





CITY OF
VICTORIA

Revisions

Received Date:
February 16/18

ISSUED FOR				
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE		REVIEW
1	2018-02-16	ISSUED FOR REZONING & DP		

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#305-111 WATER STREET
Vancouver, BC V6B 1A7
Tel: (604)-694-8896

ARCHITECT & PRIME CONSULTANT

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406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

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PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC.
5th FLOOR, 1201 WEST PENDER STREET
Vancouver, BC V6E 2V2 (604)-688-6111 Fax: 6112

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DONALD LUXTON & ASSOCIATES INC.
1030- 470 GRANVILLE STREET
Vancouver, BC V6C 1V5
Tel: (604)-688-1216

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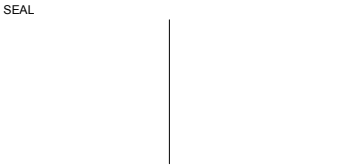
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INTEGRAL GROUP
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Tel: (250)-418-1288



COVER SHEET

DRAWN: RT
PLOT DATE: 2/15/2018 2:46:35 PM
CHECKED: AP

A0.00

JOHNSON STREET GATEWAY

CIVIC ADDRESS : 1314-1318, 1324 Warf Street, Victoria, BC

LEGAL ADDRESS : Lot 182A, Lot 182F, Lot 182G and Road Closure Area represented by Plan NO. EPP8684 for City of Victoria Bylaw NO. 14-043

REZONING AND DEVELOPMENT PERMIT (AMENDMENT)
February 16, 2018

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ARCHITECT & PRIME CONSULTANT DIALOG 406, 611 Alexander Street Vancouver, BC V6A 1E1 Tel: (604)-255-1169 Fax: (604)-255-1790	INTERIOR DESIGN DIALOG 406, 611 Alexander Street Vancouver, BC V6A 1E1 Tel: (604)-255-1169 Fax: (604)-255-1790
STRUCTURAL ENGINEER DIALOG 406, 611 Alexander Street Vancouver, BC V6A 1E1 Tel: (604)-255-1169 Fax: (604)-255-1790	GEOTECHNICAL RVZUK 29 Crease Avenue Victoria, B.C. V8Z 1S3 Tel: (250)-4753131
MECHANICAL & ELECTRICAL INTEGRAL GROUP 201- 1019 WHARF STREET VICTORIA, BC, V8W 2Y9 Tel: (250)-418-1288	SURVEY WSP 301-3600 Uptown Boulevard Victoria, BC V8Z 0B9 Tel: (250)-389-8015
CODE CONSULTANT MURRAY JOHNSON ENGINEERING LTD. 212 FIFTH AVENUE W NEW WESTMINSTER, BC, V3L 1R4 Tel: (604)-526-3335	HERITAGE DONALD LUXTON & ASSOCIATES INC. 1030- 470 GRANVILLE STREET Vancouver, BC V6C 1V5 Tel: (604)-688-1216
LANDSCAPE ARCHITECT PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC. 5th FLOOR, 1201 WEST PENDER STREET Vancouver, BC V6E 2V2 Tel: (604)-688-6111 Fax: (604)-688-6112	TRANSPORTATION BUNT & ASSOCIATES ENGINEERING Suite 421 - 645 Fort Street Victoria, BC V8W 1G2 Tel: (250)-592-6122

DRAWING LIST	
A0.00	COVER SHEET
A0.01	PROJECT DATA
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A0.03	CONTEXT PLAN
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A5.03	HERITAGE EXISTING ELEVATION
A5.04	HERITAGE PROPOSED ELEVATIONS

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1	2018-02-16	ISSUED FOR REZONING & DP	
2	2017-12-11	CALUC MEETING	

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Vancouver, BC V6B 1A7
Tel: (604)-694-8866

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406, 611 Alexander Street
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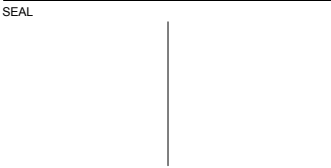
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PROJECT DATA

DRAWN: RT
PLOT DATE: 2/16/2018 9:33:03 AM

CHECKED: AP

A0.01

CIVIC ADDRESS: 1314-1318, 1324 Wharf Street, Victoria BC

LEGAL ADDRESS: Lot 182A, Lot 182F, Lot 182G and Road Closure Area represented by Plan NO. EPP8684

PROJECT INFORMATON TABLE	
ZONE (Existing)	IHH INNER HARBOUR HERITAGE DISTRICT CA-3C OLD TOWN DISTRICT
PROPOSED ZONE OR SITE SPECIFIC ZONE (if unsure, state " new zone")	NEW ZONE
PROPERTY AREA (sq. m.)	4,798 m ² 51,645.24 SF
NET SITE AREA ** (sq. m.) for FSR and Coverage	4,152.00 m ² 44,691.76 SF
TOTAL FLOOR AREA (sq. m.)	11,692.46 m ² 125,857 SF
COMMERCIAL FLOOR AREA (sq. m.)	2,278.39 m ² 24,524 SF
FLOOR SPACE RATIO	2.82
SITE COVERAGE (%)	73% (3,496 SM)
OPEN SITE SPACE * (%)	27% (1,301 SM)
BUILDING HEIGHT ***	28.87m
NUMBER OF STOREYS	8 STOREYS
PARKING STALLS (NUMBER) ON SITE	57 STALLS
BICYCLE PARKING NUMBER (Class 1 and Class 2)	107 Class 1 Res. + 6 Class 1 Comm. + 6 Class 2 Res. + 6 Class 2 Comm.

BUILDING SETBACKS (m)	
North Yard	0m
South Yard	6.08m
West Yard	7.77m
East Yard	1.52m

RESIDENTIAL USE DETAILS	
Total Number Of Units	103 UNITS
Unit Type, e.g., 1 bedroom	STUDIO, 1BD, 2 BD, 3BD
Boardwalk-Oriented Units	6
Minimum Unit Floor Area (sq. m.)	38.5 sq. m. (414 sf.)
Total Residential Floor Area (sq. m)	9,414.07 m ² 101,332 SF

* MEASURED FROM WHARF ST. / PLAZA GRADE

** SEE A0.04 FOR FURTHER INFORMATION

*** MEASURED FROM AVERAGE GRADE.
SEE A0.06 FOR FURTHER INFORMATION ABOUT AVERAGE GRADE CALCULATION

UNIT BREAKDOWN			
1 Bedroom	3,873 SF	6	6%
2 Bedroom	29,937 SF	33	32%
3 Bedroom	15,783 SF	12	12%
Studio	26,831 SF	52	50%
TOTAL	76,423 SF	103	100%

COMMERCIAL AREA	
COMMERCIAL	2,278.39 m ² 24,524 SF

PARKING COUNT	
PARKING STALL	55
HANDICAP STALL	2
	57

OVERALL AREAS		
LEVEL P1	1,431.64 m ²	15,410 SF
LEVEL 1	2,332.31 m ²	25,105 SF
LEVEL 2	1,333.35 m ²	14,352 SF
LEVEL 3	1,366.42 m ²	14,708 SF
LEVEL 4	1,366.44 m ²	14,708 SF
LEVEL 5	1,366.45 m ²	14,708 SF
LEVEL 6	1,247.94 m ²	13,433 SF
LEVEL 7	1,247.92 m ²	13,432 SF
TOTAL	11,692.46 m ²	125,857 SF

RESID. AMENITIES		
AMENITY	54.59 m ²	588 SF
GYM	45.32 m ²	488 SF
TOTAL	99.91 m ²	1,075 SF

DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

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**RELIANCE PROPERTIES
LIMITED**

WILEY

LOT 182F, 182A AND 182G, ALL IN

VICTORIA CITY, AND SURROUNDING AREA
TOPOGRAPHIC SURVEY

TOPOGRAPHIC SURVEY			
DATE	FILE	CONTENTS	SCALE

106	2016-12-16	POPH	1:250
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010030158-CNSI01-R00

SURVEY PROVIDED FOR REFERENCE ON

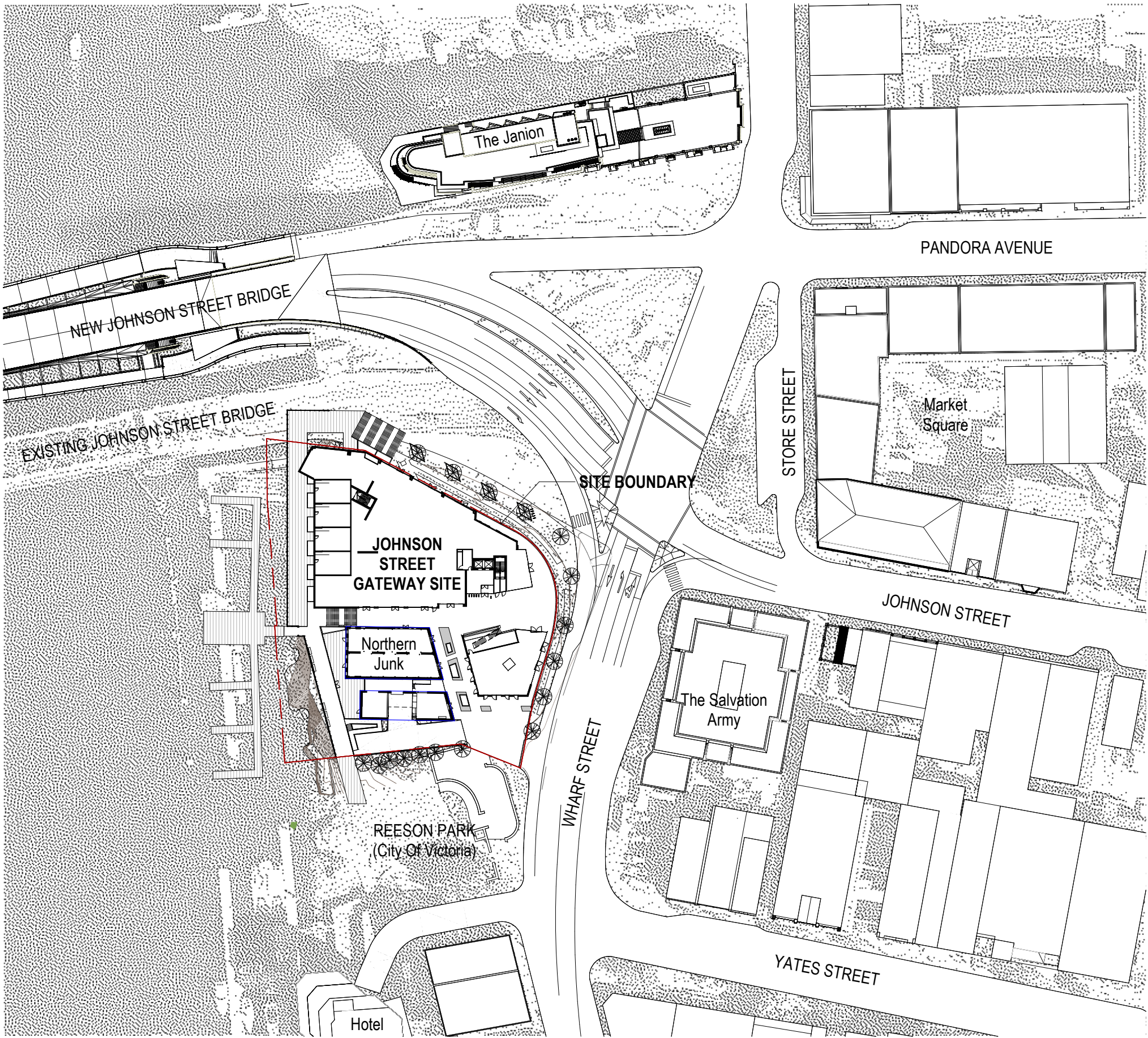
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SITE SURVEY

DRAWN: RT
PLOT DATE: 2/15/2018 2:12:19 PM

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DIALOG
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Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

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Vancouver, BC V6E 2V2 (604)-688-6111 Fax: 6112

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1030- 470 GRANVILLE STREET
Vancouver, BC V6C 1V5
Tel: (604)-688-1216

STRUCTURAL ENGINEER
DIALOG
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Vancouver, BC V6A 1E1 (604)-255-1169 Fax: (604)-255-1790

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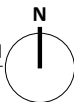
SEAL

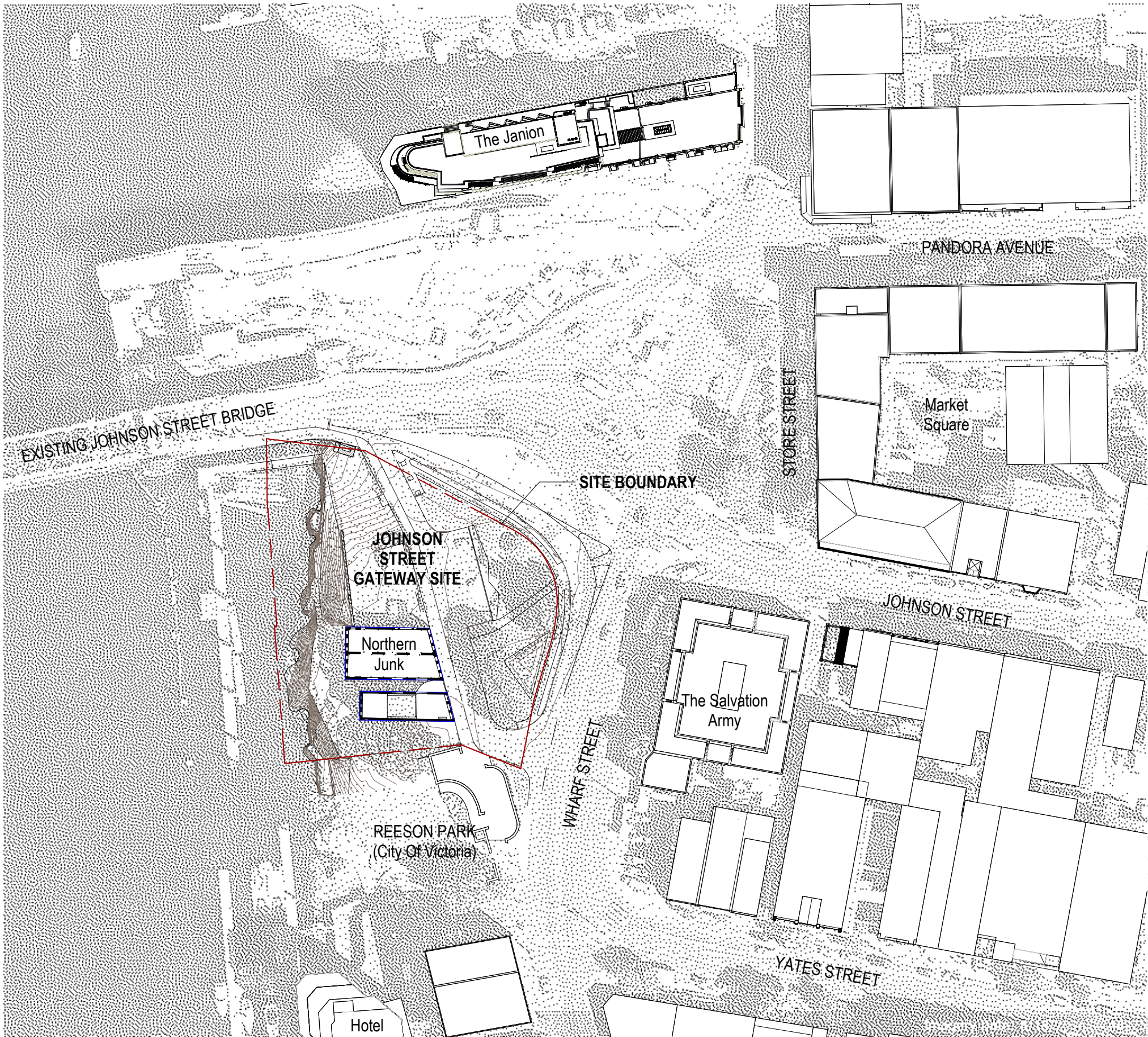
CONTEXT PLAN

DRAWN: RT
PLOT DATE: 2/15/2018 2:13:58 PM
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1 | **CONTEXT PLAN**
A0.03 | SCALE: 1 : 500







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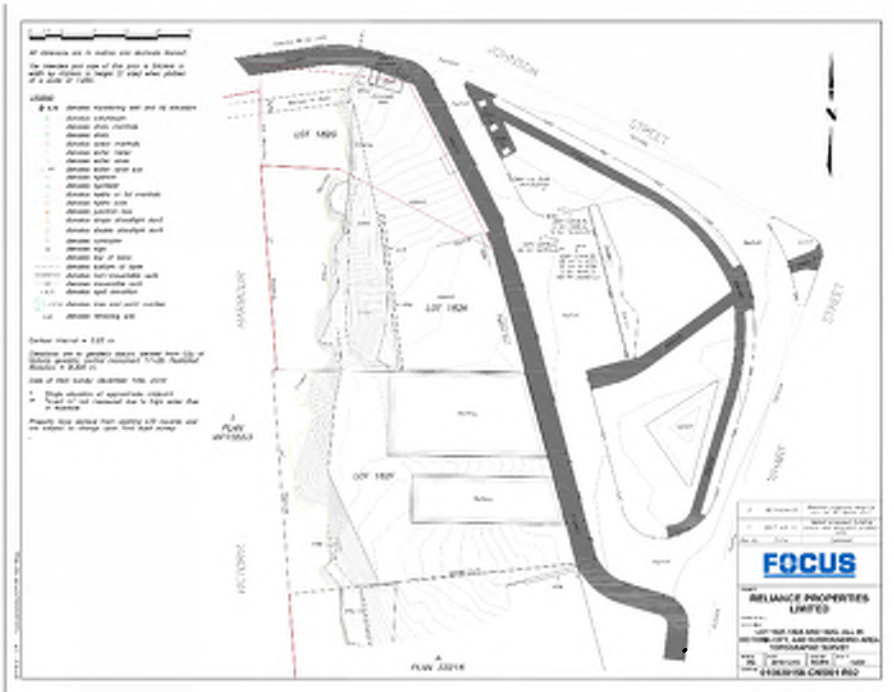
SEAL

EXISTING CONTEXT PLAN

DRAWN: Author PLOT DATE: 2/15/2018 2:14:32 PM CHECKED: AP

A0.04

EXISTING CONTEXT PLAN
SCALE: 1 : 500



SITE SURVEY LOCATING THE HIGH WATER MARK AS THE 'PRESENT NATURAL BOUNDARY'

File No: 171-18644-00 Date: July 26th, 2017

To: Crosstown Properties (Store Street) Ltd.
305 - 111 Water Street
Vancouver, BC V6B 1A7

From: Mich Laseur, BCLS
WSP Canada
301 - 3600 Uptown Boulevard
Victoria, BC V8Z 0B9
Phone 250.384.5510

Attention: Juan Ponce

RE: AREA CALCULATION - ABOVE AND BELOW PRESENT NATURAL BOUNDARY
LOT 182G, LOT 182A, LOT 182F and CLOSED ROAD PLAN EPP6664
BEING THE JOHNSON STREET GATEWAY PROPERTIES

This letter is written to verify the areas of the above noted properties. The properties in question are original Victoria City lots containing land falling below the Present Natural Boundary. We confirm that our interpretation of the Present Natural Boundary is coincident with the definition of the Ordinary High Water Mark.

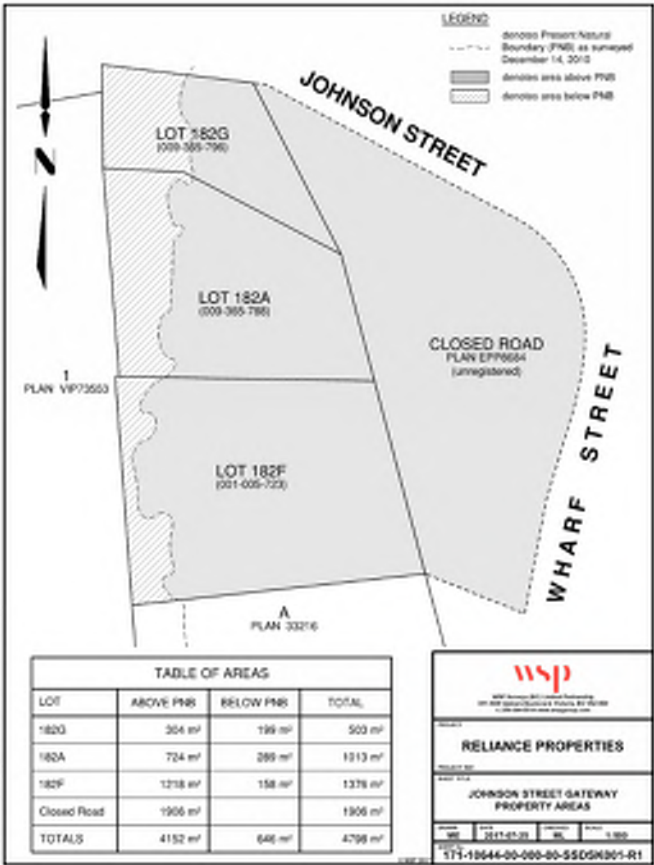
To clarify the allocation of these areas we have prepared the attached sketch detailing those areas above and below the Present Natural Boundary.

In summary:
The total area above the Present Natural Boundary for these properties is 4,152 square meters.
The total area below the Present Natural Boundary for these properties is 648 square meters.

Regards,

Mich Laseur
Mich Laseur, BCLS
Branch Manager / Land Surveyor, Victoria Geomatics
Co: Adrian Politano, Rory O'Connell, Sheila Middleton

WSP
301 - 3600 Uptown Boulevard
Victoria, BC V8Z 0B9
Phone: 1 + 250 384 5510
www.wsp.ca



NET SITE FOOTPRINT, BASED ON THE 'PRESENT NATURAL BOUNDARY' FROM THE SURVEY AND THE EASTERN SITE BOUNDARY FROM THE ROAD CLOSURE PLAN. FSR, SITE COVERAGE AND OPEN SITE SPACE CALCULATIONS WERE BASED ON THE NET SITE AREA.

FORM EPP-01

SURVEY PLAN CERTIFICATION
PROVINCE OF BRITISH COLUMBIA

By incorporating your electronic signature into this form you are also incorporating your electronic signature into the attached plan and you:

(a) represent that you are a surveyor and that you have incorporated your electronic signature to the attached electronic plan in accordance with section 36(1)(c) of the Land Title Act, RSBC 1996 c 204, and

(b) certify the matters set out in sections 36(1)(c) of the Land Title Act. Each term used in this representation and certification is to be given the meaning ascribed to it in part 36(1) of the Land Title Act.

1. BC LAND SURVEYOR (Name, address, phone number)

Ronald L. Johns
57 Cadillac Avenue,
Victoria BC V8Z 1T3
250-474-1151
Focus file # 010030162

2. PLAN IDENTIFICATION

Plan Number: EPP6664
This original plan number assignment was made under Commission #: 602

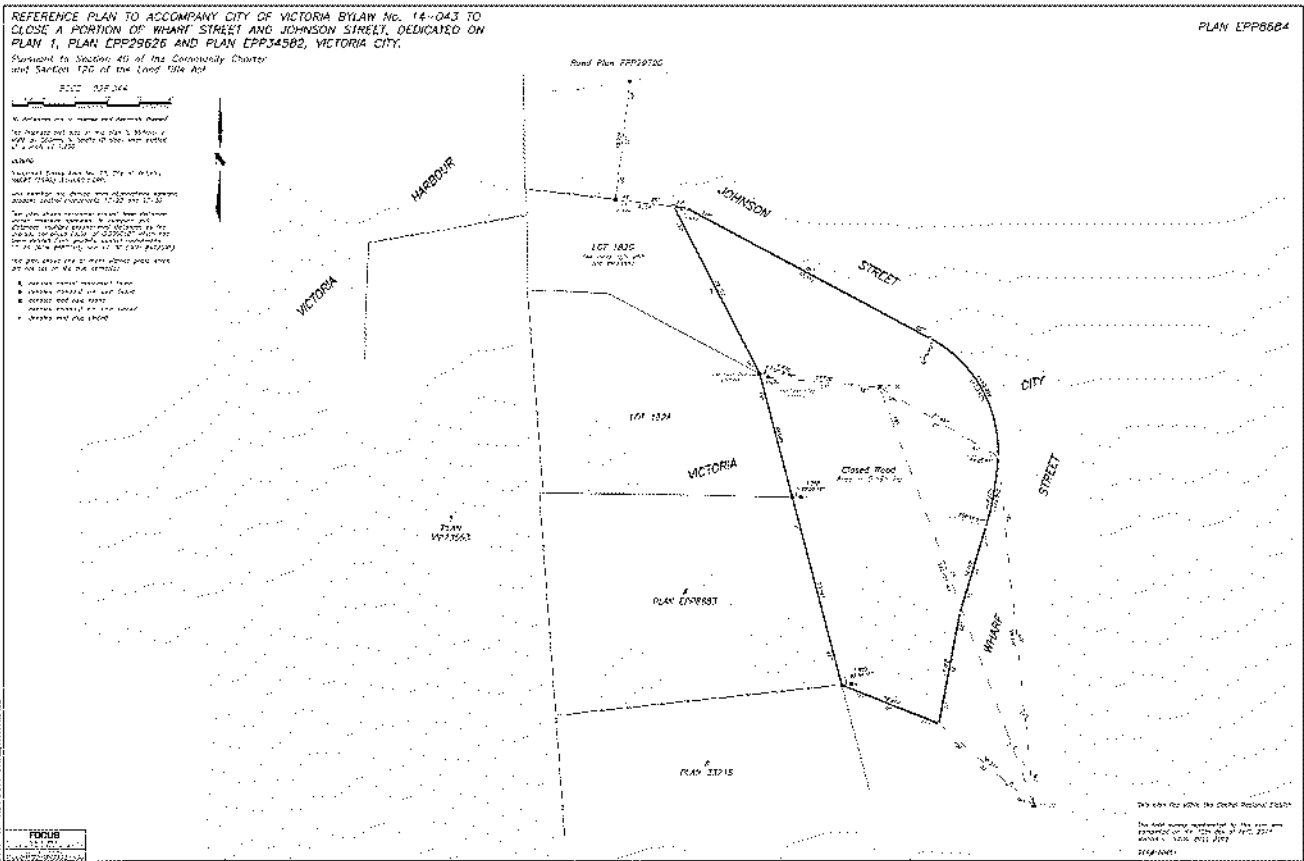
3. CERTIFICATION

I am a British Columbia land surveyor and certify that I was present at and personally supervised this survey and that the survey and plan are correct.

The field survey was completed on: 20th April 2015
The plan was completed and checked on: 20th April 2015

4. ALTERATION

ROAD CLOSURE PLAN, SHOWING THE EASTERN BOUNDARY OF THE SITE



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REV. 1 2018-02-16

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NET SITE AREA

DRAWN: RT
PLOT DATE: 2/15/2018 2:14:36 PM
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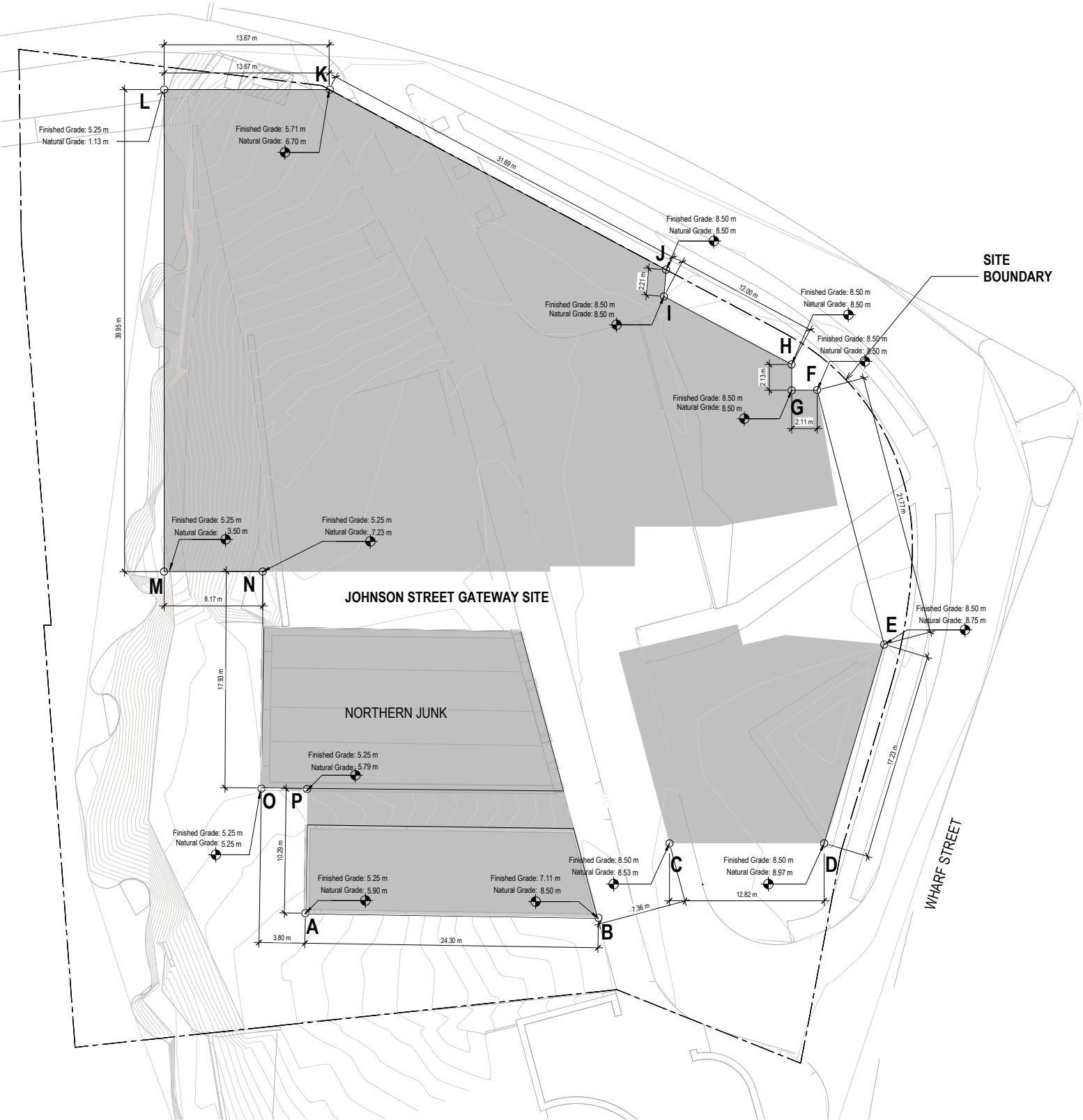
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SEAL

AVERAGE GRADE CALCULATIONS

DRAWN: SA
PLOT DATE: 2/15/2018 2:14:43 PM
CHECKED: AP

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BUILDING GRADE POINTS
SCALE: 1 : 200

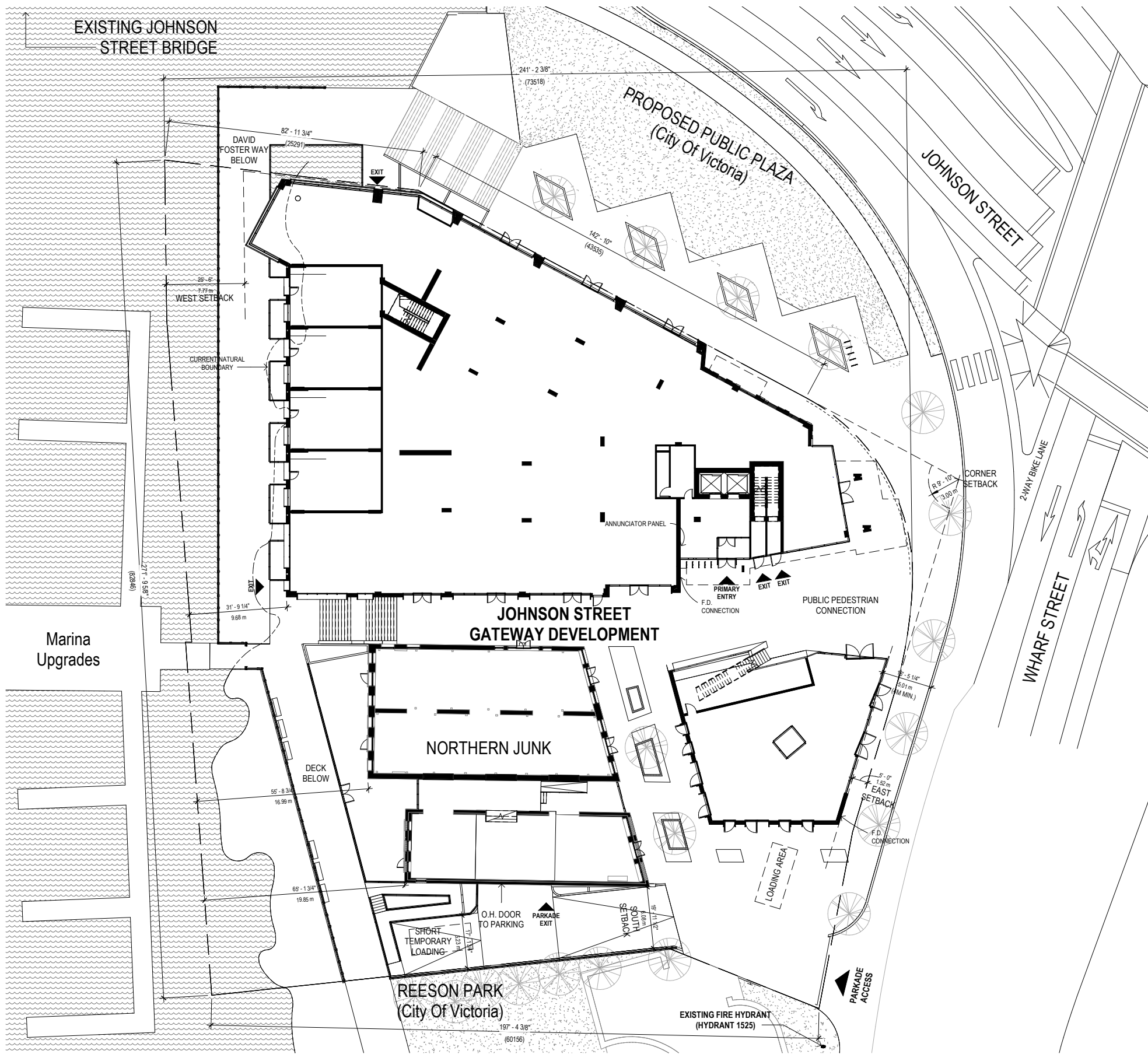
Johnson Street Gateway
City of Victoria
1314-1318, 1324 Wharf Street

Average Grade Calculation

Grade Points	Finished Grades	Natural Grades	The Lower Grades	
A	5.25	5.90	5.25	
B	7.11	8.50	7.11	
C	8.50	8.53	8.50	
D	8.50	8.97	8.50	
E	8.50	8.75	8.50	
F	8.50	8.50	8.50	
G	8.50	8.50	8.50	
H	8.50	8.50	8.50	
I	8.50	8.50	8.50	
J	8.50	8.50	8.50	
K	5.71	6.70	5.71	
L	5.25	1.13	1.13	
M	5.25	3.50	3.50	
N	5.25	7.23	5.25	
O	5.25	5.25	5.25	
P	5.25	5.79	5.25	

Calculation : Grade Points	Average of Lower Grade	Distance	Total
A+B	6.18	24.30	150.17
B+C	7.81	7.36	57.44
C+D	8.50	17.82	108.67
D+E	8.50	17.23	146.46
E+F	8.50	21.77	185.05
F+G	8.50	2.11	17.94
G+H	8.50	2.13	18.11
H+I	8.50	12.00	102.00
I+J	8.50	2.21	18.79
J+K	7.11	31.69	225.16
K+L	3.42	13.67	46.75
L+M	2.32	39.93	92.48
M+N	4.38	8.17	35.74
N+O	5.25	17.93	94.13
O+P	5.25	3.80	19.95
P+A	6.65	10.29	68.46
Perimeter			Total
227.43			1387.593806
			Average Grade
			6.10

* Finish grade is deemed to be a reliable base point than any natural grade below the intended David Foster Way walkway. Natural grade at these locations correspond to an odd site condition, due to the variable edge drop going to the water.



FOR DETAILED LANDSCAPE DETAILS, REFER TO LANDSCAPE DRAWINGS

CIVIC ADDRESS: 1314-1318, 1324 Wharf Street, Victoria BC

LEGAL ADDRESS: Lot 182A, Lot 182F, Lot 182G and Road Closure Area represented by Plan NO. EPP8684

PROJECT INFORMATON TABLE		
ZONE (Existing)	IHH INNER HARBOUR HERITAGE DISTRICT CA-3C OLD TOWN DISTRICT	
PROPOSED ZONE OR SITE SPECIFIC ZONE (if unsure, state "new zone")	NEW ZONE	
PROPERTY AREA (sq. m.)	4,798 m ²	51,645.24 SF
NET SITE AREA ** (sq. m.) for FSR and Coverage	4,152.00 m ²	44,691.76 SF
TOTAL FLOOR AREA (sq. m.)	11,692.46 m ²	125,857 SF
COMMERCIAL FLOOR AREA (sq. m.)	2,278.39 m ²	24,524 SF
FLOOR SPACE RATIO	2.82	
SITE COVERAGE (%)	73% (3,496 SM)	
OPEN SITE SPACE * (%)	27% (1,301 SM)	
BUILDING HEIGHT ***	28.87m	
NUMBER OF STOREYS	8 STOREYS	
PARKING STALLS (NUMBER) ON SITE	57 STALLS	
BICYCLE PARKING NUMBER (Class 1 and Class 2)	107 Class 1 Res. + 6 Class 1 Comm. + 6 Class 2 Res. + 6 Class 2 Comm.	

BUILDING SETBACKS (m)	
North Yard	0m
South Yard	6.08m
West Yard	7.77m
East Yard	1.52m

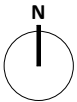
RESIDENTIAL USE DETAILS	
Total Number Of Units	103 UNITS
Unit Type, e.g., 1 bedroom	STUDIO, 1BD, 2 BD, 3BD
Boardwalk-Oriented Units	6
Minimum Unit Floor Area (sq. m.)	38.5 sq. m. (414 sf.)
Total Residential Floor Area (sq. m.)	9,414.07 m ² 101,332 SF

* MEASURED FROM WHARF ST. / PLAZA GRADE

** SEE A0.04 FOR FURTHER INFORMATION

*** MEASURED FROM AVERAGE GRADE. SEE A0.06 FOR FURTHER INFORMATION ABOUT AVERAGE GRADE CALCULATION

SITE PLAN
SCALE: 1:200



ISSUED FOR			
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
1	2018-02-16	ISSUED FOR REZONING & DP	
2	2017-12-11	CALUC MEETING	

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Tel: (604)-694-8886

ARCHITECT & PRIME CONSULTANT
DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

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5th FLOOR, 1201 WEST PENDER STREET
Vancouver, BC V6E 2V2 (604)-688-6111 Fax: 6112

HERITAGE
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Tel: (604)-688-1216

STRUCTURAL ENGINEER
DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: (604)-255-1790

CODE CONSULTANT
MURRAY JOHNSON ENGINEERING LTD.
212 FIFTH AVENUE W
NEW WESTMINSTER, BC, V3L 1R4
Tel: (604)-526-3335

MECHANICAL & ELECTRICAL
INTEGRAL GROUP
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VICTORIA, BC, V8W 2Y9
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SEAL

SITE PLAN

DRAWN: RT
PLOT DATE: 2/16/2018 9:33:39 AM
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A1.00

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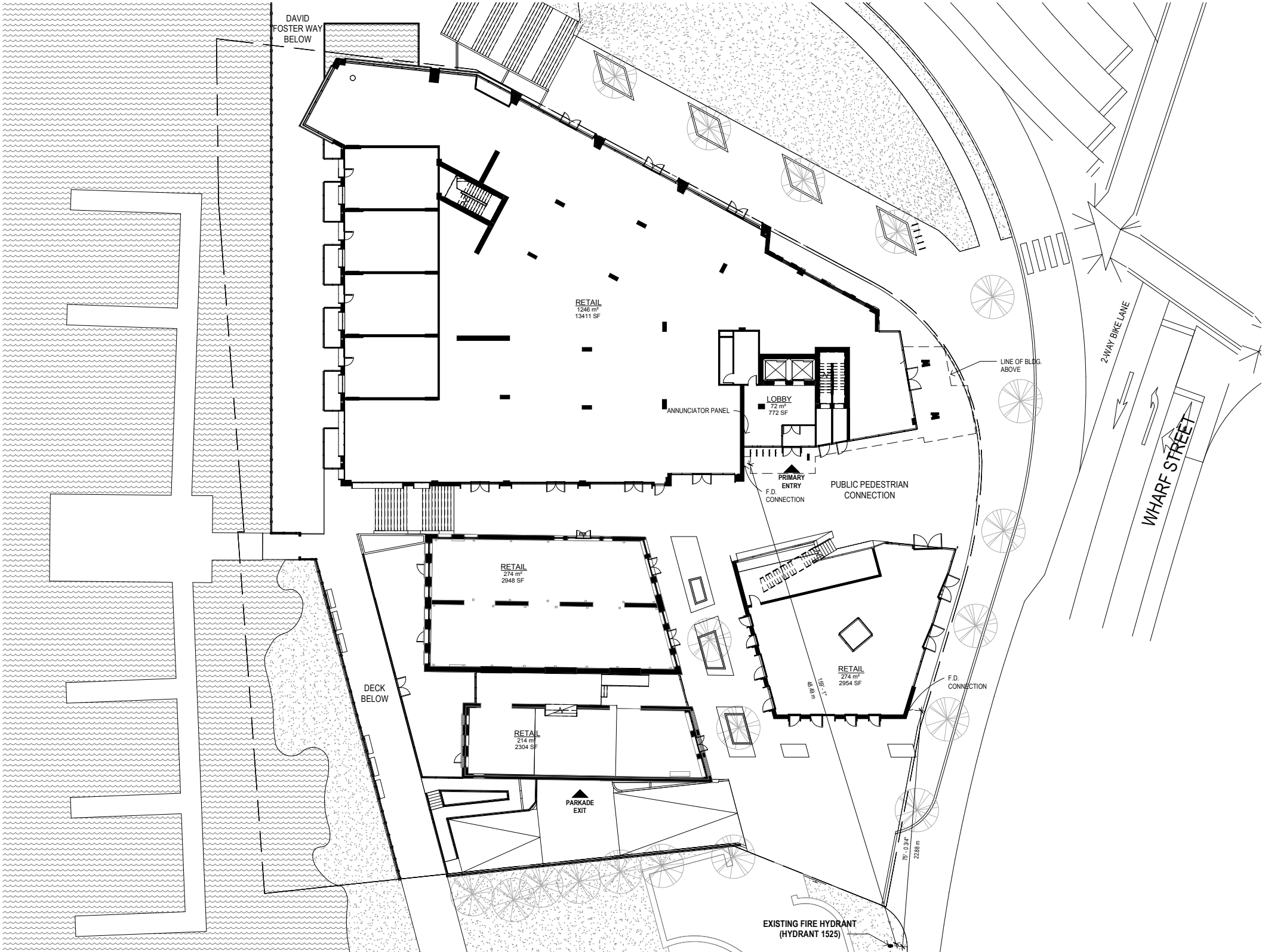
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SEAL

FIRE TRUCK ACCESS PLAN

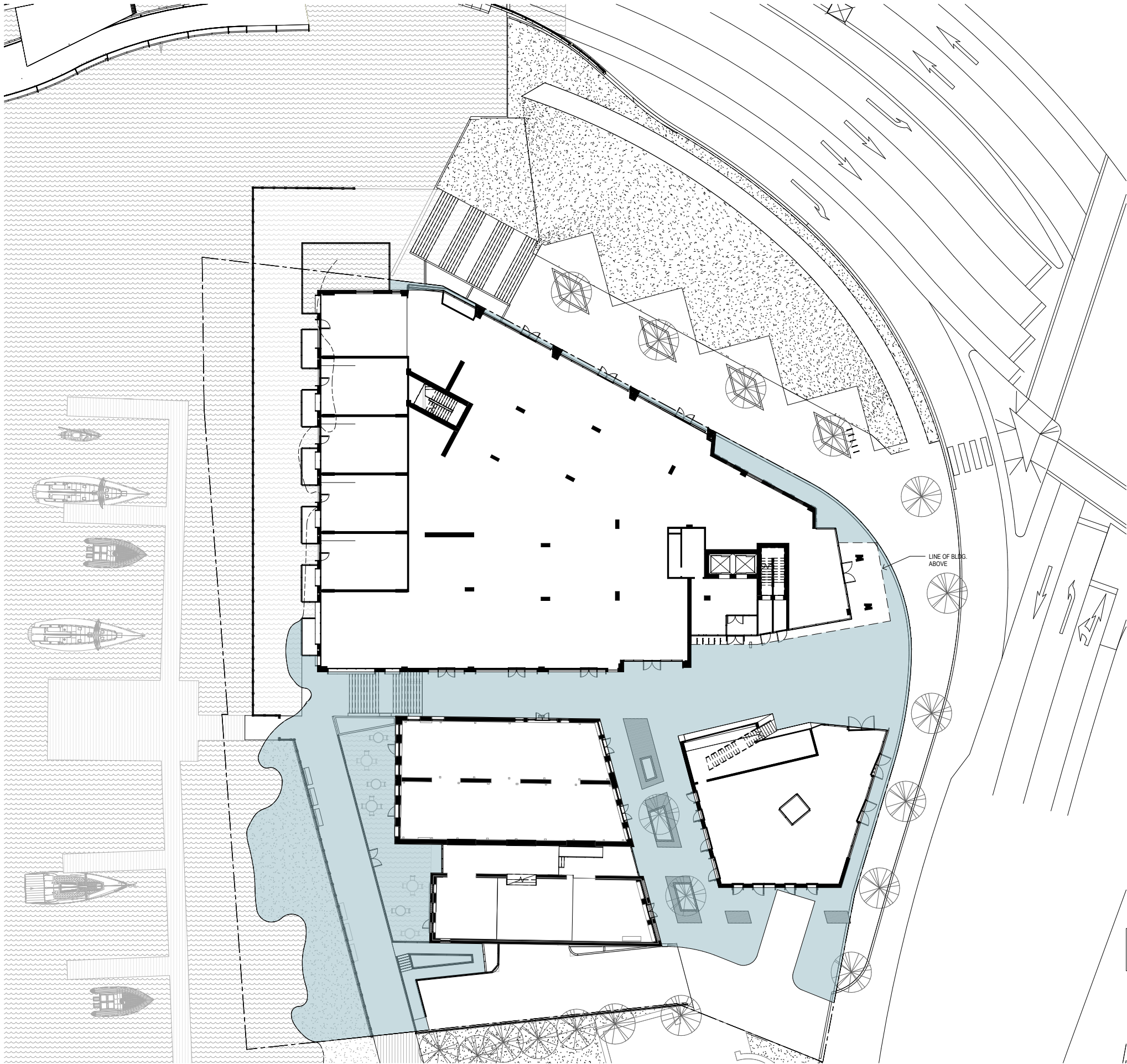
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LEVEL 1 - Fire Truck Access
SCALE: 1:200

* ALL BUILDINGS ARE SPRINKLERED



OPEN SPACE	1,301 SM	14005 SF
SITE AREA	4,796.71 m²	51631 SF
PERCENTAGE	27%	

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Vancouver, BC V6E 2V2 (604)-688-6111 Fax: 6112

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DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: (604)-255-1790

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212 FIFTH AVENUE W
NEW WESTMINSTER, BC, V3L 1R4
Tel: (604)-526-3335

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SEAL

OPEN SITE SPACE

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A1.02

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5th FLOOR, 1201 WEST PENDER STREET
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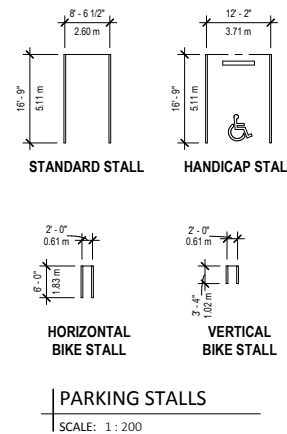
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SEAL

P1 FLOOR PLAN

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A2.00



P1 AREAS		
BIKE STORAGE	193.19 m ²	2079.47 SF
BOILER RM	27.13 m ²	292.01 SF
CIRCULATION	210.90 m ²	2270.07 SF
COM. GARBAGE	41.67 m ²	448.52 SF
COMM	15.27 m ²	164.41 SF
COMMERCIAL BIKE STORAGE	12.68 m ²	136.53 SF
ELEC.	12.87 m ²	138.56 SF
EXHAUST	7.41 m ²	79.80 SF
EXIT STAIRS	15.86 m ²	170.69 SF
GENERATOR ROOM	86.93 m ²	935.72 SF
KAYAK STOR.	18.66 m ²	200.90 SF
LOBBY	15.47 m ²	166.56 SF
MAIN ELEC. RM.	84.87 m ²	913.49 SF
RES. GARBAGE	39.09 m ²	420.80 SF
RETAIL	264.80 m ²	2850.33 SF
Unit M	221.42 m ²	2383.33 SF
Unit N	121.41 m ²	1306.80 SF
WATER ENTRY	41.99 m ²	452.02 SF
TOTAL	1,431.64 m ²	15410.01 SF

P1 Unit Areas			
Name	Number	Area	Area SF
Unit N	101	61.1 m ²	658 SF
Unit M	102	55.4 m ²	596 SF
Unit M	103	55.4 m ²	596 SF
Unit M	104	55.4 m ²	596 SF
Unit M	105	55.4 m ²	596 SF
Unit N	106	60.3 m ²	649 SF
TOTAL		342.8 m ²	3690 SF

AREAS NOT INCLUDED IN FLOOR AREA (GFA) AND FLOOR SPACE RATIO (FSR) CALCULATIONS
BALCONIES ARE EXCLUDED FROM GFA AND FSR CALCULATIONS.

LEVEL P1
SCALE: 1:200

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5th FLOOR, 1201 WEST PENDER STREET
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Tel: (604)-688-1216

STRUCTURAL ENGINEER
DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1790
Tel: (604)-255-1169 Fax: (604)-255-1790

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MURRAY JOHNSON ENGINEERING LTD.
212 FIFTH AVENUE W
NEW WESTMINSTER, BC, V3L 1R4
Tel: (604)-526-3335

MECHANICAL & ELECTRICAL
INTEGRAL GROUP
201- 1019 WHARF STREET
VICTORIA, BC, V8W 2Y9
Tel: (250)-418-1288

L1 Unit Areas			
Name	Number	Area	Area SF
Unit M	102	51.8 m²	558 SF
Unit M	103	51.8 m²	558 SF
Unit M	104	51.8 m²	558 SF
Unit M	105	51.7 m²	556 SF
TOTAL		207.2 m²	2230 SF

L1 FLOOR PLAN

DRAWN: RT
PLOT DATE: 2/15/2018 2:15:41 PM
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A2.01



FOR DETAILED LANDSCAPE DETAILS, REFER TO LANDSCAPE DRAWINGS

L1 AREAS		
CIRCULATION	19.03 m²	204.83 SF
EXHAUST	3.76 m²	40.45 SF
EXIT STAIRS	21.51 m²	231.54 SF
LOBBY	71.74 m²	772.16 SF
MECHANICAL	0.82 m²	8.81 SF
RETAIL	2,008.27 m²	21616.85 SF
Unit M	207.18 m²	2230.09 SF
TOTAL	2,332.31 m²	25104.73 SF

L1 EFFICIENCY		
Sellable	Efficiency	
No	5%	
Yes	95%	

*ELEVATOR SHAFT AREA IS NOT INCLUDED IN EITHER FSR OR EFFICIENCY CALCULATIONS ON ALL FLOORS.

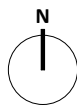
L1 Unit Areas			
Name	Number	Area	Area SF
Unit M	102	51.8 m²	558 SF
Unit M	103	51.8 m²	558 SF
Unit M	104	51.8 m²	558 SF
Unit M	105	51.7 m²	556 SF
TOTAL		207.2 m²	2230 SF

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LEVEL 1

SCALE: 1:200



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Vancouver, BC V6B 1A7
Tel: (604) 694-8896

ARCHITECT & PRIME CONSULTANT

DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-
Tel: (604)-255-1169 Fax: 1790

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Vancouver, BC V6E 2V2 (604)-688-
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Tel: (604)-688-1216

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DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1
Tel: (604)-255-1169 Fax: (604)-255-1790

CODE CONSULTANT

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L2 FLOOR PLAN

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04696V

1 : 200

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LEVEL 2

SCALE: 1 : 200

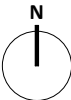
L2 AREAS			
Name	Number	Area	Area SF
CIRCULATION		167.1 m²	1798 SF
MECHANICAL		10.8 m²	117 SF
LIFT		5.3 m²	57 SF
AMENITY		54.6 m²	588 SF
GYM		45.3 m²	488 SF
Unit G	201	72.3 m²	778 SF
Unit A	202	48.2 m²	519 SF
Unit A	203	48.2 m²	519 SF
Unit A	204	48.2 m²	519 SF
Unit A	205	48.2 m²	519 SF
Unit A	206	48.2 m²	519 SF
Unit A	207	48.3 m²	520 SF
Unit H	208	100.8 m²	1085 SF
Unit D	209	107.7 m²	1159 SF
Unit B	210	45.3 m²	488 SF
Unit B	211	44.2 m²	475 SF
Unit A	212	49.8 m²	536 SF
Unit A	213	51.2 m²	551 SF
Unit A	214	51.2 m²	551 SF
Unit A	215	51.2 m²	551 SF
Unit A	216	43.1 m²	464 SF
Unit E	217	60.0 m²	646 SF
Unit F	218	84.3 m²	907 SF
TOTAL		1,333.4 m²	14352 SF

L2 EFFICIENCY	
Sellable	Efficiency
No	21%
Yes	79%

L2 GFA	
1,333.35 m²	14352.11 SF

AREAS NOT INCLUDED IN FLOOR AREA (GFA) AND FLOOR SPACE RATIO (FSR) CALCULATIONS

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Tel: (604)-694-8896

ARCHITECT & PRIME CONSULTANT

DIALOG
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Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

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Vancouver, BC V6E 2V2 (604)-688-6111 Fax: 6112

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1030- 470 GRANVILLE STREET
Vancouver, BC V6C 1V5
Tel: (604)-688-1216

STRUCTURAL ENGINEER

DIALOG
406, 611 Alexander Street
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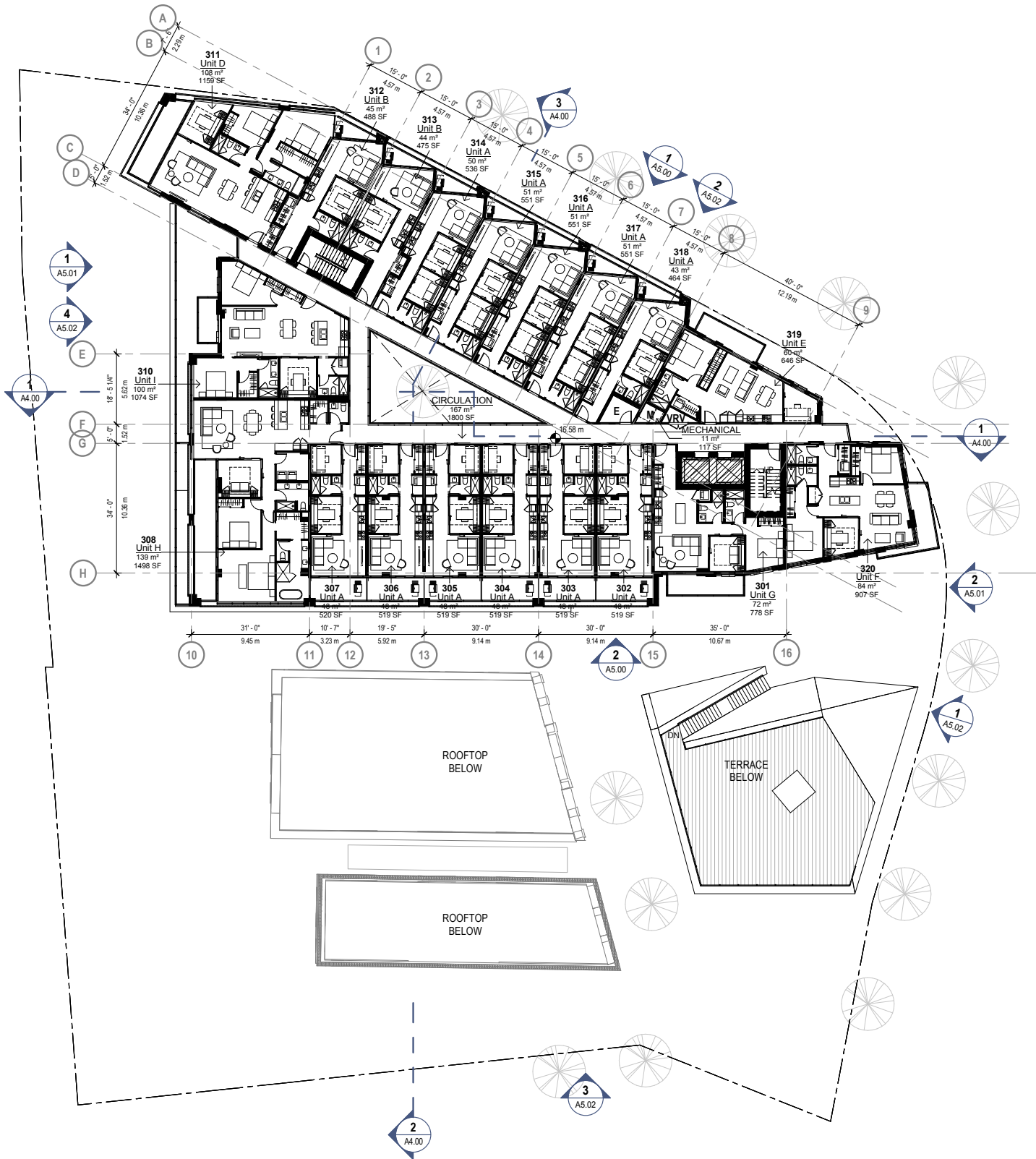
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SEAL

L3 FLOOR PLAN

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PLOT DATE: 2/15/2018 2:15:48 PM
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A2.03



L3 AREAS				
Name	Number	Area	Area SF	
CIRCULATION		167.2 m²	1800 SF	
MECHANICAL		10.8 m²	117 SF	
Unit G	301	72.3 m²	778 SF	
Unit A	302	48.2 m²	519 SF	
Unit A	303	48.2 m²	519 SF	
Unit A	304	48.2 m²	519 SF	
Unit A	305	48.2 m²	519 SF	
Unit A	306	48.2 m²	519 SF	
Unit A	307	48.3 m²	520 SF	
Unit H	308	139.2 m²	1498 SF	
Unit I	310	99.8 m²	1074 SF	
Unit D	311	107.7 m²	1159 SF	
Unit B	312	45.3 m²	488 SF	
Unit B	313	44.2 m²	475 SF	
Unit A	314	49.8 m²	536 SF	
Unit A	315	51.2 m²	551 SF	
Unit A	316	51.2 m²	551 SF	
Unit A	317	51.2 m²	551 SF	
Unit A	318	43.1 m²	464 SF	
Unit E	319	60.0 m²	646 SF	
Unit F	320	84.2 m²	907 SF	
TOTAL		1,366.4 m²	14708 SF	

L3 EFFICIENCY	
Sellable	Efficiency
No	13%
Yes	87%

L3 GFA	
1,366.42 m²	14708.01 SF

AREAS NOT INCLUDED IN FLOOR AREA (GFA) AND FLOOR SPACE RATIO (FSR) CALCULATIONS

BALCONIES ARE EXCLUDED FROM GFA AND FSR CALCULATIONS.

LEVEL 3
SCALE: 1 : 200



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1	2018-02-16	ISSUED FOR REZONING & DP		
2	2017-12-11	CALUC MEETING		

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CROSSTOWN PROPERTIES LTD.
#305-111 WATER STREET
Vancouver, BC V6B 1A7
Tel: (604)-694-8896

ARCHITECT & PRIME CONSULTANT

DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

LANDSCAPE ARCHITECT

PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC.
5th FLOOR, 1201 WEST PENDER STREET
Vancouver, BC V6E 2V2 (604)-688-6111 Fax: 6112

HERITAGE

DONALD LUXTON & ASSOCIATES INC.
1030- 470 GRANVILLE STREET
Vancouver, BC V6C 1V5
Tel: (604)-688-1216

STRUCTURAL ENGINEER

DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: (604)-255-1790

CODE CONSULTANT

MURRAY JOHNSON ENGINEERING LTD.
212 FIFTH AVENUE W
NEW WESTMINSTER, BC, V3L 1R4
Tel: (604)-526-3335

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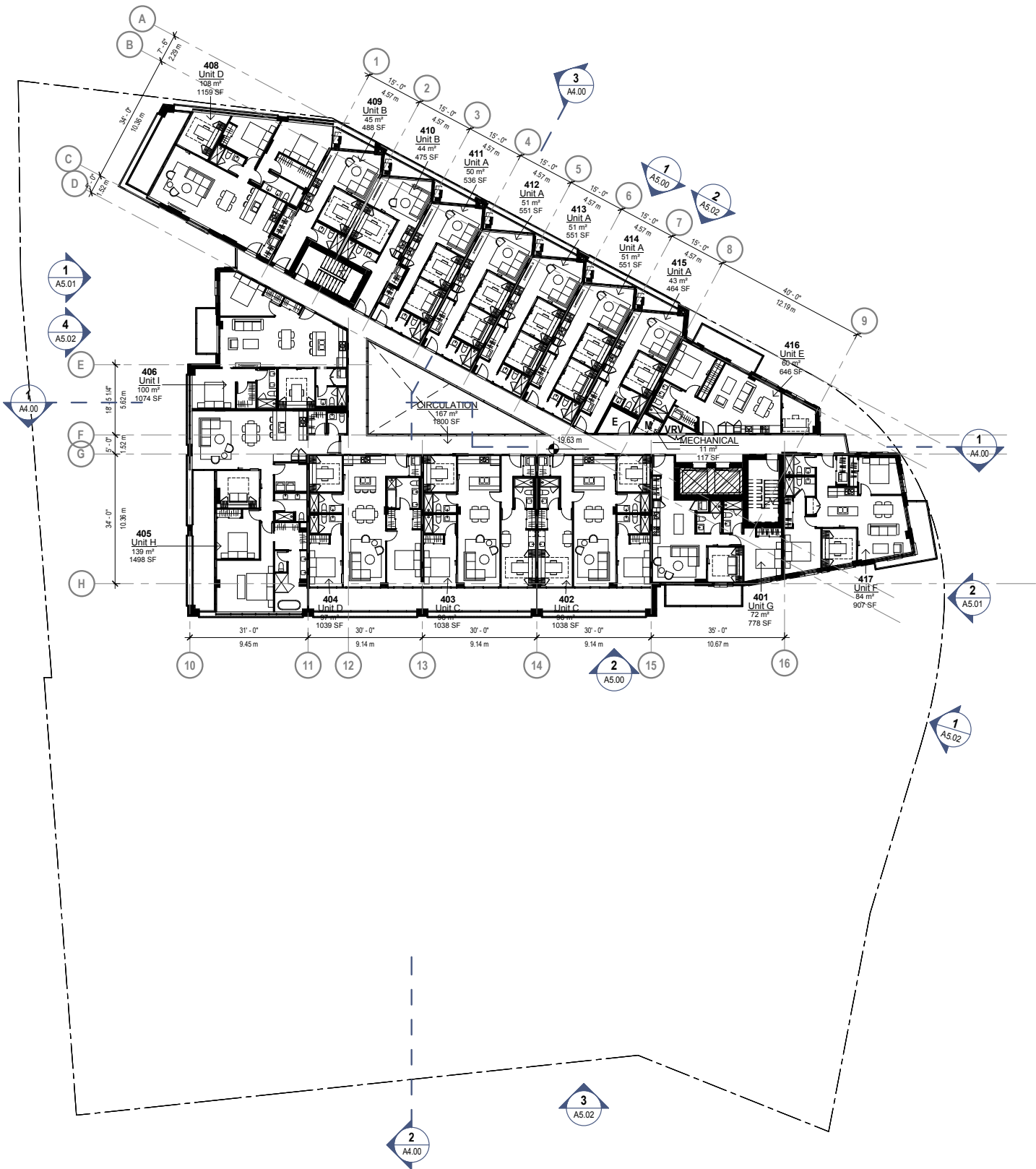
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201- 1019 WHARF STREET
VICTORIA, BC, V8W 2Y9
Tel: (250)-418-1288

SEAL

L4 FLOOR PLAN

DRAWN: RT
PLOT DATE: 2/15/2018 2:15:51 PM
CHECKED: AP

A2.04



L4 AREAS			
Name	Number	Area	Area SF
CIRCULATION		167.2 m ²	1800 SF
MECHANICAL		10.8 m ²	117 SF
Unit G	401	72.3 m ²	778 SF
Unit C	402	96.4 m ²	1038 SF
Unit C	403	96.4 m ²	1038 SF
Unit D	404	96.5 m ²	1039 SF
Unit H	405	139.2 m ²	1498 SF
Unit I	406	99.8 m ²	1074 SF
Unit D	408	107.7 m ²	1159 SF
Unit B	409	45.3 m ²	488 SF
Unit B	410	44.2 m ²	475 SF
Unit A	411	49.8 m ²	536 SF
Unit A	412	51.2 m ²	551 SF
Unit A	413	51.2 m ²	551 SF
Unit A	414	51.2 m ²	551 SF
Unit A	415	43.1 m ²	464 SF
Unit E	416	60.0 m ²	646 SF
Unit F	417	84.3 m ²	907 SF
TOTAL		1,366.4 m ²	14708 SF

L4 EFFICIENCY	
Sellable	Efficiency
No	13%
Yes	87%

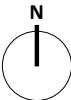
L4 GFA	
1,366.44 m ²	14708.24 SF

AREAS NOT INCLUDED IN FLOOR AREA (GFA) AND FLOOR SPACE RATIO (FSR) CALCULATIONS

BALCONIES ARE EXCLUDED FROM GFA AND FSR CALCULATIONS.

LEVEL 4

SCALE: 1 : 200



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CROSSTOWN PROPERTIES LTD.
#305-111 WATER STREET
Vancouver, BC V6B 1A7
Tel: (604)-694-8896

ARCHITECT & PRIME CONSULTANT

DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

LANDSCAPE ARCHITECT

PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC.
5th FLOOR, 1201 WEST PENDER STREET
Vancouver, BC V6E 2V2 (604)-688-6111 Fax: 6112

HERITAGE

DONALD LUXTON & ASSOCIATES INC.
1030- 470 GRANVILLE STREET
Vancouver, BC V6C 1V5
Tel: (604)-688-1216

STRUCTURAL ENGINEER

DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: (604)-255-1790

CODE CONSULTANT

MURRAY JOHNSON ENGINEERING LTD.
212 FIFTH AVENUE W
NEW WESTMINSTER, BC, V3L 1R4
Tel: (604)-526-3335

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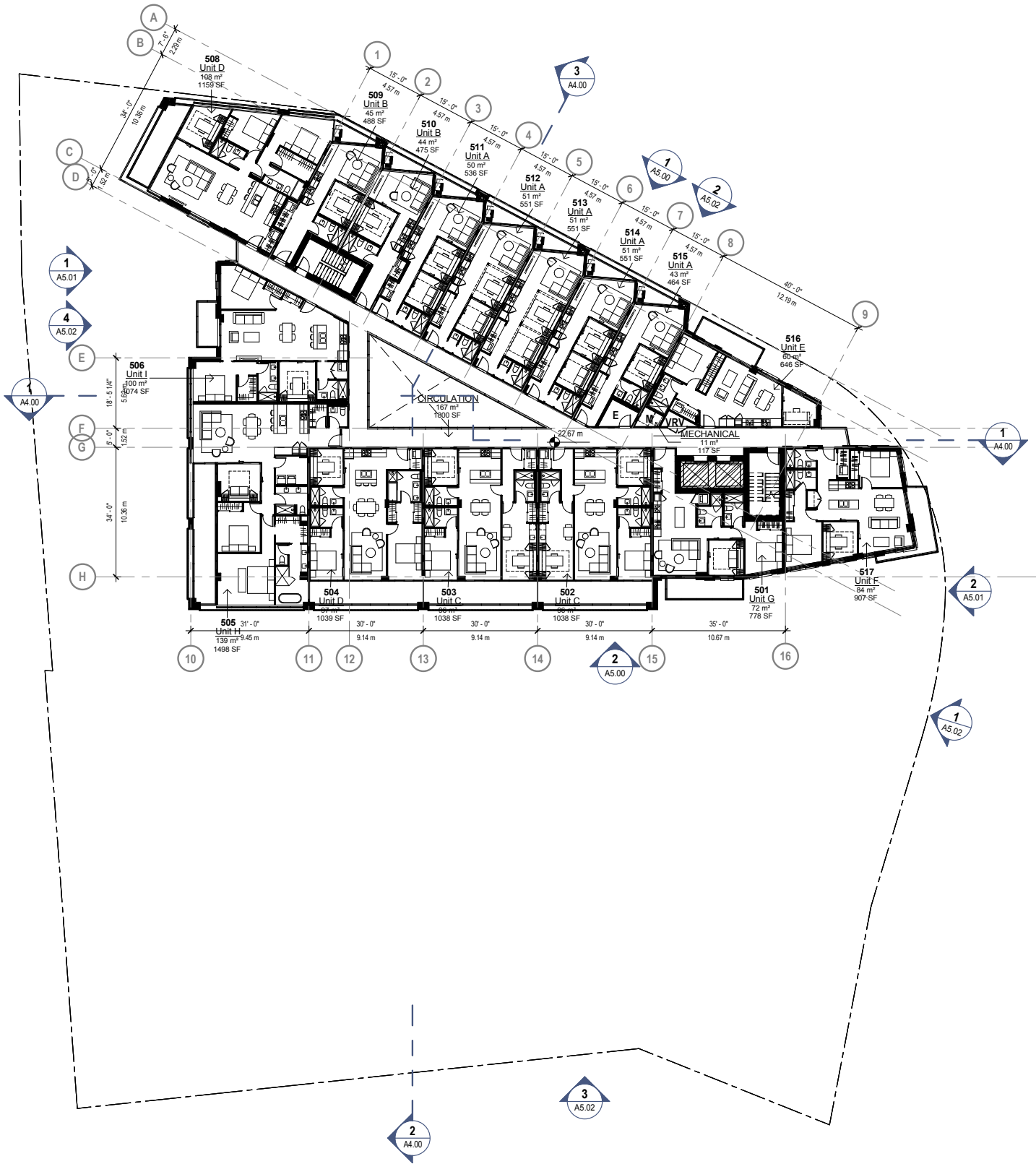
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L5 FLOOR PLAN

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A2.05



LEVEL 5
SCALE: 1 : 200

L5 AREAS			
Name	Number	Area	Area SF
CIRCULATION		167.2 m²	1800 SF
MECHANICAL		10.8 m²	117 SF
Unit G	501	72.3 m²	778 SF
Unit C	502	96.4 m²	1038 SF
Unit C	503	96.4 m²	1038 SF
Unit D	504	96.5 m²	1039 SF
Unit H	505	139.2 m²	1498 SF
Unit I	506	99.8 m²	1074 SF
Unit D	508	107.7 m²	1159 SF
Unit B	509	45.3 m²	488 SF
Unit B	510	44.2 m²	475 SF
Unit A	511	49.8 m²	536 SF
Unit A	512	51.2 m²	551 SF
Unit A	513	51.2 m²	551 SF
Unit A	514	51.2 m²	551 SF
Unit A	515	43.1 m²	464 SF
Unit E	516	60.0 m²	646 SF
Unit F	517	84.3 m²	907 SF
TOTAL		1,366.4 m²	14708 SF

L5 EFFICIENCY	
Sellable	Efficiency
No	13%
Yes	87%

L5 GFA	
1,366.45 m²	14708.34 SF

AREAS NOT INCLUDED IN FLOOR AREA (GFA) AND FLOOR SPACE RATIO (FSR) CALCULATIONS

BALCONIES ARE EXCLUDED FROM GFA AND FSR CALCULATIONS.



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CROSSTOWN PROPERTIES LTD.
#305-111 WATER STREET
Vancouver, BC V6B 1A7
Tel: (604)-694-8896

ARCHITECT & PRIME CONSULTANT
DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

LANDSCAPE ARCHITECT
PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC.
5th FLOOR, 1201 WEST PENDER STREET
Vancouver, BC V6E 2V2 (604)-688-6111 Fax: 6112

HERITAGE
DONALD LUXTON & ASSOCIATES INC.
1030-470 GRANVILLE STREET
Vancouver, BC V6C 1V5
Tel: (604)-688-1216

STRUCTURAL ENGINEER
DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: (604)-255-1790

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212 FIFTH AVENUE W
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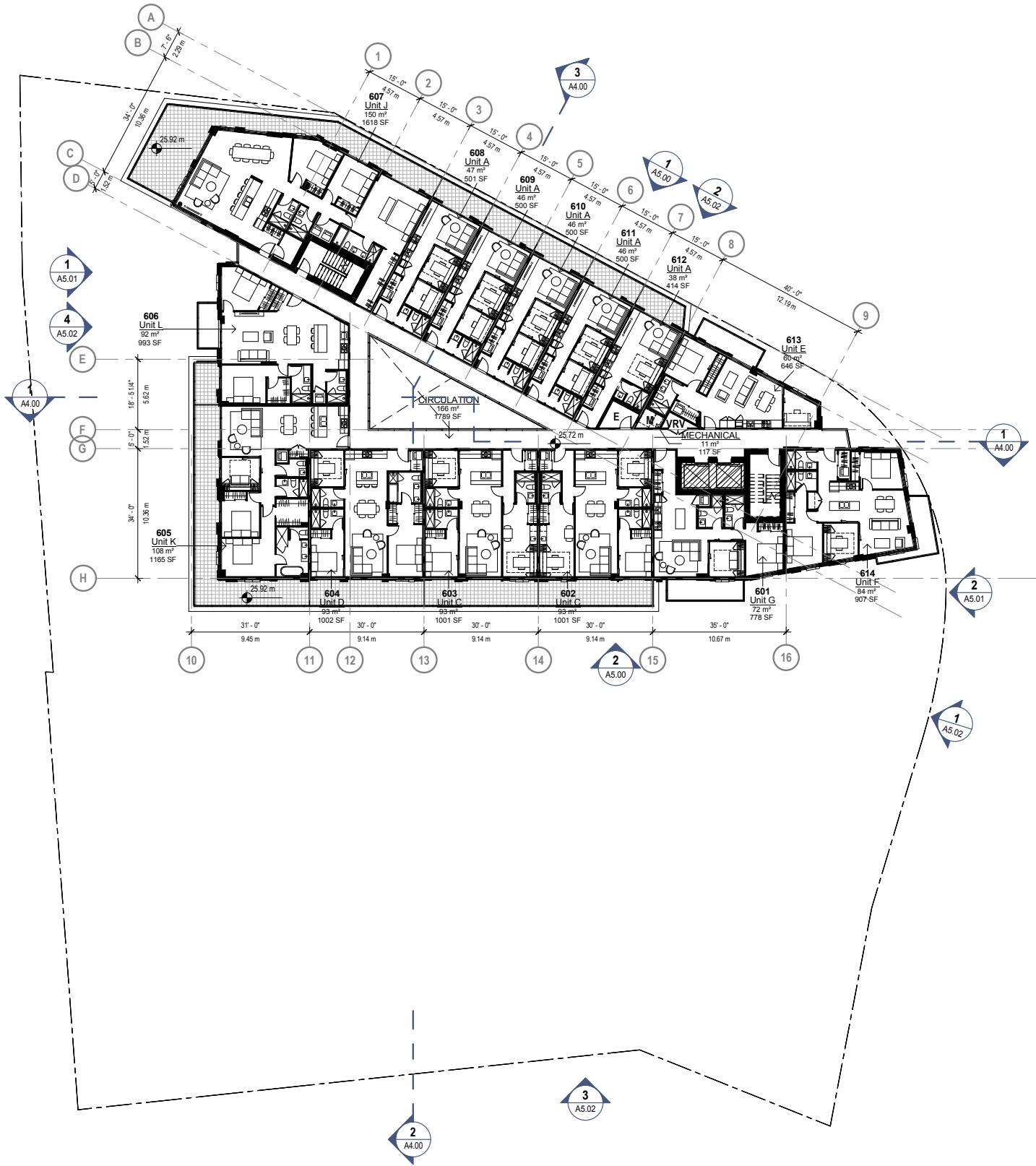
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SEAL

L6 FLOOR PLAN

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A2.06



L6 AREAS			
Name	Number	Area	Area SF
CIRCULATION		166.2 m ²	1789 SF
MECHANICAL		10.8 m ²	117 SF
Unit G	601	72.3 m ²	778 SF
Unit C	602	93.0 m ²	1001 SF
Unit C	603	93.0 m ²	1001 SF
Unit D	604	93.1 m ²	1002 SF
Unit K	605	108.3 m ²	1165 SF
Unit L	606	92.3 m ²	993 SF
Unit J	607	150.3 m ²	1618 SF
Unit A	608	46.6 m ²	501 SF
Unit A	609	46.5 m ²	500 SF
Unit A	610	46.5 m ²	500 SF
Unit A	611	46.5 m ²	500 SF
Unit A	612	38.5 m ²	414 SF
Unit E	613	60.0 m ²	646 SF
Unit F	614	84.3 m ²	907 SF
TOTAL		1,247.9 m ²	13433 SF

L6 EFFICIENCY	
Sellable	Efficiency
No	14%
Yes	86%

L6 GFA	
1,247.94 m ²	13432.70 SF

AREAS NOT INCLUDED IN FLOOR AREA (GFA) AND FLOOR SPACE RATIO (FSR) CALCULATIONS
BALCONIES ARE EXCLUDED FROM GFA AND FSR CALCULATIONS.

LEVEL 6
SCALE: 1 : 200

ISSUED FOR				
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OWNER
CROSSTOWN PROPERTIES LTD.
#305-111 WATER STREET
Vancouver, BC V6B 1A7
Tel: (604) 694-8896

ARCHITECT & PRIME CONSULTANT
DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

LANDSCAPE ARCHITECT
PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC.
5th FLOOR, 1201 WEST PENDER STREET
Vancouver, BC V6E 2V2 (604)-688-6111 Fax: 6112

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DONALD LUXTON & ASSOCIATES INC.
1030- 470 GRANVILLE STREET
Vancouver, BC V6C 1V5
Tel: (604)-688-1216

STRUCTURAL ENGINEER
DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: (604)-255-1790

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212 FIFTH AVENUE
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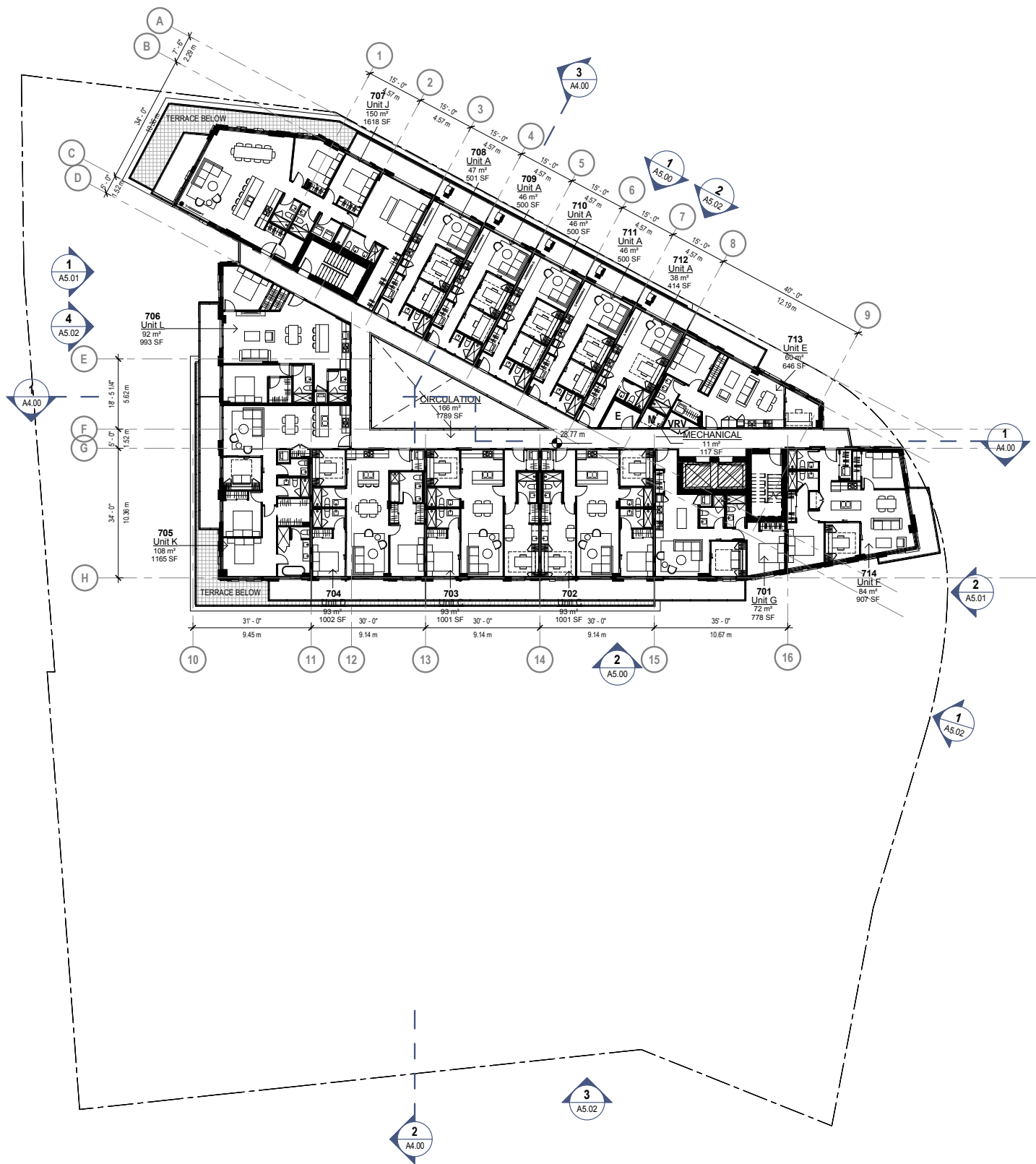
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SEAL

L7 FLOOR PLAN

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PLOT DATE: 2/15/2018 2:15:58 PM
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A2.07



L7 AREAS			
Name	Number	Area	Area SF
CIRCULATION		166.2 m²	1789 SF
MECHANICAL		10.8 m²	117 SF
Unit G	701	72.3 m²	778 SF
Unit C	702	93.0 m²	1001 SF
Unit C	703	93.0 m²	1001 SF
Unit D	704	93.1 m²	1002 SF
Unit K	705	108.3 m²	1165 SF
Unit L	706	92.3 m²	993 SF
Unit J	707	150.3 m²	1618 SF
Unit A	708	46.6 m²	501 SF
Unit A	709	46.5 m²	500 SF
Unit A	710	46.5 m²	500 SF
Unit A	711	46.5 m²	500 SF
Unit A	712	38.5 m²	414 SF
Unit E	713	60.0 m²	646 SF
Unit F	714	84.2 m²	907 SF
TOTAL		1,247.9 m²	13432 SF

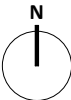
L7 EFFICIENCY	
Sellable	Efficiency
No	14%
Yes	86%

L7 GFA	
1,247.92 m²	13432.46 SF

AREAS NOT INCLUDED IN FLOOR AREA (GFA) AND FLOOR SPACE RATIO (FSR) CALCULATIONS

BALCONIES ARE EXCLUDED FROM GFA AND FSR CALCULATIONS.

LEVEL 7
SCALE: 1 : 200



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Vancouver, BC V6B 1A7
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ARCHITECT & PRIME CONSULTANT

DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

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Vancouver, BC V6E 2V2 (604)-688-6111 Fax: 6112

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1030- 470 GRANVILLE STREET
Vancouver, BC V6C 1V5
Tel: (604)-688-1216

STRUCTURAL ENGINEER

DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: (604)-255-1790

CODE CONSULTANT

MURRAY JOHNSON ENGINEERING LTD.
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Tel: (604)-526-3335

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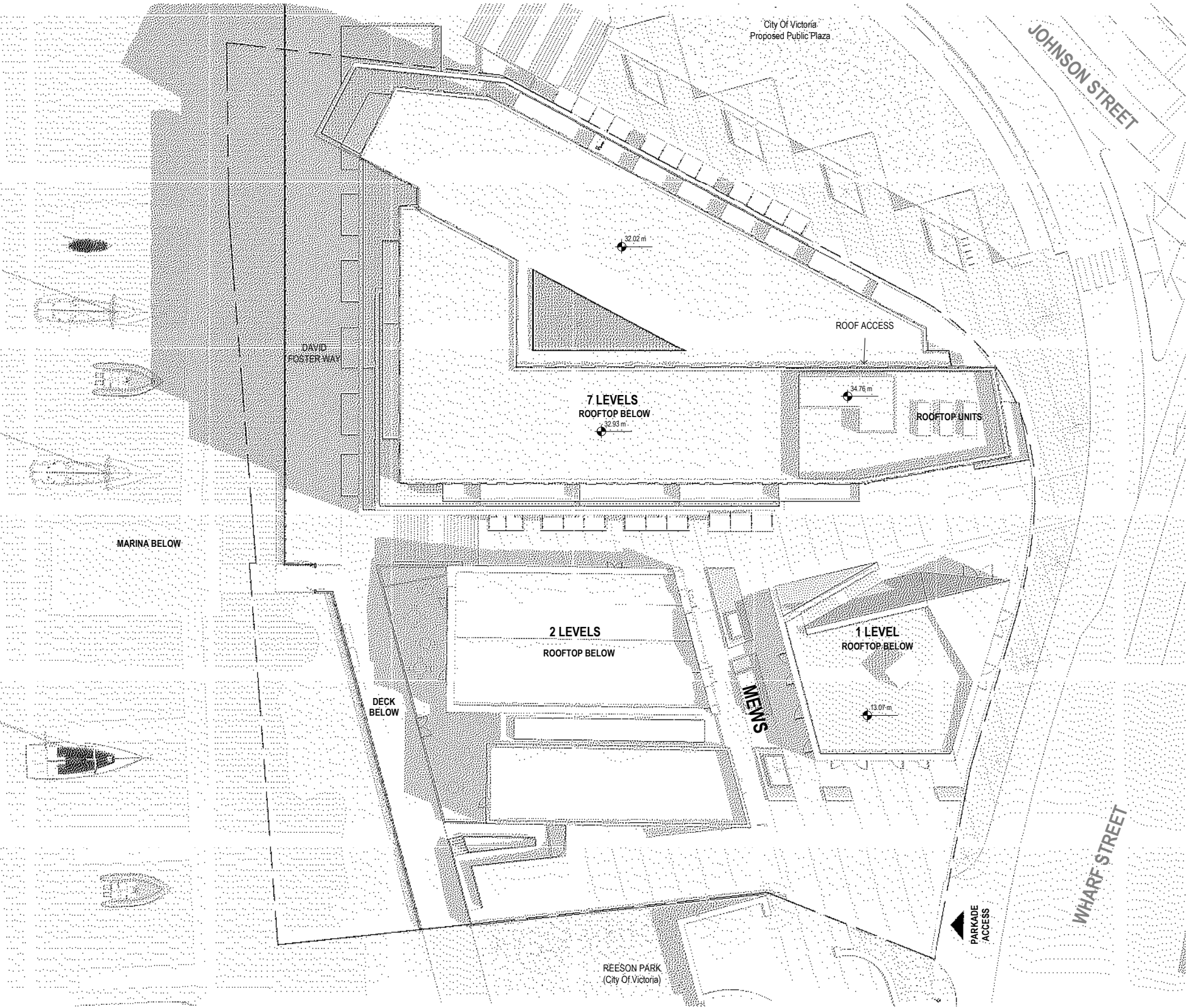
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SEAL

ROOF PLAN

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A2.08



ROOF PLAN
SCALE: 1 : 200

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DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

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5th FLOOR, 1201 WEST PENDER STREET
Vancouver, BC V6E 2V2 (604)-688-6111 Fax: 6112

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DONALD LUXTON & ASSOCIATES INC.
1030- 470 GRANVILLE STREET
Vancouver, BC V6C 1V5
Tel: (604)-688-1216

STRUCTURAL ENGINEER

DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: (604)-255-1790

CODE CONSULTANT

MURRAY JOHNSON ENGINEERING LTD.
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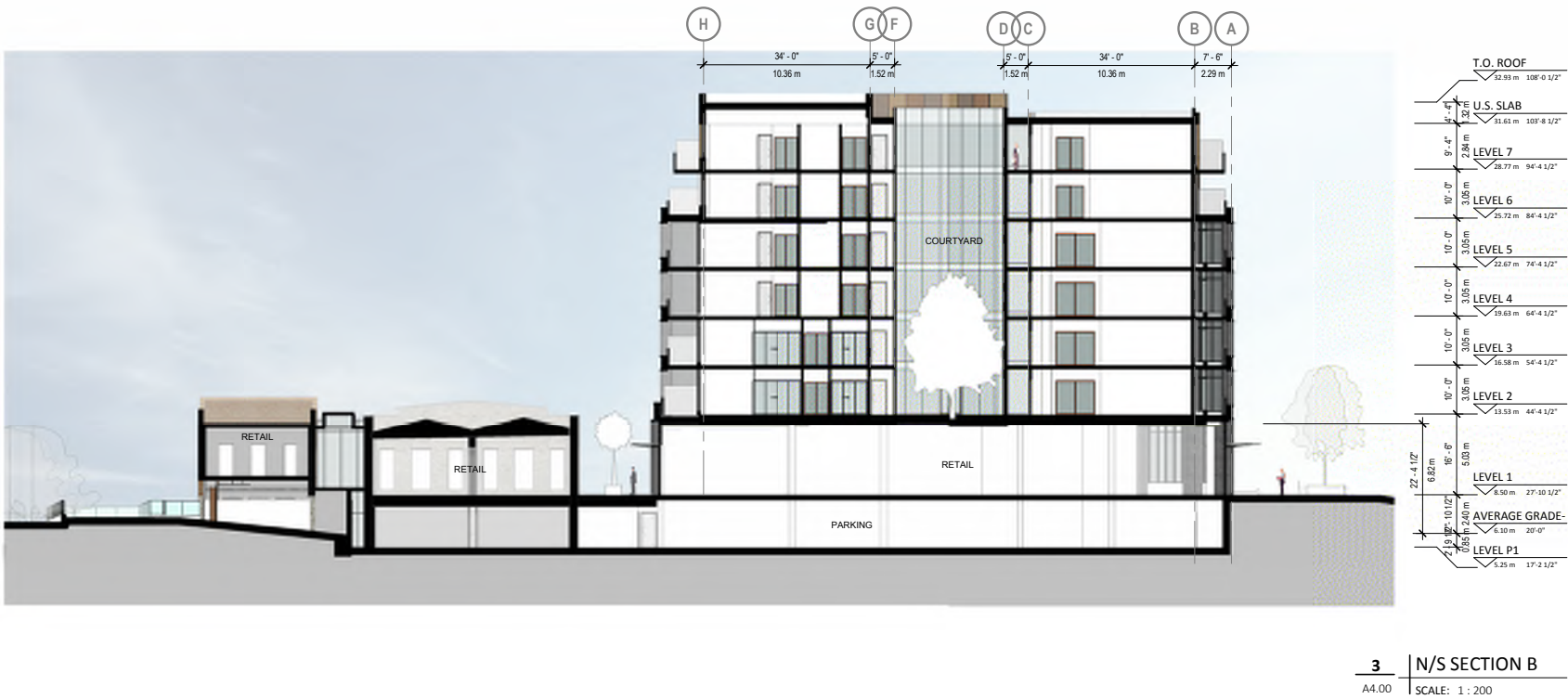
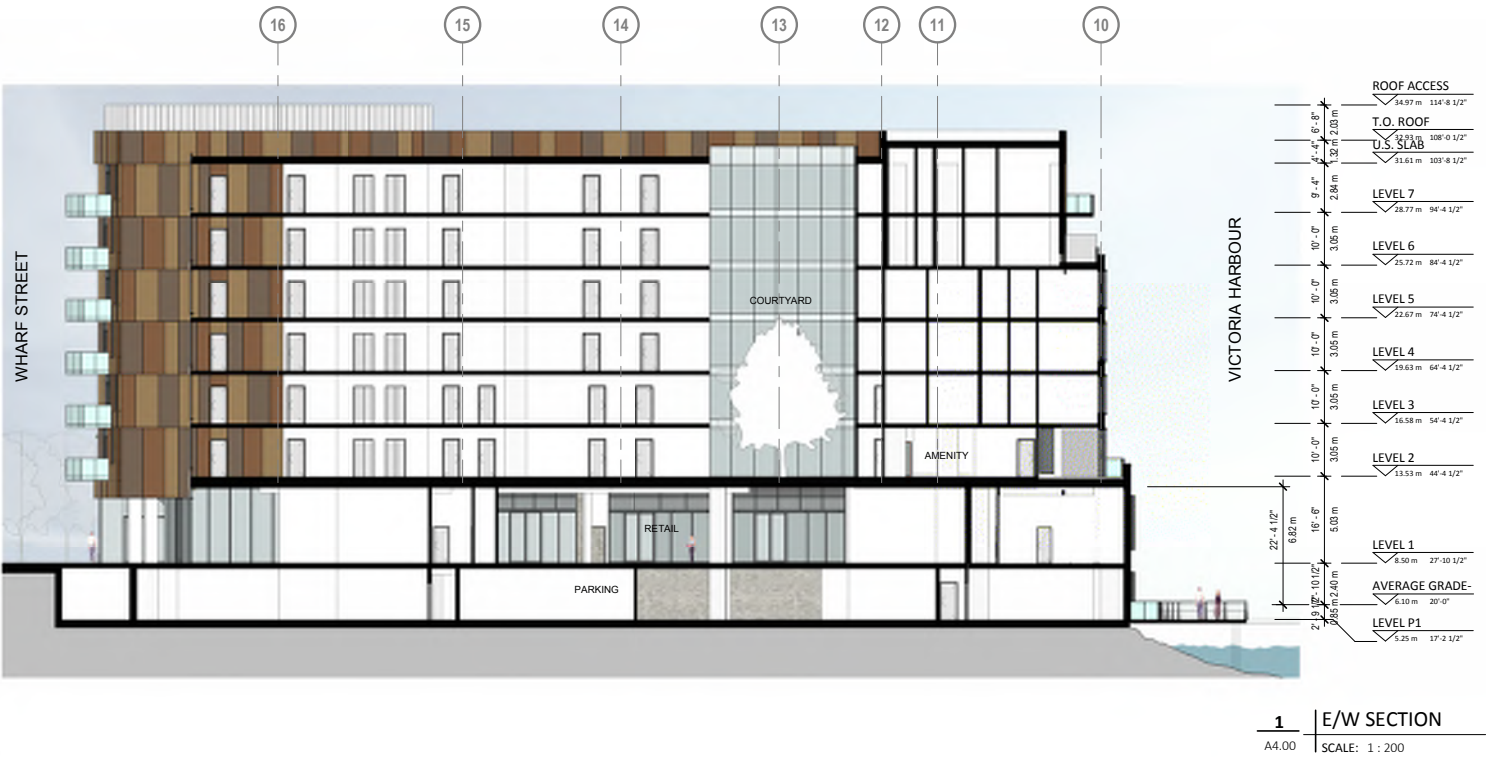
INTEGRAL GROUP
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VICTORIA, BC, V8W 2Y9
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SEAL

BUILDING SECTIONS

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A4.00



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Vancouver, BC V6B 1A7
Tel: (604)-694-8896

ARCHITECT & PRIME CONSULTANT
DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

LANDSCAPE ARCHITECT
PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC.
5th FLOOR, 1201 WEST PENDER STREET
Vancouver, BC V6E 2V2 (604)-688-6888
Tel: (604)-688-6111 Fax: 6112

HERITAGE
DONALD LUXTON & ASSOCIATES INC.
1030- 470 GRANVILLE STREET
Vancouver, BC V6C 1V5
Tel: (604)-688-1216

STRUCTURAL ENGINEER
DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: (604)-255-1790

CODE CONSULTANT
MURRAY JOHNSON ENGINEERING LTD.
212 FIFTH AVENUE W
NEW WESTMINSTER, BC, V3L 1R4
Tel: (604)-526-3335

MECHANICAL & ELECTRICAL
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201- 1019 WHARF STREET
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SEAL

ELEVATIONS

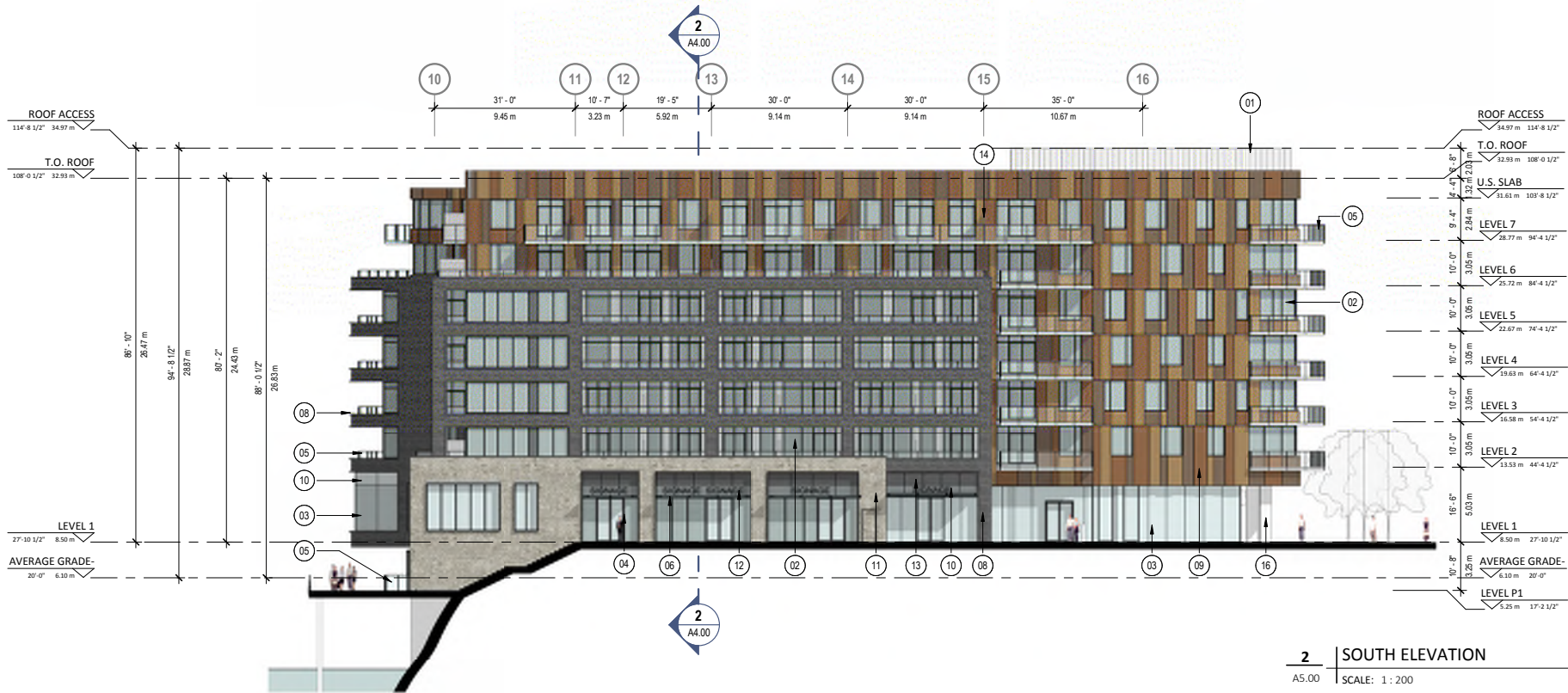
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PLOT DATE: 2/15/2018 2:53:04 PM
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A5.00

MATERIAL LEGEND	
01	CHANNEL GLASS
02	VISION GLASS
03	CURTAIN WALL (CAPLESS)
04	CURTAIN WALL
05	GLASS GUARD
06	GLASS & STEEL CANOPY
07	PLANTED ROOF
08	BRICK
09	METAL PANEL
10	SPANDREL GLASS
11	NATURAL STONE
12	SIGNAGE
13	METAL LOUVER
14	GLASS DIVIDER
15	EXISTING FINISH
16	CONCRETE



1 NORTH ELEVATION
A5.00 SCALE: 1 : 200



2 SOUTH ELEVATION
A5.00 SCALE: 1 : 200

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Vancouver, BC V6B 1A7
Tel: (604)-694-8896

ARCHITECT & PRIME CONSULTANT
DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 (604)-255-1169 Fax: 1790

LANDSCAPE ARCHITECT
PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC.
5th FLOOR, 1201 WEST PENDER STREET
Vancouver, BC V6E 2V2 (604)-688-6888 Tel: (604)-688-6111 Fax: 6112

HERITAGE
DONALD LUXTON & ASSOCIATES INC.
1030- 470 GRANVILLE STREET
Vancouver, BC V6C 1V5 Tel: (604)-688-1216

STRUCTURAL ENGINEER
DIALOG
406, 611 Alexander Street
Vancouver, BC V6A 1E1 Tel: (604)-255-1169 Fax: (604)-255-1790

CODE CONSULTANT
MURRAY JOHNSON ENGINEERING LTD.
212 FIFTH AVENUE W
NEW WESTMINSTER, BC, V3L 1R4 Tel: (604)-526-3335

MECHANICAL & ELECTRICAL
INTEGRAL GROUP
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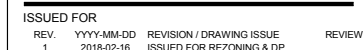
SEAL

ELEVATIONS

DRAWN: SA
PLOT DATE: 2/15/2018 2:54:15 PM
CHECKED: AP

A5.01





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SEAL

DRAWN: RT
PLOT DATE: 2/15/2018 2:59:43 PM

04696V

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REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
1	2018-02-16	ISSUED FOR REZONING & DP	

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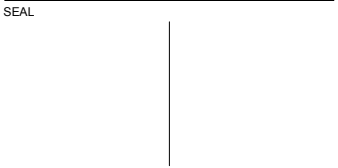
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Vancouver, BC V6A 1E1 (604)-255-1169 Fax: (604)-255-1790

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Tel: (604)-526-3335

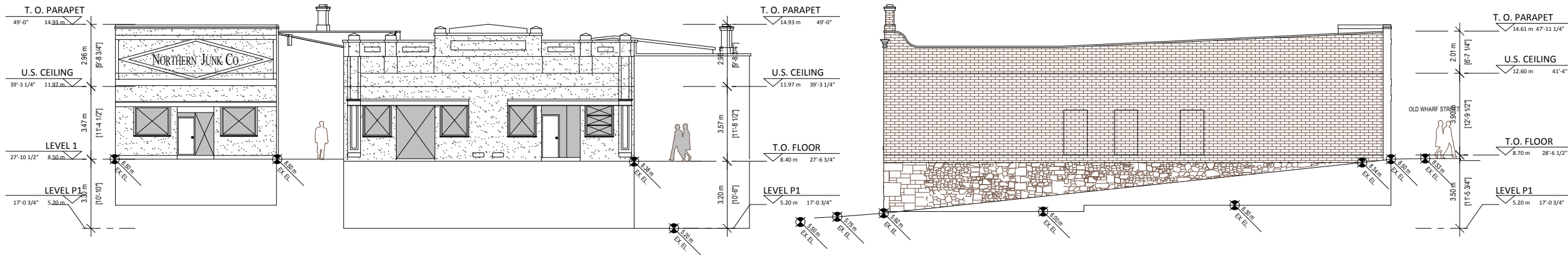
MECHANICAL & ELECTRICAL
INTEGRAL GROUP
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HERITAGE EXISTING ELEVATION

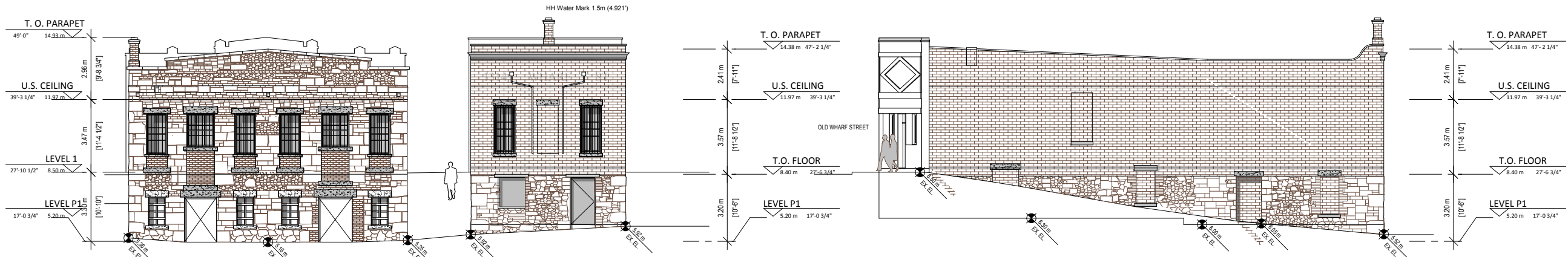
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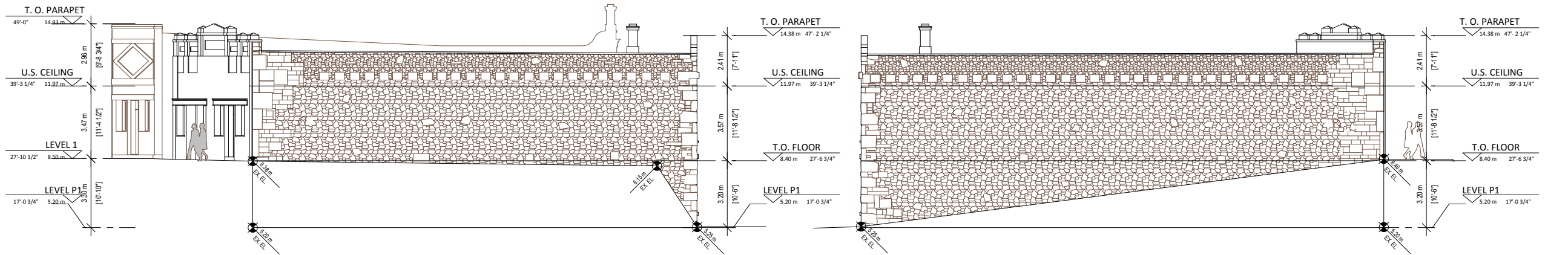
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A5.03 | SCALE: 1 : 100

4 | EXISTING 1314 SOUTH ELEVATION
A5.03 | SCALE: 1 : 100



2 | EXISTING WEST ELEVATION
A5.03 | SCALE: 1 : 100

5 | EXISTING 1314 NORTH ELEVATION
A5.03 | SCALE: 1 : 100



3 | EXISTING 1316-1318 NORTH ELEVATION
A5.03 | SCALE: 1 : 100

6 | EXISTING 1316-1318 SOUTH ELEVATION
A5.03 | SCALE: 1 : 100

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REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW	
1	2018-02-16	ISSUED FOR REZONING & DP		

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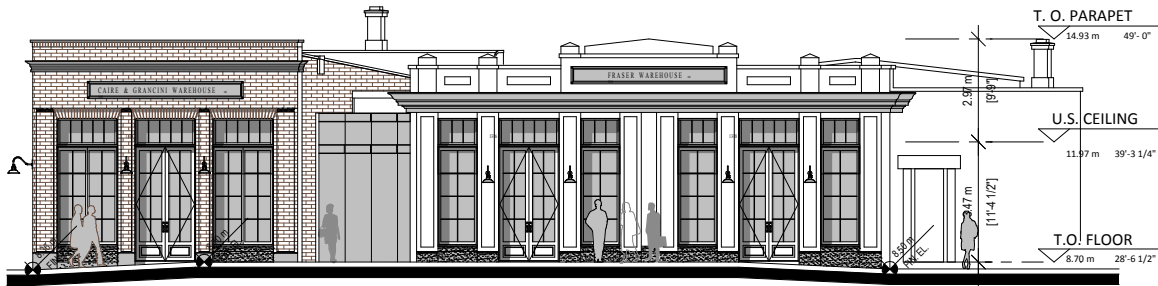
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SEAL

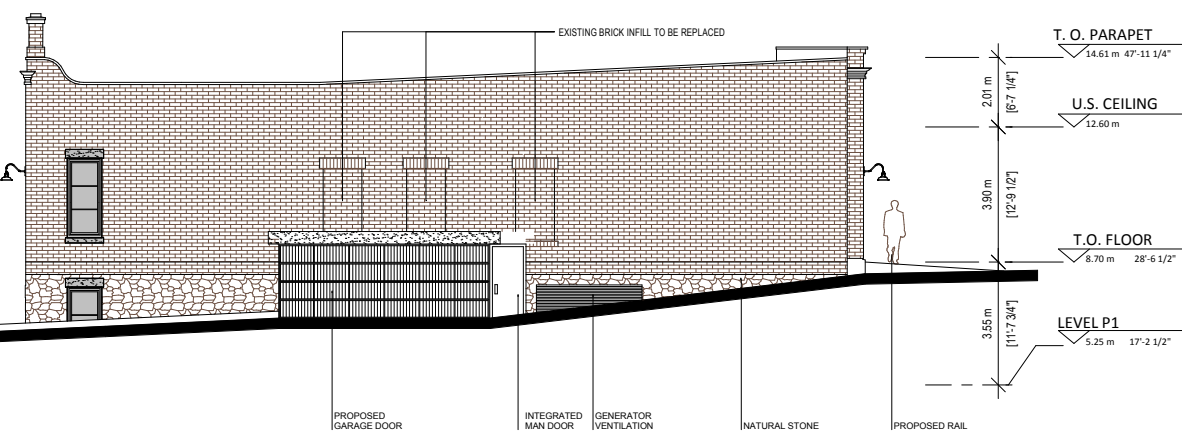
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DRAWN: RT
PLOT DATE: 2/15/2018 2:37:28 PM
CHECKED: AP

A5.04



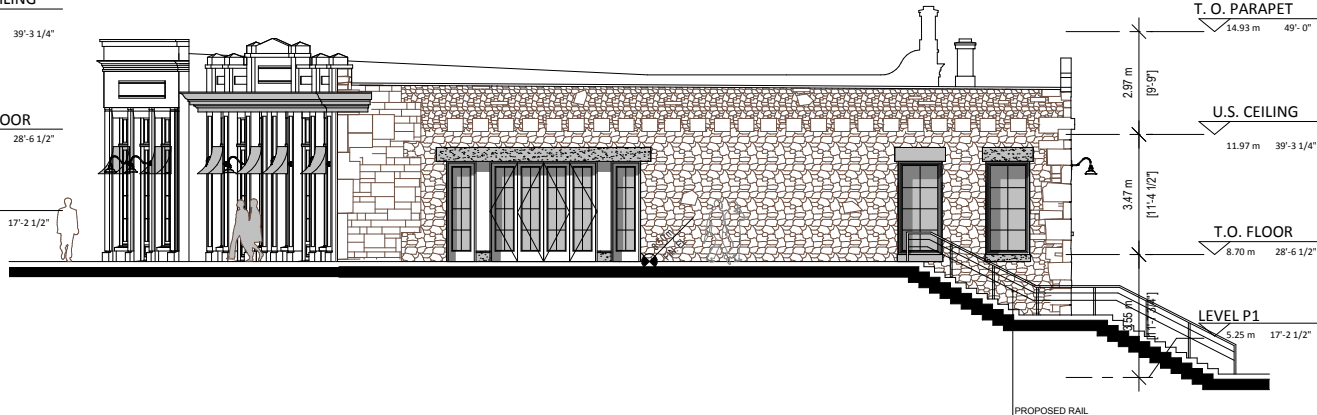
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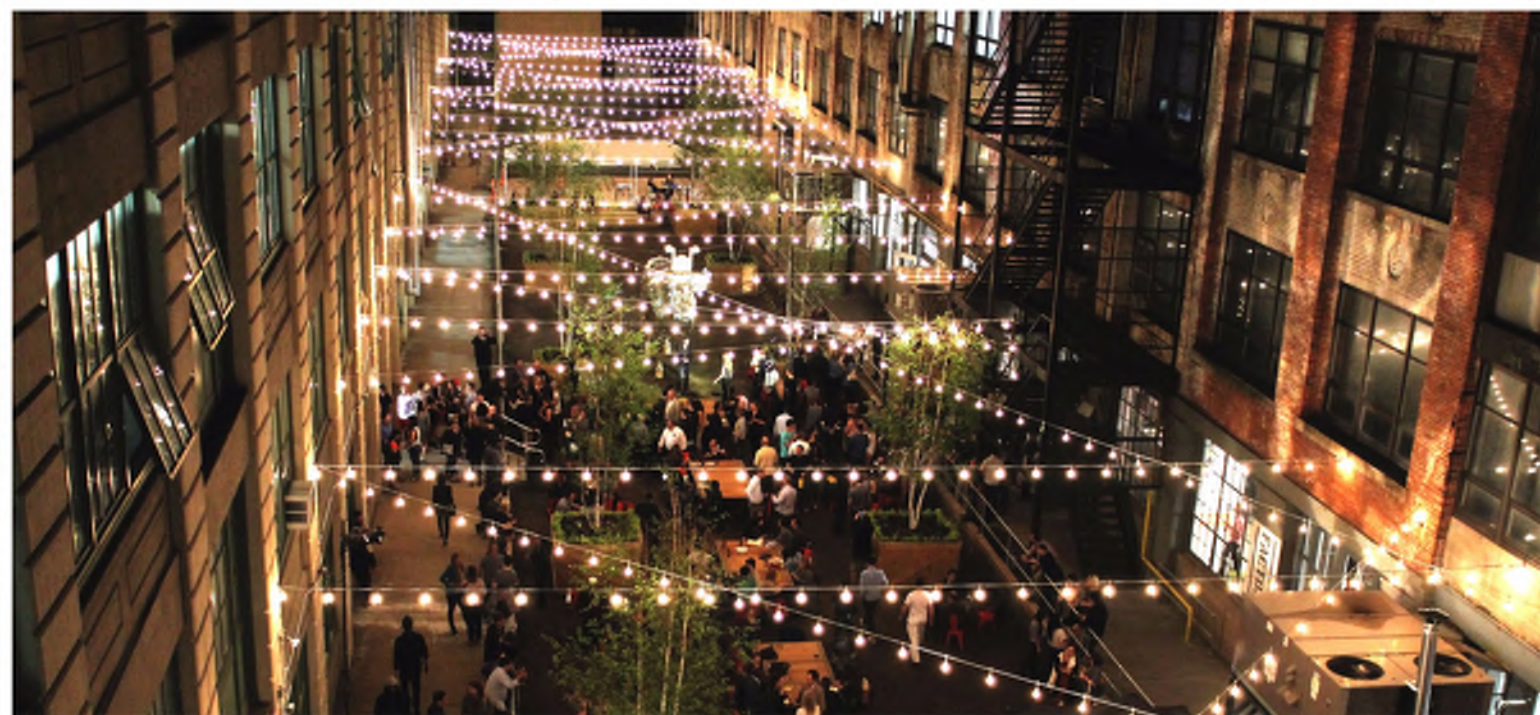
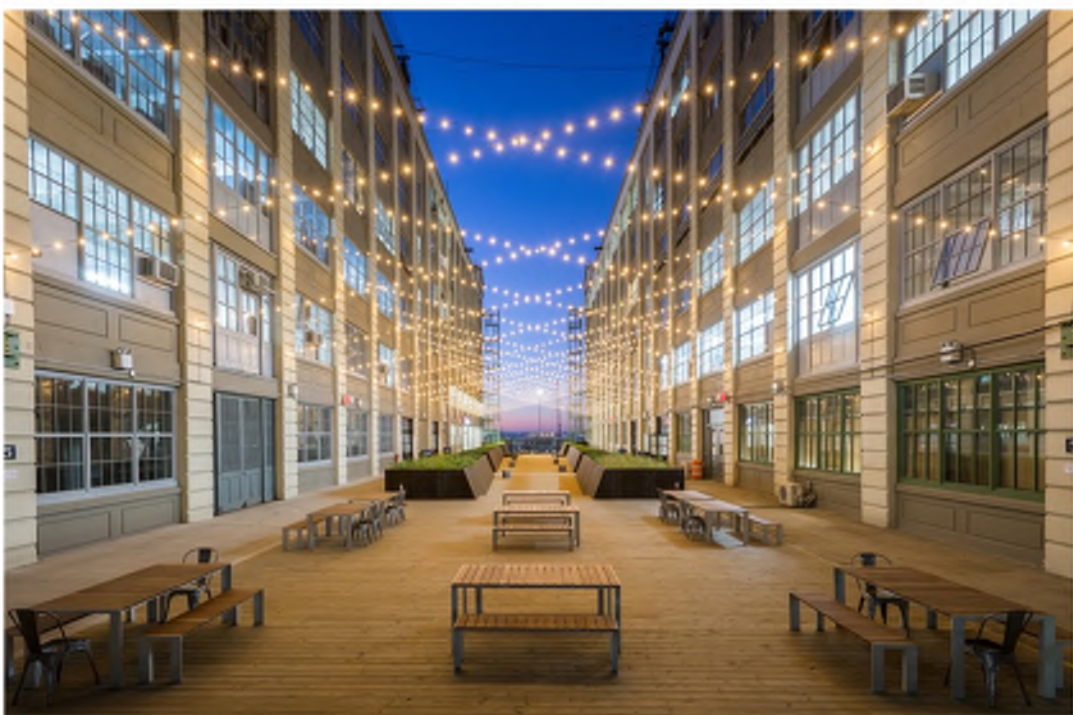
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A5.04 | SCALE: 1 : 100



2 | PROPOSED WEST ELEVATION
A5.04 | SCALE: 1 : 100



3 | 1316-1318 PROPOSED NORTH ELEVATION
A5.04 | SCALE: 1 : 100



REVISIONS AND CHGDS		
NO.	DATE	DESCRIPTION
2	18-02-16	Issued for Sanctioning by M...

JOHNSON STREET GATEWAY

Abstract

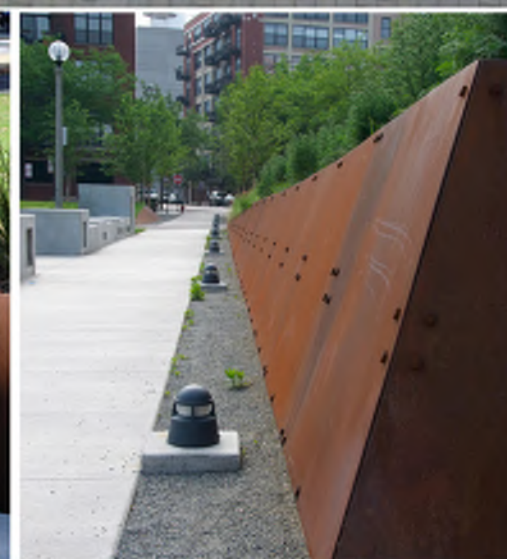
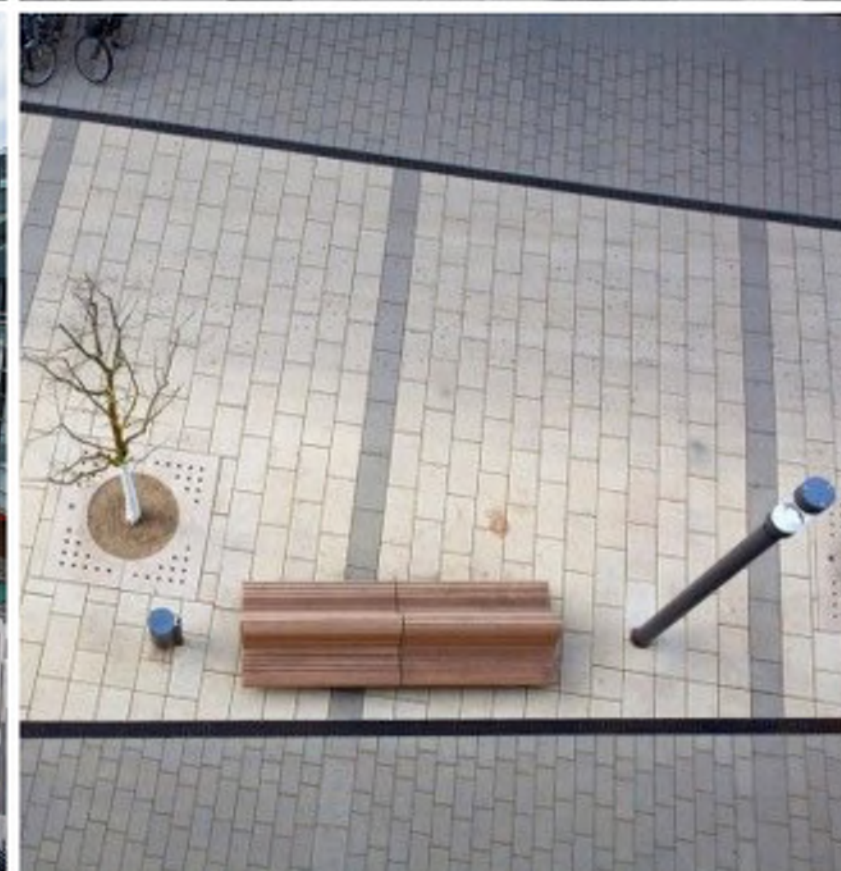
PRECEDENT IMAGERY

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PROJECT NO.	15620		
DATE			
FILE NAME	15620 Plan.vwx		
NOTED	18-2-15		
DRAWN	SL/JD	REVISION	20
DRAWING			

L0.02



JOHNSON STREET GATEWAY

PRECEDENT IMAGERY

Project No. 15600

Scale

North

Project No. 15600

Date

File Name 15600 Plan.rvt

Plotted 18-2-15

Drawn LK/JD

Reviewed JW



PAVING LEGEND	
KEY	DESCRIPTION
P1	Unit Paver Type 1 - Light Grey
P2	Unit Paver Type 2 - Dark Grey
P3	Stone Paver Band - Type 1
P4	Decking - Composite Wood
P5	CIP Concrete with Saw Cuts
P6	Unit Paver Type 3 - Medium Grey
P7	Hydressed Slab

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
F1	Custom Bench with Metal (COR-TEN) Planter
F2	Catenary Lighting
F3	Light Bollard
F4	Custom Lounger
F5	Patio Furniture
F6	Guardrail
F7	Gate and Fence
F8	Bike Rack
F9	Tree Grate

HARDSCAPE LEGEND	
KEY	DESCRIPTION
H1	CIP Concrete Stair with Handrail and Tactile Warning Strip
H2	CIP Concrete Wall

NO.	DATE	DESCRIPTION
1	10-2-16	Revising and Development Permit Application
2	18-02-16	Issued for Review by DP

JOHNSON STREET GATEWAY

ADDRESS

Landscape Plan

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SCALE	1:200
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PROJECT NO.	15600
DATE	
FILE NAME	15600 Plan.mxd
PLOTTED	18-2-15
DRAWN	LCJ/D
REVIEWED	JW

L1.01



PAVING LEGEND	
KEY	DESCRIPTION
P1	Unit Paver Type 1 - Light Grey
P2	Unit Paver Type 2 - Dark Grey
P3	Stone Paver Band - Type 1
P4	Decking - Composite Wood
P5	CIP Concrete with Saw Cuts
P6	Unit Paver Type 3 - Medium Grey
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F8	Bike Rack
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HARDSCAPE LEGEND	
KEY	DESCRIPTION
H1	CIP Concrete Stair with Handrail and Tactile Warning Strip
H2	CIP Concrete Wall



LEVEL 2 - WEST COAST GARDEN AND AMENITY SPACE
SCALE: 1:200

JOHNSON STREET GATEWAY

ADDRESS

PROJECT TITLE

Roof Plan and L2 Amenity

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PLOTTED	18-2-15
DRAWN	LCJ/D
REVIEWED	JW

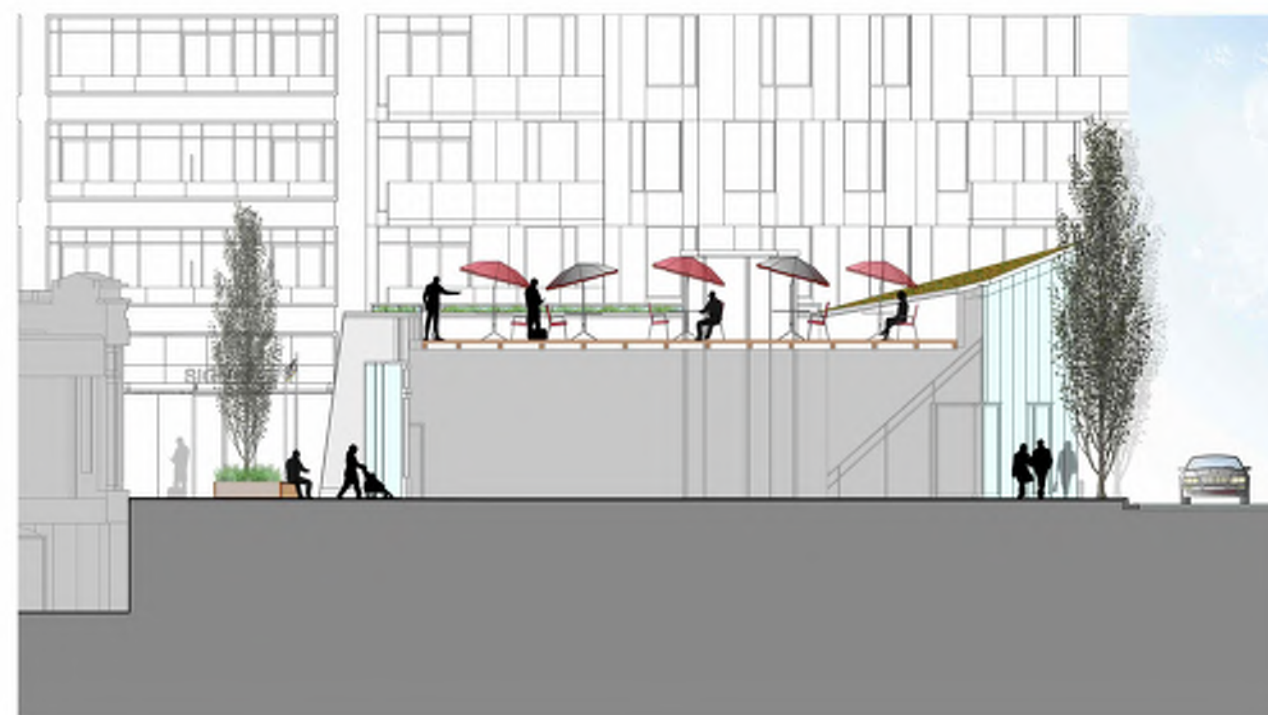
NO.	DATE	DESCRIPTION
1	18-2-16	Issued for Reviewing & DP



1 SECTION 1
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2 SECTION 1 - ENLARGEMENT A
Scale: 1:100



3 SECTION 1 - ENLARGEMENT B
Scale: 1:100

JOHNSON STREET GATEWAY

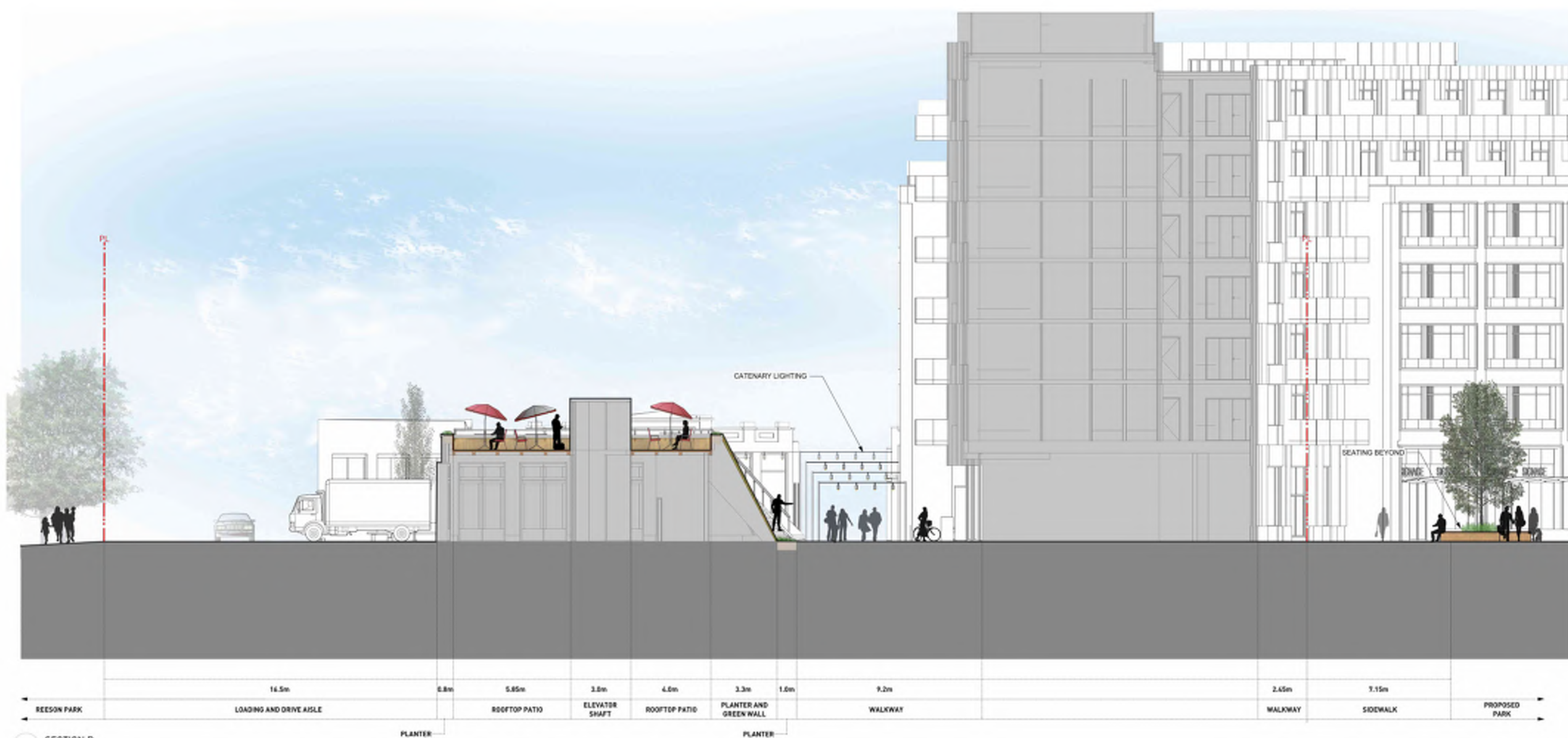
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Sections

PROJECT NO.	15000
DATE	
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PLOTTED	18-2-15
DRAWN	LCJ/D
REVIEWED	JW
DRAWING	

L2.01

NO.	DATE	DESCRIPTION
1	10-2-16	Issued for Reviewing & DP



SECTION B
Scale: 1:100

JOHNSON STREET GATEWAY

Sections

PROJECT NO.	15600
DATE	
FILE NAME	15000 Sections.vwx
PLOTTED	10-2-15
DRAWN	LCJ/D
REVIEWED	JW
DRAWING	

L2.02