



1693 Fort Street
Victoria, B.C.



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Victoria BC Canada V8T 5K2

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Issued for Re-Zoning and
Development Permit Applications
January 22, 2021

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V8Z 4B7
T: (250) 727-2214

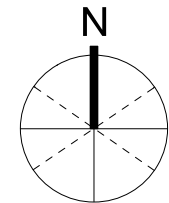
List of Drawings

Architectural		Landscape		Civil	
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A0.2	Average Grade	L3	Tree Planting Areas		
A0.3	Shadow Studies				
A0.4	Perspective Views				
A0.5	Perspective Views				
A1.0	Survey				
A2.0	Site Plan / L1 Floorplan				
A2.1	L2 & L3 Floorplan				
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A2.3	L6 Floorplan & Roof Plan				
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0 5m
1:100 scale in metres

1	Rezoning and DPA	21/01/22
0	Rezoning and DPA	20/11/18
rev no	description	date

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project name
Student Rental Housing
1693 Fort Street

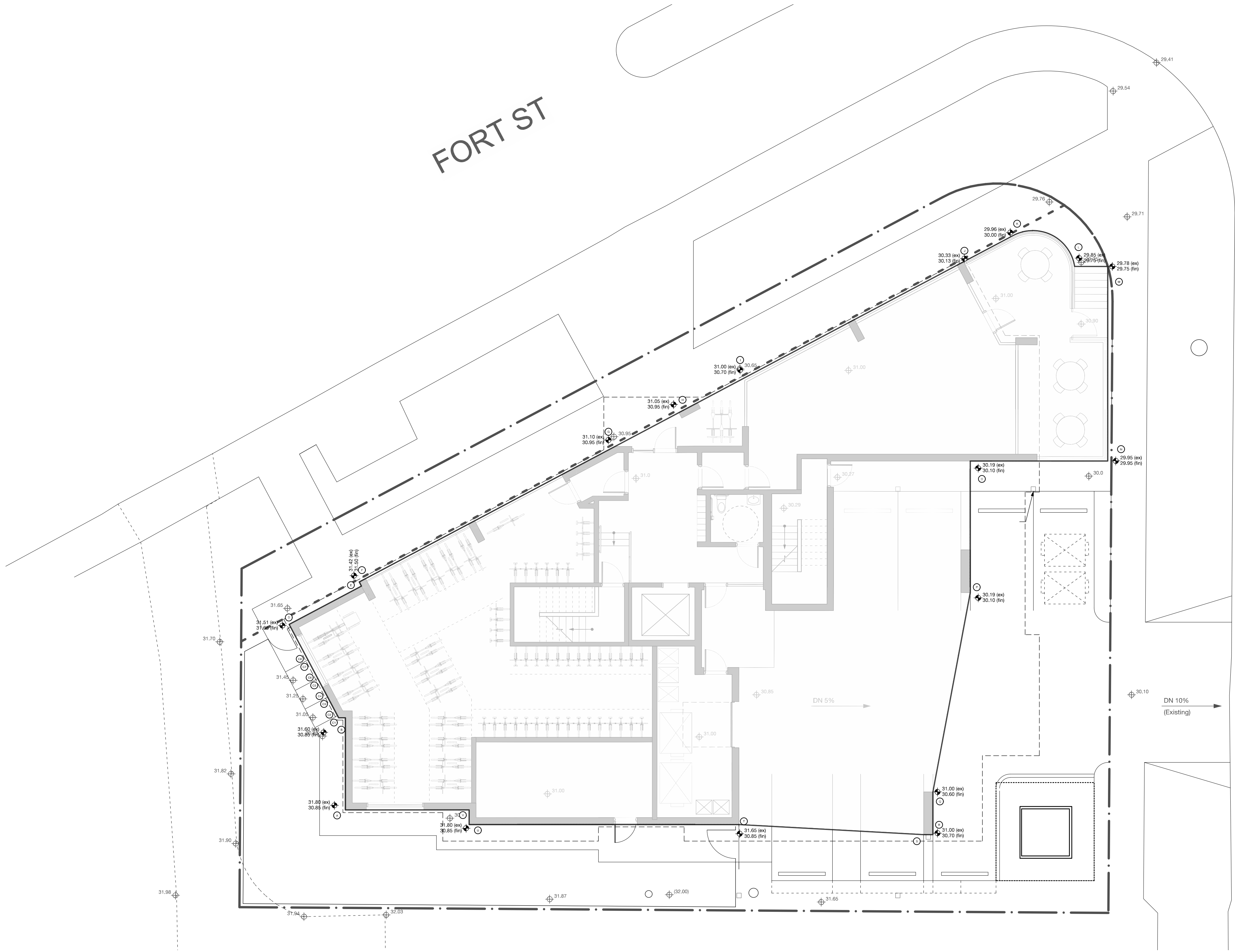
sheet title
Average Grade

project no.	20-17
drawing file	20-17 Student Housing CURRENT.vwx
date issued	January 22, 2020
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

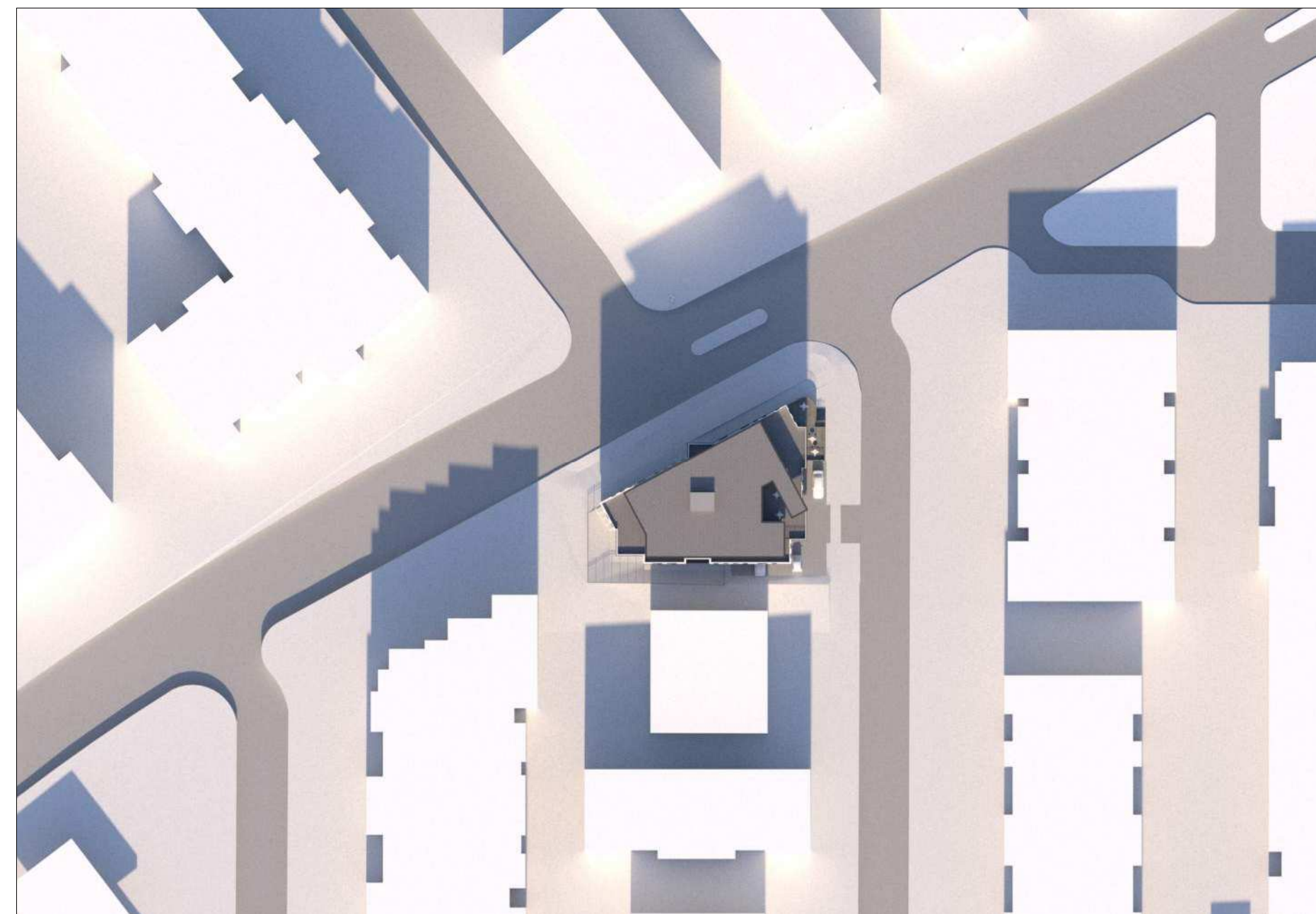
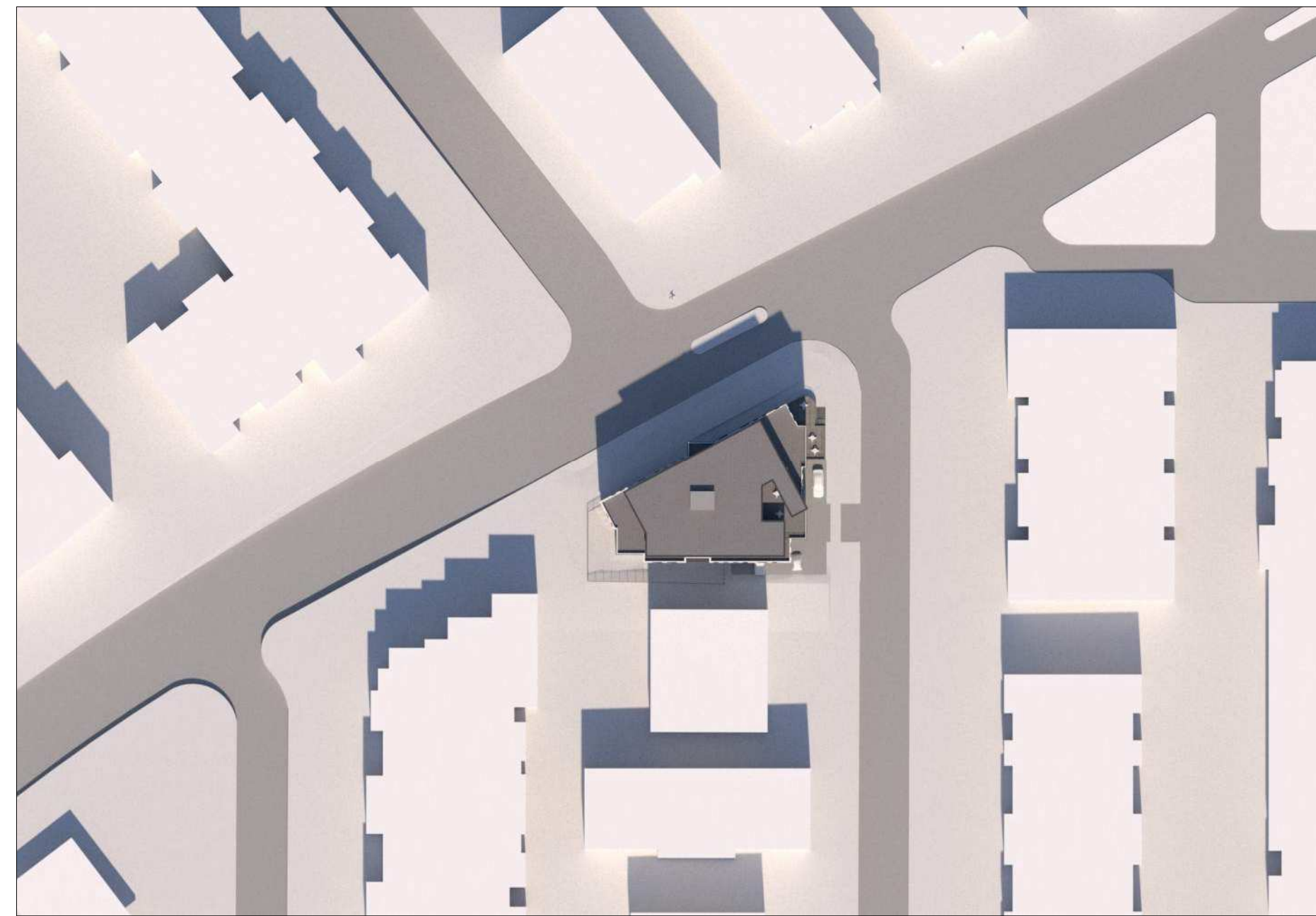
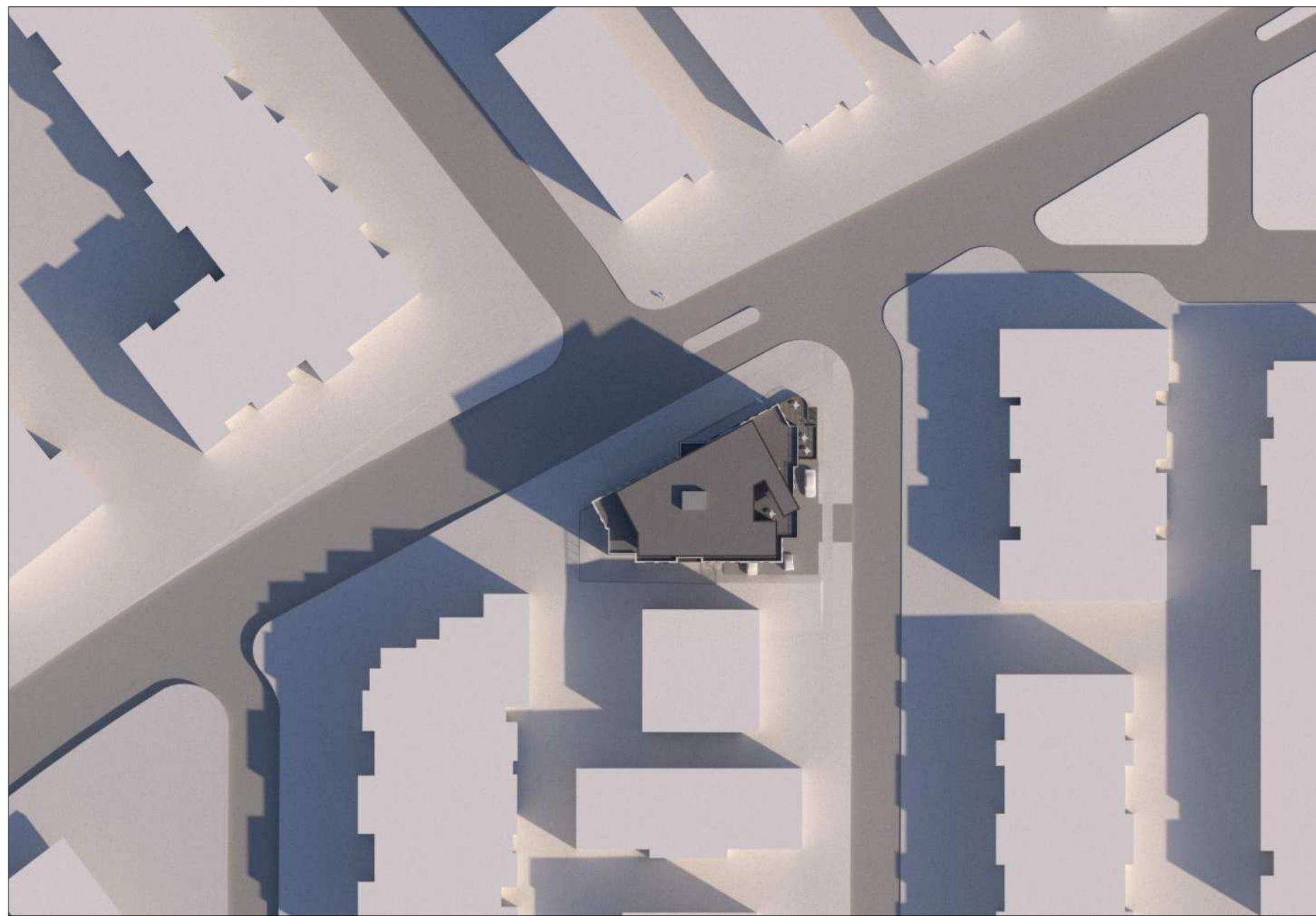
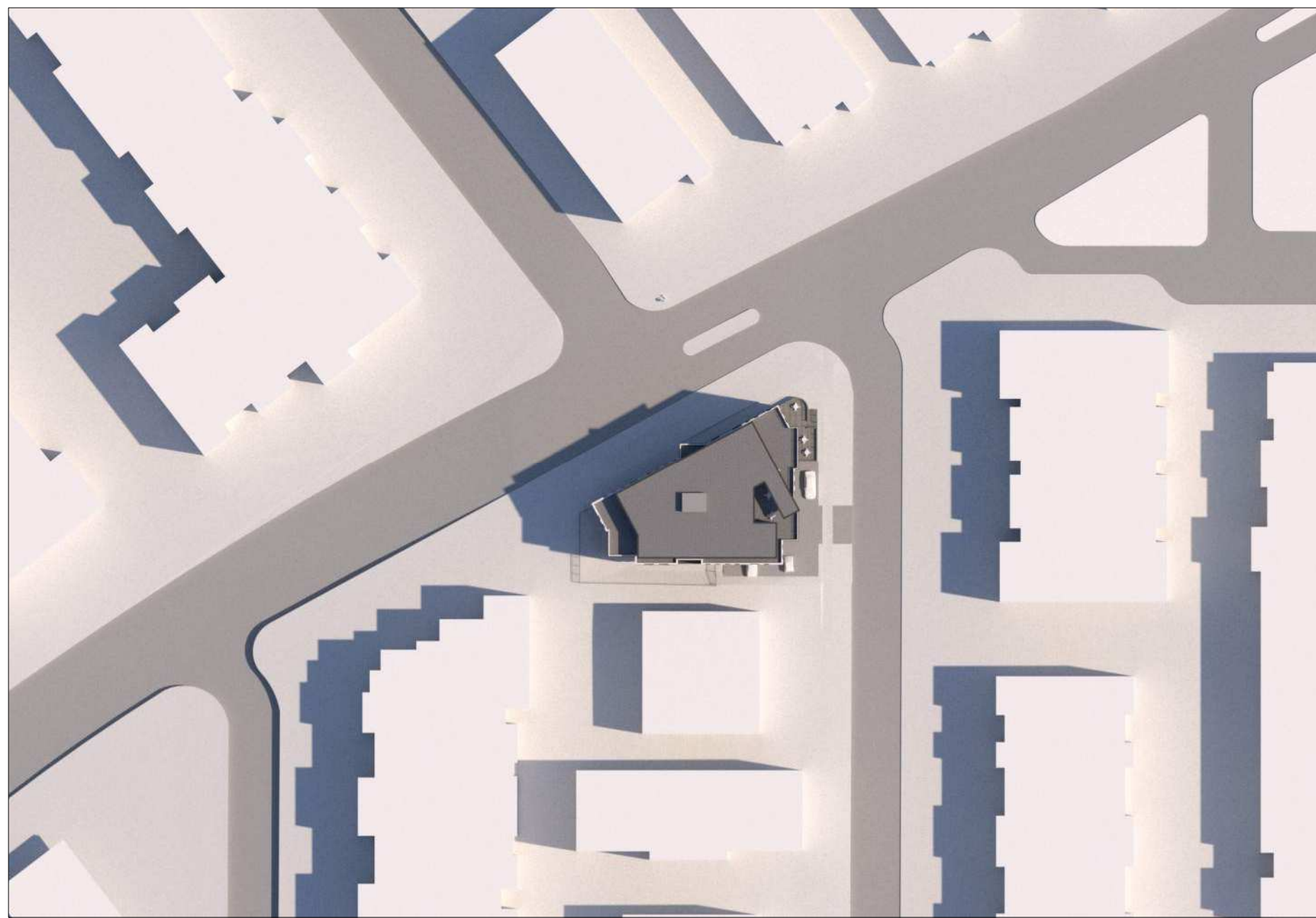
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A0.2


Project Data 2020-01-22 Average Grade = 30.620

ID	Grade (m)	Interval	Average Grade	Distance (m)
A	30.85	A-B	30.85	3.965
B	30.85	B-C1	30.85	0.388
C1	30.85	C1-C2	30.95	0
C2	31.05	C2-C3	31.05	0.9
C3	31.05	C3-C4	31.15	0
C4	31.25	C4-C5	31.25	0.9
C5	31.25	C5-C6	31.35	0
C6	31.45	C6-C7	31.45	0.9
C7	31.45	C7-C8	31.55	0
C8	31.65	C8-D	31.65	1.724
D	31.65	D-E	31.575	3.504
E	31.5	E-F	31.5	0.2
F	31.5	F-G	31.225	12.4
G	30.95	G-H	30.95	3.081
H	30.95	H-I	30.825	3.076
I	30.7	I-J	30.415	10.715
J	30.13	J-K	30.065	2.41
K	30	K-L	29.875	3.441
L	29.75	L-M	29.75	1.418
M	29.75	M-N	29.85	8.334
N	29.95	N-O	30.025	5.884
O	30.1	O-P	30.1	5.632
P	30.1	P-Q	30.35	8.684
Q	30.6	Q-R	30.65	1.83
R	30.7	R-S	30.7	0.4
S	30.7	S-T	30.775	7.914
T	30.85	T-U	30.85	11.552
U	30.85	U-V	30.85	0.628
V	30.85	V-A	30.85	5.3



1 **Average Grade Calculation**
Scale 1:100



	A0.3
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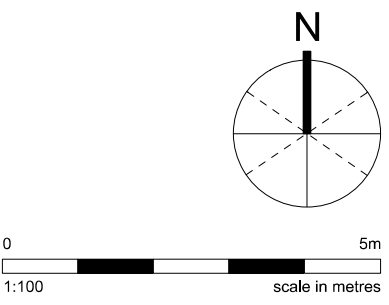
1 **View from Northeast**
Scale: NTS



2 **View from Northwest**
Scale: NTS



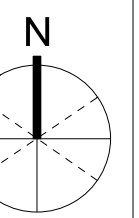
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0	Rezoning and DPA	20/11/18
rev no	description	date
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project name		
Student Rental Housing		
1693 Fort Street		
sheet title		
Elevations - South and East		
project no.	20-17	
drawing file	20-17 Student Housing CURRENT.vwx	
date issued	January 22, 2020	
scale	As Noted	
drawn by	MZ	
checked by	ES	
revision no.	sheet no.	
1	A0.3	



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project name

Student Rental Housing

1693 Fort Street

sheet title

Elevations - South
and East

project no.	20-17
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drawing file 20-17 Student Housing CURRENT.vwx

date issued	January 22, 2020
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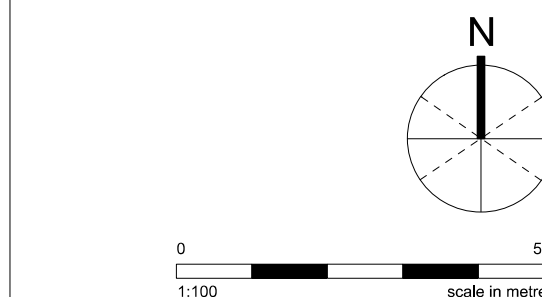
scale	As Noted
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drawn by	MZ
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checked by	ES
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revision no.	sheet no.
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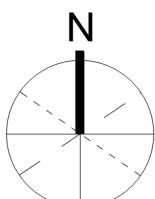
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0 5m
1:100 scale in metres

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0	Rezoning and DPA	20/11/18

rev no	description	date
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project name

Student Rental Housing

1693 Fort Street

sheet title

Site Plan / L1 Floorplan

project no. 20-17

drawing file 20-17 Student Housing CURRENT.vwx

date issued January 22, 2020

scale As Noted

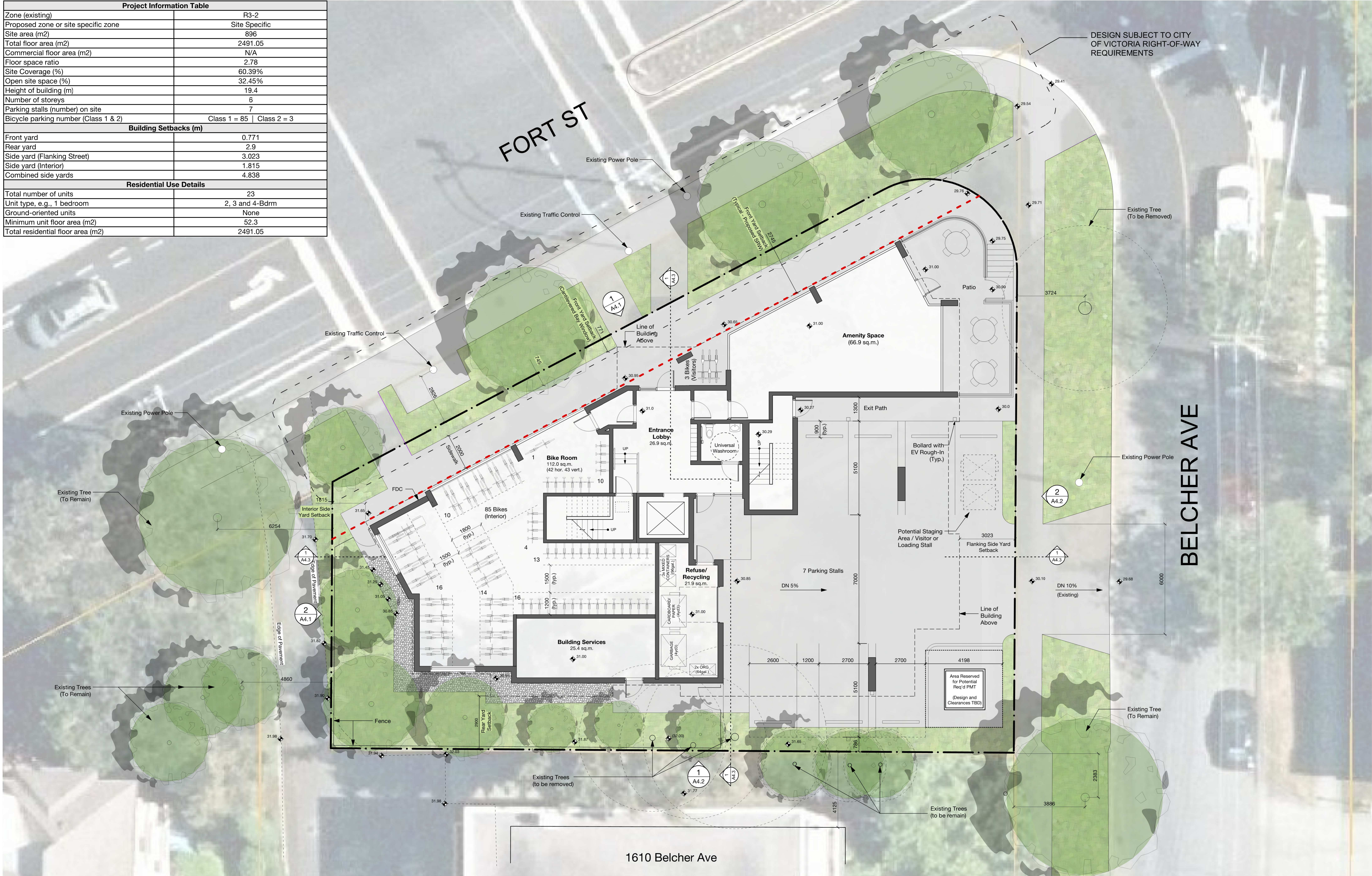
drawn by MZ

checked by ES

revision no. sheet no.

1 A1.1

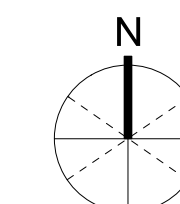
Project Information Table	
Zone (existing)	R3-2
Proposed zone or site specific zone	Site Specific
Site area (m2)	896
Total floor area (m2)	2491.05
Commercial floor area (m2)	N/A
Floor space ratio	2.78
Site Coverage (%)	60.39%
Open site space (%)	32.45%
Height of building (m)	19.4
Number of storeys	6
Parking stalls (number) on site	7
Bicycle parking number (Class 1 & 2)	Class 1 = 85 Class 2 = 3
Building Setbacks (m)	
Front yard	0.771
Rear yard	2.9
Side yard (Flanking Street)	3.023
Side yard (Interior)	1.815
Combined side yards	4.838
Residential Use Details	
Total number of units	23
Unit type, e.g., 1 bedroom	2, 3 and 4-Bdrm
Ground-oriented units	None
Minimum unit floor area (m2)	52.3
Total residential floor area (m2)	2491.05



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0
1:100 scale in metres

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rev no	description	date

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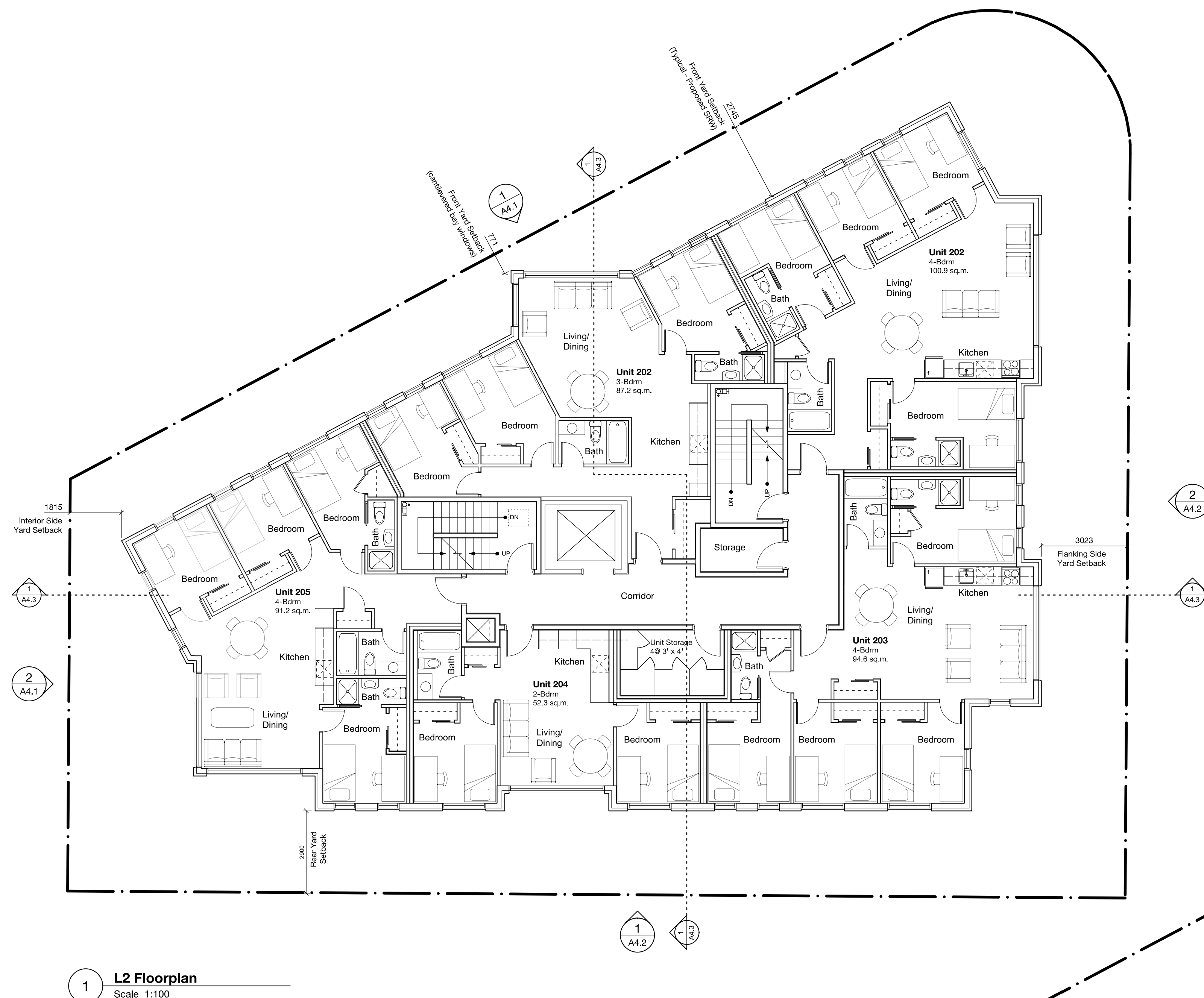
project name	Student Rental Housing
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1693 Fort Street

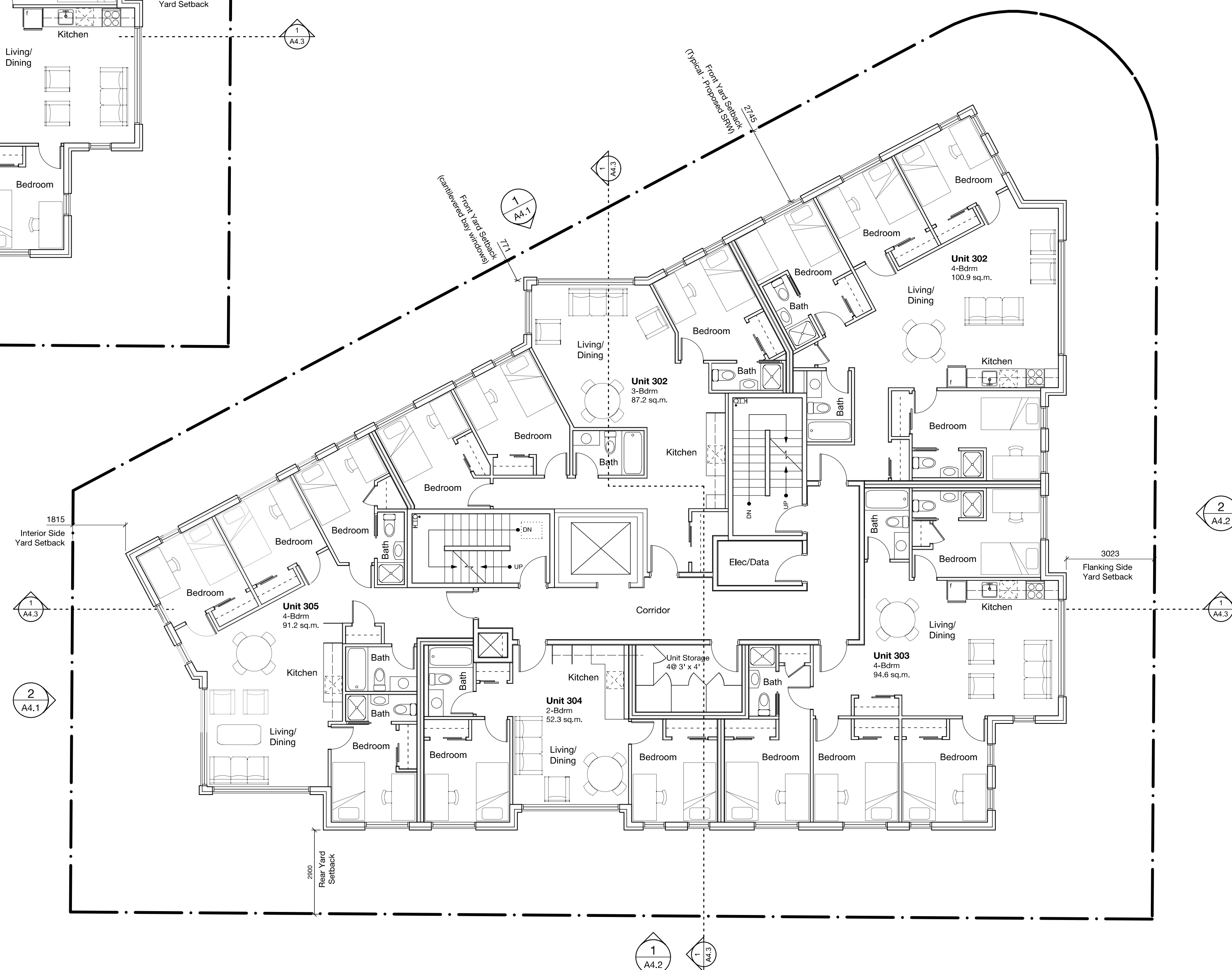
sheet title

L2 & L3 Floorplans

project no.	20-17
drawing file	20-17 Student Housing CURRENT.vw
date issued	January 22, 2020
scale	As Noted
drawn by	MA
checked by	ES
revision no.	sheet no.



1 L2 Floorplan
Scale 1:100



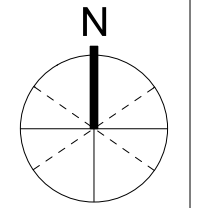
2 **L3 Floorplan**
Scale 1:100



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0 5m
1:100 scale in metres

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rev no	description	date

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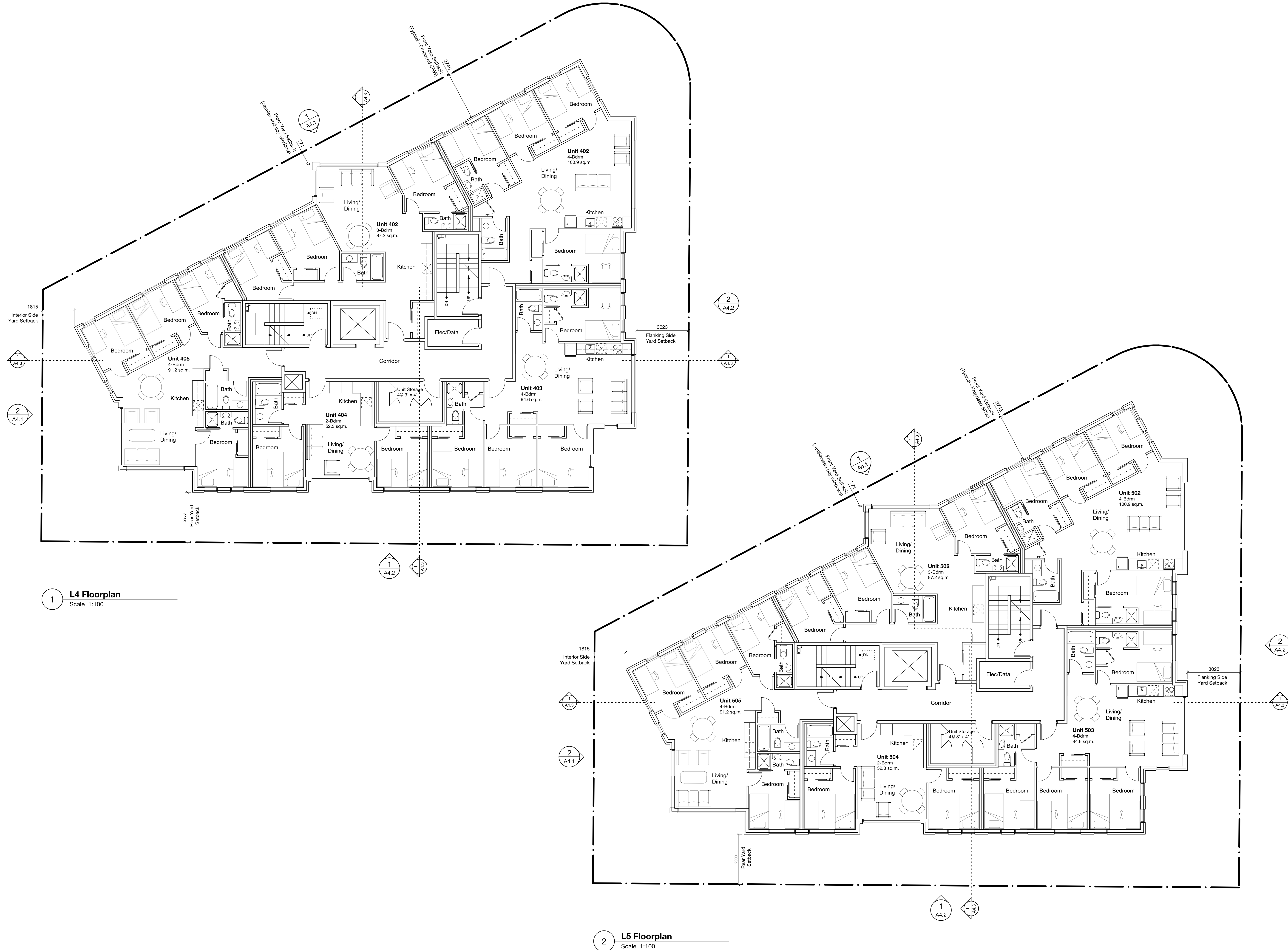
project name
Student Rental Housing

1693 Fort Street

sheet title
L4 & L5 Floorplans

project no.	20-17
drawing file	20-17 Student Housing CURRENT.vwx
date issued	January 22, 2020
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

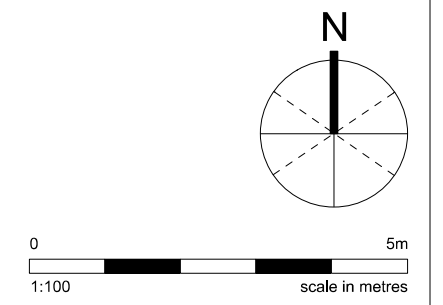
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1	Rezoning and DPA	21/01/22
0	Rezoning and DPA	20/11/18
rev no	description	date

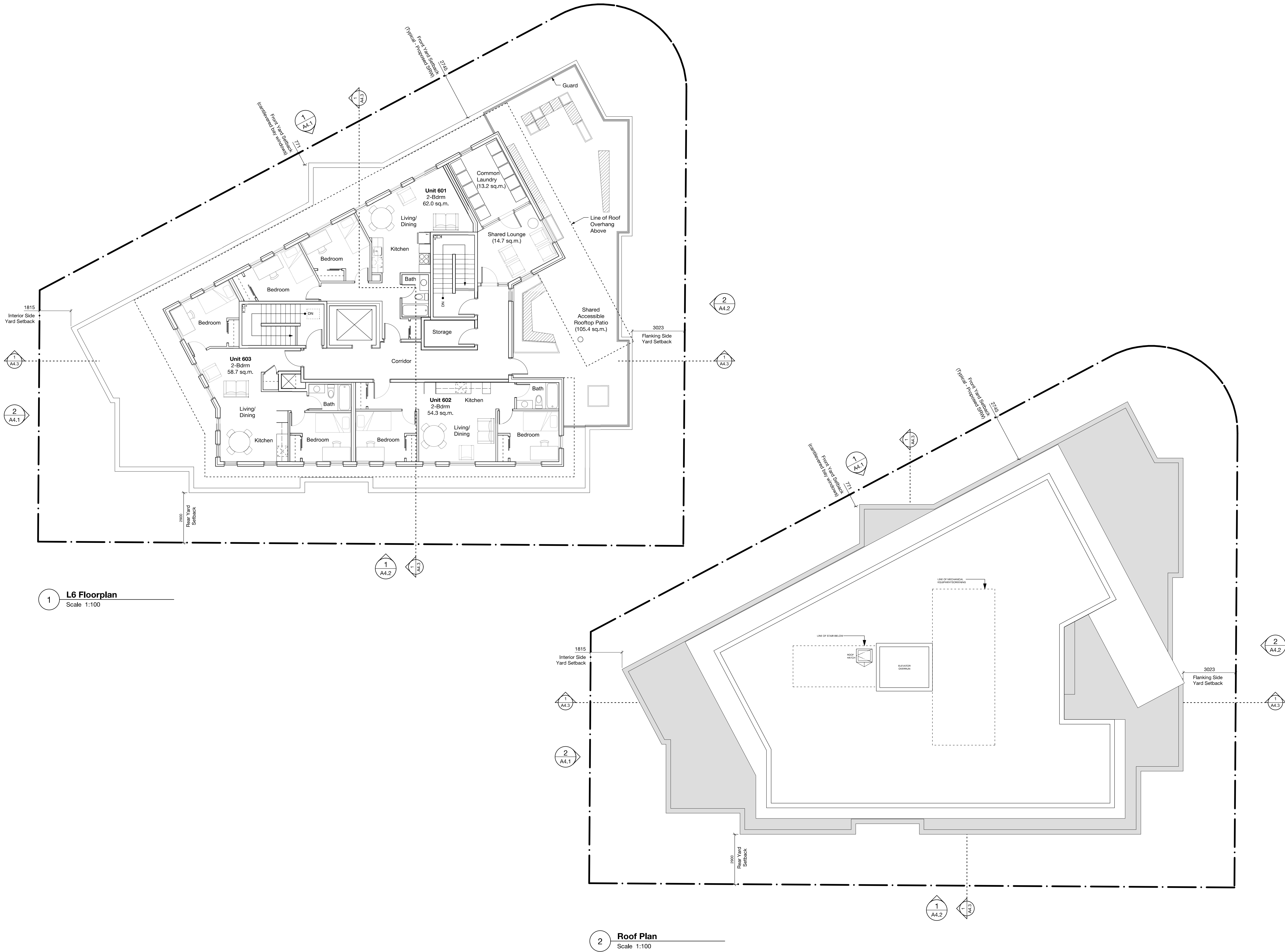
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project name
Student Rental Housing
1693 Fort Street

sheet title
L6 & Roof Floorplans

project no.	20-17
drawing file	20-17 Student Housing CURRENT.vwx
date issued	January 22, 2020
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

1
A2.3





1 North Elevation
Scale 1:100



2 West Elevation
Scale 1:100

Material Examples



Finish Legend

- 1 Pre-finished Metal 'Weathered Zinc' (Flashings and Parapets)
- 2 Corrugated Metal Cladding 'Surf White' (L2-L5 only)
- 3 Charcoal Ceraclad 'Zen Garden' (L2-L5 Only)
- 4 Glazing
- 5 Black Vinyl Window Frames (L1 to L6)
- 6 Exposed Concrete (Ground Level Only)

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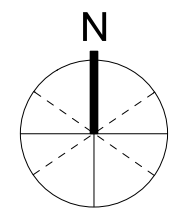
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rev no	description	date
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project name		
Student Rental Housing		
1693 Fort Street		
sheet title		
Elevations - North and West		
project no.		20-17
drawing file		20-17 Student Housing CURRENT.vwx
date issued		January 22, 2020
scale		As Noted
drawn by		MZ
checked by		ES
revision no.	sheet no.	
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0 5m
1:100 scale in metres

Material Examples



Finish Legend

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- 2 Corrugated Metal Cladding 'Surf White' (L2-L5 only)
- 3 Charcoal Ceraclad 'Zen Garden' (L2-L5 Only)
- 4 Glazing
- 5 Black Vinyl Window Frames (L1 to L6)
- 6 Exposed Concrete (Ground Level Only)



1 South Elevation
Scale 1:100



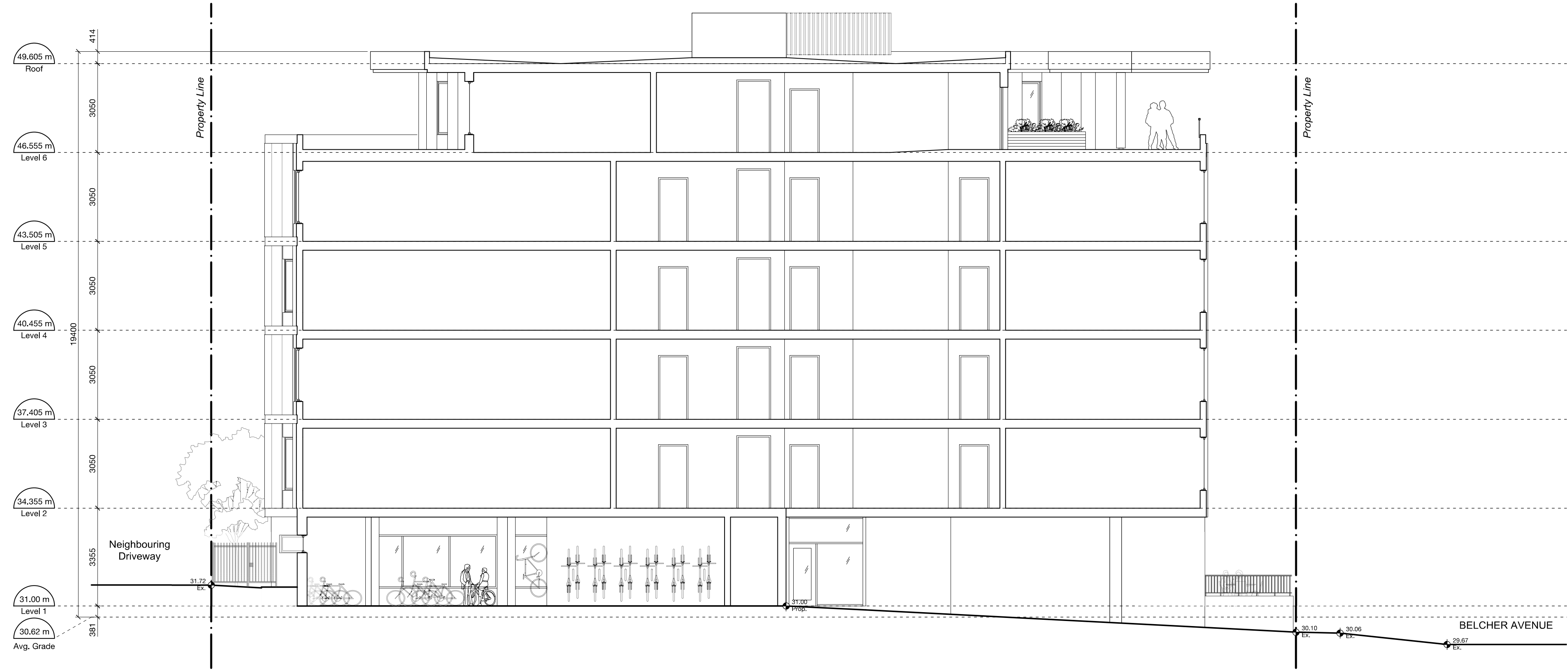
2 East Elevation
Scale 1:100

1	Rezoning and DPA	2/1/01/22
0	Rezoning and DPA	20/11/18
rev no	description	date
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project name		
Student Rental Housing		
1693 Fort Street		
sheet title		
Elevations - South and East		
project no.		20-17
drawing file		20-17 Student Housing CURRENT.vwx
date issued		January 22, 2020
scale		As Noted
drawn by		MZ
checked by		ES
revision no.		sheet no.
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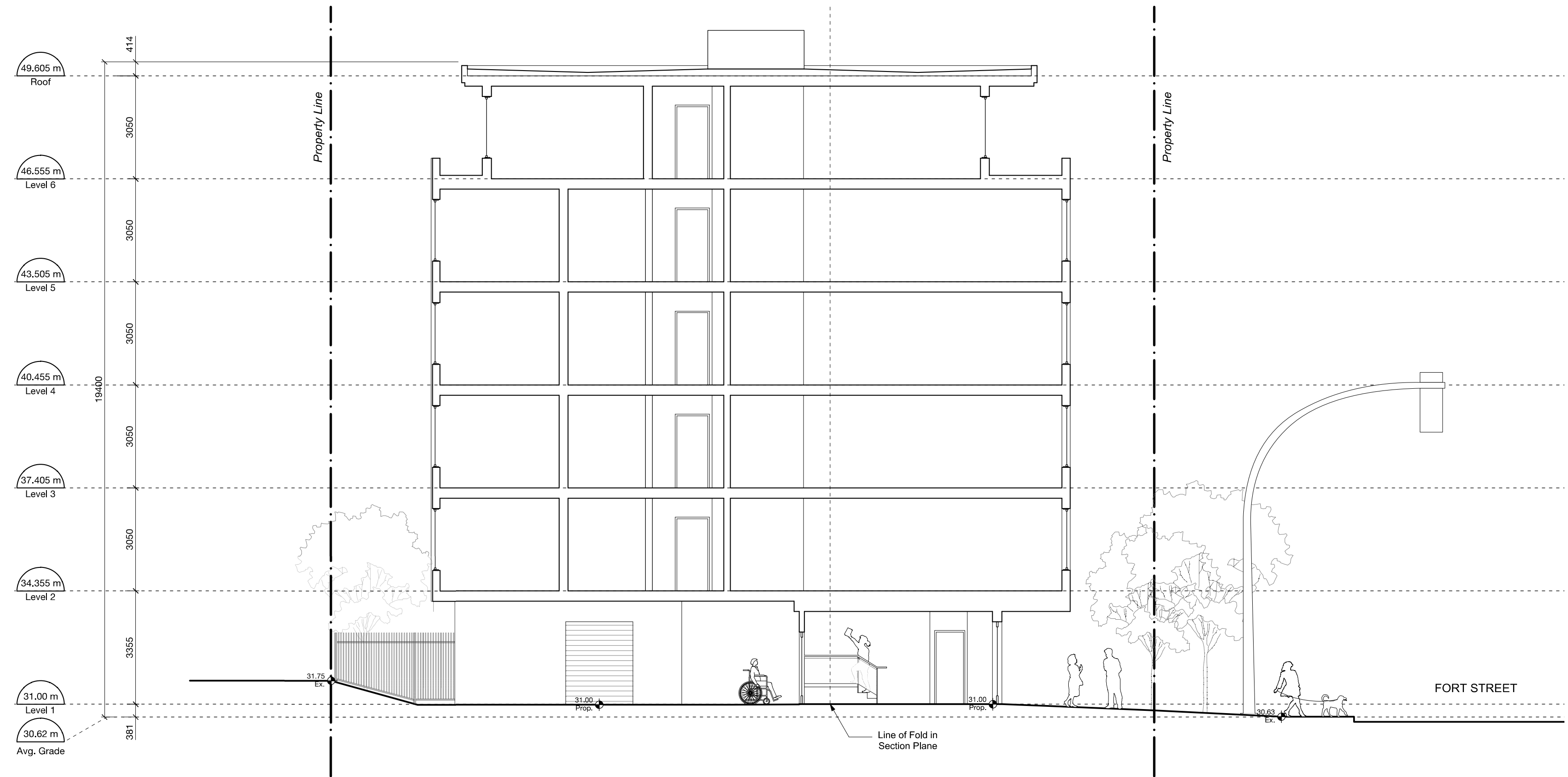


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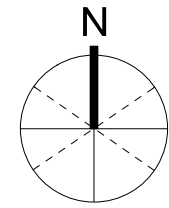
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1 Section 1
Scale 1:100



2 Section 2
Scale 1:100



0 5m
1:100 scale in metres

1	Rezoning and DPA	21/01/22
0	Rezoning and DPA	20/11/18

rev no	description	date
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project name
Student Rental Housing
1693 Fort Street

sheet title
Elevations - South and East

project no. 20-17

drawing file 20-17 Student Housing CURRENT.vwx

date issued January 22, 2020

scale As Noted

drawn by MZ

checked by ES

revision no. sheet no.

1 A4.2



CLIENT NAME
ARYZE Developments

PROJECT
Student Housing

ADDRESS
1693 Fort St.
Victoria BC

DESIGNED BY
Bianca Bodley

DRAWN BY
KH

REVISIONS:



ISSUED FOR
REZONING AND DP
JANUARY 25, 2021

Scale: 1:100

L1 Landscape Site Plan

DATE: January, 2021



PROJECT
Student Housing

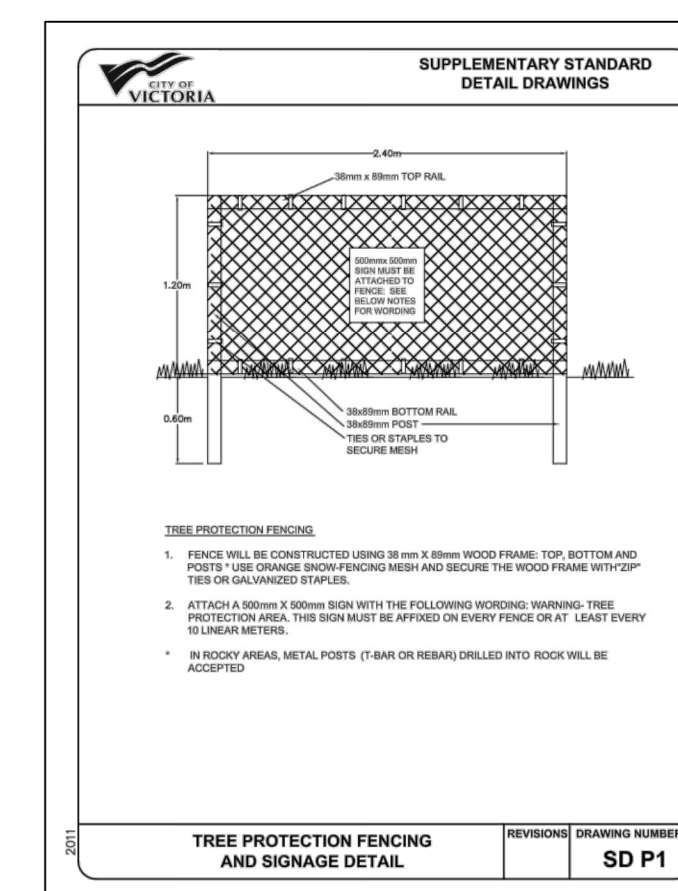
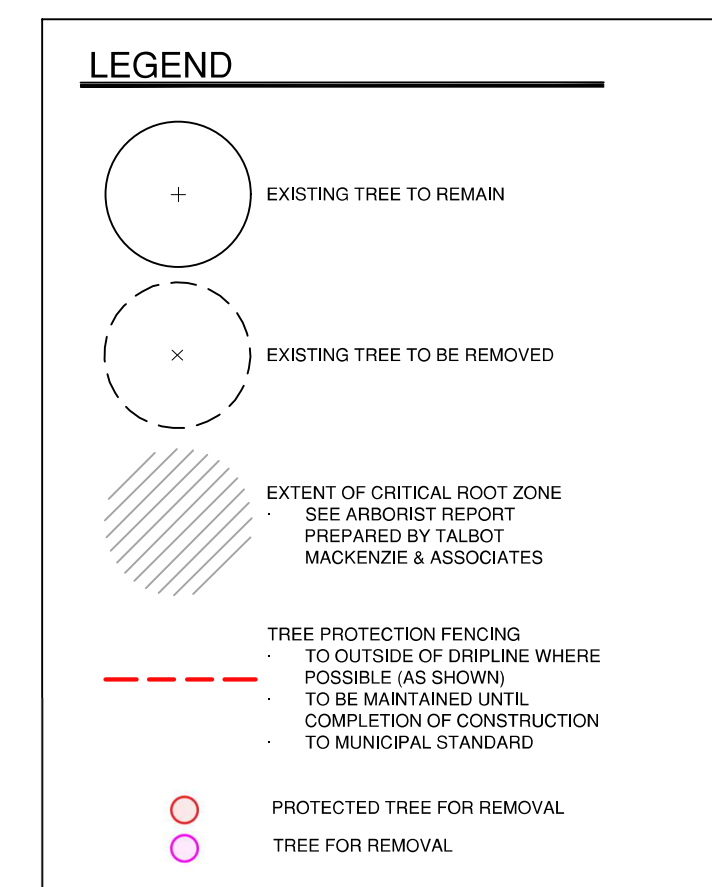
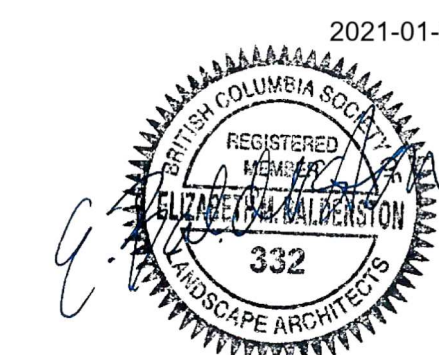
ADDRESS
1693 Fort St.
Victoria BC

Bianca Bodley

KH

REVISIONS:

TOTAL NUMBER OF TREES ON SITE:	7
NUMBER OF BYLAW PROTECTED TREES ONSITE:	5
NUMBER OF BYLAW PROTECTED TREES ONSITE TO BE REMOVED:	5
NUMBER OF REPLACEMENT TREES REQUIRED ONSITE:	10
NUMBER OF NON BYLAW PROTECTED TREES ONSITE:	2
NUMBER OF NON BYLAW PROTECTED TREES ONSITE TO BE REMOVED:	2
TOTAL NUMBER OF TREES ON MUNICIPAL PROPERTY:	1
NUMBER OF BYLAW PROTECTED TREES ON MUNICIPAL PROPERTY:	1
NUMBER OF BYLAW PROTECTED TREES ON M. PROPERTY TO BE REMOVED:	1
NUMBER OF NON BYLAW PROTECTED BOULEVARD TREES TO BE REMOVED:	0
NUMBER OF REPLACEMENT TREES REQUIRED ON MUNICIPAL PROPERTY:	2
TOTAL NUMBER OF TREES TO BE REMOVED:	8
TOTAL NUMBER OF REPLACEMENT TREES REQUIRED:	12

[illegible]

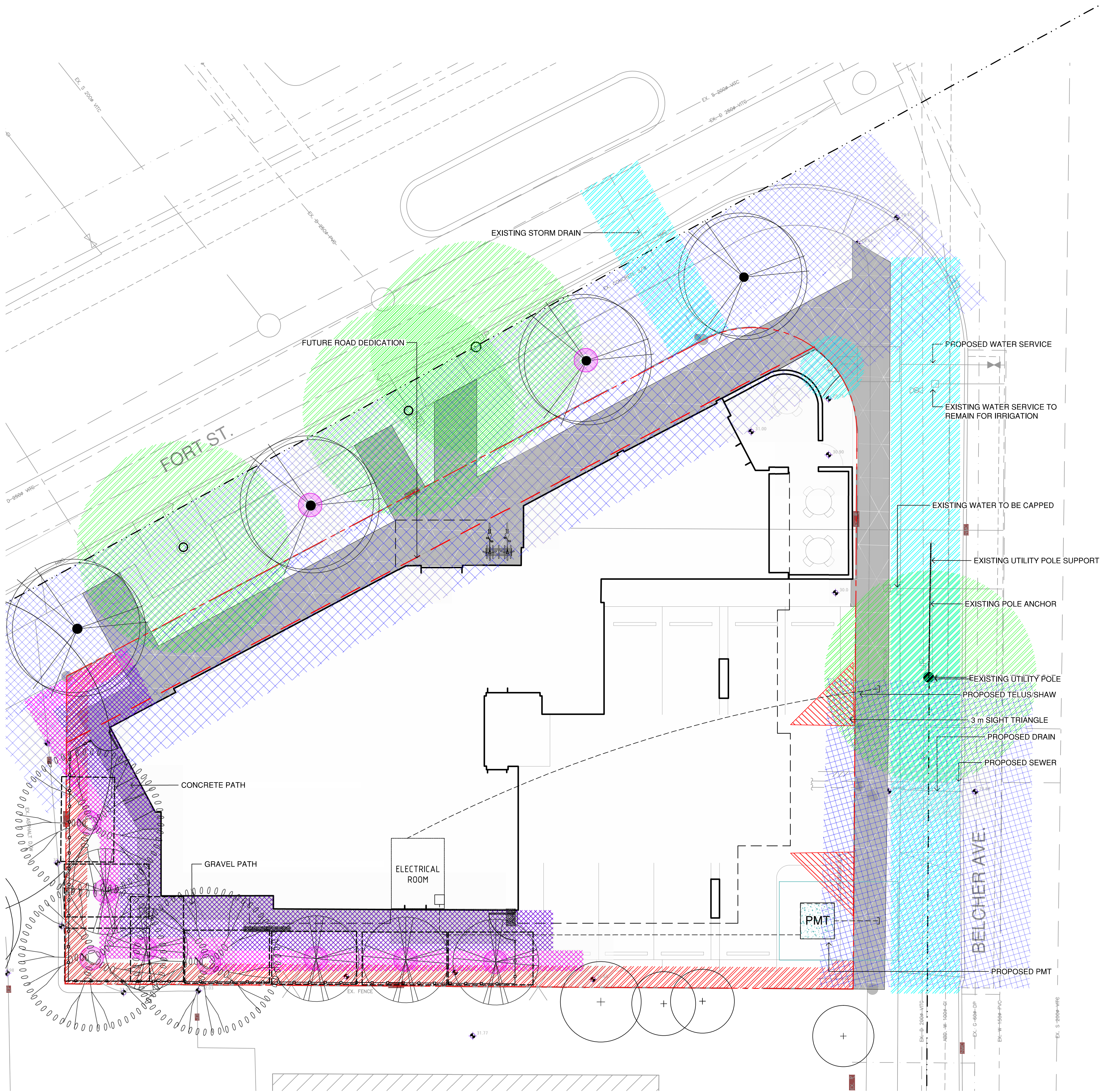
ISSUED FOR
REZONING AND DP
JANUARY 25, 2021

Scale: 1:100



L2 Tree Removal & Protection Plan

DATE: January, 2021



LEGEND

TREE PLANTING RESTRICTIONS-BC HYDRO

- OVERHEAD POWER LINE
- 5.0 m OFFSET, 5.0 m MAX TREE HEIGHT
- 10.0 m OFFSET, 12.0 m MAX TREE HEIGHT
- 5.0 m OFFSET FROM HYDRO OR LIGHT POLE
- 1.5 m OFFSET FROM EDGE OF UTILITY TO CENTRE OF TREE

REPLACEMENT TREE PLANTING RESTRICTIONS

- 1.0 m FROM PROPERTY LINE: NO TREES
- 2.0 m FROM BUILDING FOUNDATION OR WALL: NO TREES
- BETWEEN 2.0-3.0 m FROM BUILDING FOUNDATION OR WALL: TREES MUST BE UNDER 8.0 m (MATURE HEIGHT)
- 2.0 m OFFSET FROM DRIVEWAY OR WALKWAY
- POTENTIAL REPLACEMENT TREE LOCATION
- EXISTING TREE TO REMAIN

SOIL VOLUME ANALYSIS

BCNA STANDARD MIN TREE SOIL VOLUME

- ALL TREES: 6m³
- 60 cm DEEP (24") FOR 10 m² MIN AREA AROUND TREE
- 45 cm DEEP (18") IF OVER 13 m²

TOTAL REPLACEMENT TREES REQUIRED:	12
ON-SITE REPLACEMENT TREES REQUIRED:	10
ON-SITE REPLACEMENT TREES PROPOSED:	8
NON REPLACED TREES	2
MUNICIPAL REPLACEMENT TREES REQUIRED:	2
MUNICIPAL REPLACEMENT TREES PROPOSED:	2

TREE SCHEDULE						
Quantity	Symbol	Latin Name	Common Name	Container	Caliper	Native
1		Acer circinatum	Vine maple	B&B	4cm	yes
5		Cornus nuttallii	Pacific dogwood	B&B	4cm	yes
3		Quercus garryana	Garry oak	B&B	4 cm	yes
MUNICIPAL						
4		Prunus ceracifera nigra	Black cherry plum	B&B	4cm	

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CLIENT NAME
ARYZE Developments

PROJECT
Student Housing

ADDRESS
1693 Fort St.
Victoria BC

DESIGNED BY
Bianca Bodley

DRAWN BY
KH

REVISIONS:



ISSUED FOR
REZONING AND DP
JANUARY 25, 2021

Scale: 1:100



L3

DATE:January, 2021

