

NOTE: For descriptive information pertaining to Landscape Architectural changes, please refer to the included letter prepared by Biophilia Design Collective Ltd.

Changes Made to Rezoning Documents

Revision Number	Revision Title	Drawing	Description
1	Foul Bay Frontage	A1.0, A2.0, A2.1, A3.0, A4.0	In response to comments from Development Services, street-facing entries with canopies/awnings and patios with gated steps up the sidewalk have been added to all ground level units on Foul Bay (see item #7 for increase to Site Coverage). In response to comments from the Transportation Planner, a 1.75m paved sidewalk has been added to Foul Bay, stopping at the last unit entry path (future extension is shown dashed). The S.R.W. has also been reduced to exclude the existing heritage rock wall and gate post. Existing trees to be retained and removed have been updated and coordinated with Landscape and the Arborist's report.
2	Quamichan Street Frontage	A1.0, A2.1	In response to comments from the Transportation Planner, the number of openings through the existing stone wall has been reduced to one by combing the unit entry and through-site paths. To accommodate, the short-term bike parking has been moved east, and two spaces have been relocated adjacent to the Redfern entry paths.
3	Redfern Frontage	A1.0, A2.1	In response to comments from the Transportation Planner, the number of unit entry paths has been reduced by one. Paths outside the property line have been changed to solid paving.
4	Electrical	A2.1, A4.0	An electrical room has been added, under the stairs to Unit C.
5	Distance Between Buildings	A1.0	In response to comments from the Plan Checker, a dimension from the East Building to the West Building (bay window) has been added. Note that the bay window does not overlap the East Building.
6	Tree Clarification	A1.0	Tree location and status updated and coordinated with Landscape and the Arborist's report.
7	Site Coverage	A1.0	Site Coverage has been adjusted to account for the new entry steps and patios along Foul Bay.
8	Redfern Tree	A3.2	Tree size reduced.
9	Play Area	A1.0, A2.1	Configuration of Play Area revised to accommodate new trees.

Legend



Revision bubble



Revision number

List of Drawings

Architectural

D'Ambrosio architecture + urbanism
2960 Jutland Road
Victoria, BC
V8T 5K2

A0.0 Cover Sheet
A0.1 Site Survey + Location Plan
A0.2 Shadow Analysis
A0.3 3D Shadow Analysis

A1.0 Site Plan + Project Information
+ Grade Calculation
A2.0 Basement Plan
A2.1 First Storey Plan
A2.2 Second Storey Plan
A2.3 Third Storey Plan
A2.4 Roof Plan

A3.0 East Building Elevations
A3.1 West Building Elevations
A3.2 Street/Context Elevations
A3.3 Materials Palette

A4.0 Building Sections
A4.1 Roof Sections

Landscape

Biophilia Design Collective Ltd.
1608 Camosun Street
Victoria, BC
V8T 3E6

L0 Cover Page
L1 Landscape Site Plan
L2 Green Roof on Parking Facility
L3 Green Roof over Second Storey
L4 Existing Tree Removal and Retention Plan
L5 Arborist Report of Existing Trees
L6 Tree Planting Plan
L7 Shrub Planting Plan
L8 Planting Imagery
L9 Design Detail

Civil

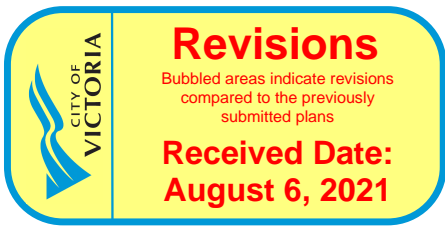
J.E. Anderson
4212 Glenford Ave.
Victoria, BC
V8Z 4B7

C1 Site Servicing Plan

D'AMBROSIO
architecture + urbanism

2960 Jutland Road
Victoria BC Canada V8T5K2

tel 250.384.2400
fax 250.384.7893
eml mail@fdarc.ca
web www.fdarc.ca



Bubbled Set

Changes made as a result of the
Application Review and Plan Check

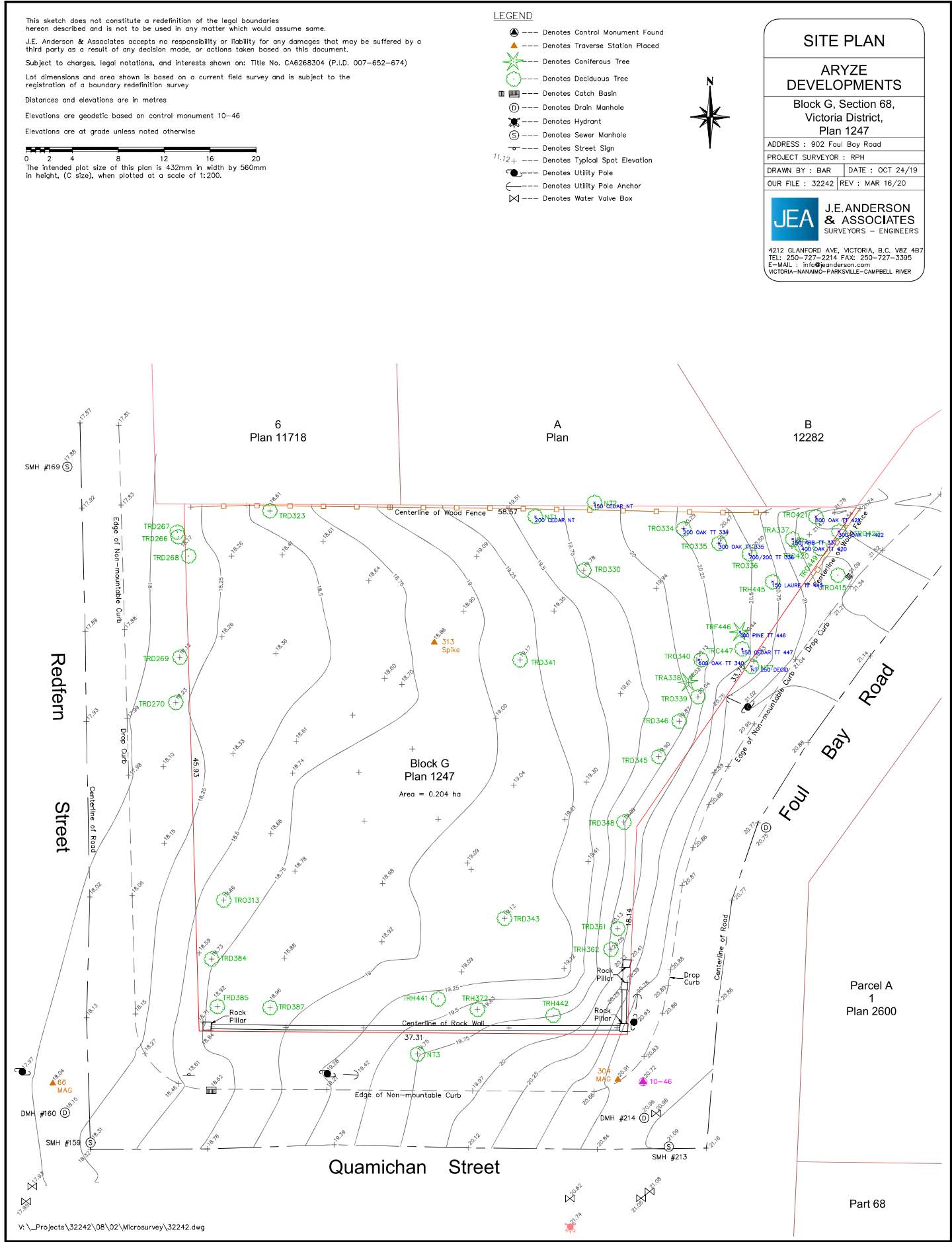
902 Foul Bay Road

Victoria B.C.



Revised Rezoning III
July 29, 2021

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1 June 21 • 9:00am
SCALE: nts



2 June 21 • 12:00pm
SCALE: nts



3 June 21 • 5:00pm
SCALE: nts



4 March 21 • 9:00am
SCALE: nts



5 March 21 • 12:00pm
SCALE: nts



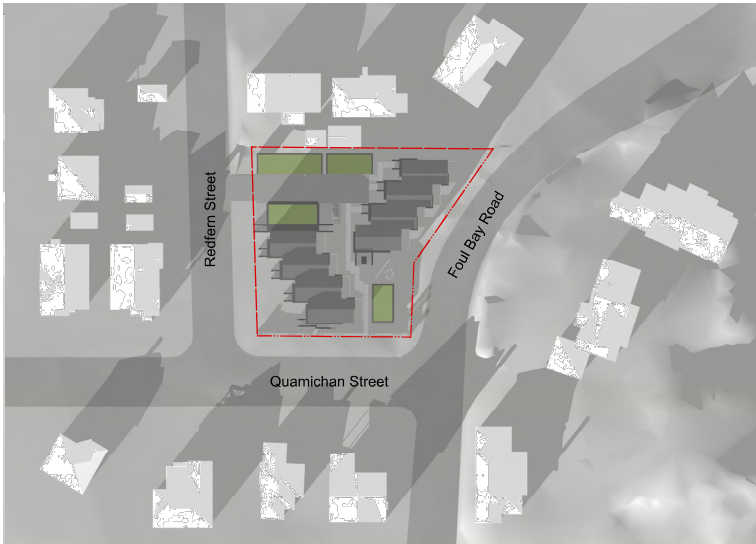
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7 December 21 • 10:00am
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8 December 21 • 12:00pm
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9 December 21 • 3:00pm
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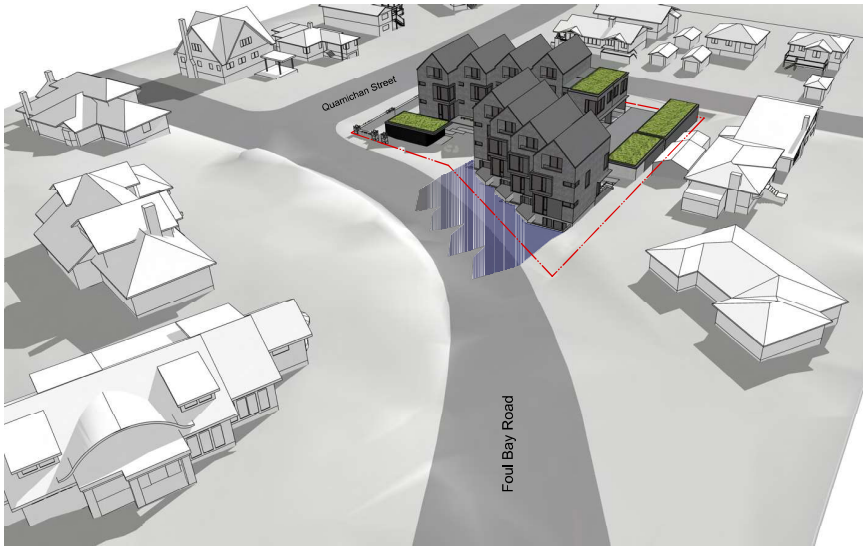
4	REVISED REZONING SUBMISSION III	21.07.29
3	REVISED REZONING SUBMISSION II	21.01.12
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1	ISSUED FOR REZONING	20.04.17
rev no	description	date
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project name		
902 Foul Bay Road Victoria, BC		
sheet title		
Shadow Studies		
project no.		1933
drawing file		
date		21.01.12
scale		1:100
drawn by		JDH
checked by		ES
revision no.	sheet no.	
4	A0.2	



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3 June 21 • 5:00pm
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project name		
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sheet title		
3D Shadow Studies		
project no.		1933
drawing file		
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scale		1:100
drawn by		JDH
checked by		ES
revision no.	sheet no.	
4	A0.3	



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Graphics Legend

- 16.10 (FIN) Geodetic Grade Elevation, Finished and Natural (Extrapolated from survey by J.E. Anderson, dated Oct. 24, 2019)
- 16.38 (EX) Geodetic Grade Elevation, Finished and Existing (Extrapolated from survey by J.E. Anderson, dated Oct. 24, 2019)
- A I Data Point for Grade Calculation
- O Existing Tree, Retain
- Existing Tree, Remove
- Proposed Trees, Refer to Landscape Plans

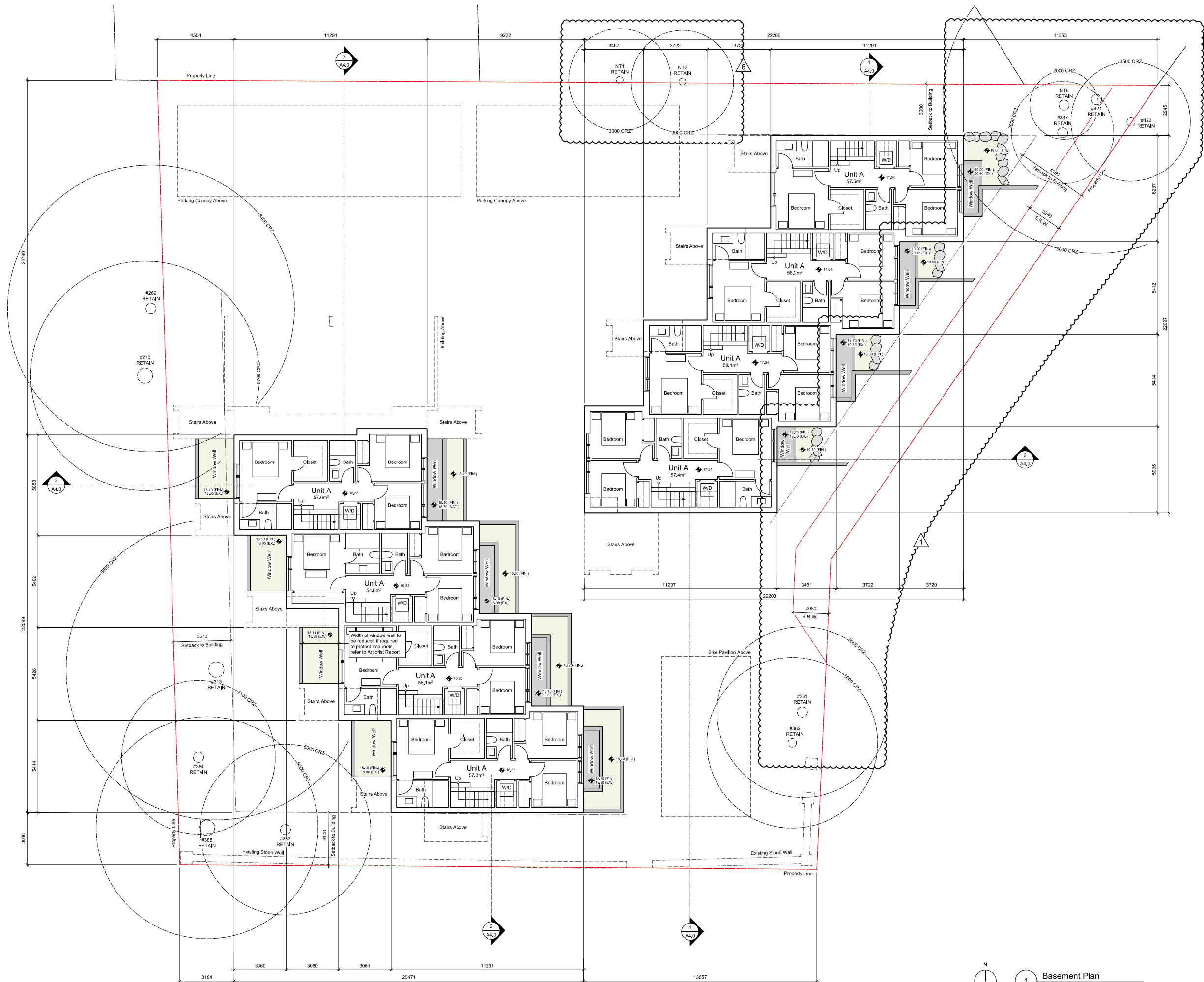
902 FOUL BAY - BIKE PARKING CANOPY
Average Grade Calculation

Grade Points (m Geodetic)	Interval	Average	Distance (m)	Subtotal
81 19.30	P1-P2	19.30	1.22	106.75
82 19.40	P2-P3	19.35	9.40	181.91
83 19.75	P3-P4	19.63	5.22	102.44
84 19.30	P4-P1	19.35	9.40	181.89
TOTAL:				469.99
AVERAGE GRADE:				19.30 m

902 FOUL BAY - PARKING CANOPY
Average Grade Calculation

Grade Points (m Geodetic)	Interval	Average	Distance (m)	Subtotal
P1 18.30	P1-P2	18.30	26.40	596.40
P2 19.65	P2-P3	19.48	5.10	99.32
P3 19.30	P3-P1	18.75	29.40	531.25
TOTAL:				1,226.97
AVERAGE GRADE:				18.89 m

902 FOUL BAY - WEST BUILDING					
Average Grade Calculation					
Grade Points (m Geodetic)	Interval	Average Grade	Distance (m)	Subtotal	
1	18.80	1-2	18.85	5.22	97.41
2	18.70	2-3	18.70	3.67	67.39
3	18.70	3-4	18.70	1.98	37.94
4	18.70	4-5	18.70	1.38	25.56
5	18.70	5-6	18.70	1.22	22.80
6	18.70	6-7	18.70	0.92	16.36
7	18.10	7-8	18.10	0.92	16.36
8	18.10	8-9	18.10	0.92	16.36
9	18.10	9-10	18.10	0.92	16.36
10	18.10	10-11	18.10	0.92	16.36
11	18.10	11-12	18.10	1.22	22.52
12	18.90	12-13	18.90	0.93	17.50
13	18.90	13-14	18.90	1.42	26.31
14	18.10	14-15	18.10	3.99	59.00
15	18.10	15-16	18.10	0.92	16.36
16	18.10	16-17	18.10	0.92	16.36
17	18.10	17-18	18.10	1.22	22.52
18	18.10	18-19	18.10	0.93	17.50
19	18.10	19-20	18.10	1.42	26.80
20	18.10	20-21	18.10	0.92	16.36
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23	18.10	23-24	18.10	0.92	16.36
24	18.10	24-25	18.10	1.22	22.52
25	18.10	25-26	18.10	0.93	17.51
26	18.10	26-27	18.10	1.42	26.80
27	18.10	27-28	18.10	0.92	16.36
28	18.10	28-29	18.10	3.99	72.24
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30	18.10	30-31	18.10	1.43	27.05
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32	19.00	32-33	18.95	3.71	70.25
33	18.90	33-34	18.90	1.73	32.44
34	18.90	34-35	18.95	4.27	80.41
35	18.80	35-36	18.75	2.13	40.01
36	18.10	36-37	18.10	0.92	16.36
37	18.10	37-38	18.10	2.44	44.11
38	18.10	38-39	18.10	1.38	25.56
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40	18.10	40-41	18.10	3.27	61.86
41	18.10	41-42	18.10	2.14	38.97
42	18.10	42-43	18.10	0.92	16.36
43	18.10	43-44	18.10	2.44	44.11
44	18.10	44-45	18.10	3.38	61.25
45	18.10	45-46	18.10	2.24	40.45
46	18.10	46-47	18.10	0.92	16.36
47	18.10	47-48	18.10	0.92	16.36
48	18.10	48-49	18.10	3.27	61.86
49	18.10	49-50	18.10	2.13	39.99
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53	18.10	53-54	18.10	2.24	40.45
54	18.10	54-55	18.10	0.92	16.36
55	18.10	55-56	18.10	3.26	60.84
56	18.20	56-57	18.20	2.13	38.84
57	18.10	57-58	18.10	2.44	44.11
58	18.10	58-59	18.10	1.48	26.92
59	18.10	59-60	18.10	2.24	40.45
60	18.10	60-61	18.10	2.24	40.45
61	18.10	61-62	18.10	1.42	25.79
62	18.30	62-63	18.18	1.42	25.79
63	18.30	63-64	18.18	1.96	35.34
64	18.15	64-65	18.20	2.95	53.14
65	18.15	65-66	18.15	2.32	42.19
66	18.20	66-67	18.15	2.32	42.19
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AVERAGE GRADE:				18.41	



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4	REVISED REZONING SUBMISSION III	21.07.29
3	REVISED REZONING SUBMISSION II	21.01.12
2	REVISED REZONING SUBMISSION	20.07.16
1	ISSUED FOR REZONING	20.04.17

project name
902 Foul Bay Road
Victoria, BC

sheet title
Basement Plan

project no.	1933
drawing file	
date	21.01.12
scale	1:100
drawn by	JDH
checked by	ES

revision no.	sheet no.
4	A2.0

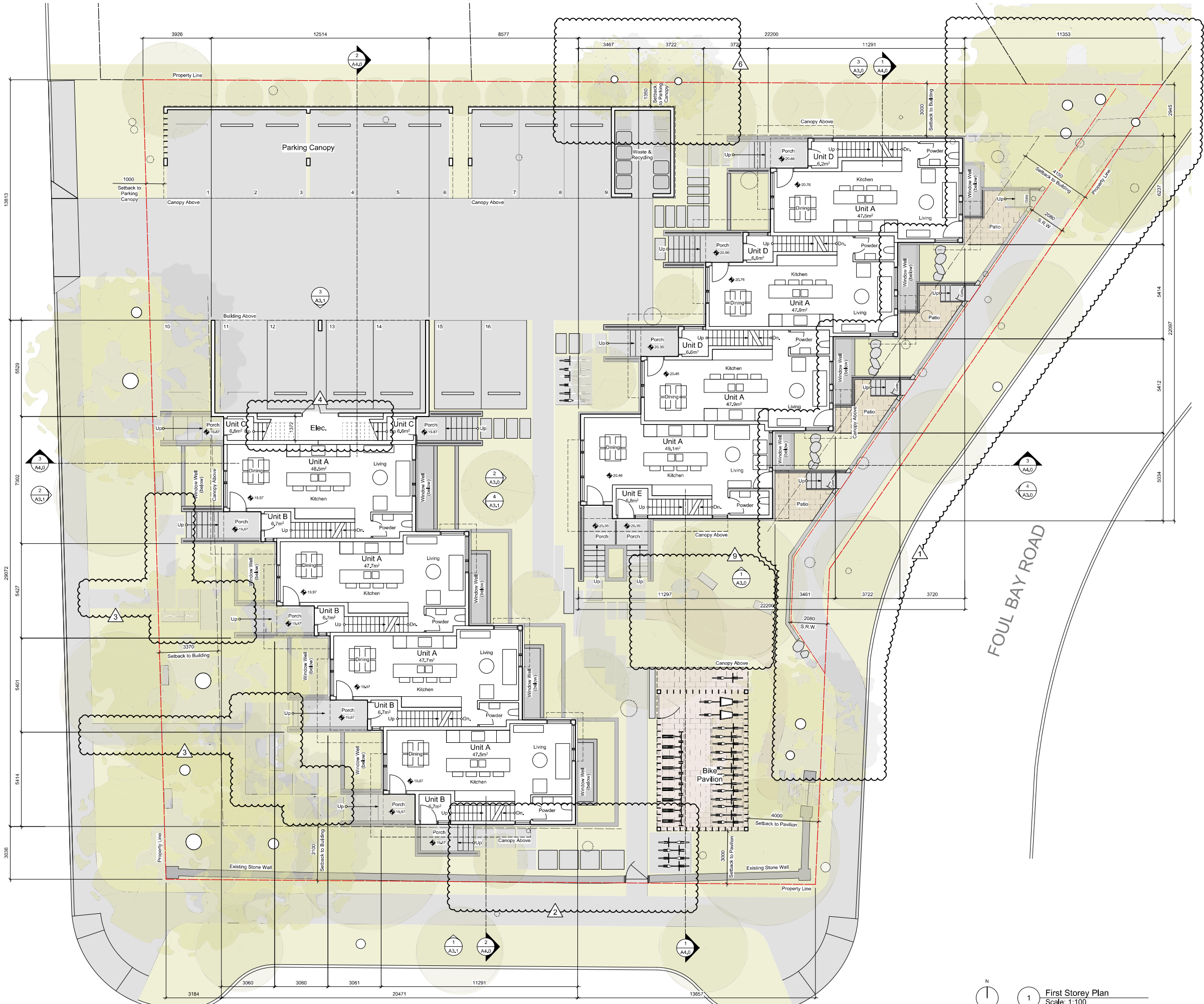


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REDFERN STREET

FOUL BAY ROAD

QUAMICHAN STREET



1 First Storey Plan
Scale: 1:100

rev no	description	date
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Victoria, BC

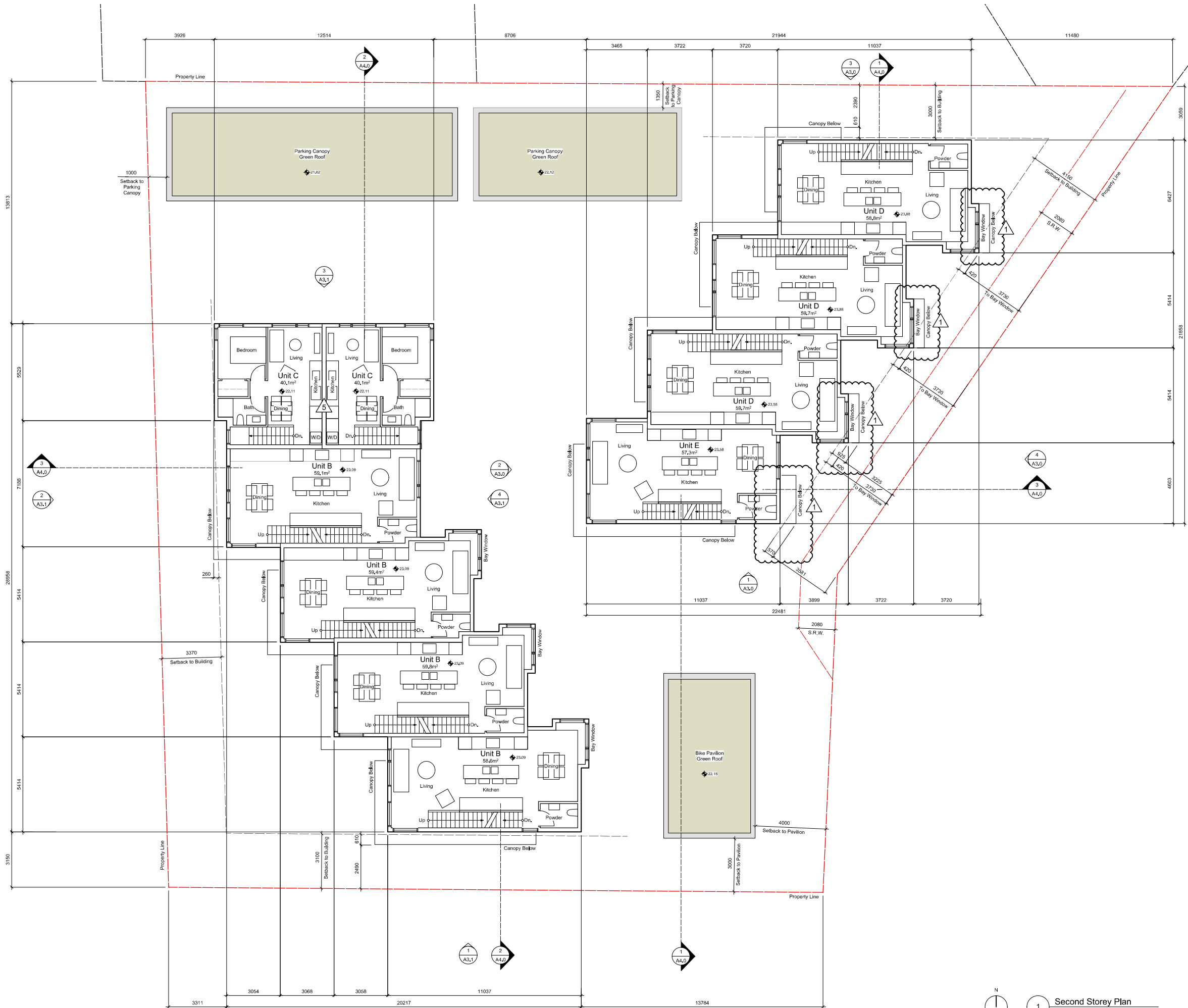
sheet title
First Storey Plan

project no.	1933
drawing file	
date	21.01.12
scale	1:100
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4 A2.1



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rev no	description	date
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3	REVISED REZONING SUBMISSION II	21.01.12
2	REVISED REZONING SUBMISSION	20.07.16
1	ISSUED FOR REZONING	20.04.17

project name
902 Foul Bay Road
Victoria, BC

sheet title
Second Storey Plan

project no. 1933

drawing file

date 21.01.12

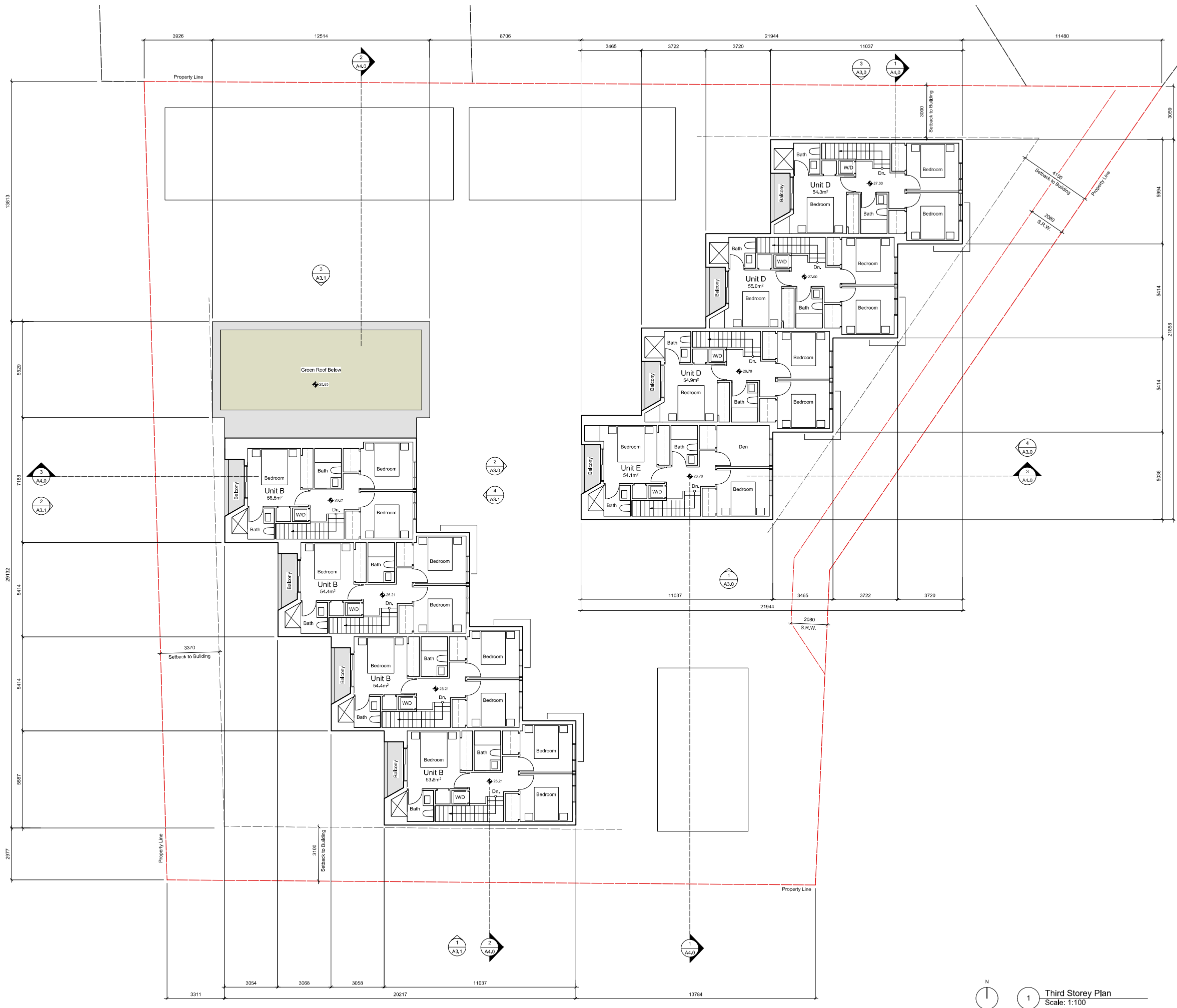
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drawn by JDH

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revision no. sheet no.

4 A2.2



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rev no	description	date
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project name
902 Foul Bay Road
Victoria, BC

sheet title
Third Storey Plan

project no. 1933

drawing file

date 21.01.12

scale 1:100

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rev no	description	date
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project name
902 Foul Bay Road
Victoria, BC

sheet title
Roof Plan

project no. 1933

drawing file

date 21.01.12

scale 1:100

drawn by JDH

checked by ES

revision no. sheet no.

4

A2.4



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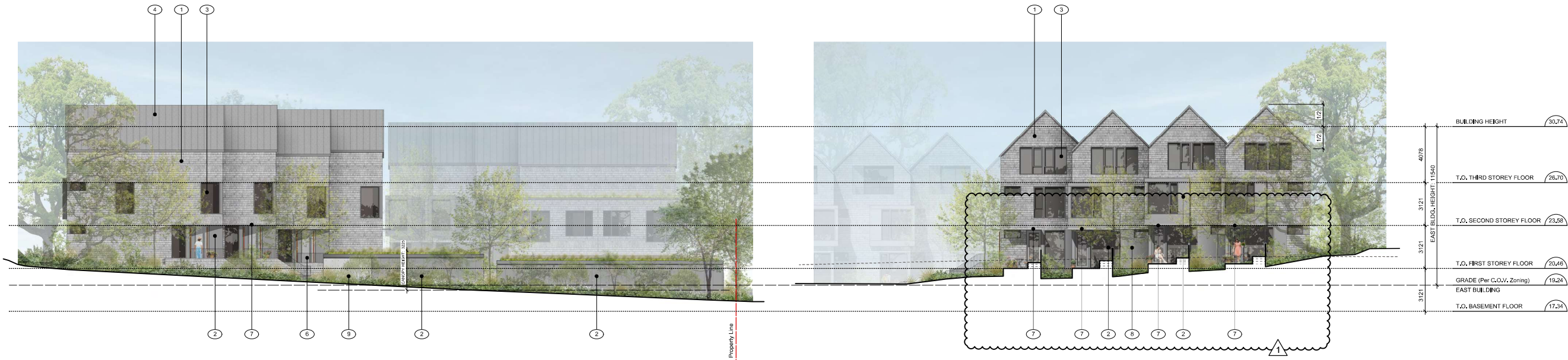
Materials Key

- 1 Painted Shingle Cladding - Warm Grey
- 2 Panel Cladding - Charcoal
- 3 Windows / Doors - Charcoal
- 4 Prefinished Metal Roof - Weathered Zinc
- 5 Painted Wood Steps - Warm Grey
- 6 Painted Metal Picket Guard - Charcoal
- 7 Painted Metal Plate Awning - Charcoal
- 8 Render - Warm Grey
- 9 Architectural Concrete



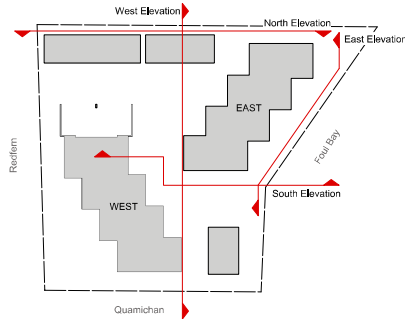
1 East Building • South Elevation
Scale: 1:150

2 East Building • West Elevation
Scale: 1:150



3 East Building • North Elevation
Scale: 1:150

4 East Building • East Elevation (Foul Bay)
Scale: 1:150



rev no	description	date
4	REVISED REZONING SUBMISSION III	21.07.29
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project name
902 Foul Bay Road
Victoria, BC

sheet title
East Building Elevations

project no. 1933

drawing file

date 21.01.12

scale 1:150

drawn by JDH

checked by ES

revision no. 4 sheet no. A3.0



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Materials Key

- 1 Painted Shingle Cladding - Warm Grey
- 2 Panel Cladding - Charcoal
- 3 Windows / Doors - Charcoal
- 4 Prefinished Metal Roof - Weathered Zinc
- 5 Painted Wood Steps - Warm Grey
- 6 Painted Metal Picket Guard - Charcoal
- 7 Painted Metal Plate Awning - Charcoal
- 8 Render - Warm Grey
- 9 Architectural Concrete



1 West Building • South Elevation (Quamichan)
Scale: 1:150



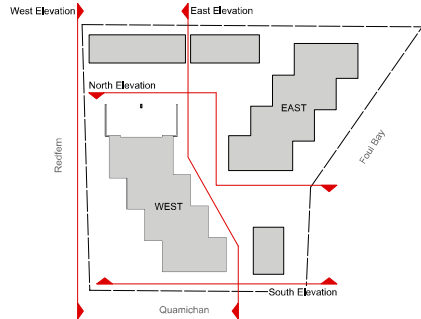
2 West Building • West Elevation (Redfern)
Scale: 1:150



3 West Building • North Elevation
Scale: 1:150



4 West Building • East Elevation
Scale: 1:150



4	REVISED REZONING SUBMISSION III	21.07.29
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rev no	description	date

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project name
902 Foul Bay Road
Victoria, BC

sheet title
West Building Elevations

project no. 1933

drawing file

date 21.01.12

scale 1:150

drawn by JDH

checked by ES

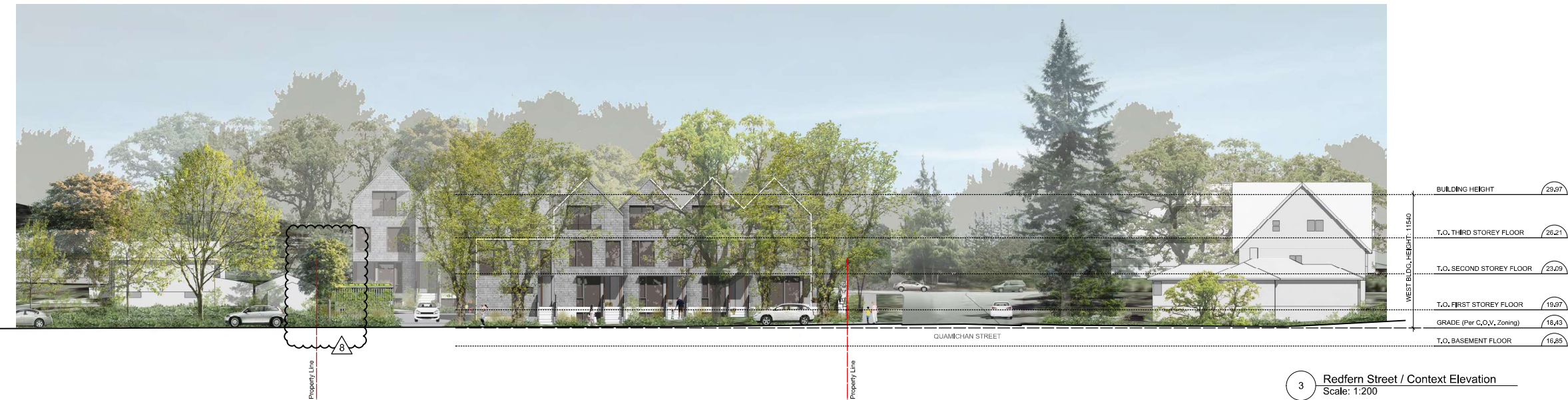
revision no. sheet no.

4

A3.1



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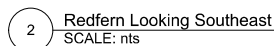
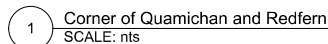


4	REVISED REZONING SUBMISSION III	21.07.29
3	REVISED REZONING SUBMISSION II	21.01.12
2	REVISED REZONING SUBMISSION	20.07.16
1	ISSUED FOR REZONING	20.04.17
rev no	description	date
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project name		
902 Foul Bay Road		
Victoria, BC		
sheet title		
Street/Context Elevations		
project no.		1933
drawing file		
date		21.01.12
scale		1:200
drawn by		JDH
checked by		ES
revision no.	sheet no.	
4	A3.2	

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Materials Key

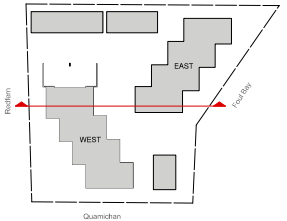
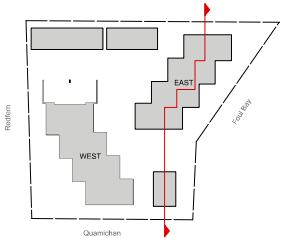
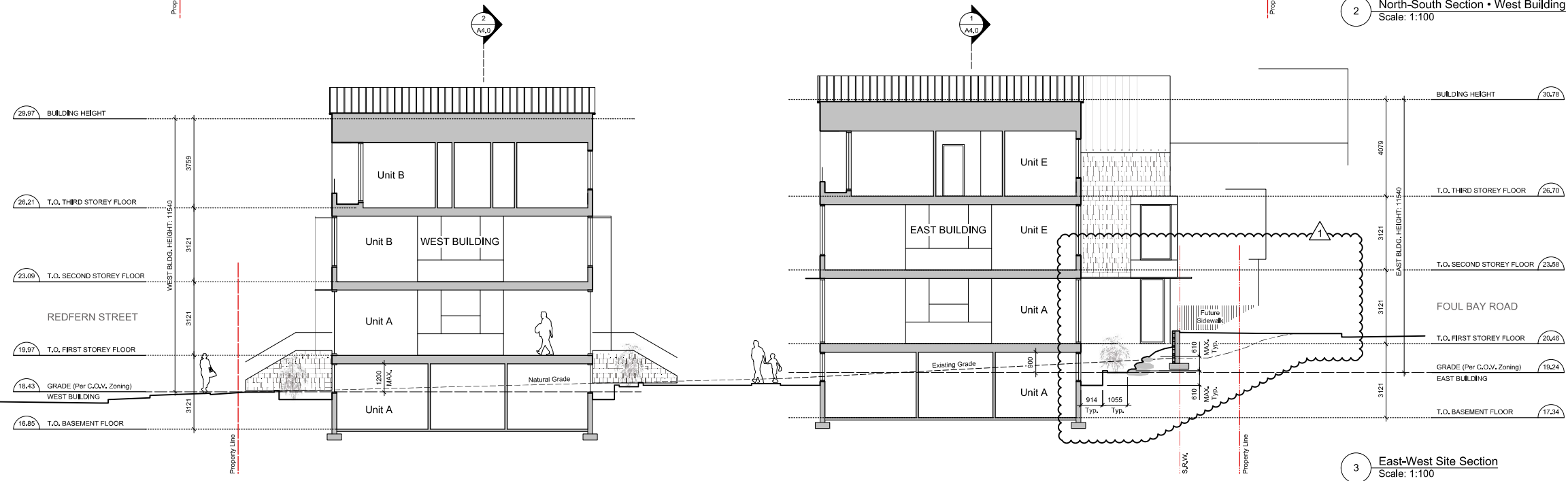
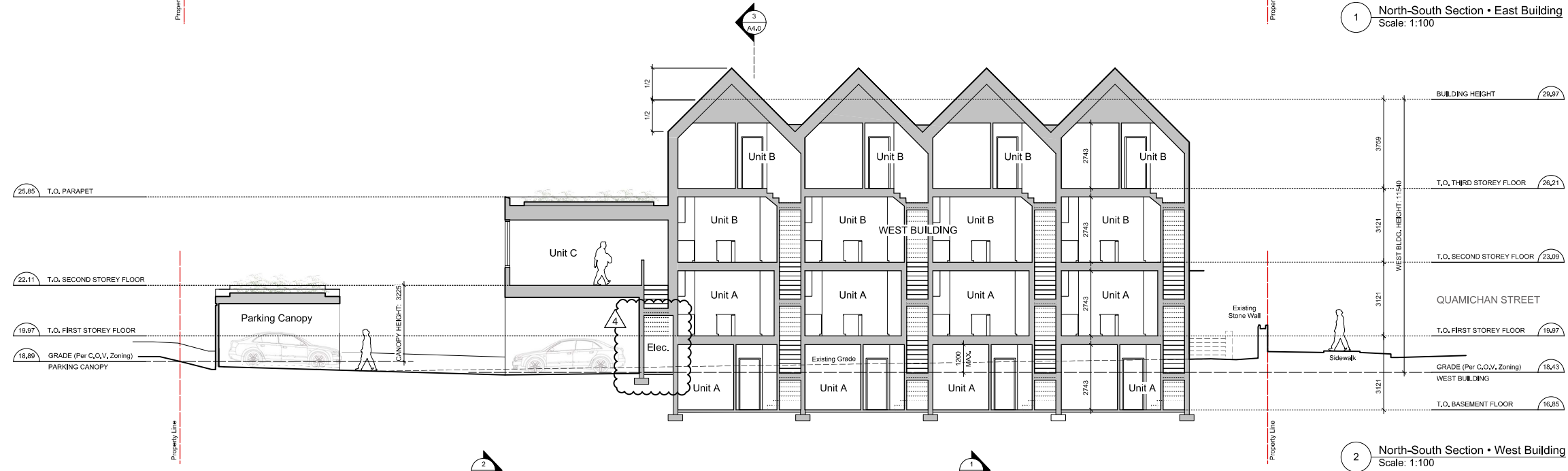
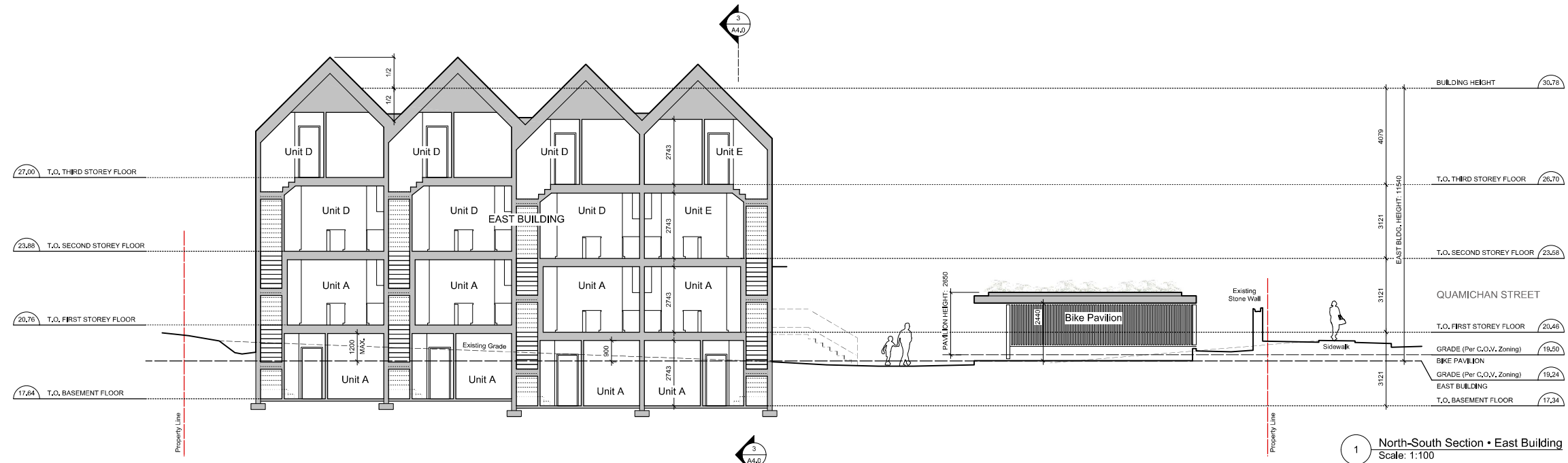
- 1 Painted Shingle Cladding - Warm Grey
- 2 Panel Cladding - Charcoal
- 3 Windows / Doors - Charcoal
- 4 Prefinished Metal Roof - Weathered Zinc
- 5 Painted Wood Steps - Warm Grey
- 6 Painted Metal Picket Guard - Charcoal
- 7 Painted Metal Plate Awning - Charcoal
- 8 Render - Warm Grey
- 9 Architectural Concrete



4	REVISED REZONING SUBMISSION III	21.07.29
3	REVISED REZONING SUBMISSION II	21.01.12
2	REVISED REZONING SUBMISSION	20.07.16
1	ISSUED FOR REZONING	20.04.17
rev no	description	date
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project name		
902 Foul Bay Road Victoria, BC		
sheet title		
Materials Palette		
project no.		1933
drawing file		
date		21.01.12
scale		
drawn by		JDH
checked by		ES
revision no.		sheet no.
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rev no	description	date
4	REVISED REZONING SUBMISSION III	21.07.29
3	REVISED REZONING SUBMISSION II	21.01.12
2	REVISED REZONING SUBMISSION	20.07.16
1	ISSUED FOR REZONING	20.04.17

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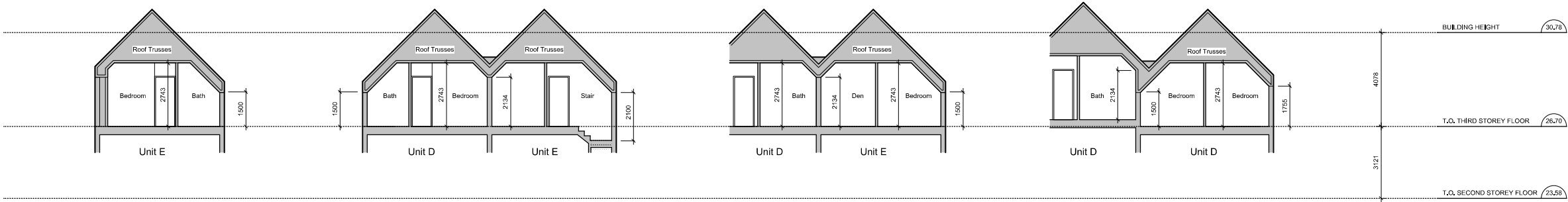
project name
902 Foul Bay Road
Victoria, BC

sheet title
Building Sections

project no.	1933
drawing file	
date	21.01.12
scale	1:100
drawn by	JDH
checked by	ES
revision no.	4
sheet no.	A4.0



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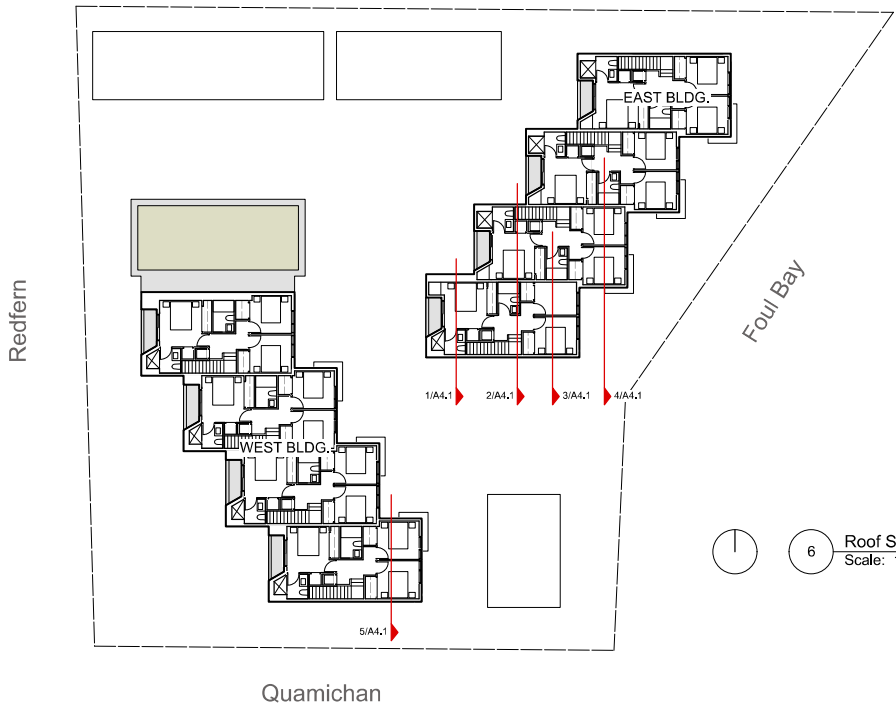


1 Roof Section • East Building
Scale: 1:100

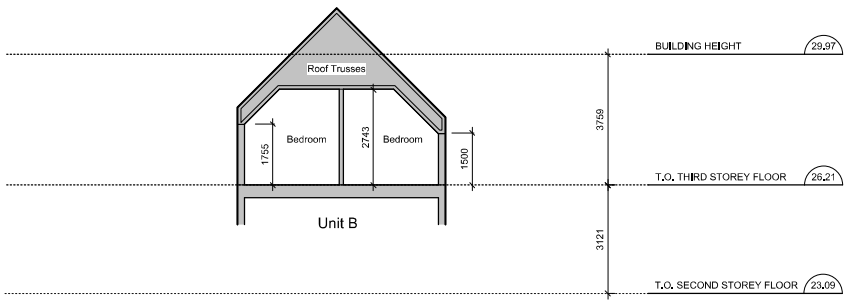
2 Roof Section • East Building
Scale: 1:100

3 Roof Section • East Building
Scale: 1:100

4 Roof Section • East Building
Scale: 1:100



6 Roof Section Key Plan
Scale: 1:250



5 Roof Section • West Building
Scale: 1:100

4	REVISED REZONING SUBMISSION III	21.07.29
3	REVISED REZONING SUBMISSION II	21.01.12
2	REVISED REZONING SUBMISSION	20.07.16
1	ISSUED FOR REZONING	20.04.17

rev no	description	date
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project name
902 Foul Bay Road
Victoria, BC

sheet title
Roof Sections

project no. 1933

drawing file

date 21.01.12

scale 1:100

drawn by JDH

checked by ES

revision no. sheet no.

4

A4.1

902 Foul Bay Rd

Victoria, BC



STORM WATER MANAGEMENT - INDIGENOUS PLANTED GREEN ROOFS



NATURAL PLAY AREA



POLLINATOR



GARRY OAK MEADOW



GRANITE STONE WALL PRESERVATION

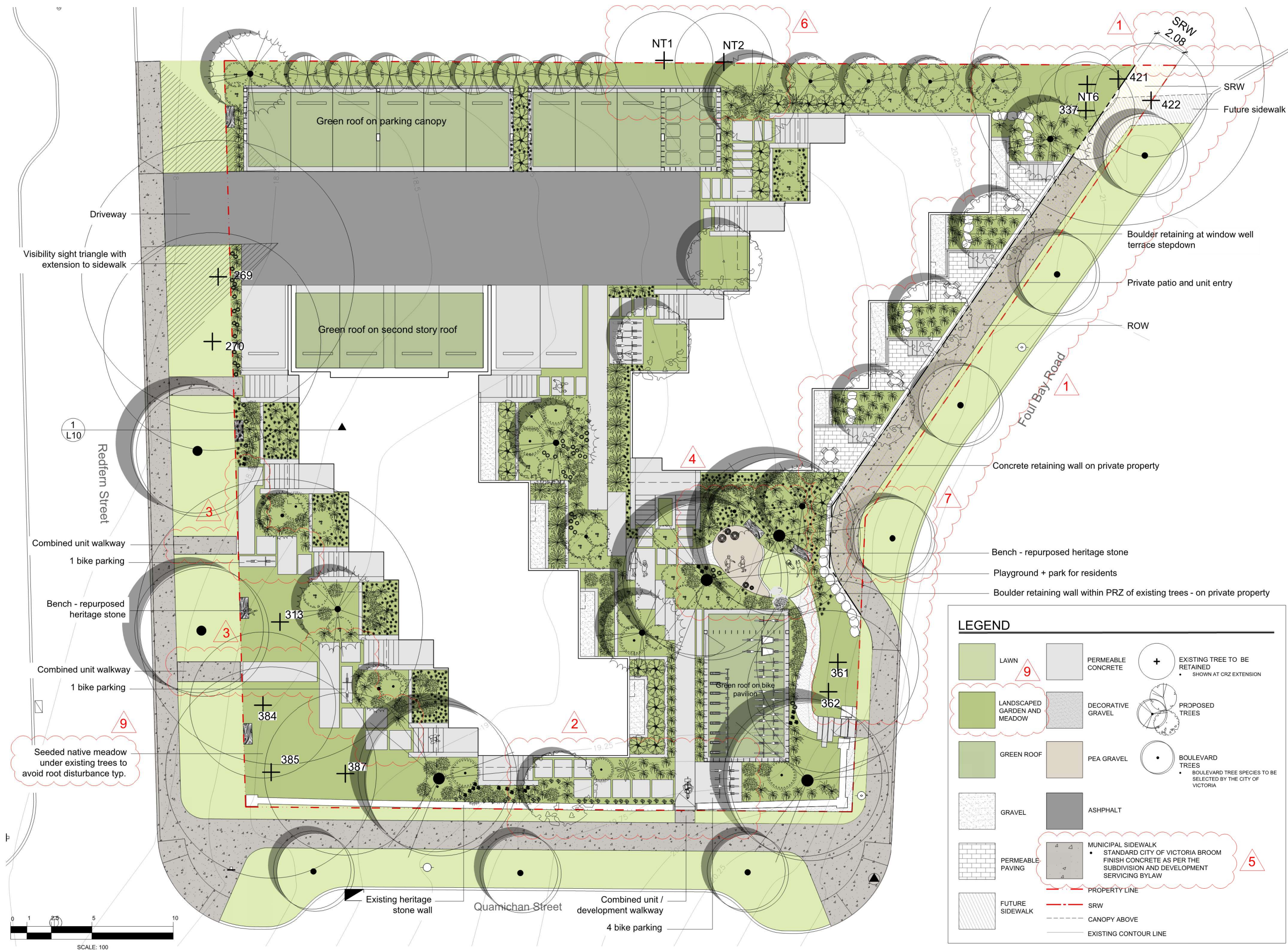
Landscape Revision List

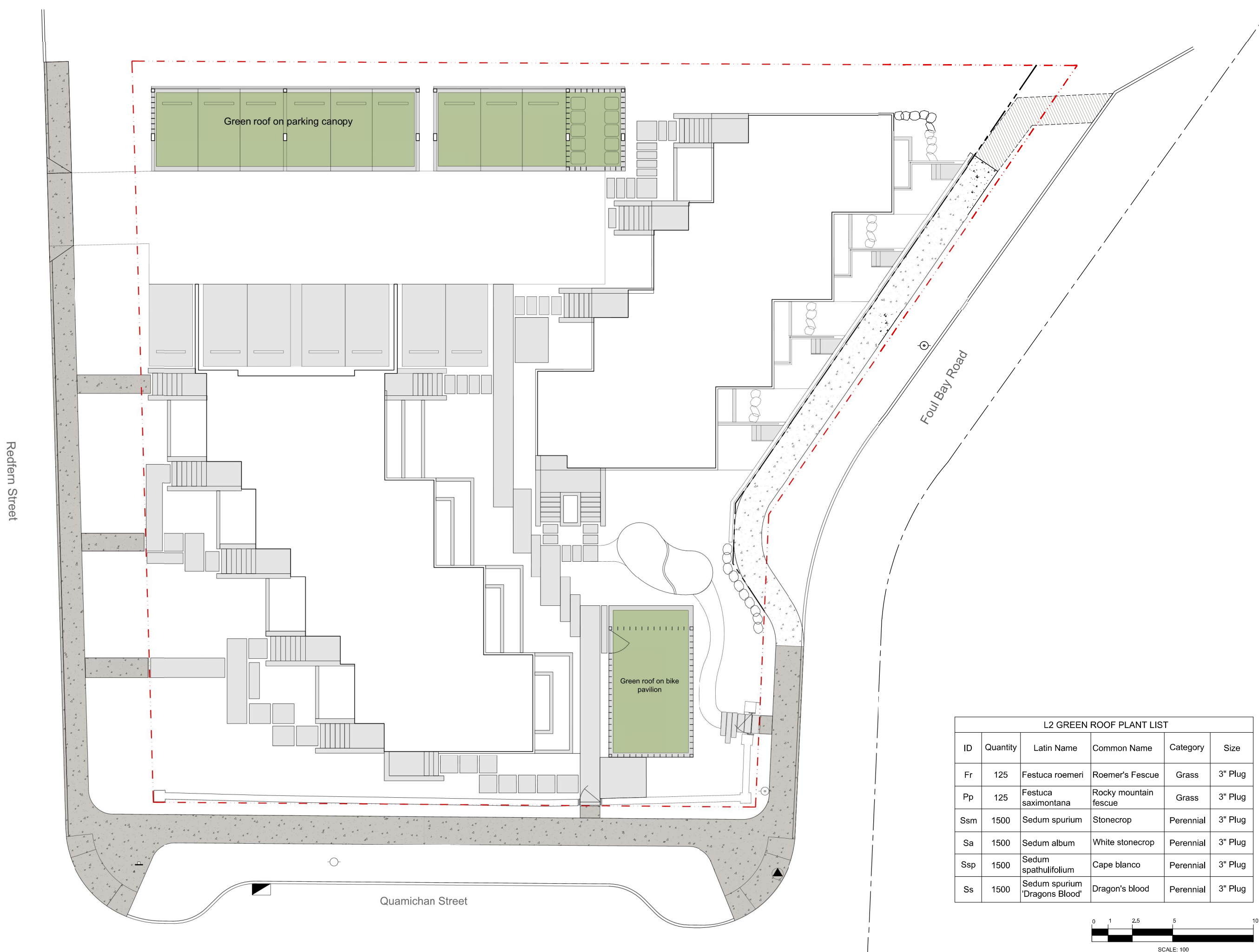
Revision Number	Revision Title	Drawing	Description
1	Foul Bay Frontage	L1	<ul style="list-style-type: none">Street facing entries and patios revised as per architecturalSidewalk revised to 1.75 m width as per architectural / civilConcrete retaining wall moved on to private property as per civilBoulder retaining wall on private property added adjacent to existing trees to reduce impacts to existing trees – in coordination with civil and arboristMunicipal sidewalk revised to terminate at northerly unit entry; proposed sidewalk extension dashed – as per architectural / civilAlignment of sidewalk adjusted to provide additional space between the sidewalk and existing trees – in coordination with civil and arborist2.08 m Statutory Right of Way (SRW) added terminating at end of boulder retaining wall and excluding the heritage wall – as per civilSRW dimensioned and highlighted on landscape plansUpdated civil plans incorporated into landscape plans showing all existing and proposed utilities and power polesCivil adjusted location of proposed water service to accommodate an (1) additional boulevard tree
2	Quamichan Street Frontage	L1	<ul style="list-style-type: none">Sidewalks (2) crossing municipal frontage combined; entry to unit revised, bike parking shifted to other side of sidewalk and reduced from 6 to 4 bike parking spaces – additional bike parking (2) provided adjacent to units on Redfern StreetWalkways to units adjusted toward buildings to provide additional undisturbed area adjacent to existing trees
3	Redfern Frontage	L1	<ul style="list-style-type: none">Sidewalks (2) crossing municipal frontage combinedBike parking (2) added at shared entry walkways
4	Park / Playground	L1	<ul style="list-style-type: none">Shape of park / playground revised to provide additional offset for proposed trees from bike parking pavilion
5	Municipal Sidewalks	L1	<ul style="list-style-type: none">All walkways on municipal property revised to standard broom finish concrete sidewalks
6	Existing Trees	L1, L4	<ul style="list-style-type: none">Existing trees on landscape drawing updated to match legal survey locationsExisting trees to remain / remove updated as per arboristExisting trees on adjacent property to remain
7	Tree Planting	L1, L4	<ul style="list-style-type: none">Additional street tree added to Foul Bay frontageTree planting in general revised in response to site plan changesReplacement trees revised as per City commentsSummary of trees to be removed and replacement trees required updated
8	Tree Protection Fencing	L4	<ul style="list-style-type: none">See arborist report for tree protection fencing specifications, location and phasing instructions
9	Shrub Planting	L1, L8	<ul style="list-style-type: none">Shrub planting in general revised in response to site plan changesProposed shrubs removed from underneath existing trees to minimize disturbance to tree roots as per City commentsShrubs removed from within 0.45 m from property line as per City comments (assume groundcovers and perennials are acceptable)Shrub designations updated as per City commentsMethodology for percentage analysis noted as per City comments
10	Arborist Report	L5	<ul style="list-style-type: none">Arborist tree retention and removal spreadsheet updated
11	Soil Volume	L7	<ul style="list-style-type: none">Drawing indicating available soil volume per tree added

Issued For:
Revised Rezoning III
August 4, 2021

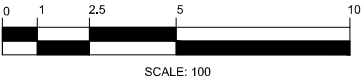


2021-08-05





L2 GREEN ROOF PLANT LIST					
ID	Quantity	Latin Name	Common Name	Category	Size
Fr	125	Festuca roemerii	Roemer's Fescue	Grass	3" Plug
Pp	125	Festuca saximontana	Rocky mountain fescue	Grass	3" Plug
Ssm	1500	Sedum spurium	Stonecrop	Perennial	3" Plug
Sa	1500	Sedum album	White stonecrop	Perennial	3" Plug
Ssp	1500	Sedum spathulifolium	Cape blanco	Perennial	3" Plug
Ss	1500	Sedum spurium 'Dragons Blood'	Dragon's blood	Perennial	3" Plug



Biophilia design collective Ltd.
250.590.1156
Info@biophiliacollective.ca

CLIENT NAME
Purdey Group

ADDRESS
902 Foul Bay Rd
Victoria, BC

DESIGNED BY
Bianca Bodley

DRAWN BY
KT



ISSUED FOR
REVISED ZONING III
AUGUST 4, 2021

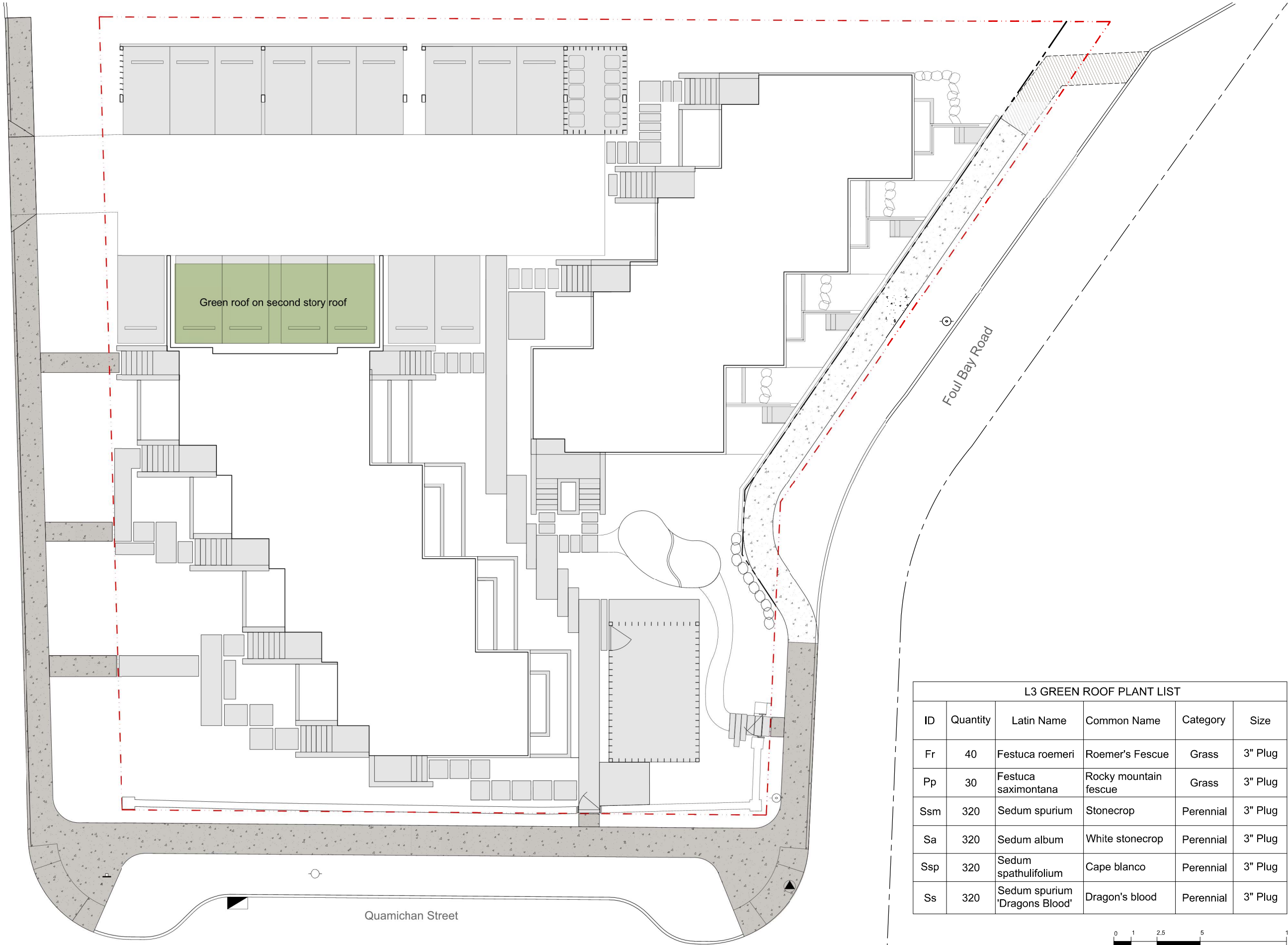


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L2 Green Roof on
Parking Facility

DATE
August 4, 2021

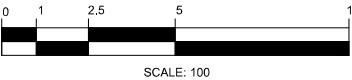
Redfern Street



Quamichan Street

Foul Bay Road

L3 GREEN ROOF PLANT LIST					
ID	Quantity	Latin Name	Common Name	Category	Size
Fr	40	Festuca roemer	Roemer's Fescue	Grass	3" Plug
Pp	30	Festuca saximontana	Rocky mountain fescue	Grass	3" Plug
Ssm	320	Sedum spurium	Stonecrop	Perennial	3" Plug
Sa	320	Sedum album	White stonecrop	Perennial	3" Plug
Ssp	320	Sedum spathulifolium	Cape blanco	Perennial	3" Plug
Ss	320	Sedum spurium 'Dragons Blood'	Dragon's blood	Perennial	3" Plug



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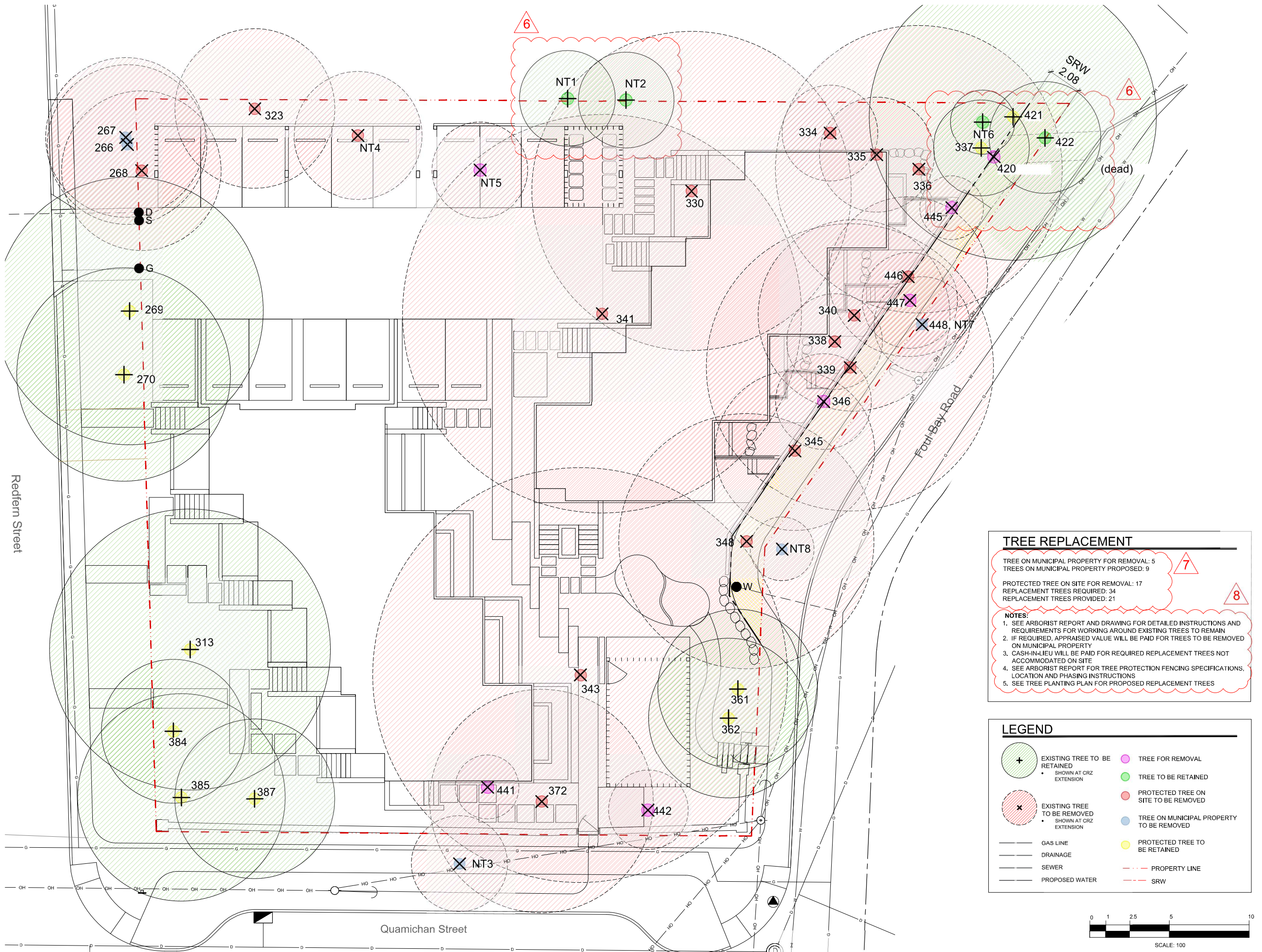


NORTH

Scale: 1:100

L3 Green Roof over
Second Storey

DATE
August 4, 2021



TREE REPLACEMENT

TREE ON MUNICIPAL PROPERTY FOR REMOVAL: 5
TREES ON MUNICIPAL PROPERTY PROVIDED: 9

PROTECTED TREE ON SITE FOR REMOVAL: 17
REPLACEMENT TREES REQUIRED: 34
REPLACEMENT TREES PROVIDED: 21

NOTES:

1. SEE ARBORIST REPORT AND DRAWING FOR DETAILED INSTRUCTIONS AND REQUIREMENTS FOR WORKING AROUND EXISTING TREES TO REMAIN
2. IF REQUIRED, APPRAISED VALUE WILL BE PAID FOR TREES TO BE REMOVED ON MUNICIPAL PROPERTY
3. CASH-IN-LIEU WILL BE PAID FOR REQUIRED REPLACEMENT TREES NOT ACCOMMODATED ON SITE
4. SEE ARBORIST REPORT FOR TREE PROTECTION FENCING SPECIFICATIONS, LOCATION AND PHASING INSTRUCTIONS
5. SEE TREE PLANTING PLAN FOR PROPOSED REPLACEMENT TREES

LEGEND

- | | | | |
|--|--------------------------------------|--|--|
| | EXISTING TREE TO BE RETAINED | | TREE FOR REMOVAL |
| | TREE TO BE RETAINED | | TREE TO BE REMOVED |
| | PROTECTED TREE ON SITE TO BE REMOVED | | TREE ON MUNICIPAL PROPERTY TO BE REMOVED |
| | PROTECTED TREE TO BE RETAINED | | |
| | GAS LINE | | PROPERTY LINE |
| | DRAINAGE | | SRW |
| | SEWER | | |
| | PROPOSED WATER | | |

Tree ID	Common Name	Latin Name	DBH (cm) ~ approximate	Crown Spread (m)	CRZ (m)	Relative Tolerance	Health	Structure	Remarks and Recommendations	Bylaw protected	Retention Status	Reason for removal
266	Trembling aspen	<i>Populus tremuloides</i>	26,37	8.0	5.0	Moderate	Fair	Fair	Co-dominant, smaller stem dead, large deadwood, ivy on trunk	Municipal	X	Impacts from parking and changes in drainage.
267	Trembling aspen	<i>Populus tremuloides</i>	41.0	7.0	5.0	Moderate	Fair	Fair	Large deadwood, ivy on main trunk, broken limb in canopy	Municipal	X	Impacts from parking and changes in drainage.
268	Trembling aspen	<i>Populus tremuloides</i>	46.0	9.0	5.0	Moderate	Fair	Fair	Large deadwood, ivy on trunk, canker	Yes	X	Impacts from parking and changes in drainage.
269	Horse chestnut	<i>Aesculus hippocastanum</i>	33,34,35,45	8.0	8.4	Good	Fair	Fair/poor	Multi stem at 1 meter, included bark in stem unions.	Municipal	Retain	
270	Horse chestnut	<i>Aesculus hippocastanum</i>	84.0	14.0	6.7	Good	Fair	Fair/poor	Multi-stem at 3 meters. Internal crack in limb on south side	Municipal	Retain	
313	Garry oak	<i>Quercus garryana</i>	88.0	18.0	8.8	Good	Fair	Fair	Large deadwood, some epicormic growth	Yes	Retain	
323	Horse chestnut	<i>Aesculus hippocastanum</i>	51.0	9.0	5.0	Good	Fair	Fair	Ivy on main trunk, insect damage, canker, possible root disturbance from previous structure removal.	Yes	X	Parking and structure.
330	Garry oak	<i>Quercus garryana</i>	106.0	9.0	10.0	Good	Poor	Poor	Cambium dieback and decay in main trunk. Previously reduced, cavities in trunk.	Yes	X	In building
334	Garry oak	<i>Quercus garryana</i>	26.0	8.0	3.0	Good	Good	Fair	Asymmetric crown, canker on trunk	Yes	X	Too close to excavation for building
335	Garry oak	<i>Quercus garryana</i>	36.0	12.0	3.6	Good	Good	Fair	Some end weighted limbs, suppressed by adjacent tree	Yes	X	In building
336	Garry oak	<i>Quercus garryana</i>	67, 26	18.0	8.0	Good	Fair	Fair	May have originally been two trees, large deadwood	Yes	X	In building
337	Arbutus	<i>Arbutus menziesii</i>	12.0	5.0	3.0	Poor	Fair	Fair	Canker on lower trunk	Yes	Retain	
338	Arbutus	<i>Arbutus menziesii</i>	18.0	4.0	3.0	Poor	Good	Good		Yes	X	Too close to excavation for building
339	Garry oak	<i>Quercus garryana</i>	52,62	13.0	9.0	Good	Fair	Fair	co-dominant at 1.3 meters, ivy on trunk, asymmetric crown.	Yes	X	Too close to excavation for building
340	Garry oak	<i>Quercus garryana</i>	62.0	9.0	6.0	Good	Fair	Fair	Some large deadwood	Yes	X	In building
Tree ID	Common Name	Latin Name	DBH (cm) ~ approximate	Crown Spread (m)	CRZ (m)	Relative Tolerance	Health	Structure	Remarks and Recommendations	Bylaw protected	Retention Status	Reason for removal
341	European Beech	<i>Fagus sylvatica</i>	85.0	17.0	12.5	Poor	Fair	Fair	Stunted growth at top, some epicormic growth, possible minor root injury from old house removal.	Yes	X	In building
343	European Beech	<i>Fagus sylvatica</i>	89.0	15.0	13.0	Poor	Fair	Fair	Armillaria fruiting bodies around base and on buttress roots. Recommend closer examination if retained.	Yes	X	Too close to excavation for building
345	Horse chestnut	<i>Aesculus hippocastanum</i>	64.0	10.0	5.0	Good	Fair	Fair	Co-dominant at 3meters ivy on trunk, cavities in old pruning wounds	Yes	X	Too close to excavation for building
346	Holly	<i>Ilex aquifolium</i>	28.0	4.0	3.0	Good	Good	Fair		No	X	Too close to excavation for building
348	European Birch	<i>Betula pendula</i>	65.0	9.0	8.0	Poor	Fair	Fair	Some tip dieback, possibly insect related	Yes	X	Too close to excavation for building, services.
361	Horse chestnut	<i>Aesculus hippocastanum</i>	62.0	9.0	5.0	Good	Fair	Fair	Pruned for utilities	Yes	Retain	
362	Holly	<i>Ilex aquifolium</i>	52.0	8.0	5.0	Good	Good	Fair/poor		Yes	Retain	
372	European Birch	<i>Betula pendula</i>	59.0	11.0	7.0	Poor	Fair	Fair/poor	Possible cavity in lower trunk. Closer examination recommended if retained	Yes	X	Too close to excavation for building
384	Horse chestnut	<i>Aesculus hippocastanum</i>	54.0	8.0	4.5	Good	Fair	Fair/poor	Multi stem at 2.5 meters	Yes	Retain	
385	Horse chestnut	<i>Aesculus hippocastanum</i>	80.0	12.0	6.5	Good	Fair	Fair	Multi stem, ivy on trunks	Yes	Retain	
387	Horse chestnut	<i>Aesculus hippocastanum</i>	66.0	9.0	5.0	Good	Fair	Fair/poor	Large stubbed off limbs	Yes	Retain	
420	Garry oak	<i>Quercus garryana</i>				Dead	Dead	Dead	Dead	Yes	X	Dead
421	Garry oak	<i>Quercus garryana</i>	91.0	13.0	9.0	Good	Fair/poor	Fair	Ivy on main trunk, tip dieback, sparse foliage	Yes	Retain	
422	Garry oak	<i>Quercus garryana</i>	34.0	4.0	3.5	Good	Poor	Poor	Very few live buds remaining	Yes	Retain	

Tree ID	Common Name	Latin Name	DBH (cm) ~ approximate	Crown Spread (m)	CRZ (m)	Relative Tolerance	Health	Structure	Remarks and Recommendations	Bylaw protected	Retention Status	Reason for removal
441	Holly	<i>Ilex aquifolium</i>	10.0	4.0	2.0	Good	Fair/poor	Fair/poor		No	X	Too close to excavation for building
442	Holly	<i>Ilex aquifolium</i>	17,17	5.0	2.5	Good	Fair/poor	Fair/poor		No	X	Landscaping choice, replace with a healthy young tree of a better species.
445	Holly	<i>Ilex aquifolium</i>	13.0	4.0	2.0	Good	Good	Good		No	X	Too close to excavation for building
446	Douglas fir	<i>Pseudotsuga menziesii</i>	30.0	8.0	5.0	Poor	Fair	Good	Young tree, some thinning foliage	Yes	X	Too close to excavation for building
447	Western Red cedar	<i>Thuja plicata</i>	19.0	6.0	3.0	Moderate	Good	Good	Young tree	No	X	Too close to excavation for building
448 (N.t.7)	Laburnum	<i>Laburnum anagyroides</i>	17,15,11	4.0	3.0	Moderate	Poor	Poor	Decay on 17 cm stem	Municipal	X	Remove as requested by city staff.
N.t. 1	Chamaecyparis	<i>Chamaecyparis sp.</i>	22.0	5.0	3.0	Poor	Fair/poor	Fair	Sparse foliage, neighbours tree, within a meter of property line.	Neighbours	Retain	
N.t. 2	Laburnum	<i>Laburnum anagyroides</i>	20, 10, 10	5.0	3.0	Moderate	Fair	Fair	Multi stem, neighbours tree, within a meter of property line.	Neighbours	Retain	
N.t. 3	English hawthorn	<i>Crataegus laevigata</i>	28.0	6.0	3.0	Good	Fair	Fair	Ivy on trunk, municipal tree, suckering at base.	Municipal	X	Municipal sidewalk conflict
N.t. 4	Holly	<i>Ilex aquifolium</i>	30,15	6.0	4.0	Good	Good	Fair		Yes	X	in parking
N.t. 5	Laurel hedge	<i>Prunus laurocerasus</i>	Multi	18.0	3.0	Good	Good	Fair	Largest stem 20cm	No	X	in parking
N.t.6	Holly	<i>Ilex aquifolium</i>	12,8	4.0	2.0	Good	Good	Fair		No	Retain	
N.t.8	Holly	<i>Ilex aquifolium</i>	14.0	3.0	2.0	Good	Fair	Good		Municipal	X	Remove as requested by city staff.

Prepared by:
Talbot Mackenzie & Associates
ISA Certified and Consulting Arborists
Phone: (250) 479-8733
Fax: (250) 479-7050
email: tmtreehelp@gmail.com



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CLIENT NAME
Purdey Group

ADDRESS
902 Foul Bay Rd
Victoria, BC

DESIGNED BY
Bianca Bodley

DRAWN BY
KT

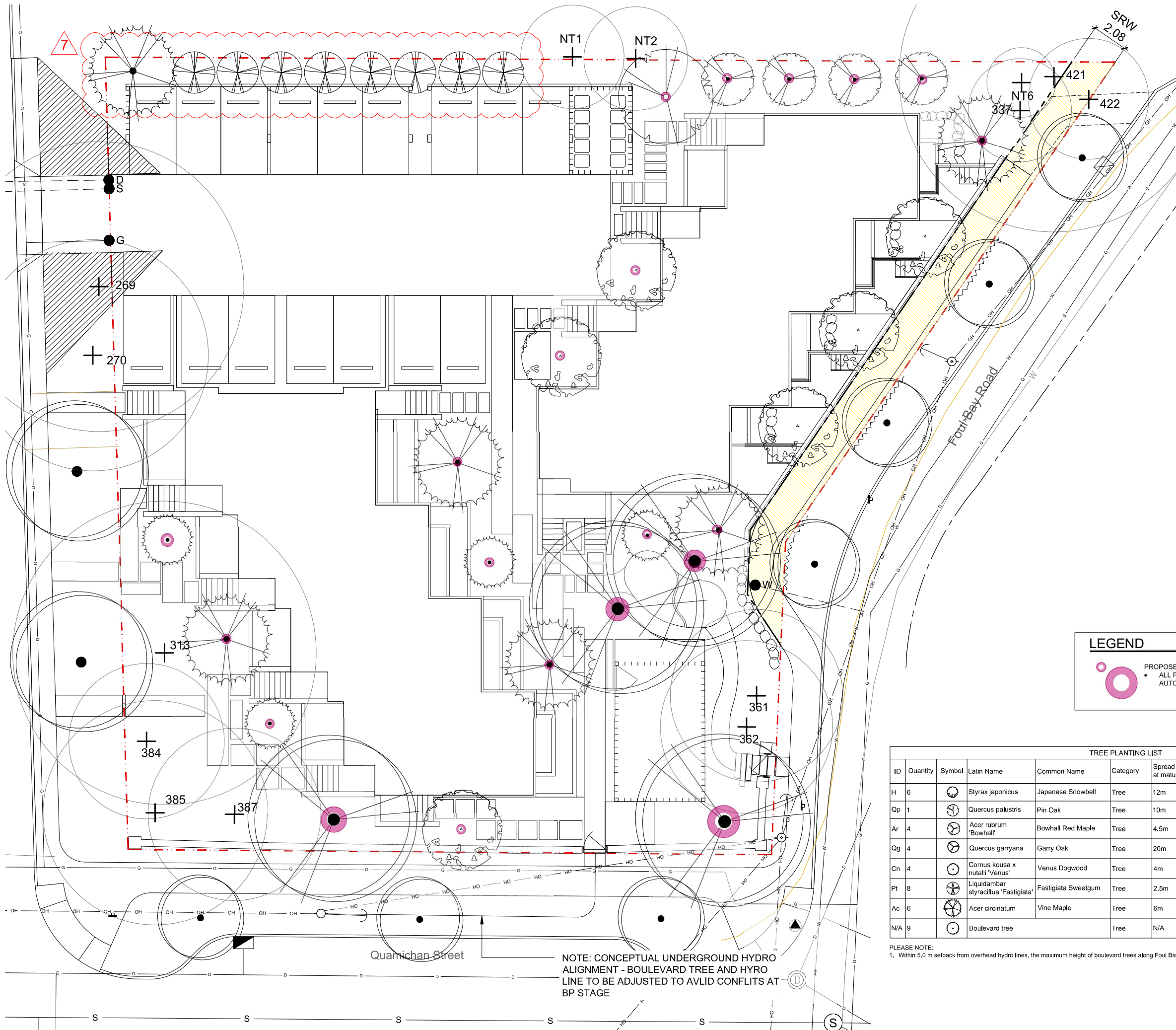


ISSUED FOR
REVISED ZONING III
AUGUST 4, 2021

Scale: NTS

L5 Arborist Report of
Existing Trees

DATE
August 4, 2021



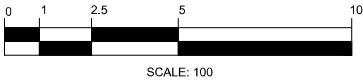
NOTE: CONCEPTUAL UNDERGROUND HYDRO ALIGNMENT - BOULEVARD TREE AND HYRO LINE TO BE ADJUSTED TO AVLD CONFLITS AT BP STAGE

LEGEND

PROPOSED REPLACEMENT TREE
ALL PROPOSED TREES TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM

TREE PLANTING LIST											
ID	Quantity	Symbol	Latin Name	Common Name	Category	Spread width at maturity	Height at maturity	Pollinator	Food bearing	Native	Non-native
H	6		Styrax japonicus	Japanese Snowbell	Tree	12m	8m	X			X
Qp	1		Quercus palustris	Pin Oak	Tree	10m	18m				X
Ar	4		Acer rubrum 'Bowhall'	Bowhall Red Maple	Tree	4.5m	15m				X
Qg	4		Quercus garryana	Garry Oak	Tree	20m	20m			X	
Cn	4		Cornus kousa x nutalli 'Venus'	Venus Dogwood	Tree	4m	5m	X			X
Pl	8		Liquidambar styraciflua 'Fastigiata'	Fastigiata Sweetgum	Tree	2.5m	13m				X
Ac	6		Acer circinatum	Vine Maple	Tree	6m	8m			X	
N/A	9		Boulevard tree		Tree	N/A	N/A	N/A	N/A	N/A	N/A

PLEASE NOTE:
1. Within 5.0 m setback from overhead hydro lines, the maximum height of boulevard trees along Foul Bay Rd is 5.0 m.



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CLIENT NAME
Purdey Group

ADDRESS
902 Foul Bay Rd
Victoria, BC

DESIGNED BY
Bianca Bodley

DRAWN BY
KT



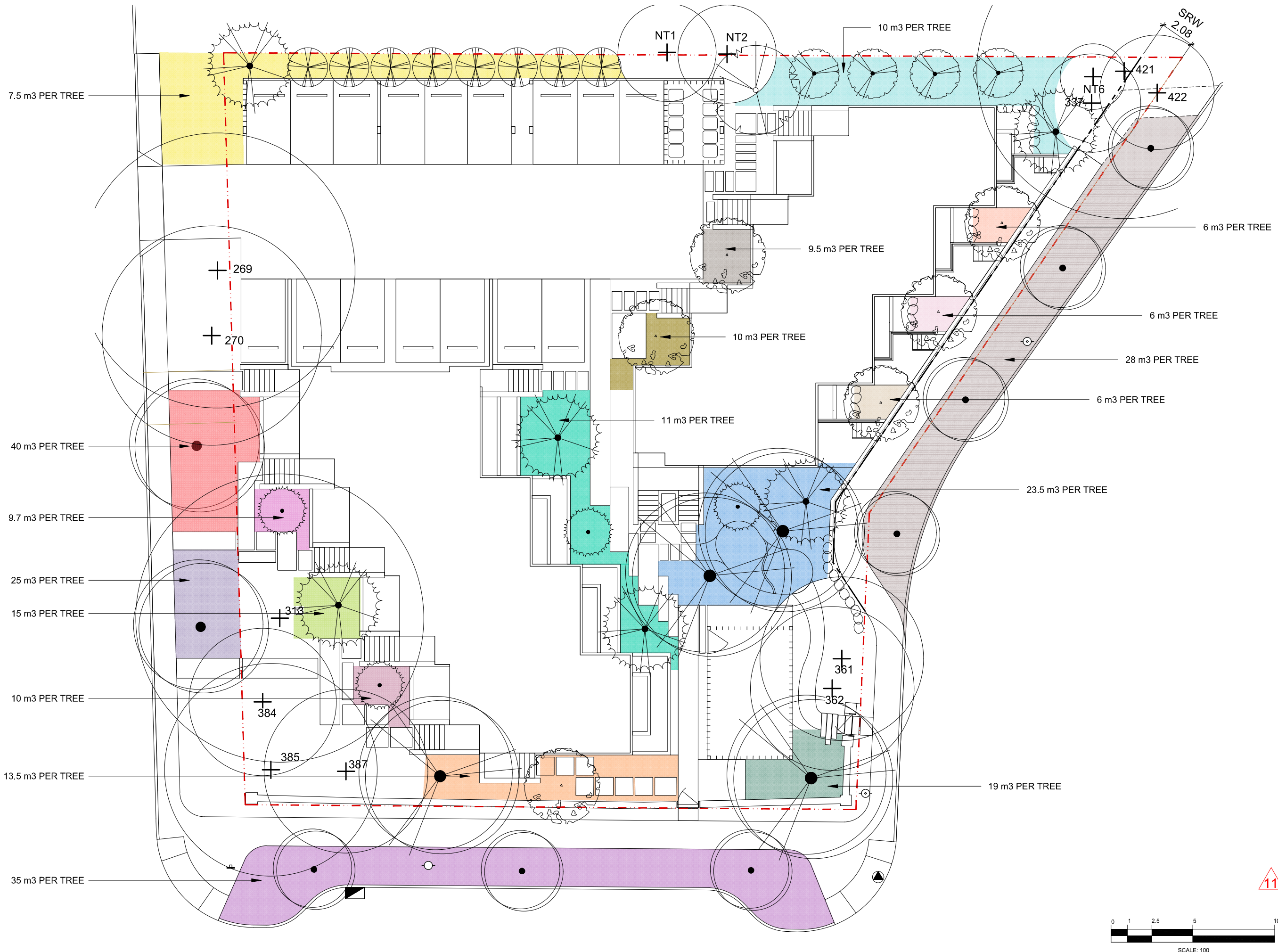
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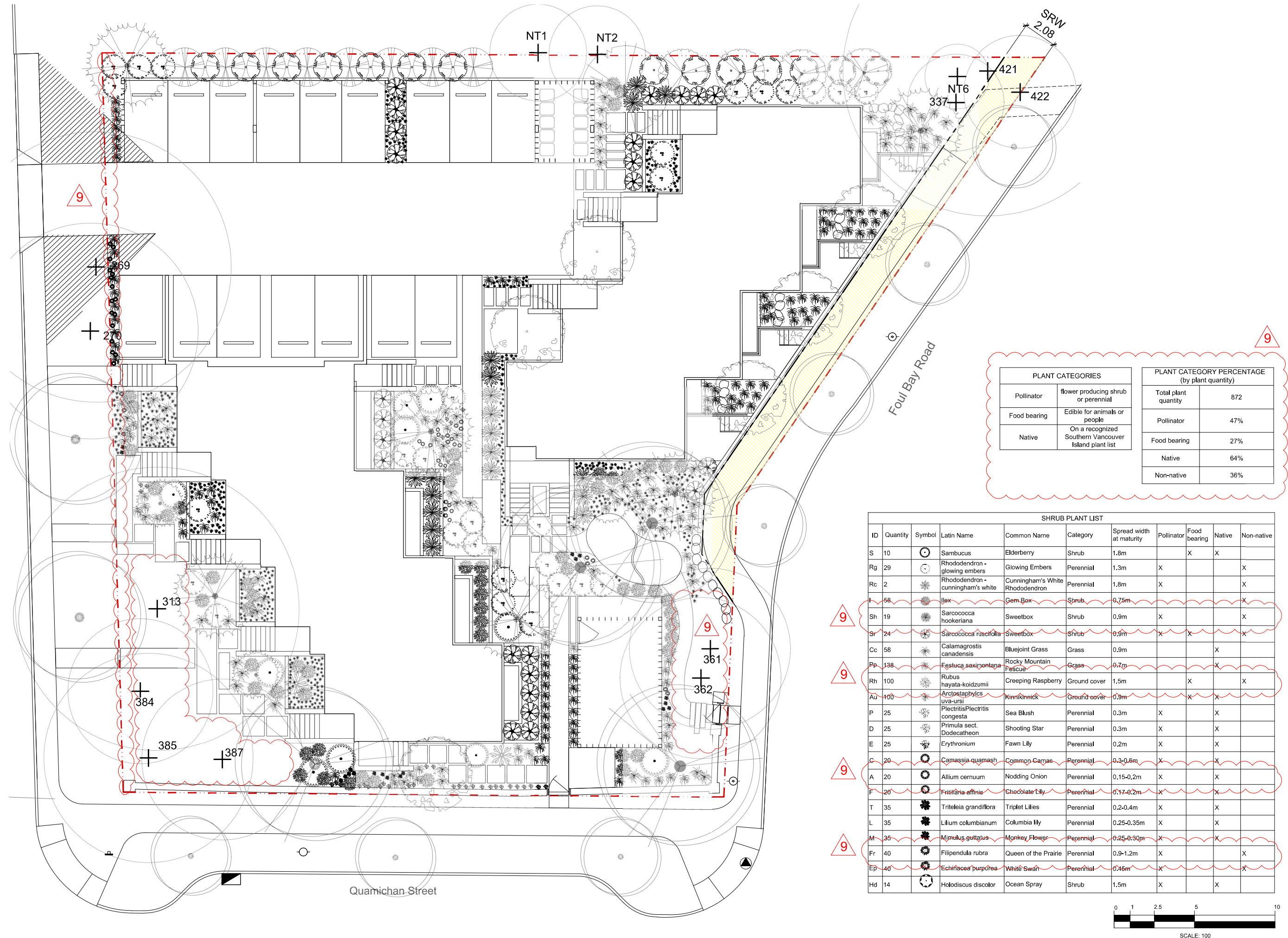


Scale: 1:100

L6 Tree Planting Plan

DATE
August 4, 2021





spring blooming bulbs



Allium, Onion



Camassia, Camas



Erythronium, Fawn lily



Lilium, Lily



Dodecatheon, Shooting stars



Mimulus, Monkey flower



Triteleia, Triplet lilies



Plectritis, Sea blush



Fritillaria, Chocolate lily

summer blooming bulbs



Echinacea purpurea, White swan



Filipendula rubra, Queen of the prairie

Grass



Festuca saximontana, Rocky Mountain grass



Calamagrostis canadensis, Bluejoint grass

sun plant palette



Philadelphus coronarius, Mock orange



Sambucus, Elderberry

shade plant palette



Sarcococca hookeriana, Sweetbox

sun + shade plant palette



Vaccinium ovatum, Evergreen huckleberry



Rhododendron, Glowing embers



Arctostaphylos uva-ursi, Kinninnick



Rhododendron, Cunningham's white

tree



Hamamelis, Witch-hazel



Cornus nuttallii, Eddie's white wonder



Acer pseudosieboldianum, Korean maple

Sedum



Sedum spurium, Dragon's blood



Sedum spathulifolium, Cape blanco



Sedum album, White stonecrop



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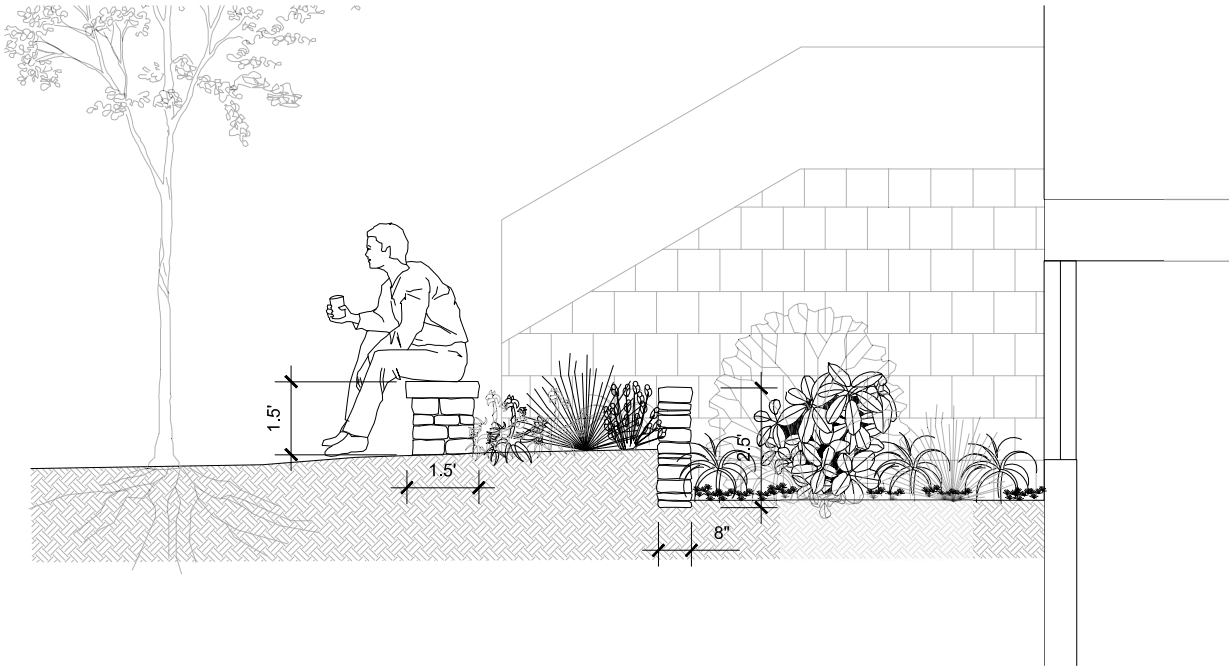


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AUGUST 4, 2021

Scale: NTS

L9 Planting Imagery

DATE
August 4, 2021



1 WINDOW WELL DETAIL DESIGNED TO MINIMIZE IMPACTS ON THE CRITICAL ROOT ZONE OF ADJACENT TREES



MORTARED HERITAGE STONE ROCK WALL FOR WINDOW WELL RETENTION



BENCH WITH REPURPOSED HERITAGE STONE