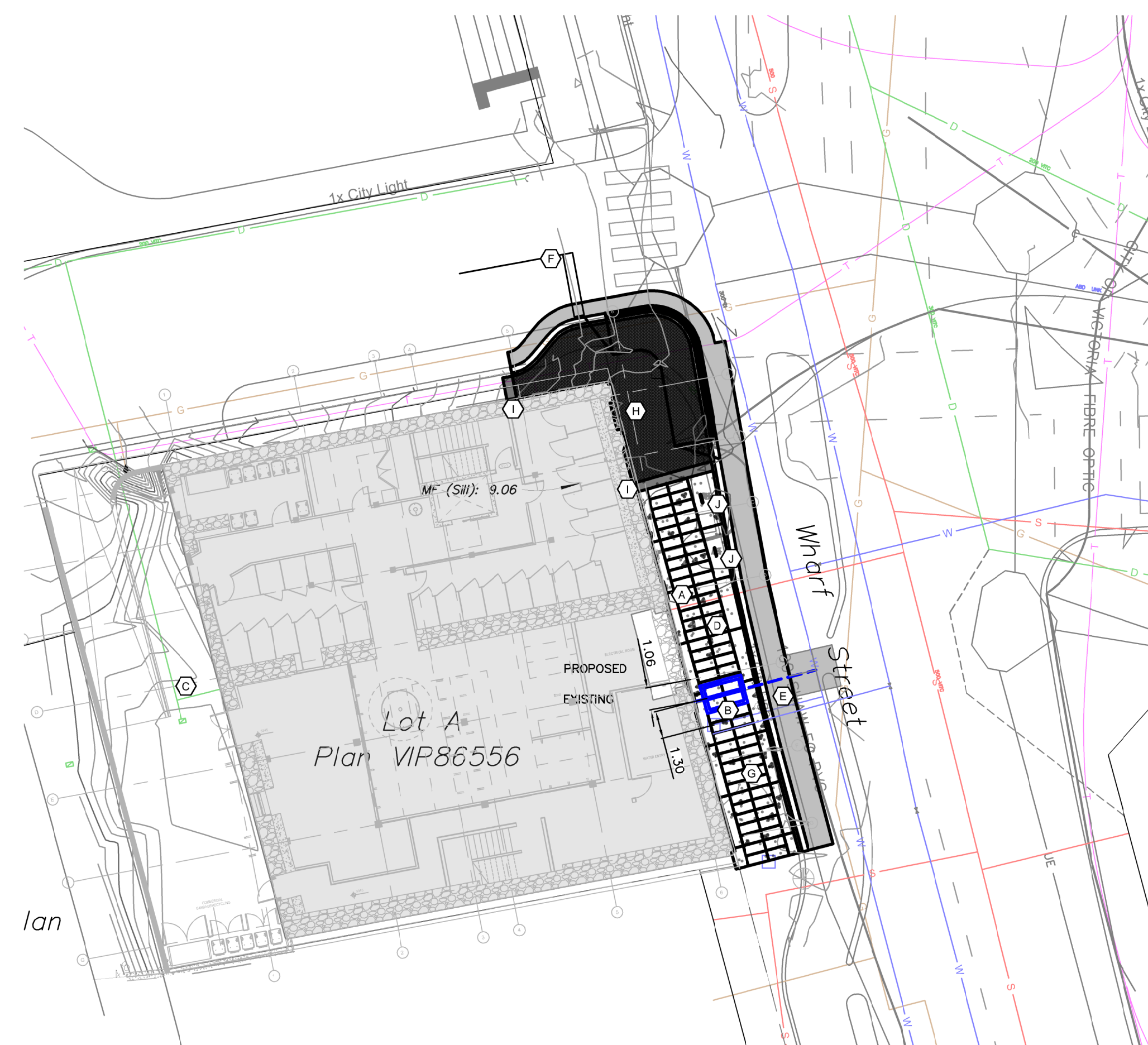
- 6.1. CONTRACTOR SHALL RETAIN AND PAY THE SERVICES OF A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEER FOR QUALITY ASSURANCE TESTING DURING CONSTRUCTION IN MUNICIPAL RIGHT-OF-WAY AS NECESSARY PROVIDE:
  - a) SIEVE ANALYSIS OF SANDS AND AGGREGATES TO BE USED IN THE WORK
  - b) STANDARD PROCTOR DENSITY CURVES FOR BACKFILL MATERIALS
  - c) STANDARD PROCTOR DENSITY CURVES FOR APPROVED BORROW MATERIALS
  - d) COMPACTION TESTS:
    - 1) TRENCH BEDDING (MAINLINE) - ONE FOR EVERY 75 M OF TRENCH
    - 2) TRENCH BACKFILL (MAINLINE) - ONE FOR EVERY 75 M OF TRENCH
    - 3) TRENCH BEDDING (SERVICE) - ONE PER DAY
    - 4) TRENCH BACKFILL (SERVICE) - ONE PER DAY
  - e) GRANULAR BASE (SIDEWALKS/CURBS/GUTTER) - ONE FOR EVERY 50m
  - f) CONCRETE MIX DESIGN
  - g) CONCRETE STRENGTH TESTS
    - 1) ONE PER 150m OF SIDEWALK AND/OR CURB AND GUTTER. MINIMUM OF ONE PER DAY DURING CONCRETE PLACING.
  - h) ASPHALT MIX DESIGN
  - i) ASPHALT TESTING
    - 1) AGGREGATE GRADATION TESTS - ONE PER EACH 300 TONNES OF PRODUCTION (MINIMUM ONE PER DAY DURING ASPHALT PLACEMENT).
    - 2) MARSHALL TEST - THREE BRIQUETTES FOR EVERY 300 TONNES OF PRODUCTION (MINIMUM ONCE PER DAY DURING ASPHALT PLACEMENT)
    - 3) COMPACTION - ONE CORE FOR EACH 500 SQ. M.

**7. TRENCHING, EXCAVATING AND BACKFILLING**

- 7.1. EXISTING UTILITIES SHOWN ARE AS PER MUNICIPAL RECORDS. THE CONTRACTOR SHALL EXPOSE ALL CROSSINGS PRIOR TO COMMENCING CONSTRUCTION. SHOULD ANY CONFLICT OR DISCREPANCIES ARISE, THE CONTRACT SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- 7.2. CONTRACTOR TO OBTAIN PERMIT PRIOR TO DEPOSIT OR REMOVAL OF MATERIALS ON THIS SITE.
- 7.3. ALL SERVICES SHALL BE INSPECTED BY THE ENGINEER AND/OR MUNICIPAL INSPECTOR PRIOR TO BACKFILLING.
- 7.4. CONTRACTOR TO ENSURE EXISTING SERVICES REMAIN IN SERVICE DURING CONSTRUCTION.

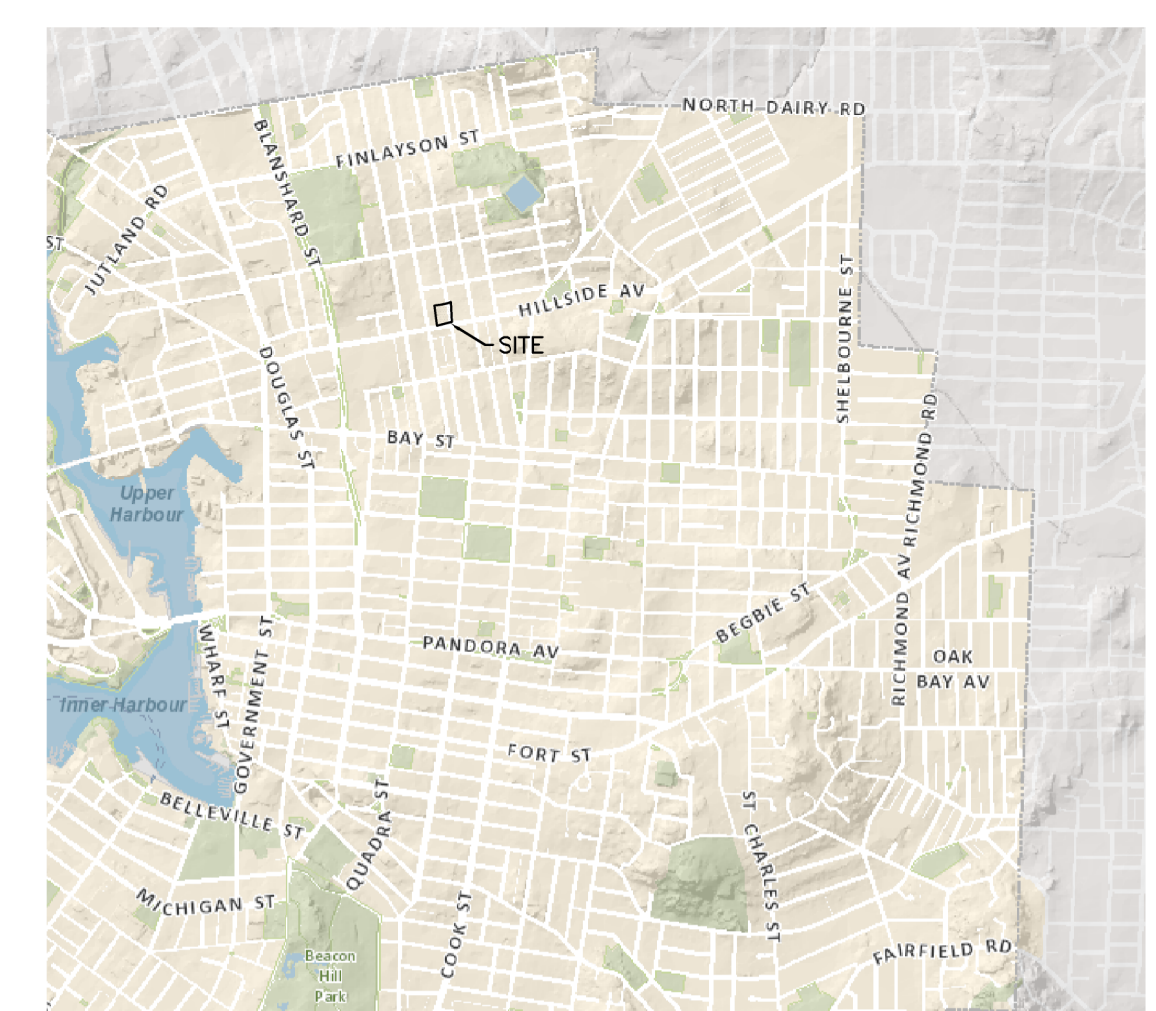


GRADEING DETAILS\_H 1:100



SITE PLAN H 1:200

WORKS AND SERVICES CHECK TABLE				
	PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
		NAME	SIGNATURE	
UTILITY	BC HYDRO ELECTRIC			
	TELUS			
	FORTIS BC			
MUNICIPAL	SHAW CABLE			
	UNDERGROUND			
	PARKS			
	TRANSPORTATION			
	LAND DEVELOPMENT			



KEY PLAN NTS

SEPT 18 2023  
DRAFT

Civic address: 1244 Wharf Street  
Parcel Identifier Number 027-882-853  
Datum CVD 28 BC  
OCM 17 - 30

September 8, 2023 / K:\Dropbox\BFE Eng\Projects\2004 - 1244 Wharf - Base.dwg

ISSUE		REVISION	
NO.	DESCRIPTION	YYYYMMDD	ENG DES CHK
A	ISSUE FOR REVIEW	2023/09/18	CW CW

 <b>MSR SOLUTIONS INC.</b> INNOVATIVE ENGINEERING SERVICES 125 - 662 GOLDSTREAM AVENUE, VICTORIA B.C. V8B 0N8 OFFICE: (250) 479 - 5164 FAX: 888-277-2816 info@msrsolutions.ca www.msrsolutions.ca	<b>ENGINEER OF RECORD</b>  <b>CIVIL CONSULTANT</b> <b>BIG FISH ENDEAVORS LTD.</b> CIVIL ENGINEERING - LAND DEVELOPMENT DRONE SURVEY - PHOTOGRAMMETRY 824 LESLIE DRIVE, VICTORIA BC V8X2Y4 250 888 0365 CARL@BIGFISHENDEAVORS.CA	<b>SALIENT GROUP</b>  <b>1244 WHARF STREET</b>  <b>SITE PLAN AND GRADEING</b>  <b>2004 C01</b>

