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 1030 - 470 Granville Street  
 Vancouver, BC V6C 1V5  
 604.688.1216    info@donaldluxton.com

**List of Drawings**

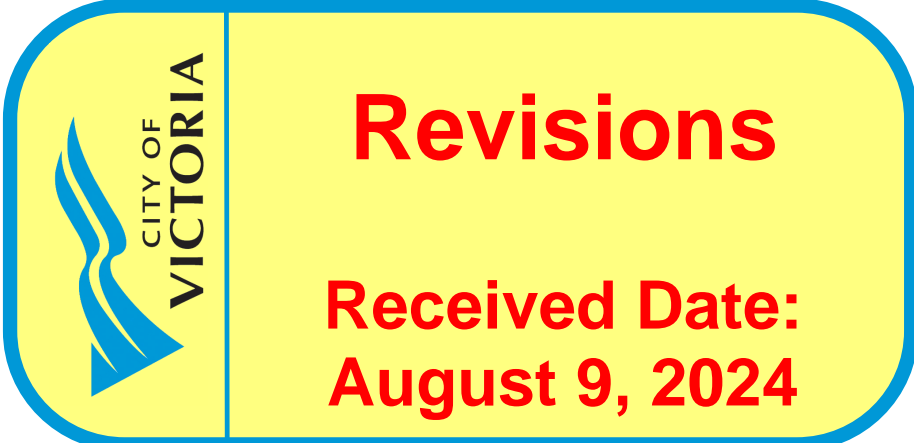
- Architectural**
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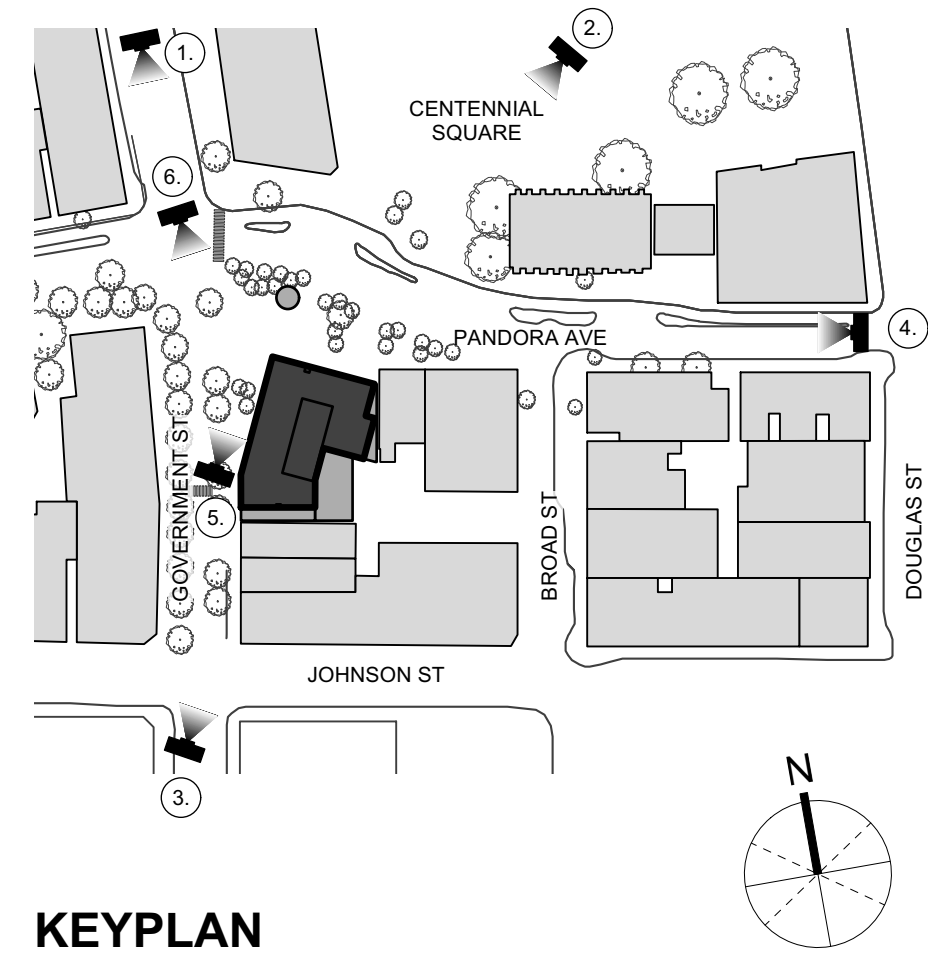
**Hampton Inn Downtown Victoria / 603 Pandora Ave Victoria, BC**



2960 Jutland Road  
 Victoria BC Canada V8T5K2  
 tel 250.384.2400  
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**Heritage Advisory Panel**  
 Issued for HAPL  
 August 9, 2024





KEYPLAN



1. VIEW LOOKING SOUTH ON GOVERNMENT STREET



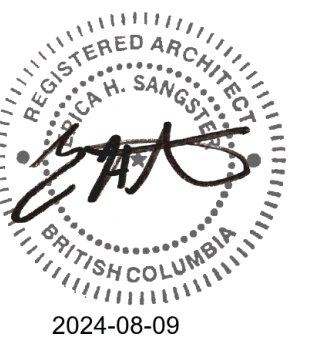
2. VIEW FROM CENTENNIAL SQUARE



3. VIEW LOOKING NORTH ALONG GOVERNMENT STREET



4. VIEW LOOKING WEST ALONG PANDORA AVE



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2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

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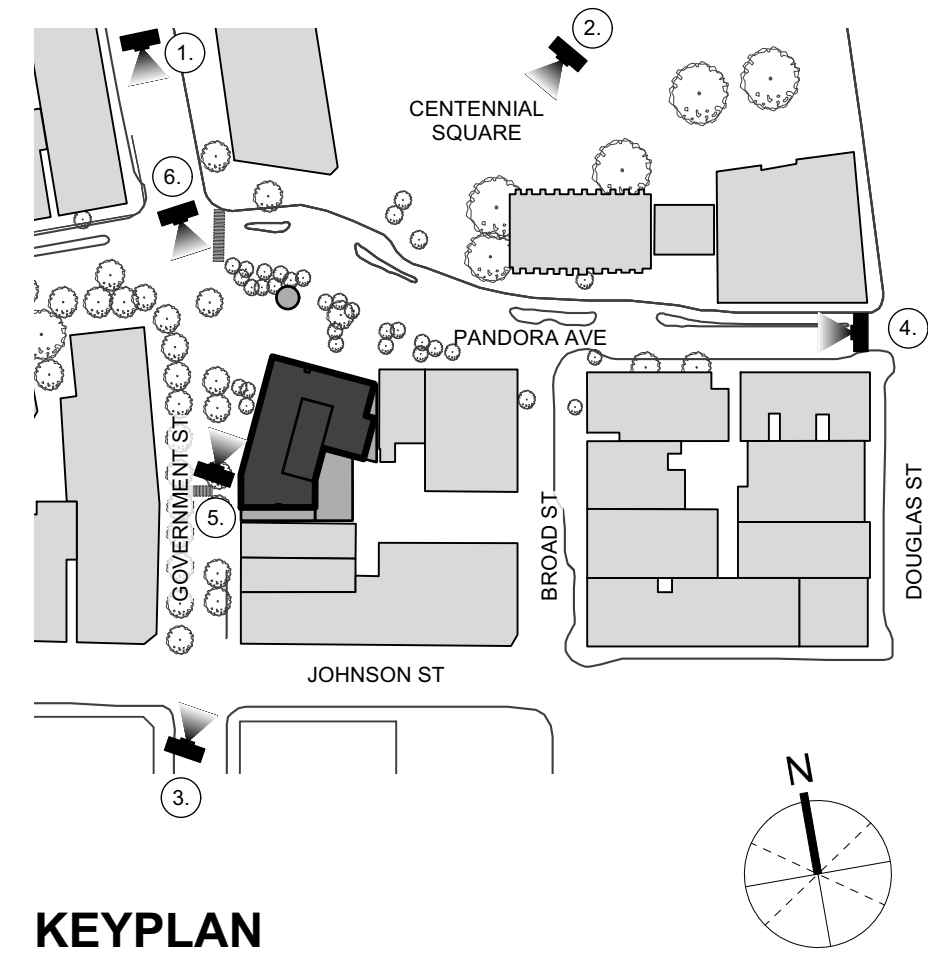
sheet title  
**Rendered Views**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	as noted
drawn by	JAJH
checked by	ES

revision no.	sheet no.
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KEYPLAN



5. STREET LEVEL ON GOVERNMENT STREET



SECTION DETAIL / PERSPECTIVE



6. PLAZA AT GOVERNMENT & PANDORA



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sheet title  
**Rendered Views**

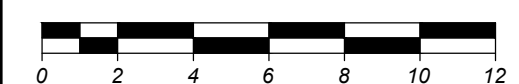
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drawn by	JA/JH
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revision no.	sheet no.
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TOPOGRAPHIC PLAN OF LOT 1, PLAN 7110 AND PARTS OF  
LOTS 661, 662 AND 663, ALL IN VICTORIA CITY.

BCGS MAP SHEET 92B.044



The intended plot size of this plan is 432mm in width by 559mm in height (C-Size) when plotted at a scale of 1:200.

All distances and elevations are in metres and decimals thereof, unless otherwise noted.

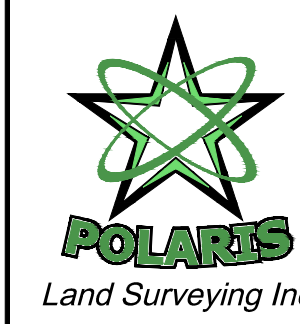
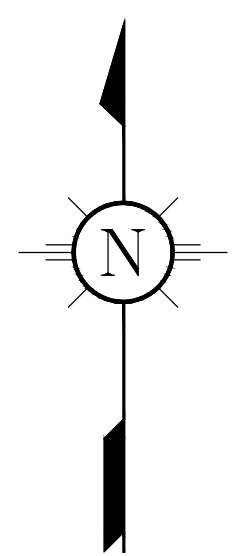
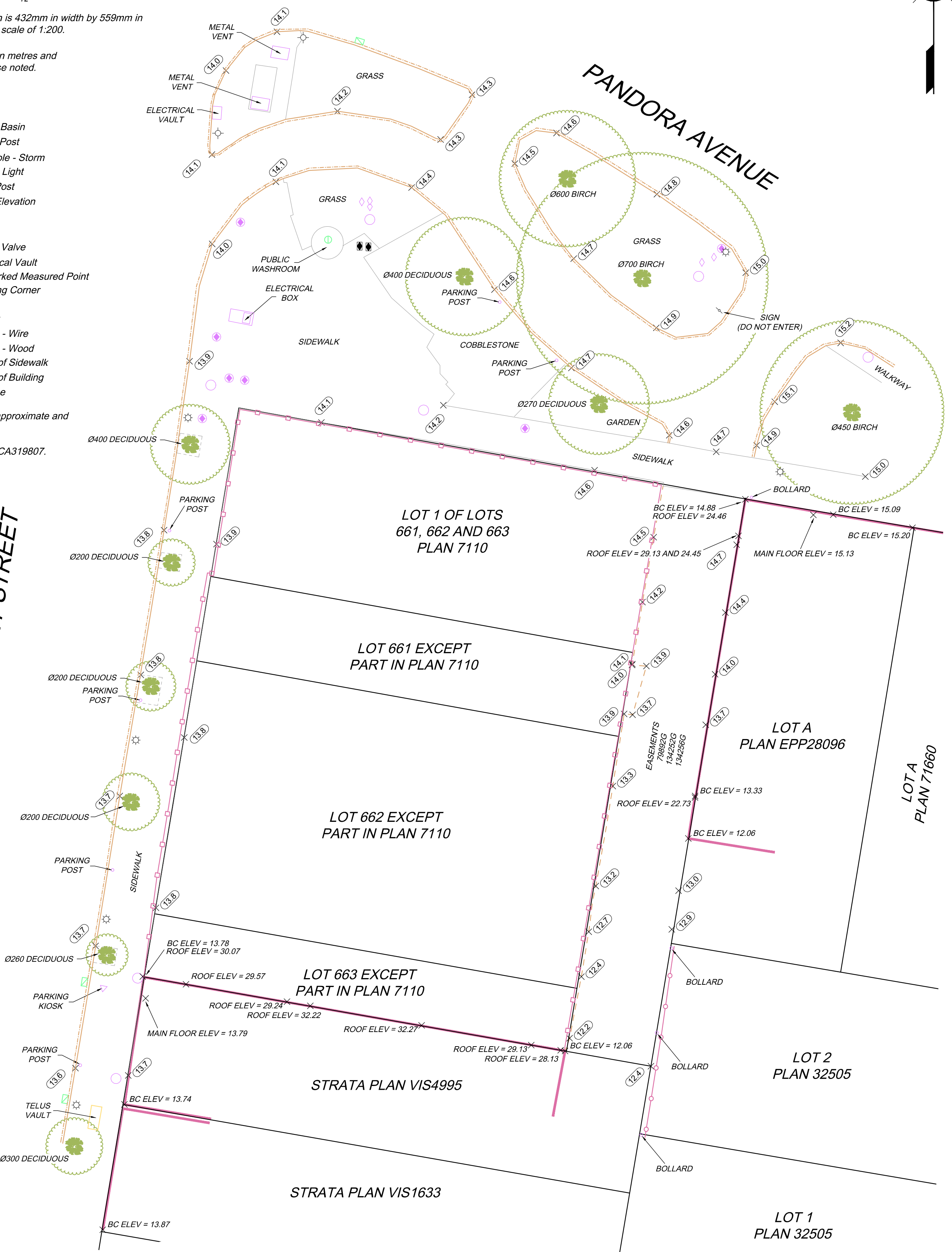
LEGEND

- denotes Drain
- denotes Catch Basin
- denotes Lamp Post
- denotes Manhole - Storm
- denotes Traffic Light
- denotes Sign Post
- denotes Spot Elevation
- denotes Tree
- denotes Valve
- denotes Water Valve
- denotes Electrical Vault
- denotes Unmarked Measured Point
- denotes Building Corner
- denotes Curb
- denotes Gutter
- denotes Fence - Wire
- denotes Fence - Wood
- denotes Edge of Sidewalk
- denotes Edge of Building
- denotes Dripline

Note: Boundaries as shown are approximate and subject to further investigation.

Parcels are subject to Covenant CA319807.

GOVERNMENT STREET



Mailing & delivery address:  
P.O. Box 261  
Brentwood Bay, BC, V8M 1R3

Toll Free: (877) 603 7398  
Duncan Telephone: (250) 746 0775  
info@plsi.ca  
www.plsi.ca

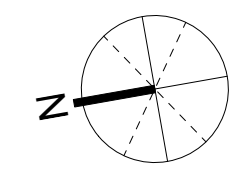
This document shows the relative location of the surveyed buildings and features with respect to the boundaries of the parcel described hereon. This document shall not be used to define property lines or property corners.

Polaris Land Surveying Inc. accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or actions taken based on this document.

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Date: 2020-01-27  
File: 1745-01  
Drawing: 1745-01-TOPO  
Layout: C-Size

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project name  
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Victoria, BC

sheet title  
**Existing Site Survey**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	as noted
drawn by	JA/JH
checked by	ES
revision no.	sheet no.

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**Project Data**

**Legal Address**  
Lot 1, of Lots 661, 662, and 663, Victoria City, Plan 7110 Remainder Lots 661 - 663, Victoria, Except Those Parts In Plan 7110.

**Civic Address**  
603 Pandora Avenue, Victoria, BC

**Zoning** (current)  
Old Town District-1 Zone (OTD-1)

**Site Area**  
1,490.7 sq.m

**Zoning Floor Areas**  
(measured to interior face of wall and includes elevator shafts, though excludes bicycle parking stalls & circulation)

Level 12	856.48 m <sup>2</sup>	(9,219.1 ft <sup>2</sup> )
Level 11	856.48 m <sup>2</sup>	(9,219.1 ft <sup>2</sup> )
Level 10	856.48 m <sup>2</sup>	(9,219.1 ft <sup>2</sup> )
Level 9	856.48 m <sup>2</sup>	(9,219.1 ft <sup>2</sup> )
Level 8	856.48 m <sup>2</sup>	(9,219.1 ft <sup>2</sup> )
Level 7	856.48 m <sup>2</sup>	(9,219.1 ft <sup>2</sup> )
Level 6	857.21 m <sup>2</sup>	(9,226.9 ft <sup>2</sup> )
Level 5	927.12 m <sup>2</sup>	(9,979.4 ft <sup>2</sup> )
Level 4	927.12 m <sup>2</sup>	(9,979.4 ft <sup>2</sup> )
Level 3	927.12 m <sup>2</sup>	(9,979.4 ft <sup>2</sup> )
Level 2	536.00 m <sup>2</sup>	(5,769.5 ft <sup>2</sup> )
Level 1	930.00 m <sup>2</sup>	(10,010.4 ft <sup>2</sup> )
<b>Total</b>	<b>10,243.45 m<sup>2</sup></b>	<b>(110,259.5 ft<sup>2</sup>)</b>

**Floor Space Ratio**  
6.87

**Average Grade**  
13.91m Geodetic

**Height of Building**  
Permitted: 15.00m  
Proposed: 51.86m - 13.91m = 37.95m  
Storeys: 12

**Parking Stalls**  
Total Provided: 122  
(includes 7 accessible stalls of which 1 is to be van accessible)

**Bicycle Parking**  
Number of Class I Spaces: 10 (provided)  
Number of Class II Spaces: 14 (provided)

Building Use/Area sq.m	Spaces Required Class I	Class II
Hotel (1.3-1.12) 198 rooms	8 (1 per 25 rooms)	5 (1 per 40 rooms)
Cafe/Restaurant (CRU 1 & 2) 215m <sup>2</sup>	2 (1 per 100m <sup>2</sup> )	3 (1 per 100m <sup>2</sup> )
<b>Total (required)</b>	<b>10</b>	<b>8</b>

**Setbacks**

	Required	Provided
East:	0m	0m
South:	0m	0m
West:	0m	0m
North:	0m	-2.87m

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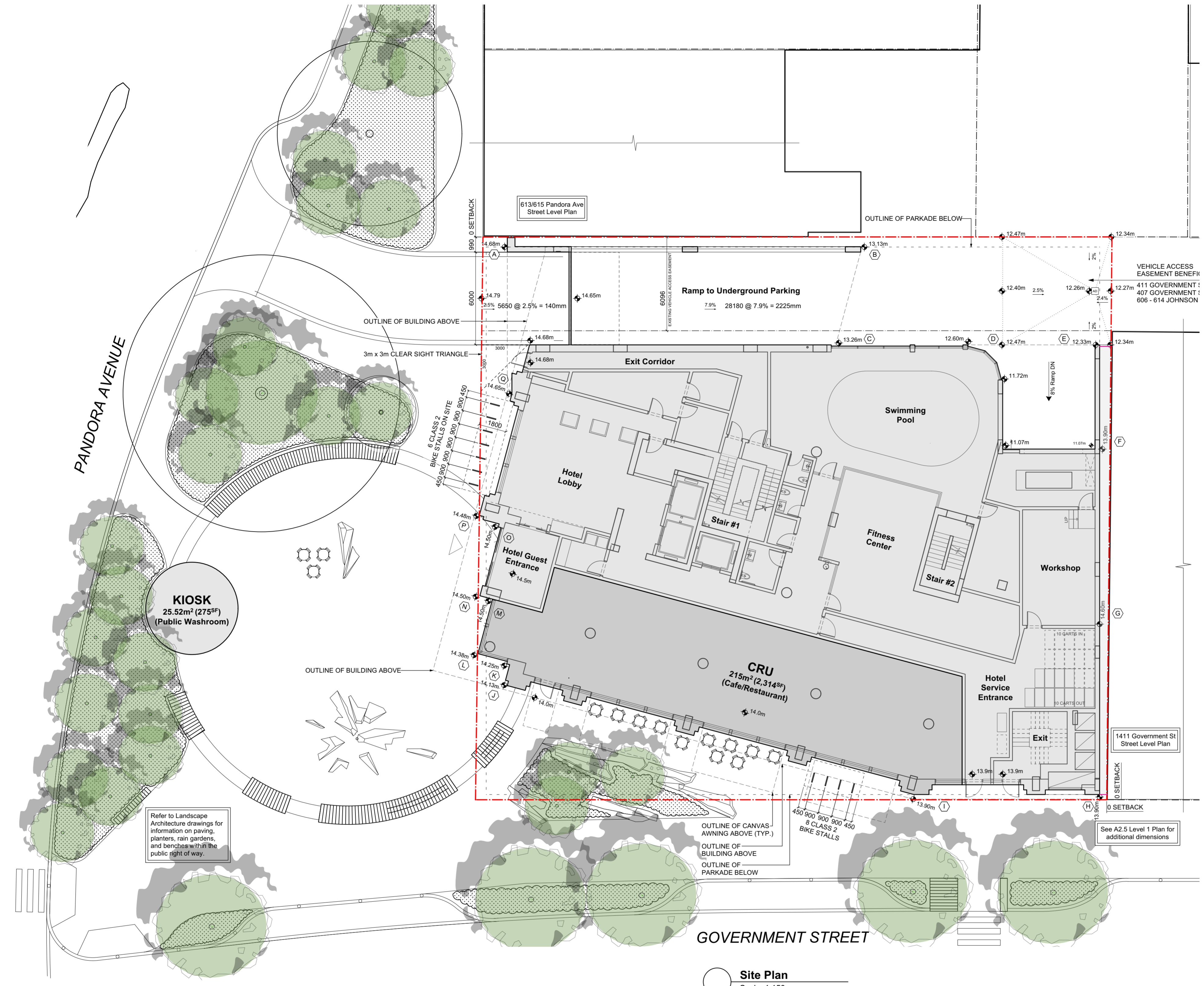
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**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Site Plan and Project Data**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:125
drawn by	JA/JH
checked by	ES
revision no.	sheet no.



**PROJECT INFORMATION TABLE**

Zone (existing)	OTD-1 Old Town District 1
Proposed zone or site specific zone	New Zone
Site area (m <sup>2</sup> )	1,490.70 m <sup>2</sup>
Total floor area (m <sup>2</sup> )	10,243.45 m <sup>2</sup>
Commercial floor area (m <sup>2</sup> )	215.00 m <sup>2</sup>
Floor space ratio	6.87
Site coverage area	1,236.10 m <sup>2</sup>
Site coverage (%)	82.92 %
Open site area (m <sup>2</sup> )	168.00 m <sup>2</sup>
Open site space (%)	11.27 %
Height of building (m)	37.95 m
Number of storeys	12
Parking stalls (number) on site	122
Bicycle parking number (Class I & Class 2)	10 + 14 : 24

**Building Setbacks (m)**

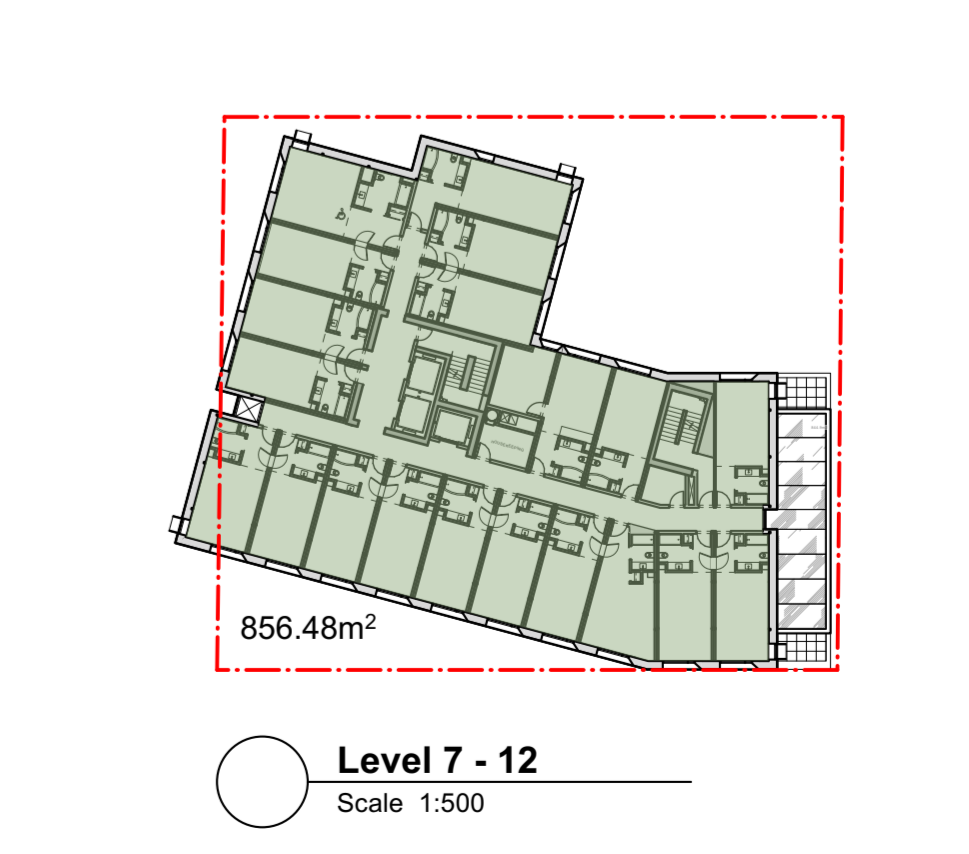
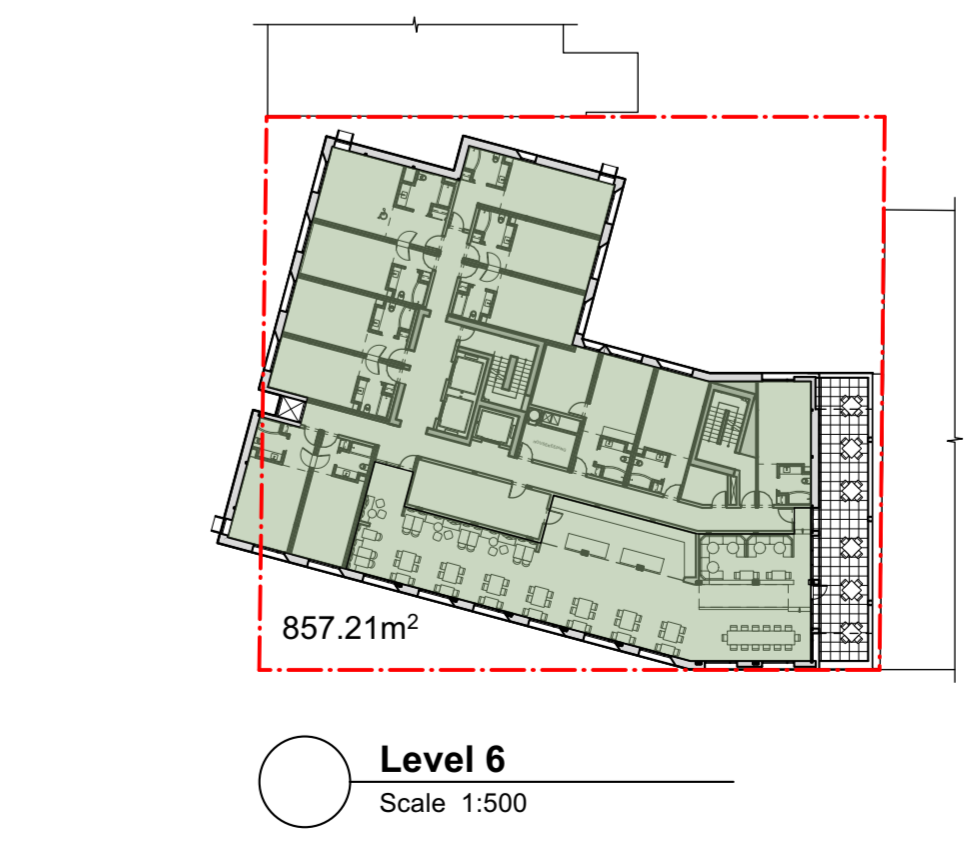
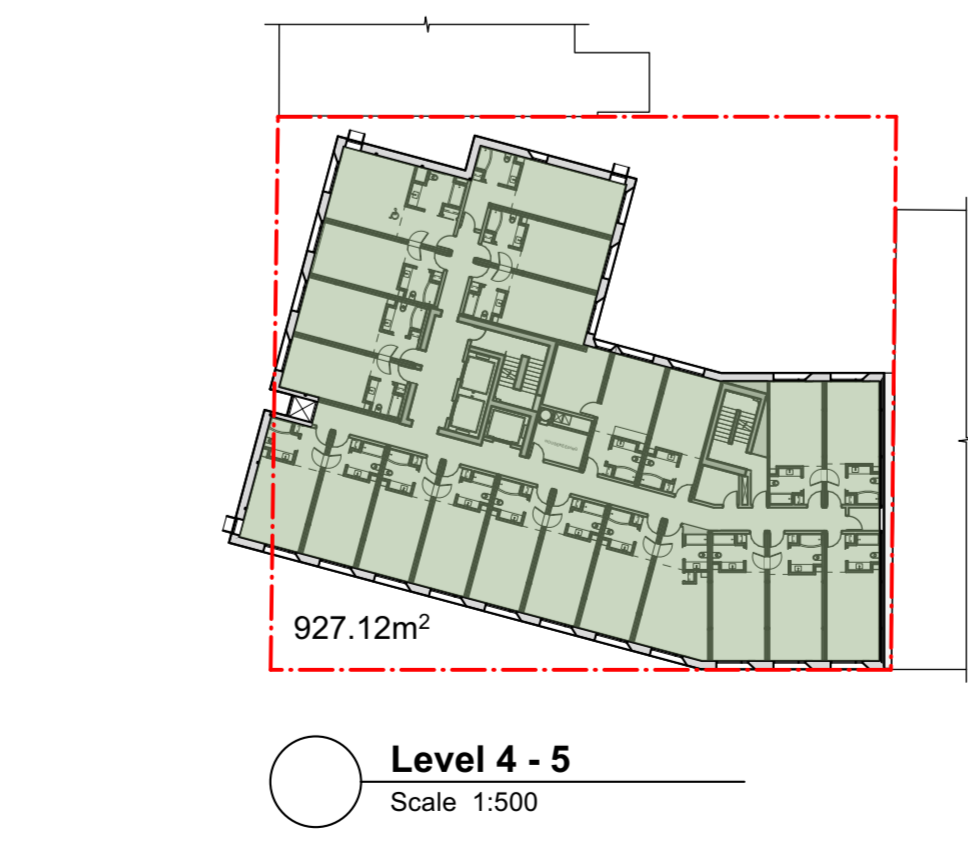
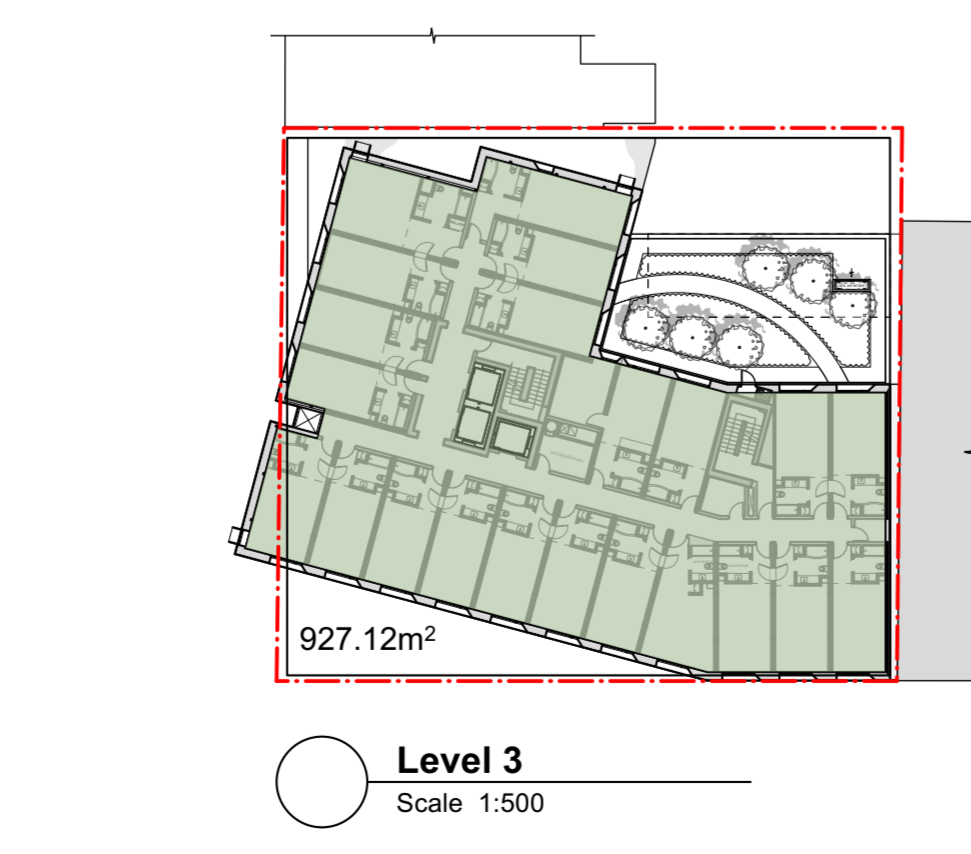
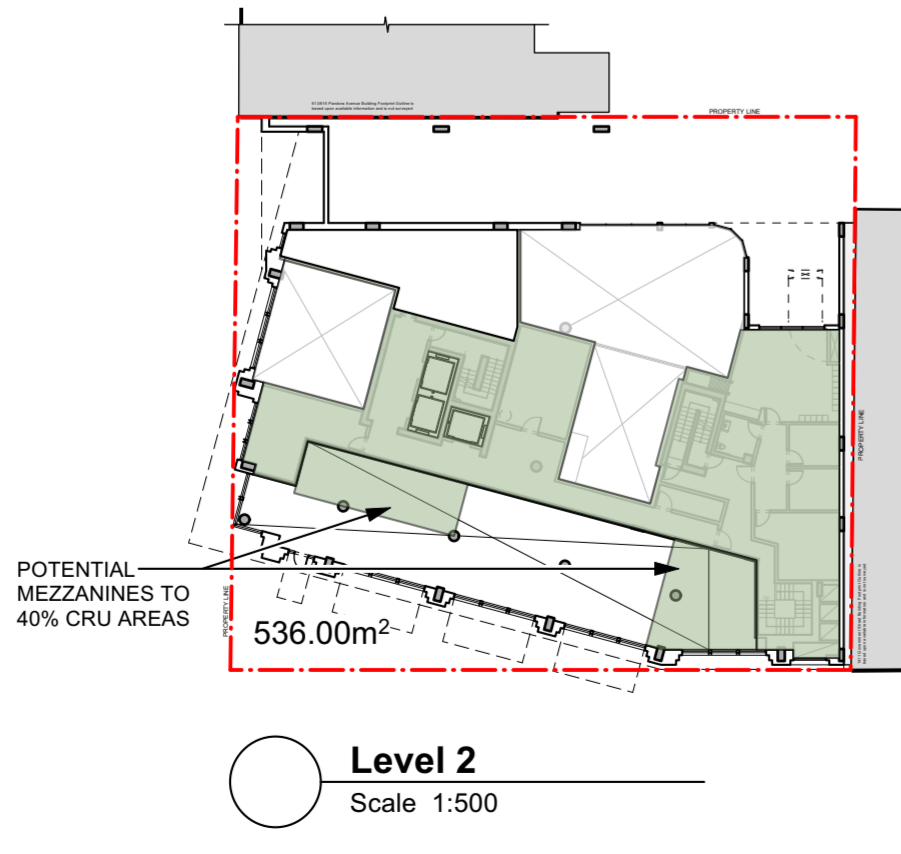
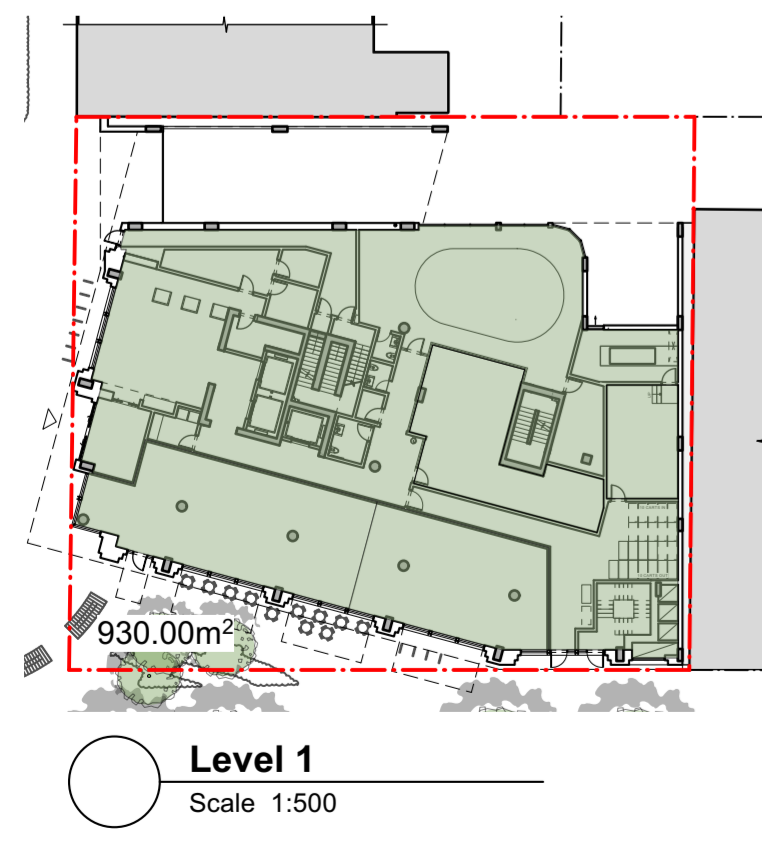
Front yard	-2.87 m
Rear yard	0 m
Corner side yard (west)	0 m
Side yard (east)	0 m

**Hotel Use Details**

Total number of units	198
Unit type, e.g., 1 bedroom	Hotel Rooms
Minimum unit floor area (m <sup>2</sup> )	28.90 m <sup>2</sup>
Total hotel floor area (m <sup>2</sup> )	10,028.45 m <sup>2</sup>

**AVERAGE GRADE**

ID	Grade (m)	Interval	Average	Distance (m)	Subtotal Grade
A	14.68	A - B	13.91	23.05	320.51
B	13.13	B - C	13.20	6.59	86.96
C	13.26	C - D	12.87	10.85	139.59
D	12.47	D - E	12.40	6.31	78.24
E	12.33	E - F	13.12	6.77	88.79
F	13.90	F - G	14.25	11.33	161.45
G	14.60	G - H	14.25	11.12	158.46
H	13.90	H - I	13.90	12.08	167.91
I	13.90	I - J	14.02	27.55	386.11
J	14.13	J - K	14.19	1.52	21.57
K	14.25	K - L	14.32	2.18	31.21
L	14.38	L - M	14.44	3.67	52.99
M	14.50	M - N	14.50	0.85	12.33
N	14.50	N - O	14.50	4.88	70.76
O	14.50	O - P	14.49	1.39	20.14
P	14.48	P - Q	14.57	8.38	122.05
Q	14.65	Q - A	14.67	9.54	139.90
<b>Subtotal</b>				<b>148.06</b>	<b>2058.98</b>
<b>Average Grade =</b>				<b>13.91</b>	



Refer to Landscape Architecture drawings for information on paving, planters, rain gardens, and benches with the public right of way.

**Site Plan**  
Scale 1:150



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WINTER SOLSTICE 1000h



WINTER SOLSTICE 1200h



WINTER SOLSTICE 1500h



EQUINOX 0900h



EQUINOX 1200h



EQUINOX 1600h



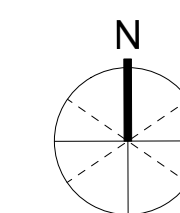
SUMMER SOLSTICE 0900h



SUMMER SOLSTICE 1200h



SUMMER SOLSTICE 1700h



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**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Sun and Shade Studies**

project no. 20-36

drawing file -

date issued August 9, 2024

scale n.t.s.

drawn by JAJH

checked by ES

revision no. sheet no.

2

A1.4



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GENERAL NOTES:

1. March 20, 2023 was used as the date of the Equinox.
2. All calculations are approximate and have been generated from 2D views of the Sketch Up model.
3. All calculations are relative and are not to scale.
4. The building height is 38.1m and is classified as a high rise residential building for the purposes of City of Victoria Downtown Core Area Plan Appendix 4 Design Guidelines.

DCAP Appendix 4: 6.1.d.i.

Spring / Autumn Equinox  
March 20 / September 22, 2023  
The spring and autumn equinoxes mark the start of spring or autumn and are the midway point between summer and winter solstices.

The City of Victoria General Urban Design Guidelines (2022) contains the following guideline for tall buildings:

where unshaded by existing off-site conditions, a minimum of approximately 4 hours of cumulative sunlight provided on at least 60% of the length of the sidewalk located across the street from the development should be achieved between 1000h and 1600h on the equinoxes.

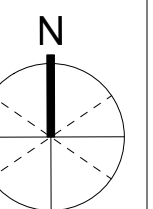
The proposal meets the guideline as follows:

**Pandora Avenue**  
The sidewalk is fully unshaded until 1400h when a sweeping shadow occurs over 14% of the sidewalk.

**Government Street**  
The sidewalk is shaded by the proposed development from 1000h until approximately 1040h when the shadow has reduced to 55%. The sidewalk remains fully unshaded until 1300h when 66% shading by the existing adjacent building begins until 1600h.

LEGEND

- sidewalk in sun
- sidewalk shaded by proposed building
- sidewalk shaded by existing buildings
- time recommended by urban design guidelines



1000h - 100% sun



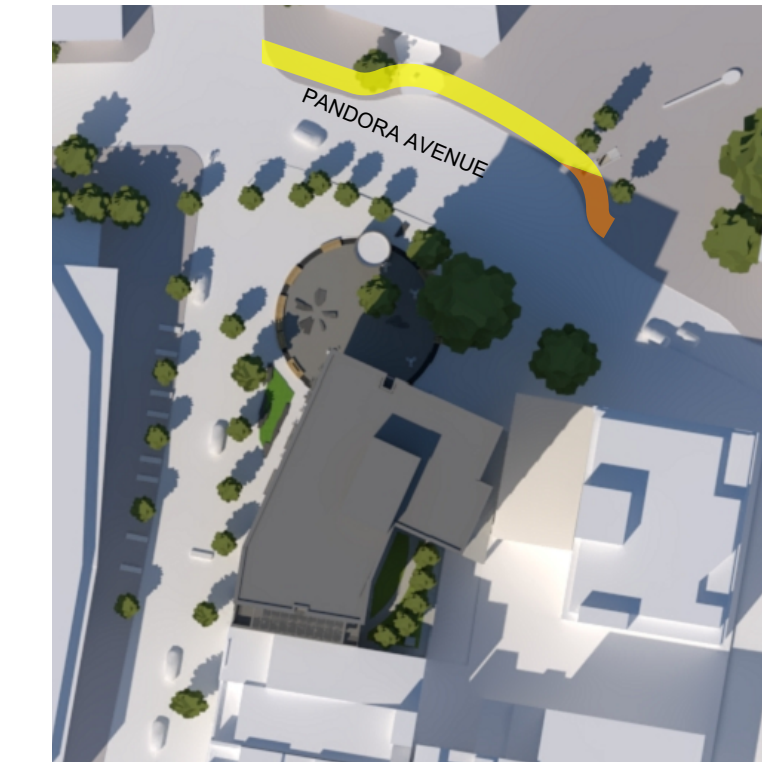
1100h - 100% sun



1200h - 100% sun



1300h - 100% sun



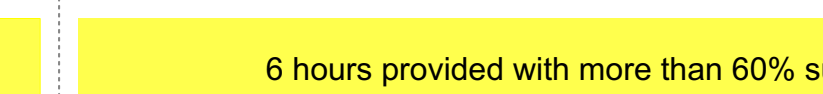
1400h - 86% sun



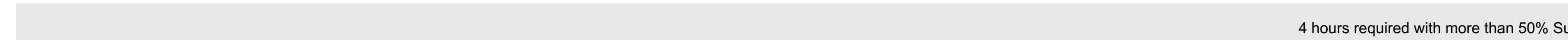
1500h - 86% sun



1600h - 91% sun



6 hours provided with more than 60% sun



4 hours required with more than 50% Sun

PANDORA AVENUE



1000h - 26% sun



1040h - 55% sun



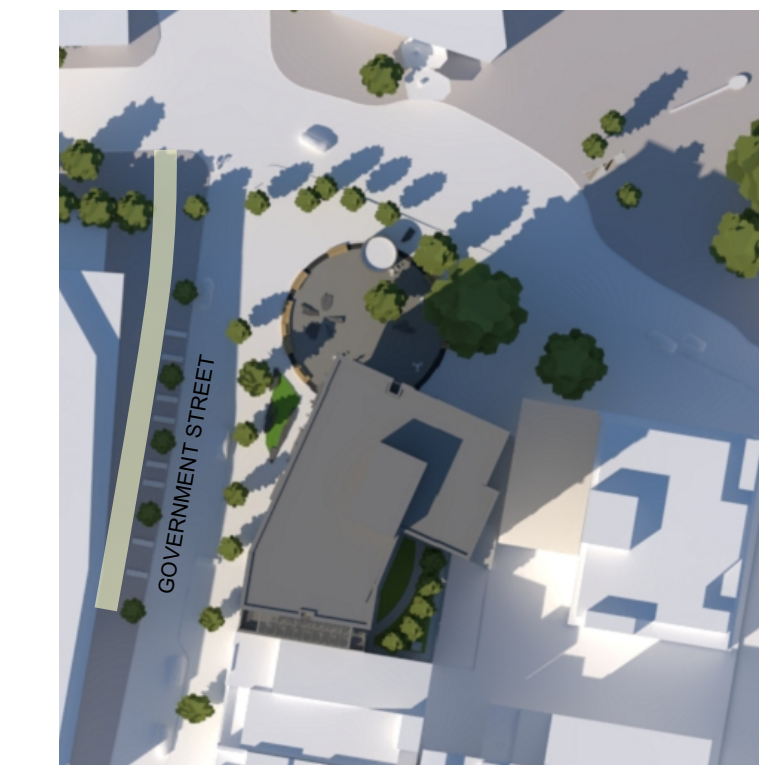
1200h



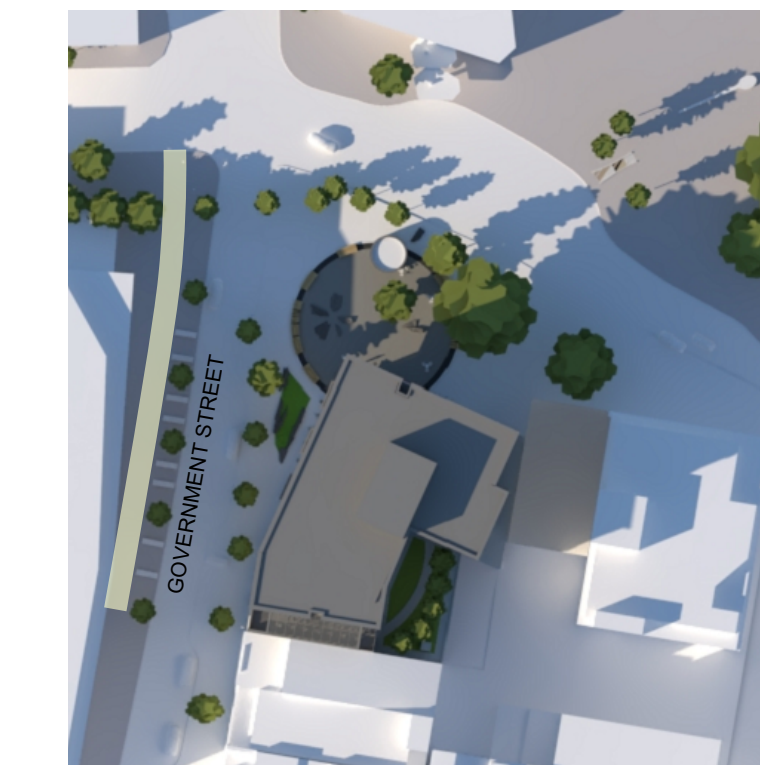
1300h - 66% sun (shaded by existing buildings)



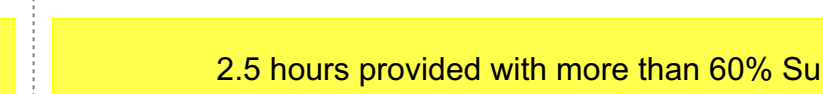
1400h - 0% sun (shaded by existing buildings)



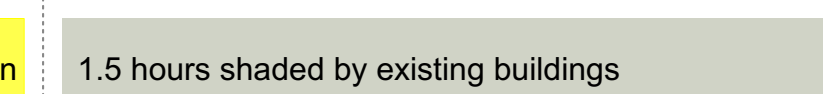
1500h - 0% sun (shaded by existing buildings)



1600h - 0% sun (shaded by existing buildings)



2.5 hours provided with more than 60% Sun



1.5 hours shaded by existing buildings



4 hours required with more than 50% Sun

GOVERNMENT STREET

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**Sun and Shade Studies**

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drawing file -

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scale n.t.s.

drawn by JA/JH

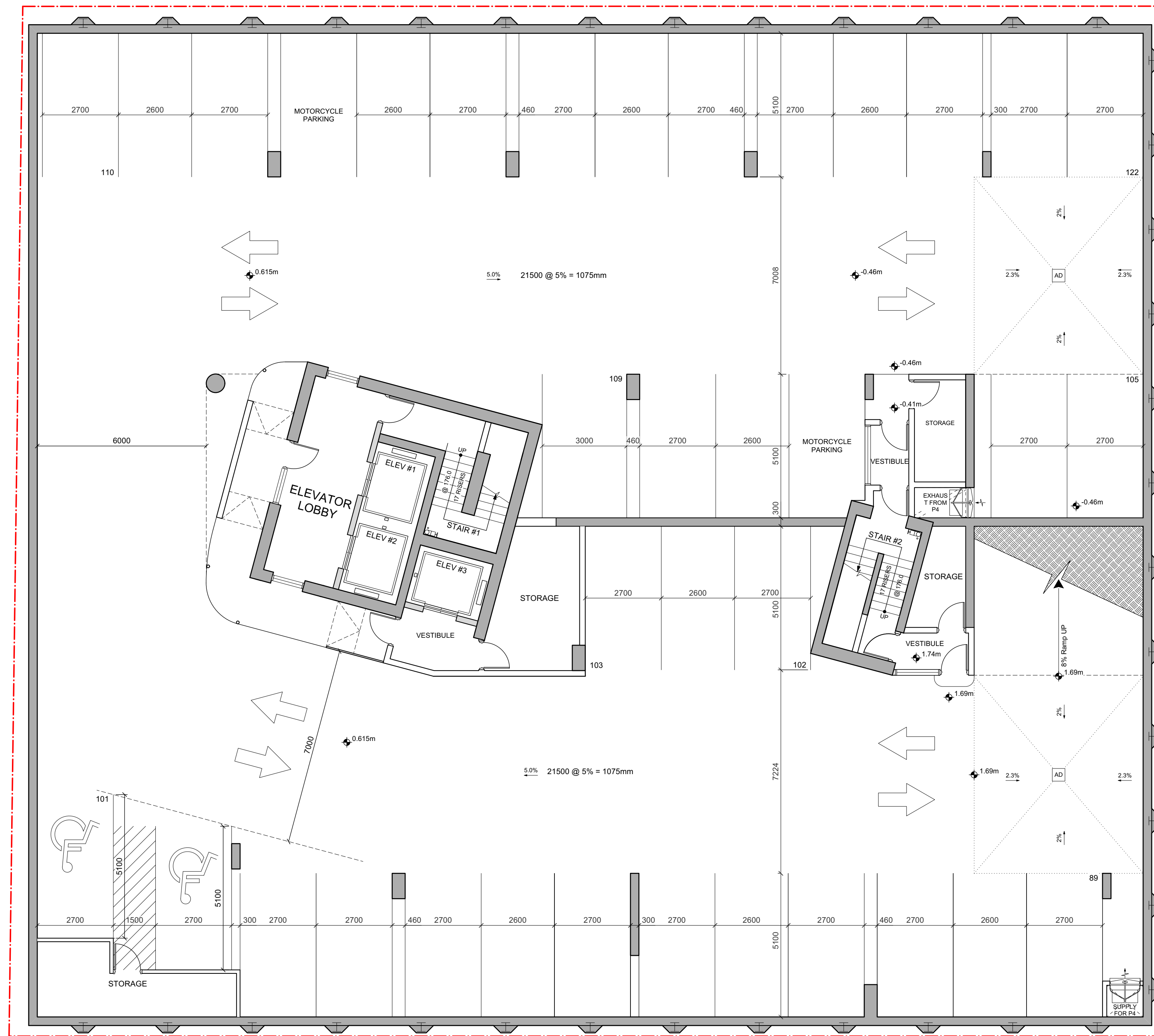
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revision no. sheet no.

2 A1.5

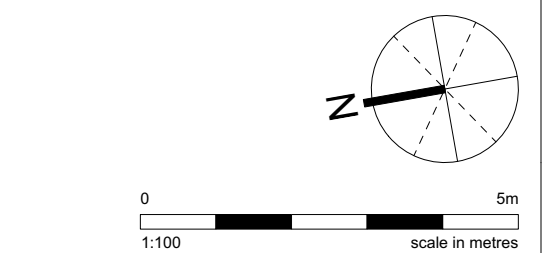


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Level P4 Plan  
Scale 1:100

PARKING COUNT								
Building	Parking Requirements	Parking Provided	Accessible Parking Stall Requirements	Accessible Parking Stalls Provided	Long Term Bicycle Requirements	Long Term Bicycle Provided	Short Term Bicycle Requirements	Short Term Bicycle Provided
P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible  Van Accessible	2	Hotel 1 per 25 rooms @ 198 rooms = 8  CRU @ 215sqm 1 per 150sqm=2	8	Hotel 1 per 40 rooms @ 198 rooms = 5	6
P3		32		2				
P2		32		2				
P1		24		1				
Level 1 CRU	0	0		0		2	CRU @ 215sqm 1 per 100sqm = 3	8
<b>Total</b>	<b>50</b>	<b>122</b>	<b>2</b>	<b>7</b>	<b>8+2=10</b>	<b>10</b>	<b>5+3=8</b>	<b>14</b>



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

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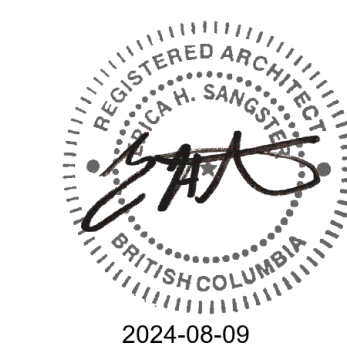
sheet title  
**Level P4 Plan**

project no. 20-36  
drawing file -

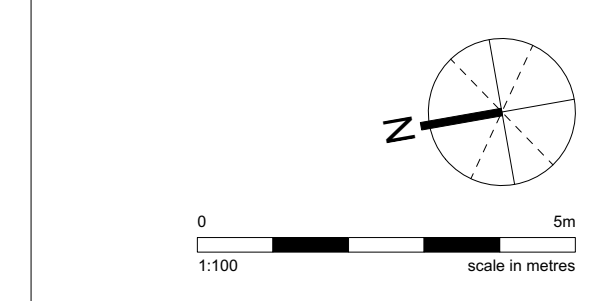
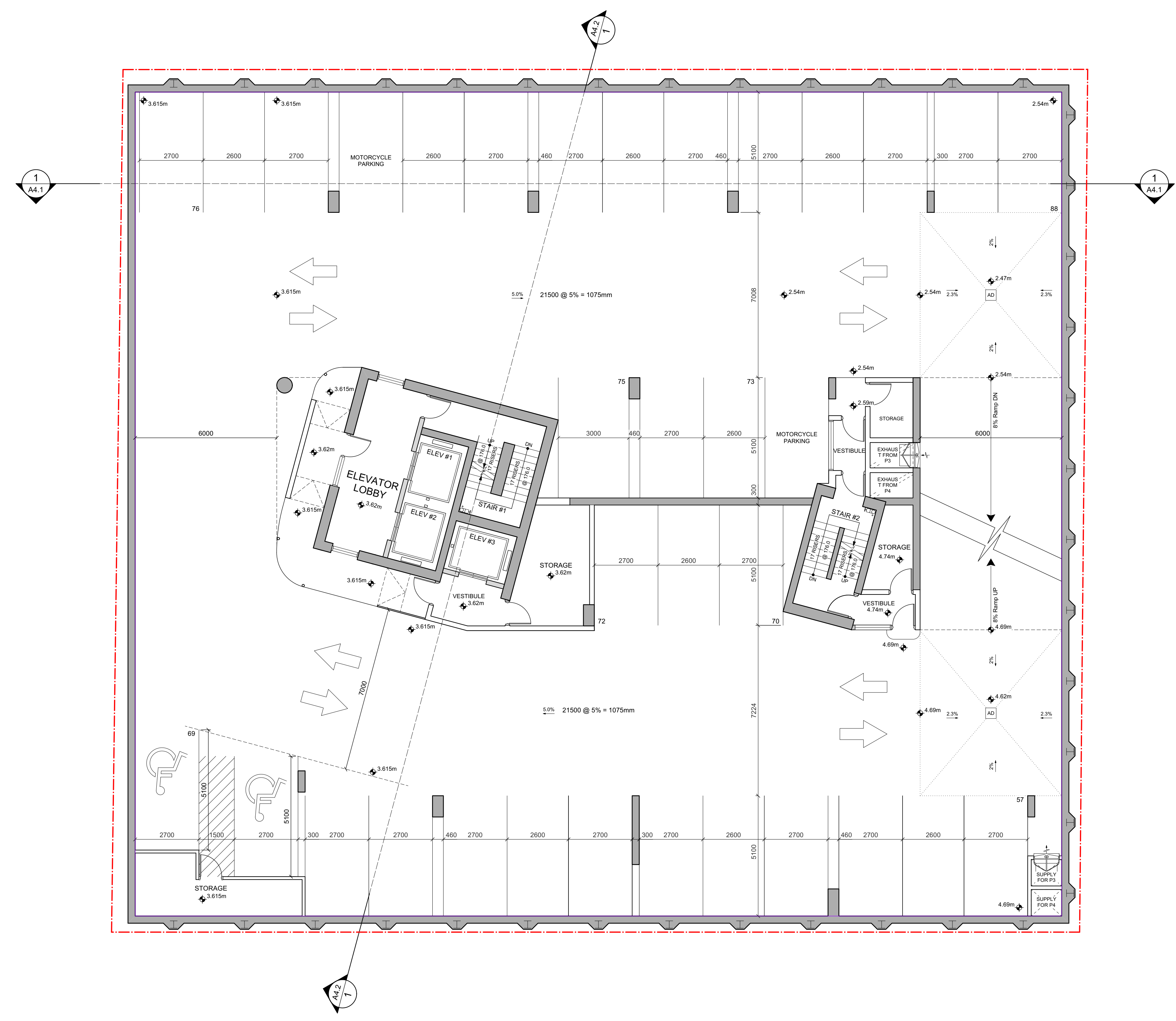
date issued August 9, 2024  
scale 1:100

drawn by JA/JH  
checked by ES

revision no. sheet no.  
2 A2.1



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2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

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project name  
**Hampton Inn**  
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sheet title  
**Level P3 Plan**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES
revision no.	sheet no.

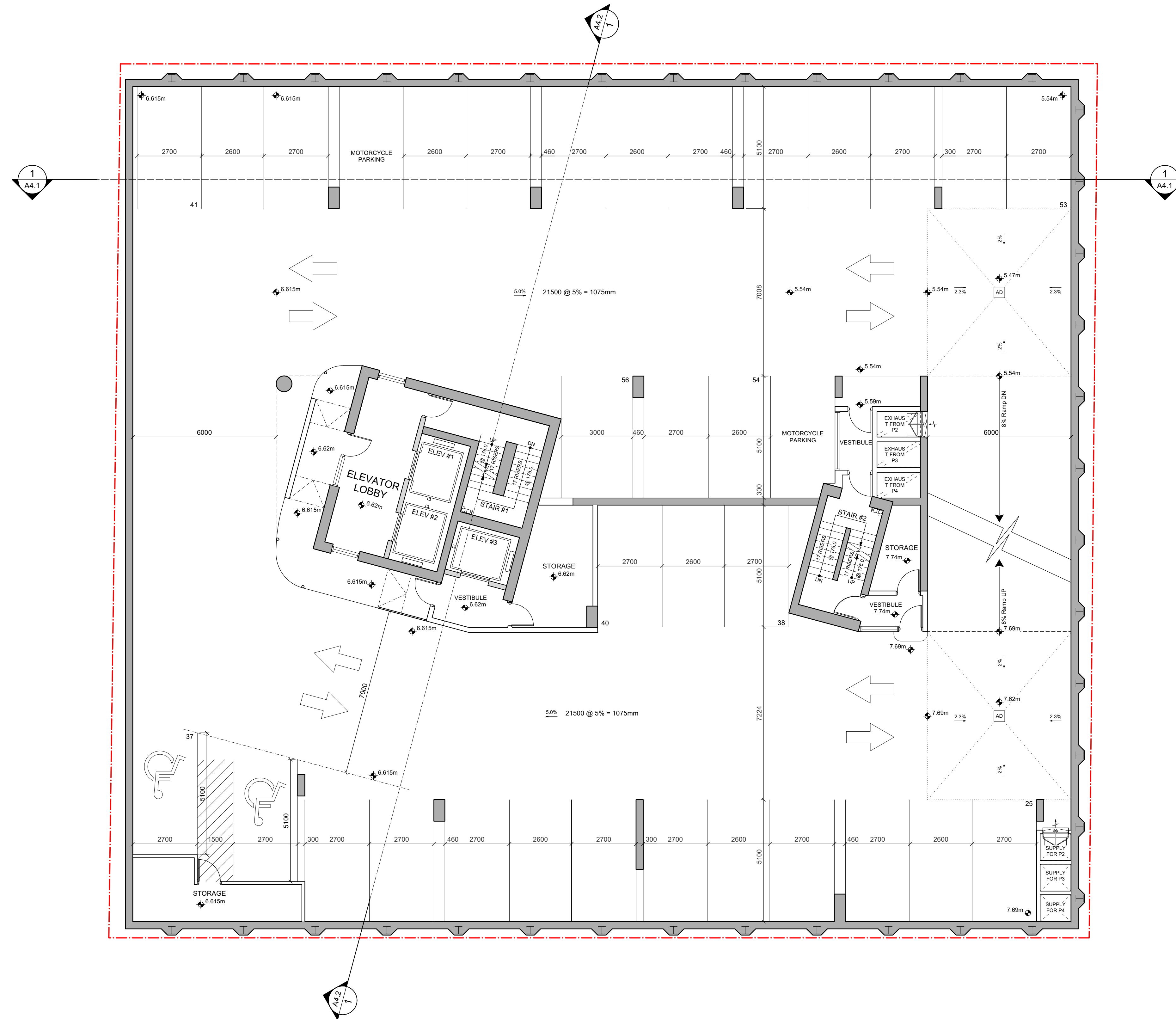
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**Level P3 Plan**  
Scale 1:100

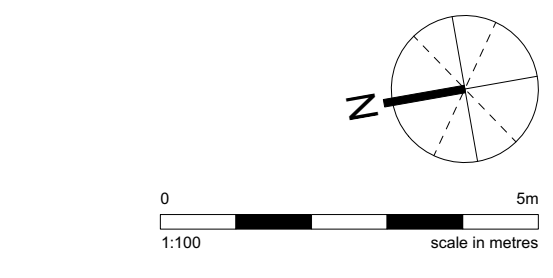
PARKING COUNT							
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P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	2	Hotel 1 per 25 rooms @ 198 rooms= 8	8	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2			
P2		32	Van Accessible	1			
P1		24		0	CRU @ 215sqm 1 per 150sqm=2	2	CRU @ 215sqm 1 per 100sqm = 3
Level 1 CRU	0	0					
<b>Total</b>	<b>50</b>	<b>122</b>	<b>2</b>	<b>7</b>	<b>8+2=10</b>	<b>10</b>	<b>5+3=8</b>



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**Level P2 Plan**  
Scale 1:100



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no description date

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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Level P2 Plan**

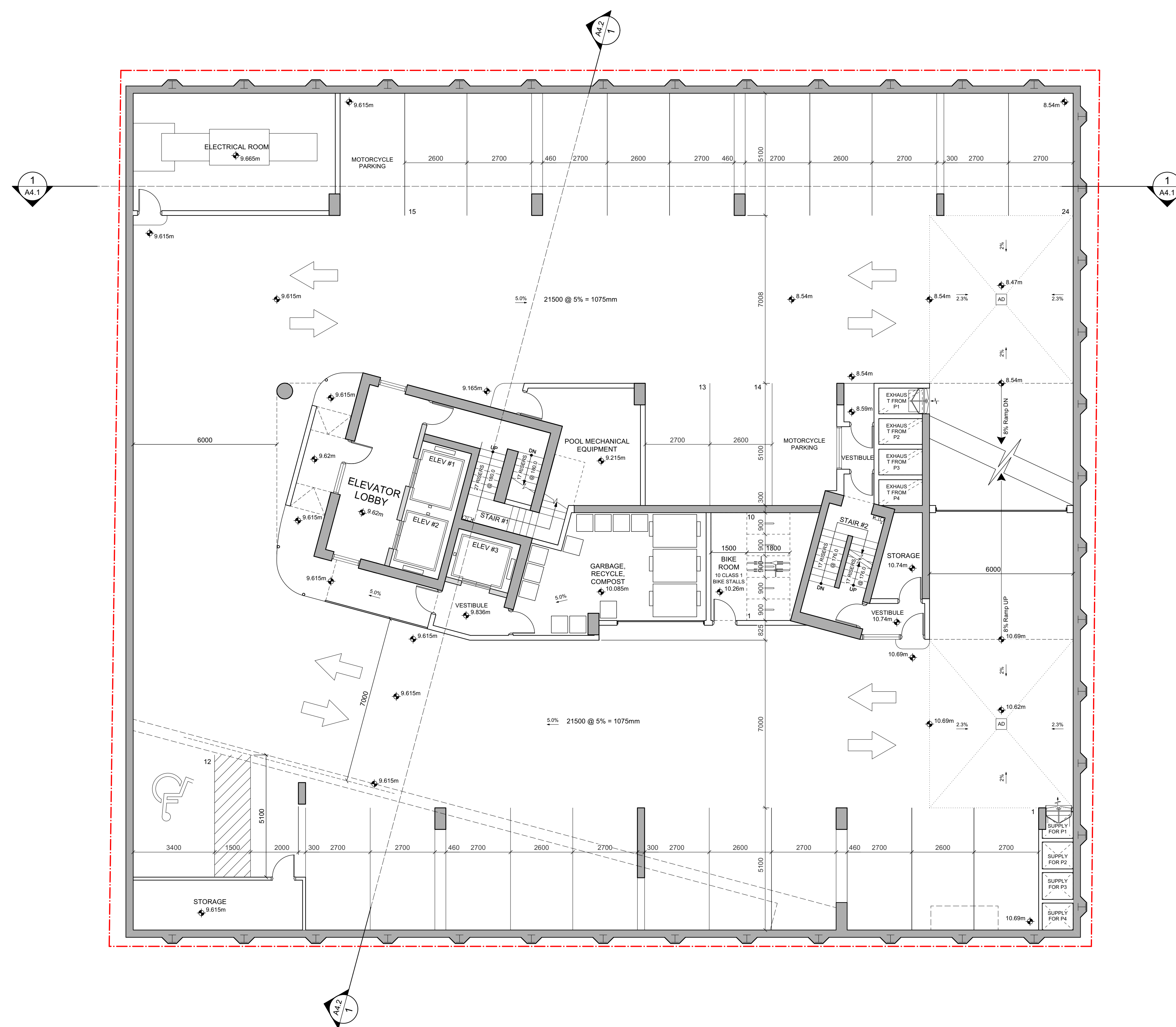
project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES

revision no. sheet no.  
2 **A2.3**

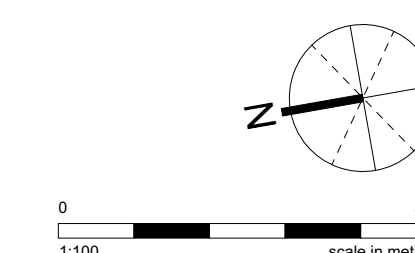
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P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	2	Hotel 1 per 25 rooms @ 198 rooms = 8	8	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2			6
P2		32	Van Accessible	1			
P1		24		0			
Level 1 CRU	0	0		0	CRU @ 215sqm 1 per 150sqm=2	2	CRU @ 215sqm 1 per 100sqm = 3
<b>Total</b>	<b>50</b>	<b>122</b>	<b>2</b>	<b>7</b>	<b>8+2=10</b>	<b>10</b>	<b>5+3=8</b>



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**Level P1 Plan**  
Scale 1:100



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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sheet title  
**Level P1 Plan**

project no. 20-36

drawing file -

date issued August 9, 2024

scale 1:100

drawn by JA/JH

checked by ES

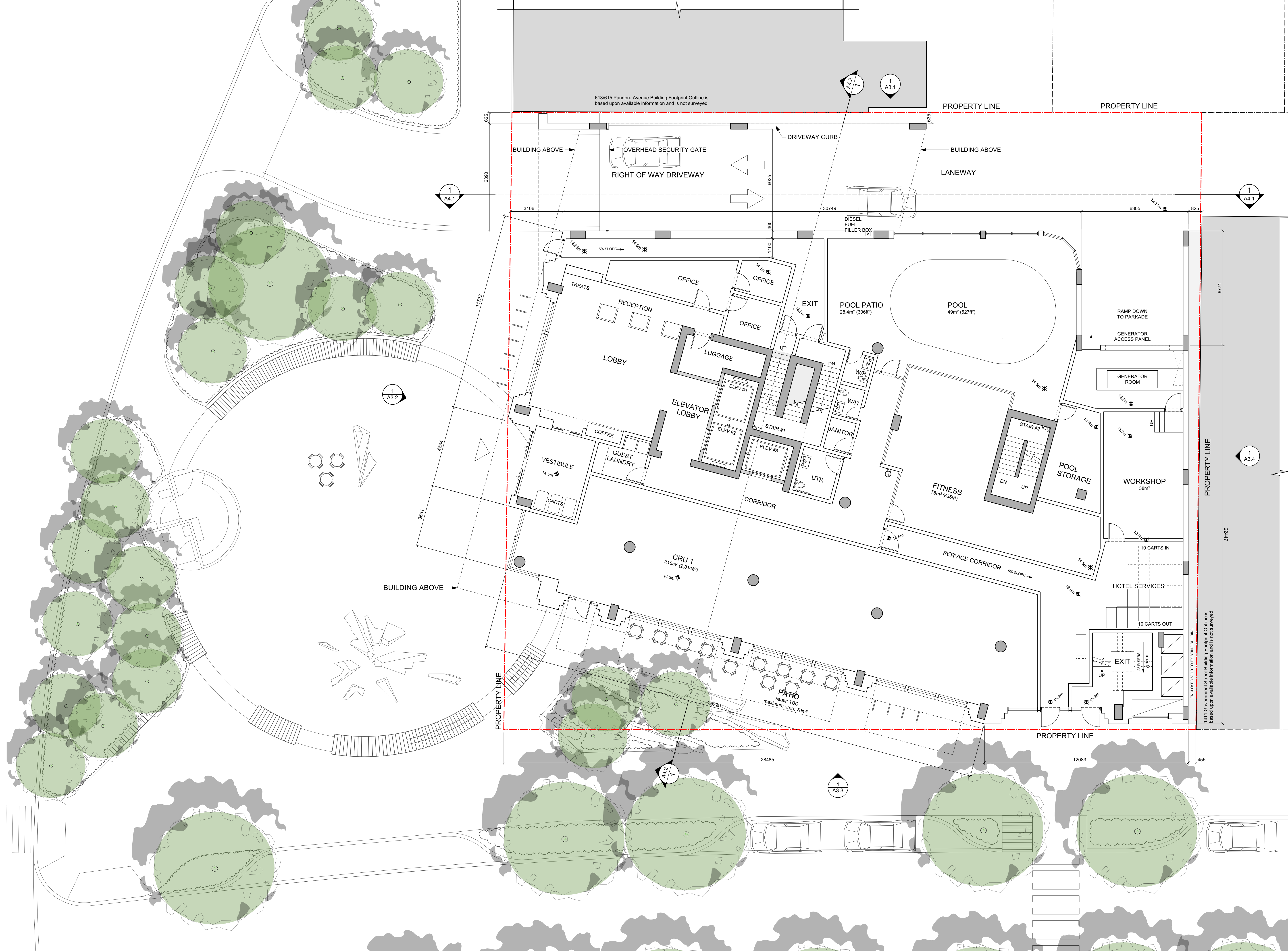
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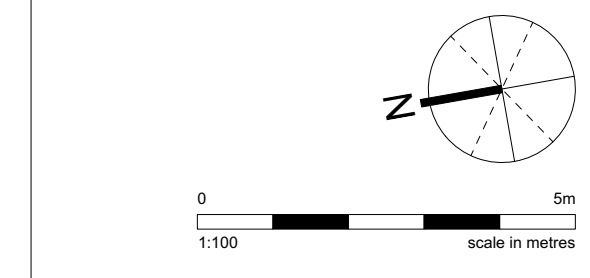
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P4	0.25 per room @ 198 rooms	34	*26-50 = 1 Accessible	2	Hotel 1 per 25 rooms @ 198 rooms= 8	8	Hotel 1 per 40 rooms @ 198 rooms = 5
P3		32		2			
P2		32	Van Accessible	1			
P1		24					
Level 1 CRU	0	0		0	CRU @ 215sqm 1 per 150sqm=2	2	CRU @ 215sqm 1 per 100sqm = 3
<b>Total</b>	<b>50</b>	<b>122</b>	<b>2</b>	<b>7</b>	<b>8+2=10</b>	<b>10</b>	<b>5+3=8</b>



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1 Level 1 Plan  
Scale 1:100



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

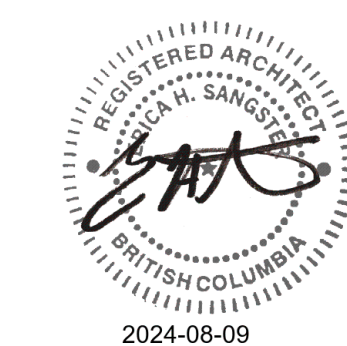
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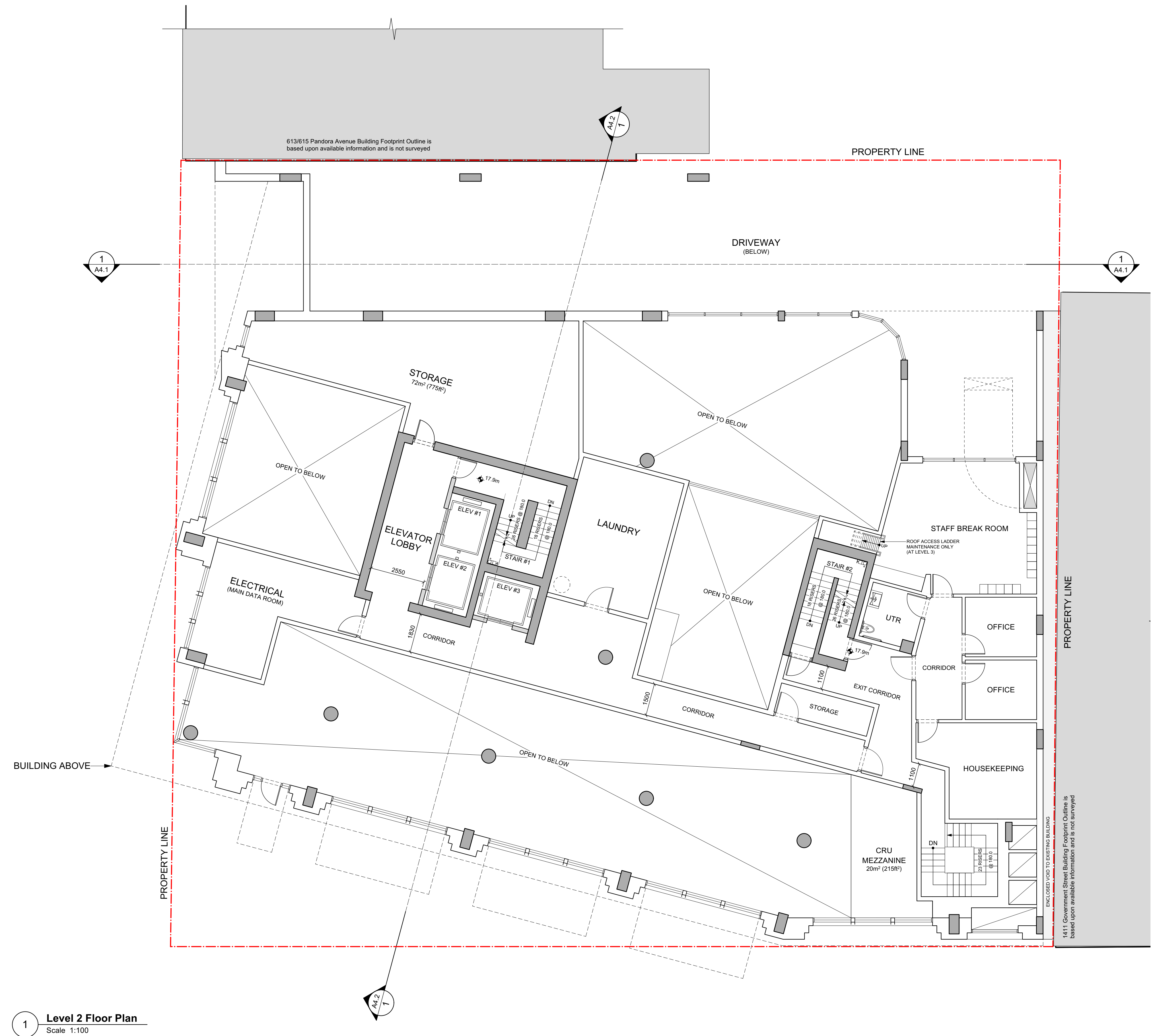
sheet title  
**Level 1**  
**Ground Floor Plan**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JAJH
checked by	ES

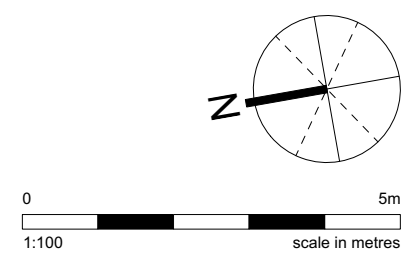
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2	A2.5



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1 **Level 2 Floor Plan**  
Scale 1:100



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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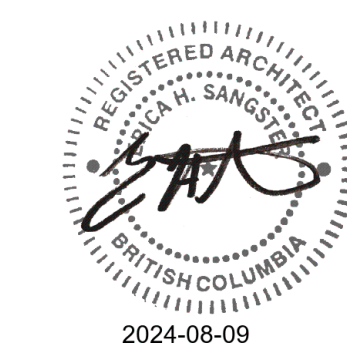
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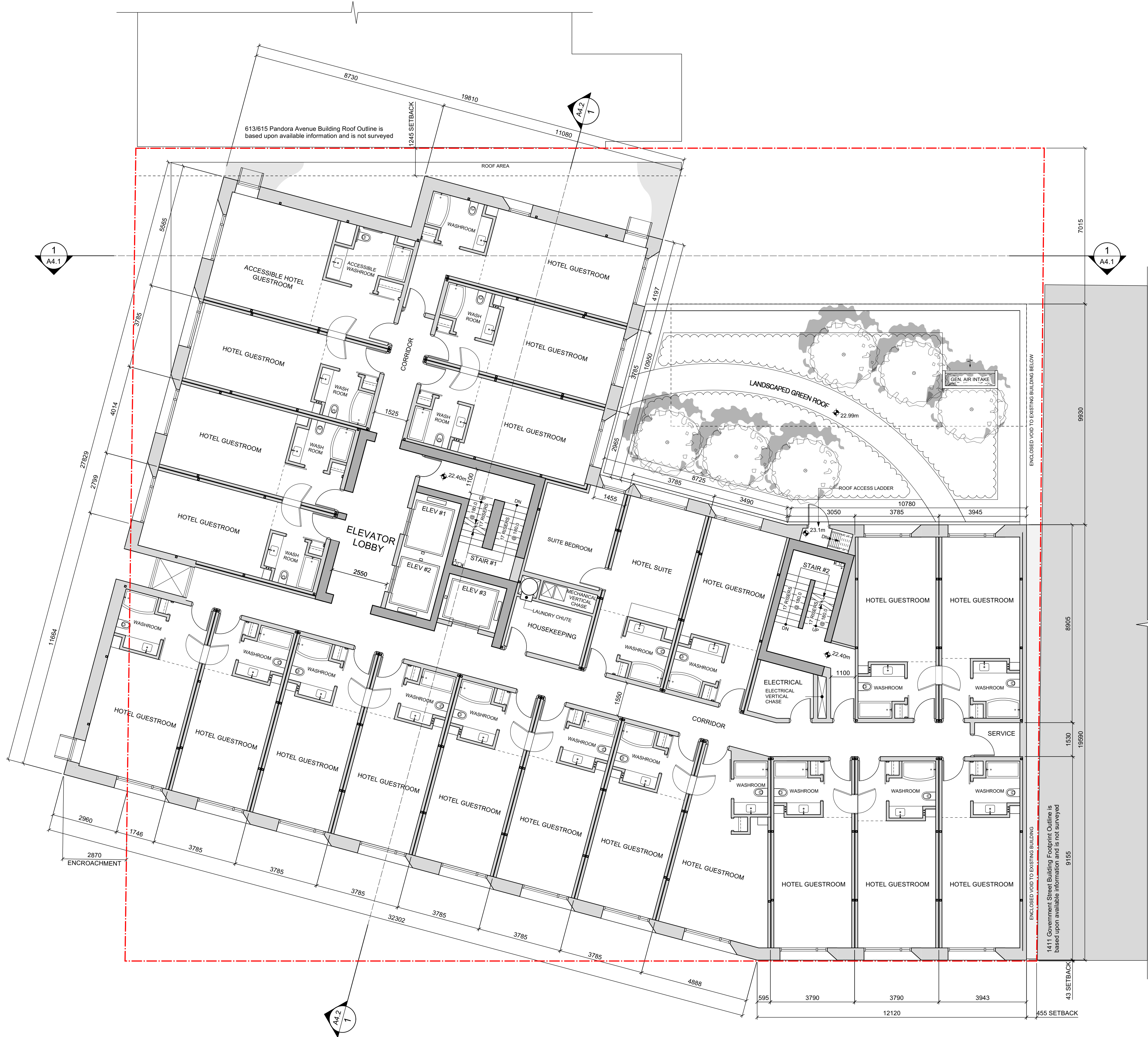
sheet title  
**Floor Plan - Level 2**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JAJ/JH
checked by	ES

revision no.	sheet no.
2	A2.6

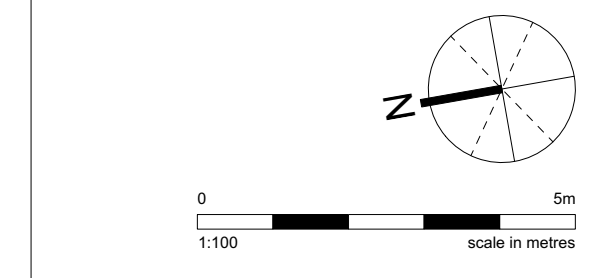


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**Unit Count & Area**  
22 units / floor  
1004.2 m<sup>2</sup> / floor  
10,809 ft<sup>2</sup> / floor

**1 Level 3**  
Scale 1:100



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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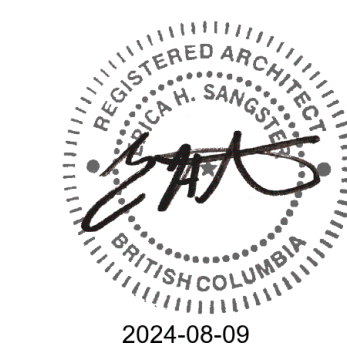
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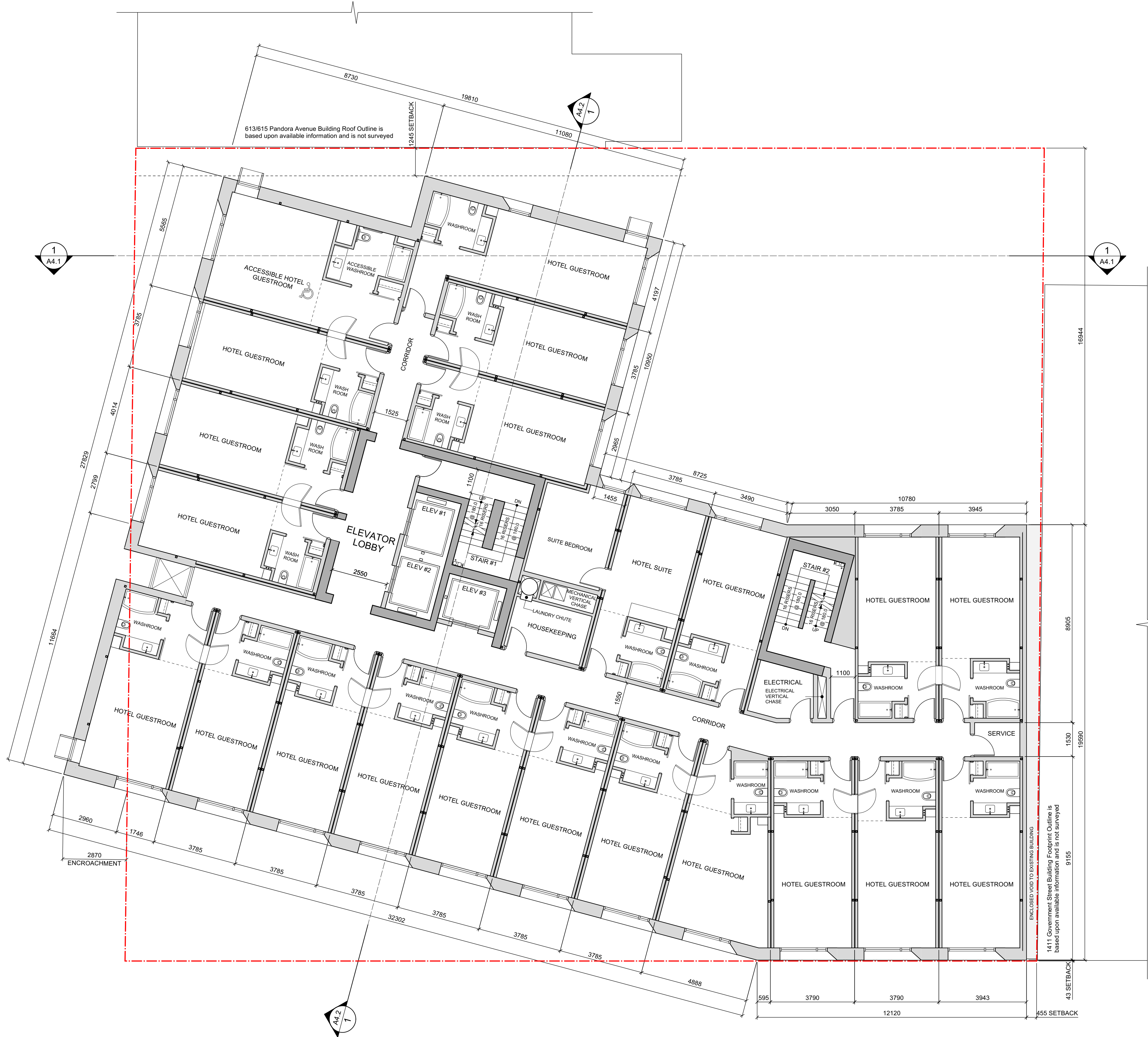
sheet title  
**Floor Plan - Level 3**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES

revision no.	sheet no.
2	A2.7

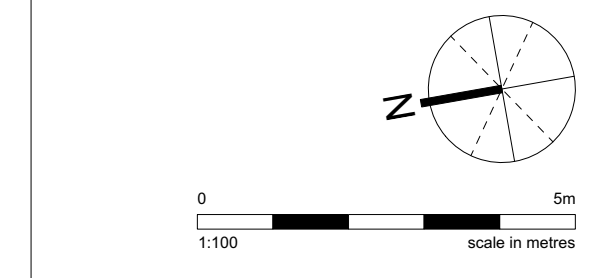


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**Unit Count & Area**  
22 units / floor  
1004.2 m<sup>2</sup> / floor  
10,809 ft<sup>2</sup> / floor

**1 Level 4 - Level 5**  
Scale 1:100



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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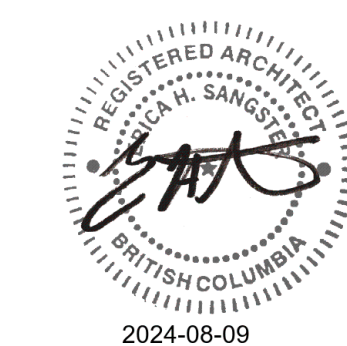
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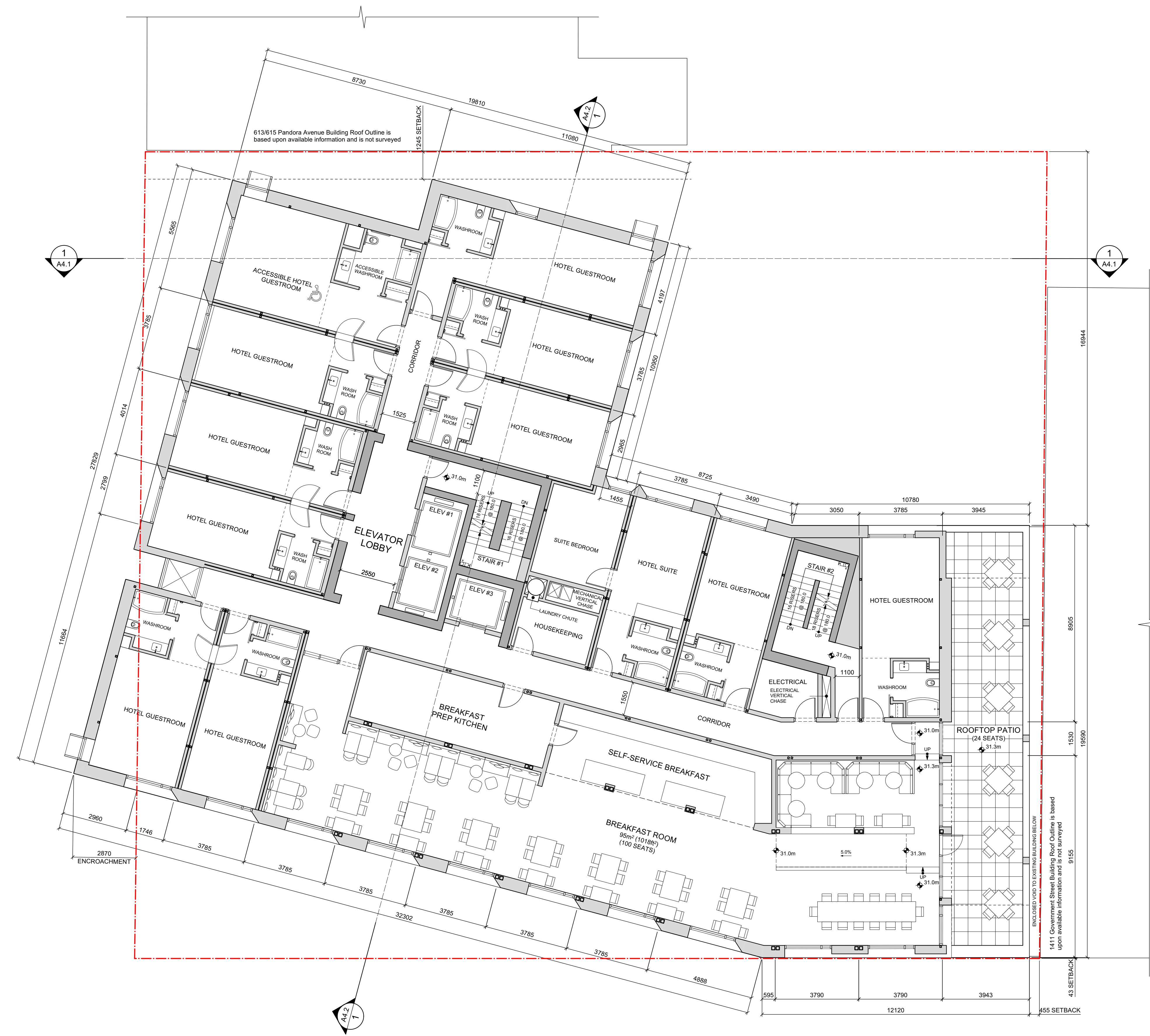
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**Floor Plan -  
Level 4 - Level 5**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES

revision no.	sheet no.
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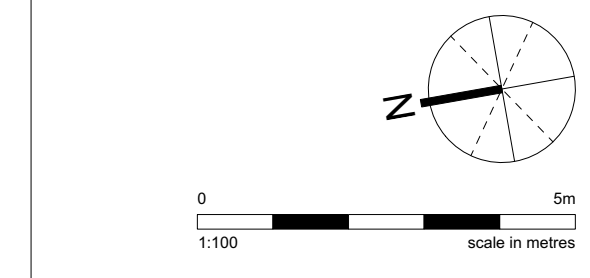


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**Unit Count & Area**  
12 units / floor  
934.9m<sup>2</sup> / floor  
10,063 ft<sup>2</sup> / floor

**1 Level 6**  
Scale 1:100



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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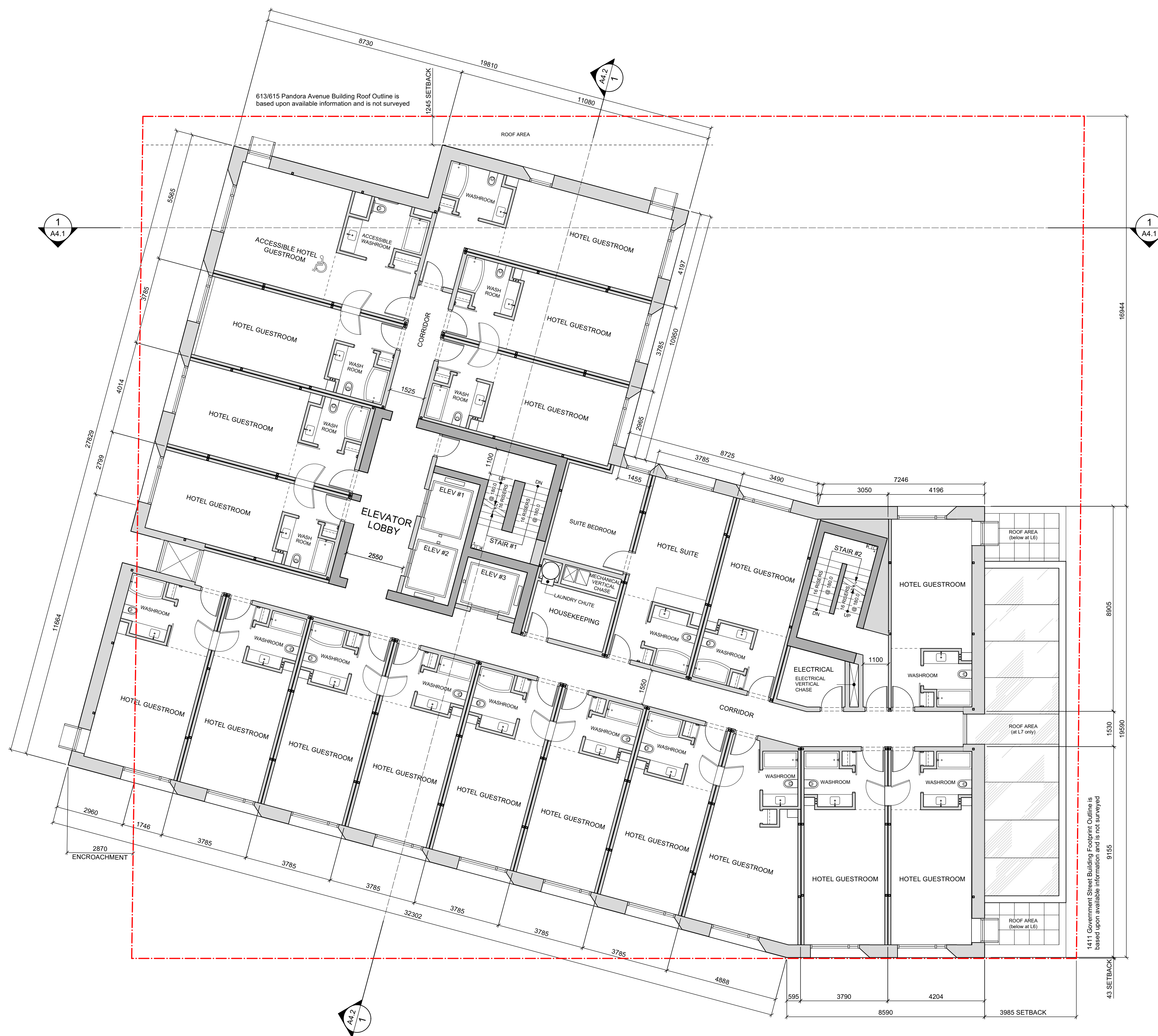
sheet title  
**Floor Plan - Level 6**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES

revision no.	sheet no.
2	A2.9

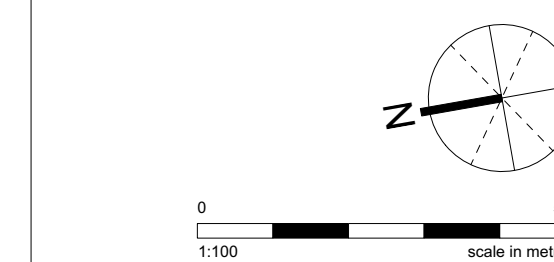


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**Unit Count & Area**  
20 units / floor  
933.9 m<sup>2</sup> / floor  
10,052 ft<sup>2</sup> / floor

**1 Level 7 - Level 12**  
Scale 1:100



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Floor Plan -  
Level 7 - Level 12**

project no. 20-36

drawing file -

date issued August 9, 2024

scale 1:100

drawn by JA/JH

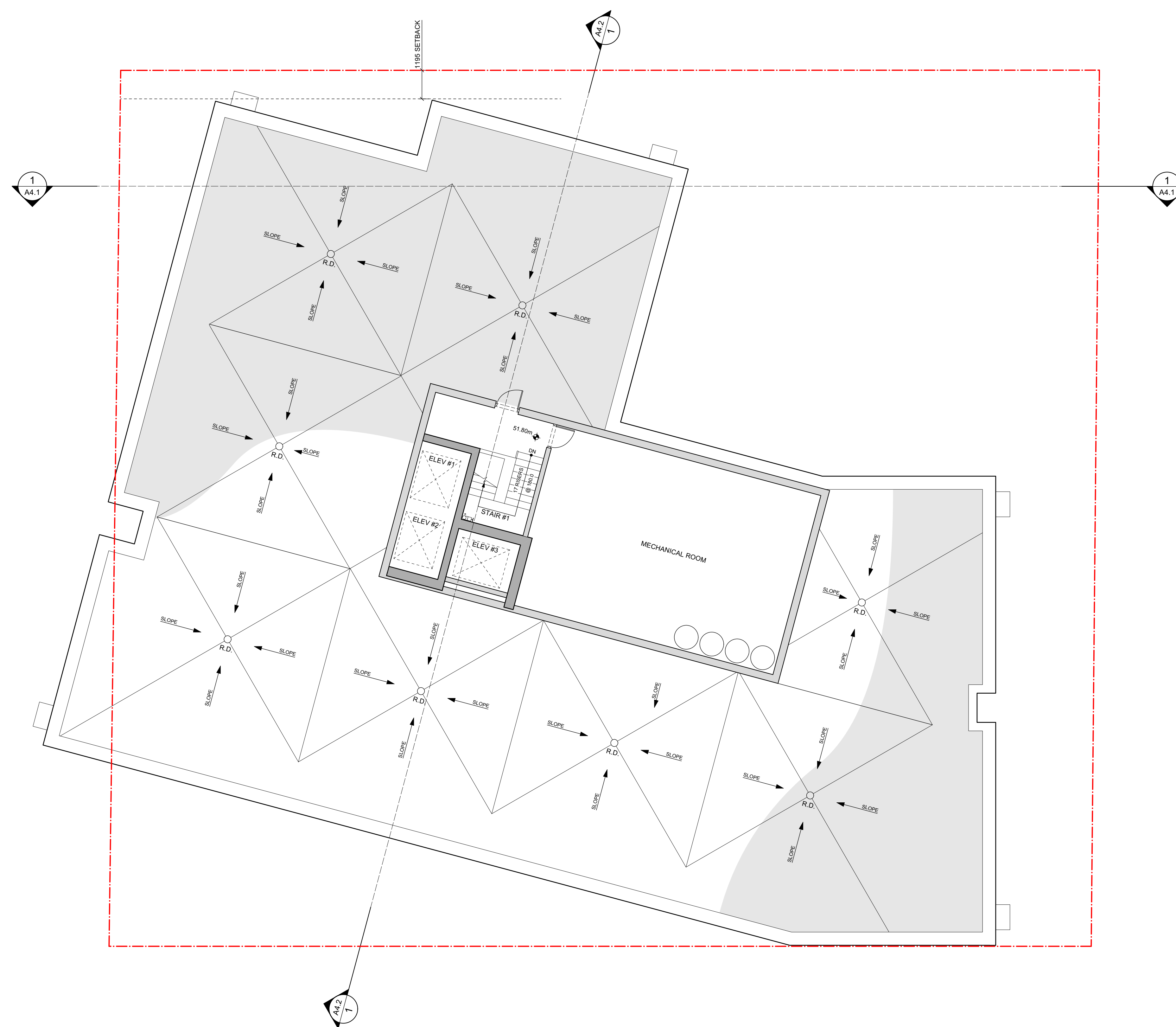
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revision no. sheet no.

2 **A2.10**



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**Area**  
Penthouse G.F.A. Excluded  
0.00 m<sup>2</sup>  
0 ft<sup>2</sup>

**1 Penthouse and Roof Plan**  
Scale 1:100

2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Penthouse and Roof Plan**

project no. 20-36

drawing file -

date issued August 9, 2024

scale 1:100

drawn by JA/JH

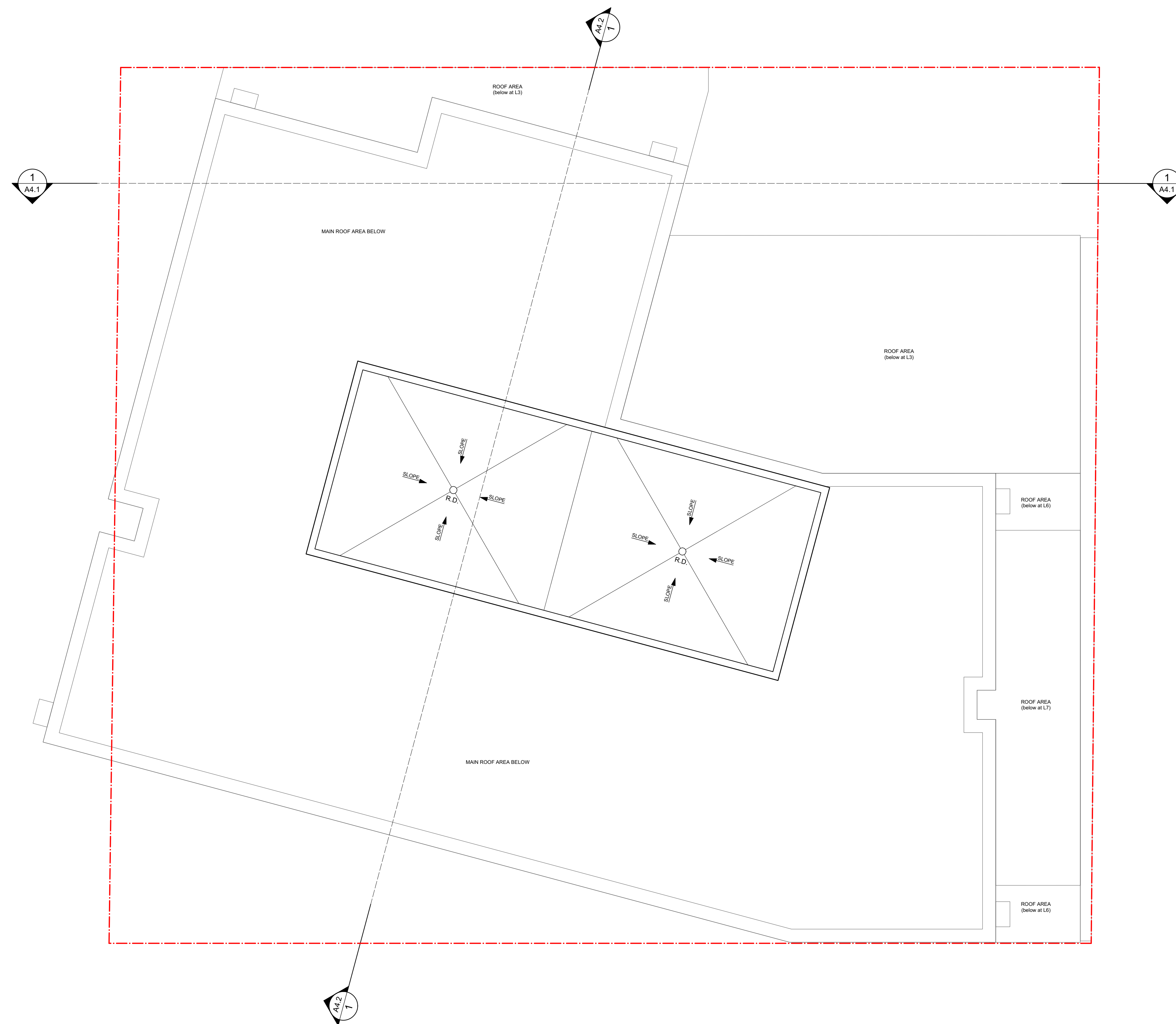
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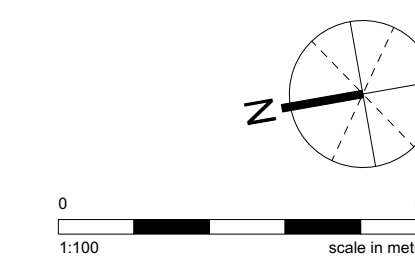


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**Area**  
Penthouse G.F.A. Excluded  
0.00 m<sup>2</sup>  
0 ft<sup>2</sup>

**1 Penthouse and Roof Plan**  
Scale 1:100



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

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project name  
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Victoria, BC

sheet title  
**Roof Plan**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JH
checked by	ES

revision no.	sheet no.
2	A2.12



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**Elevation Materials Key:**

1. Clear Glazing in Aluminum Frames w/ Classic Copper Paint Finish & Prefinished metal panels in Matching Colour
2. Prefinished Metal Panel / Flashing Pewter Finish
3. Cementitious Panel - Plank Format Warm Light Grey
4. Painted Metal Pergolas & Canopies Classic Copper Paint Finish
5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



West Elevation (Government St)  
Scale 1:100



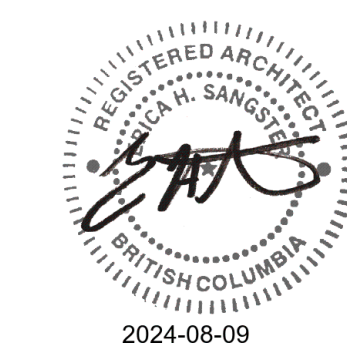
rev no	description	date
2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Building Elevations**

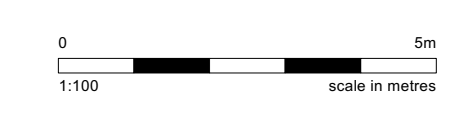
project no.	20-36
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revision no.	sheet no.



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rev no	description	date
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-	Development Tracker	2024/01/29

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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Building Elevations**

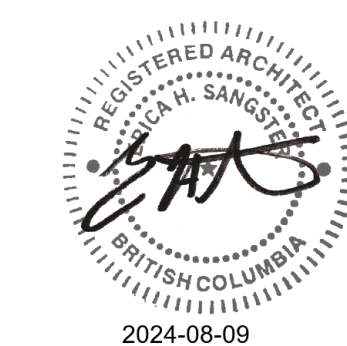
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checked by	ES
revision no.	sheet no.

2  
**A3.2**



North Elevation (Pandora Ave.)  
Scale 1:100

Average Grade

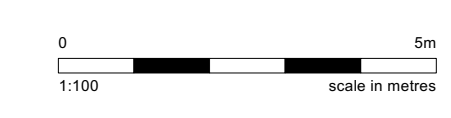


2024-08-09

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2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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project name  
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603 Pandora Avenue  
Victoria, BC

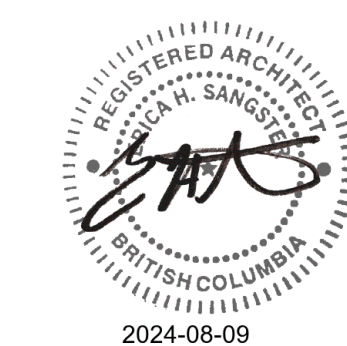
sheet title  
**Building Elevations**

project no.	20-36
drawing file	-
date issued	August 9, 2024
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checked by	ES

revision no.	sheet no.
2	A3.3



**East Elevation**  
Scale 1:100



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○ South Elevation  
Scale 1:100

rev no	description	date
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project name  
**Hampton Inn**  
603 Pandora Avenue  
Victoria, BC

sheet title  
**Building Elevations**

project no.	20-36
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revision no.	sheet no.
2	A3.4



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5. Cementitious Panel Warm Light Grey
6. Clear Glazing in Aluminum Frames w/ Charcoal Paint Finish & C-Channel Steel Beams and Posts in Matching Colour



Context Elevation - Government Street  
Scale 1:250



Context Elevation - Pandora Avenue  
Scale 1:250



2	HAPL	2024/08/09
1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date

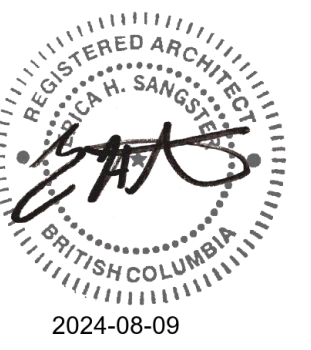
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project name  
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sheet title  
**Context Elevations**

project no.	20-36
drawing file	-
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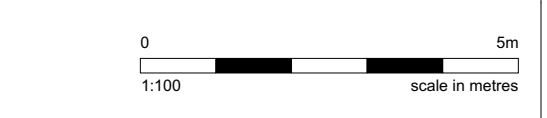
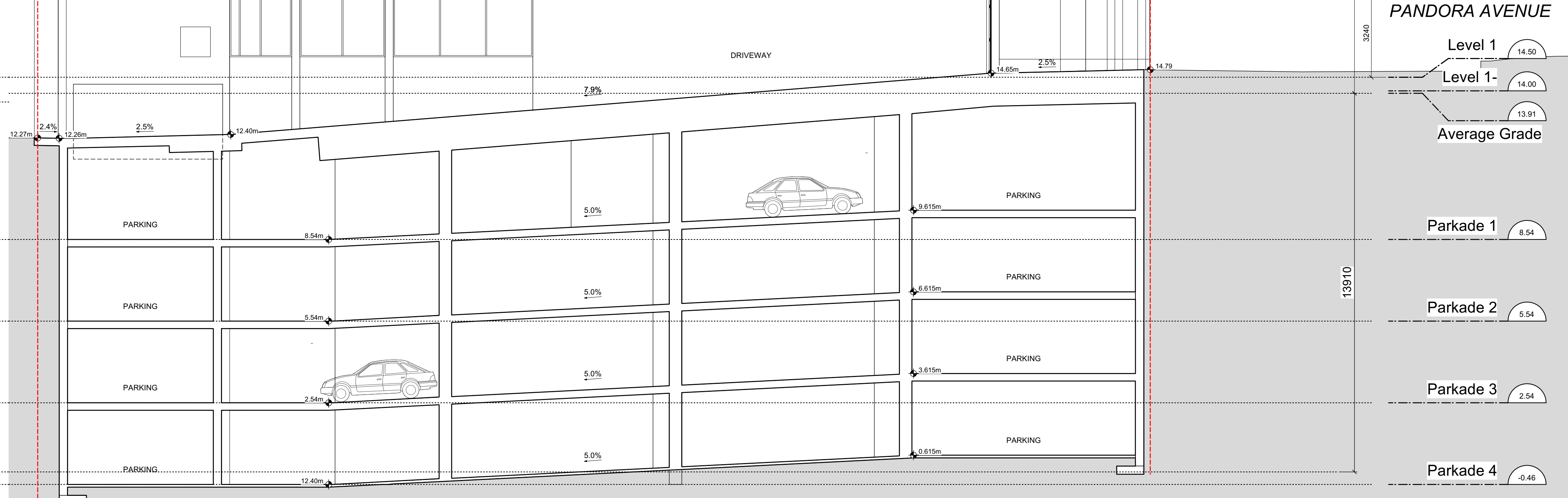
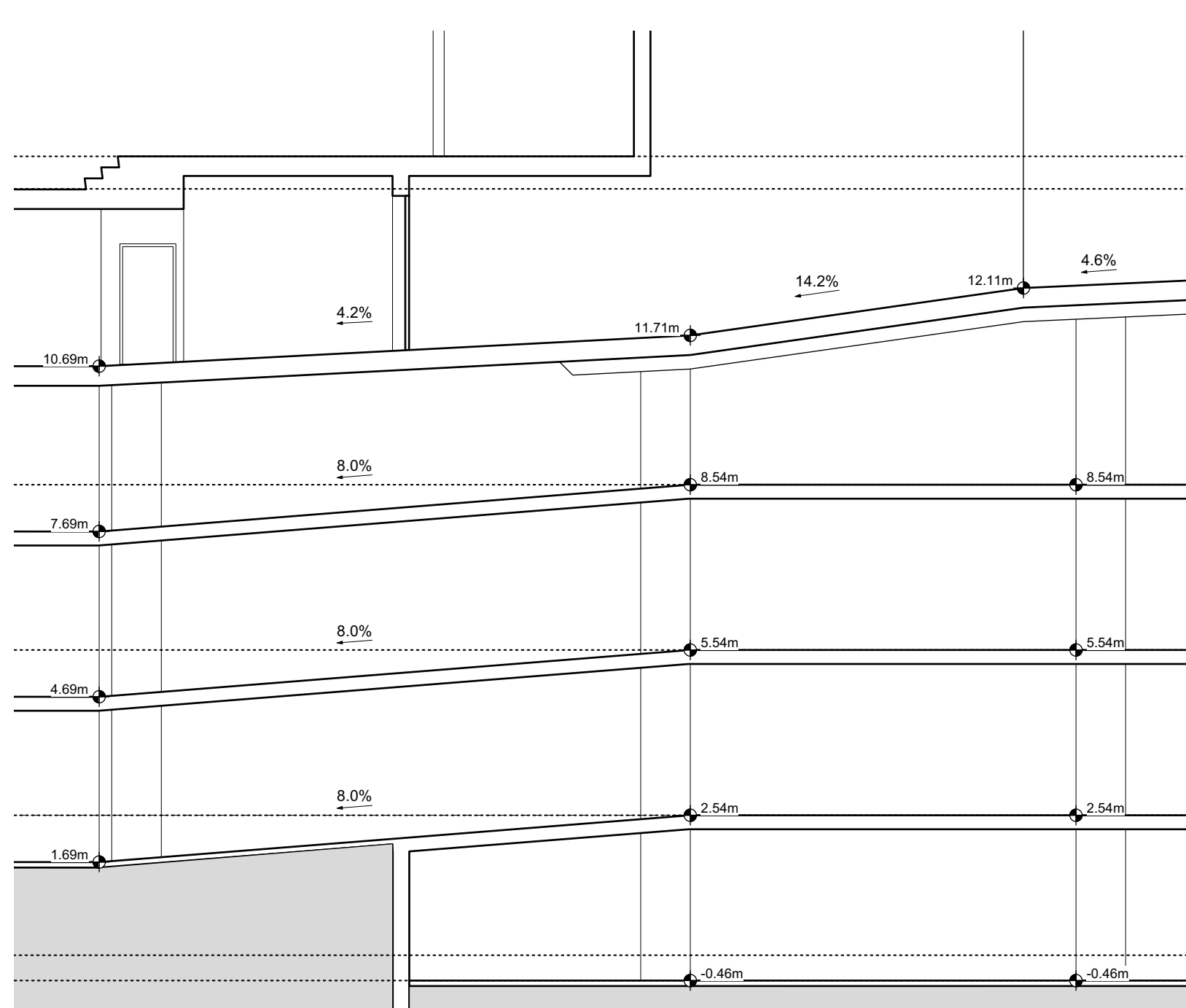
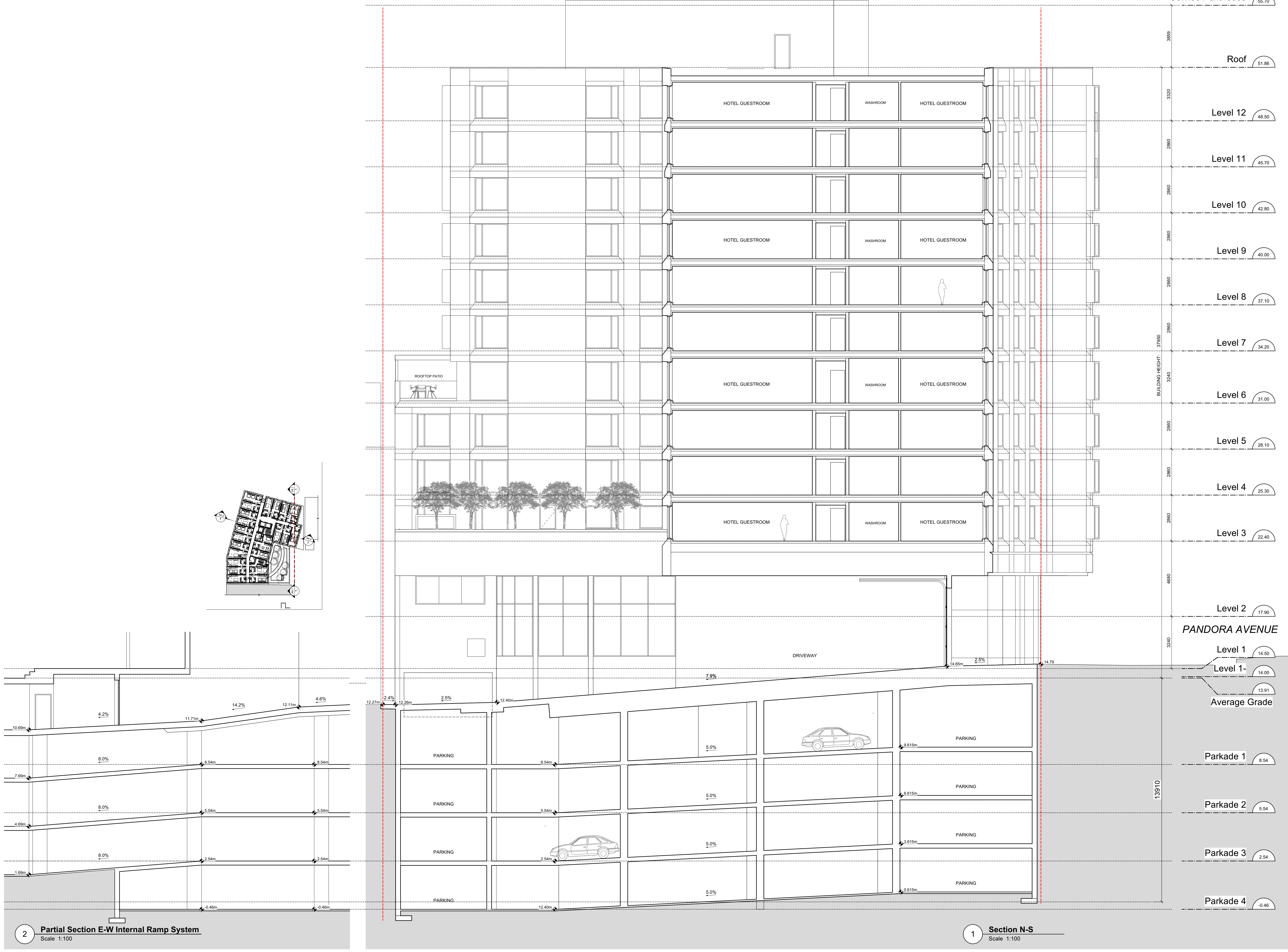
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project name  
**Hampton Inn**  
603 Pandora Avenue  
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sheet title  
**Building Section N-S**

project no.	20-36
drawing file	-
date issued	August 9, 2024
scale	1:100
drawn by	JA/JB/GK/JH
checked by	ES
revision no.	sheet no.

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**A4.1**



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1	Rezoning / DP	2024/04/05
-	Development Tracker	2024/01/29

rev no	description	date
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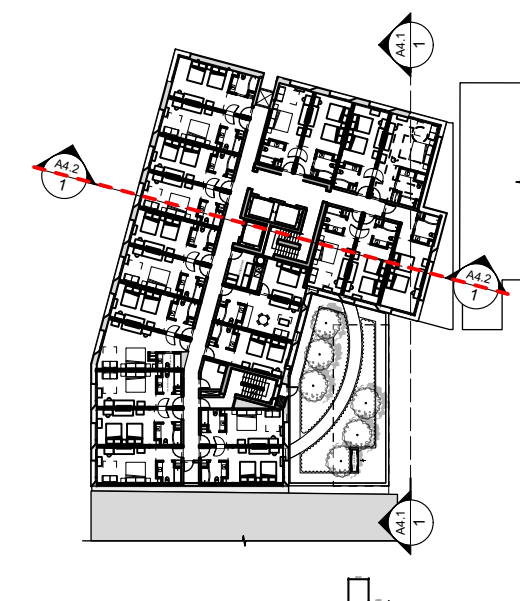
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sheet title  
**Building Section N-S**

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revision no.	sheet no.

2  
**A4.2**



**Section E-W**  
Scale 1:100