



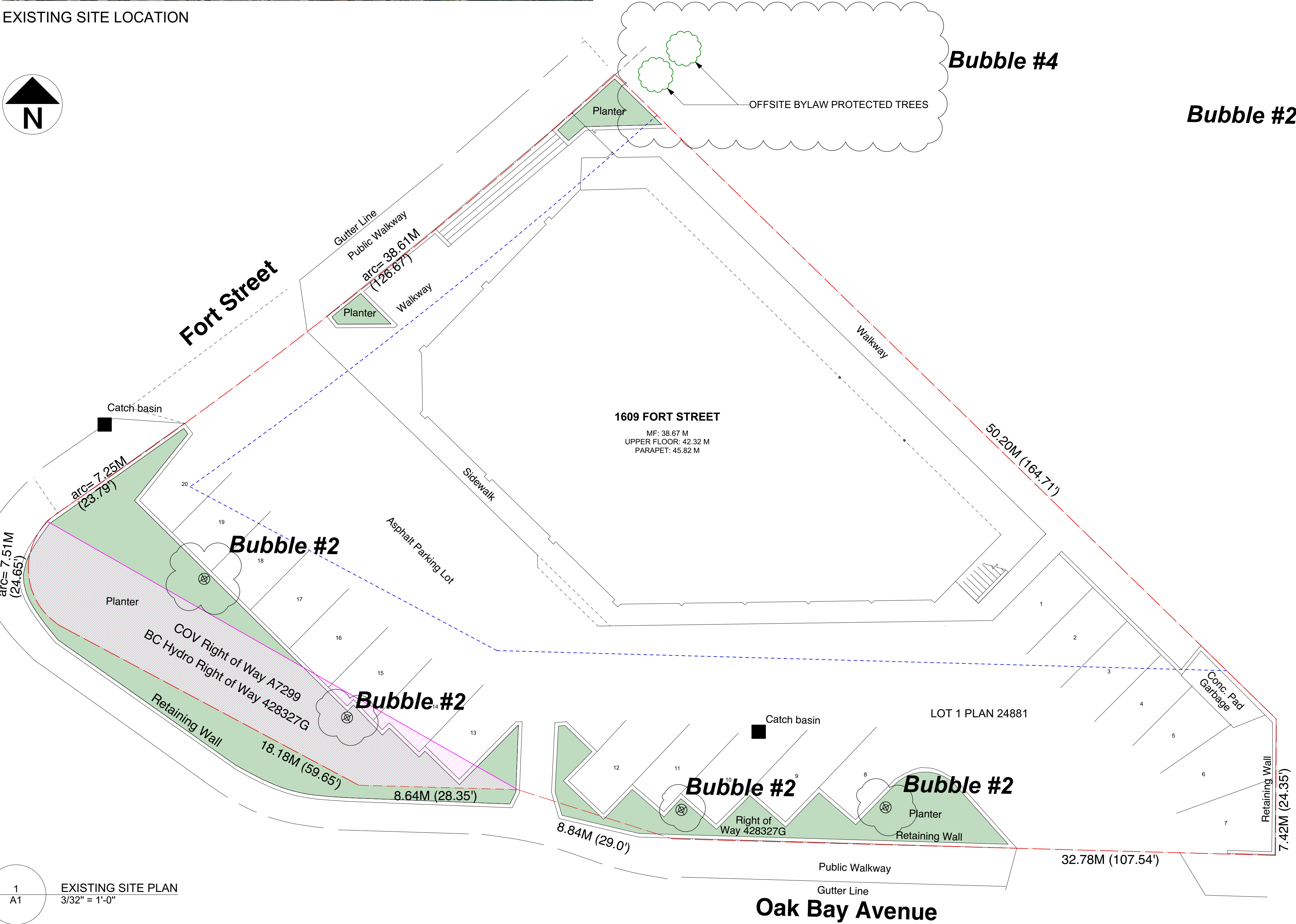
EXISTING SITE LOCATION



EXISTING BUILDING - FORT STREET



EXISTING BUILDING - OAK BAY AVENUE



DRAWING LEGEND	
EXISTING PROPERTY LINE	
EXISTING SETBACKS	
NEW PARKING LOT LIGHTING	

ZONING DATA TABLE		
	ZONE STANDARD	PROPOSAL - IF DIFFERENT FROM ZONE STANDARD
ZONING	C1-J ZONE, LIMITED COMMERCIAL JUNCTION DISTRICT	-
SITE AREA (m2)	NOT MENTIONED IN ZONE STANDARD	1614.9 sqm
TOTAL FLOOR AREA (m2)	NO LIQUOR RETAIL STORE SHALL EXCEED A MAX. TOTAL FLOOR AREA OF 241 sqm	ADD 86.2 SQM ALLOWABLE FLOOR AREA FOR LIQUOR STORE PURPOSES SO ALLOWABLE AREA IS 327 sqm
FLOOR SPACE RATIO	0.55 TO 1	0.50 TO 1
SITE COVERAGE %	SHALL NOT EXCEED 30%	28.7%
OPEN SITE SPACE %	NOT MENTIONED IN ZONE STANDARD	14.15%
HEIGHT (m)	SHALL NOT EXCEED 8 m	7.15 m TO PARAPET
NUMBER OF STOREYS	NOT MENTIONED IN ZONE STANDARD	2 STOREYS
PARKING STALLS (NUMBER) ON SITE	SHALL BE PROVIDED IN ACCORDANCE WITH SCHEDULE 'C' - 18 REQUIRED	20 PARKING STALLS PROVIDED ON SITE
BUILDING SETBACK (m)		
OAK BAY AVENUE	10.6 m	-
FORT STREET	3 m	-
INTERSECTION OF OAK BAY AVE AND FORT STREET	10.6 m	-

VEHICLE PARKING REQUIREMENTS (BASED ON CITY OF VICTORIA SCHEDULE C)				
BUSINESS	USE	AREA (sqm)	SCHEDULE C CALCULATION	TOTAL SPACES REQUIRED
SECOND FLOOR OFFICE SPACE	OFFICE	341.4	1 SPACES PER 55 sqm	6.2 (6)
DRAGON GATE RESTAURANT	RESTUARANT	126.8	1 SPACES PER 25 sqm	5.1 (5)
VESSEL LIQUOR STORE	RETAIL	327.0	1 SPACES PER 50 sqm	6.5 (7)
18 PARKING SPOTS ARE REQUIRED, 20 PARKING SPOTS ARE PROVIDED				

PROJECT:
VESSEL LIQUOR STORE DVP

PROJECT ADDRESS:

1609 FORT STREET
VICTORIA, BC

CLIENT:

VESSEL LIQUOR STORE

210-4252 Commerce Court
Victoria, BC, V8Z 4M2
250-294-8076

Revisions
Bubbled areas indicate revisions compared to the previously submitted plans
Received Date: November 13, 2020

ISSUED FOR: DATE:

REVISION NO.: DATE:

SAC PROJECT NO.:
VES-01-19

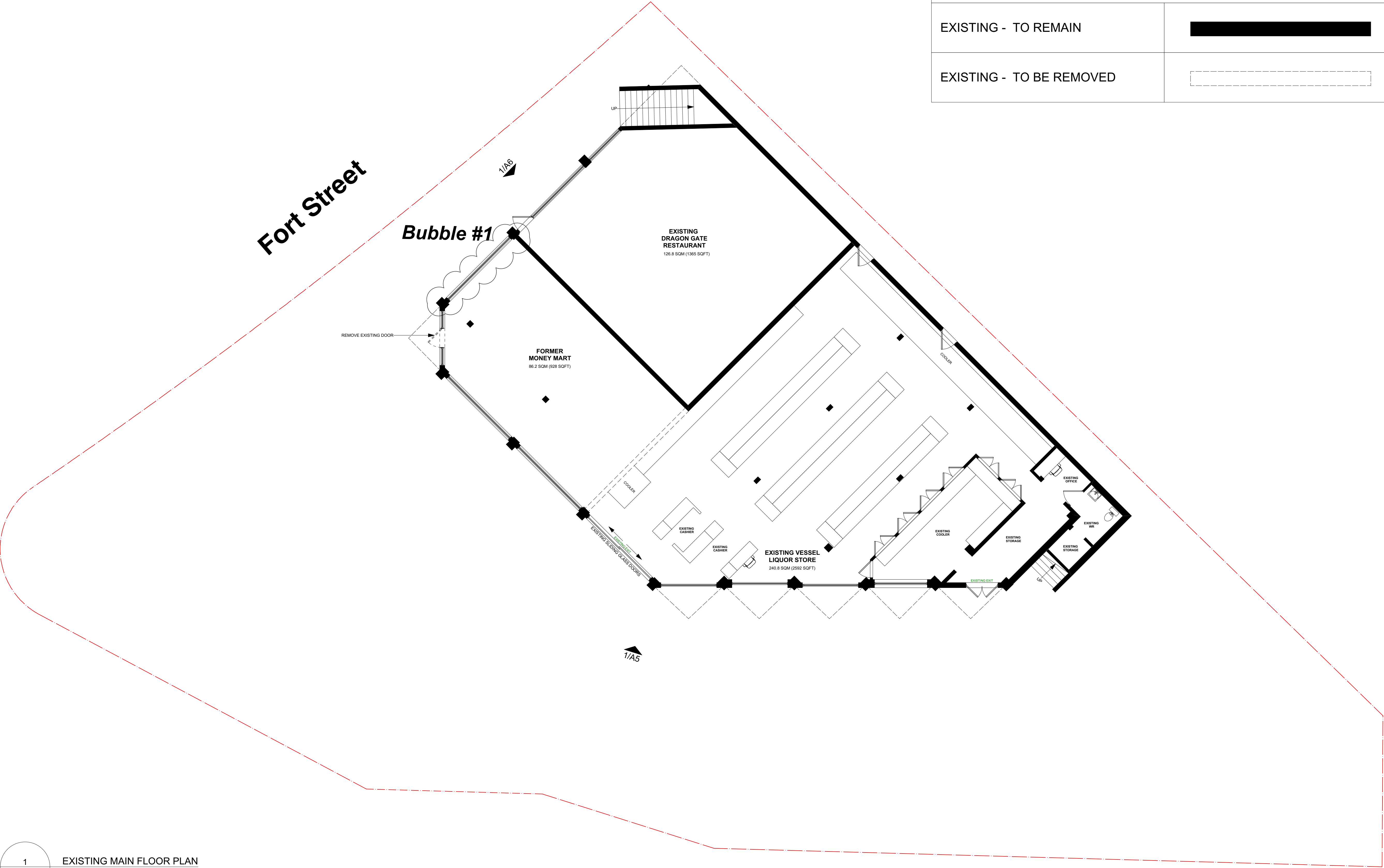
DRAWN BY:
SL

DATE:
NOVEMBER 12, 2020

SCALE:
AS NOTED

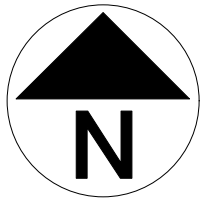
DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:



DRAWING LEGEND	
EXISTING PROPERTY LINE	

PARTITION LEGEND	
EXISTING - TO REMAIN	
EXISTING - TO BE REMOVED	



1
A2
EXISTING MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROJECT:
**VESSEL LIQUOR
STORE DVP**

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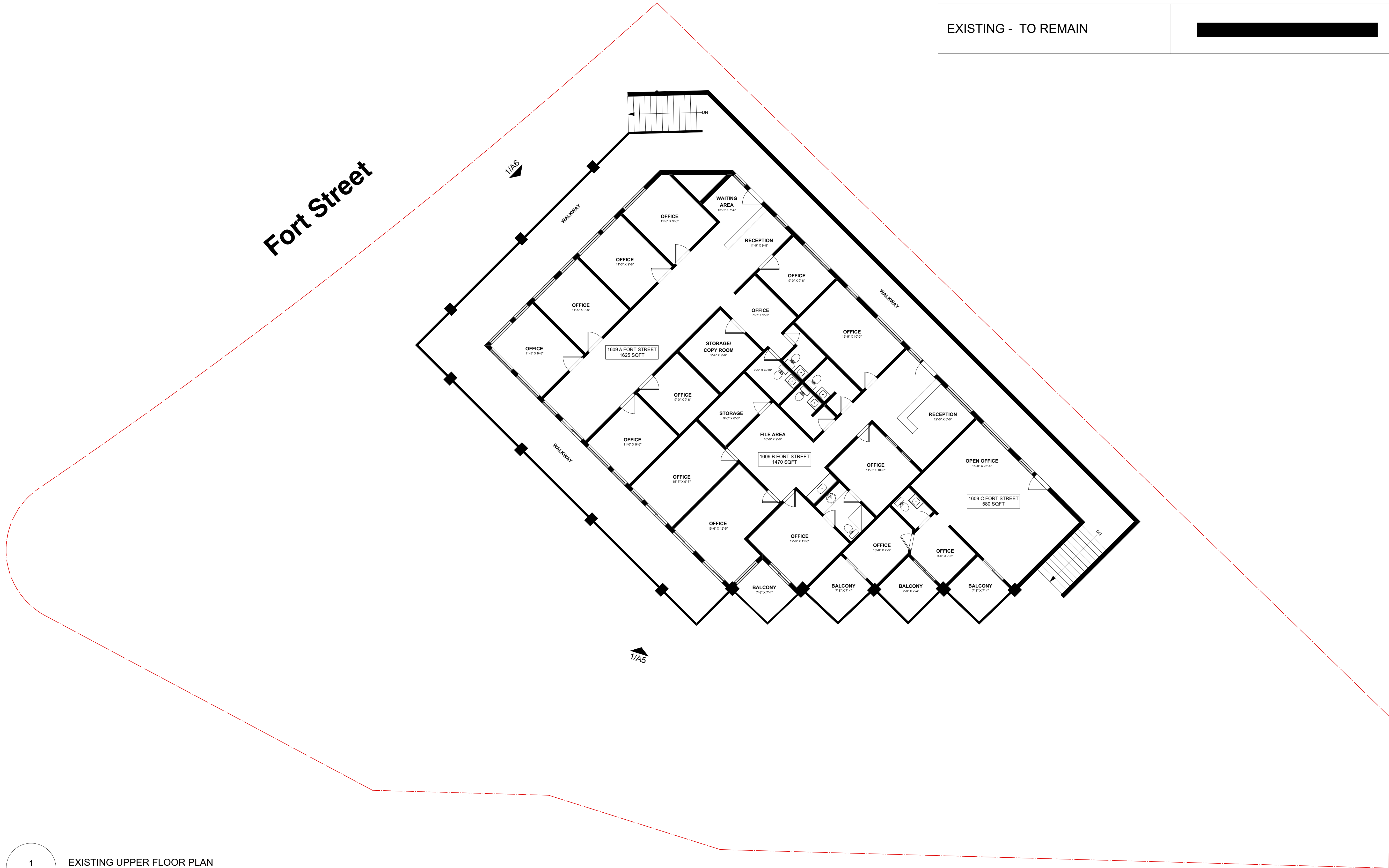
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**EXISTING MAIN
FLOOR PLAN**

DRAWING NUMBER:

A2

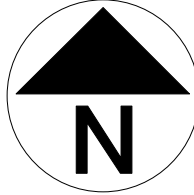
Oak Bay Avenue



1
A3
EXISTING UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"

DRAWING LEGEND	
EXISTING PROPERTY LINE	

PARTITION LEGEND	
EXISTING - TO REMAIN	



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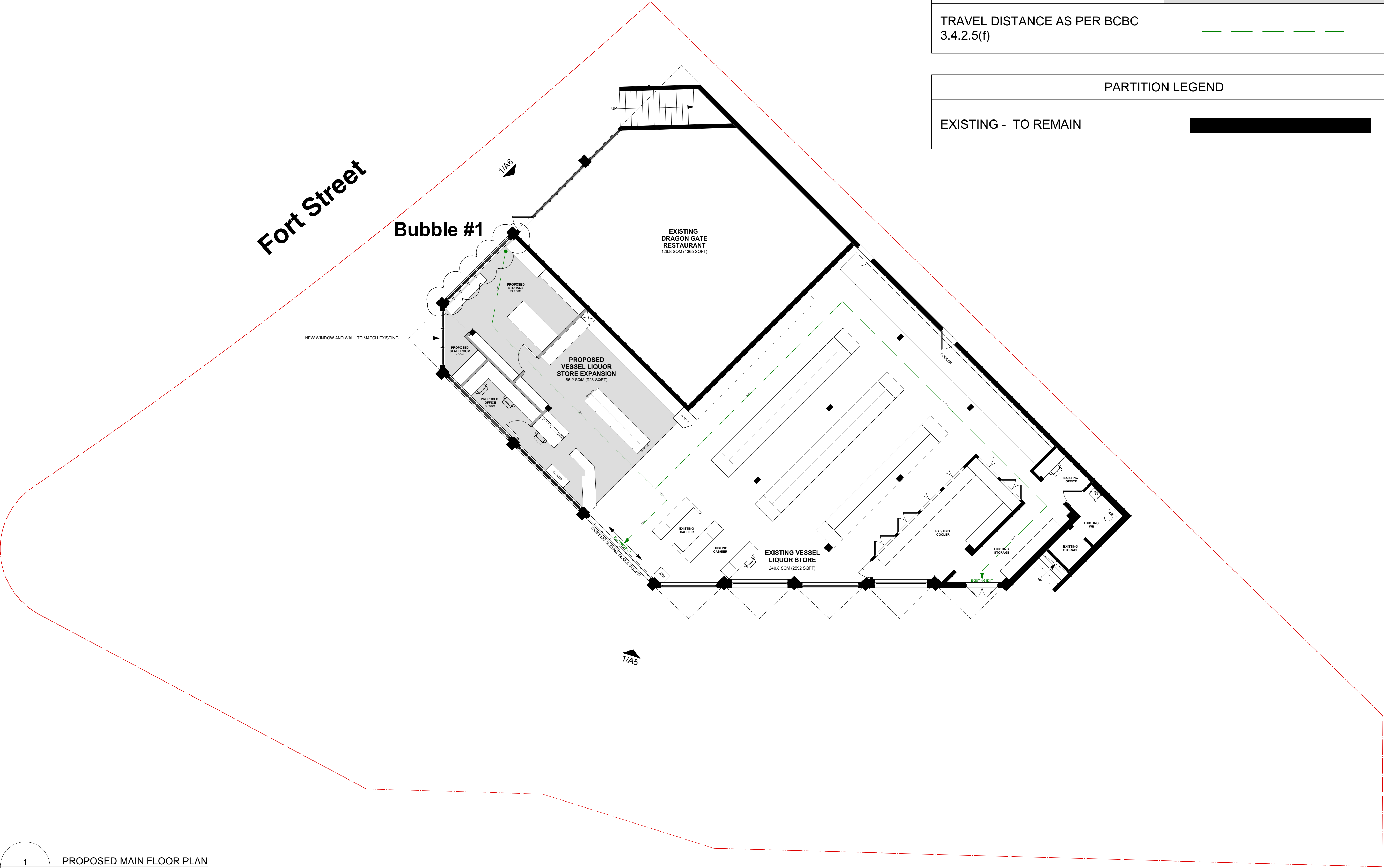
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**EXISTING UPPER
FLOOR PLAN**

DRAWING NUMBER:

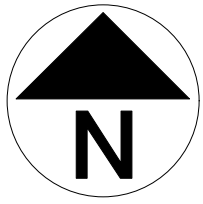
A3

Oak Bay Avenue



DRAWING LEGEND	
EXISTING PROPERTY LINE	<div></div>
PROPOSED EXPANSION SPACE	<div></div>
TRAVEL DISTANCE AS PER BCBC 3.4.2.5(f)	<div></div>

PARTITION LEGEND	
EXISTING - TO REMAIN	<div></div>



1
A4
PROPOSED MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

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DRAWING TITLE:

**PROPOSED MAIN
FLOOR PLAN**

DRAWING NUMBER:

A4

Oak Bay Avenue



EXISTING VIEW FROM OAK BAY AVE

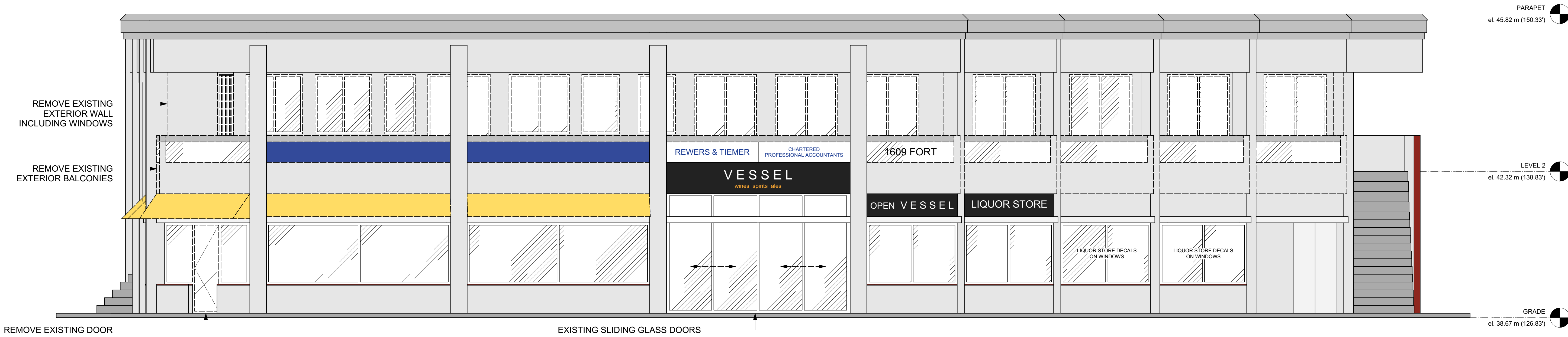


PROPOSED VIEW FROM OAK BAY AVE

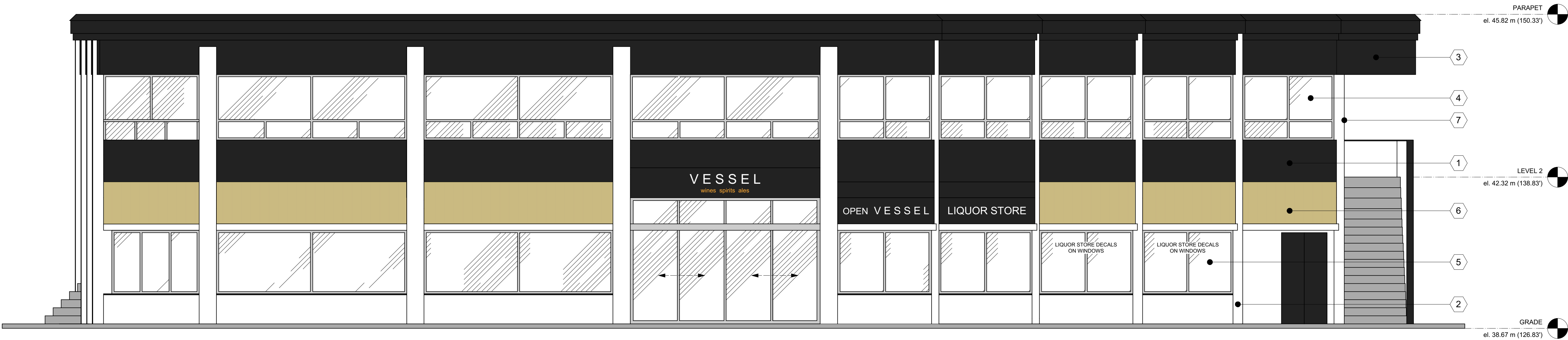
FINISHES LEGEND	
1	PAINT EXISTING STUCCO BENJAMIN MOORE "SIMPLY WHITE" 2143-70
2	PAINT ALL EXISTING BRICK BENJAMIN MOORE "SIMPLY WHITE" 2143-70
3	PAINT EXISTING TRIM BENJAMIN MOORE "BLACK JACK" 2133-20
4	EXISTING PATIOS TO BE REMOVED, CREATE CONTINUOUS EXTERIOR WALL TO RECIEVE NEW GLAZING
5	OPTION TO REPLACE EXISTING WINDOWS WITH NEW TO MATCH NEW WINDOWS ON SECOND FLOOR
6	ACCENT WOOD CLADDING AT SIGN BAND LEVEL & SOFFITS
7	OPTIONAL PAINTED OR PIN-MOUNTED SIGNAGE, FACE-LIT W/ NEW WALL MOUNT GOOSE NECK BLACK METAL LIGHTS

MATERIALS

- BUILDING/TRIM PAINT -**
BENJAMIN MOORE 'BLACK JACK' 2133-20
- BRICK PAINT -**
BENJAMIN MOORE 'SIMPLY WHITE' 2143-70
- ALUMINUM WINDOWS -** BLACK (IF ALL NEW) OR ANNOZIDED
ALUMINUM IF MATCHING EXISTING
- WOOD -** VERTICAL TONGUE & GROOVE CEDAR SIDING IN
NATURAL STAIN (OR SIMILAR)



1
A5
EXISTING ELEVATION
SCALE: 1:50



2
A5
PROPOSED ELEVATION
SCALE: 1:50
→ BEING PROPOSED THROUGH A SEPARATE APPLICATION (DDP 00547)

Bubble #3

PROJECT:
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STORE DVP**

PROJECT ADDRESS:
1609 FORT STREET
VICTORIA, BC

CLIENT:
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STORE**

steller
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VES-01-19

DRAWN BY:
SL

DATE:
NOVEMBER 12, 2020

SCALE:
AS NOTED

DRAWING TITLE:
**EXISTING &
PROPOSED
ELEVATIONS**

DRAWING NUMBER:
A5



EXISTING VIEW FROM FORT STREET



PROPOSED VIEW FROM FORT STREET

FINISHES LEGEND	
1	PAINT EXISTING STUCCO BENJAMIN MOORE "SIMPLY WHITE" 2143-70
2	PAINT ALL EXISTING BRICK BENJAMIN MOORE "SIMPLY WHITE" 2143-70
3	PAINT EXISTING TRIM BENJAMIN MOORE "BLACK JACK" 2133-20
4	EXISTING PATIOS TO BE REMOVED, CREATE CONTINUOUS EXTERIOR WALL TO RECIEVE NEW GLAZING
5	OPTION TO REPLACE EXISTING WINDOWS WITH NEW TO MATCH NEW WINDOWS ON SECOND FLOOR
6	ACCENT WOOD CLADDING AT SIGN BAND LEVEL & SOFFITS

MATERIALS

BUILDING/TRIM PAINT -
BENJAMIN MOORE 'BLACK JACK' 2133-20

BRICK PAINT -
BENJAMIN MOORE 'SIMPLY WHITE' 2143-70

ALUMINUM WINDOWS - BLACK (IF ALL NEW) OR ANNOIDIZED
ALUMINUM IF MATCHING EXISTING

WOOD - VERTICAL TONGUE & GROOVE CEDAR SIDING IN
NATURAL STAIN (OR SIMILAR)

PROJECT:
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STORE DVP**

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1609 FORT STREET
VICTORIA, BC

CLIENT:

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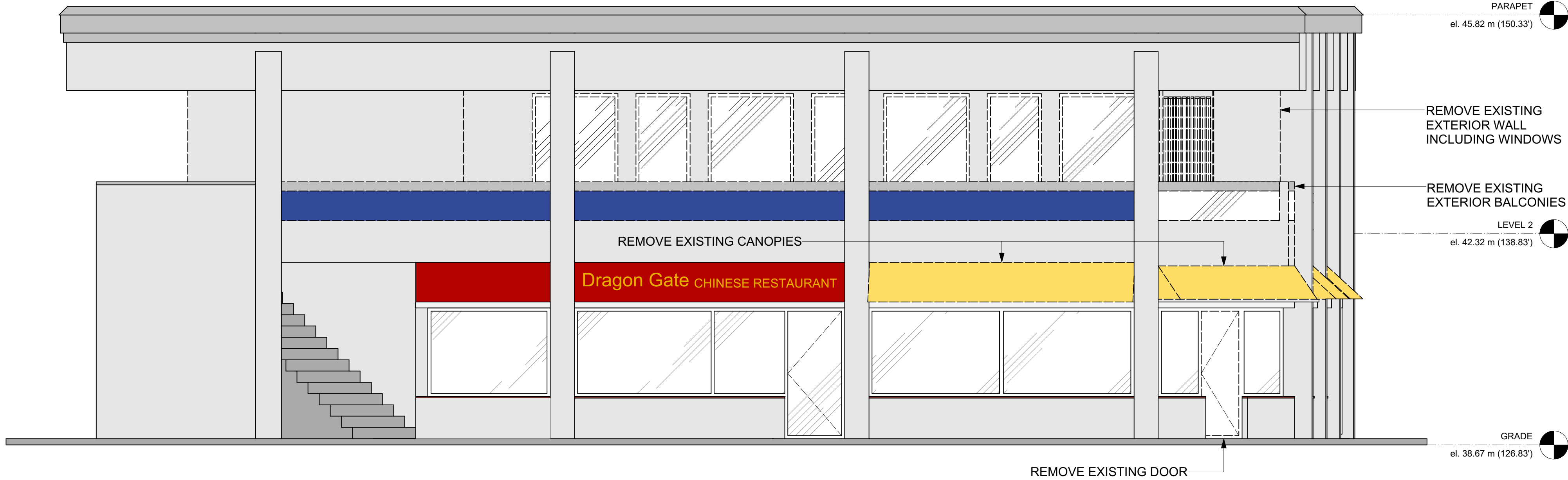
DATE:
NOVEMBER 12, 2020

SCALE:
AS NOTED

DRAWING TITLE:
**EXISTING &
PROPOSED
ELEVATIONS**

DRAWING NUMBER:

A6



1
A6
EXISTING ELEVATION
SCALE: 1:50

1
AUG 19,
2020



2
A6
PROPOSED ELEVATION — BEING PROPOSED THROUGH A SEPARATE APPLICATION (DDP 00547)
SCALE: 1:50

Bubble #1

Bubble #3