



Contacts

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Civil

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C-002	Site Servicing

Hampton Inn Downtown Victoria / 603 Pandora Ave Victoria, BC



2960 Jutland Road
Victoria BC Canada V8T5K2
tel 250.384.2400
eml mail@daustudio.ca
web www.daustudio.ca

Rezoning and Development Permit Application

Issued for Development Permit, Rezoning,
& OCP Amendment - Revision Set
April 5, 2024

REVISION SUMMARY

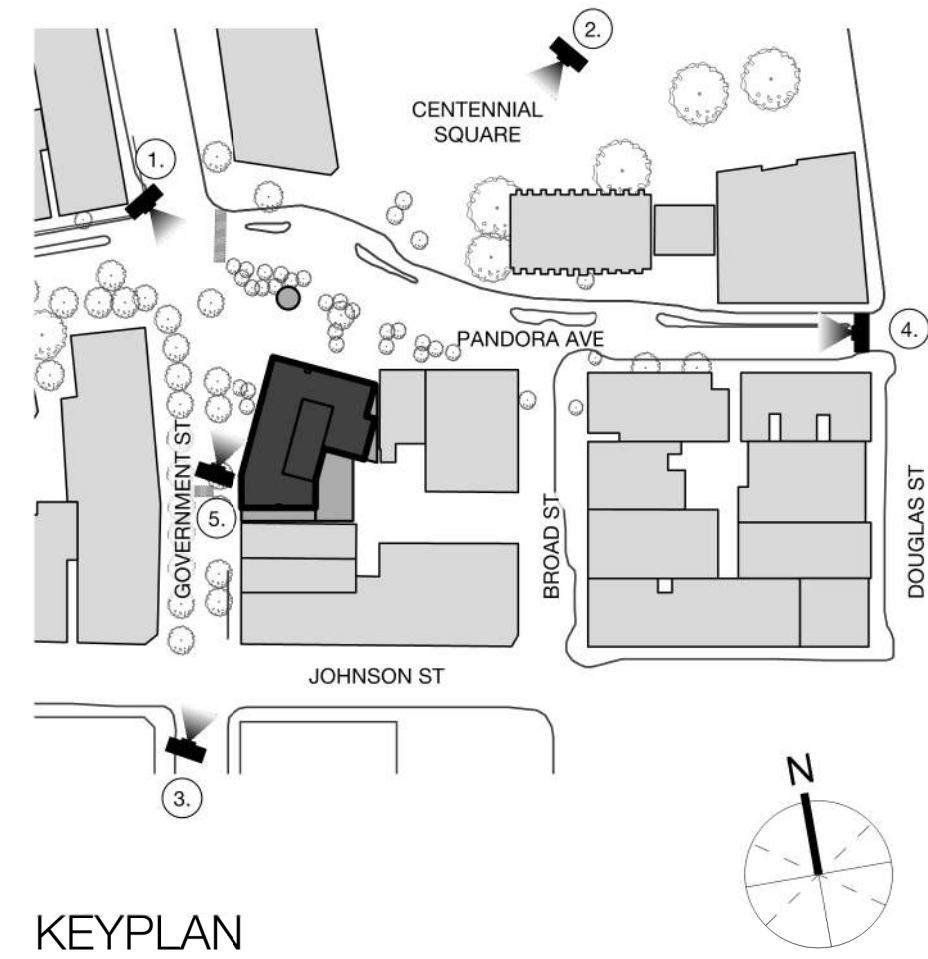
1. Revised Project Data including refinement to the average grade calculation and updated calculations for gross floor area and floor space ratio, (note the updated calculations reflect area take-offs internal to the building and do not impact the building massing).
2. Design refinement to the main hotel entrance to more clearly define the entry.
3. Level 3 to Level 12 façade refinements balancing horizontal and vertical elements, emphasizing the recessed depth for the windows, and creating a stronger vertical element at the main corner.





2024-04-08

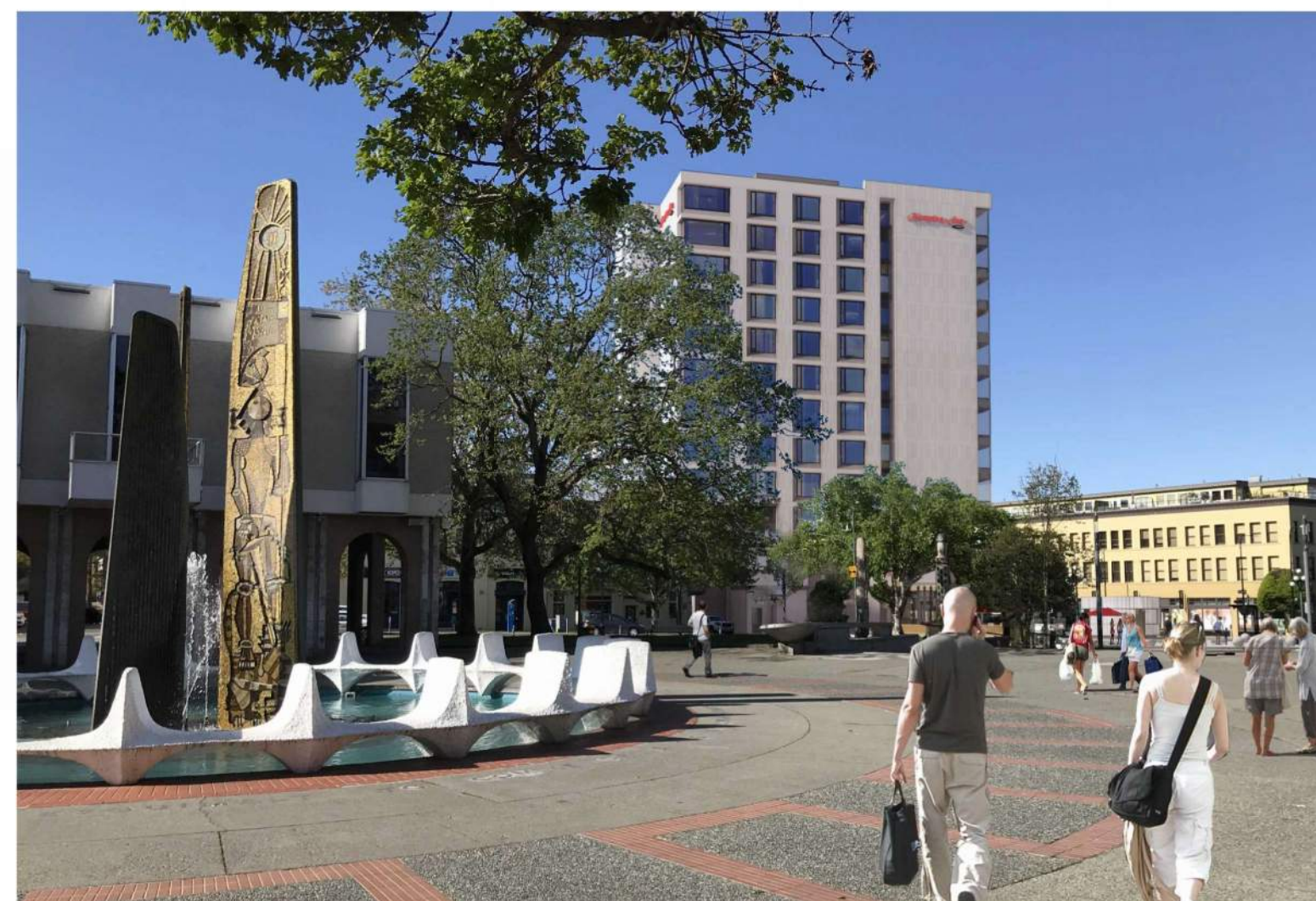
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KEYPLAN



1. VIEW FROM ACROSS PANDORA AVE & GOVERNMENT STREET



2. VIEW FROM CENTENNIAL SQUARE



3. VIEW LOOKING NORTH ALONG GOVERNMENT STREET



4. VIEW LOOKING WEST ALONG PANDORA AVE

1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date

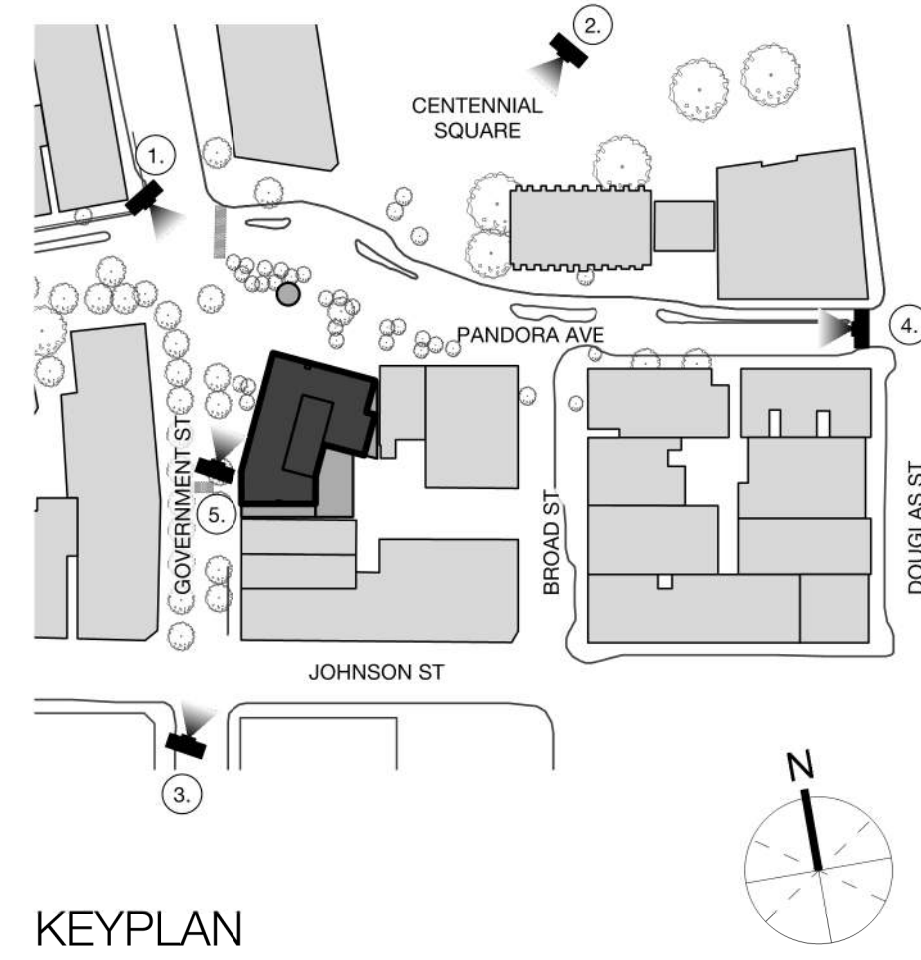
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Rendered Views

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	as noted
drawn by	JA/JB
checked by	ES

revision no.	sheet no.
	A1.0



KEYPLAN



5. STREET LEVEL ON GOVERNMENT STREET



SECTION DETAIL / PERSPECTIVE

RENDERED AERIAL VIEW



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1	Rezoning / DP	2024/04/05
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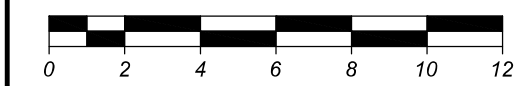
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TOPOGRAPHIC PLAN OF LOT 1, PLAN 7110 AND PARTS OF LOTS 661, 662 AND 663, ALL IN VICTORIA CITY.

BCGS MAP SHEET 92B.044



The intended plot size of this plan is 432mm in width by 559mm in height (C-Size) when plotted at a scale of 1:200.

All distances and elevations are in metres and decimals thereof, unless otherwise noted.

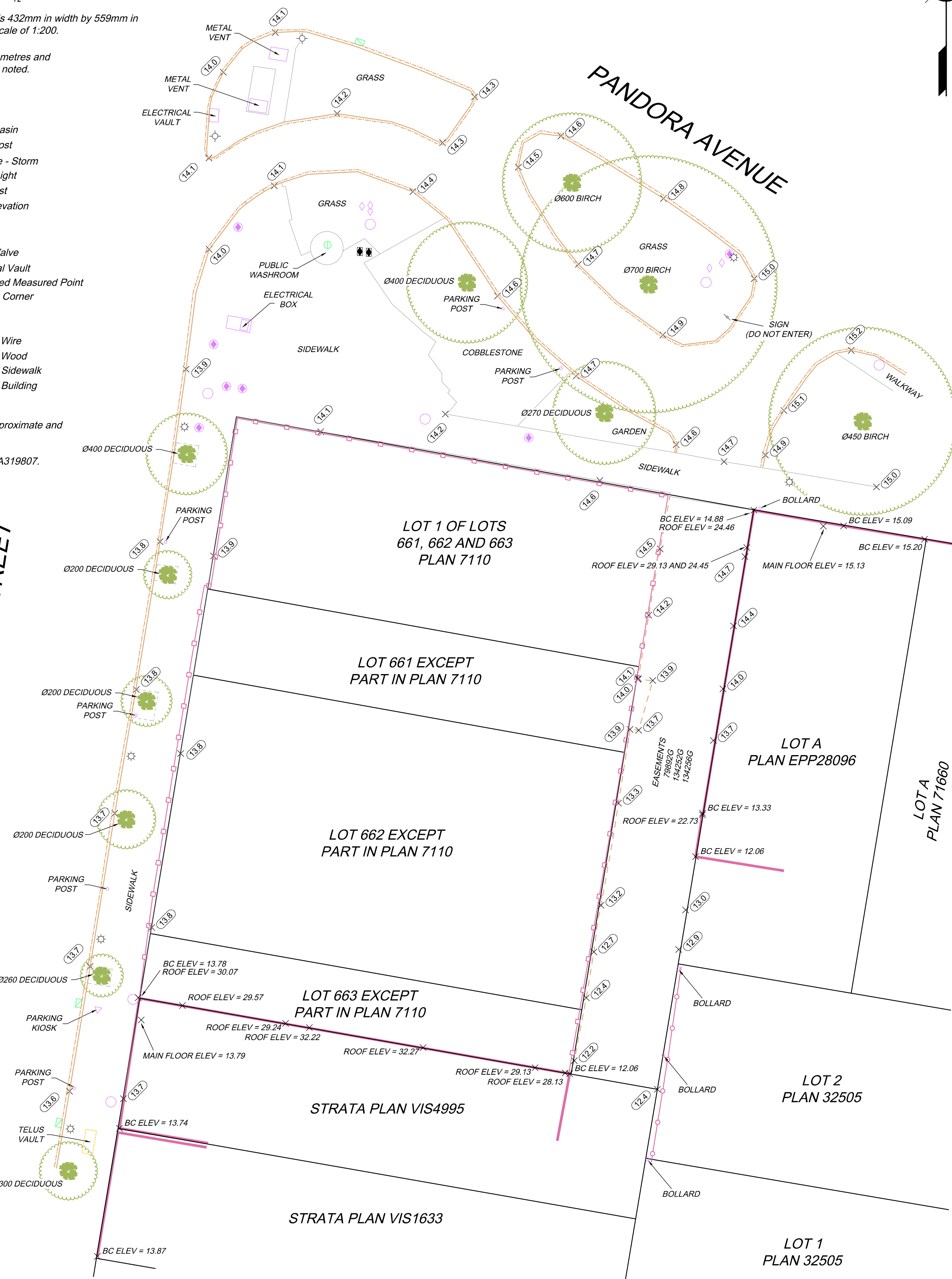
LEGEND

- denotes Drain
- denotes Catch Basin
- denotes Lamp Post
- denotes Manhole - Storm
- denotes Traffic Light
- denotes Sign Post
- denotes Spot Elevation
- denotes Tree
- denotes Valve
- denotes Water Valve
- denotes Electrical Vault
- denotes Unmarked Measured Point
- denotes Building Corner
- denotes Curb
- denotes Gutter
- denotes Fence - Wire
- denotes Fence - Wood
- denotes Edge of Sidewalk
- denotes Edge of Building
- denotes Dripline

Note: Boundaries as shown are approximate and subject to further investigation.

Parcels are subject to Covenant CA319807.

GOVERNMENT STREET



Mailing & delivery address:
P.O. Box 261
Brentwood Bay, BC, V8M 1R3

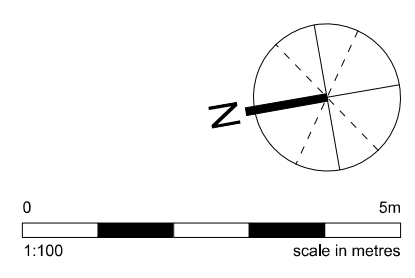
Toll Free: (877) 603 7398
Duncan Telephone: (250) 746 0775
info@plsi.ca
www.plsi.ca

This document shows the relative location of the surveyed buildings and features with respect to the boundaries of the parcel described hereon. This document shall not be used to define property lines or property corners.

Polaris Land Surveying Inc. accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or actions taken based on this document.

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Date: 2020-01-27
File: 1745-01
Drawing: 1745-01-TOPO
Layout: C-Size



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Existing Site Survey

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	as noted
drawn by	JA/JB
checked by	ES
revision no.	sheet no.

A1.2



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Project Data

Legal Address
Lot 1, of Lots 661, 662, and 663, Victoria City, Plan 7110 Remainder Lots 661 - 663, Victoria, Except Those Parts In Plan 7110.

Civic Address
603 Pandora Avenue, Victoria, BC

Zoning (current)
Old Town District-1 Zone (OTD-1)

Site Area
1,490.7 sq.m

Zoning Floor Areas
(measured to exterior face of wall and includes elevator shafts, though excludes rooftop parking decks & concourses)

Level 12:	856.48 m ²	(9,219.1 ft ²)
Level 11:	856.48 m ²	(9,219.1 ft ²)
Level 10:	856.48 m ²	(9,219.1 ft ²)
Level 9:	856.48 m ²	(9,219.1 ft ²)
Level 8:	856.48 m ²	(9,219.1 ft ²)
Level 7:	856.48 m ²	(9,219.1 ft ²)
Level 6:	857.21 m ²	(9,226.9 ft ²)
Level 5:	927.12 m ²	(9,979.4 ft ²)
Level 4:	927.12 m ²	(9,979.4 ft ²)
Level 3:	927.12 m ²	(9,979.4 ft ²)
Level 2:	538.02 m ²	(5,791.2 ft ²)
Level 1:	917.78 m ²	(9,878.9 ft ²)
Total:	10,233.25 m²	(110,149.7 ft²)

Floor Space Ratio
6.86

Average Grade
13.84m Geoidic

Height of Building
Permitted: 15.00m
Proposed: 32.48m - 13.84m = 36.84m
Storeys: 12

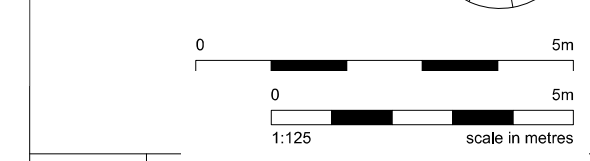
Parking Stalls
Total Provided: 123
(includes 8 accessible stalls of which 2 is to be van accessible)

Bicycle Parking
Number of Class I Spaces: 10 (provided)
Number of Class II Spaces: 10 (provided)

Building Use/Area sq.m	Spaces Required	
	Class I	Class II
Hotel (3,3-12) 158 rooms	8 (1 per 25 rooms)	5 (1 per 40 rooms)
Cafe/Restaurant (CRU 1 & 2) 210.32 m ²	2 (1 per 150m ²)	3 (1 per 100m ²)
Total (required)	10	8

Setbacks

	Required	Provided
East:	0m	0m
South:	0m	0m
West:	0m	0m
North:	0m	-2.87m



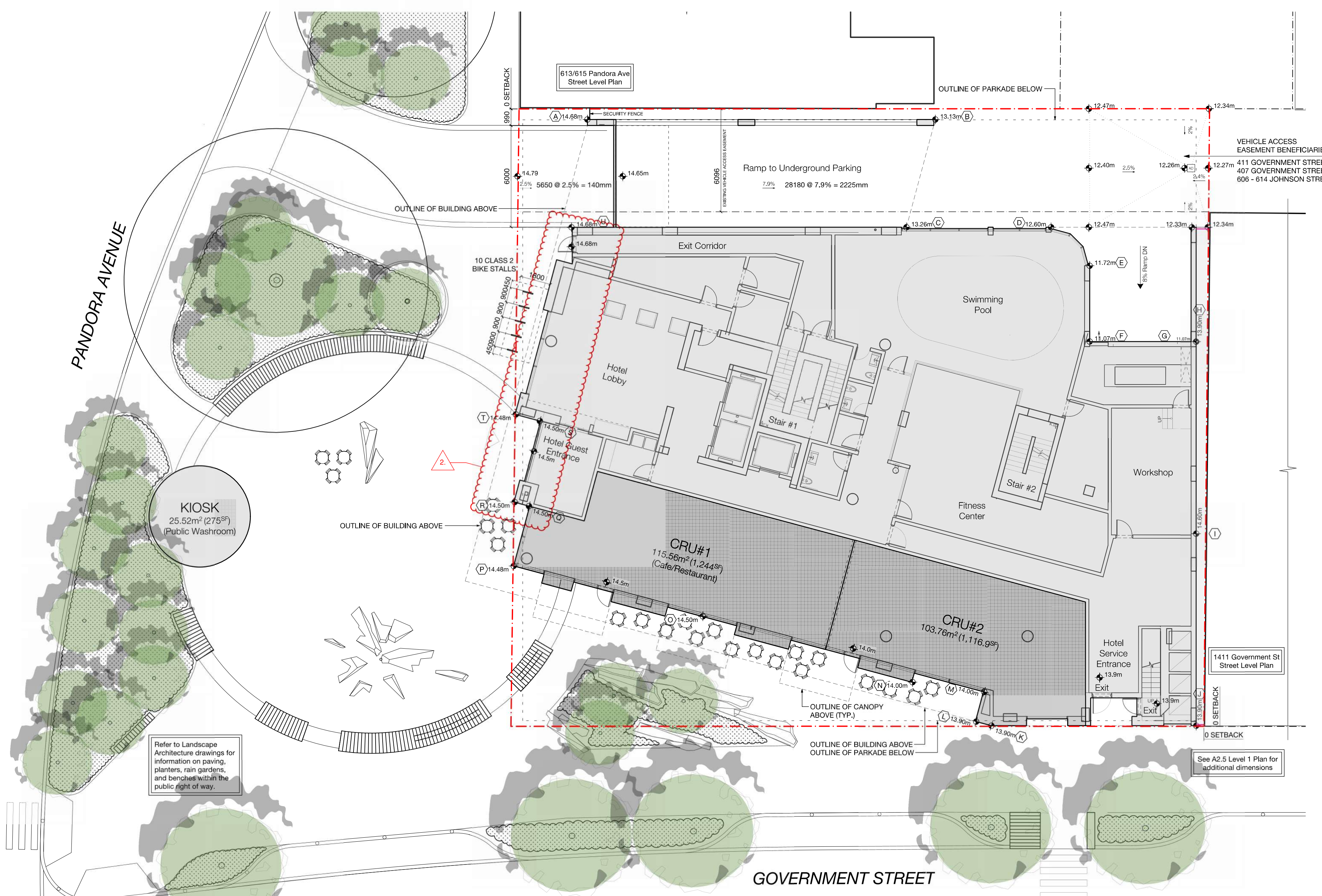
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no. description date
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Site Plan and Project Data

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:125
drawn by	JA/JB
checked by	ES
revision no.	sheet no.
	A1.3



PROJECT INFORMATION TABLE

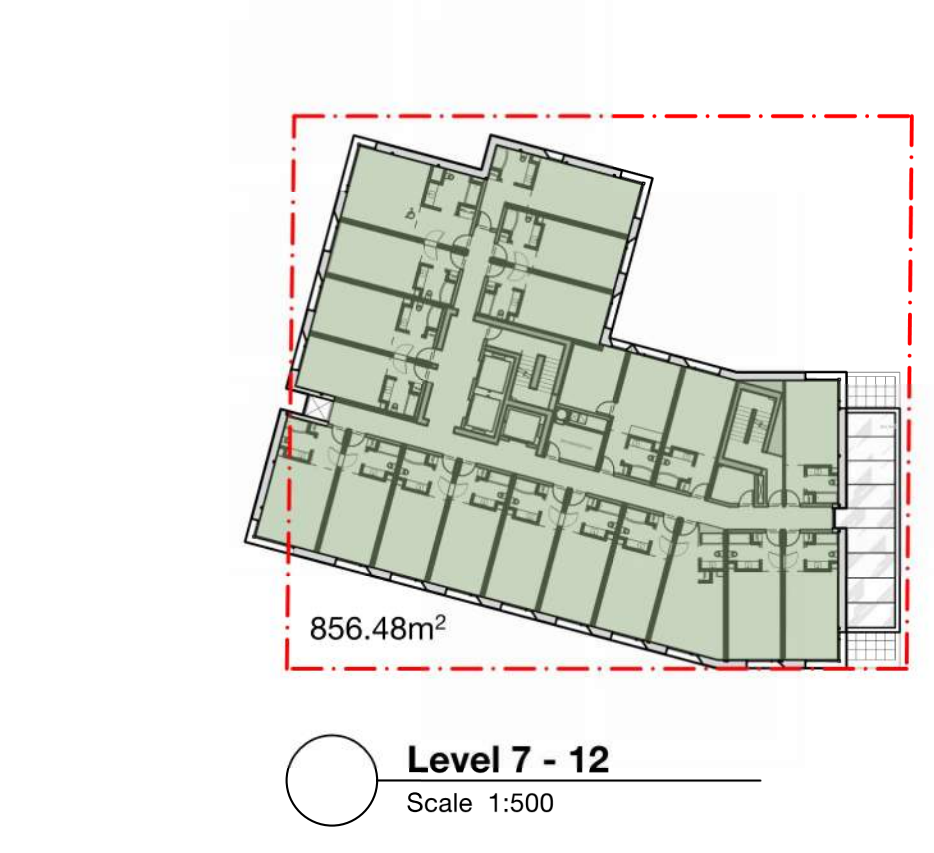
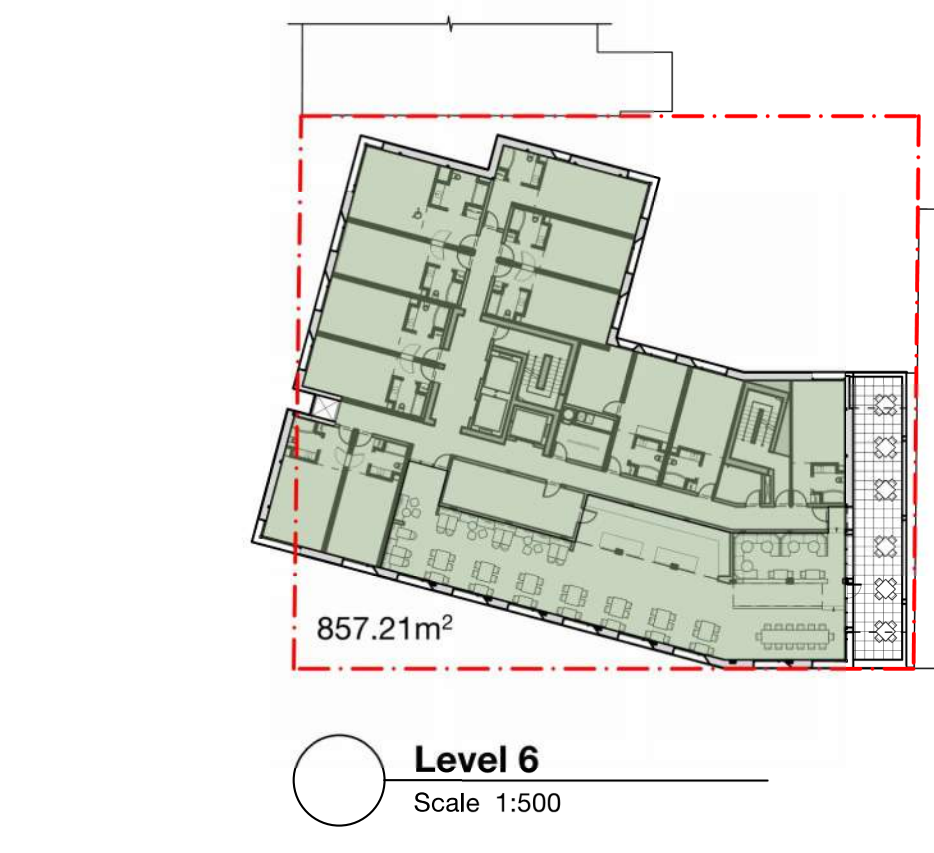
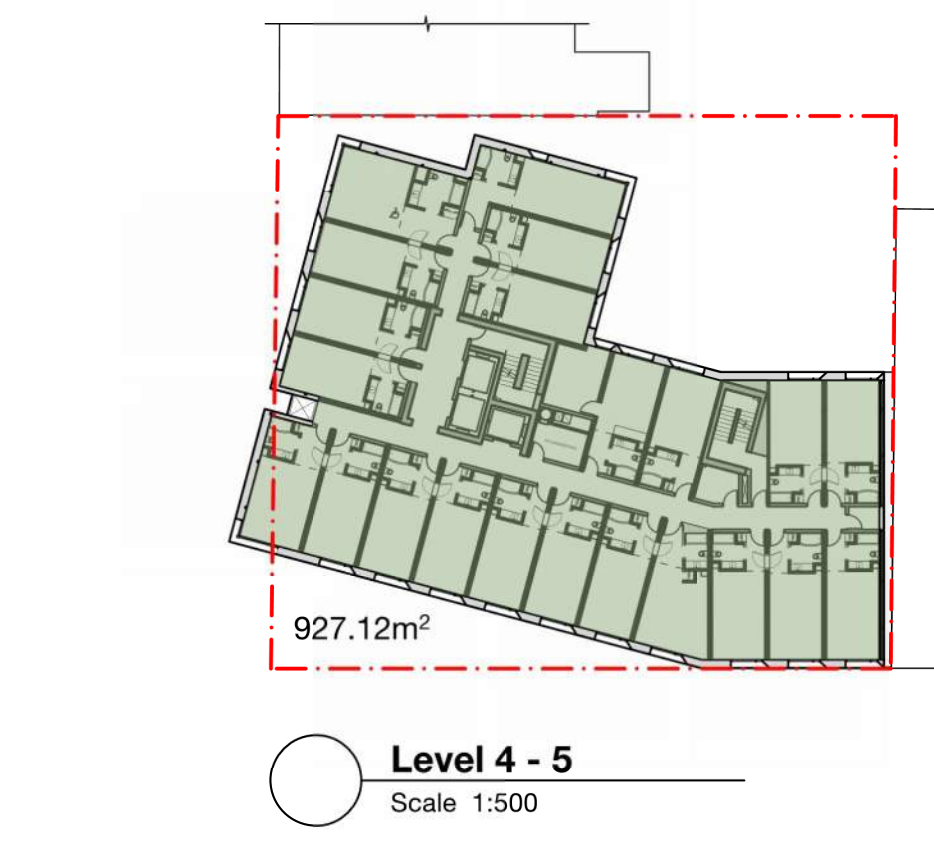
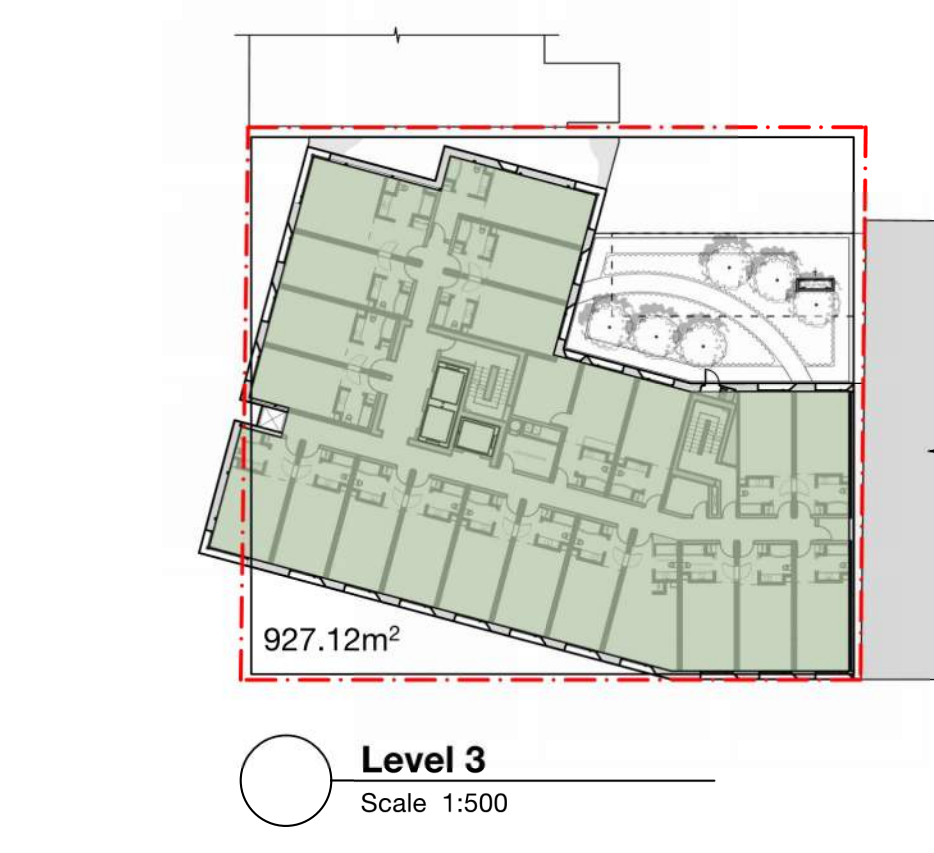
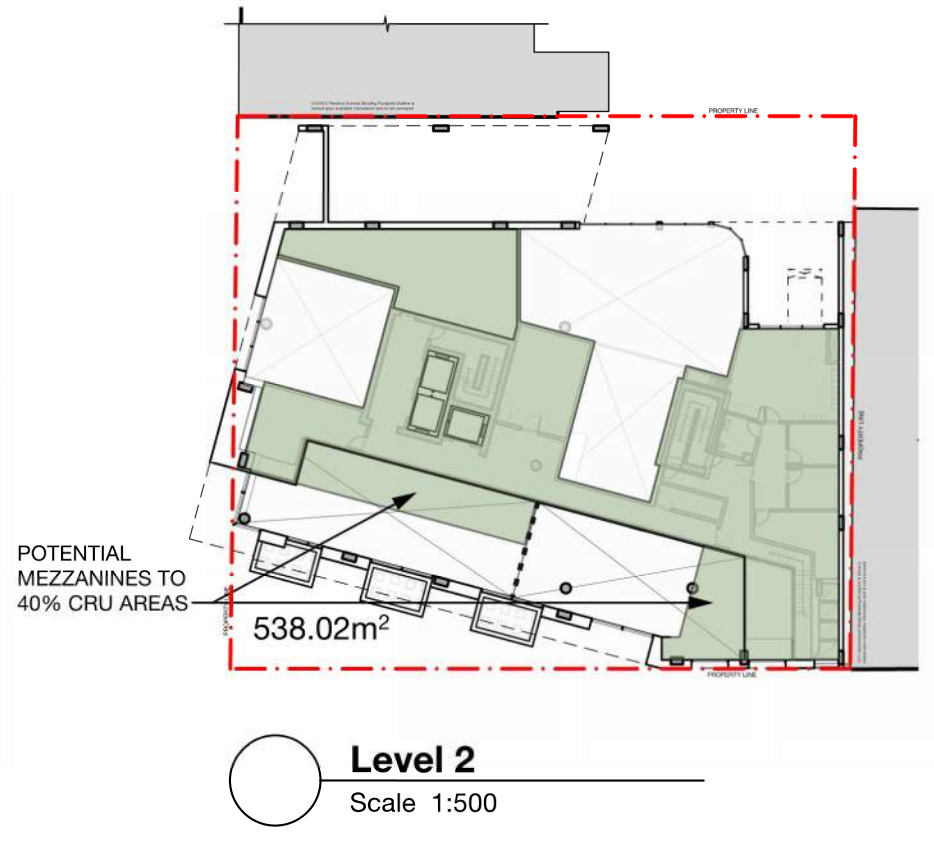
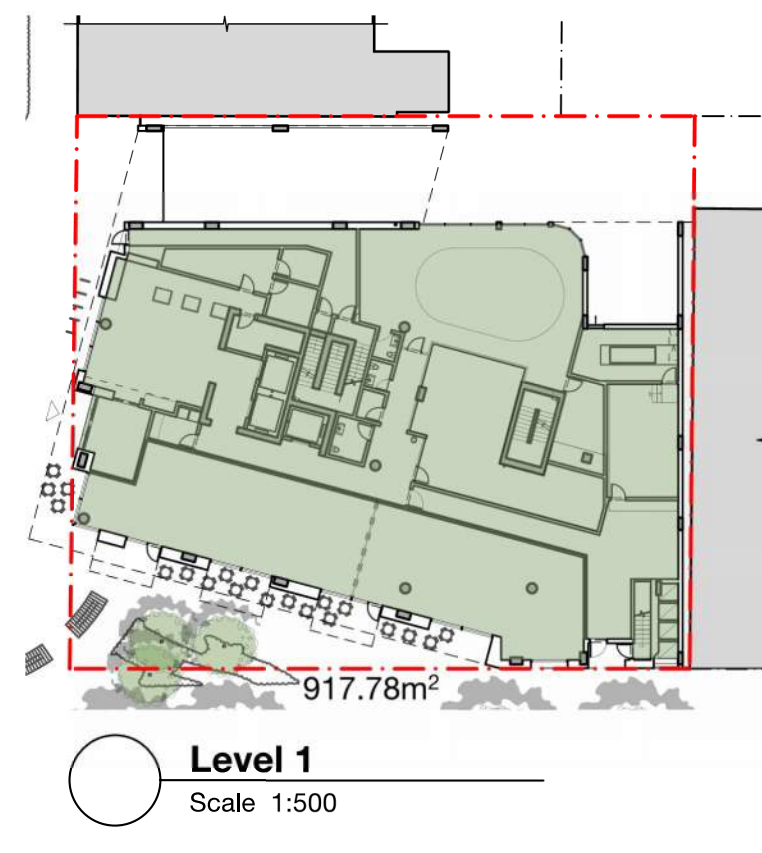
Zone (existing)	OTD-1 Old Town District 1
Proposed zone or site specific zone	New Zone
Site area (m ²)	1,490.70 m ²
Total floor area (m ²)	10,233.25 m ²
Commercial floor area (m ²)	219.32 m ²
Floor space ratio	6.86
Site coverage area	1,236.10 m ²
Site coverage (%)	82.92 %
Open site area (m ²)	177.71 m ²
Open site space (%)	11.92 %
Height of building (m)	36.84 m
Number of storeys	12
Parking stalls (number) on site	123
Bicycle parking number (Class 1 & Class 2)	10 + 10 = 20

Building Setbacks (m)

Front yard	-2.87 m
Rear yard	0 m
Corner side yard (west)	0 m
Side yard (east)	0 m

AVERAGE GRADE

ID	Grade (m)	Interval	Average	Distance (m)	Subtotal
A	14.68	A - B	13.91	20.70	287.83
B	13.13	B - C	13.20	6.61	87.22
C	13.26	C - D	12.93	8.47	109.52
D	12.60	D - E	12.16	3.62	44.02
E	11.72	E - F	11.40	4.49	51.16
F	11.07	F - G	11.07	6.26	69.30
G	11.07	G - H	12.49	0.00	0.00
H	13.90	H - I	14.25	11.37	162.02
I	14.60	I - J	14.25	11.37	162.02
J	13.90	J - K	13.90	12.01	166.94
K	13.90	K - L	13.93	1.02	14.20
L	13.95	L - M	13.98	1.82	25.43
M	14.00	M - N	14.00	4.25	59.50
N	14.00	N - O	14.25	13.00	185.25
O	14.50	O - P	14.49	11.55	167.36
P	14.48	P - Q	14.49	3.66	53.03
Q	14.50	Q - R	14.50	0.96	13.92
R	14.50	R - S	14.50	5.03	72.94
S	14.50	S - T	14.49	1.56	22.60
T	14.48	T - U	14.58	11.58	168.84
U	14.68	U - A	14.68	6.39	93.81
Subtotal				145.72	2016.92
Average Grade =				13.84	



POTENTIAL MEZZANINES TO 40% CRU AREAS

Site Plan
Scale 1:150

Level 1
Scale 1:500

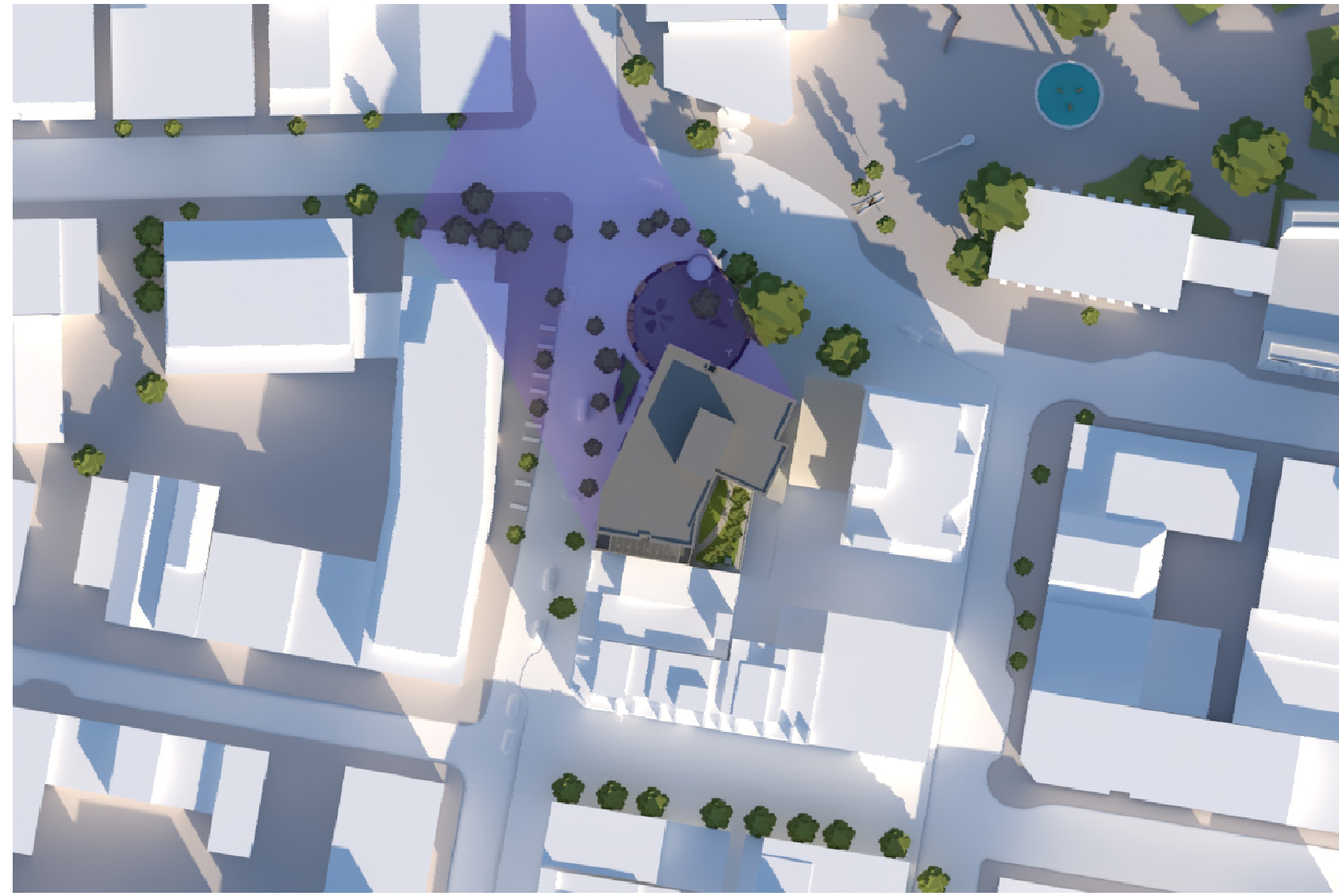
Level 2
Scale 1:500

Level 3
Scale 1:500



2024-04-08

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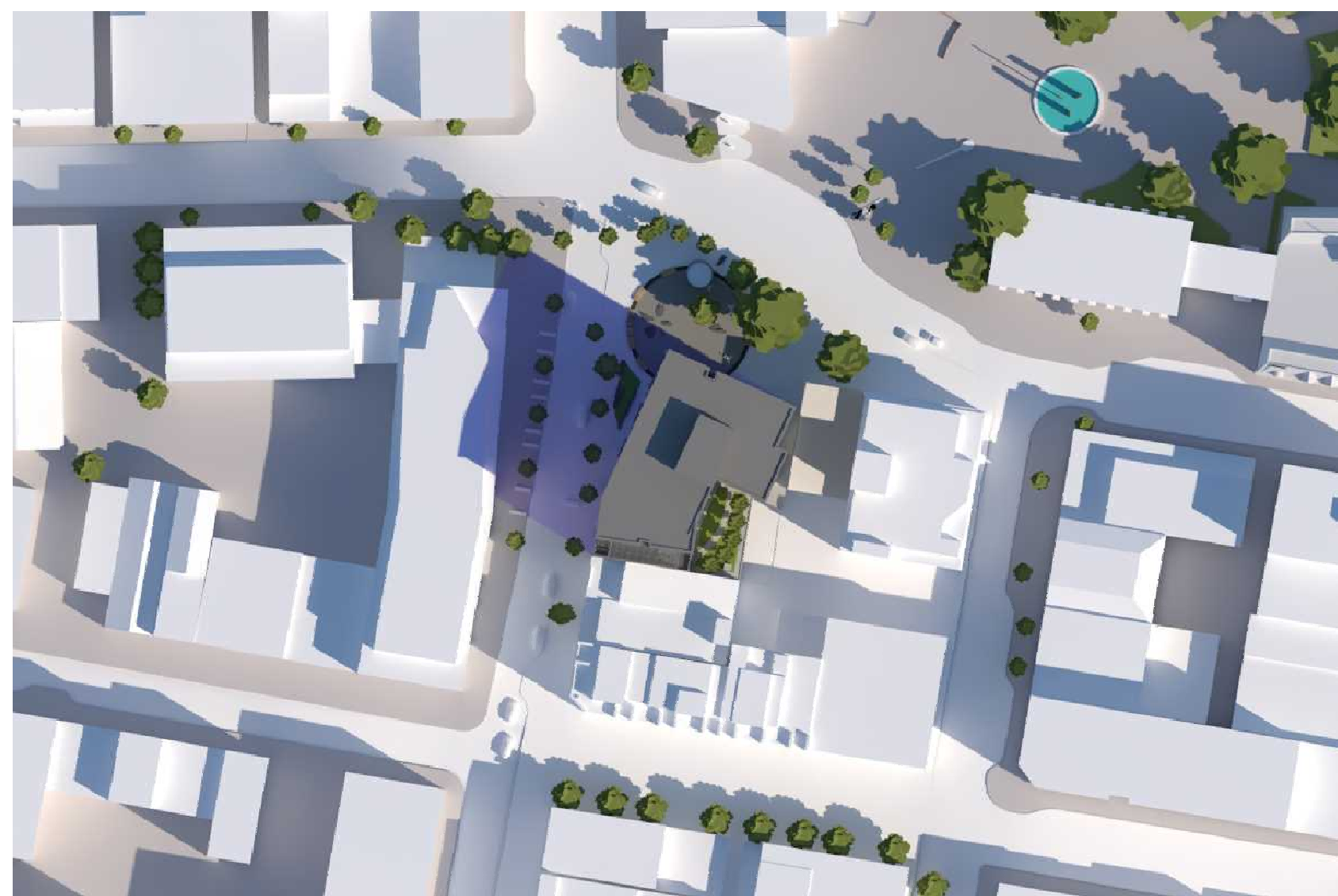
WINTER SOLSTICE 1000h



WINTER SOLSTICE 1200h



WINTER SOLSTICE 1500h



EQUINOX 0900h



EQUINOX 1200h



EQUINOX 1600h



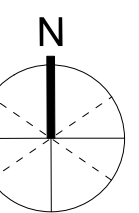
SUMMER SOLSTICE 0900h



SUMMER SOLSTICE 1200h



SUMMER SOLSTICE 1700h



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Sun and Shade Studies

project no. 20-36

drawing file -

date issued April 5, 2024

scale n.t.s.

drawn by JA/JB

checked by ES

revision no. sheet no.

△ A1.4



2024-04-08

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GENERAL NOTES:

1. March 20, 2023 was used as the date of the Equinox.
2. All calculations are approximate and have been generated from 2D views of the Sketch Up model.
3. All calculations are relative and are not to scale.
4. The building height is 38.19m and is classified as a high rise residential building for the purposes of City of Victoria Downtown Core Area Plan Appendix 4 Design Guidelines.

DCAP Appendix 4: 6.1.d.i.

Spring / Autumn Equinox
March 20 / September 22, 2023
The spring and autumn equinoxes mark the start of spring or autumn and are the midway point between summer and winter solstices.

The City of Victoria General Urban Design Guidelines (2022) contains the following guideline for tall buildings:

where unshaded by existing off-site conditions, a minimum of approximately 4 hours of cumulative sunlight provided on at least 60% of the length of the sidewalk located across the street from the development should be achieved between 1000h and 1600h on the equinoxes.

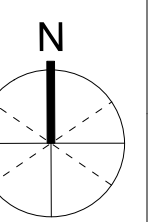
The proposal meets the guideline as follows:

Pandora Avenue
The sidewalk is fully unshaded until 1400h when a sweeping shadow occurs over 14% of the sidewalk.

Government Street
The sidewalk is shaded by the proposed development from 1000h until approximately 1040h when the shadow has reduced to 55%. The sidewalk remains fully unshaded until 1300h when 66% shading by the existing adjacent building begins until 1600h.

LEGEND

- sidewalk in sun
- sidewalk shaded by proposed building
- sidewalk shaded by existing buildings
- time recommended by urban design guidelines



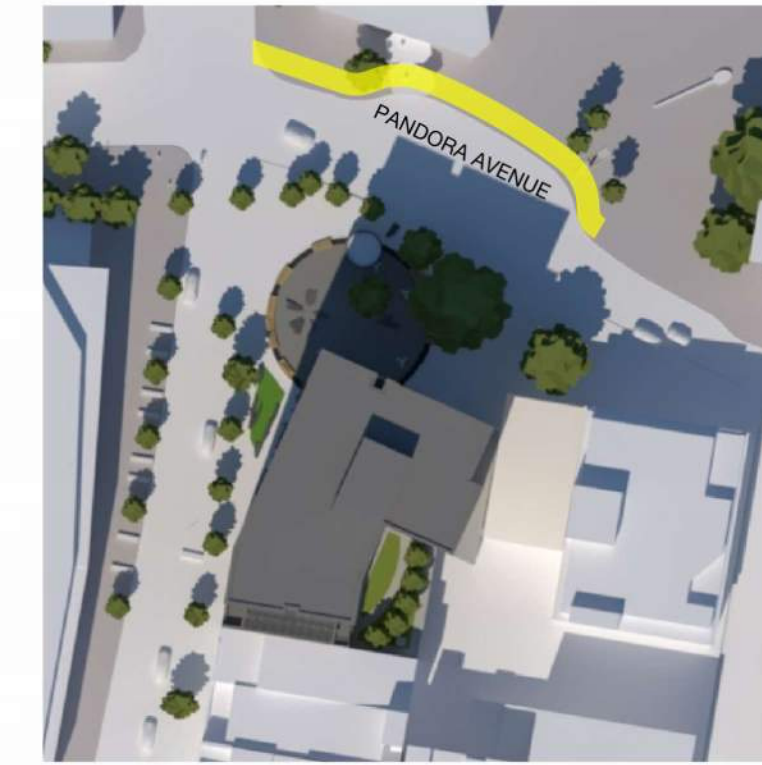
1000h - 100% sun



1100h - 100% sun



1200h - 100% sun



1300h - 100% sun



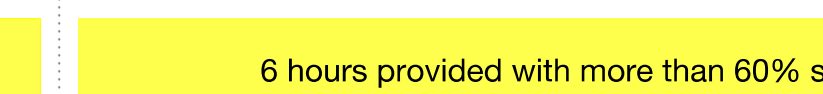
1400h - 86% sun



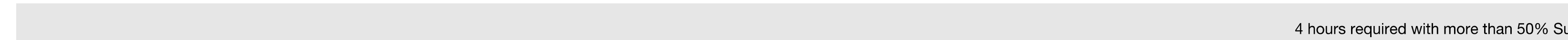
1500h - 86% sun



1600h - 91% sun



6 hours provided with more than 60% sun



4 hours required with more than 50% Sun

PANDORA AVENUE



1000h - 26% sun



1040h - 55% sun



1200h



1300h - 66% sun (shaded by existing buildings)



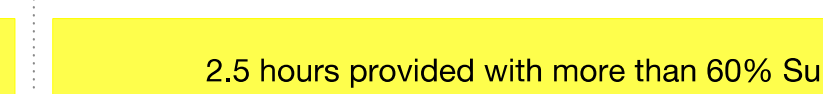
1400h - 0% sun (shaded by existing buildings)



1500h - 0% sun (shaded by existing buildings)



1600h - 0% sun (shaded by existing buildings)



2.5 hours provided with more than 60% Sun



1.5 hours shaded by existing buildings



4 hours required with more than 50% Sun

GOVERNMENT STREET

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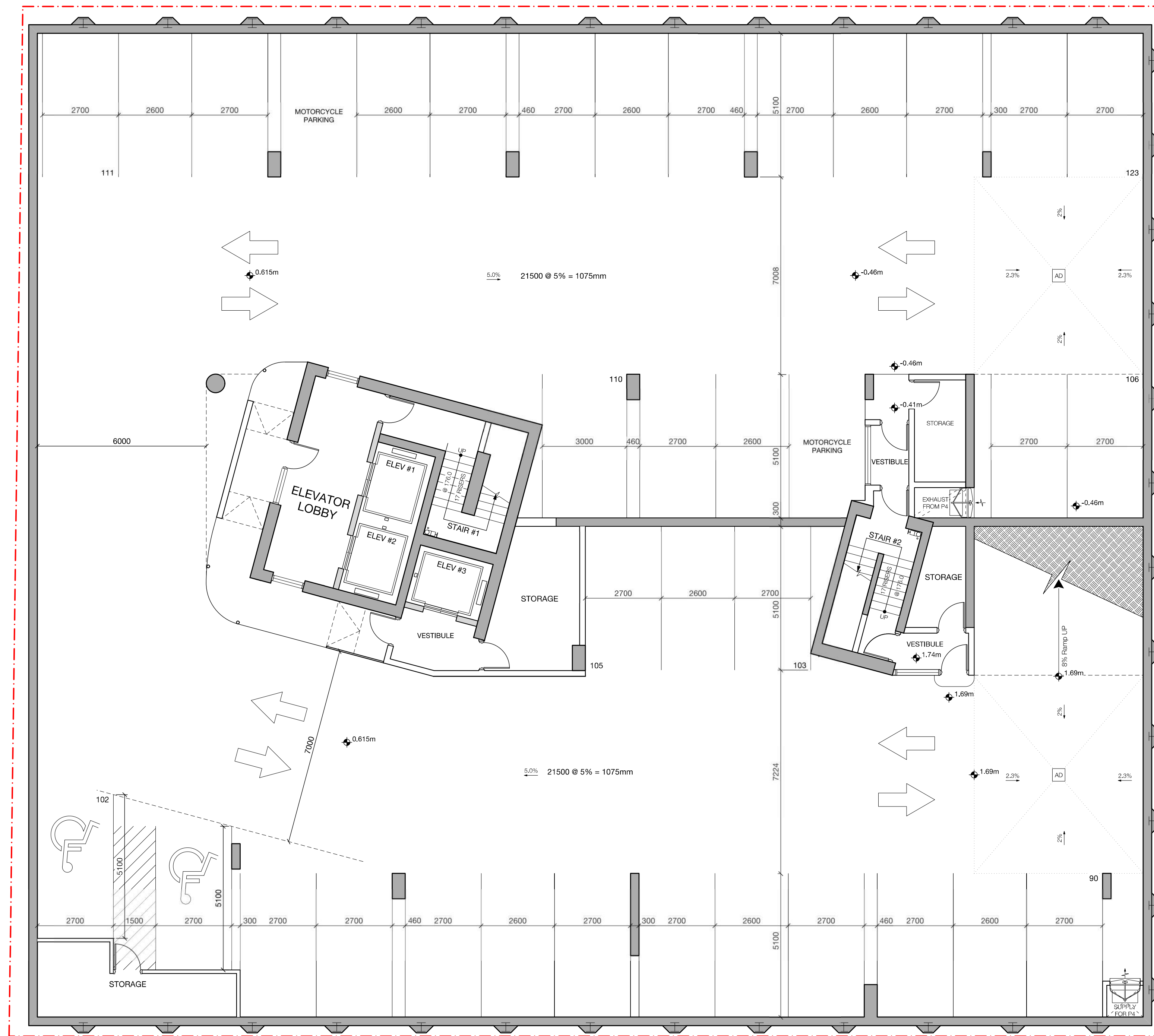
checked by ES

revision no. sheet no.

A1.5

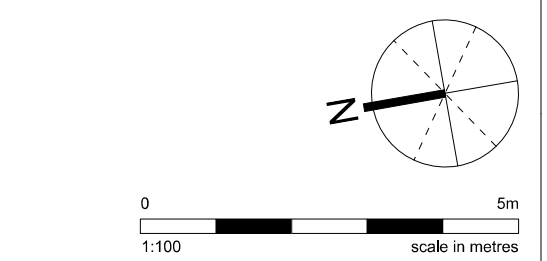


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Level P4 Plan
Scale 1:100

PARKING COUNT								
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements	Short Term Bicycle Provided
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	0	Hotel 1 per 25 rooms @ 198 rooms = 8	0	Hotel 1 per 40 rooms @ 198 rooms = 5	0
P2		32	*26-50=1 Van Accessible	2		8		0
P1		25		6				0
Level 1 CRU	0	0		0	CRU @ 221sqm 1 per 150sqm=2	2	CRU @ 221sqm 1 per 100sqm = 3	0
Total	50	123	2	8	8+2=10	10	5+3=9	10



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Level P4 Plan

project no. 20-36
drawing file -

date issued April 5, 2024

scale 1:100

drawn by JA/JB

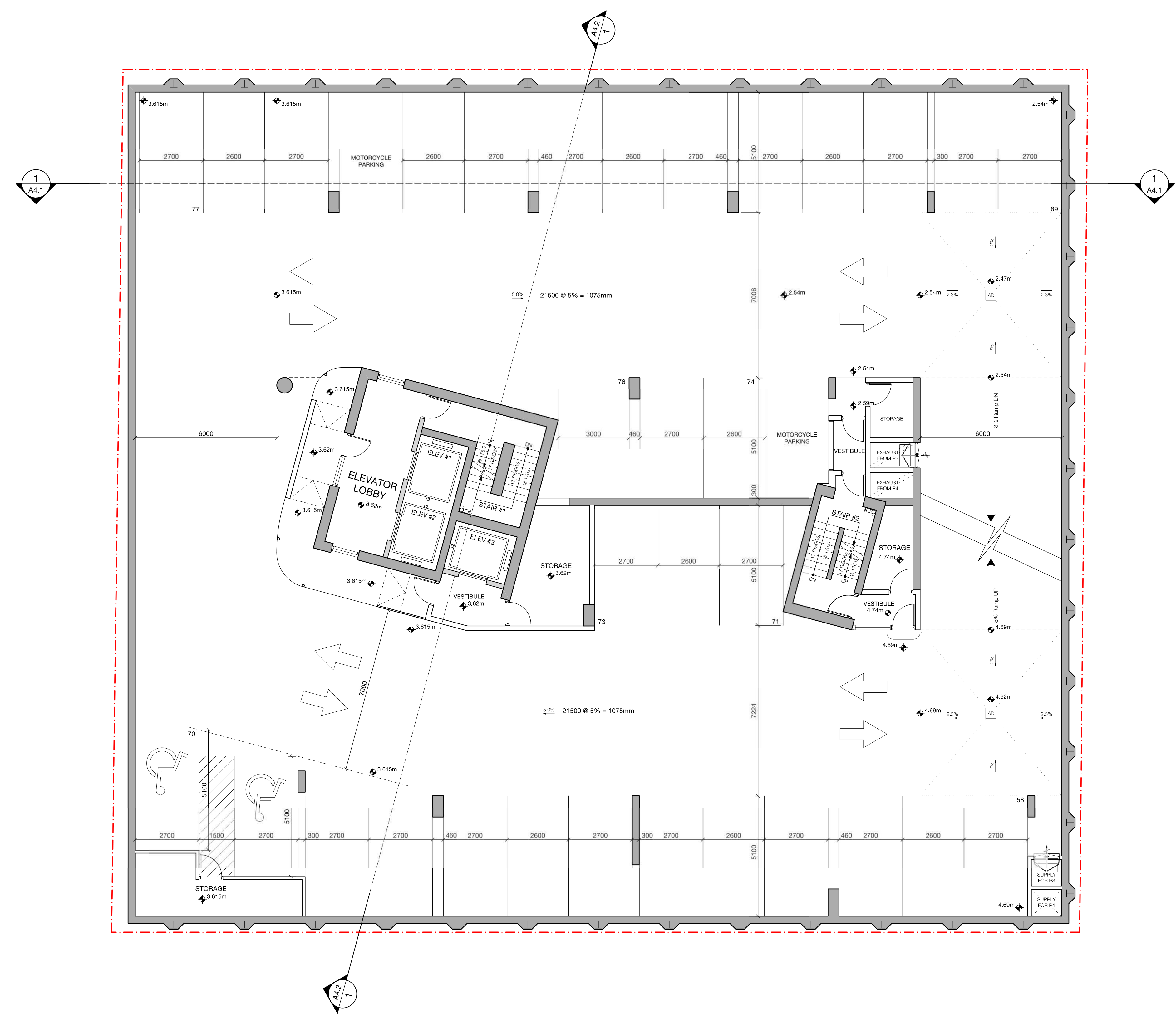
checked by ES

revision no. sheet no.

A2.1

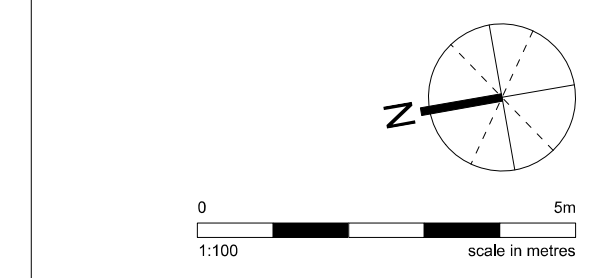


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Level P3 Plan
Scale 1:100

PARKING COUNT							
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	0	Hotel 1 per 25 rooms @ 198 rooms = 8	0	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		0		0	
P2		32	*26-50=1 Van Accessible	2		8	
P1		25		6			
Level 1 CRU	0	0		0	CRU @ 221sqm 1 per 150sqm=2	2	CRU @ 221sqm 1 per 100sqm = 3
Total	50	123	2	8	8+2=10	10	5+3=9



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

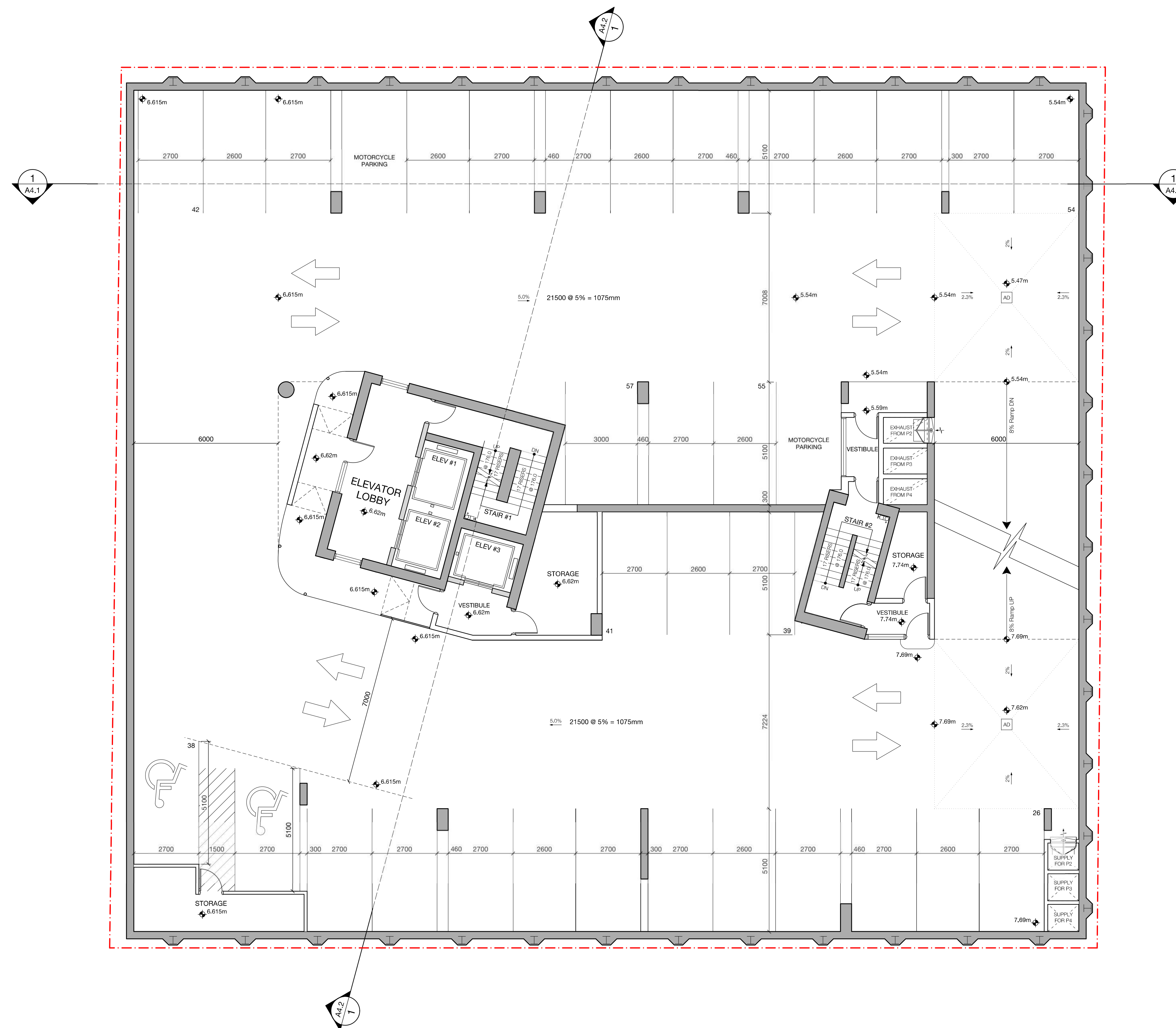
sheet title
Level P3 Plan

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES
revision no.	sheet no.

A2.2



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Level P2 Plan
Scale 1:100

PARKING COUNT							
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	0	Hotel 1 per 25 rooms @ 198 rooms = 8	0	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2		8	
P2		25	*26-50=1 Van Accessible	6			
P1		0		0	CRU @ 221sqm 1 per 150sqm=2	2	CRU @ 221sqm 1 per 100sqm = 3
Level 1 CRU		0					
Total	50	123	2	8	8+2=10	10	5+3=9

1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no description date

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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Level P2 Plan

project no. 20-36
drawing file -

date issued April 5, 2024

scale 1:100
drawn by JA/JB

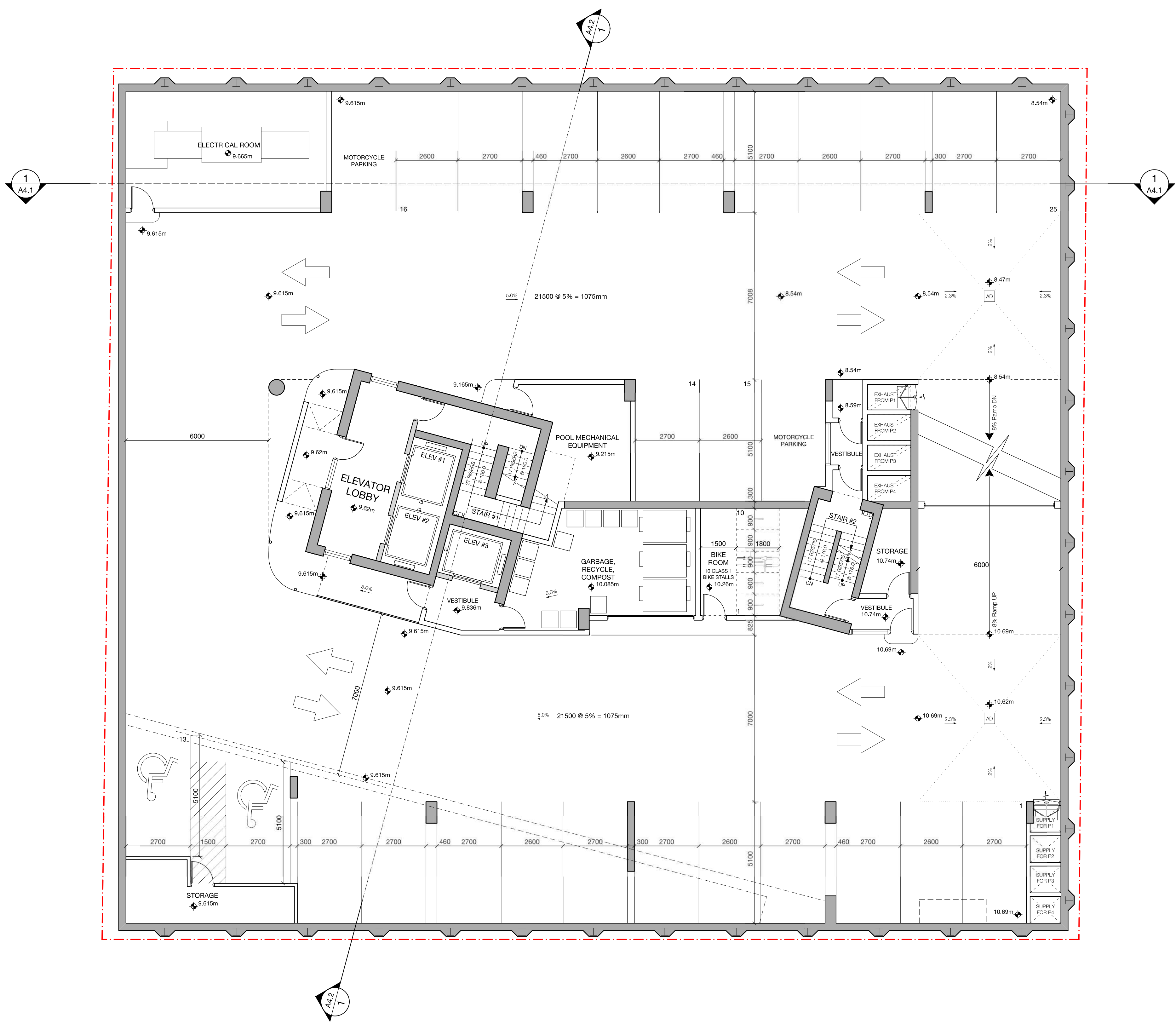
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revision no. sheet no.

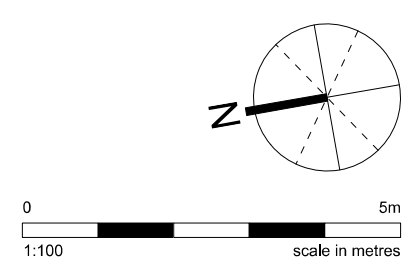
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Level P1 Plan
Scale 1:100



PARKING COUNT							
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	0	Hotel 1 per 25 rooms @ 198 rooms = 8	0	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		0		0	
P2		32	*26-50=1 Van Accessible	2		8	
P1		25		6			
Level 1 CRU	0	0		0	CRU @ 221sqm 1 per 150sqm=2	2	CRU @ 221sqm 1 per 100sqm = 3
Total	50	123	2	8	8+2=10	10	5+3=9

1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no description date

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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Level P1 Plan

project no. 20-36
drawing file -

date issued April 5, 2024
scale 1:100

drawn by JA/JB
checked by ES

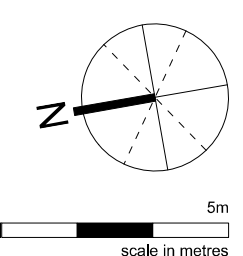
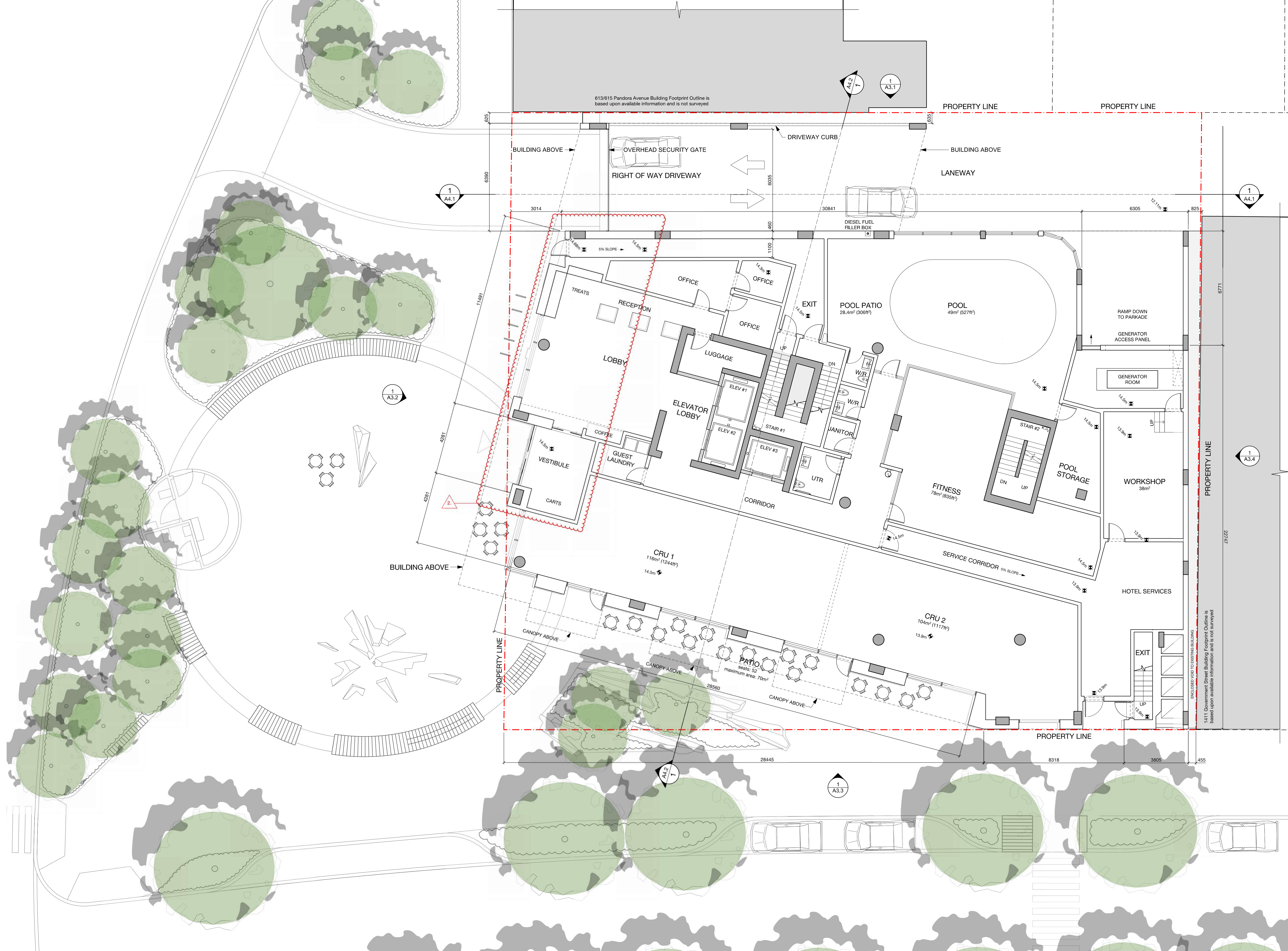
revision no. sheet no.

A2.4



2024-04-08

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1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

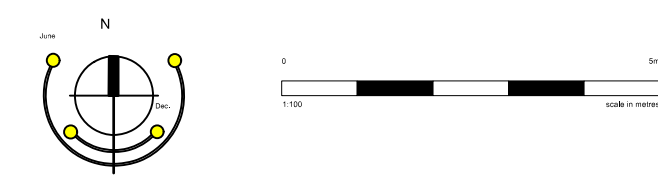
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1	Copyright reserved, these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.	

project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
**Level 1
Ground Floor Plan**

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES

revision no.	sheet no.
△	A2.5

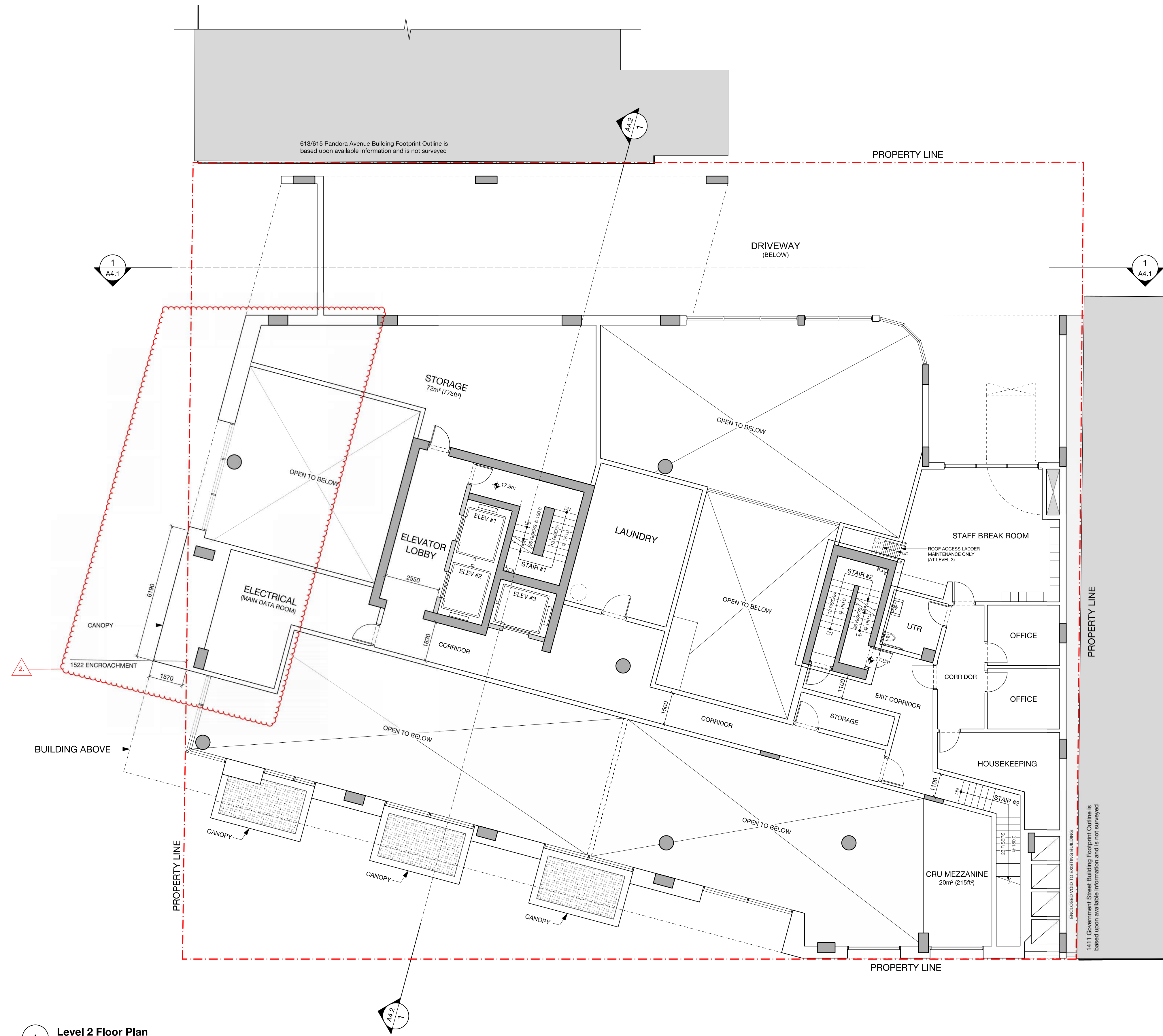


1 Level 1 Plan
Scale 1:100

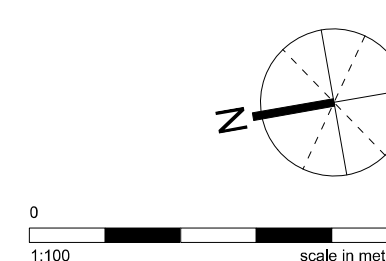


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1 **Level 2 Floor Plan**
Scale 1:100



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Floor Plan - Level 2

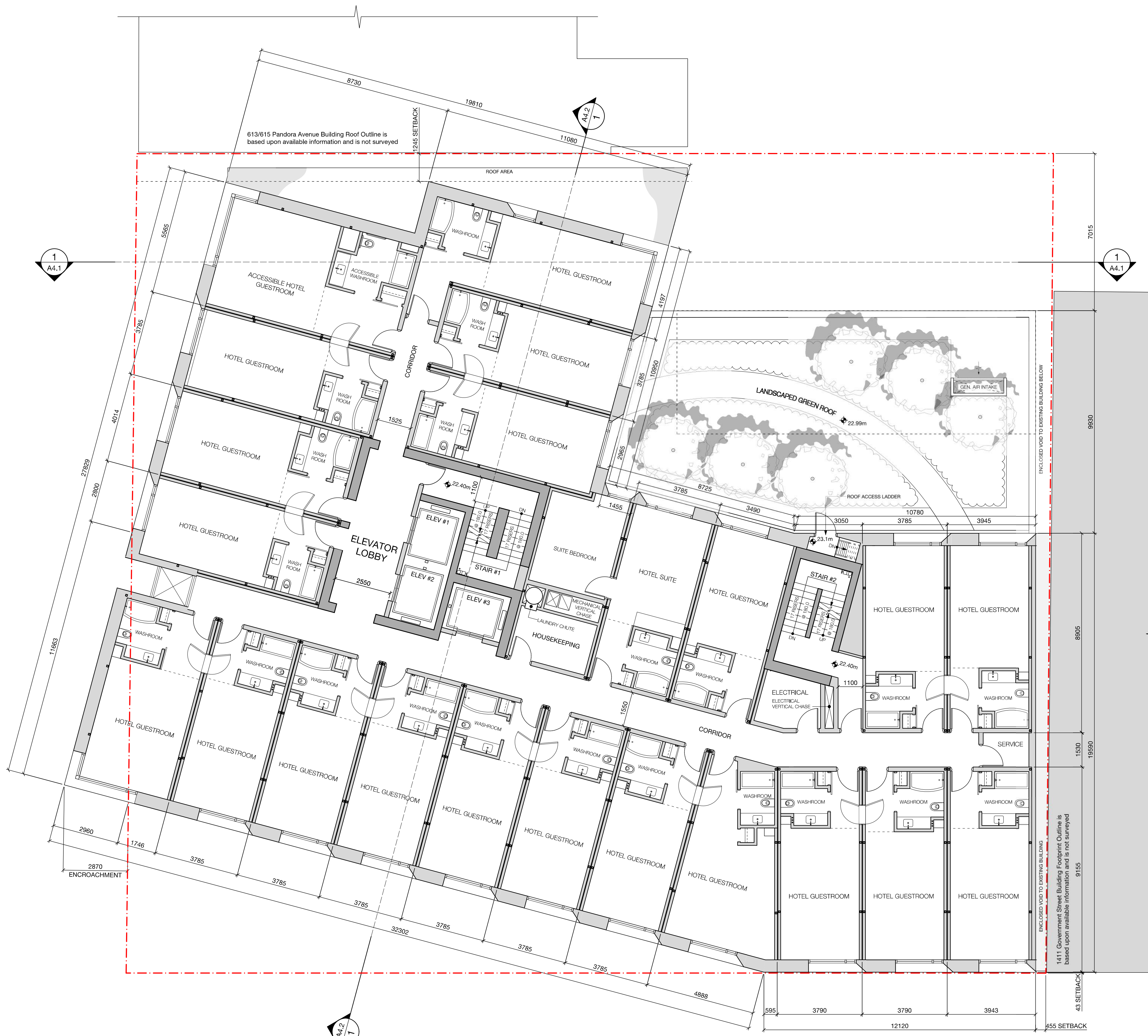
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drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES

revision no.	sheet no.
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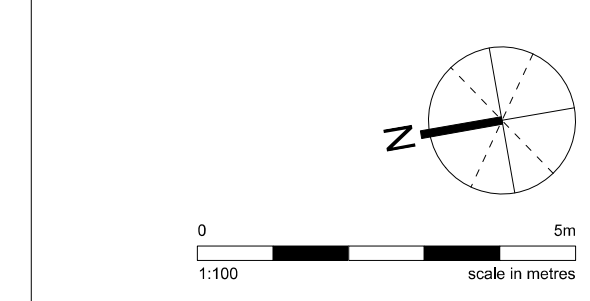
2024-04-08

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Unit Count & Area
22 units / floor
1004.2 m² / floor
10,809 ft² / floor

1 Level 3
Scale 1:100



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
43	SETBACK	

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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

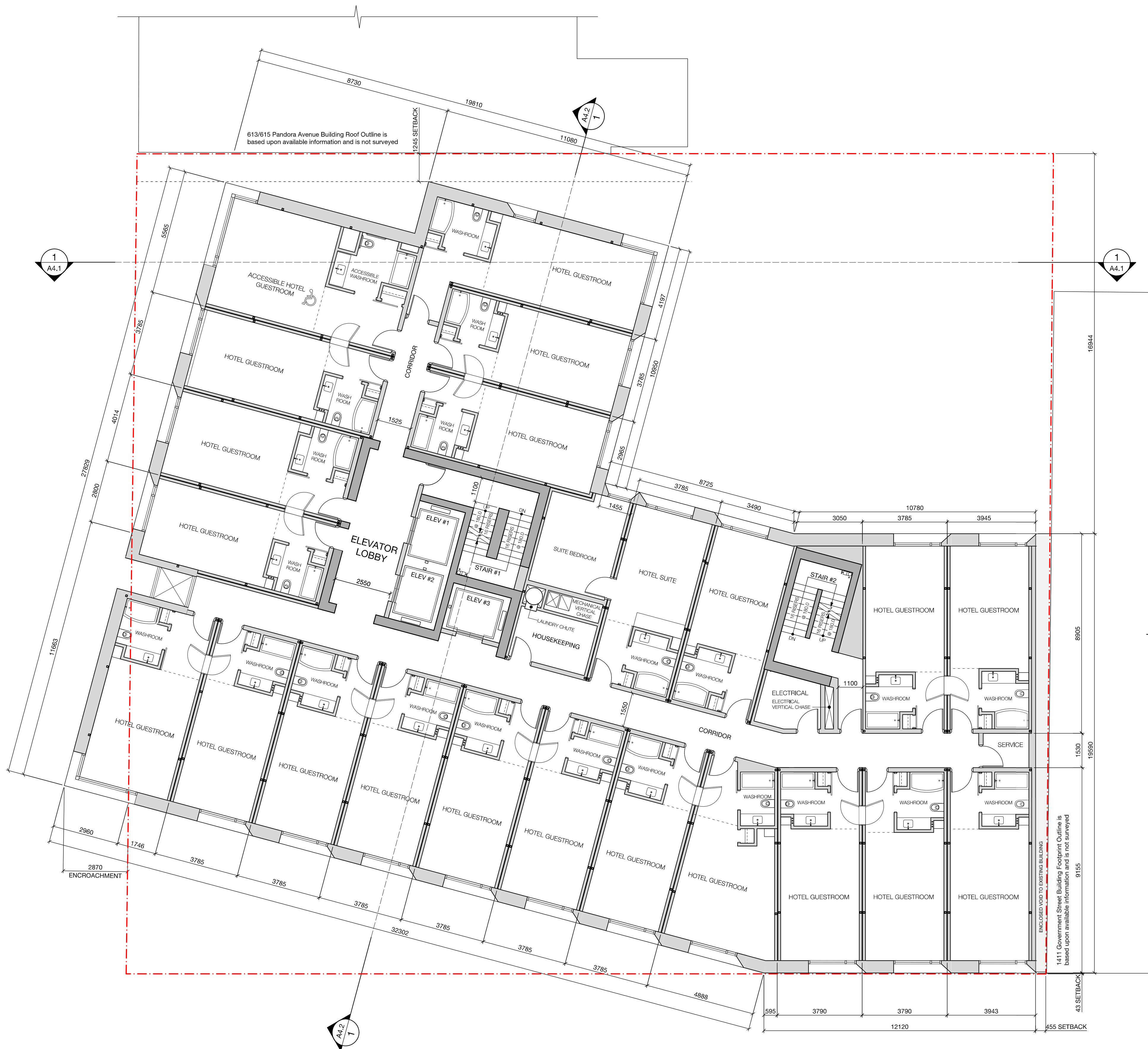
sheet title
Floor Plan - Level 3

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES

revision no.	sheet no.
-	A2.7

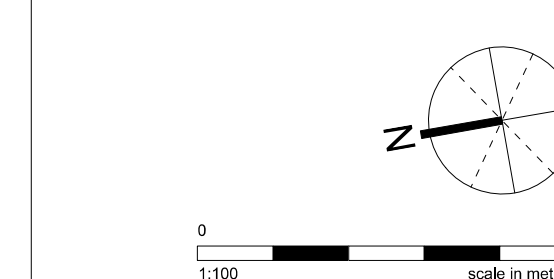


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Unit Count & Area
22 units / floor
1004.2 m² / floor
10,809 ft² / floor

1 Level 4 - Level 5
Scale 1:100



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

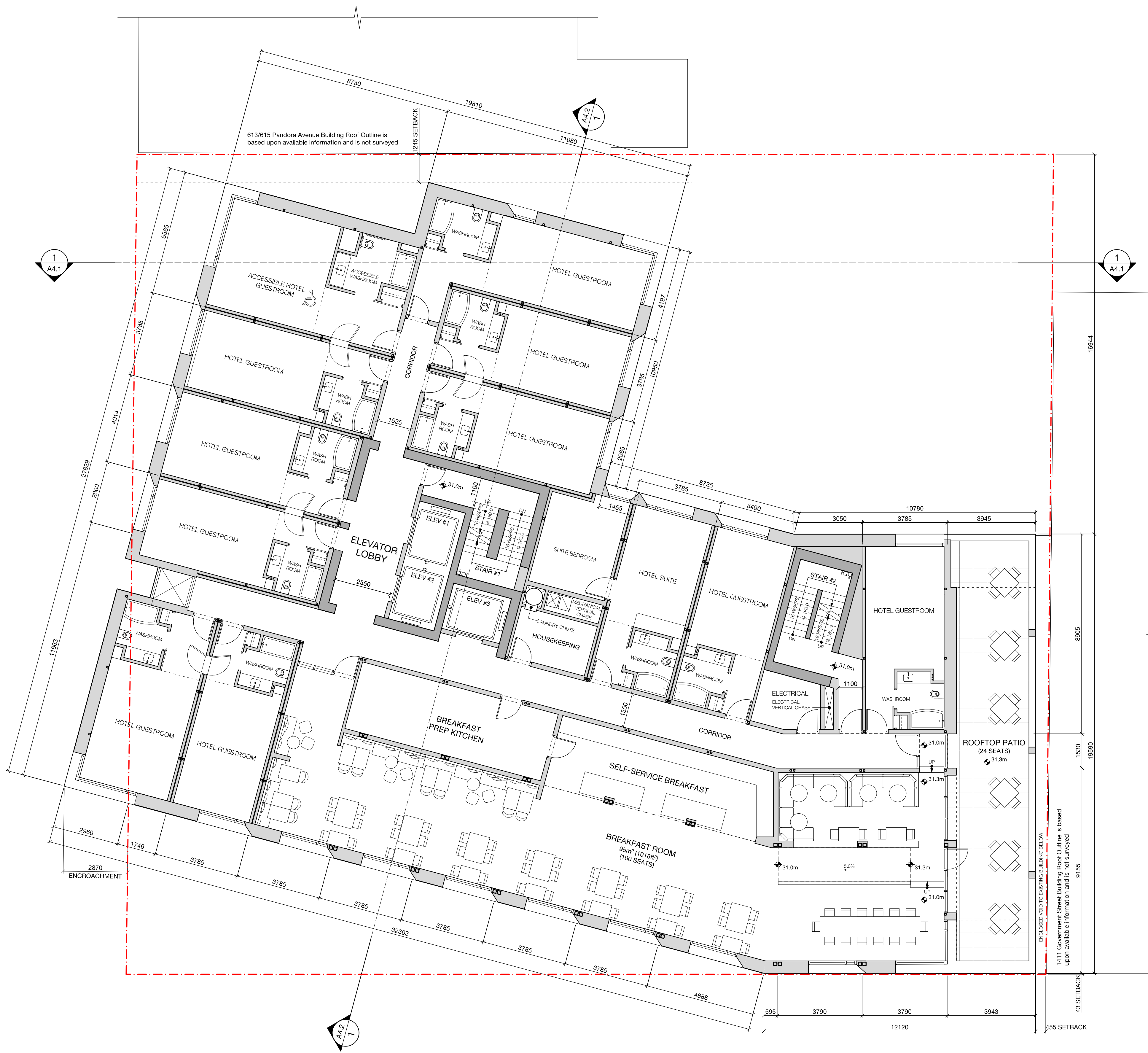
sheet title
**Floor Plan -
Level 4 - Level 5**

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES

revision no.	sheet no.
-	A2.8

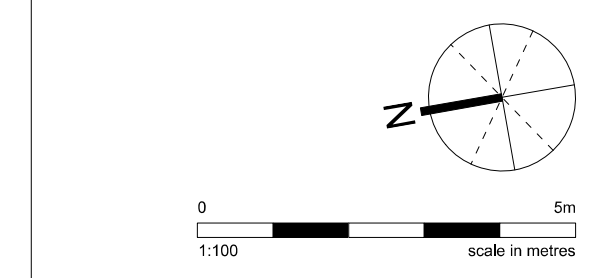


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Unit Count & Area
12 units / floor
934.9m² / floor
10,063 ft² / floor

1 Level 6
Scale 1:100



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

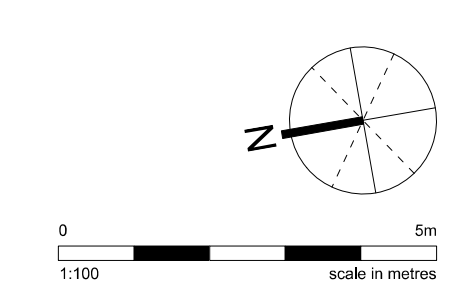
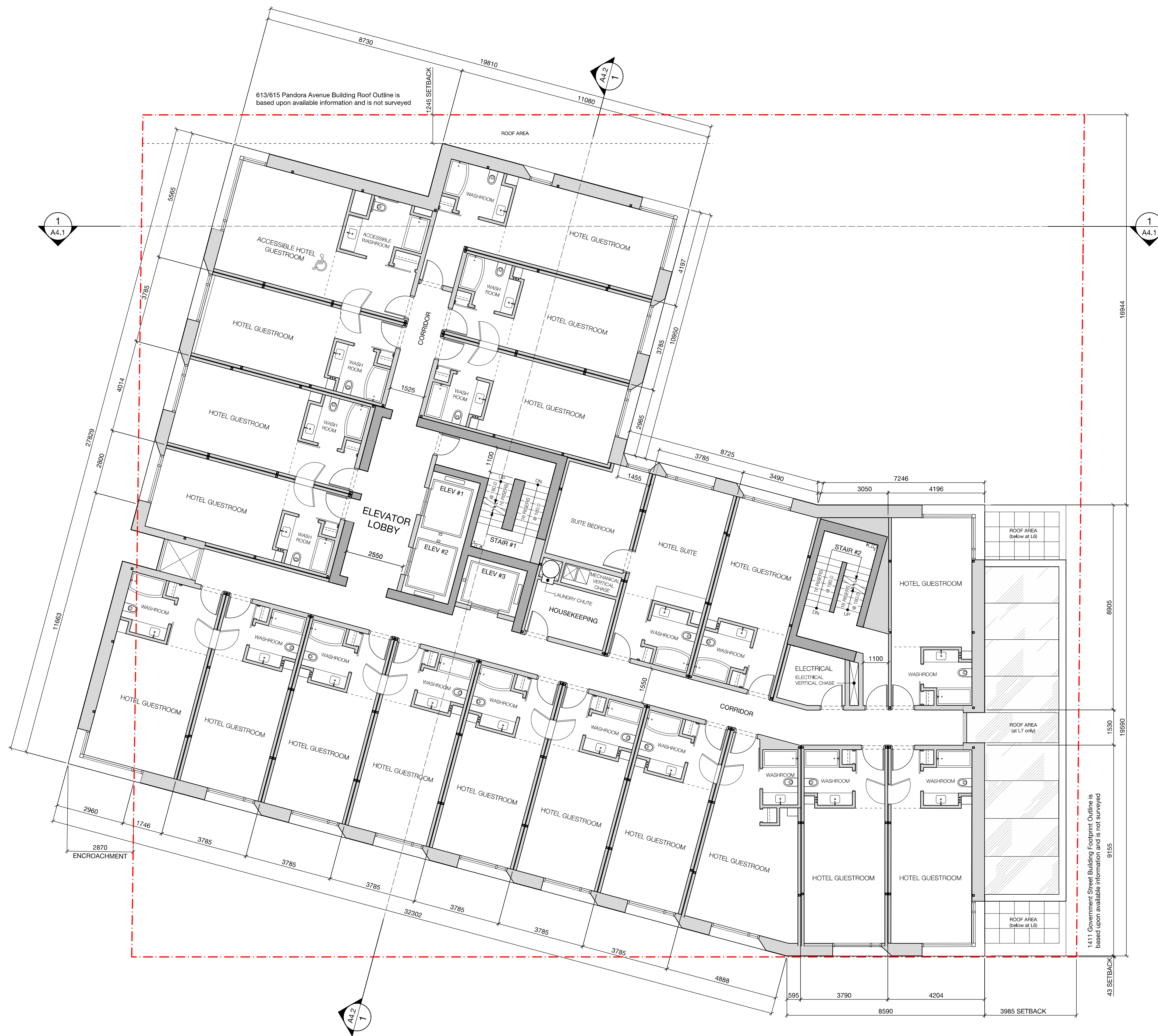
sheet title
Floor Plan - Level 6

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES

revision no.	sheet no.
△	A2.9



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Unit Count & Area
20 units / floor
933.9 m² / floor
10,052 ft² / floor

1 Level 7 - Level 12
Scale 1:100

1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

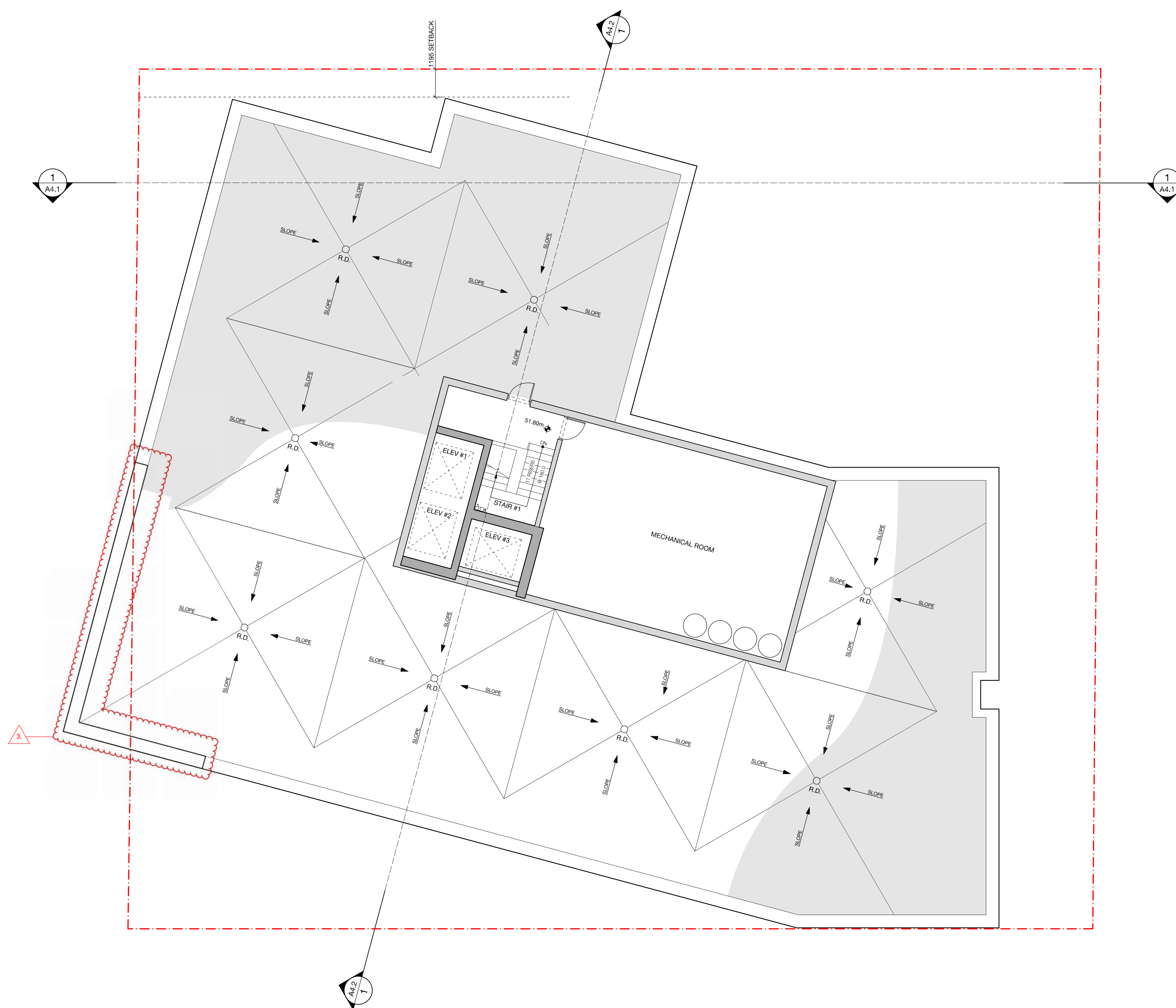
sheet title
**Floor Plan -
Level 7 - Level 12**

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES

revision no.	sheet no.
-	A2.10

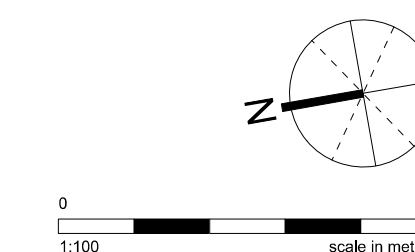


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Area
Penthouse G.F.A. Excluded
0.00 m²
0 ft²

1 Penthouse and Roof Plan
Scale 1:100



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Penthouse and Roof Plan

project no. 20-36

drawing file -

date issued April 5, 2024

scale 1:100

drawn by JA/JB

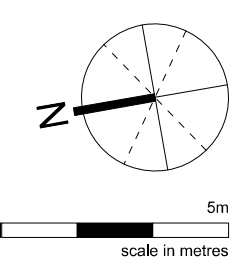
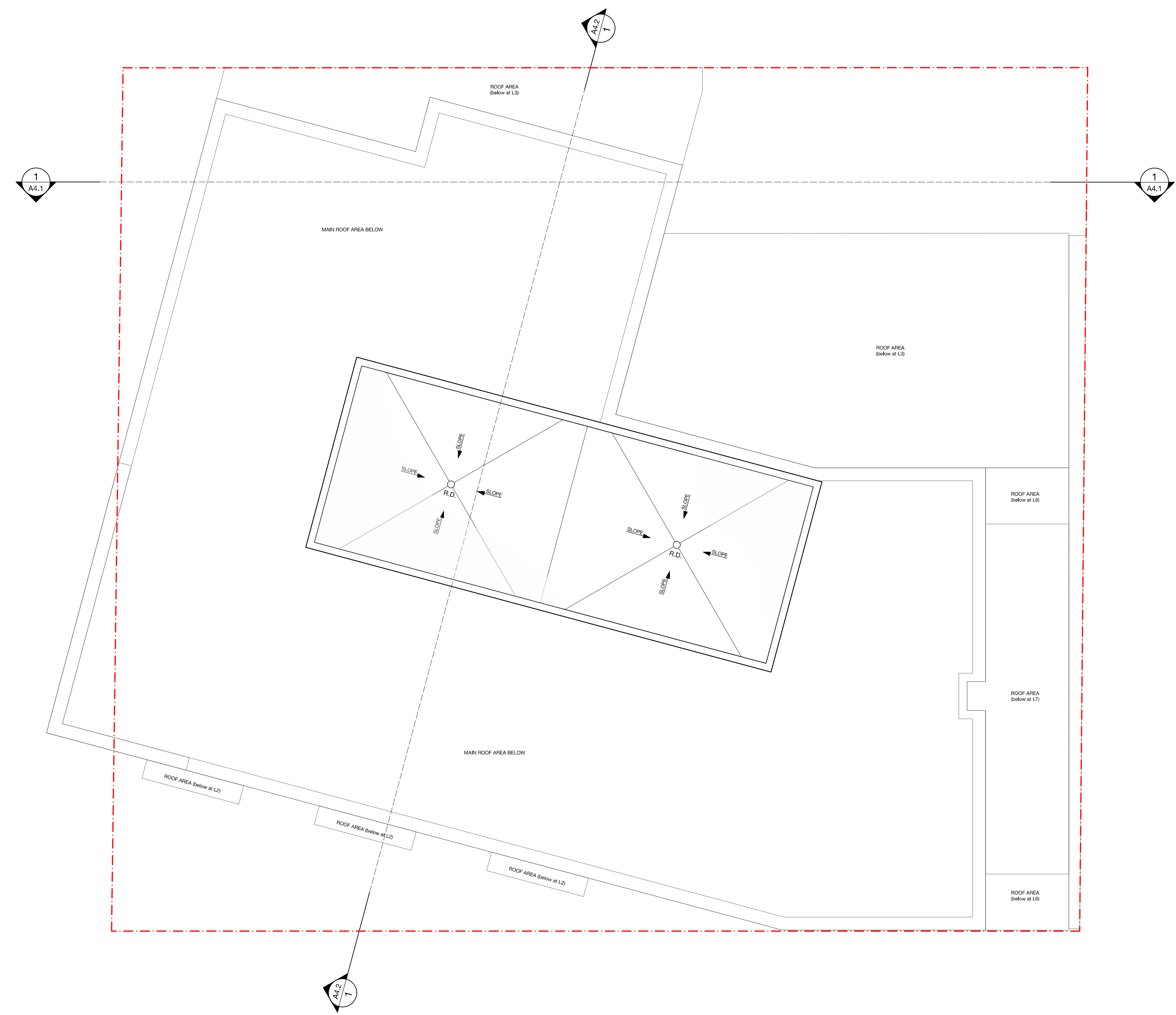
checked by ES

revision no. sheet no.

△ A2.11



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Area
Penthouse G.F.A. Excluded
0.00 m²
0 ft²

1 Penthouse and Roof Plan
Scale 1:100

1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Roof Plan

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES

revision no.	sheet no.
-	A2.12



2024-04-08

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Elevation Materials Key:

1. Clear Glazing in Aluminum Frames
Classic Copper Paint Finish
2. Prefinished Metal Panel / Flushing
Pewter Finish
3. Cementitious Panel - Plank Format
Warm Light Grey
4. Painted Metal Pergolas & Canopies
Charcoal
5. Cementitious Panel
Warm Light Grey
6. Clear Glazing in Aluminum Frames
Clear Anodized



West Elevation (Government St)
Scale 1:100

1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES

revision no.	sheet no.
-	A3.1



2024-04-08

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Elevation Materials Key:

1. Clear Glazing in Aluminum Frames
Classic Copper Paint Finish
2. Prefinished Metal Panel / Flashing
Pewter Finish
3. Cementitious Panel - Plank Format
Warm Light Grey
4. Painted Metal Pergolas & Canopies
Charcoal
5. Cementitious Panel
Warm Light Grey
6. Clear Glazing in Aluminum Frames
Clear Anodized



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/UB
checked by	ES
revision no.	sheet no.

A3.2

North Elevation (Pandora Ave.)
Scale 1:100



2024-04-08

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Elevation Materials Key:

1. Clear Glazing in Aluminum Frames
Classic Copper Paint Finish
2. Prefinished Metal Panel / Flashing
Pewter Finish
3. Cementitious Panel - Plank Format
Warm Light Grey
4. Painted Metal Pergolas & Canopies
Charcoal
5. Cementitious Panel
Warm Light Grey
6. Clear Glazing in Aluminum Frames
Clear Anodized



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
1	Development Tracker	2024/01/29

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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/UB
checked by	ES

revision no.	sheet no.
-	A3.3



East Elevation
Scale 1:100



2024-04-08

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Elevation Materials Key:

1. Clear Glazing in Aluminum Frames
Classic Copper Paint Finish
2. Prefinished Metal Panel / Flashing
Pewter Finish
3. Cementitious Panel - Plank Format
Warm Light Grey
4. Painted Metal Pergolas & Canopies
Charcoal
5. Cementitious Panel
Warm Light Grey
6. Clear Glazing in Aluminum Frames
Clear Anodized



○ South Elevation
Scale 1:100



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date

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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Building Elevations

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES
revision no.	sheet no.

△ A3.4



2024-04-08

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Elevation Materials Key:

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Warm Light Grey
4. Painted Metal Pergolas & Canopies
Charcoal
5. Cementitious Panel
Warm Light Grey
6. Clear Glazing in Aluminum Frames
Clear Anodized



Context Elevation - Government Street
Scale 1:250



Context Elevation - Pandora Avenue
Scale 1:250



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Context Elevations

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES

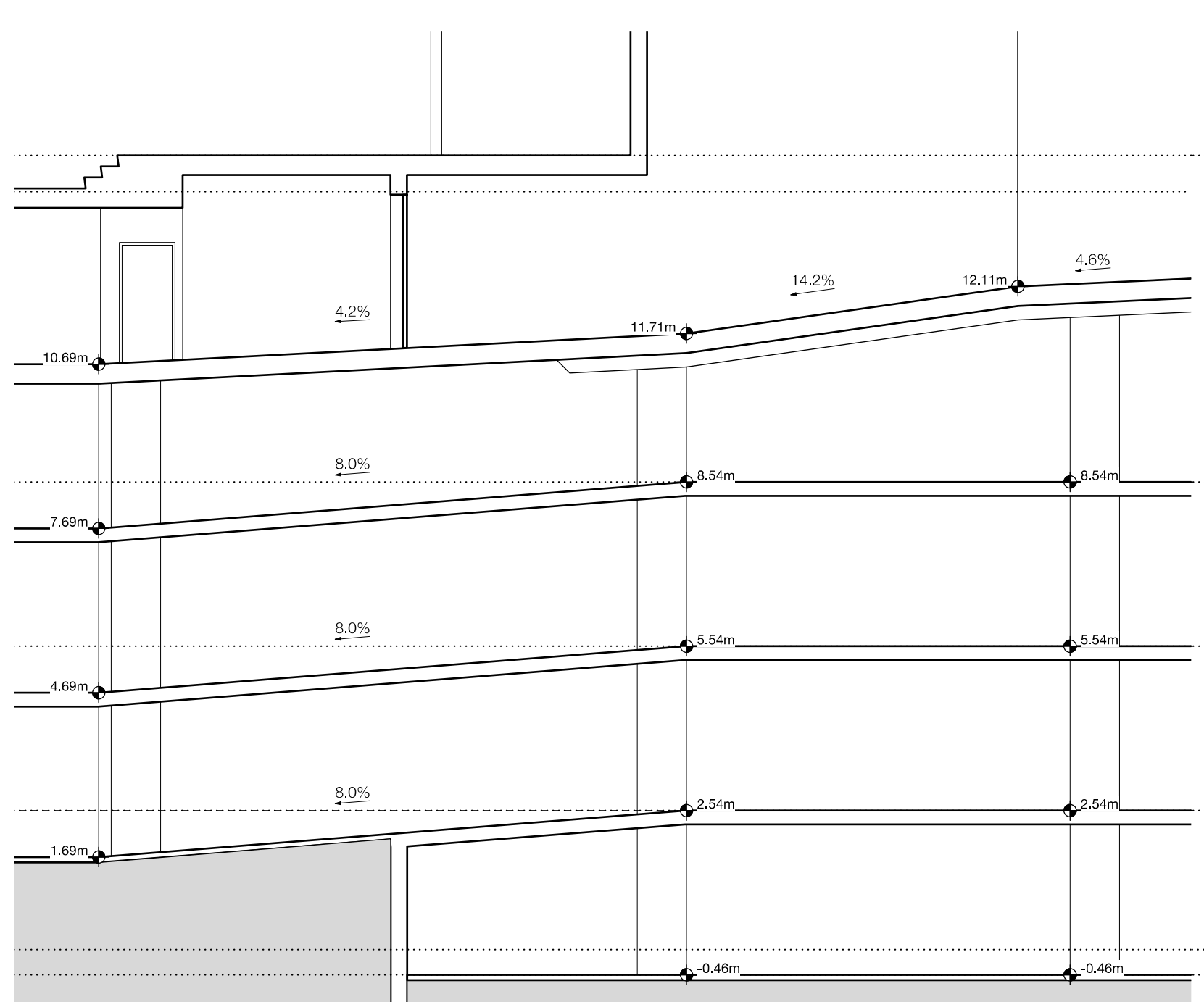
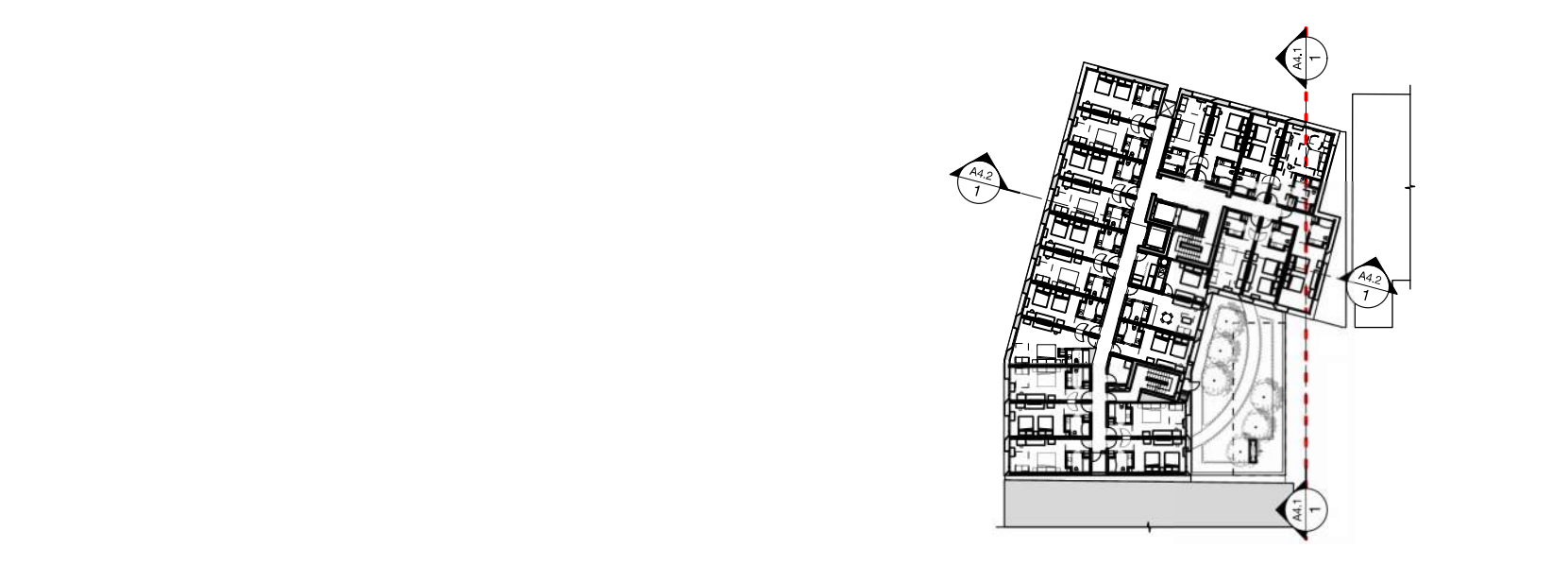
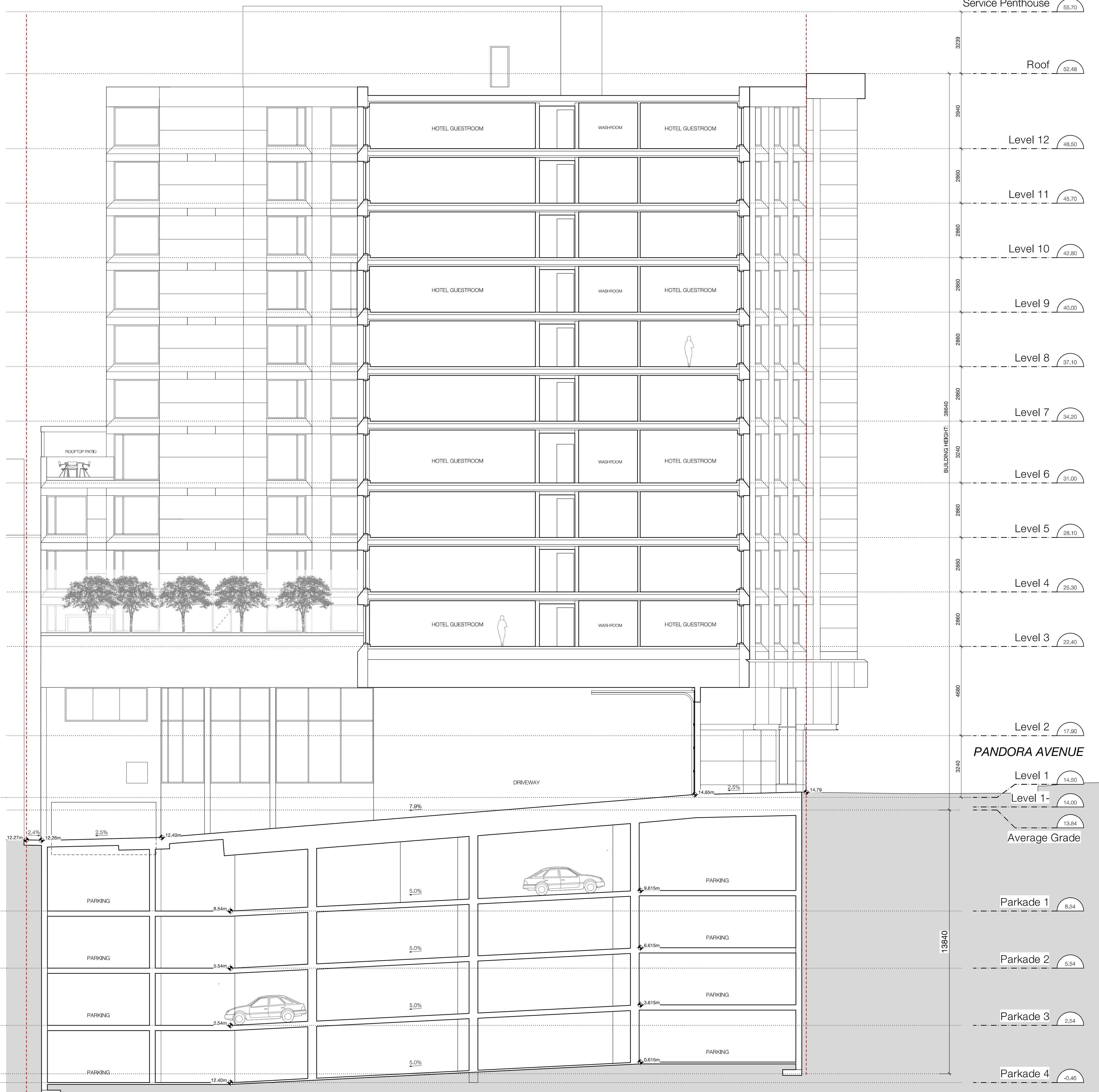
revision no.	sheet no.
-	A3.1



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Pewter Finish
3. Cementitious Panel - Plank Format
Warm Light Grey
4. Painted Metal Pergolas & Canopies
Charcoal
5. Cementitious Panel
Warm Light Grey
6. Clear Glazing in Aluminum Frames
Clear Anodized



2 Partial Section E-W Internal Ramp System
Scale 1:100

1 Section N-S
Scale 1:100



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29
rev no	description	date

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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Building Section N-S

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES
revision no.	sheet no.

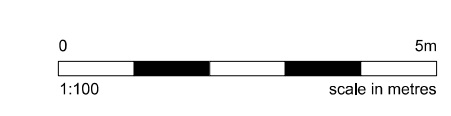
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Clear Anodized



1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29
rev no	description	date

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project name
Plaza Hotel
603 Pandora Avenue
Victoria, BC

sheet title
Building Section N-S

project no.	20-36
drawing file	-
date issued	April 5, 2024
scale	1:100
drawn by	JA/JB
checked by	ES
revision no.	sheet no.

A4.2



Section E-W
Scale 1:100



HAMPTON INN - PANDORA AND GOVERNMENT

Victoria, BC

Issued for Rezoning / Development Permit - March 7th, 2024

LANDSCAPE DRAWING LIST

L0.00 - Cover Sheet
L0.01 - Tree Survey
L0.02 - Tree Management Plan

Concept Plan
L1.01 - Concept Plan L1
L1.02 - Concept Plan L3

Landscape Plan
L1.11 - Landscape Plan
L1.12 - Landscape Plan

Planting Plan
L1.41 - Planting Plan
L1.42 - Planting Plan

Site Perspectives
L2.01 - Site Perspectives

Details
L4.11 - Paving
L4.21 - Site Furnishings
L4.41 - Planting
L4.42 - Planting

2	Issued for Rezoning	Mar. 7th/24
1	Issued for CALUC	Jan. 29th/24

No.	Description	Date
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Plaza Hotel

603 Pandora Ave
Victoria, BC

Cover Sheet

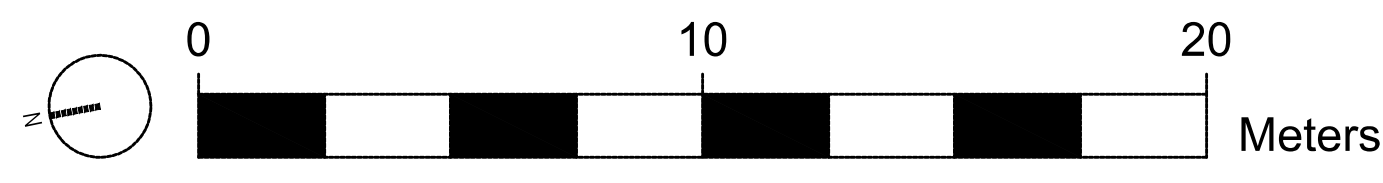
Date	Aug. 03/22	Drawing Number
Project No.	2215	L0.00
Scale	1:100	
Drawn/Checked	kk JF	

TREE SURVEY LEGEND

- | QTY. | DESCRIPTION |
|------|--------------------------|
| 10 | EXISTING TREES |
| | CRITICAL ROOT ZONE (CRZ) |

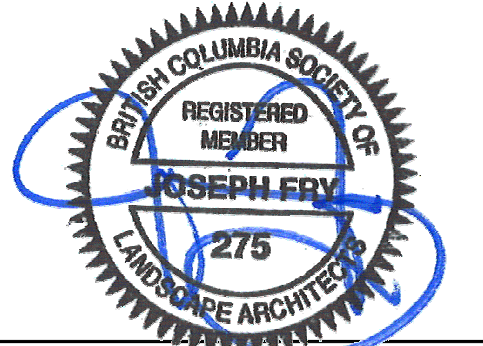
- NOTES**
1. THE TREE SURVEY PLAN REFERENCES THE SURVEY PREPARED BY POLARIS LAND SURVEYING ON 01/27/2020.
 2. NO STORAGE OF BUILDING /CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
 3. ANY PRUNING OF BRANCHES OR ROOTS MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
 4. PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH. REFER TO TREE PROTECTION SPECIFICATIONS.
 5. WHEN REMOVING ASPHALT, PAVING OR OTHER MATERIALS FROM DIRECT CONTACT WITH TREE ROOTS OR PROTECTION ZONES - CONSULT WITH ARBORIST ON SITE.
 6. REFER TO ARBORIST'S INVENTORY/ASSESSMENT REPORT PREPARED BY PROJECT ARBORIST FOR TREE SPECIES AND GENERAL CONDITIONS. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH AN ARBORIST REPORT.

NOTES
FOR TREE INVENTORY AND RELATED NOTES REFER TO L0.02.



2 Issued for Rezoning Mar. 7th/24
1 Issued for CALUC Jan. 29th/24

No.	Description	Date

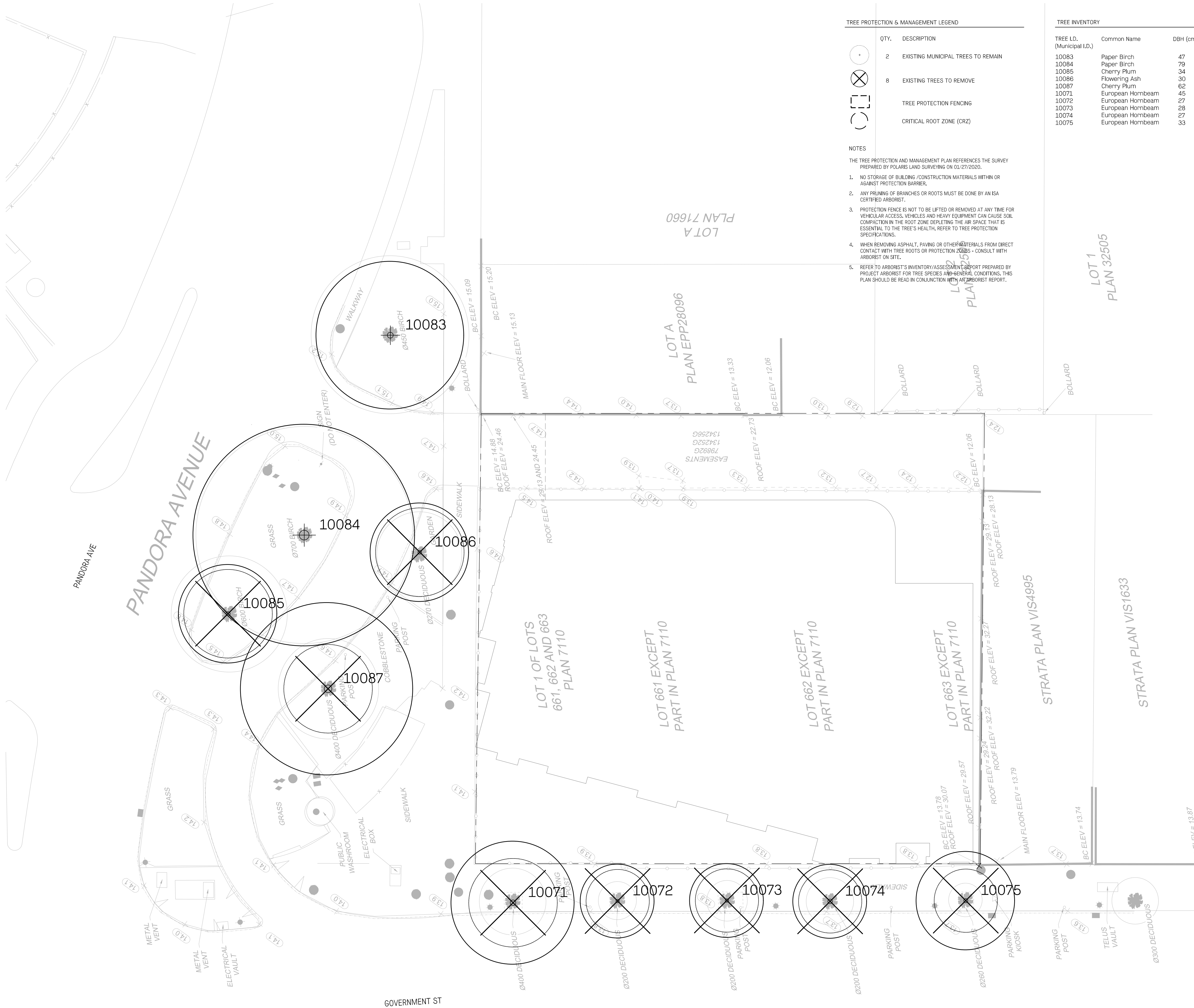


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Plaza Hotel
603 Pandora Ave
Victoria, BC

Tree Survey

Date	Aug. 03/22	Drawing Number	
Project No.	2215		
Scale	1:100		L0.01
Drawn/Checked	kk JF		



TREE PROTECTION & MANAGEMENT LEGEND

QTY.	DESCRIPTION
2	EXISTING MUNICIPAL TREES TO REMAIN
8	EXISTING TREES TO REMOVE
	TREE PROTECTION FENCING
	CRITICAL ROOT ZONE (CRZ)

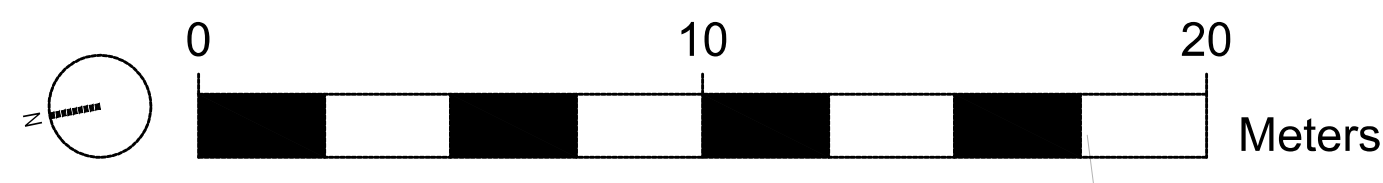
NOTES

THE TREE PROTECTION AND MANAGEMENT PLAN REFERENCES THE SURVEY PREPARED BY POLARIS LAND SURVEYING ON 02/27/2020.

- NO STORAGE OF BUILDING /CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
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- WHEN REMOVING ASPHALT, PAVING OR OTHER MATERIALS FROM DIRECT CONTACT WITH TREE ROOTS OR PROTECTION ZONES - CONSULT WITH ARBORIST ON SITE.
- REFER TO ARBORIST'S INVENTORY/ASSESSMENT REPORT PREPARED BY PROJECT ARBORIST FOR TREE SPECIES AND GENERAL CONDITIONS. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH AN ARBORIST REPORT.

TREE INVENTORY

TREE I.D. (Municipal I.D.)	Common Name	DBH (cm)	Crown (m) Spread	CRZ (m)	Structure	Health	Bylaw Status	Recommended Action
10083	Paper Birch	47	15	6	Good	Fair	Municipal	Protect and Retain
10084	Paper Birch	79	18	9	Good	Fair	Municipal	Protect and Retain
10085	Cherry Plum	34	9	4	Fair	Fair	Municipal	Remove
10086	Flowering Ash	30	7	4	Good	Good	Municipal	Remove
10087	Cherry Plum	62	7	7	Fair	Poor	Municipal	Remove
10071	European Hornbeam	45	7	5	Good	Good	Municipal	Remove
10072	European Hornbeam	27	5	3	Good	Good	Municipal	Remove
10073	European Hornbeam	28	5	3	Good	Good	Municipal	Remove
10074	European Hornbeam	27	5	3	Good	Good	Municipal	Remove
10075	European Hornbeam	33	5	4	Good	Good	Municipal	Remove



2 Issued for Rezoning Mar. 7th/24
 1 Issued for CALUC Jan. 29th/24

No. Description Date



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Plaza Hotel
 603 Pandora Ave
 Victoria, BC

Tree Management Plan



PANDORA AVE

INNER PLAZA DEFINED BY PERIMETER CIRCULAR BENCHES AND SPECIAL PAVING INTERIOR

PLANTED AREA WITH TREES AND SITTABLE GRANITE OUTCROP EDGES

GRANITE OUTCROP MISTING FEATURE

PLANTED AREAS WITH LOW PLANTING AND TREES TO PRESERVE SIGHTLINES THROUGH AT EYE LEVEL

REPLACEMENT STREET TREES IN PLANTING ALONG GOVERNMENT

GOVERNMENT ST

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Landscape Architecture
Urban Design

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Plaza Hotel
603 Pandora Ave
Victoria, BC

**Concept Plan
Ground Level**



Date	Aug. 03/22	Drawing Number
Project No.	2215	L1.01
Scale	1:100	
Drawn/Checked	kk JF	



- MOUNDED SHADE-TOLERANT PLANTING
- (6) SMALL SHADE TOLERANT TREES FOR SCREENING
- DECORATIVE GRAVEL ARC AND BORDER

2	Issued for Rezoning	Mar. 7th/24
1	Issued for CALUC	Jan. 29th/24

No.	Description	Date
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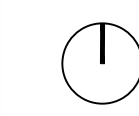


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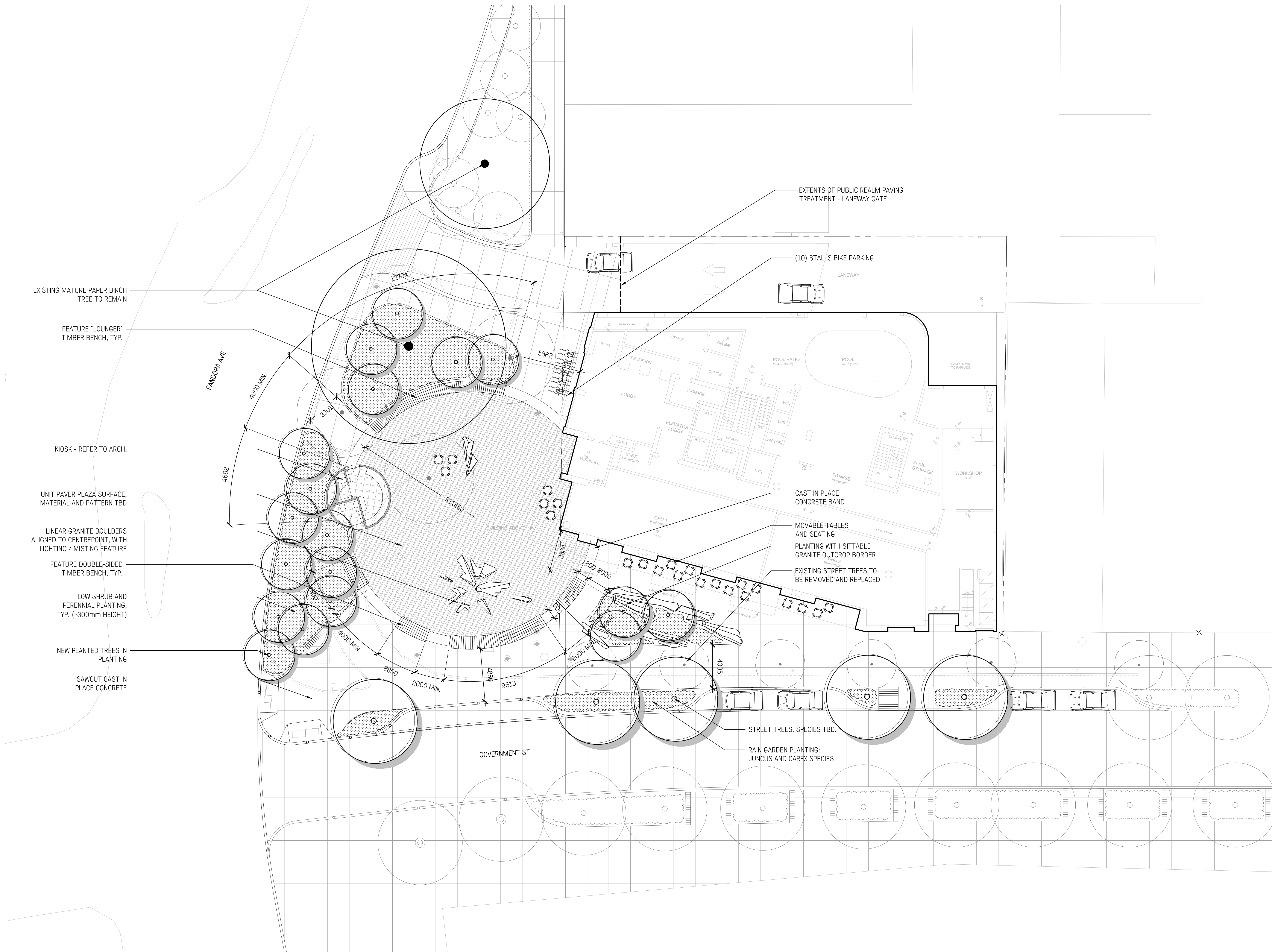
Plaza Hotel

603 Pandora Ave
 Victoria, BC

**Concept Plan
 Level 3**



Date	Aug. 03/22	Drawing Number
Project No.	2215	L1.02
Scale	1:50	
Drawn/Checked	kk JF	



EXISTING MATURE PAPER BIRCH TREE TO REMAIN

FEATURE "LOUNGER" TIMBER BENCH, TYP.

KIOSK - REFER TO ARCH.

UNIT PAVER PLAZA SURFACE, MATERIAL AND PATTERN TBD

LINEAR GRANITE BOULDERS ALIGNED TO CENTREPOINT, WITH LIGHTING / MISTING FEATURE

FEATURE DOUBLE-SIDED TIMBER BENCH, TYP.

LOW SHRUB AND PERENNIAL PLANTING, TYP. (~300mm HEIGHT)

NEW PLANTED TREES IN PLANTING

SAWCUT CAST IN PLACE CONCRETE

EXTENTS OF PUBLIC REALM PAVING TREATMENT - LANEWAY GATE

(10) STALLS BIKE PARKING

CAST IN PLACE CONCRETE BAND

MOVABLE TABLES AND SEATING

PLANTING WITH SITTABLE GRANITE OUTCROP BORDER

EXISTING STREET TREES TO BE REMOVED AND REPLACED

STREET TREES, SPECIES TBD.

RAIN GARDEN PLANTING: JUNCUS AND CAREX SPECIES

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No.	Description	Date
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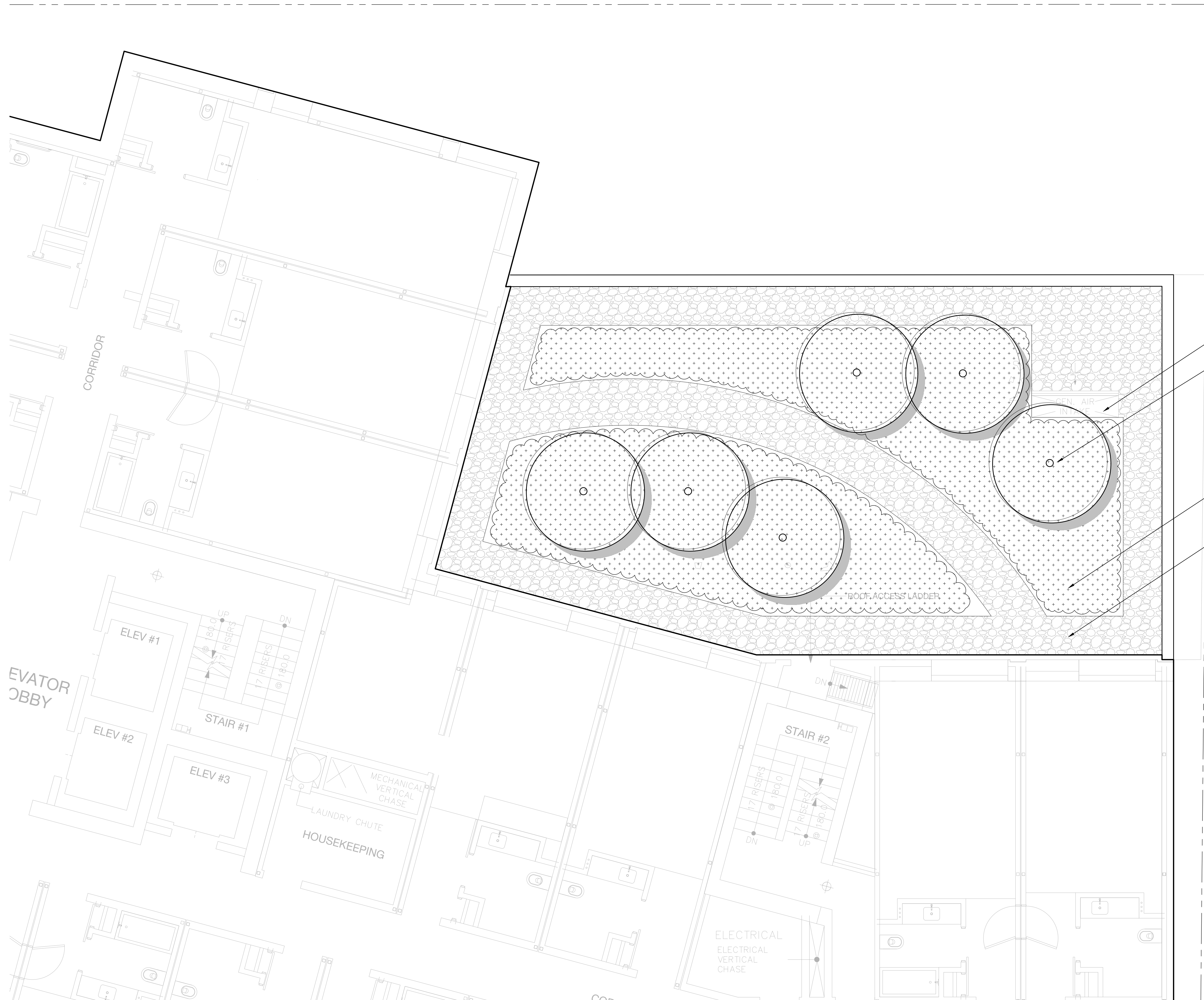
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Plaza Hotel
603 Pandora Ave
Victoria, BC

Landscape Plan



Date	Aug. 03/22	Drawing Number
Project No.	2215	L1.11
Scale	1:150	
Drawn/Checked	kk JF	



AIR INTAKE UNIT, REFER TO MECH.

TREES PLANTED ON BERMED MOUNDS TO PROVIDE SUFFICIENT SOIL VOLUME

SHADE-TOLERANT PLANTING

DECORATIVE GRAVEL BORDER AND ARC

2	Issued for Rezoning	Mar. 7th/24
1	Issued for CALUC	Jan. 29th/24

No.	Description	Date
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Plaza Hotel

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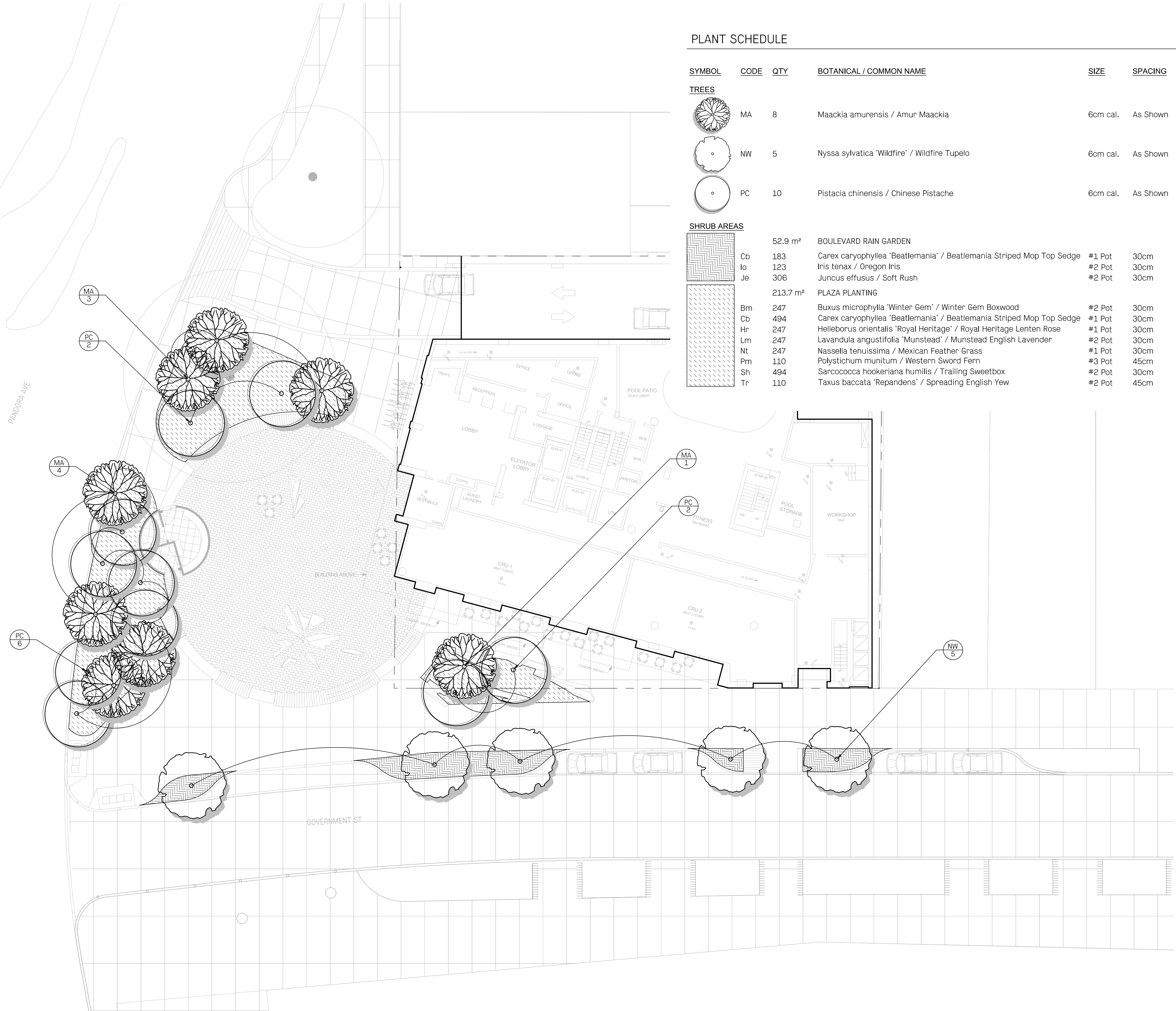
Landscape Plan



Date	Aug. 03/22	Drawing Number
Project No.	2215	L1.11
Scale	1:50	
Drawn/Checked	kk JF	

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS	REMARKS
TREES							
	MA	8	Maackia amurensis / Amur Maackia	6cm cal.	As Shown	B&B, Well Branched, Dense Tree	
	NW	5	Nyssa sylvatica 'Wildfire' / Wildfire Tupelo	6cm cal.	As Shown	B&B, Well Branched, Dense Tree	
	PC	10	Pistacia chinensis / Chinese Pistache	6cm cal.	As Shown	B&B, Well Branched, Dense Tree	
SHRUB AREAS							
	52.9 m²	BOULEVARD RAIN GARDEN					
Cb	183	Carex caryophylla 'Beatlemania' / Beatlemania Striped Mop Top Sedge		#1 Pot	30cm		
Io	123	Iris tenax / Oregon Iris		#2 Pot	30cm		
Je	306	Juncus effusus / Soft Rush		#2 Pot	30cm		
	213.7 m²	PLAZA PLANTING					
Bm	247	Buxus microphylla 'Winter Gem' / Winter Gem Boxwood		#2 Pot	30cm		
Cb	494	Carex caryophylla 'Beatlemania' / Beatlemania Striped Mop Top Sedge		#1 Pot	30cm		
Hr	247	Helleborus orientalis 'Royal Heritage' / Royal Heritage Lenten Rose		#1 Pot	30cm		
Lm	247	Lavandula angustifolia 'Munstead' / Munstead English Lavender		#2 Pot	30cm		
Nt	247	Nassella tenuissima / Mexican Feather Grass		#1 Pot	30cm		
Pm	110	Polystichum munitum / Western Sword Fern		#3 Pot	45cm		
Sh	494	Sarcococca hookeriana humilis / Trailing Sweetbox		#2 Pot	30cm		
Tr	110	Taxus baccata 'Repandens' / Spreading English Yew		#2 Pot	45cm		



2 Issued for Rezoning Mar. 7th/24
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No.	Description	Date
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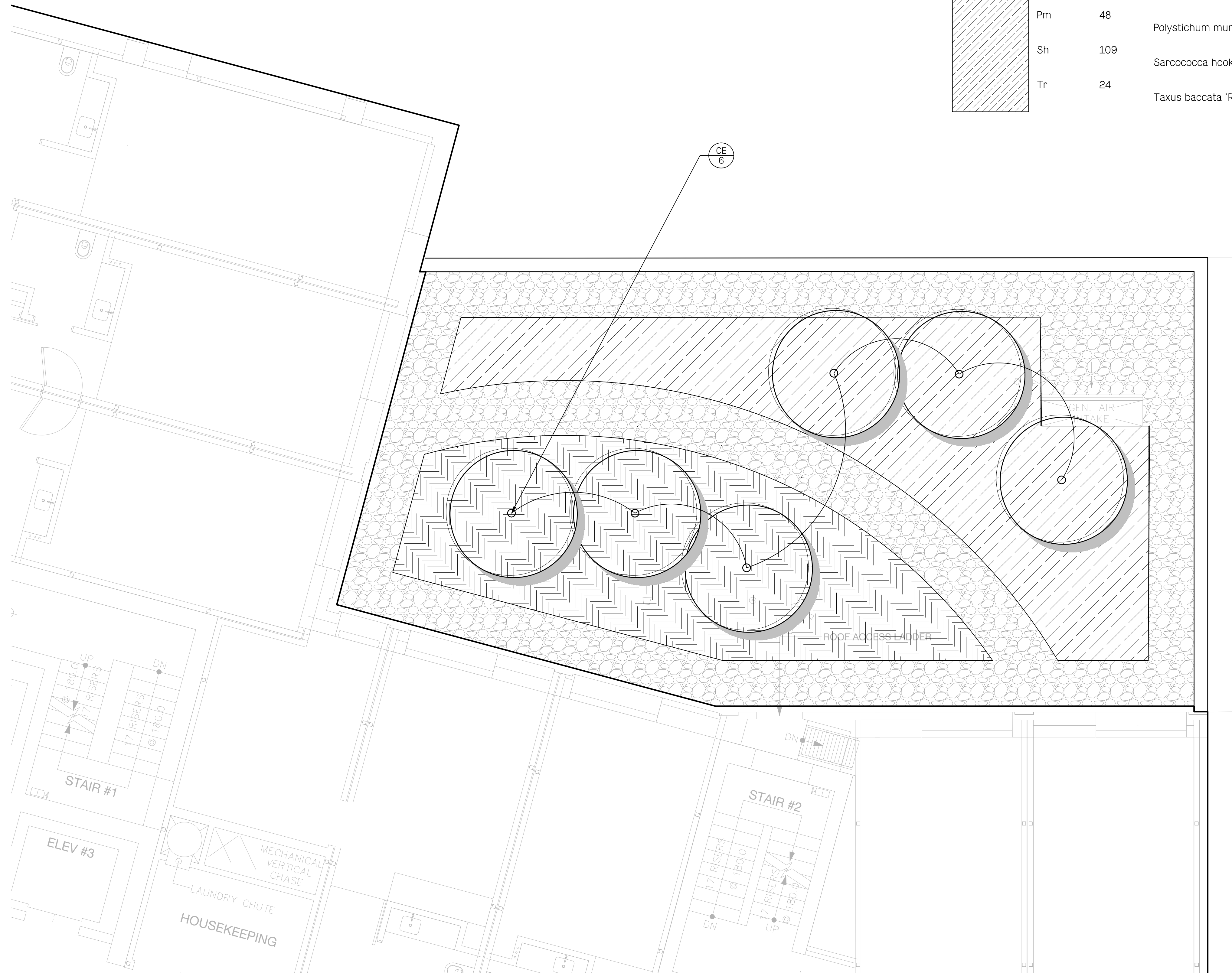
Plaza Hotel
 603 Pandora Ave
 Victoria, BC

Planting Plan

Date	Aug. 03/22	Drawing Number	
Project No.	2215		
Scale	1:150		L1.41
Drawn/Checked	kk JF		

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS
TREES						
	CE	6	Cornus x 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	6cm cal.	As Shown	B&B, Well Branched, Dense Tree
SHRUB AREAS						
	Cp	342	ROOFTOP PLANTING 1 Carex pensylvanica / Pennsylvania Sedge	#2 Pot		
	St	37	Spiraea betulifolia 'Tor Gold' / Glow Girl® Birchleaf Spirea	#2 Pot		
	Bm	109	ROOFTOP PLANTING 2 Buxus microphylla 'Winter Gem' / Winter Gem Boxwood	#2 Pot	30cm	
	Cb	109	Carex caryophylla 'Beatlemania' / Beatlemania Striped Mop Top Sedge	#1 Pot	30cm	
	Hr	55	Helleborus orientalis 'Royal Heritage' / Royal Heritage Lenten Rose	#1 Pot	30cm	
	Pm	48	Polystichum munitum / Western Sword Fern	#3 Pot	45cm	
	Sh	109	Sarcococca hookeriana humilis / Trailing Sweetbox	#2 Pot	30cm	
	Tr	24	Taxus baccata 'Repandens' / Spreading English Yew	#2 Pot	45cm	



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Plaza Hotel
 603 Pandora Ave
 Victoria, BC

Landscape Plan

Date	Aug. 03/22	Drawing Number
Project No.	2215	
Scale	1:50	L1.11
Drawn/Checked	kk JF	



1
L2.01 View from Pandora and Government



2
L2.01 View North Along Building Face



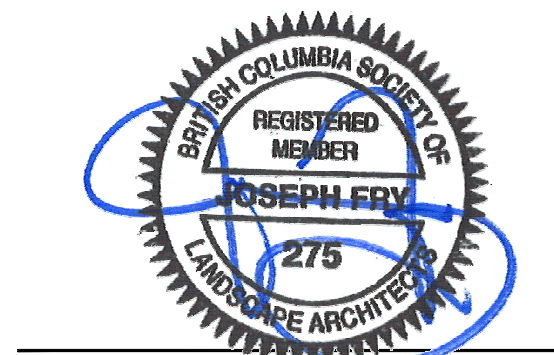
3
L2.01 View into Plaza from Pandora and Government



4
L2.01 View of Plaza from Hotel Lobby

2	Issued for Rezoning	Mar. 7th/24
1	Issued for CALUC	Jan. 29th/24

No.	Description	Date
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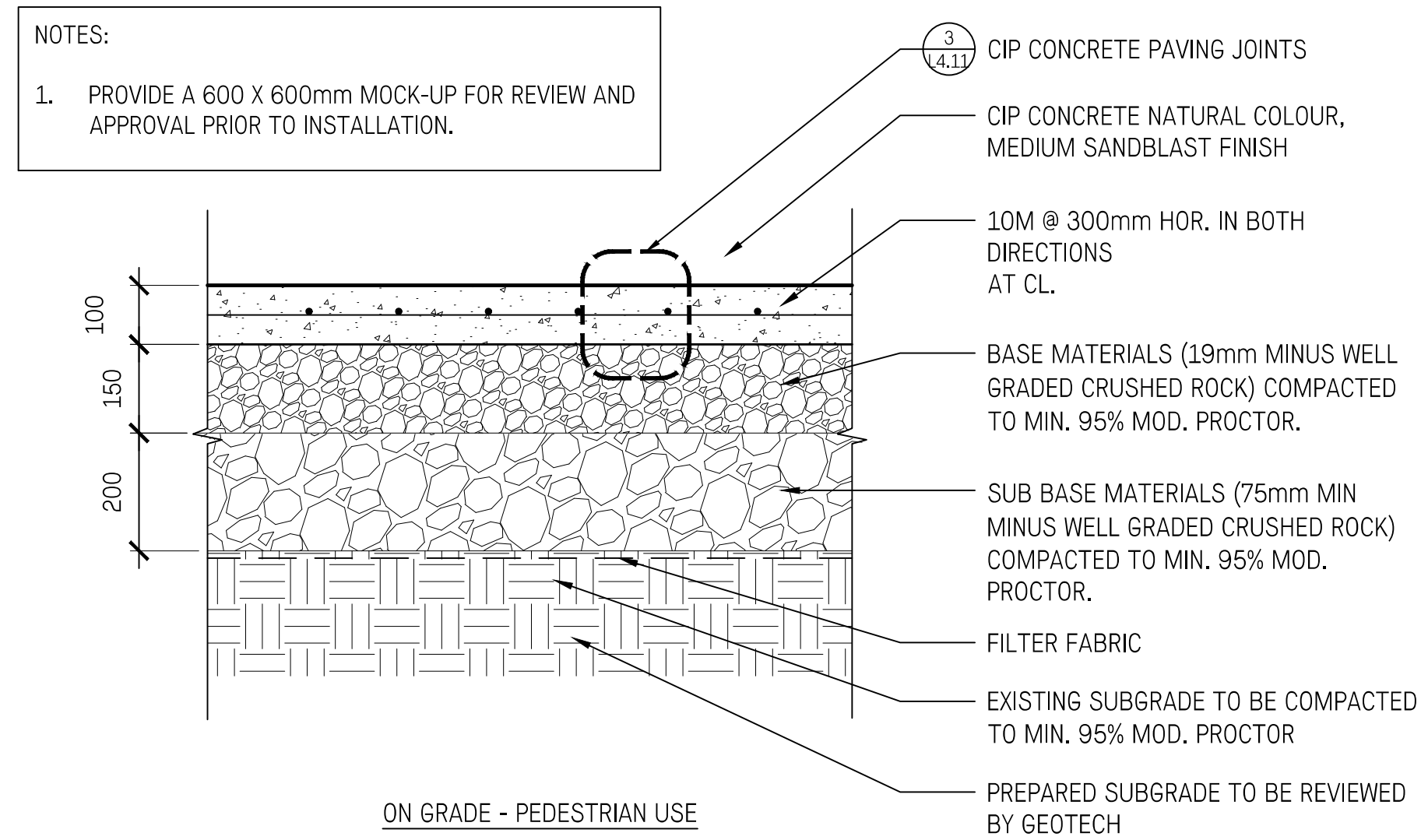


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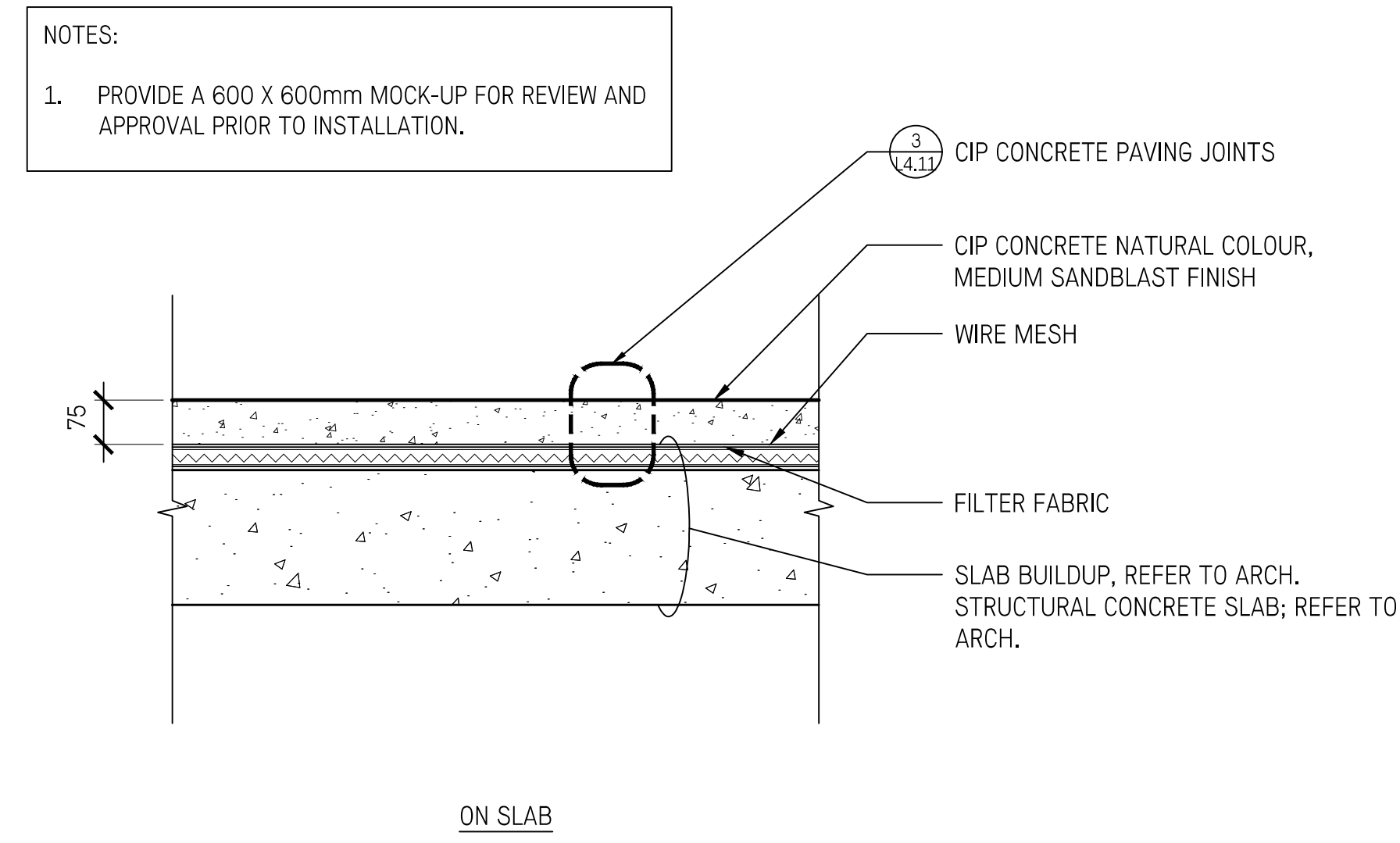
Plaza Hotel
 603 Pandora Ave
 Victoria, BC

Site Perspectives

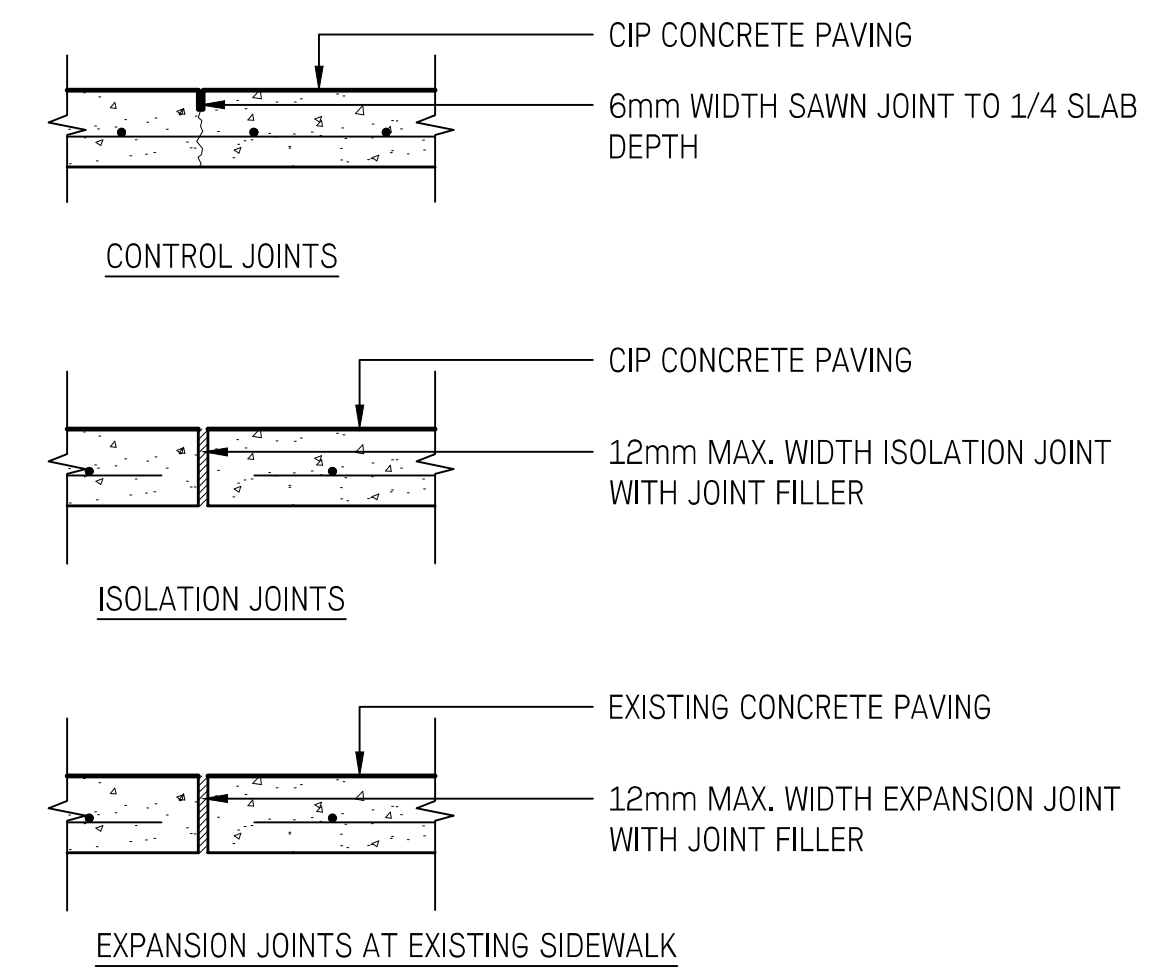
Date	Aug. 03/22	Drawing Number
Project No.	2215	L2.01
Scale	1:100	
Drawn/Checked	kk JF	



1 (4.11) PAVING TYPE A - CIP CONCRETE ON GRADE
1:10

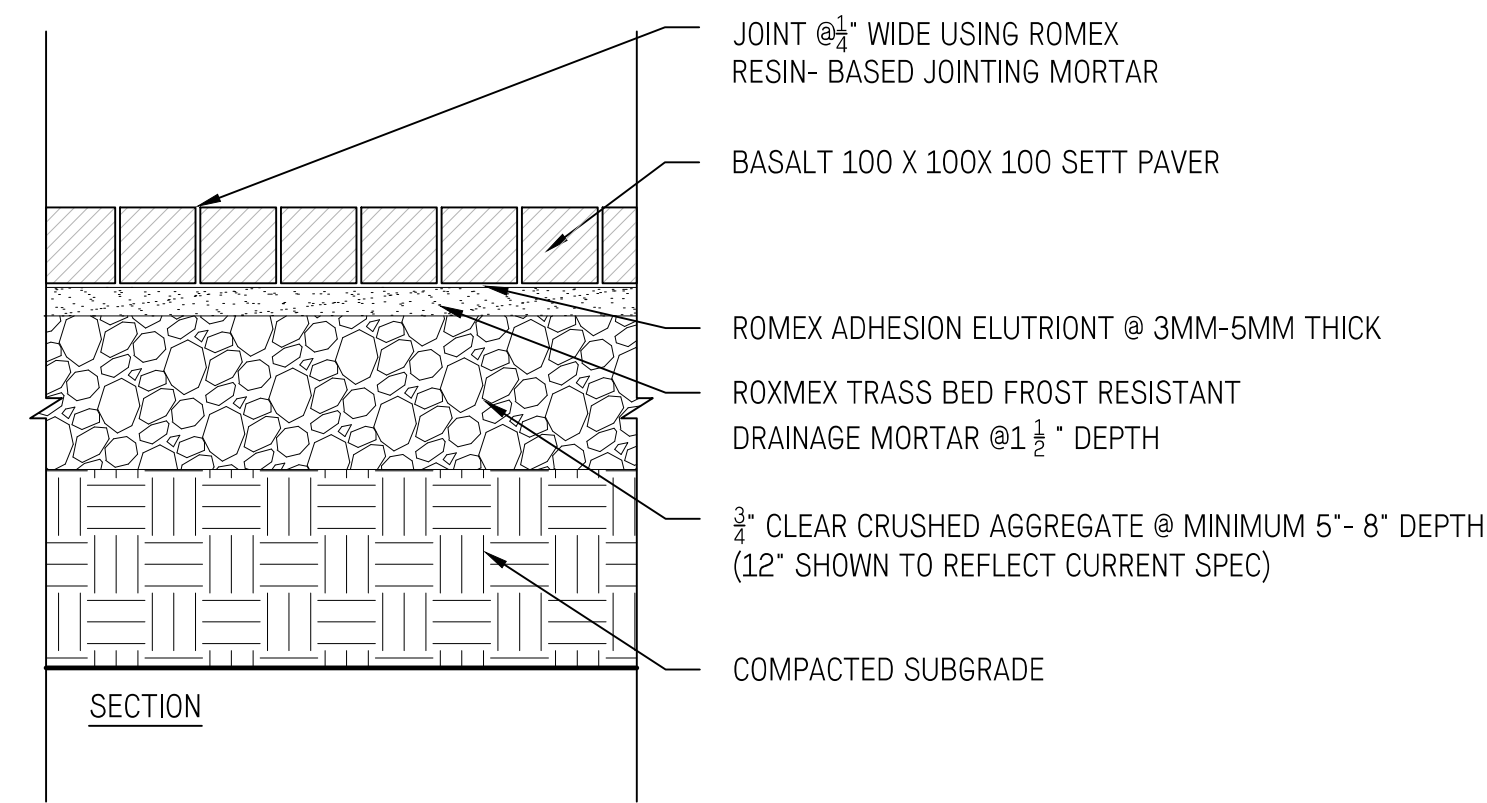


2 (4.11) PAVING TYPE B - CIP CONCRETE ON SLAB
1:10



3 (4.11) CIP CONCRETE PAVING JOINTS
1:10

- NOTES:
1. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH;
 2. CUT JOINTS BEFORE RANDOM CRACKING OCCURS;
 3. C-2 SAWCUT CONTROL JOINTS WITHIN 18 HOURS OF FINISHING SLABS REFER TO LAYOUT PLAN.
 4. PROVIDE ISOLATION JOINTS: AS SHOWN ON PLAN; BETWEEN POURS; AT CHANGE IN MATERIALS; AT EDGES ABUTTING STRUCTURES AND OTHER FIXED ELEMENTS; AT MAX. 6.0m O.C.
 5. ENSURE CLEAN CUT EDGE OF EXISTING PAVING ALONG PROPERTY LINE.



4 (4.11) PERMEABLE STONE PAVER
1:10

2	Issued for Rezoning	Mar. 7th/24
1	Issued for CALUC	Jan. 29th/24

No.	Description	Date
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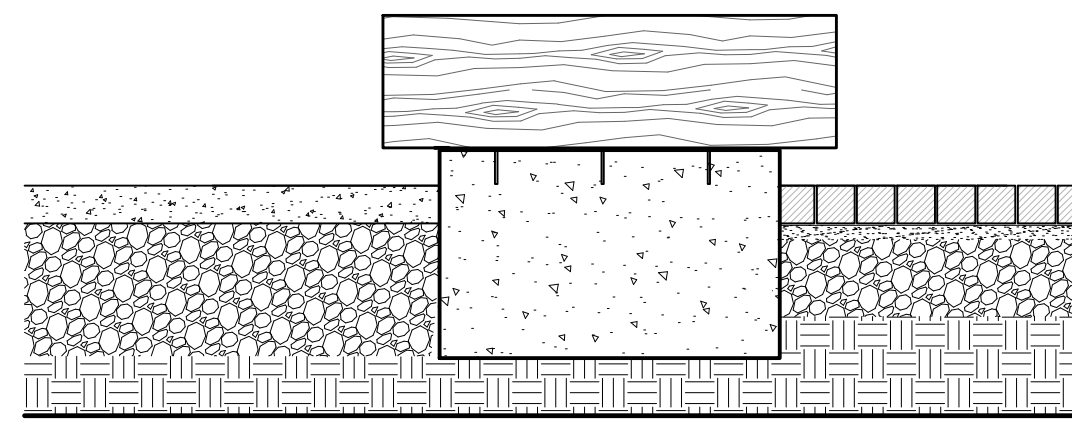
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Plaza Hotel

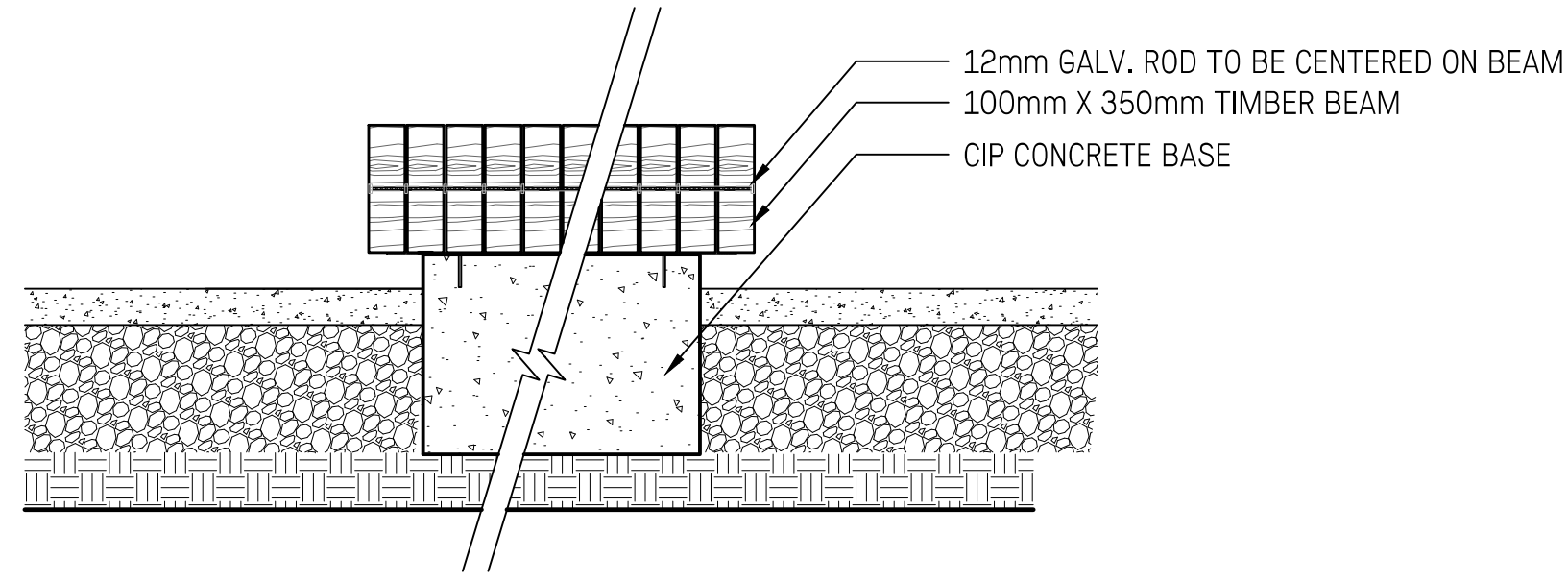
603 Pandora Ave
Victoria, BC

**Landscape Details
Paving**

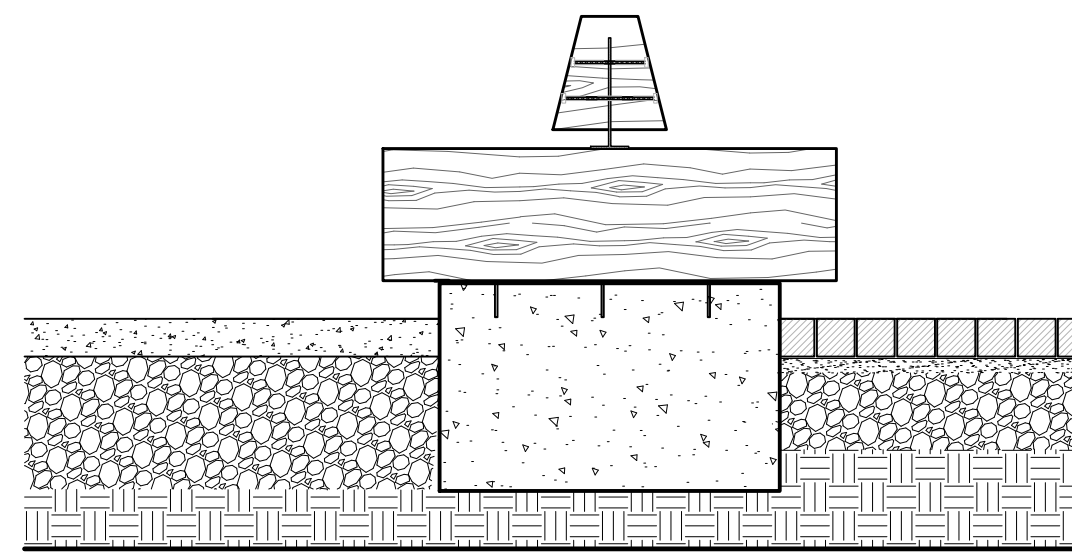
Date	Aug. 03/22	Drawing Number
Project No.	2215	
Scale	1:100	L4.11
Drawn/Checked	kk JF	



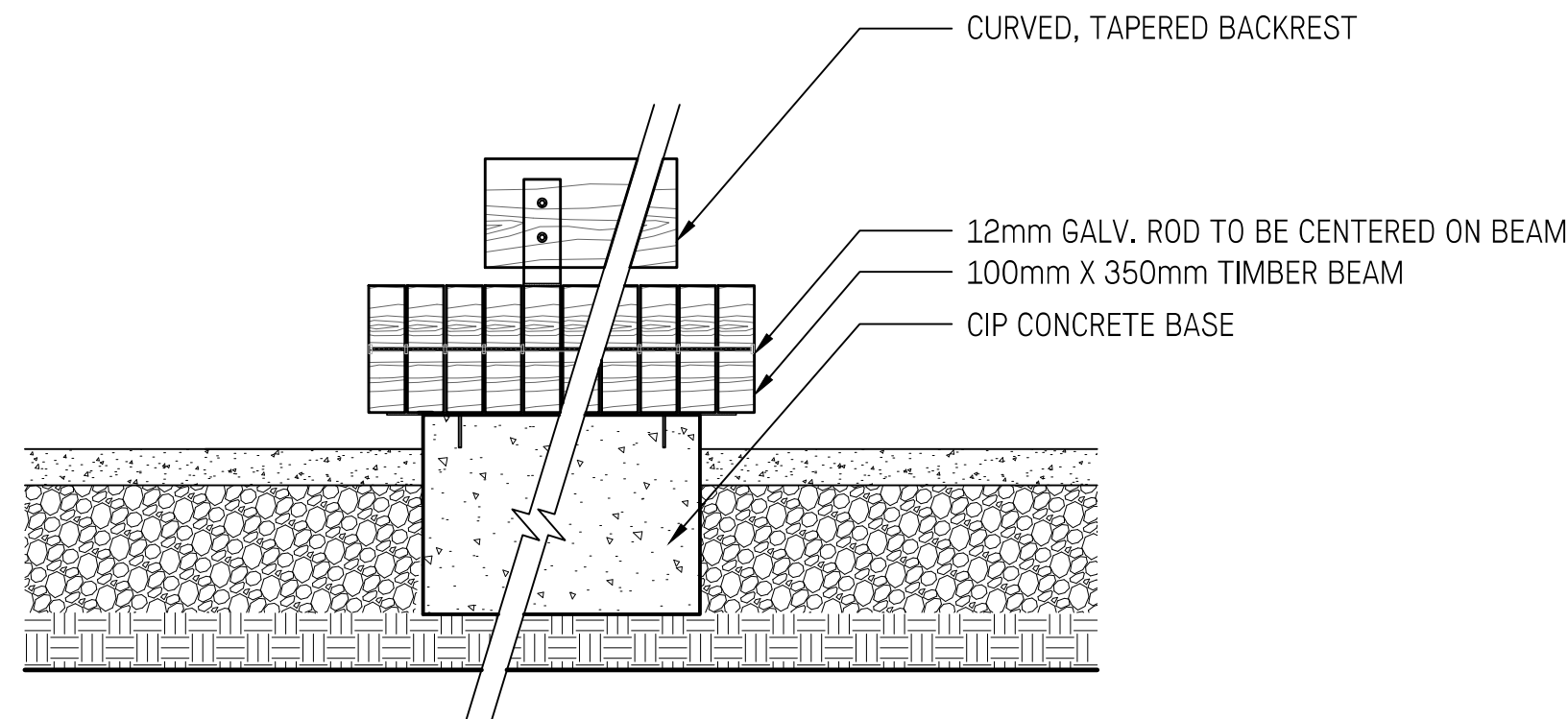
PLATFORM SECTION



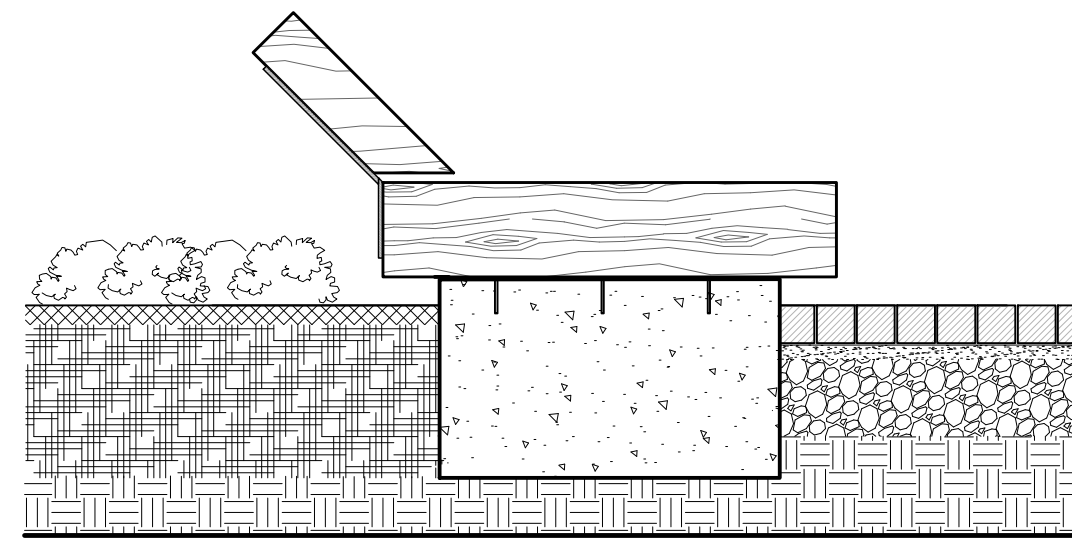
PLATFORM ELEVATION



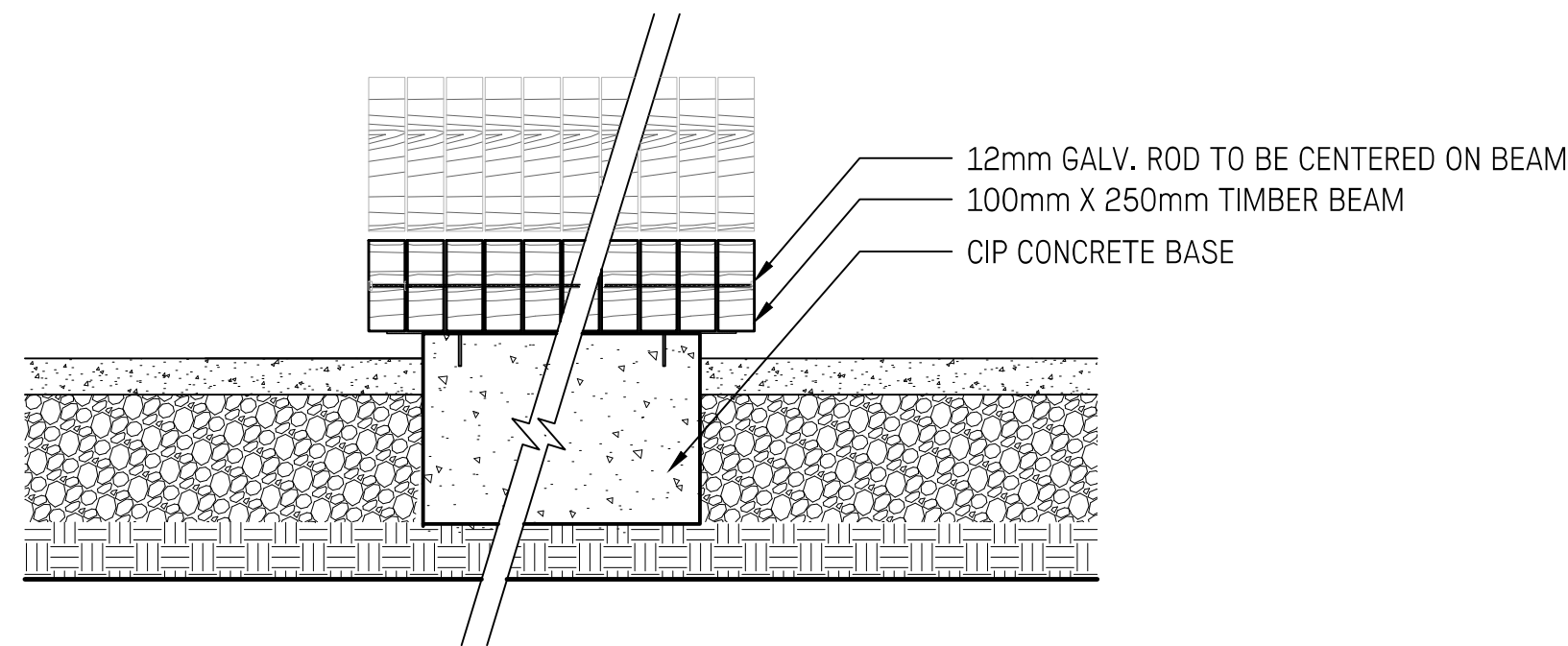
DOUBLE-SIDED SECTION



DOUBLE-SIDED ELEVATION



"LOUNGER" SECTION



"LOUNGER" ELEVATION

1 FEATURE WOOD BENCH
L4.21 1:20

2	Issued for Rezoning	Mar. 7th/24
1	Issued for CALUC	Jan. 29th/24

No.	Description	Date
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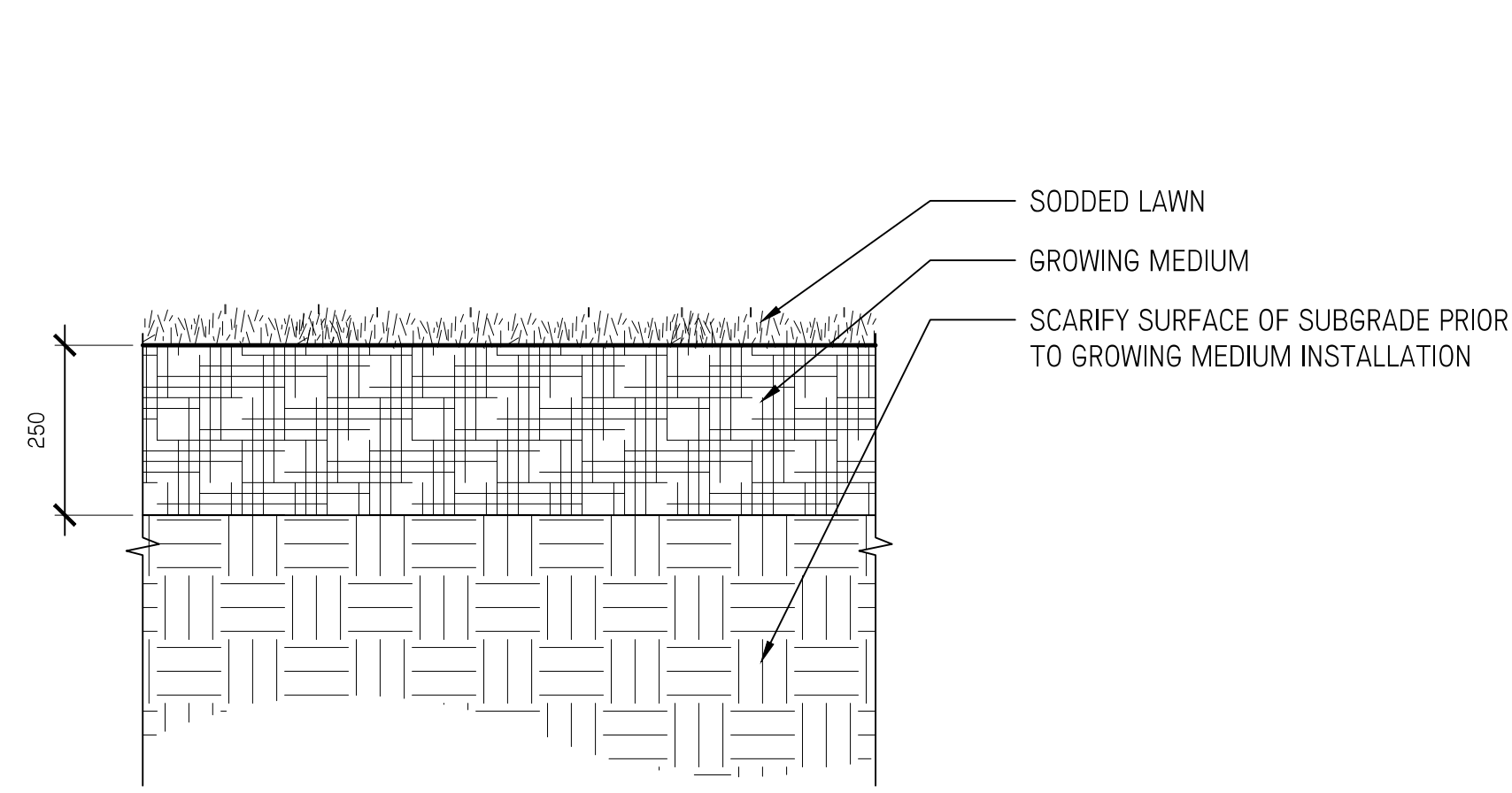
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Plaza Hotel

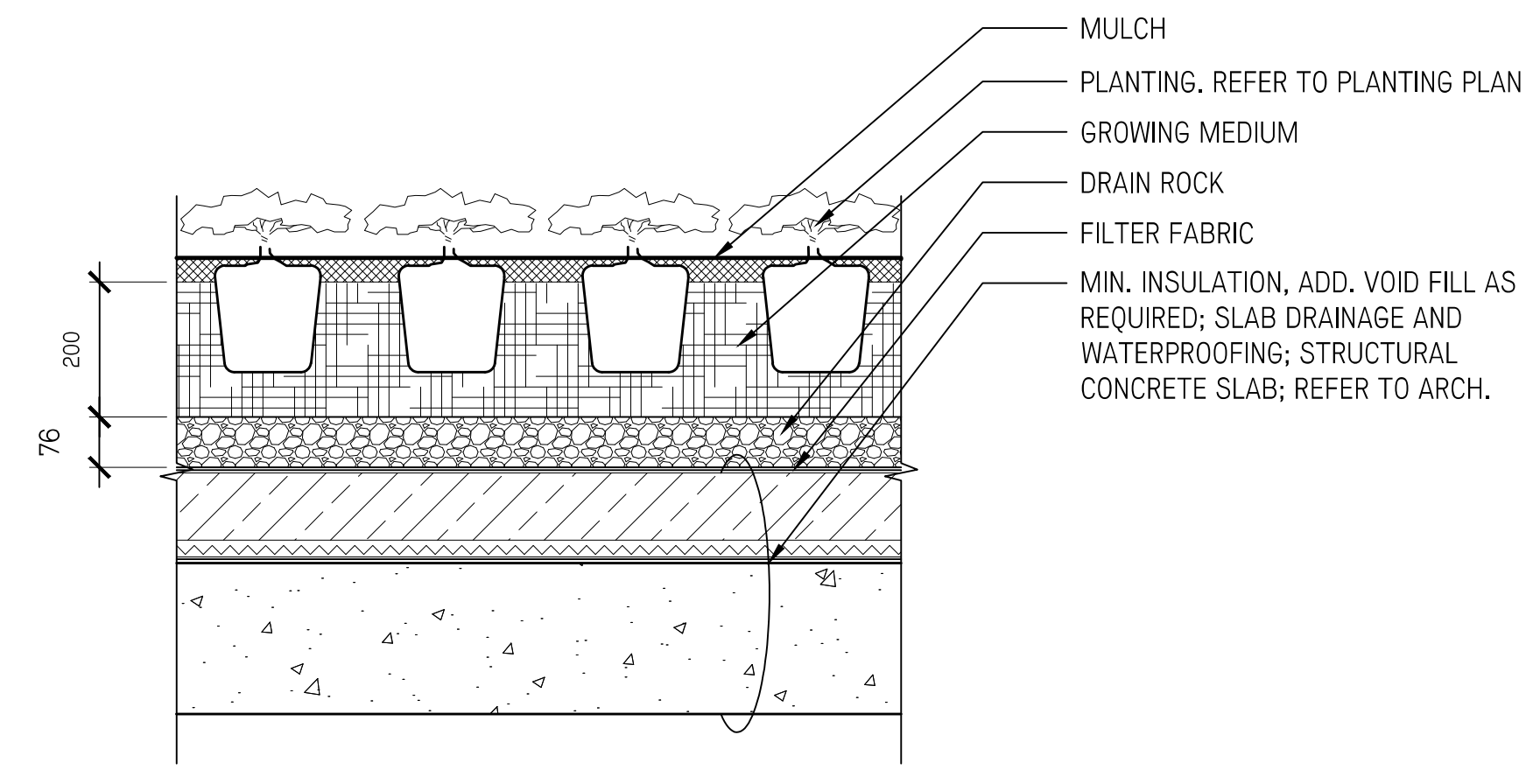
603 Pandora Ave
Victoria, BC

**Landscape Details
Site Furnishings**

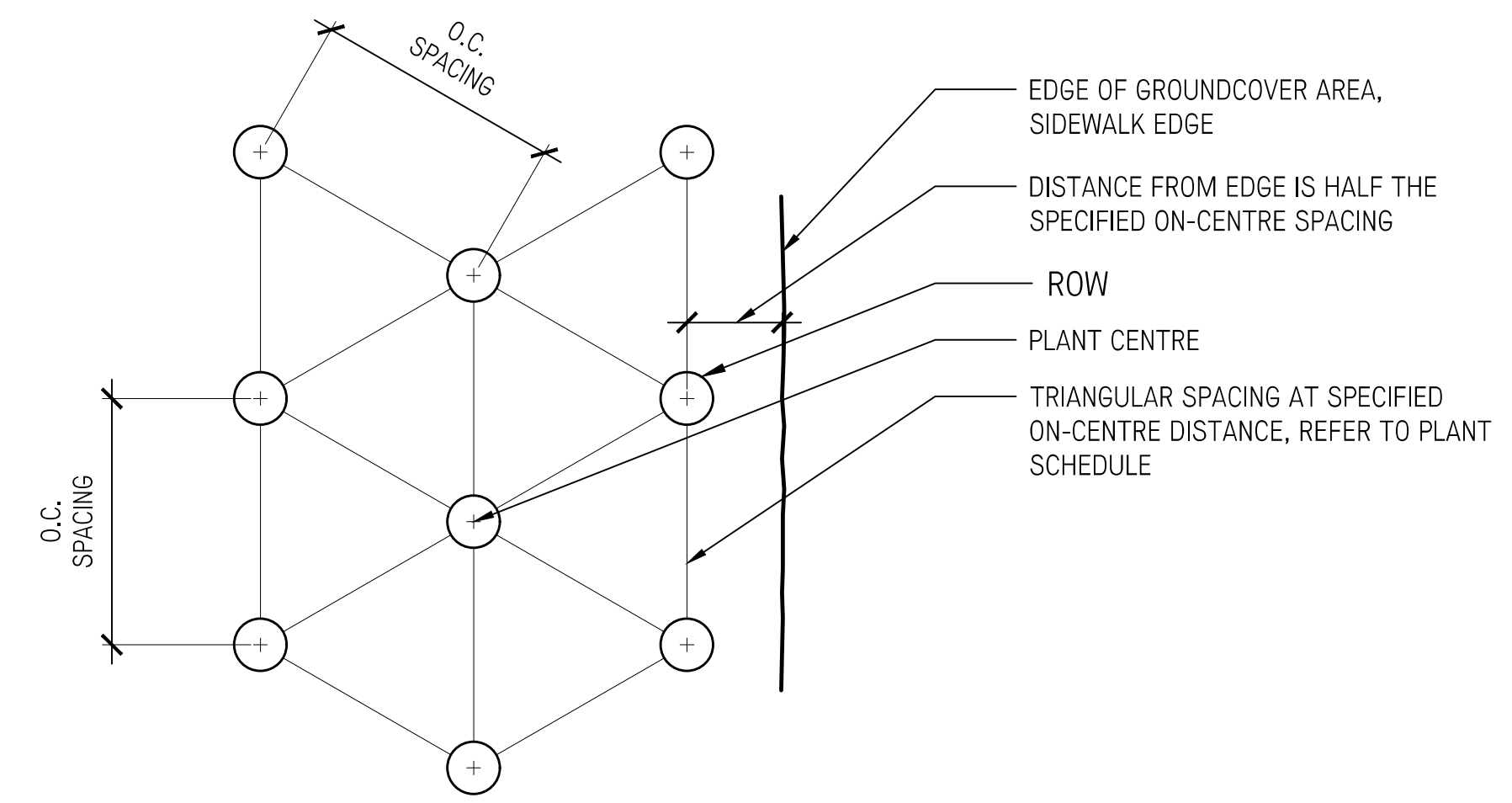
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Project No.	2215	L4.21
Scale	1:100	
Drawn/Checked	kk JF	



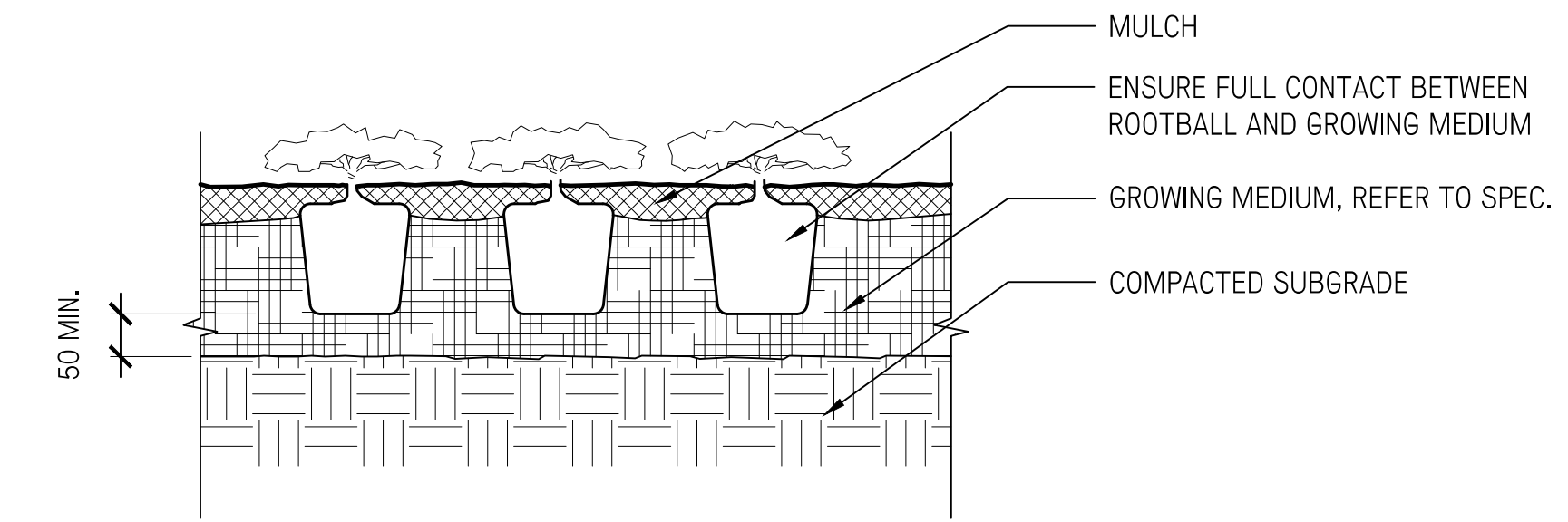
LAWN PLANTING



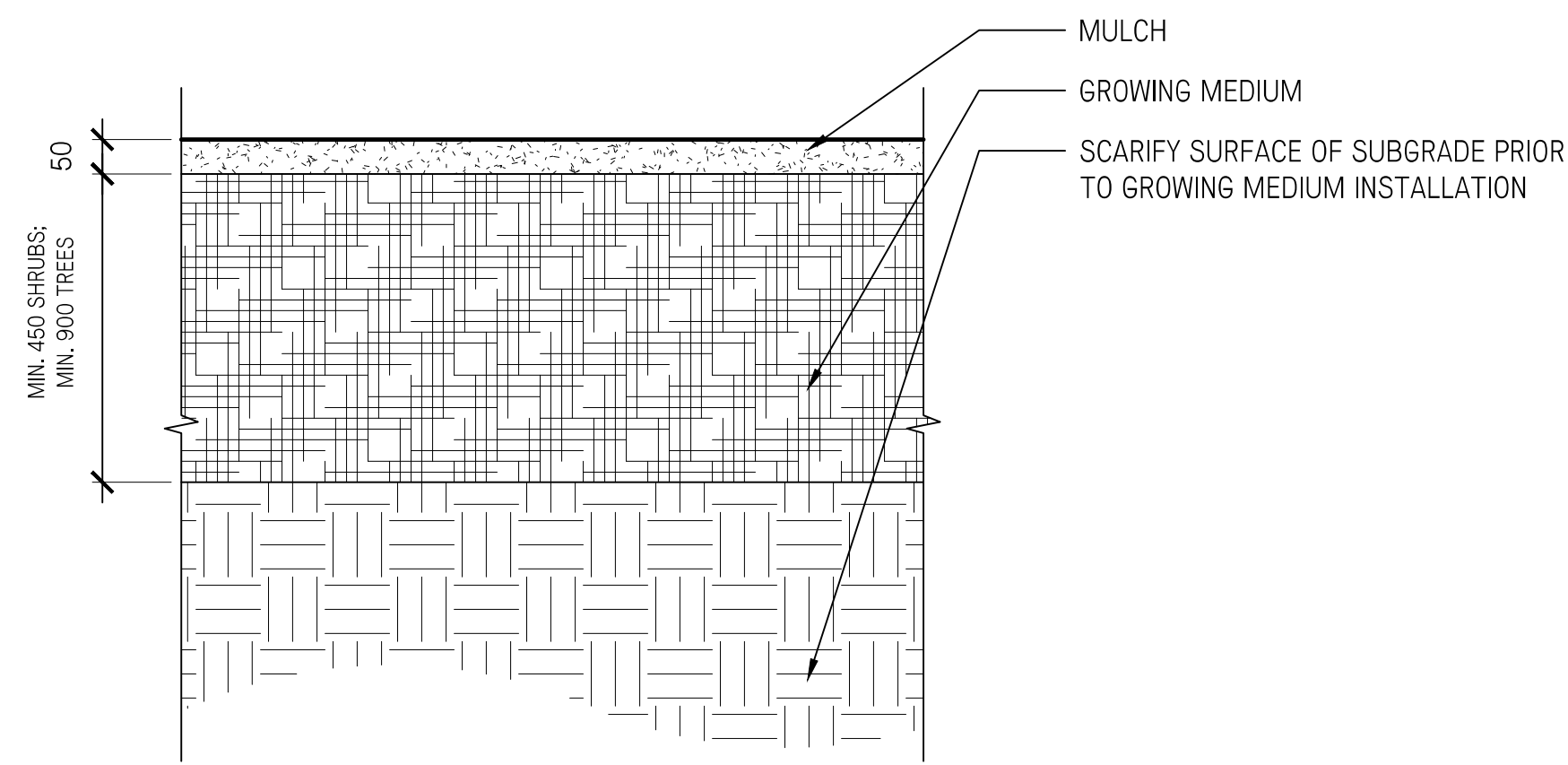
SHRUB PLANTING



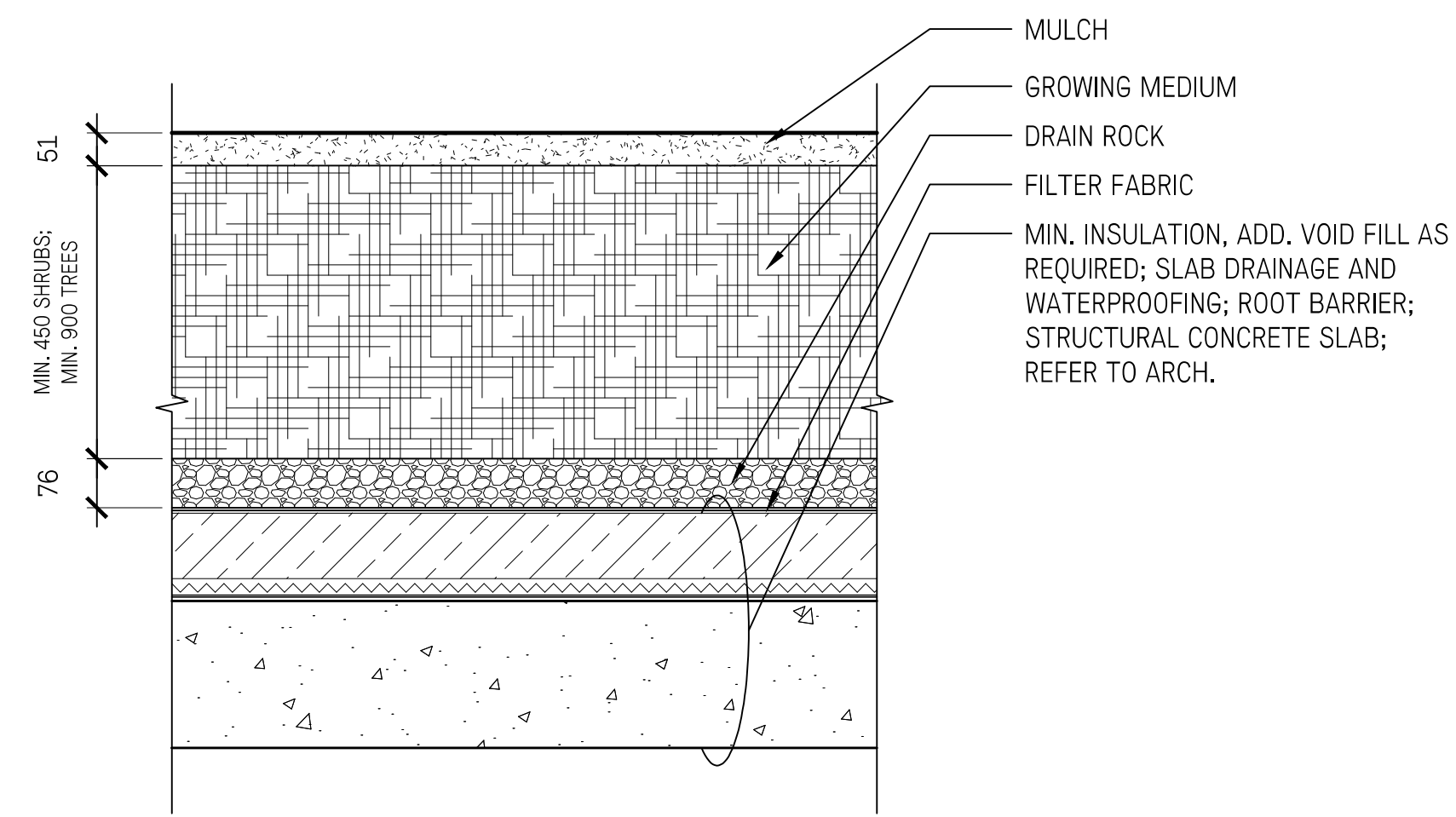
SPACING PLAN



GROUND COVER PLANTING



SHRUB/TREE PLANTING

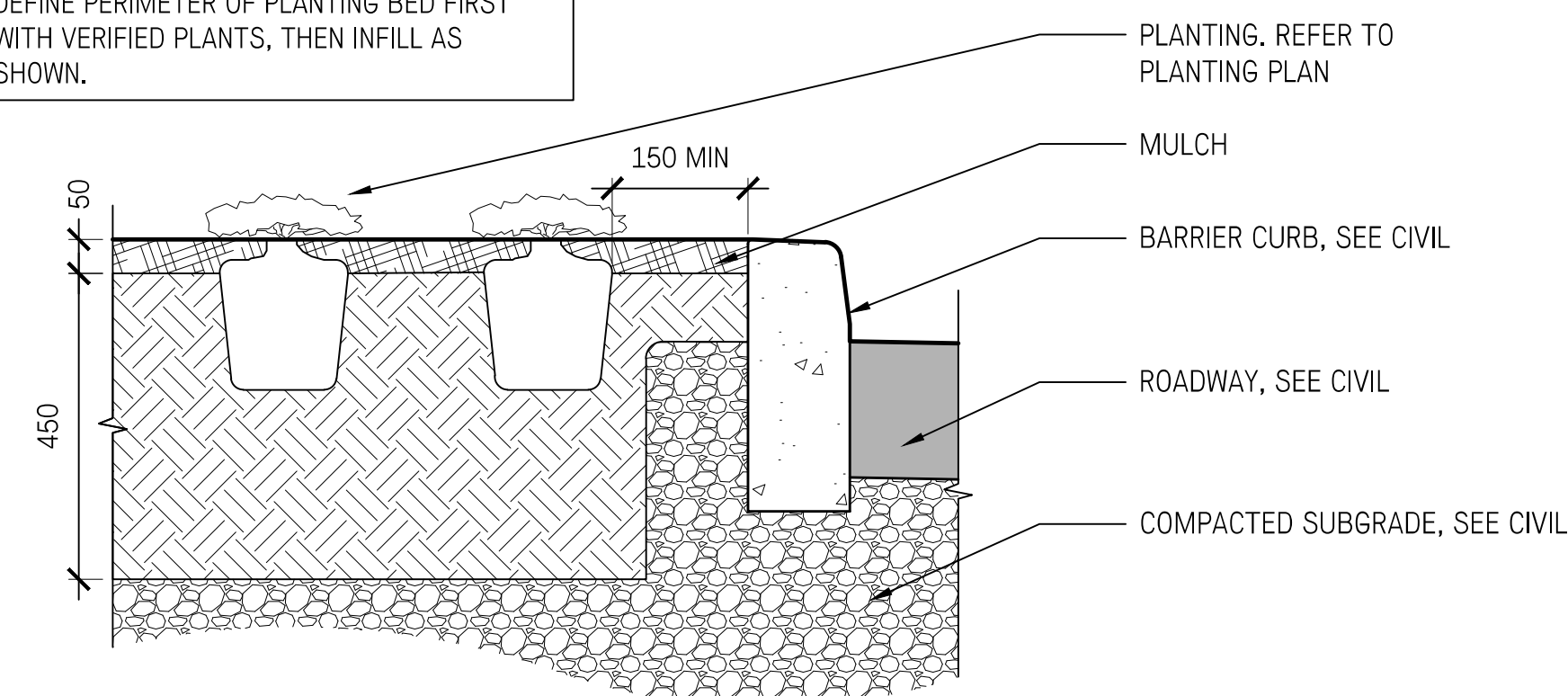


SHRUB/TREE PLANTING

1 SOIL PROFILES ON GRADE
1:10

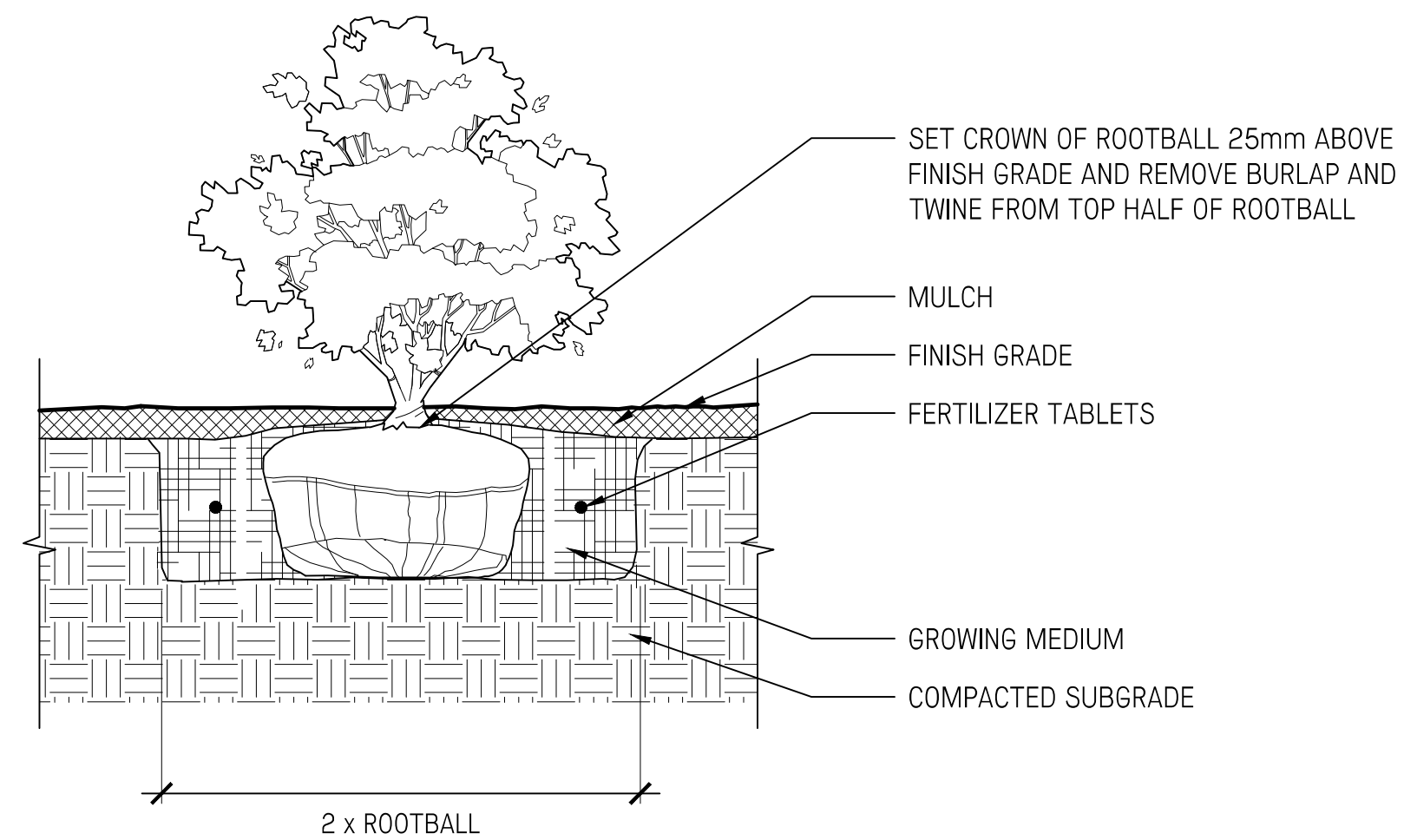
2 SOIL PROFILES ON SLAB
1:10

- NOTES:
1. PROVIDE A MINIMUM 150 mm GAP BETWEEN PLANTING AND EDGE OF CURB;
 2. DEFINE PERIMETER OF PLANTING BED FIRST WITH VERIFIED PLANTS, THEN INFILL AS SHOWN.



GROUNDCOVER/SHRUB PLANTING SECTION NEXT TO CURB

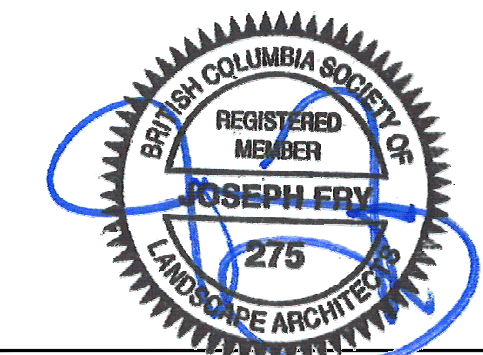
4 SHRUB PLANTING NEXT TO CURB
1:10



5 SHRUB PLANTING
1:10

2	Issued for Rezoning	Mar. 7th/24
1	Issued for CALUC	Jan. 29th/24

No.	Description	Date
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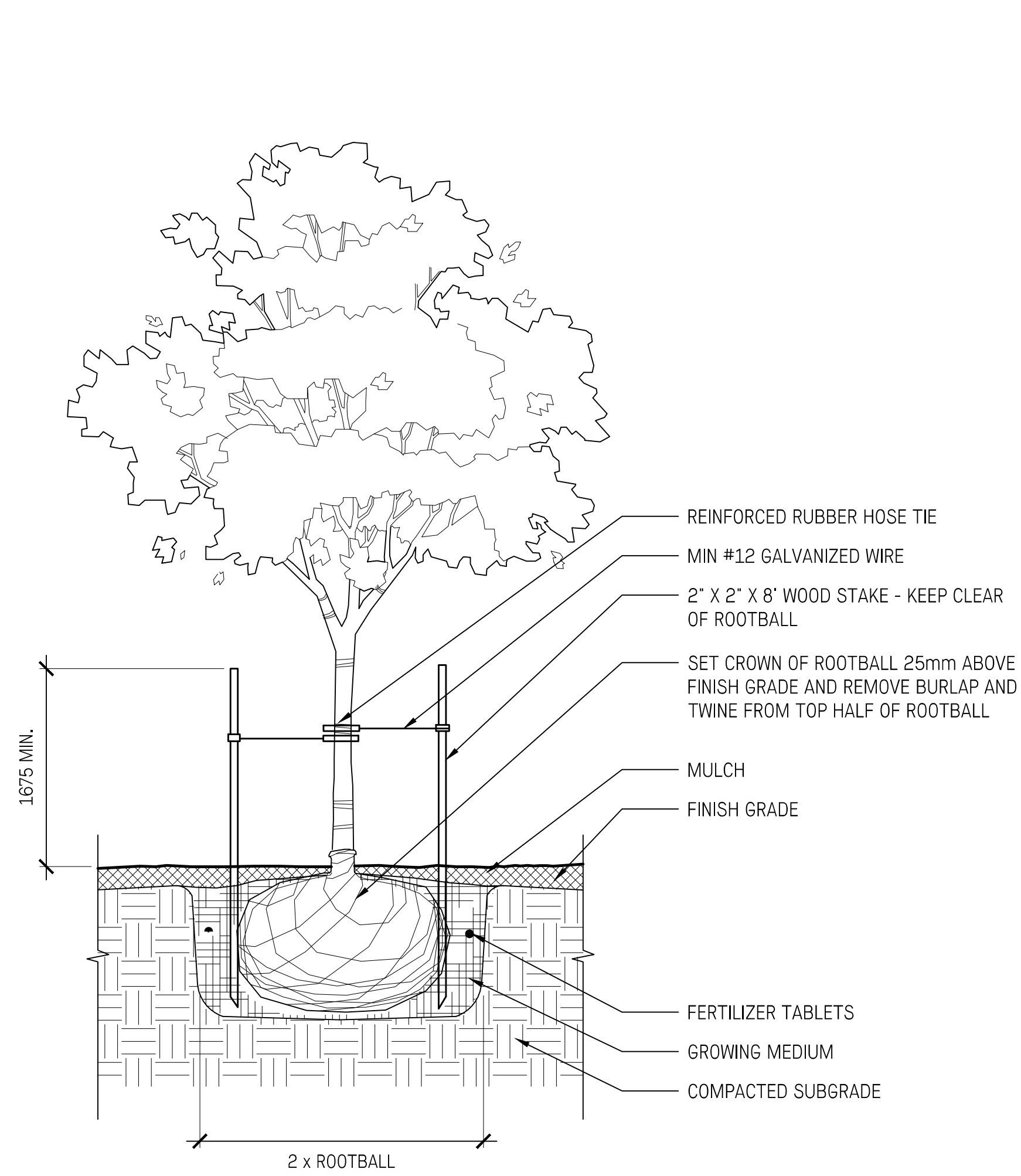
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Plaza Hotel

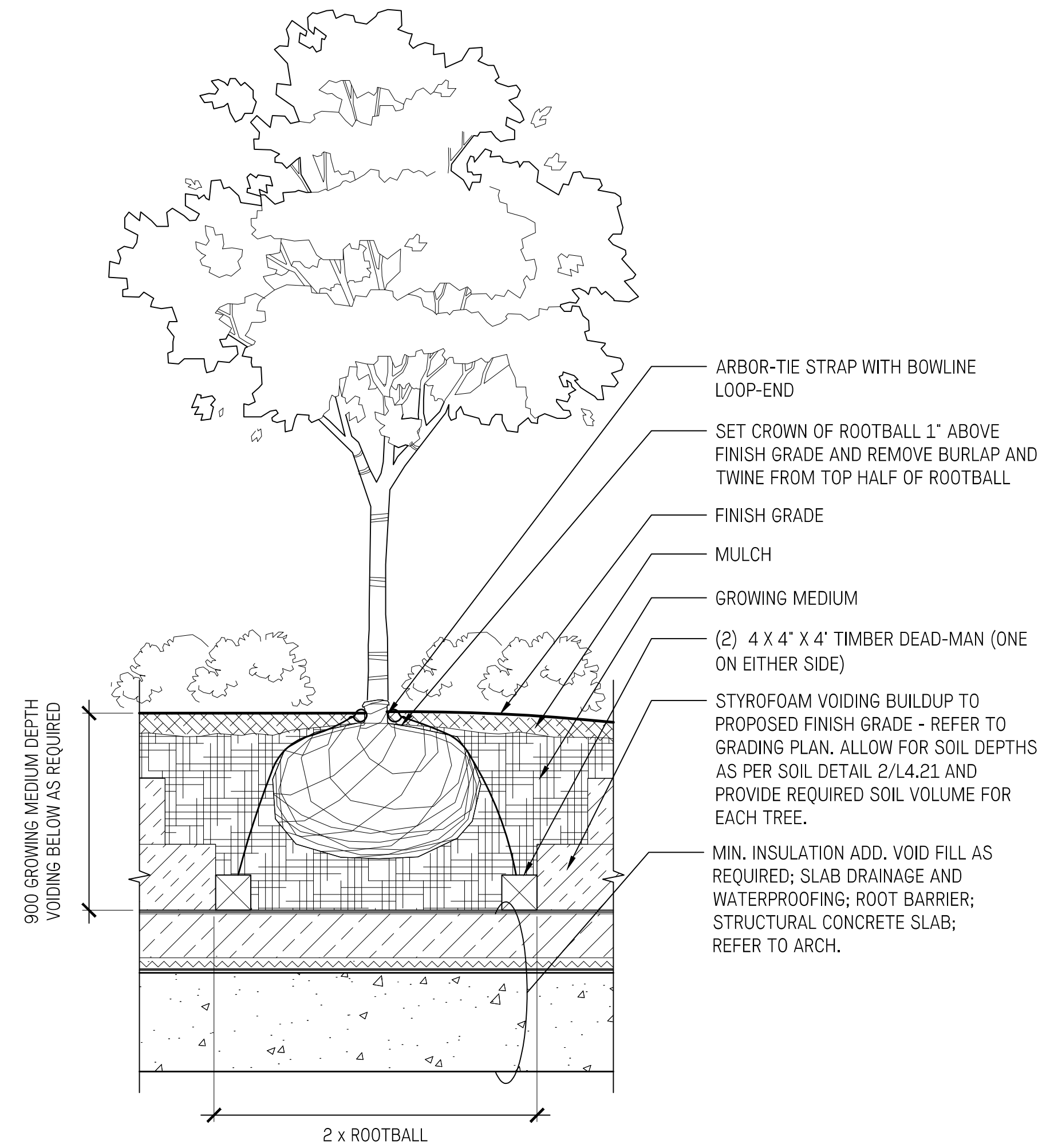
603 Pandora Ave
Victoria, BC

**Landscape Details
Planting**

Date	Aug. 03/22	Drawing Number
Project No.	2215	L4.41
Scale	1:100	
Drawn/Checked	kk JF	



1 TREE PLANTING
L4.22 1:10



2 TREE PLANTING - ON SLAB
L4.42 1:10

2 CITY OF VICTORIA TREE PIT DETAILS
L4.22 1:10

2	Issued for Rezoning	Mar. 7th/24
1	Issued for CALUC	Jan. 29th/24

No.	Description	Date
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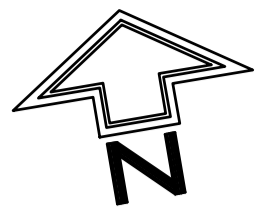
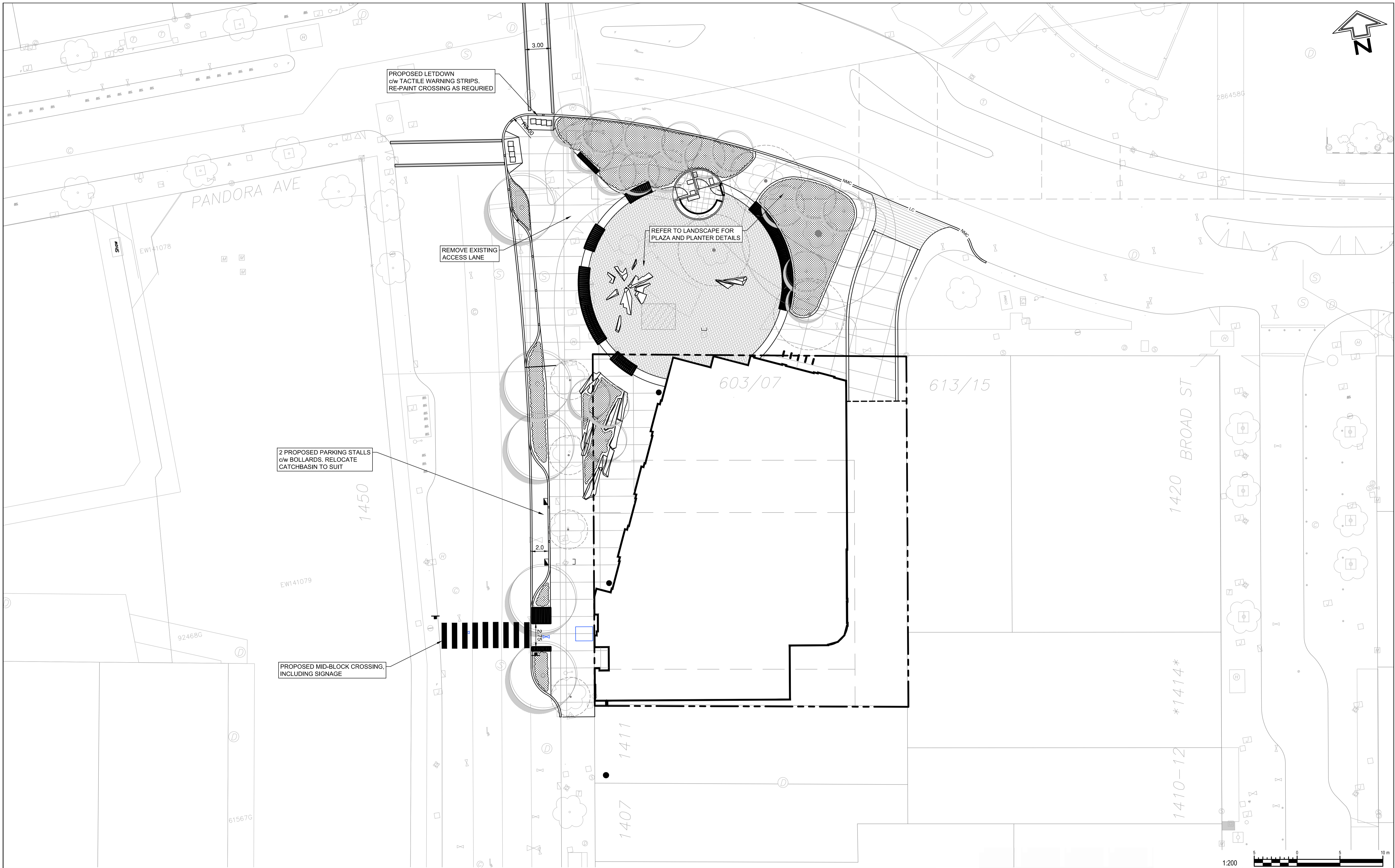


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Plaza Hotel
 603 Pandora Ave
 Victoria, BC

**Landscape Details
 Planting**

Date	Aug. 03/22	Drawing Number
Project No.	2215	L4.41
Scale	1:100	
Drawn/Checked	kk JF	



LEGEND			
<ul style="list-style-type: none"> ⊕ SURFACE DETAIL ⊕ STORM DRAIN MANHOLE ⊕ STORM DRAIN VENT ⊕ CATCH BASIN ⊕ DRAIN CLEANOUT ⊕ DRAIN LATERAL ⊕ SANITARY SEWER MANHOLE ⊕ SANITARY SEWER VENT ⊕ SEWER CLEANOUT ⊕ SEWER LATERAL 	<ul style="list-style-type: none"> ⊕ HYDRO MANHOLE ⊕ HYDRO POLE ⊕ HYDRO POLE WITH DIP ⊕ JOINT POLE ⊕ HYDRO POLE WITH LIGHT ⊕ HYDRO SERVICE BOXES ⊕ HYDRO VAULT ⊕ POLE ANCHOR 	<ul style="list-style-type: none"> ⊕ FLUSH ⊕ WATER VALVE ON MAIN ⊕ WATER SERVICE VALVE ⊕ WATER METER ⊕ BOULEVARD SERVICE ⊕ FIRE HYDRANT ⊕ REDUCER ⊕ LIGHT MANHOLE ⊕ LIGHT PULL BOX - SIDEWALK 	<ul style="list-style-type: none"> ⊕ TEL MANHOLE ⊕ TEL POLE ⊕ TEL POLE WITH DIP ⊕ TEL POLE WITH LIGHT ⊕ TEL SERVICE BOXES ⊕ TEL VAULT ⊕ HYDRO/TEL POLE TO BE REMOVED ⊕ HYDRO/TEL POLE TO BE RELOCATED
<ul style="list-style-type: none"> ⊕ SIGNAL PULL BOX - SIDEWALK ⊕ LIGHT/SIGNAL PULL BOX - STREET ⊕ SIGNAL POLE (STEEL) ⊕ SIGNAL POLE (STEEL) ⊕ LIGHT/SIGNAL POLE (STEEL) ⊕ CLUSTER LAMP - TYPE A ⊕ CLUSTER LAMP - TYPE B ⊕ STREET SIGN ⊕ PARKING METER 	<ul style="list-style-type: none"> ⊕ GAS METER ⊕ GAS VALVE ⊕ GAS SNIFFER ⊕ TEST HOLE ⊕ FENCE LINE ⊕ RETAINING WALL ⊕ TREE ⊕ ROCK OUTCROP 		

REVISIONS		
NO.	REVISION DESCRIPTION	DATE

KEY NOTES		

NOT FOR CONSTRUCTION

PROFESSIONAL SEAL
FOR DP

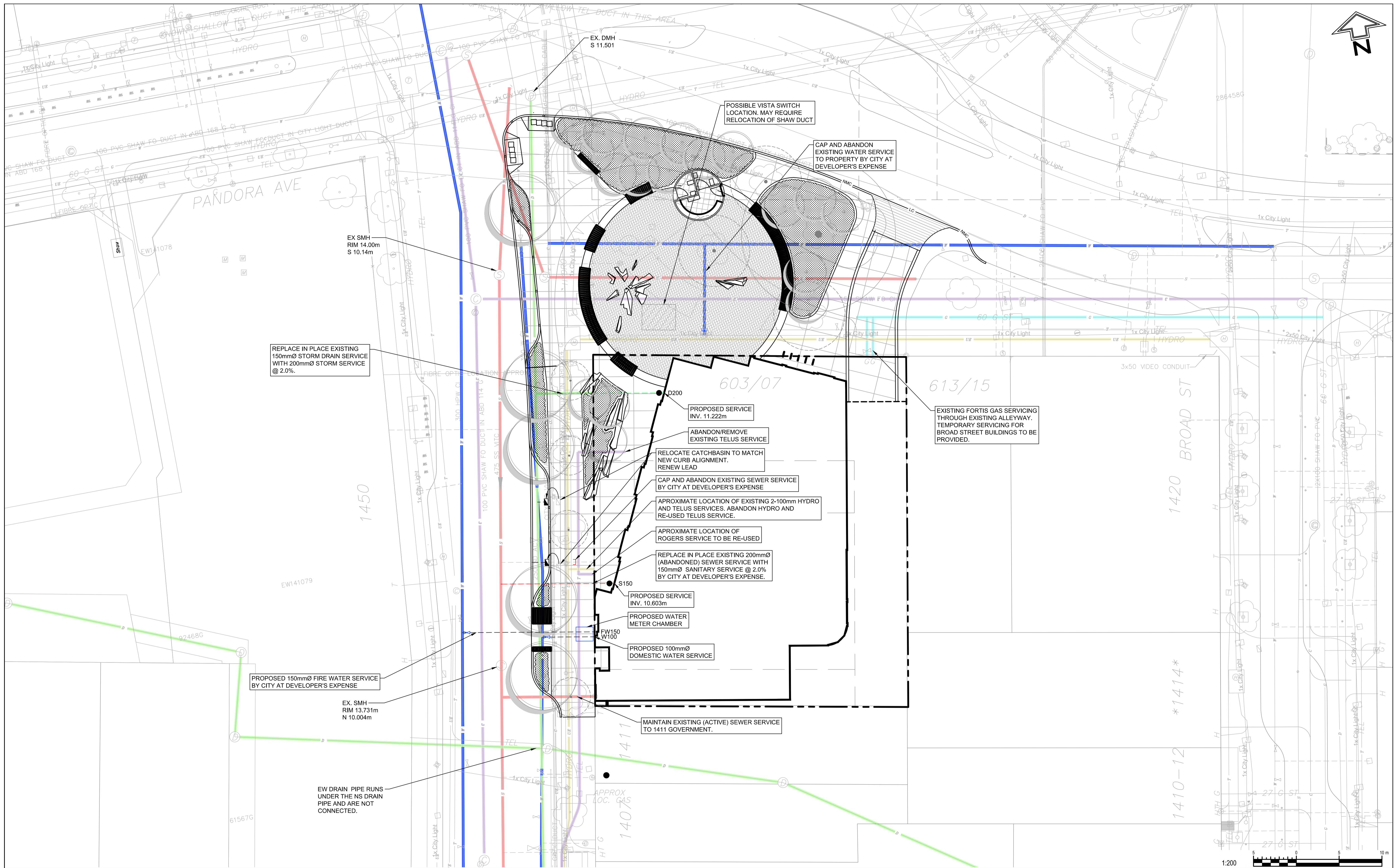
J.C. SOMERVILLE
#35628
BRITISH COLUMBIA
ENGINEER
2024-03-05

PROJECT: 603 PANDORA AVENUE REDEVELOPMENT - SURFACE WORKS

CHECKED BY: J. SOMERVILLE	DIRECTOR OF ENGINEERING P. BELLEFONTAINE	APPROVED BY:	SCALE: 1:200 H
DRAWN BY: S. GAGNON	DESIGN BY: J. SOMERVILLE	SHT. NO.: 1 OF 2	DATE: 2022.04.08

CITY OF VICTORIA

C-001
DRAWING NUMBER



LEGEND			
<ul style="list-style-type: none"> STORM DRAIN MANHOLE STORM DRAIN VENT CATCH BASIN DRAIN CLEANOUT DRAIN LATERAL SANITARY SEWER MANHOLE SANITARY SEWER VENT SEWER CLEANOUT SEWER LATERAL 	<ul style="list-style-type: none"> HYDRO MANHOLE HYDRO POLE HYDRO POLE WITH DIP JOINT POLE HYDRO POLE WITH LIGHT HYDRO SERVICE BOXES REDUCER HYDRO VAULT POLE ANCHOR 	<ul style="list-style-type: none"> FLUSH WATER VALVE ON MAIN WATER SERVICE VALVE WATER METER BOULEVARD SERVICE FIRE HYDRANT REDUCER LIGHT MANHOLE LIGHT PULL BOX - SIDEWALK 	<ul style="list-style-type: none"> TEL MANHOLE TEL POLE TEL POLE WITH DIP TEL POLE WITH LIGHT TEL SERVICE BOXES TEL VAULT HYDRO/TEL POLE TO BE REMOVED HYDRO/TEL POLE TO BE RELOCATED

REVISIONS		
NO.	REVISION DESCRIPTION	DATE

KEY NOTES		

Engineers and Geoscientists BC
Permit to Practice #1000200

PROFESSIONAL SEAL
FOR DP

PROJECT: 603 PANDORA AVENUE REDEVELOPMENT - SITE SERVICING

CHECKED BY: J. SOMERVILLE	DIRECTOR OF ENGINEERING P. BELLEFONTAINE	APPROVED BY:	SCALE: 1:200 H
DRAWN BY: S. GAGNON	DESIGN BY: J. SOMERVILLE	SHEET NO.: 2 OF 2	DATE: 2022.04.08

CITY OF VICTORIA

C-002
DRAWING NUMBER

NOT FOR CONSTRUCTION