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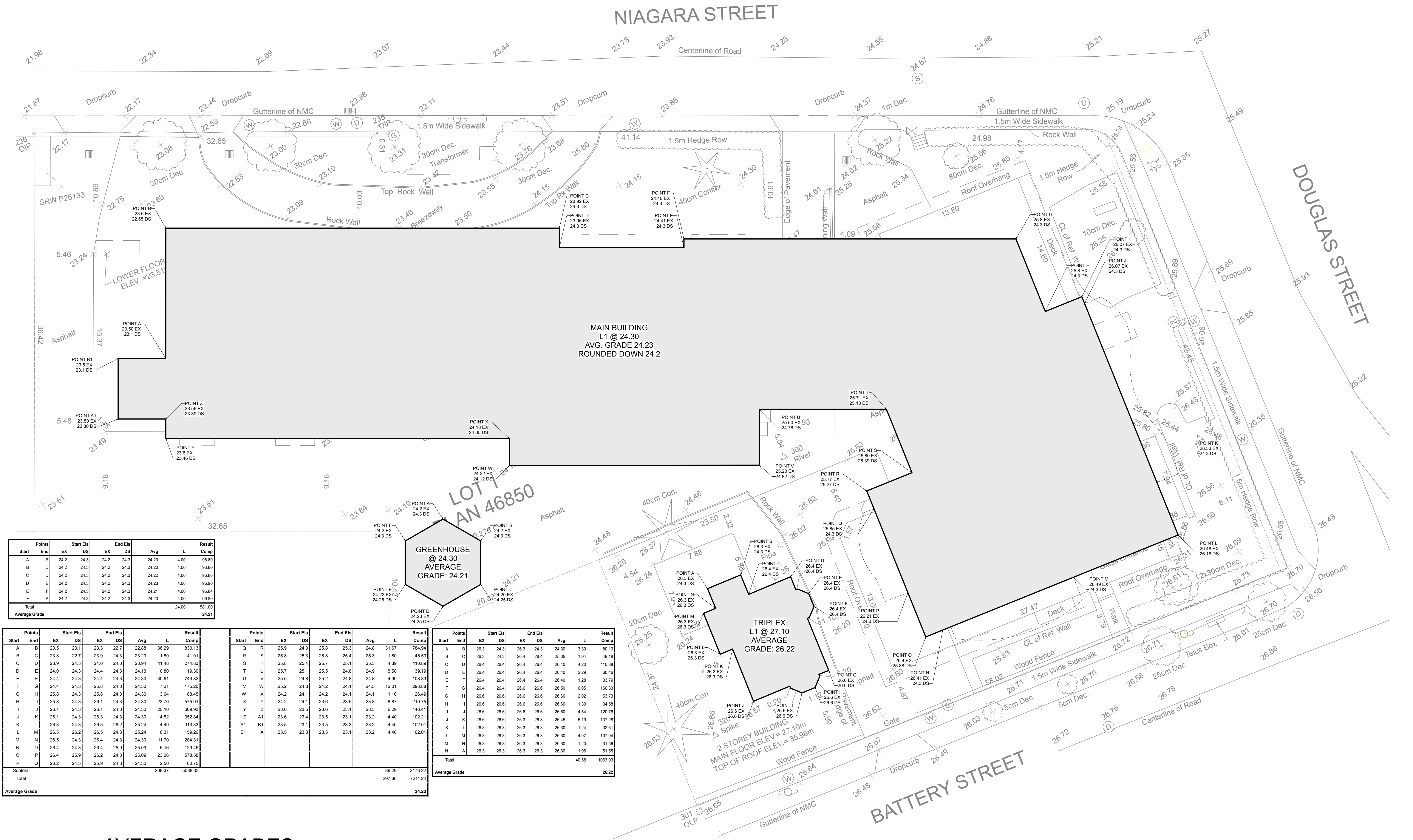
- 01

CONCEPTUAL SERVICING



DOUGLAS HOUSE SENIOR CARE EXPANSION | VICTORIA, BC

22 DEC 2023



Points		Start Els		End Els		Avg		Result	
Start	End	EX	DS	EX	DS		L	Comp	
A	B	24.2	24.3	24.2	24.3	24.20	4.00	96.80	
B	C	24.2	24.3	24.2	24.3	24.20	4.00	96.80	
C	D	24.2	24.3	24.2	24.3	24.22	4.00	96.88	
D	E	24.2	24.3	24.2	24.3	24.23	4.00	96.90	
E	F	24.2	24.3	24.2	24.3	24.21	4.00	96.84	
F	A	24.2	24.3	24.2	24.3	24.20	4.00	96.80	
Total								581.00	
Average Grade								24.21	

Points	Start Els	End Els	Avg	L	Result
A B	23.5 23.1	23.3 22.7	22.88	36.29	830.13
B C	23.3 22.7	23.9 24.3	23.29	1.80	41.91
C D	23.9 24.3	24.0 24.3	23.94	11.48	274.83
D E	24.0 24.3	24.4 24.3	24.13	0.80	19.30
E F	24.4 24.3	24.4 24.3	24.30	30.61	743.82
F G	24.4 24.3	25.8 24.3	24.30	7.21	175.20
G H	25.8 24.3	25.8 24.3	24.30	3.64	88.45
H I	25.8 24.3	26.1 24.3	24.30	23.70	575.91
I J	26.1 24.3	26.1 24.3	24.30	25.10	609.93
J K	26.1 24.3	26.3 24.3	24.30	14.52	352.84
K L	26.3 24.3	26.5 26.2	25.24	4.49	113.33
L M	26.5 26.2	26.5 24.3	25.24	6.31	159.26
M N	26.5 24.3	26.4 24.3	24.30	11.70	284.31
N O	26.4 24.3	26.4 25.9	25.09	5.16	129.46
O P	26.4 25.9	26.2 24.3	25.09	23.06	578.58
P Q	26.2 24.3	25.9 24.3	24.30	2.50	60.75
Subtotal					208.37
Total					5038.03
Average Grade					24.23

Points	Start Els	End Els	Avg	L	Result
Q R	25.9 24.3	25.8 25.3	24.8	31.67	784.94
R S	25.8 25.3	25.8 25.4	25.3	1.80	45.50
S T	25.8 25.4	25.7 25.1	25.3	4.39	110.89
T U	25.7 25.1	25.5 24.8	24.9	5.58	139.19
U V	25.5 24.8	25.2 24.8	24.8	4.39	108.83
V W	25.2 24.8	24.2 24.1	24.5	12.01	293.88
W X	24.2 24.1	24.2 24.1	24.1	1.10	26.49
X Y	24.2 24.1	23.6 23.5	23.8	8.87	210.75
Y Z	23.6 23.5	23.6 23.1	23.3	6.29	146.41
Z A1	23.6 23.4	23.5 23.1	23.2	4.40	102.21
A1 B1	23.5 23.1	23.5 23.3	23.2	4.40	102.01
B1 A	23.5 23.3	23.5 23.1	23.2	4.40	102.01
Subtotal					89.29
Total					2173.22
Average Grade					26.22

Points	Start Els	End Els	Avg	L	Result
A B	26.3 24.3	26.3 24.3	24.30	3.30	80.19
B C	26.3 24.3	26.4 26.4	25.35	1.94	48.18
C D	26.4 26.4	26.4 26.4	26.40	4.20	110.88
D E	26.4 26.4	26.4 26.4	26.40	2.29	60.46
E F	26.4 26.4	26.4 26.4	26.40	1.28	33.79
F G	26.4 26.4	26.6 26.6	26.50	6.05	160.33
G H	26.6 26.6	26.6 26.6	26.60	2.02	53.73
H I	26.6 26.6	26.6 26.6	26.60	1.30	34.58
I J	26.6 26.6	26.6 26.6	26.60	4.54	120.76
J K	26.6 26.6	26.3 26.3	26.45	5.19	137.26
K L	26.3 26.3	26.3 26.3	26.30	1.24	32.61
L M	26.3 26.3	26.3 26.3	26.30	4.07	107.04
M N	26.3 26.3	26.3 26.3	26.30	1.20	31.56
N A	26.3 26.3	26.3 26.3	26.30	1.96	51.55
Total					40.58
Average Grade					26.22

AVERAGE GRADES Scale N.T.S.

BUILDING CODE SUMMARY

Applicable Building Code:	BCBC 2018
Streets Facing	3
High Building (3.2.6)	Yes
Sprinklered	Yes
Standpipe System	Yes
Fire Alarm System	Two-stage
Operational Notes	No Treatment, no moving residents in beds
Ancillary Uses	Group A2 (Dining), Group D (Administration)
Spatial Separations	Minimum 52% @ 6.0 m Limiting Distance
Loadbearing Fire Rating	Same as Supported Assembly

Major Occupancy	B2	F3
Size / Construction Subsection	3.2.2.38	3.2.2.80
Description	Care	Parking
Levels	L1-L6	P1
Separate Building	No	Yes (3.2.1.2)
Maximum Building Area	Unlimited	Unlimited
Actual Building Area	+/- 2,200 sm	N/A
Maximum Building Height	Unlimited	Unlimited
Actual Building Height	6 storeys	-1 storeys
Type of Construction	Noncombustible	Noncombustible
Floor Assembly Fire Rating	2h	2h
Unoccupied Roof Rating	0h	0h
Occupied Roof Rating	2h	2h
Minimum Corridor Width	1.65 m	1.1 m
Min Exit Corridor Width	1.1 m	1.1 m
Minimum Exit Stair Width	1.65 m	915 mm
Maximum Rise of Exit Flight	2.4 m	2.4 m
Dead-end corridors	None	6.0 m
Travel Distance	45 m	45 m

Fire Separations	
0h	Sleeping rooms, sprinklered janitor rooms
1h	Sleeping room zones, Combustible refuse storage, Service rooms with fuel fired appliance
1.5h	Parking to other occupancies
2h	Exit enclosures, Elevator shafts, Occupied roof, Em Gen room, Unsprinklered electrical equipment room

High Building Requirements	Above and below grade stairs separated with 2h fire separation
	Below-grade stair pressurization
	Above-grade stair venting
	Above and below grade smoke venting
	At least one fire-fighter elevator
	Emergency Electrical Conductors 1h fire rated
	Plus additional electrical and communications measures
B2 Special Provisions	Sleeping room floor areas split into min. Two compartments
	Maximum 1,000 sm in area per 3.3.3.5 (2)
	Impeded Egress zones permitted
	No dead-end corridors serving sleeping rooms permitted

Suite Summary							
Occ.	Floor	Constr. GFA	CoV "Floor Area"	Studio	1-Bed	Leasable	Eff.
Memory Care	L6	20,220.0	19,150.0	25	2	11,600	57%
	L5	21,505.0	20,380.0	28	2	12,860	60%
Assisted Living	L4	23,750.0	22,590.0	27	7	15,190	64%
	L3	23,750.0	22,590.0	27	7	15,190	64%
	L2	23,750.0	22,590.0	27	7	15,190	64%
MAIN	L1	21,328.0	20,190.0	7	2	4,040	19%
	Total	134,303.0	127,490.0	141	27	74,070	55%
Total Units		168					
Site Area		52,892.4					

ZONING SUMMARY

Existing Zone	R3-2
Proposed Zone	Site-specific
High BuildingSite (3.2.6)	Yes
Site Area (sm)	4,913.9
Gross Floor Area	12,016.0
Floor Area Ratio	2.45
New Building Footprint	2,474.0
Her. House Footprint	85.24
Total Structural Footprint*	2,559.2
Site Coverage	53%
Open Site space**	41.0%

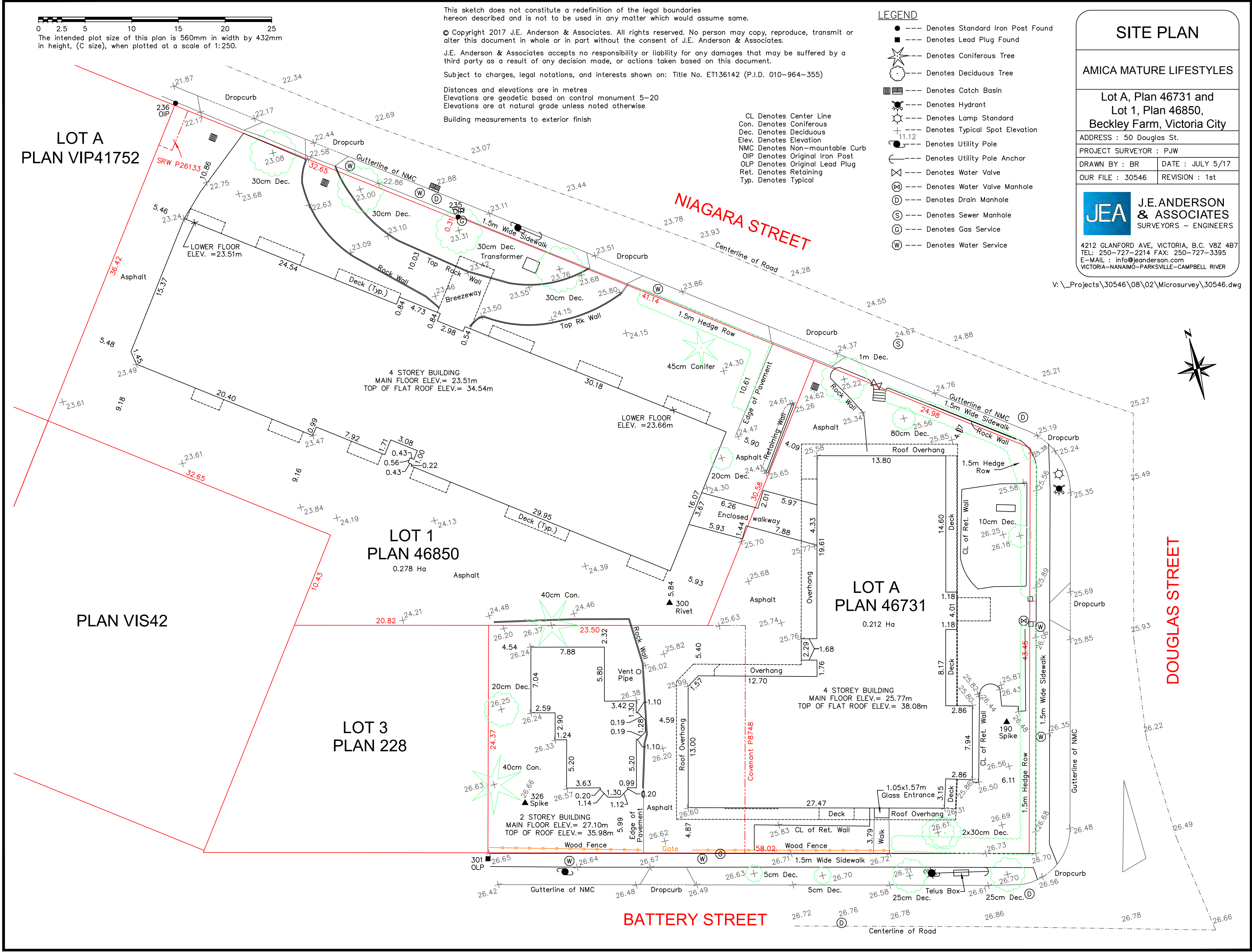
Roof Height (m geo.)	47.3
(Average) Grade (m geo.)	24.2
(Building) Height (m)	23.1
Storeys	6
Number of Units	168
Car parking provided	80
Short term bike spaces	6
Long Term bike spaces	12

Area by Floor	
L6	1,780.0
L5	1,895.0
L4	2,098.5
L3	2,098.5
L2	2,098.5
L1	1,875.5

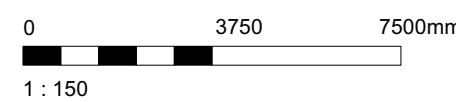
Triplex L2	85
Triplex L1	85
Total	12,016.0

Minimum Setbacks (m)	
Front Yard (north / Niagara)	6.1
Rear Yard (south / Battery)	6.5
Side Yard (west)	6.5
Side Yard (east / Douglas)	7.5

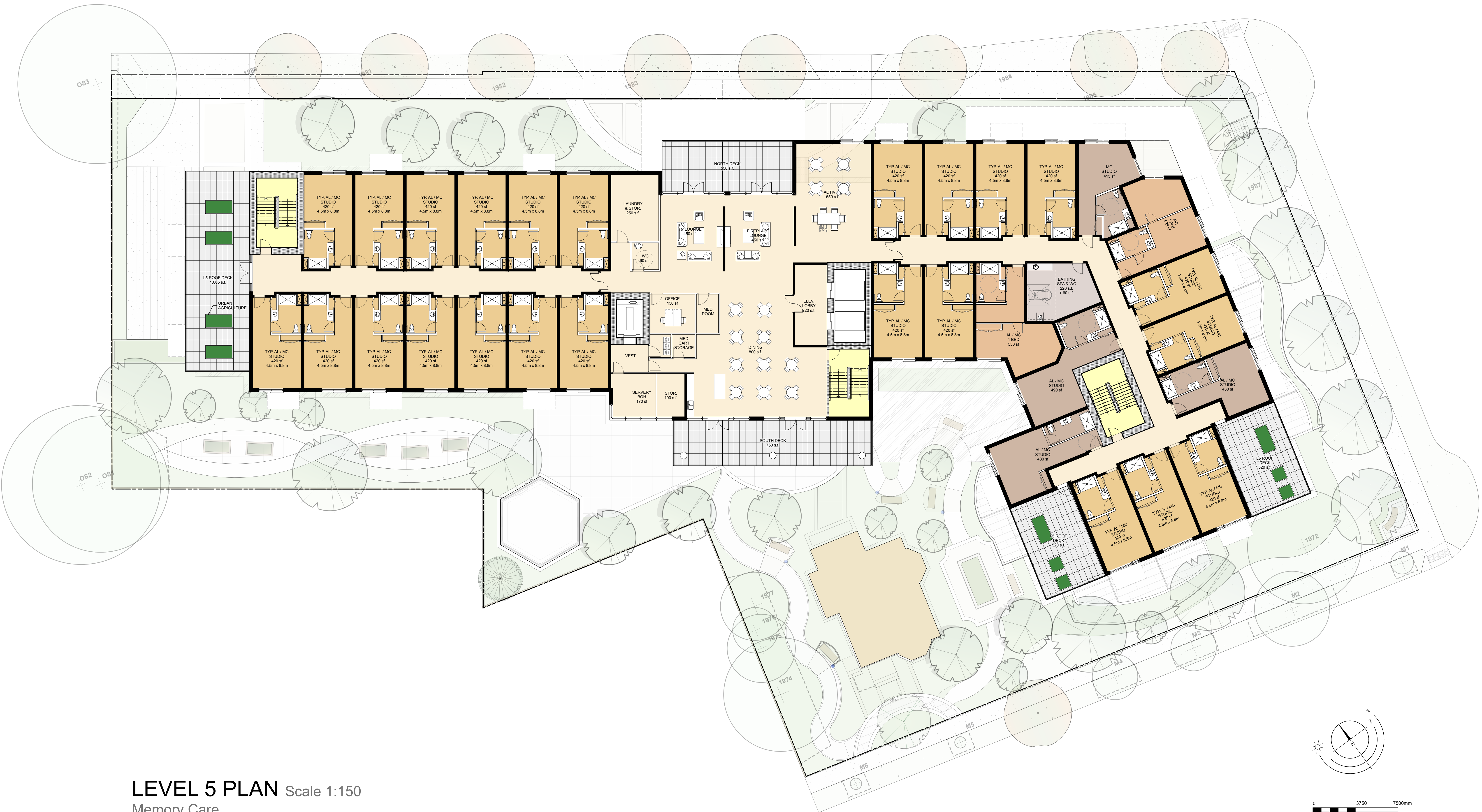
* including all deck footprints
** includes all open site space excluding drive surfaces



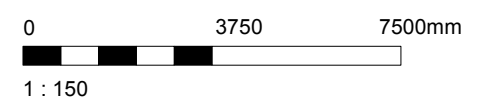
BUILDING CODE & ZONING SUMMARY, SURVEY Scale 1:250

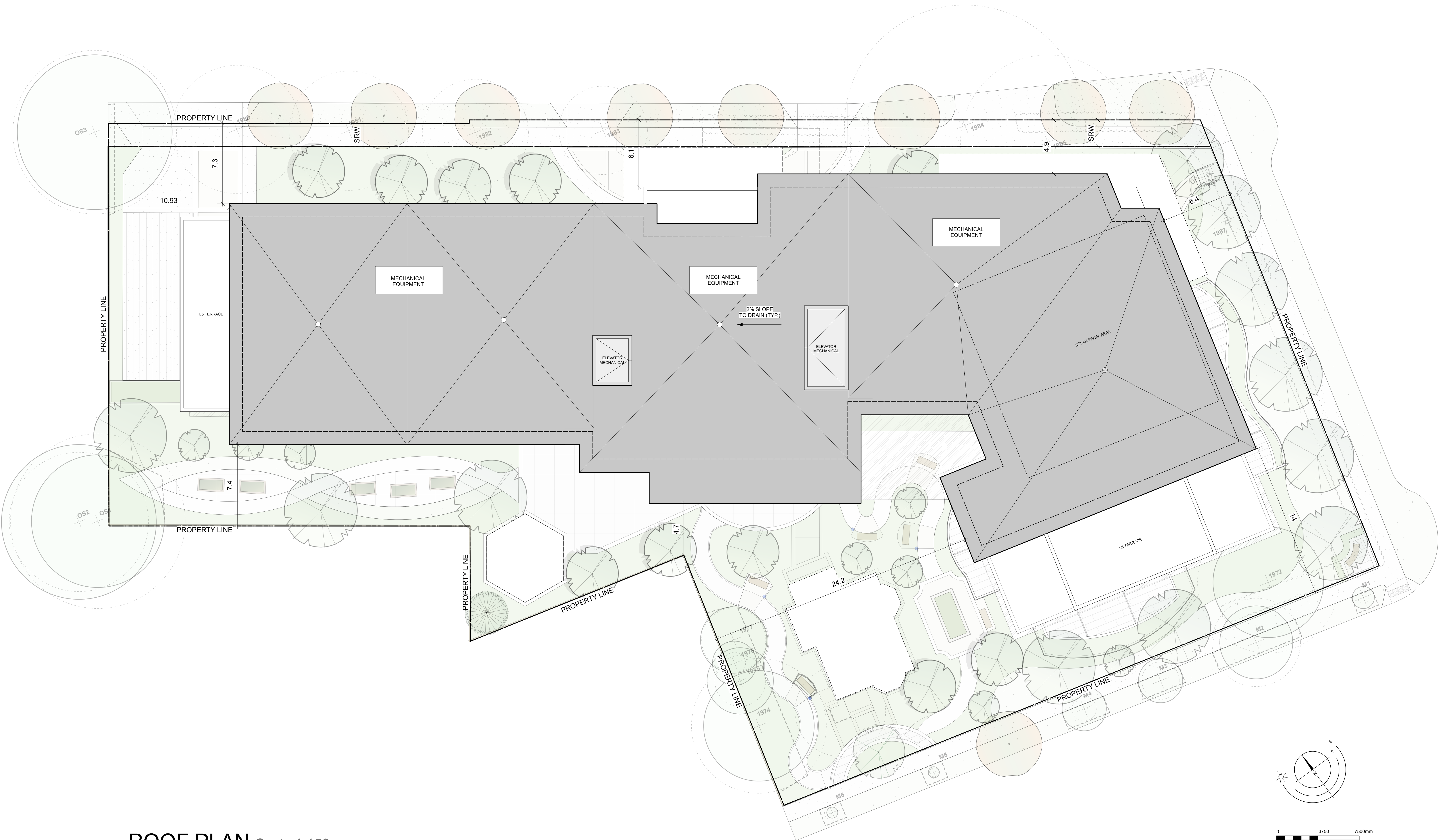


LEVEL 2-4 PLAN Scale 1:150
Assisted Living



LEVEL 5 PLAN Scale 1:150
Memory Care





ROOF PLAN Scale 1:150

COLOUR LEGEND	
ELEMENT	COLOUR
WOOD SIDING	PENDRELL VERDIGRIS
WOOD WINDOW SASHES, WOOD COLUMNS, ROLLED COVES	PENDRELL GREEN
WOOD WINDOW TRIM	GLOSS BLACK

L1: 27.1
AVG. 26.22



EAST ELEVATION



WEST ELEVATION



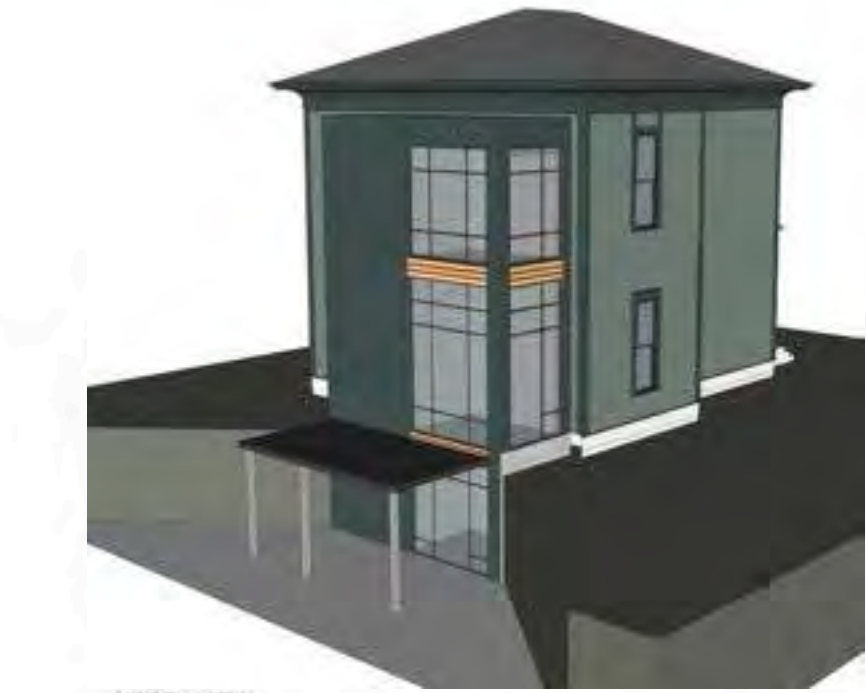
NORTH ELEVATION



SOUTH ELEVATION

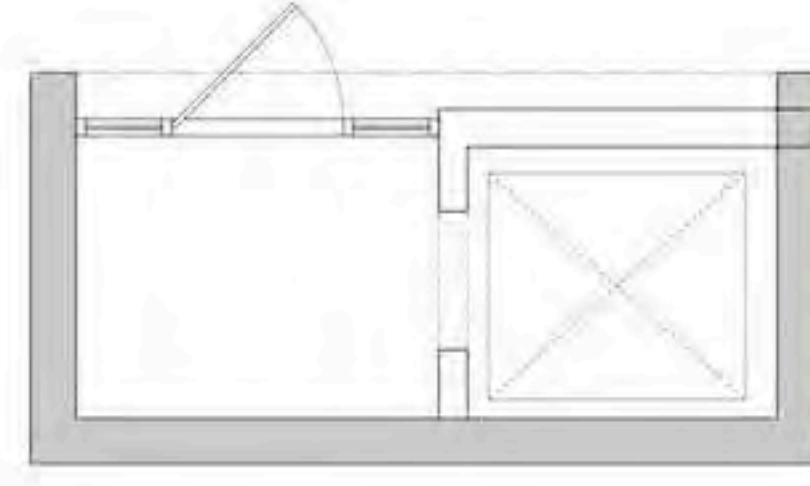


WEST VIEW

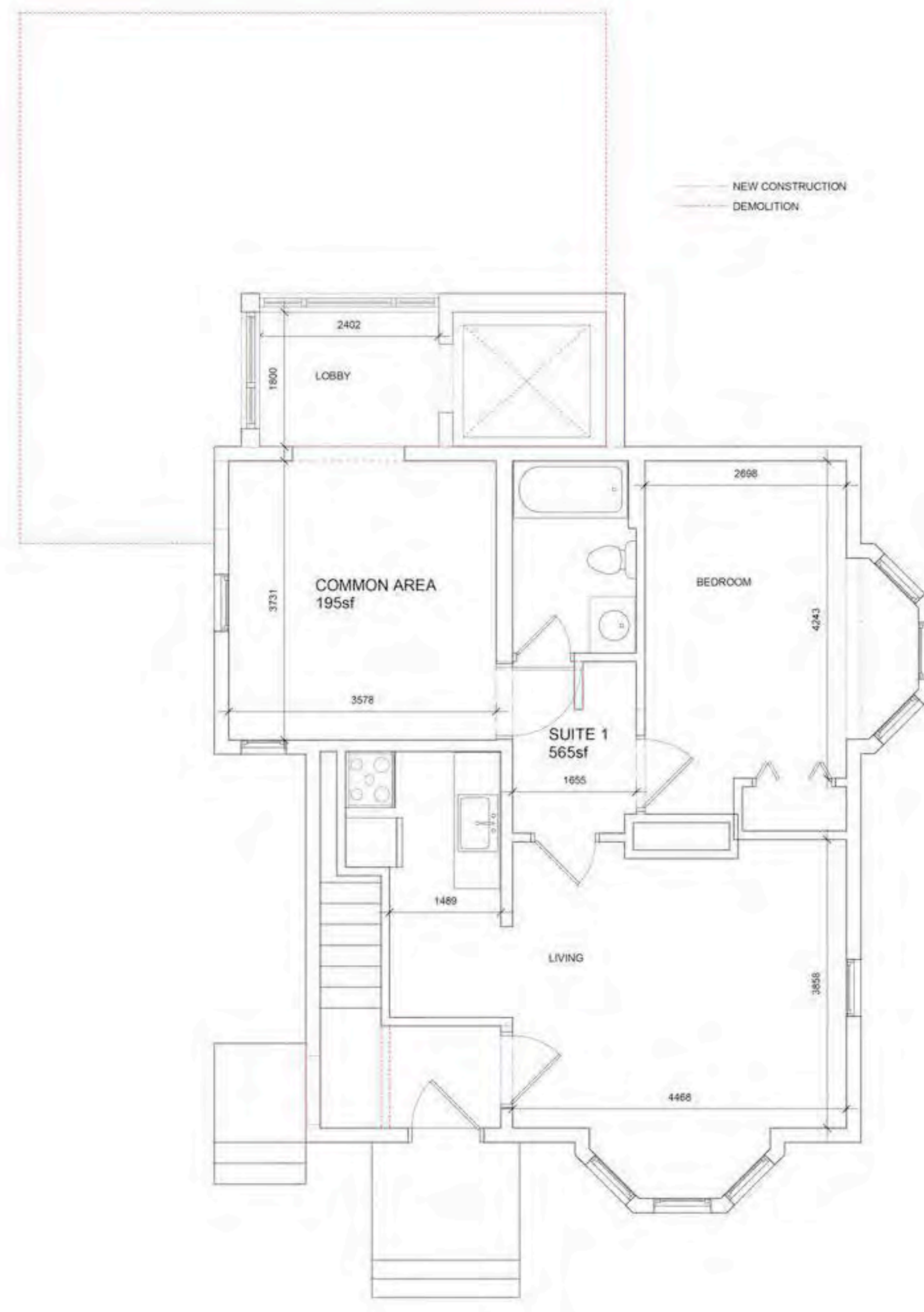


NORTH VIEW

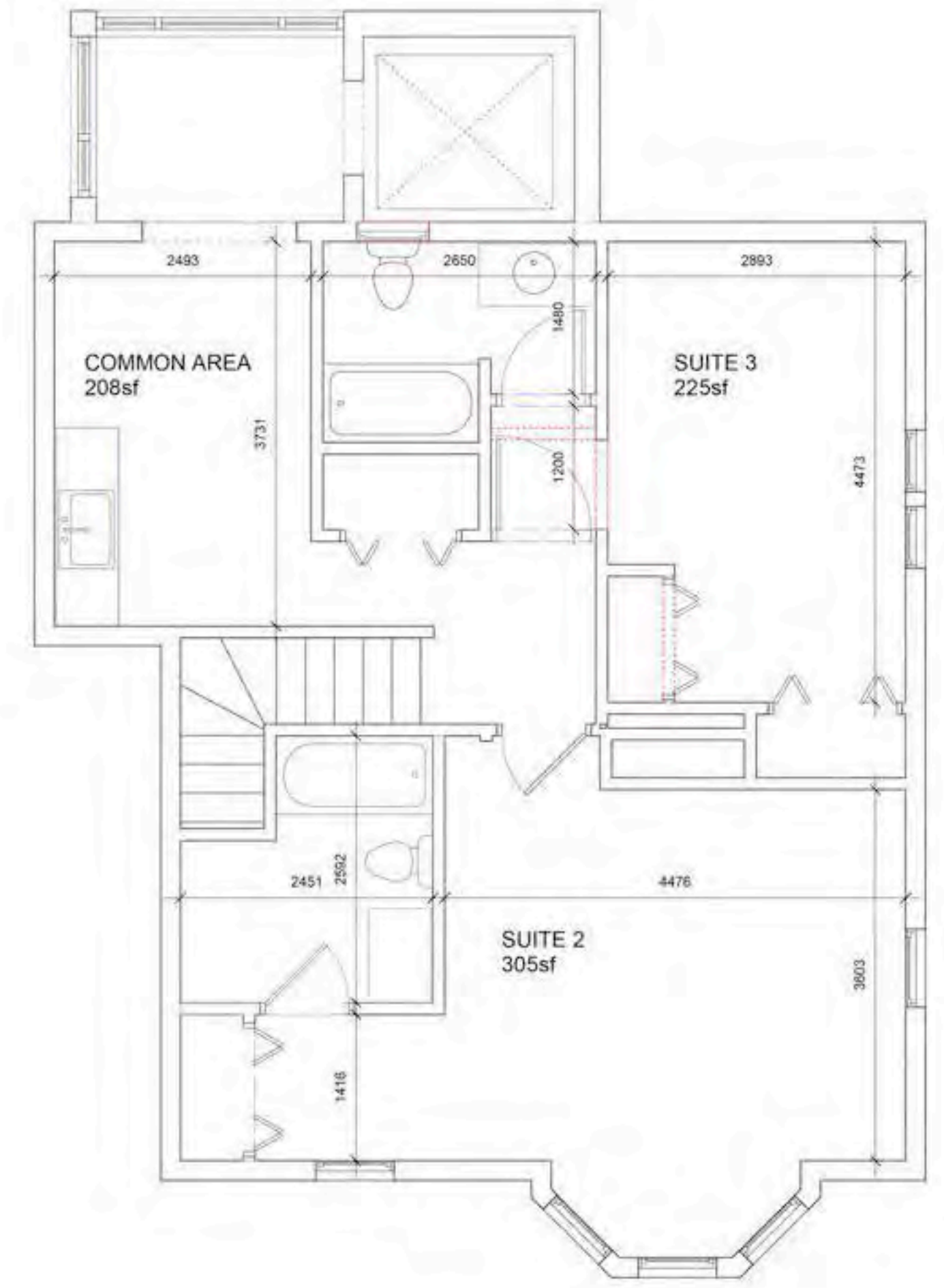
3 Courtyard Level
A211 SCALE: 1:50



1 Level 1 - Renovation
A211 SCALE: 1:50



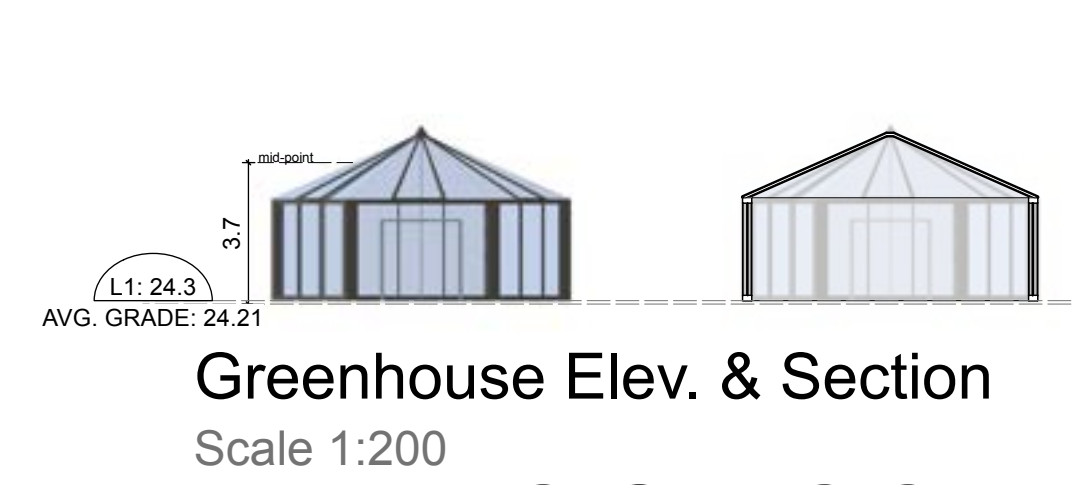
2 Level 2 - Renovation
A211 SCALE: 1:50

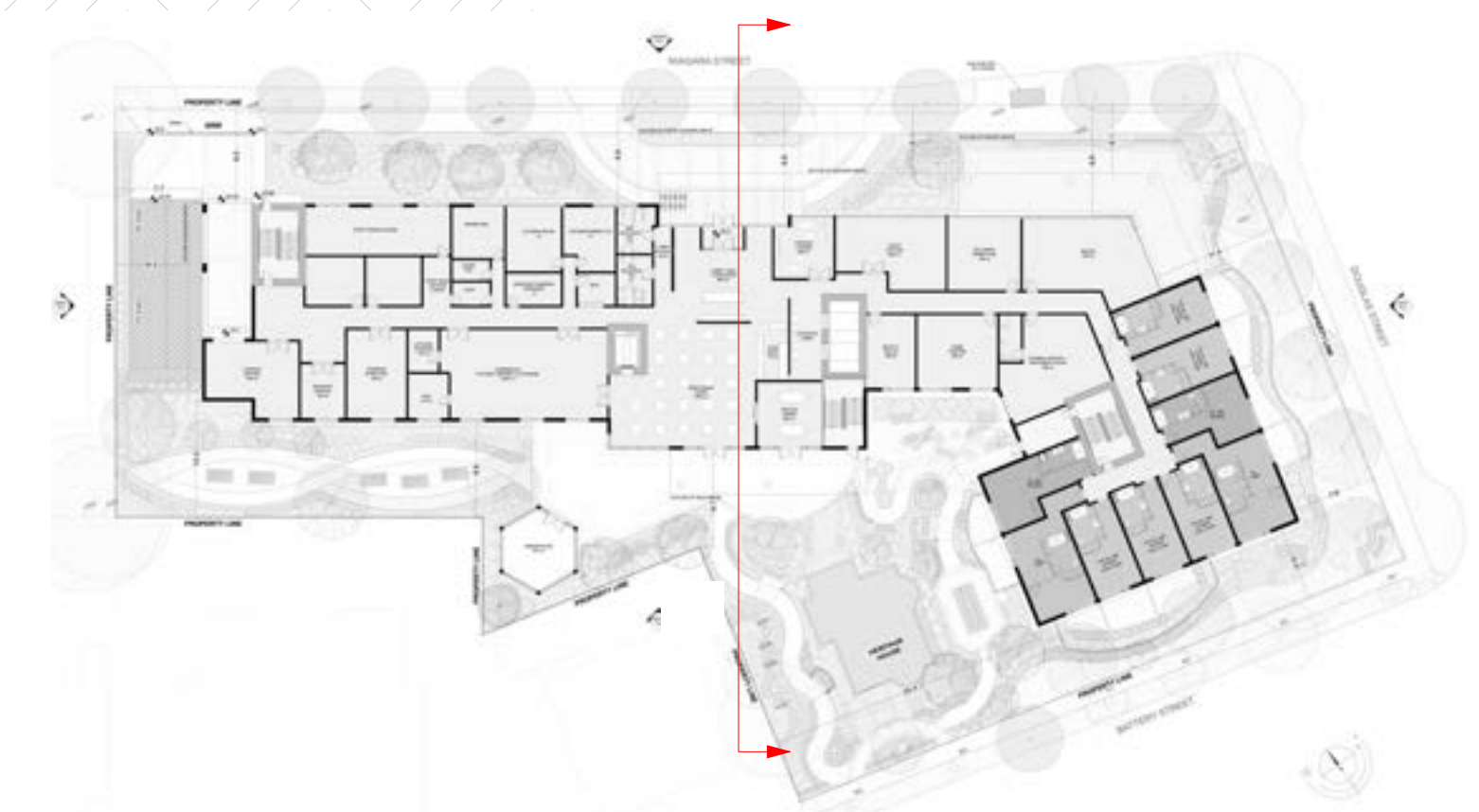
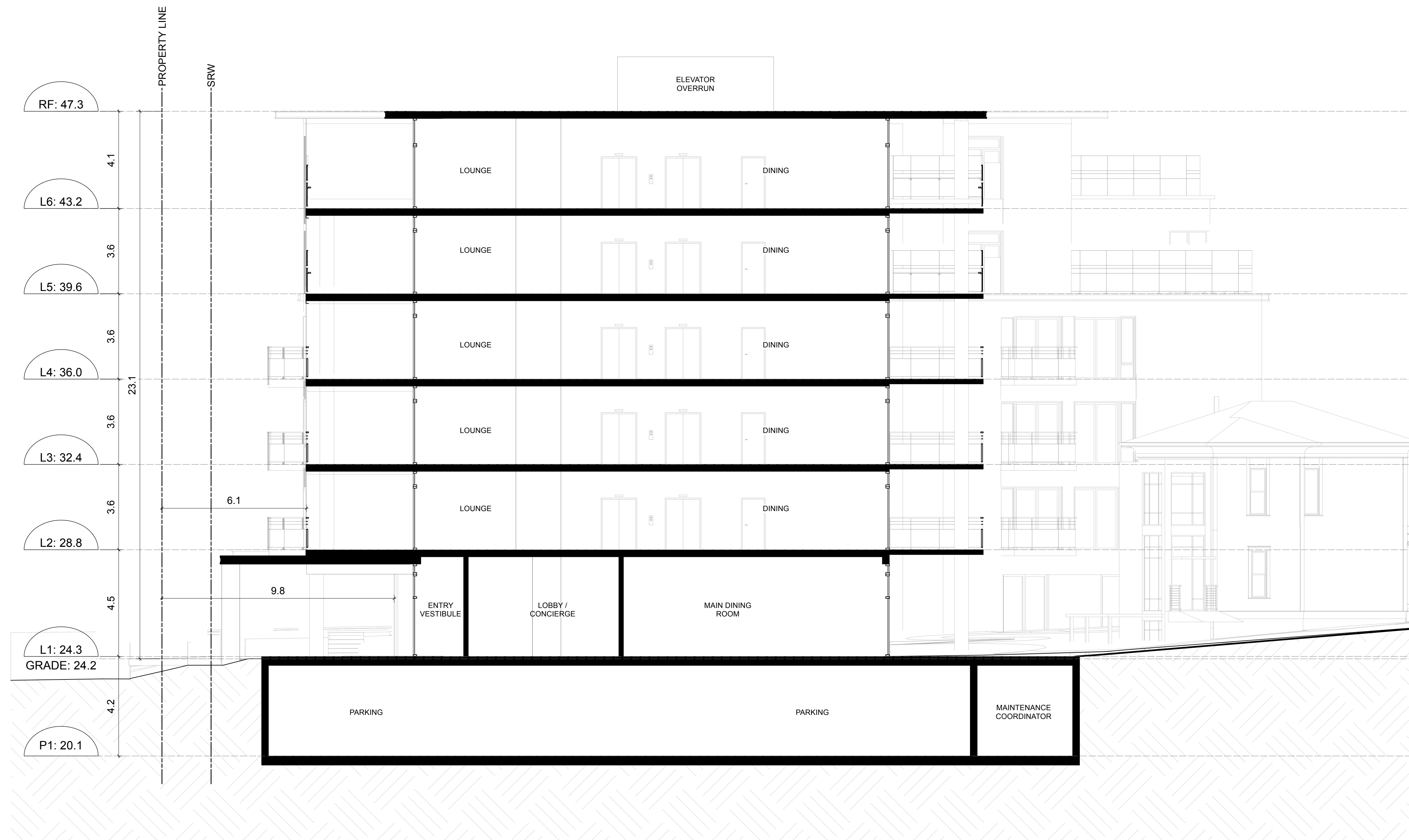


HERITAGE HOUSE Scale: As Noted

MATERIALS SCHEDULE

- 1 FIBRE CEMENT
- 2 METAL PANEL
- 3 PREFINISHED METAL FASCIA
- 4 WOOD FINISH HORIZONTAL SIDING
- 5 PREFINISHED ALUMINUM WINDOWS AND DOORS
- 6 PREFINISHED GUARD RAIL - METAL & GLASS
- 7 ALUMINUM STOREFRONT
- 8 WOOD TONE SOFFIT





SECTION Scale 1:100



Douglas Street



Niagara Street



Battery Street

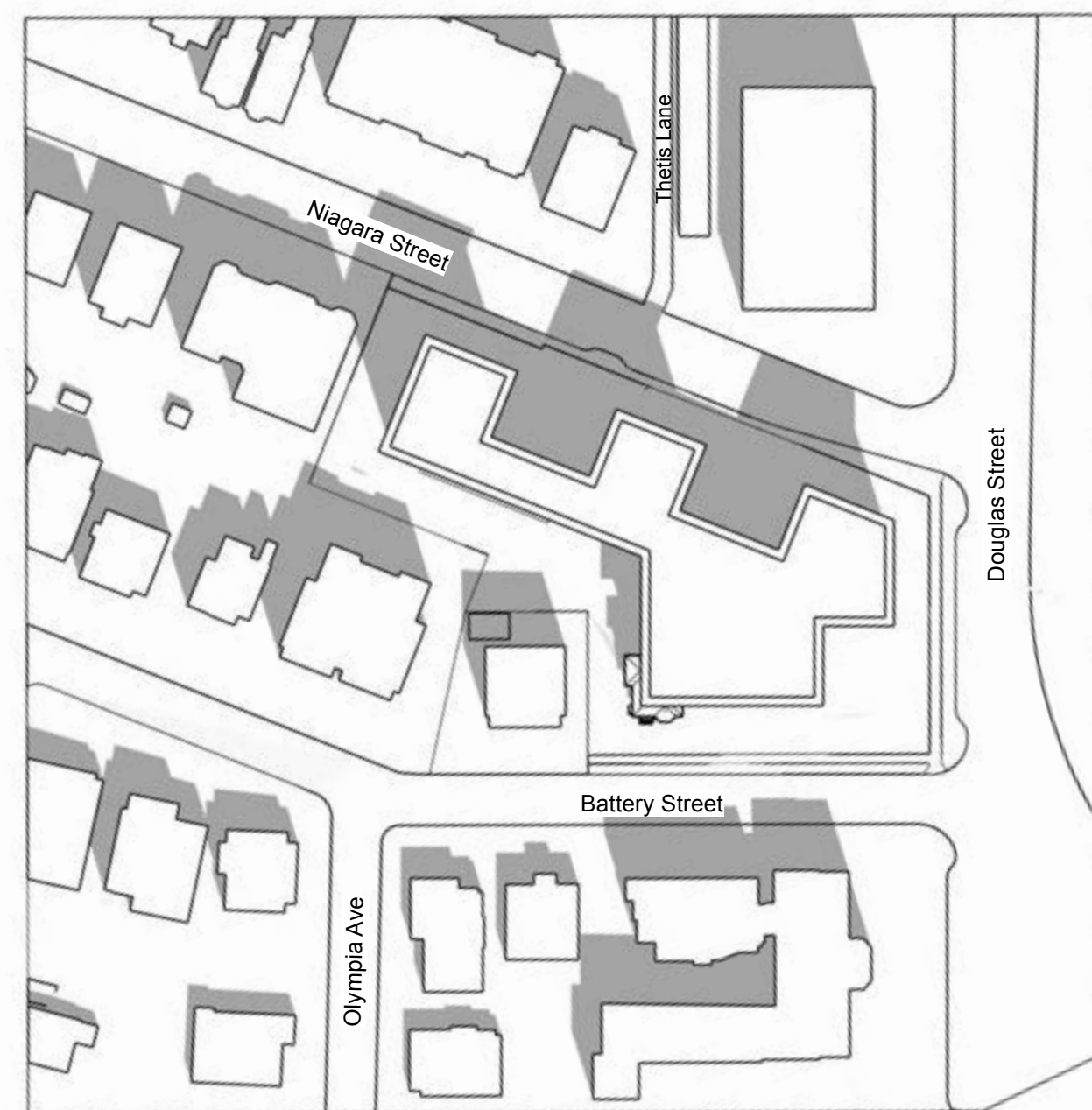
STREETSCAPES Scale N.T.S.



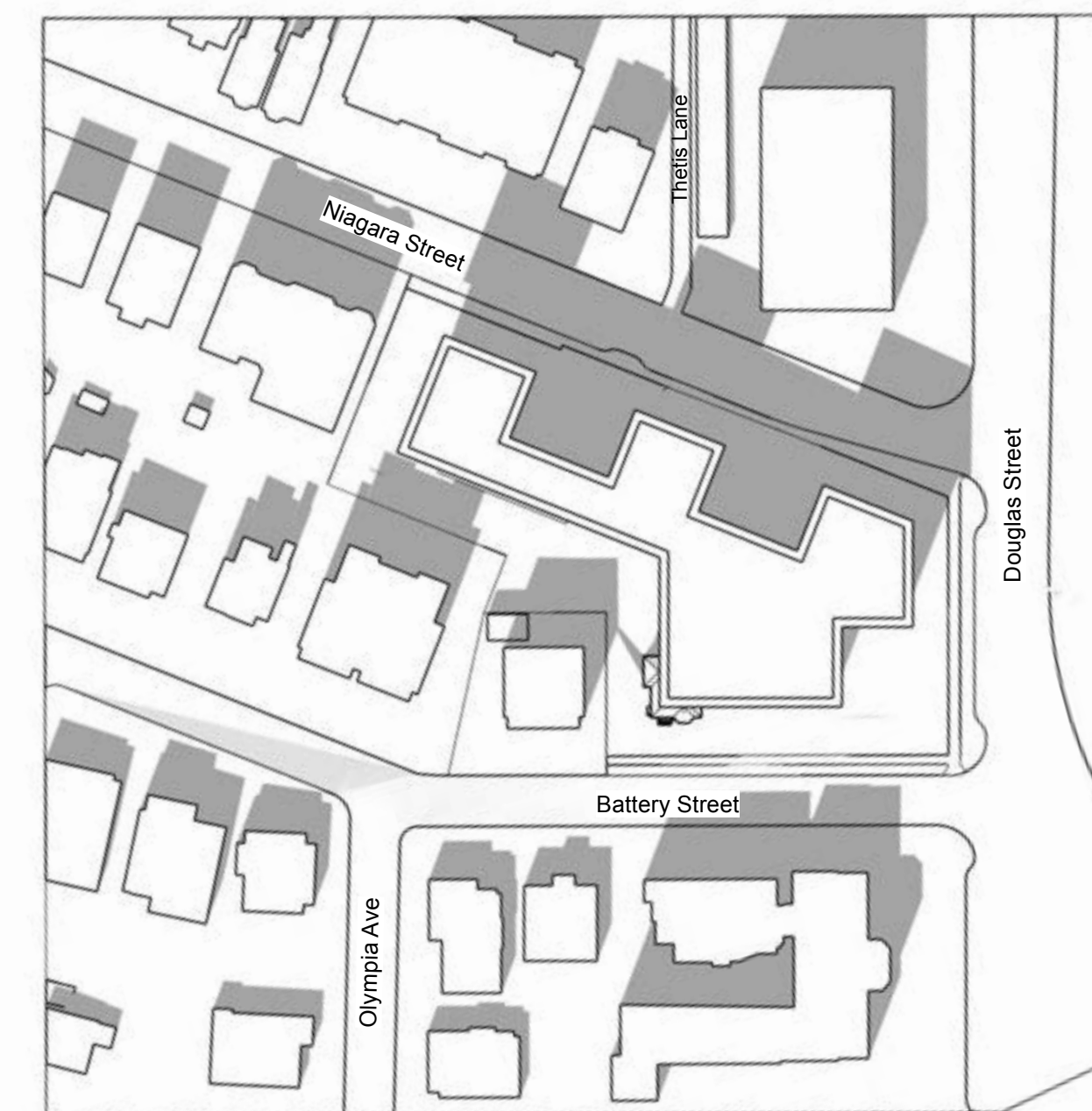
PERSPECTIVES Scale N.T.S.



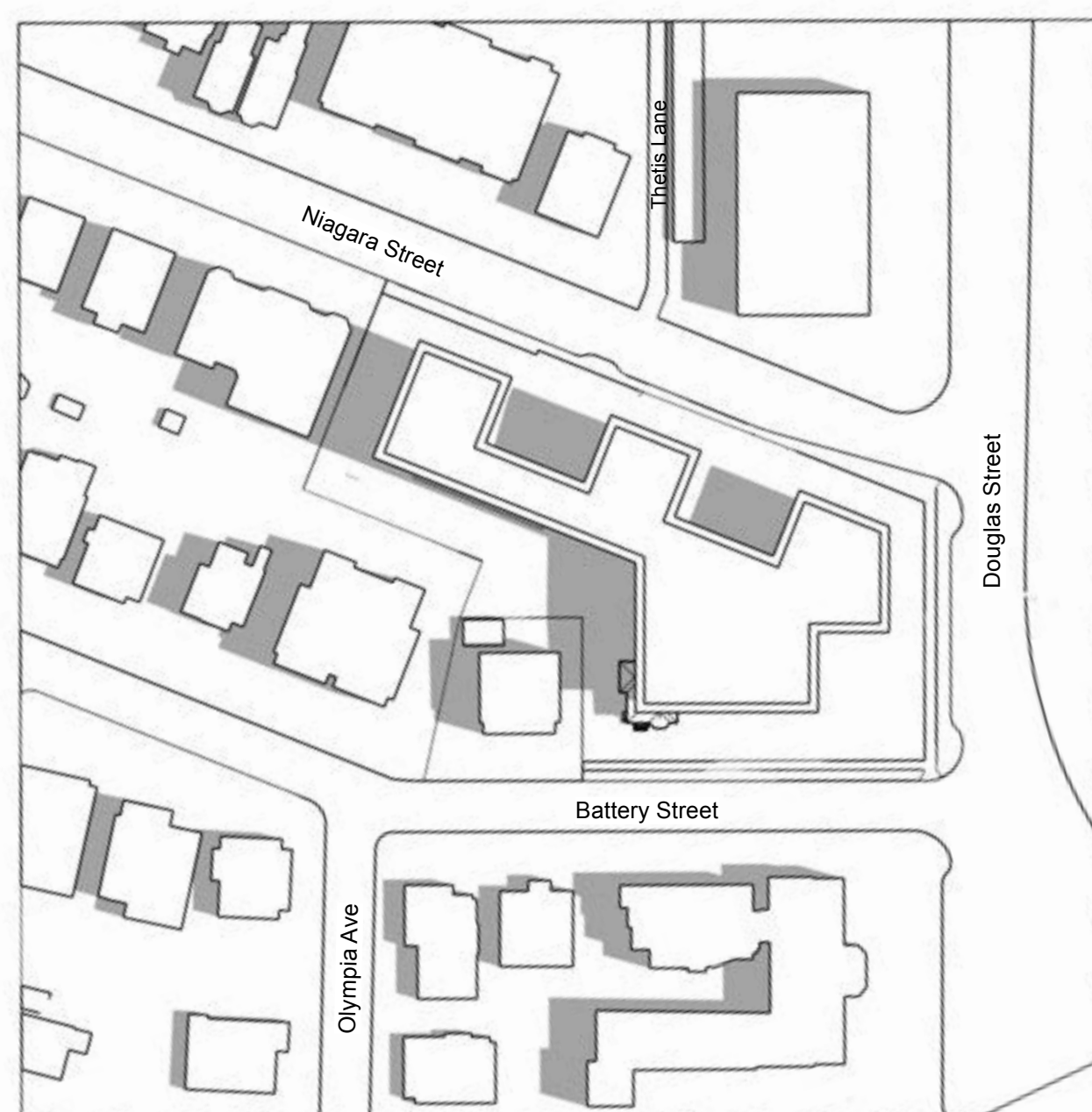
Existing Zone - March / September 10am



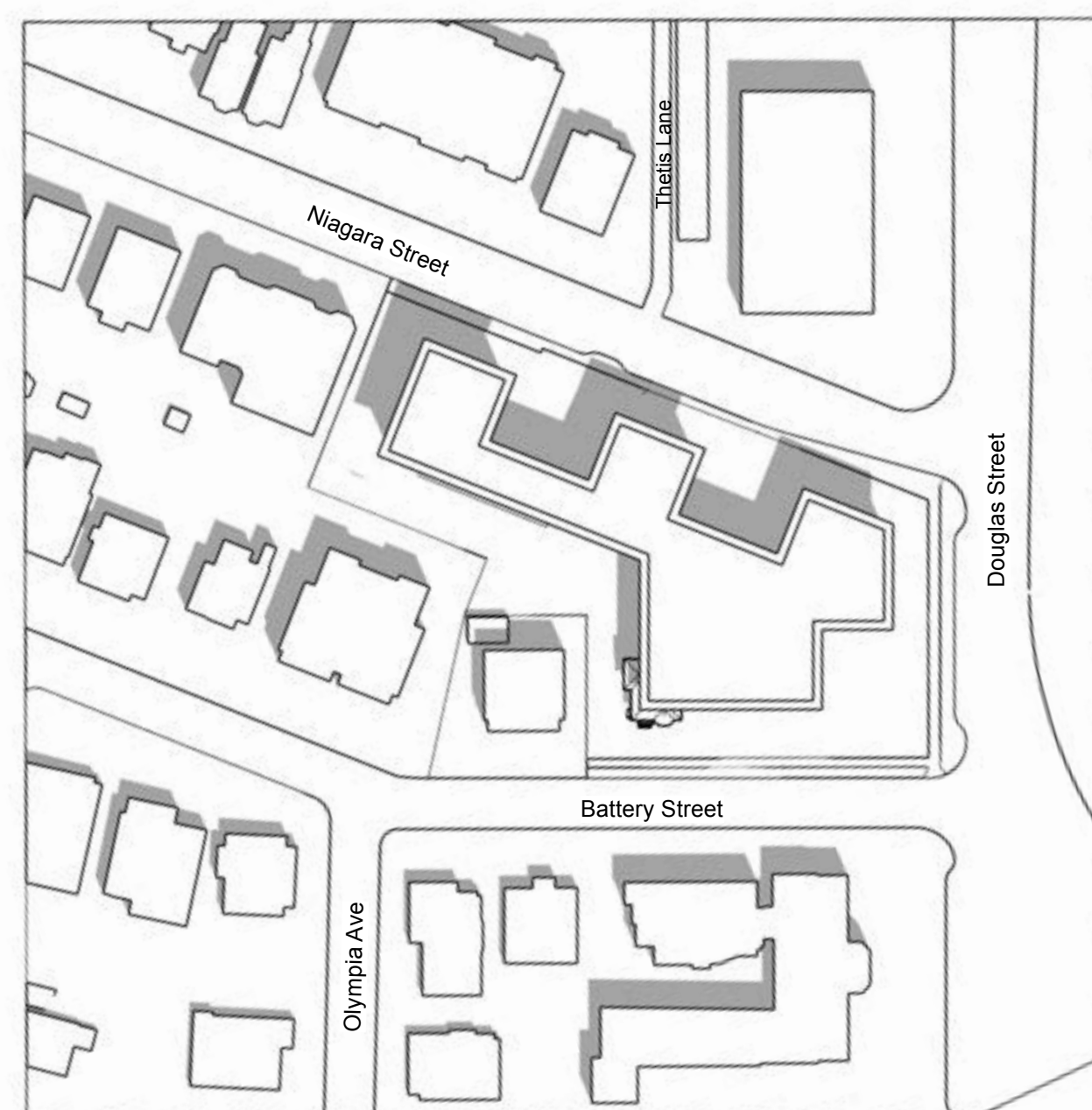
Existing Zone - March / September Noon



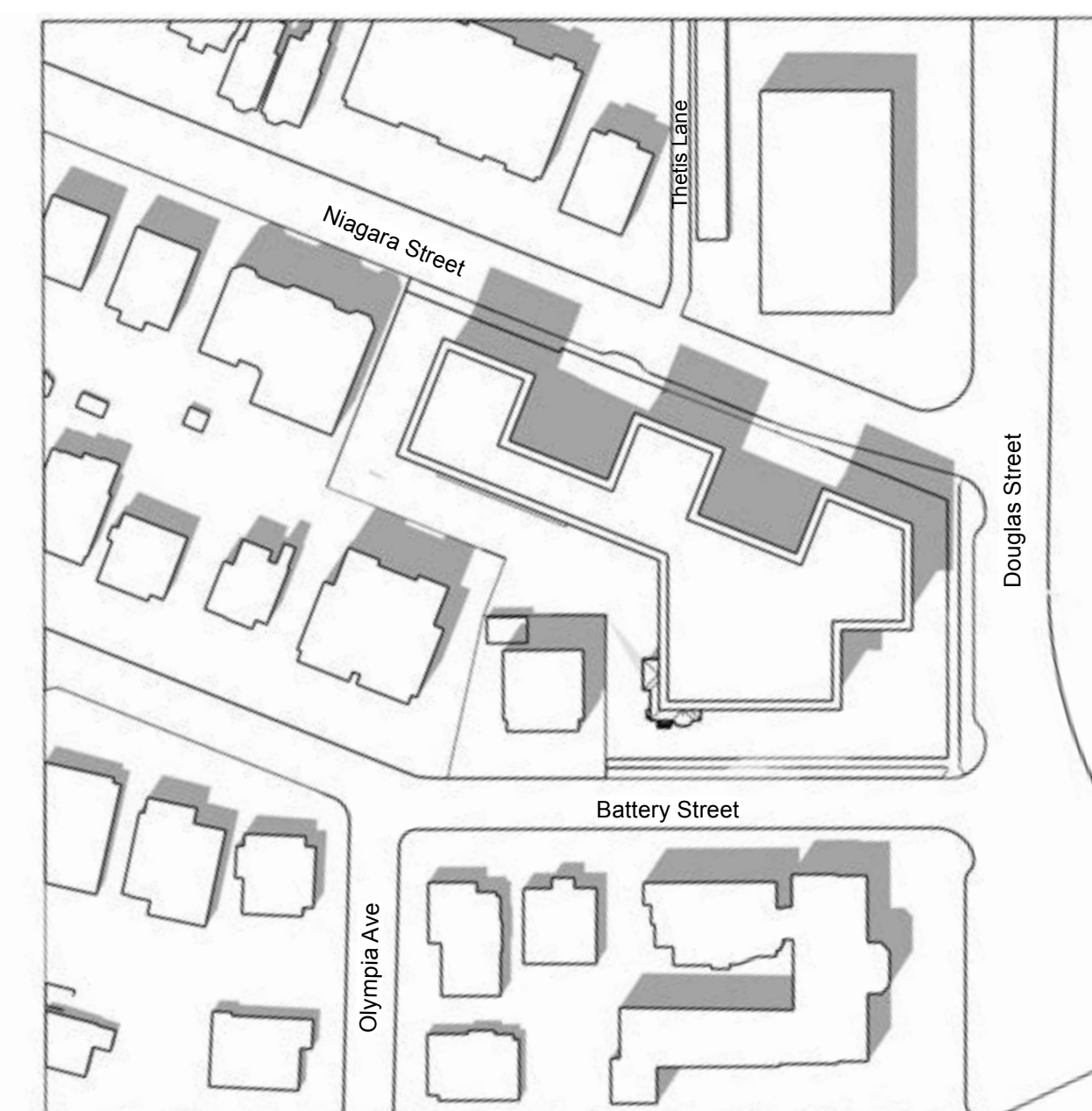
Existing Zone - March / September 2pm



Existing Zone - June 10am

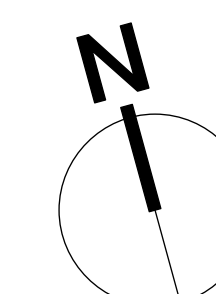


Existing Zone - June Noon



Existing Zone - June 2pm

SHADOW STUDY Scale N.T.S.





Existing Zone - December 10am

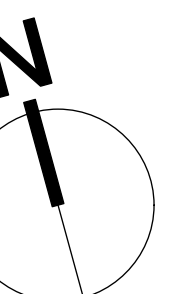


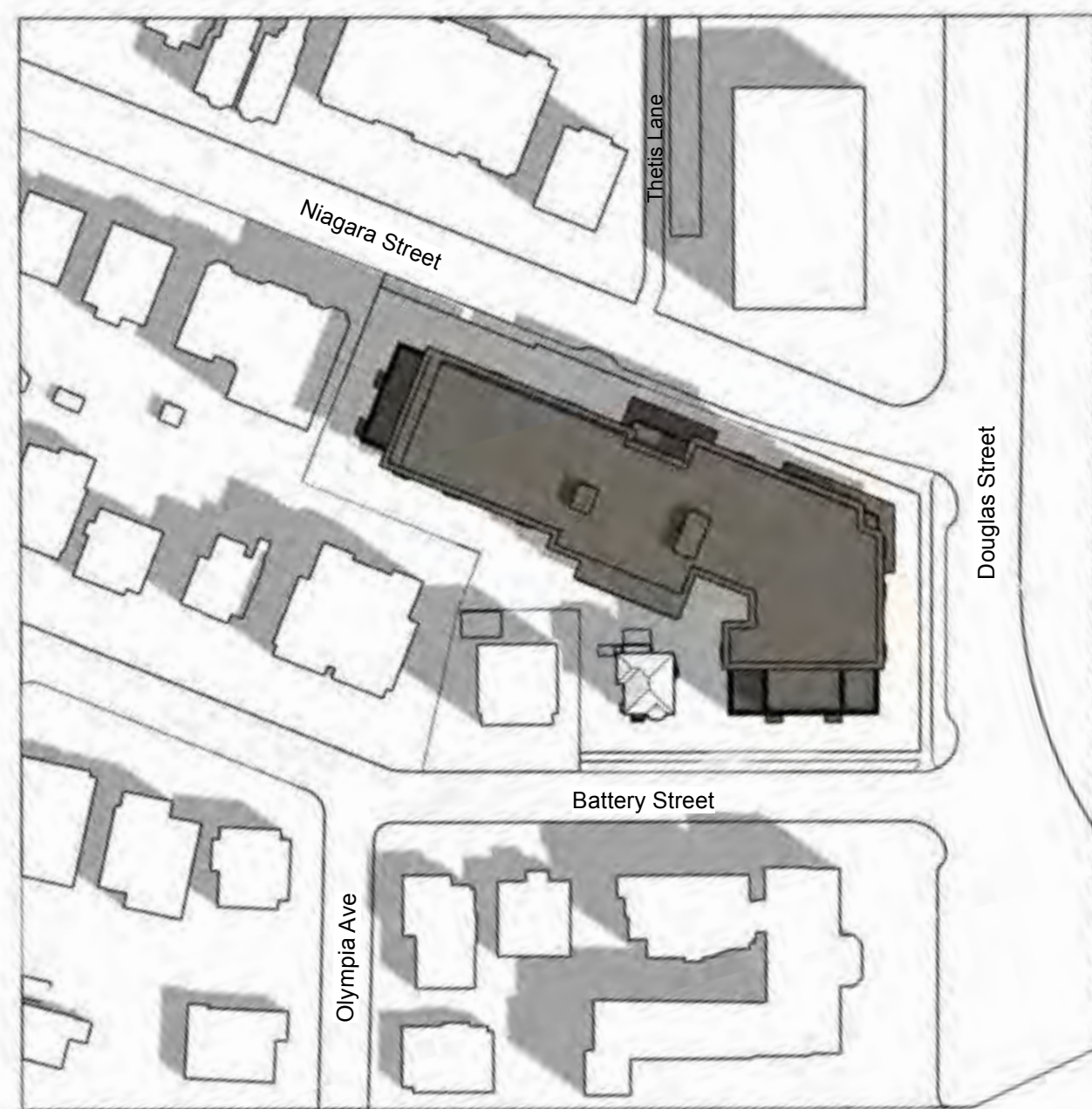
Existing Zone - December Noon



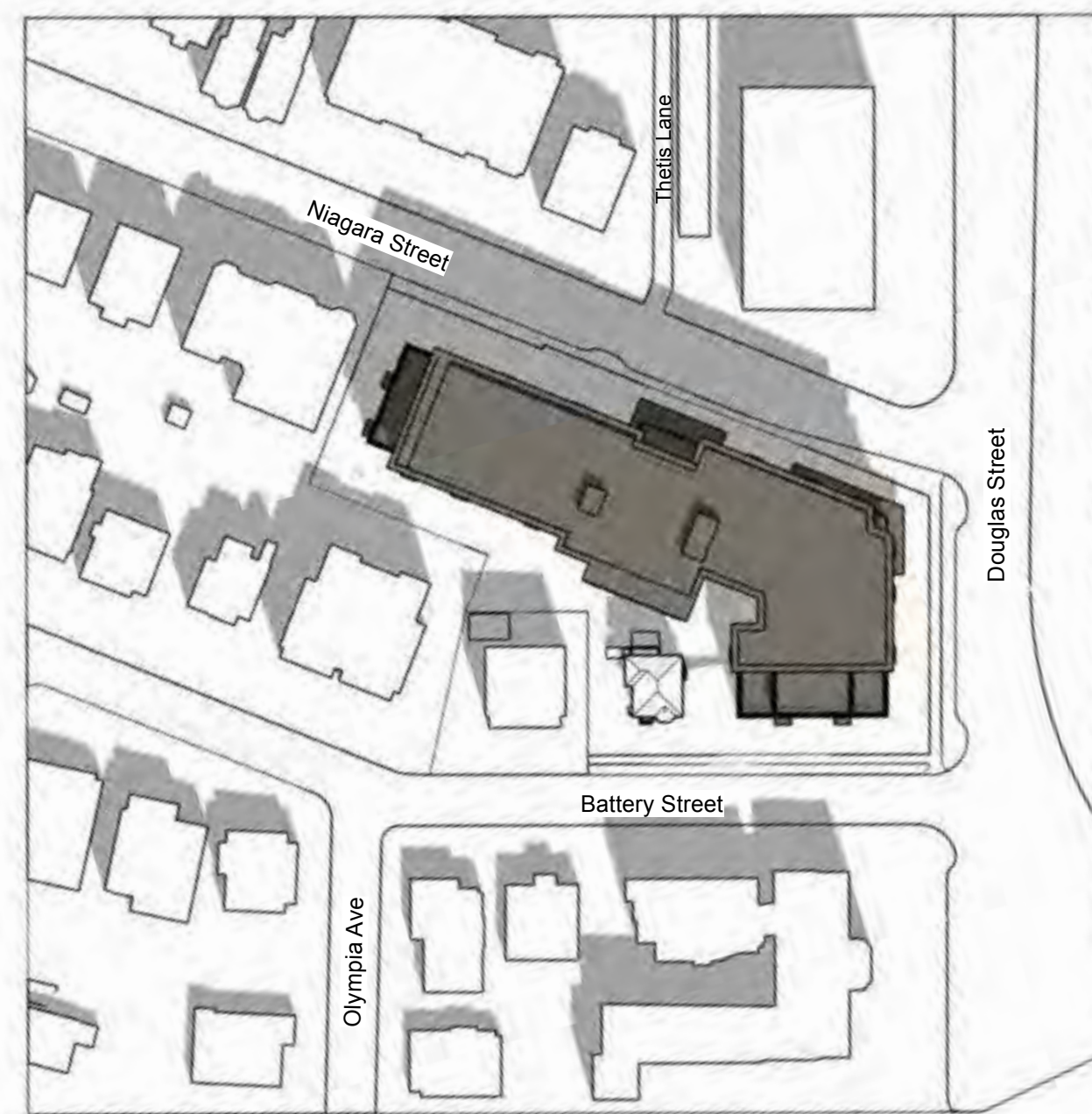
Existing Zone - December 2pm

SHADOW STUDY Scale N.T.S.





Proposed Amica House - March / September 10am



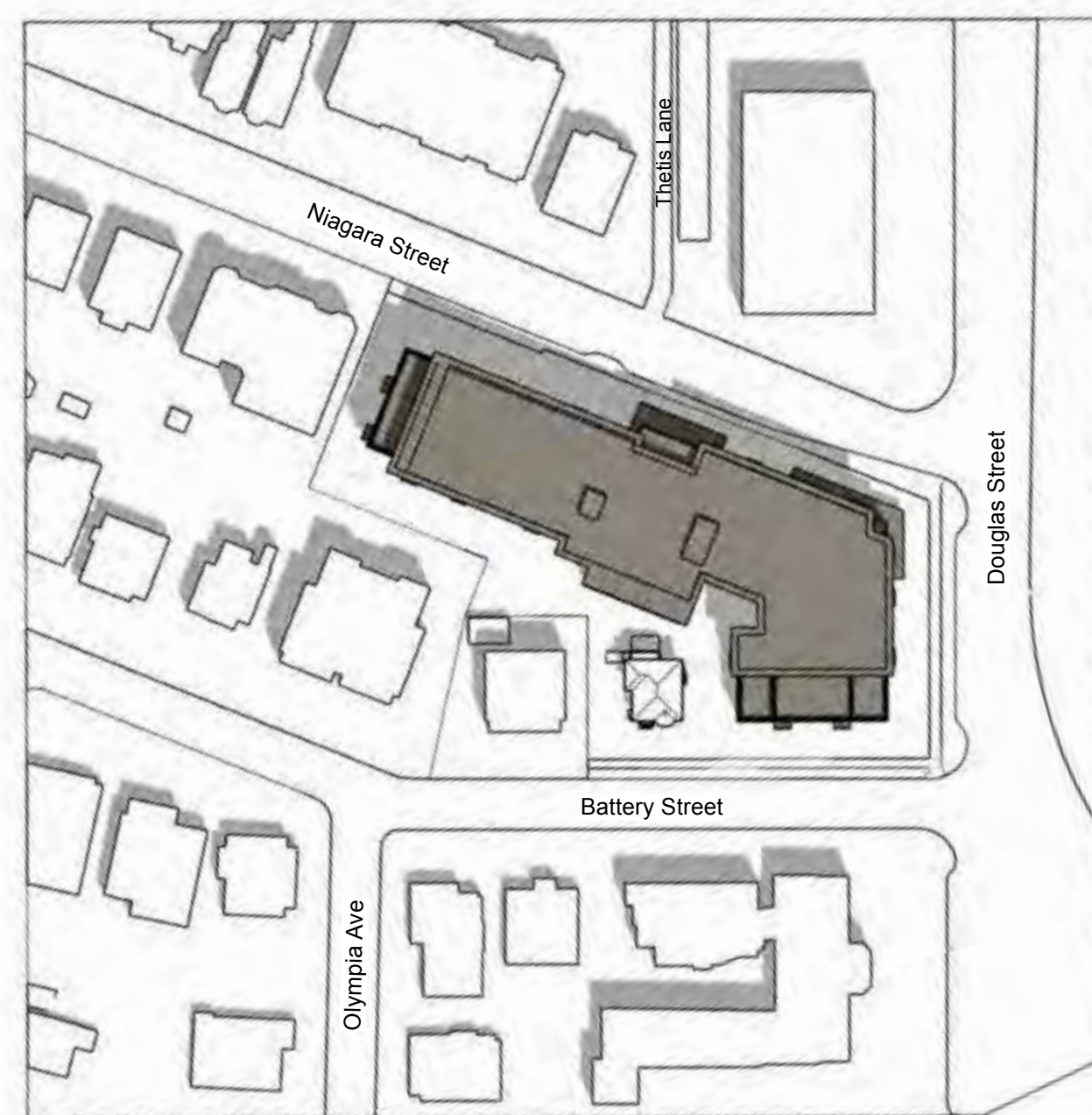
Proposed Amica House - March / September Noon



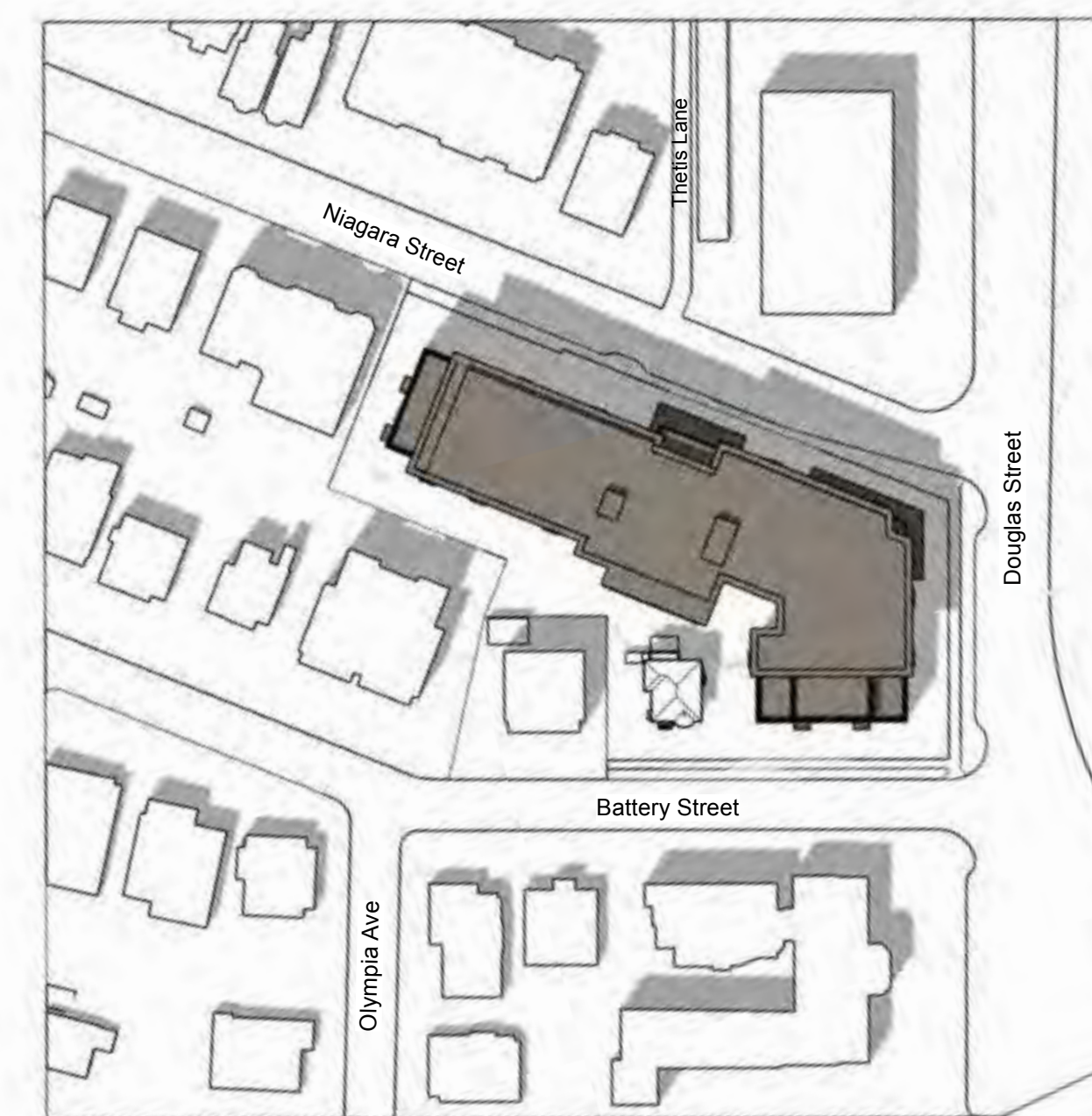
Proposed Amica House - March / September 2pm



Proposed Amica House - June 10am

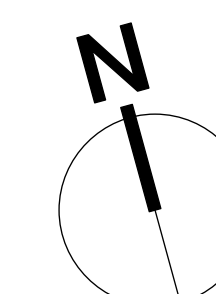


Proposed Amica House - June Noon



Proposed Amica House - June 2pm

SHADOW STUDY Scale N.T.S.





Proposed Amica House - December 10am

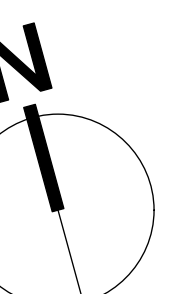


Proposed Amica House - December Noon



Proposed Amica House - December 2pm

SHADOW STUDY Scale N.T.S.



Soil Volume Compliance Table

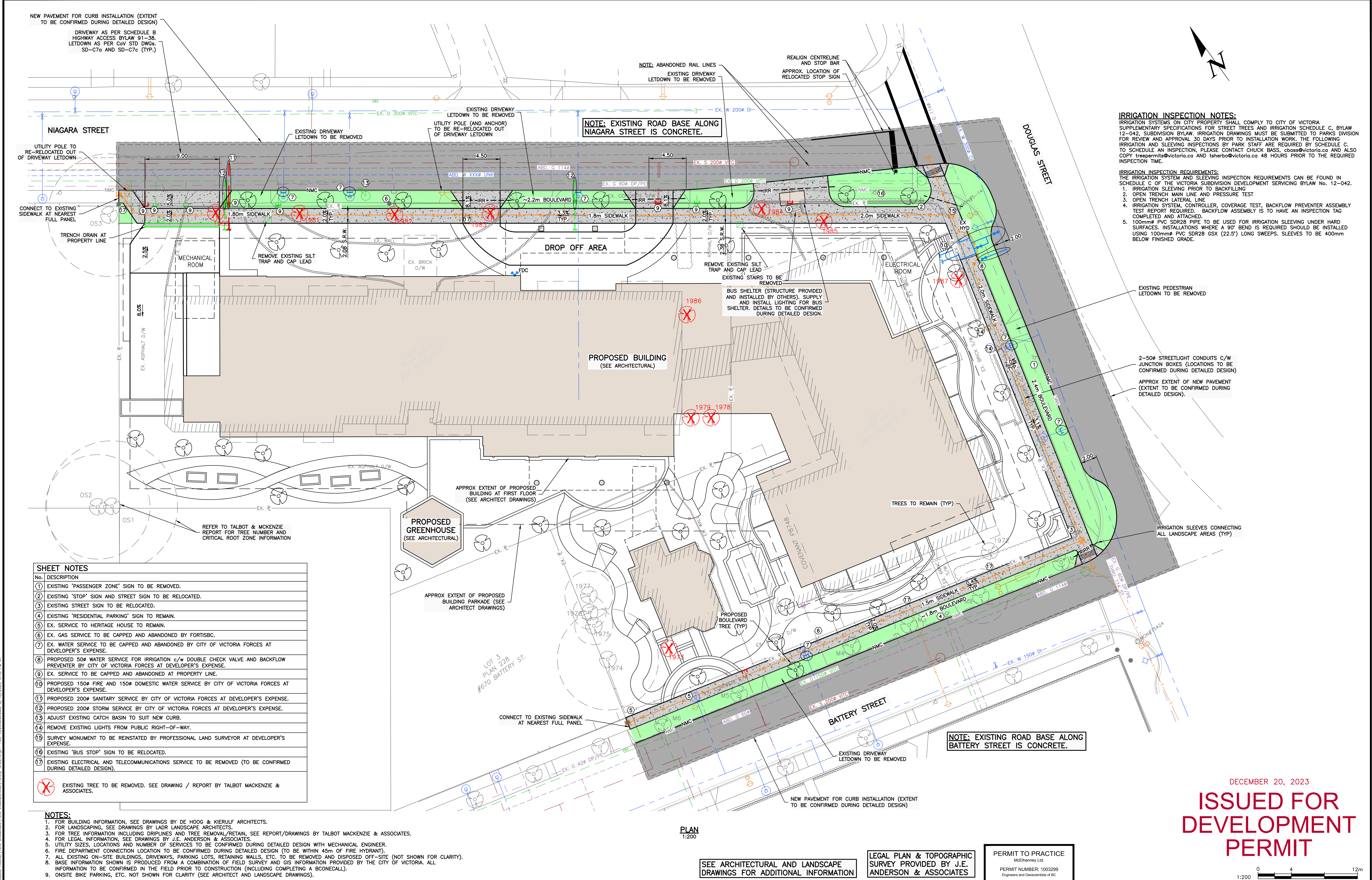
Planting Area (ID)	Area (m2)	Soil Volume (m)	Est. Soil Volume	Replacement Trees Proposed			Soil Volume Required (m3)				Compliance (Y / N)
				B # Small	C # Medium	D # Large	E # Small	F # Medium	G # Large	Total	
1	400	0.75	300	3.0	2.0	4.0	24.0	40.0	140.0	204.0	Y
2	57.5	0.75	43.125	0.0	1.0	0.0	0.0	20.0	0.0	20.0	Y
3	10.7	0.75	8.025	1.0	0.0	0.0	8.0	0.0	0.0	8.0	Y
4	84	0.75	63	3.0	1.0	0.0	24.0	20.0	0.0	44.0	Y
7	175	0.75	131.25	0.0	4.0	0.0	0.0	80.0	0.0	80.0	Y
9	377	0.75	282.75	2.0	1.0	7.0	16.0	20.0	245.0	281.0	Y
10	108	0.75	81	0.0	0.0	2.0	0.0	0.0	70.0	70.0	Y
11	59	0.75	44.25	3.0	0.0	0.0	24.0	0.0	0.0	24.0	Y
12	40.6	0.75	30.45	2.0	0.0	0.0	16.0	0.0	0.0	16.0	Y
13	18.4	0.75	13.8	1.0	0.0	0.0	8.0	0.0	0.0	8.0	Y
14	50.4	0.75	37.8	2.0	0.0	0.0	16.0	0.0	0.0	16.0	Y
16	106	0.75	79.5	0.0	1.0	0.0	0.0	20.0	0.0	20.0	Y
TOTAL			2229.9							1582.0	

Inventory of Existing Trees

Tag # or ID	Surveyed	Location	Species	Size	Health	Notes	Retention	Replacement	Notes	Retention
M1	Yes	City	City	City	City	City	City	City	City	City
M2	Yes	City	City	City	City	City	City	City	City	City
M3	Yes	City	City	City	City	City	City	City	City	City
M4	Yes	City	City	City	City	City	City	City	City	City
M5	No	City	City	City	City	City	City	City	City	City
M6	No	City	City	City	City	City	City	City	City	City
1972	Yes	On	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
1973	No	On	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
1974	Yes	On	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
1975	No	On	No	No	No	No	No	No	No	No
1976	No	On	No	No	No	No	No	No	No	No
1977	Yes	On	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
1978	No	On	No	No	No	No	No	No	No	No
1979	No	On	No	No	No	No	No	No	No	No
1980	No	On	No	No	No	No	No	No	No	No
1981	No	On	No	No	No	No	No	No	No	No
1982	No	On	No	No	No	No	No	No	No	No
1983	No	On	No	No	No	No	No	No	No	No
1984	Yes	On	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
1985	Yes	On	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
1986	No	On	No	No	No	No	No	No	No	No
1987	Yes	On	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes

Tree Preservation Summary

Tree Preservation Summary			
City of Victoria Project No: Unknown			
Address: 50 Douglas Street			
Arborist: Noah Talbot, BA			
Certifications/Qualifications: ISA Certified Arborist (PN6822A), Tree Risk Assessment Qualified			
	Count	Multiplier	Total
ONSITE Minimum replacement tree requirement			
A. Protected Trees Removed	7	X 1	A. 7
B. Replacement trees proposed per Schedule "E", Part 1	21*	X 1	B. 22*
C. Replacement trees proposed per Schedule "E", Part 2	9*	X 0.5	C. 4.5*
D. Replacement trees proposed per Schedule "E", Part 3	0*	X 1	D. 0*
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number			E. 26*
F. Onsite replacement tree deficit (A-E) Record 0 if negative number			F. 0
ONSITE Minimum trees per lot requirement (onsite trees)			
G. Tree minimum on lot*			G. 25
H. Protected trees retained (other than specimen trees)	2	X 1	H. 2
I. Specimen trees retained	0	X 3	I. 0
J. Trees per lot deficit (G - (B+C+H+I)) Record 0 if negative number			J. 0
OFFSITE Minimum replacement tree requirement (offsite trees)			
K. Protected trees Removed	0	X 1	K. 0
L. Replacement trees proposed per Schedule "E", Part 1 or Part 3	0	X 1	L. 0
M. Replacement trees proposed from Schedule "E", Part 2	0	X 0.5	M. 0
N. Total replacement trees proposed (L+M) Round down to nearest whole number			N. 0
O. Offsite replacement tree deficit (K - N) Record 0 if negative number			O. 0
Cash-in-lieu requirement			
P. Onsite trees proposed for cash-in-lieu Enter F, or J., whichever			



IRRIGATION INSPECTION NOTES:
IRRIGATION SYSTEMS ON CITY PROPERTY SHALL COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW. IRRIGATION DRAWINGS MUST BE SUBMITTED TO PARKS DIVISION FOR REVIEW AND APPROVAL, 30 DAYS PRIOR TO INSTALLATION WORK. THE FOLLOWING IRRIGATION AND SLEEVING INSPECTIONS BY PARK STAFF ARE REQUIRED BY SCHEDULE C, TO SCHEDULE AN INSPECTION, PLEASE CONTACT CHUCK BASS, cbass@victoria.ca AND ALSO COPY treepermits@victoria.ca AND tshebo@victoria.ca 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME.

IRRIGATION INSPECTION REQUIREMENTS:
THE IRRIGATION SYSTEM AND SLEEVING INSPECTION REQUIREMENTS CAN BE FOUND IN SCHEDULE C OF THE VICTORIA SUBDIVISION DEVELOPMENT SERVICING BYLAW No. 12-042.
1. IRRIGATION SLEEVING PRIOR TO BACKFILLING
2. OPEN TRENCH MAIN LINE AND PRESSURE TEST
3.