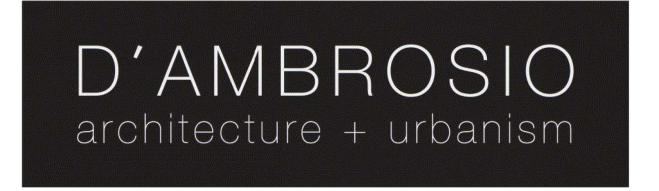


## **1693 Fort Street** Victoria, B.C.



2960 Jutland Road Victoria BC Canada V8T5K2

250.384.2400 250.384.2400 mail @ daustudio .ca

Issued for Re-Zoning and **Development Permit Applications January 22, 2021** 

Aryze Developments Inc.

#### **List of Drawings** Contacts

Aryze Developments 1839 Fairfield Road Victoria, BC V8S 1G9

T: (250) 940-3568

#### **Architect**

D'Ambrosio architecture + urbanism 2960 Jutland Road Victoria, BC V8T 5K2

T: (250) 384-2400

#### Landscape Architect

Biophilia Design Collective 1608 Camosun Street Victoria, BC V8T 3E6

T: (250) 590-1156

#### Civil McElhanney

Suite 500 3960 Quadra Street Victoria, BC V8X 4A3 T: (250) 370-9221

#### Surveyor

J.E. Anderson & Associates 4212 Glanford Ave Victoria, BC V8Z 4B7 T: (250) 727-2214

### **Architectural**

Cover Sheet Code Summary Average Grade **Shadow Studies** Perspective Views

Survey

Site Plan / L1 Floorplan A2.1 L2 & L3 Floorplan A2.2 L4 & L5 Floorplan L6 Floorplan & Roof Plan

North & West Elevations & Materials South & East Elevations & Materials

Perspective Views

**Building Sections** 

### Landscape

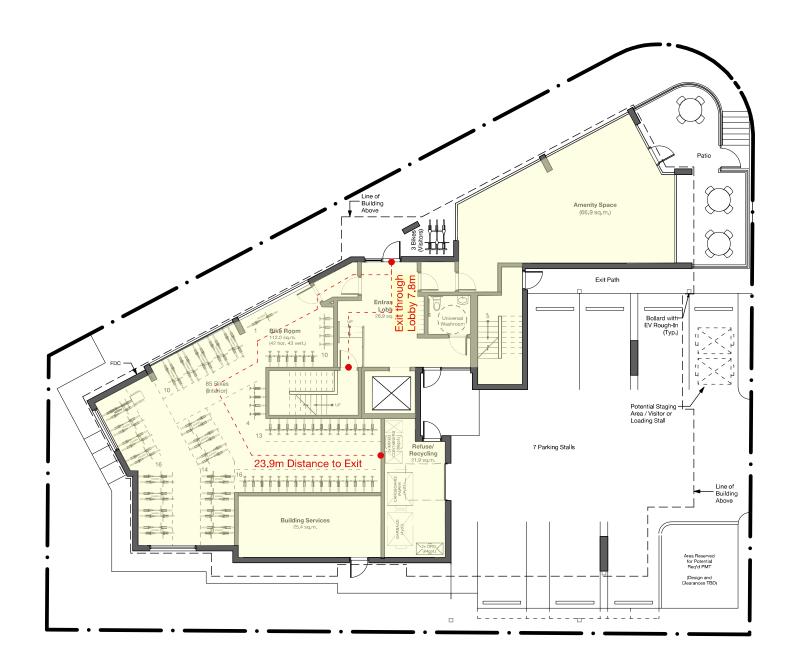
Landscape Site Plan

L2 Tree Removal and Protection Plan

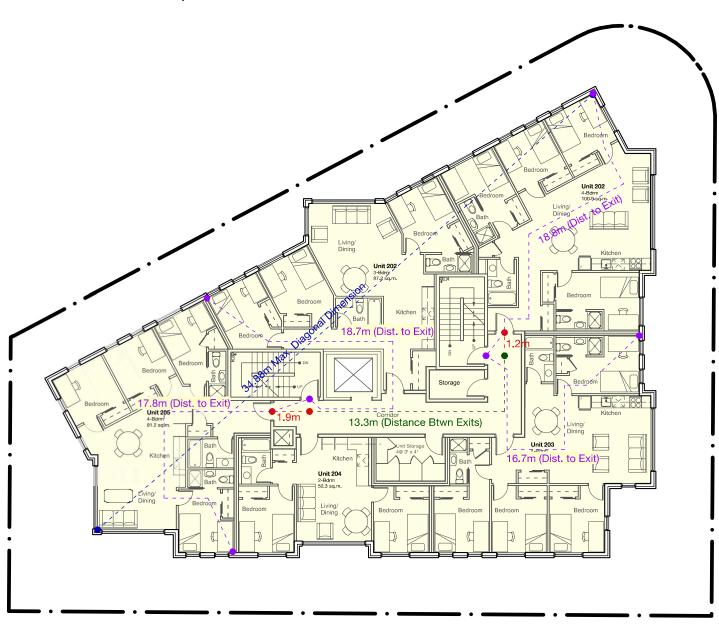
L3 Tree Planting Areas

### Civil

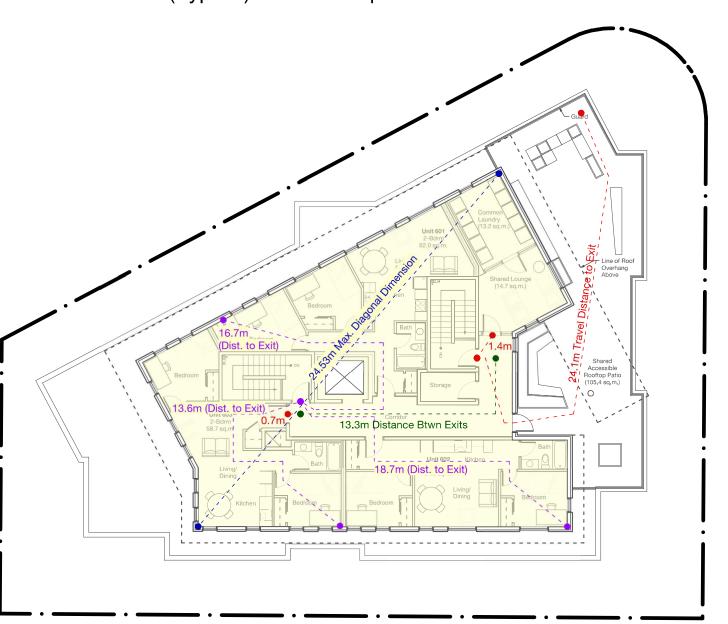
Conceptual Servicing Drawing



Level 1 - 331.46 sq.m.



Level 2 to Level 5 (Typical) - 540.788 sq.m.



Level 6 - 279.016 sq.m.

### Building Code Summary

NOTE: PROJECT DATA IS GOVERNED BY BCBC 2018

#### **SUMMARY:**

THE PROPOSED BUILDING WILL BE A 6-STOREY RESIDENTIAL DEVELOPMENT WITH ANCILLARY AT-GRADE PARKING & AMENITY USES IN VICTORIA, B.C. THE BUILDING WILL CONTAIN SIX (6) STOREYS OF WOOD FRAME CONSTRUCTION WITH RESIDENTIAL (GROUP C) USE.

### **Governing Code**

BCBC 2018 (unless otherwise indicated)

### Governing Code Part

Division B Part 3

## Major Occupancy Classification / Construction Type Group C (Residential / Combustible)

#### Building Area

540.788 m2

#### **Building Height**

6 Storeys

### Number of Dwelling Units

23 Dwelling Units

### **Building Code Classification**

3.2.2.50 - Group C, up to 6 Storeys, Sprinklered

#### Sprinklers

To Be Provided (NFPA 13R for Residential)

#### Stand Pipes

To Be Provided

#### Fire Resistance Ratings

Roof: 1h

Floor / Occupied Roof: 1h
Load-bearing Walls/Columns: 1h

### Fire Alarm

To Be Provided

#### Central Station Monitoring

To Be Provided per 3.2.4.7 (4)

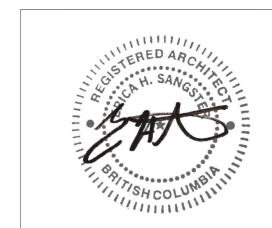
### Emergency Lighting & Exit Signs

To Be Provided

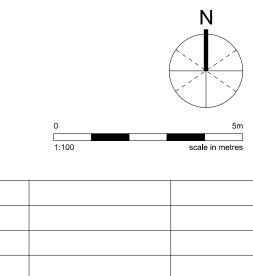
#### Alternative Solutions

None Required

#### D'AMBROSIO architecture + urbanism



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Rezoning and DPA 21/01/22 Rezoning and DPA

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Student Rental Housing

1693 Fort Street

sheet title

Code Summary

project no. 20-17 January 22, 2020 date issued As Noted scale drawn by checked by sheet no.

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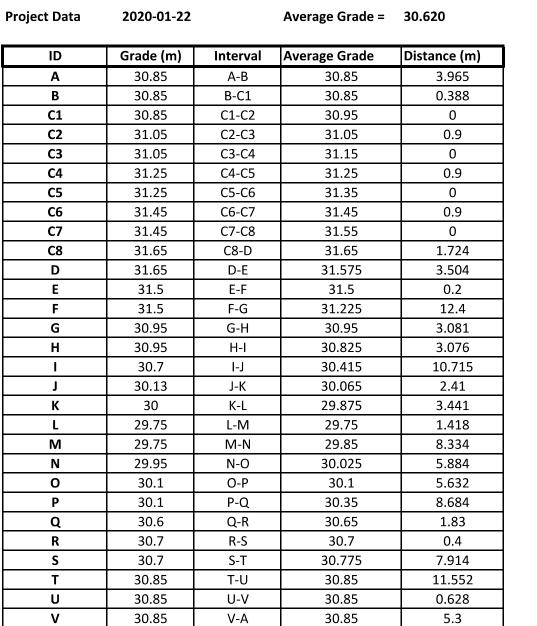


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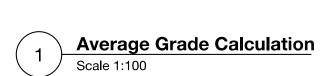
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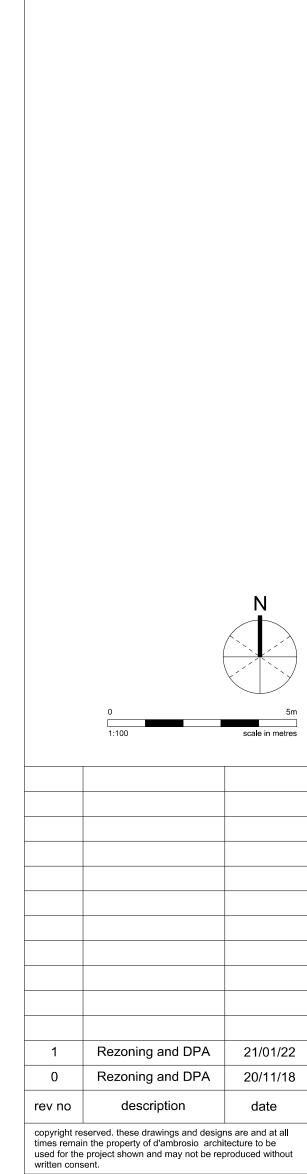


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1693 Fort Street

Average Grade

Student Rental Housing

20-17

As Noted

20-17 Student Housing CURRENT.vwx

sheet no.

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January 22, 2020



1 June 21 - 9:00am
Scale: NTS



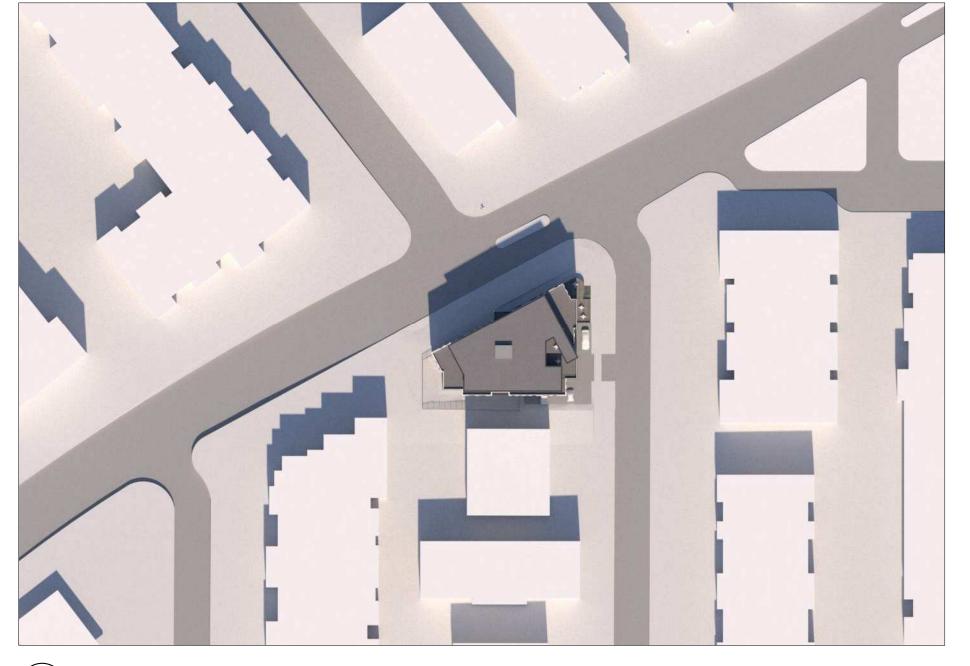
2 June 21 - 12:00pm Scale: NTS



3 June 21 - 5:00pm Scale: NTS



4 March 21 - 9:00am
Scale: NTS



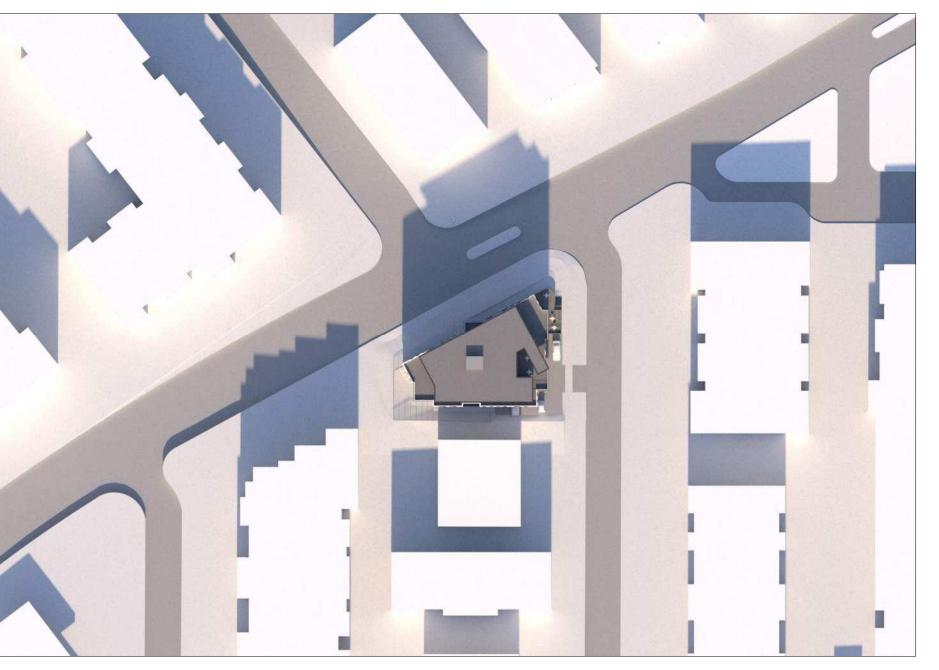
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Scale: NTS



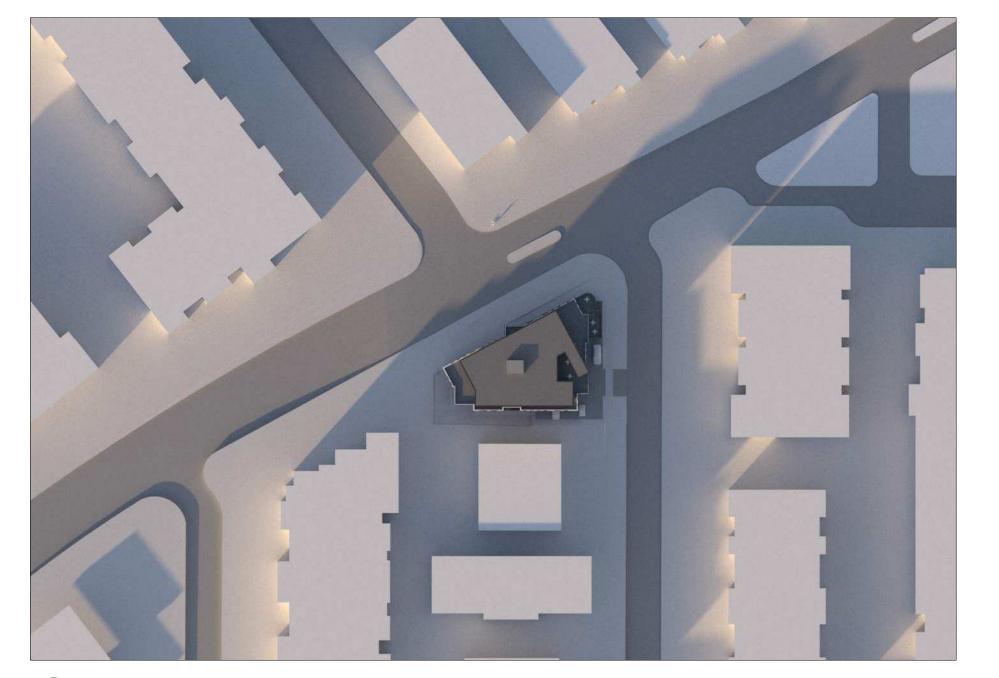
6 March 21 - 5:00pm
Scale: NTS



7 December 21 - 9:00am
Scale: NTS



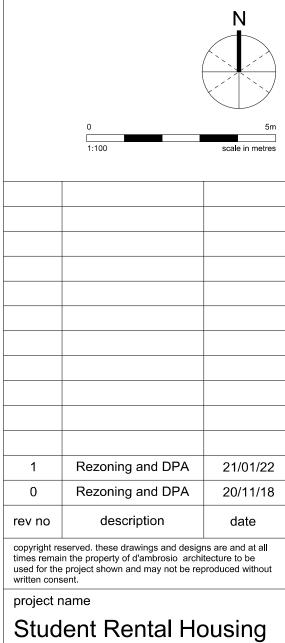
8 December 21 - 12:00pm
Scale: NTS



December 21 - 3:00pm
Scale: NTS



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Shadow Studies

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20-17

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1 View from Northeast
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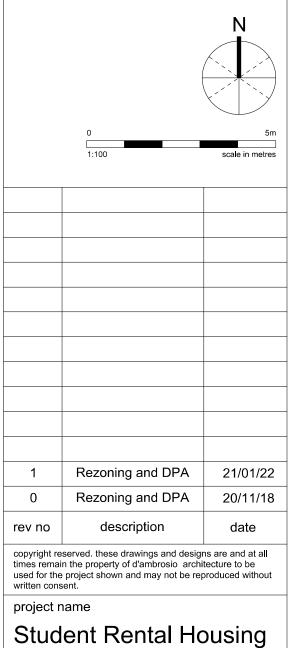


2 View from Northwest
Scale: NTS

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1693 Fort Street

Elevations - South

drawing file 20-17 Student Housing CURRENT.vwx

20-17

As Noted

January 22, 2020

sheet no.

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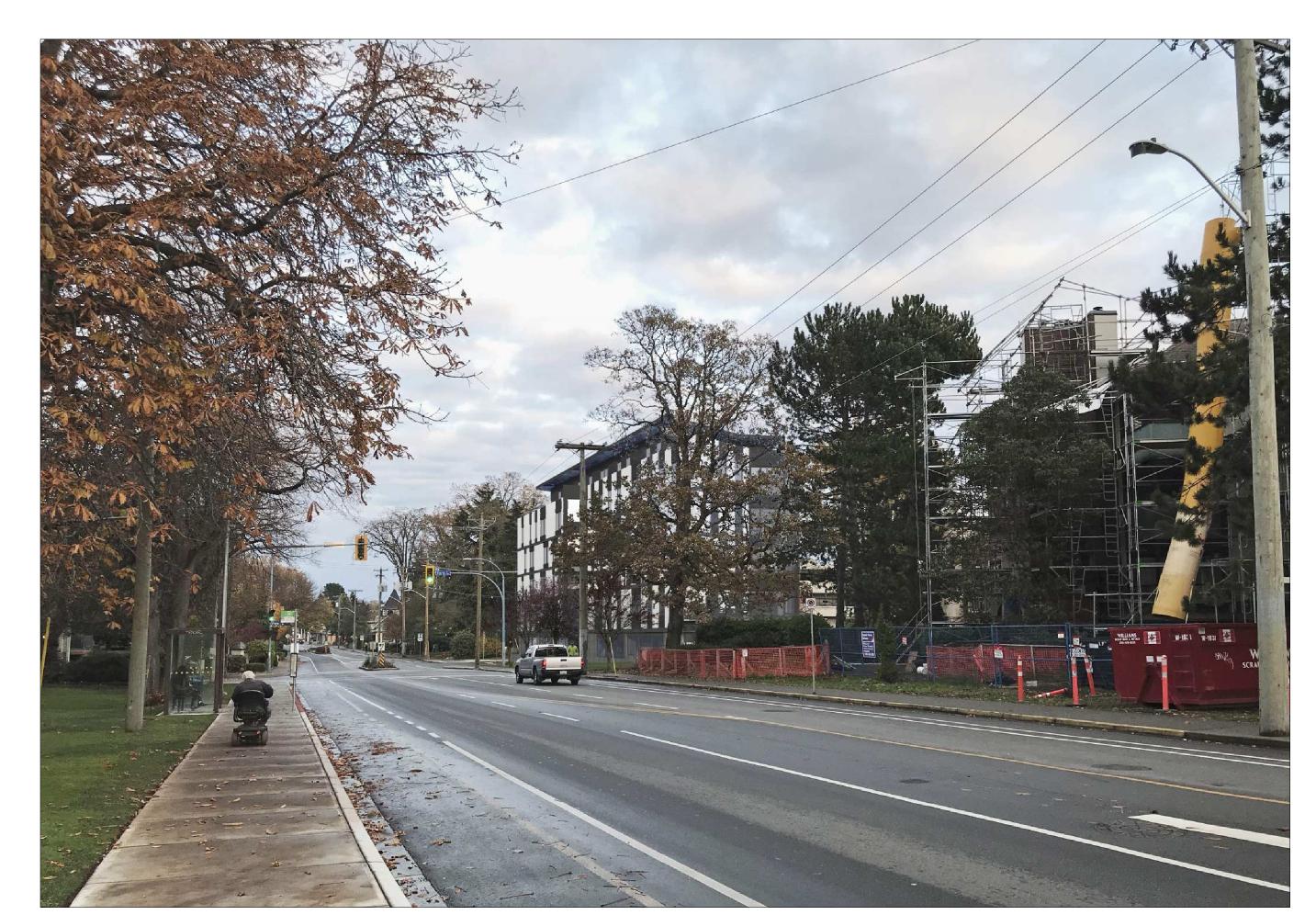
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3 View from Northwest
Scale: NTS



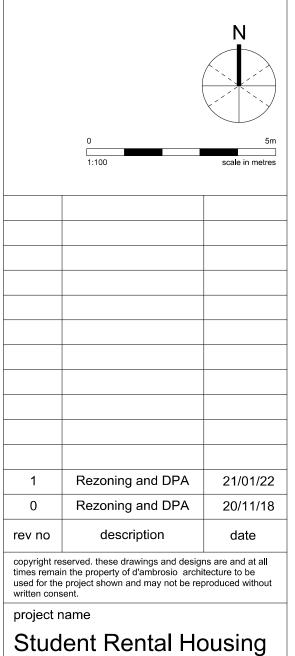
2 View from Southeast
Scale: NTS



4 View from North
Scale: NTS



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Elevations - South

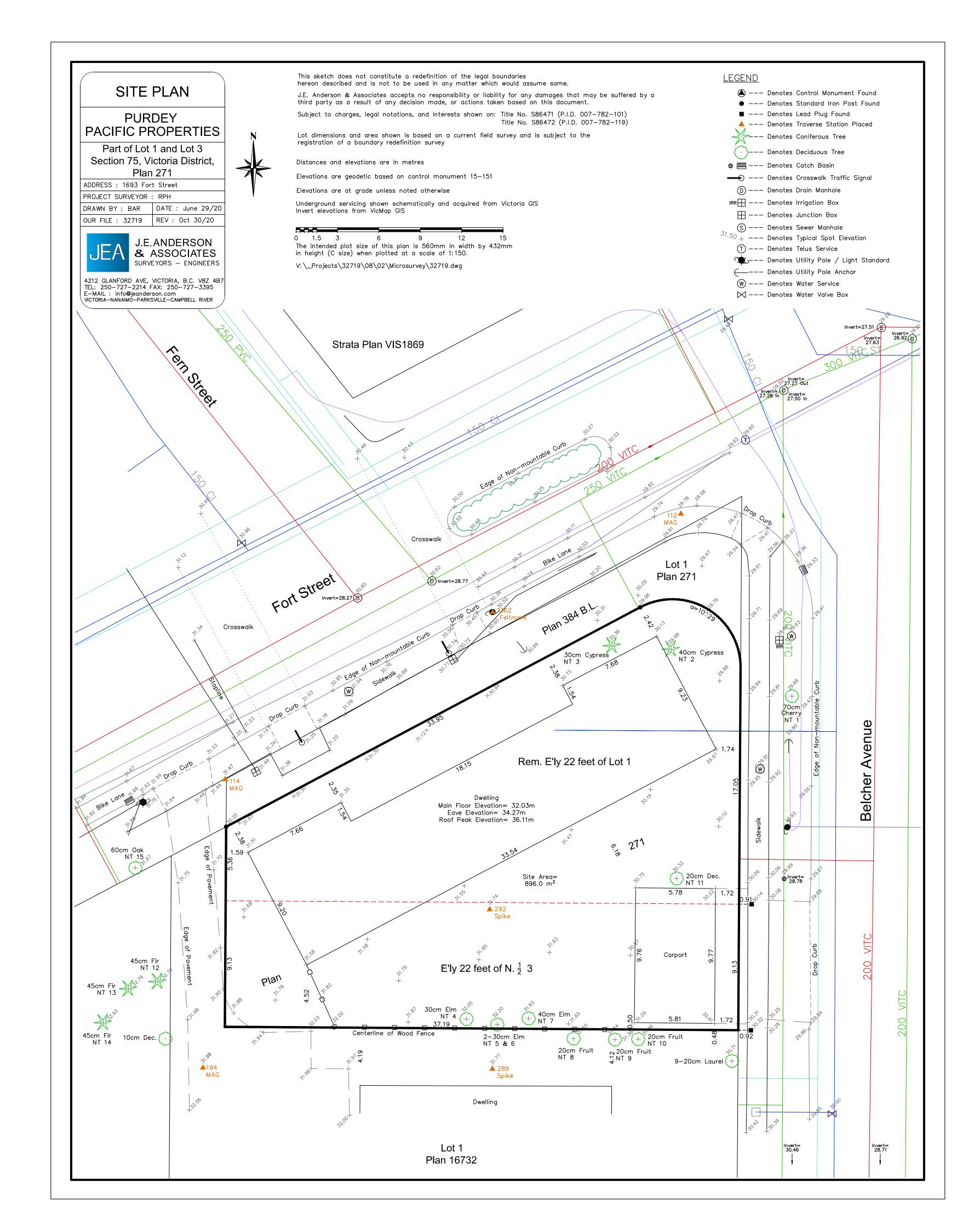
20-17 Student Housing CURRENT.vwx

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January 22, 2020

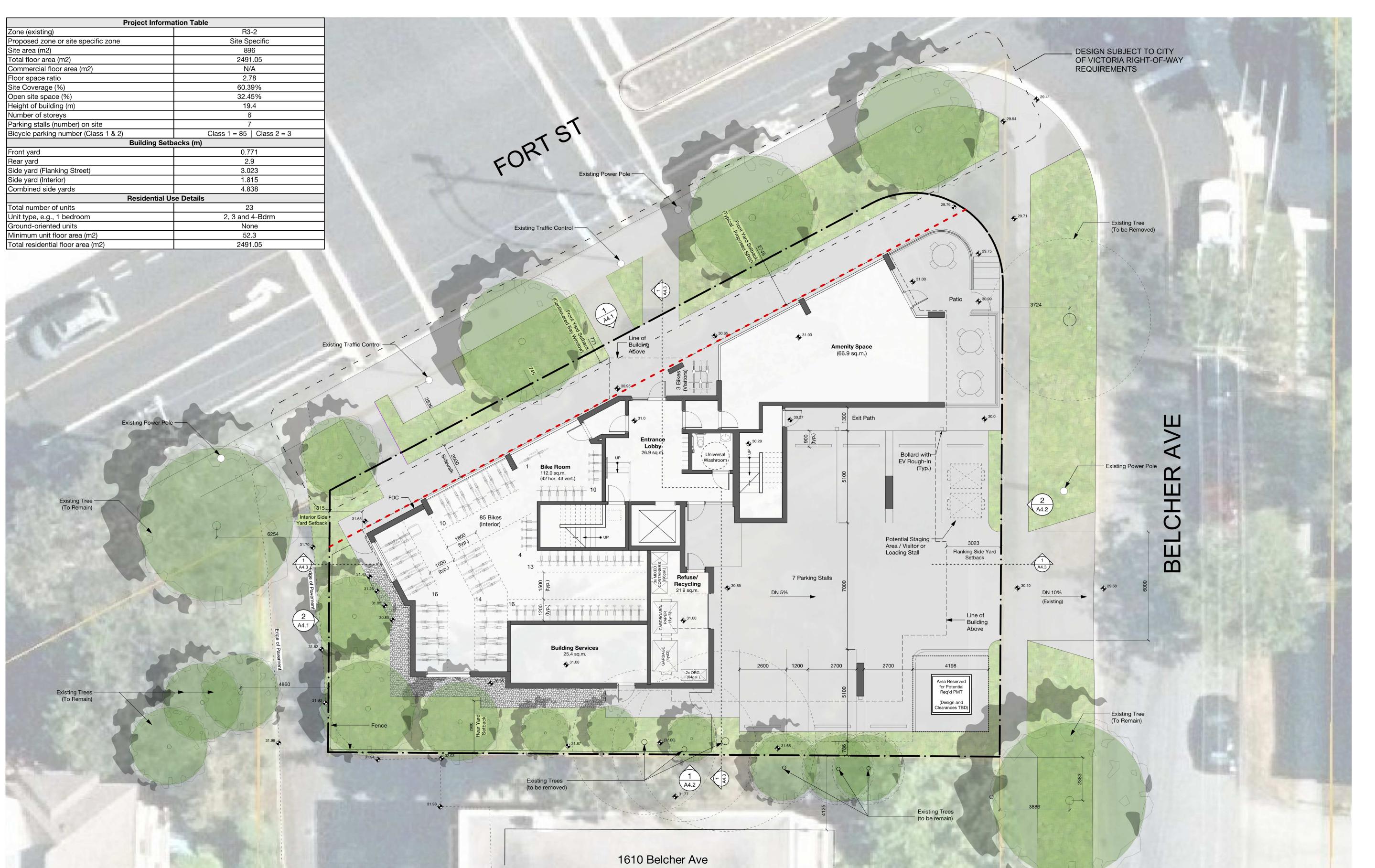
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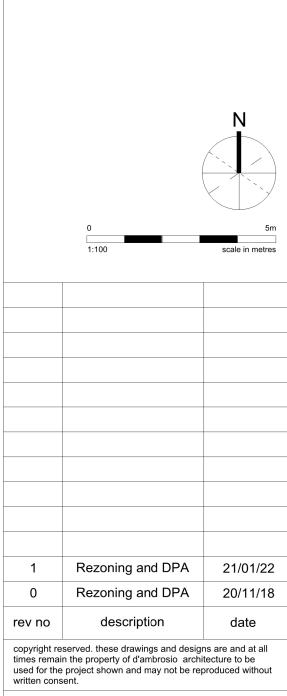




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- Refer to landscape architectural drawings for paving and plant materials information.



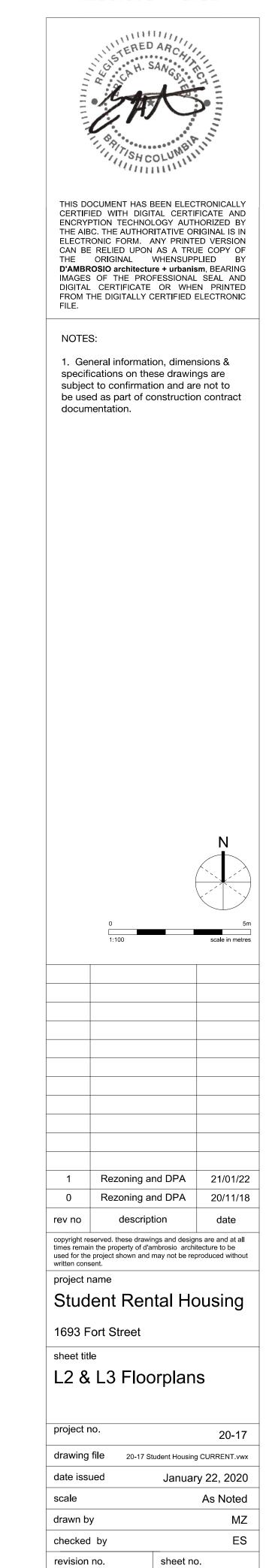
Student Rental Housing

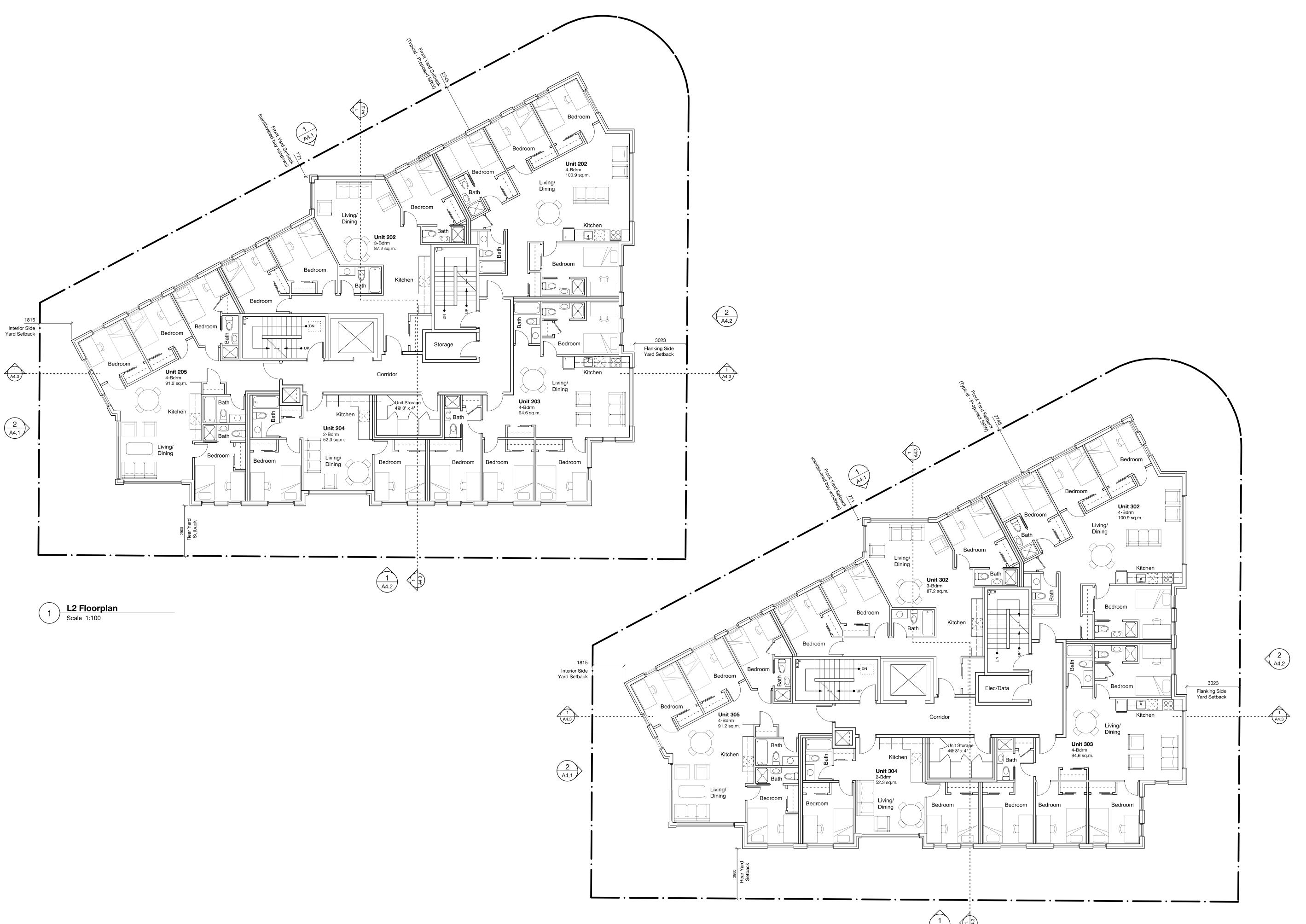
1693 Fort Street

sheet title

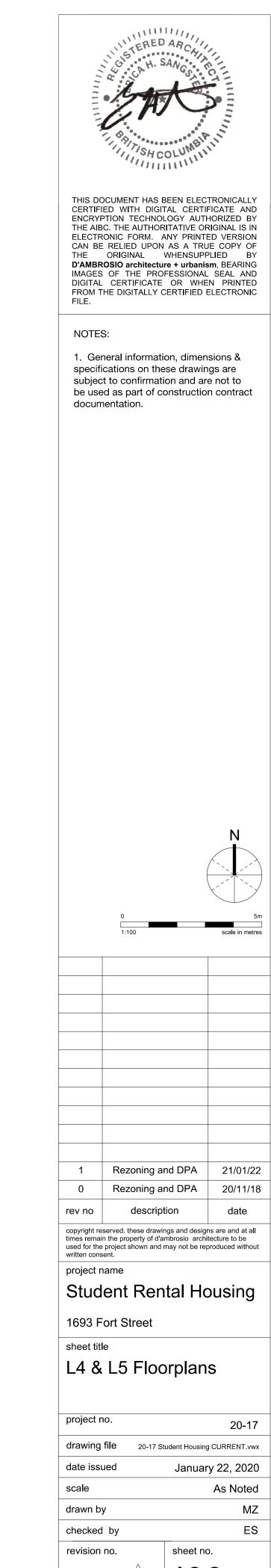
#### Site Plan / L1 Floorplan

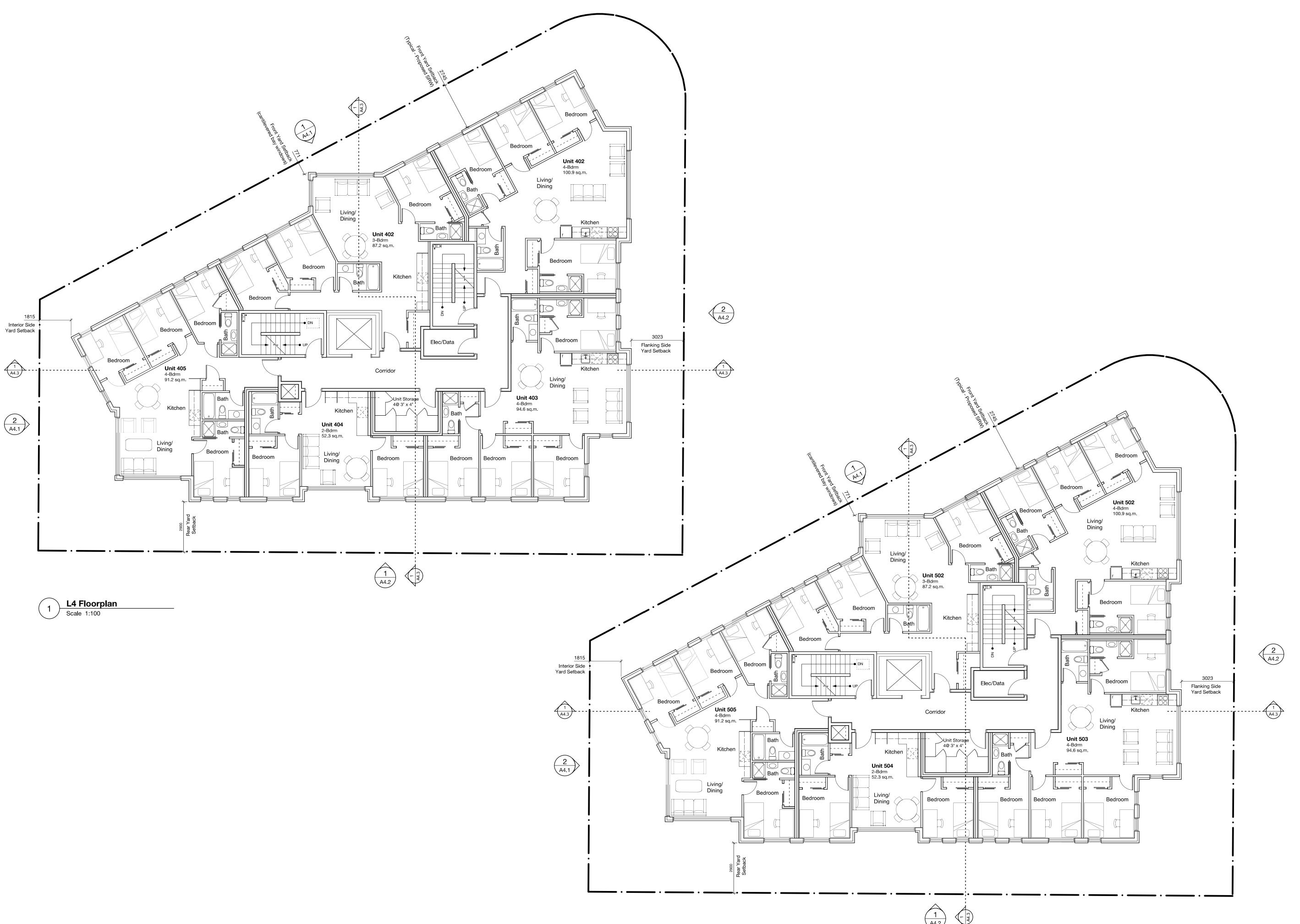
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date issued		January 22, 2020
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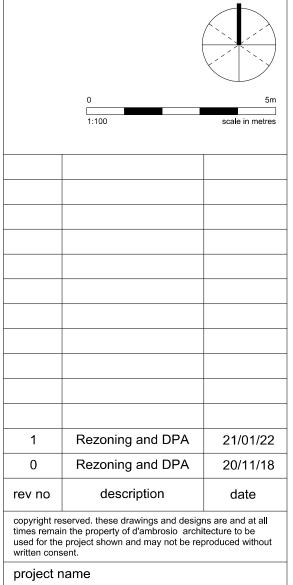
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sheet title

L6 & Roof Floorplans

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20-17

revision no. sheet no.

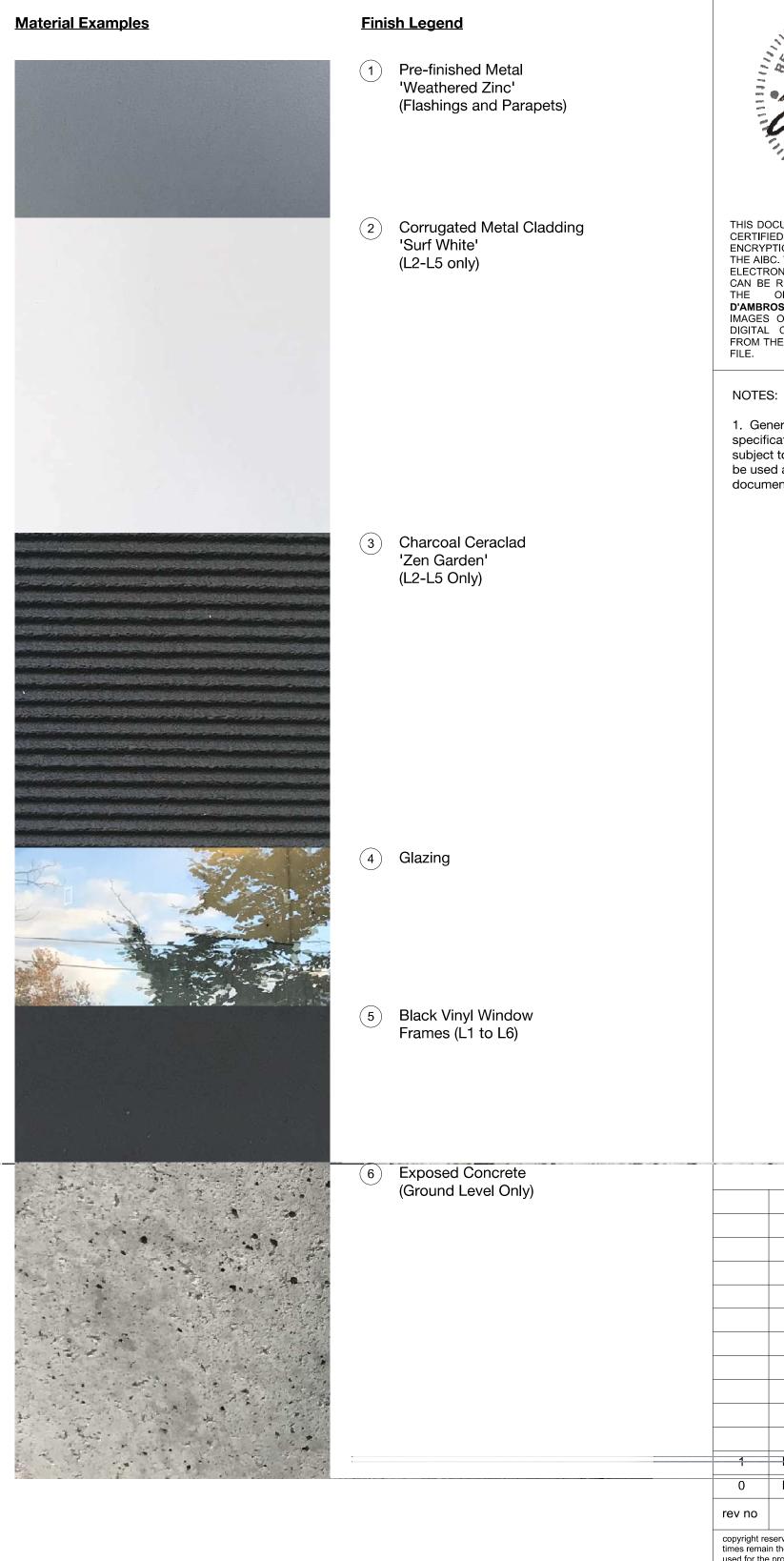




## North Elevation



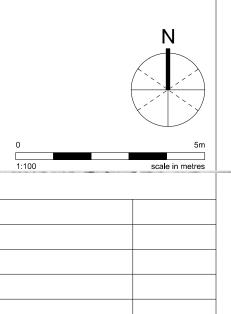






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Elevations - North and West

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drawing file	20-17 Student Housing CURRENT.vwx
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South Elevation



**Material Examples** Finish Legend 1 Pre-finished Metal 'Weathered Zinc' (Flashings and Parapets) 2 Corrugated Metal Cladding 'Surf White' (L2-L5 only) 3 Charcoal Ceraclad 'Zen Garden' (L2-L5 Only) (4) Glazing 5 Black Vinyl Window Frames (L1 to L6)

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6 Exposed Concrete (Ground Level Only)

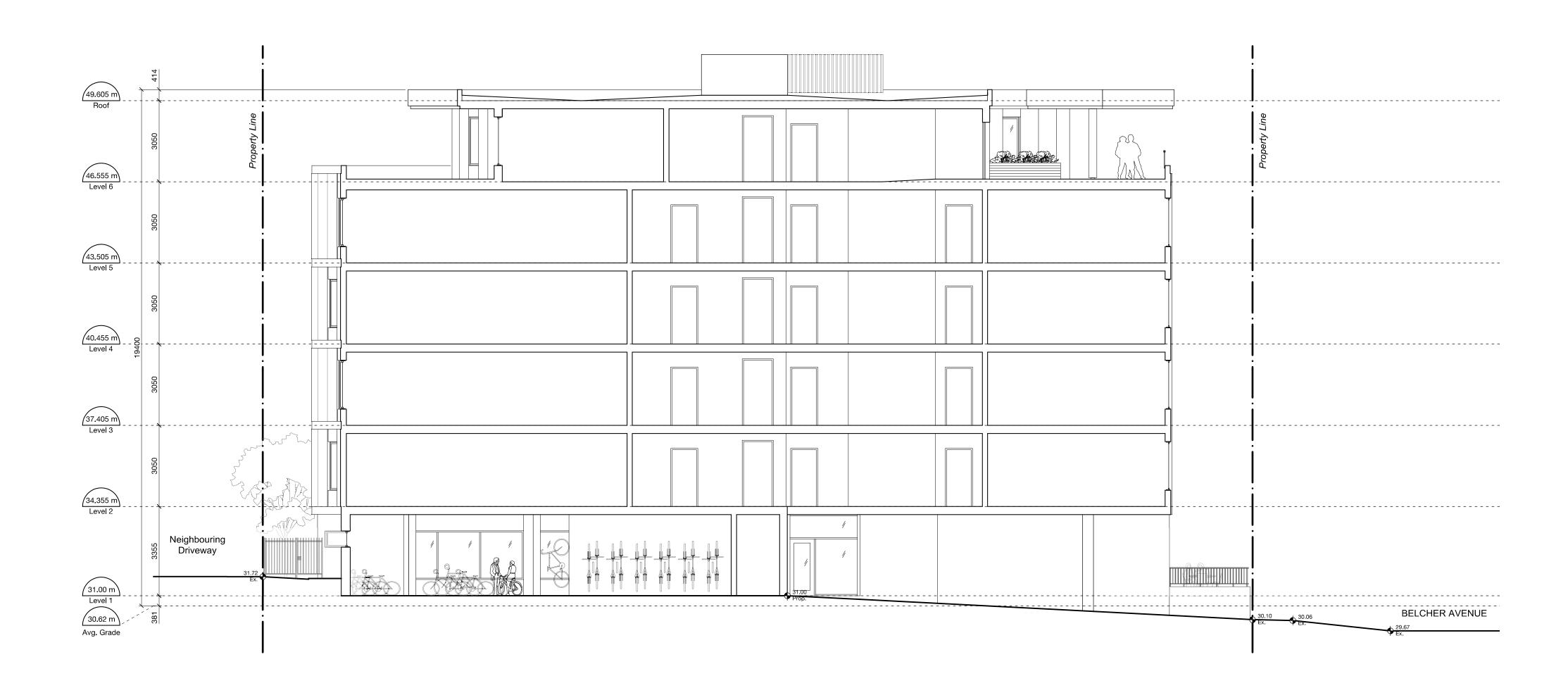
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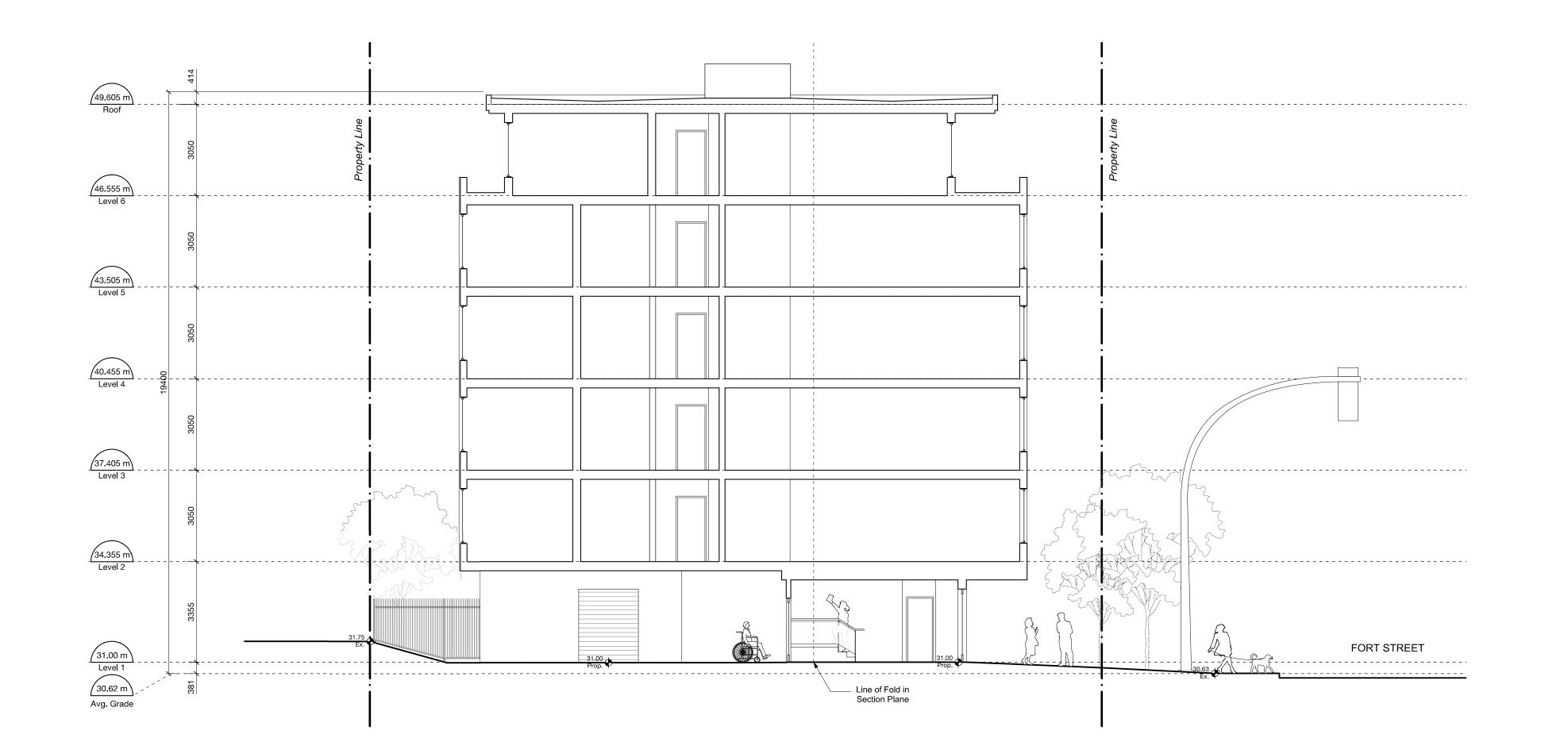
sheet title Elevations - South and East

project no. drawing file 20-17 Student Housing CURRENT.vwx January 22, 2020 date issued As Noted scale drawn by checked by sheet no. revision no.

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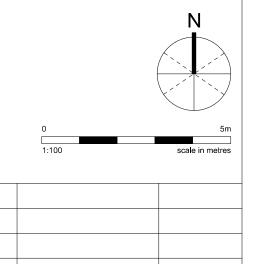
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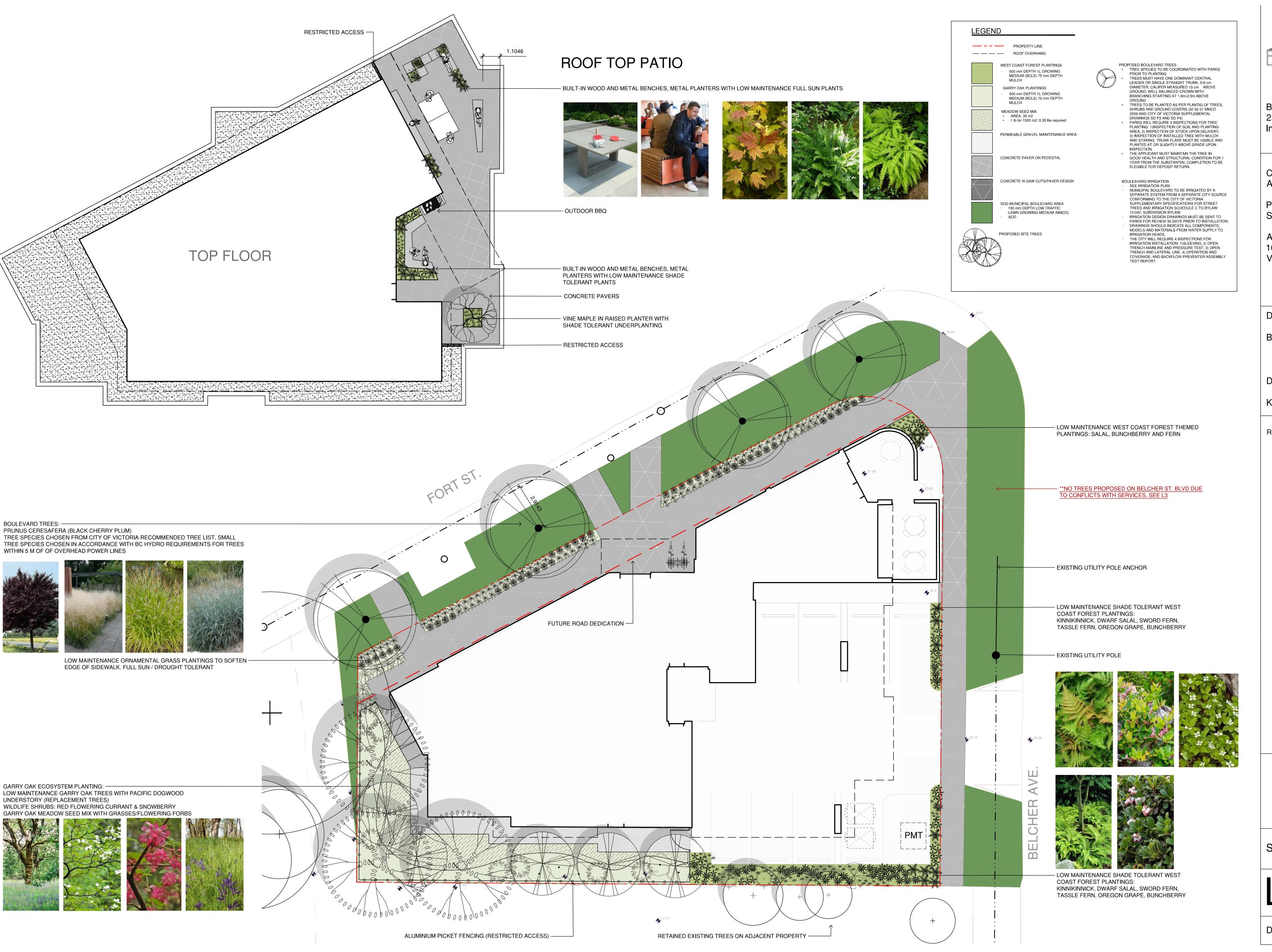
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1693 Fort Street

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Elevations - South and East

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Biophilia Design Collective Ltd. 250.590.1156 Info@biophiliacollective.ca

CLIENT NAME
ARYZE Developments

PROJECT
Student Housing

ADDRESS 1693 Fort St. Victoria BC

**DESIGNED BY** 

Bianca Bodley

DRAWN BY

**(**H

**REVISIONS:** 



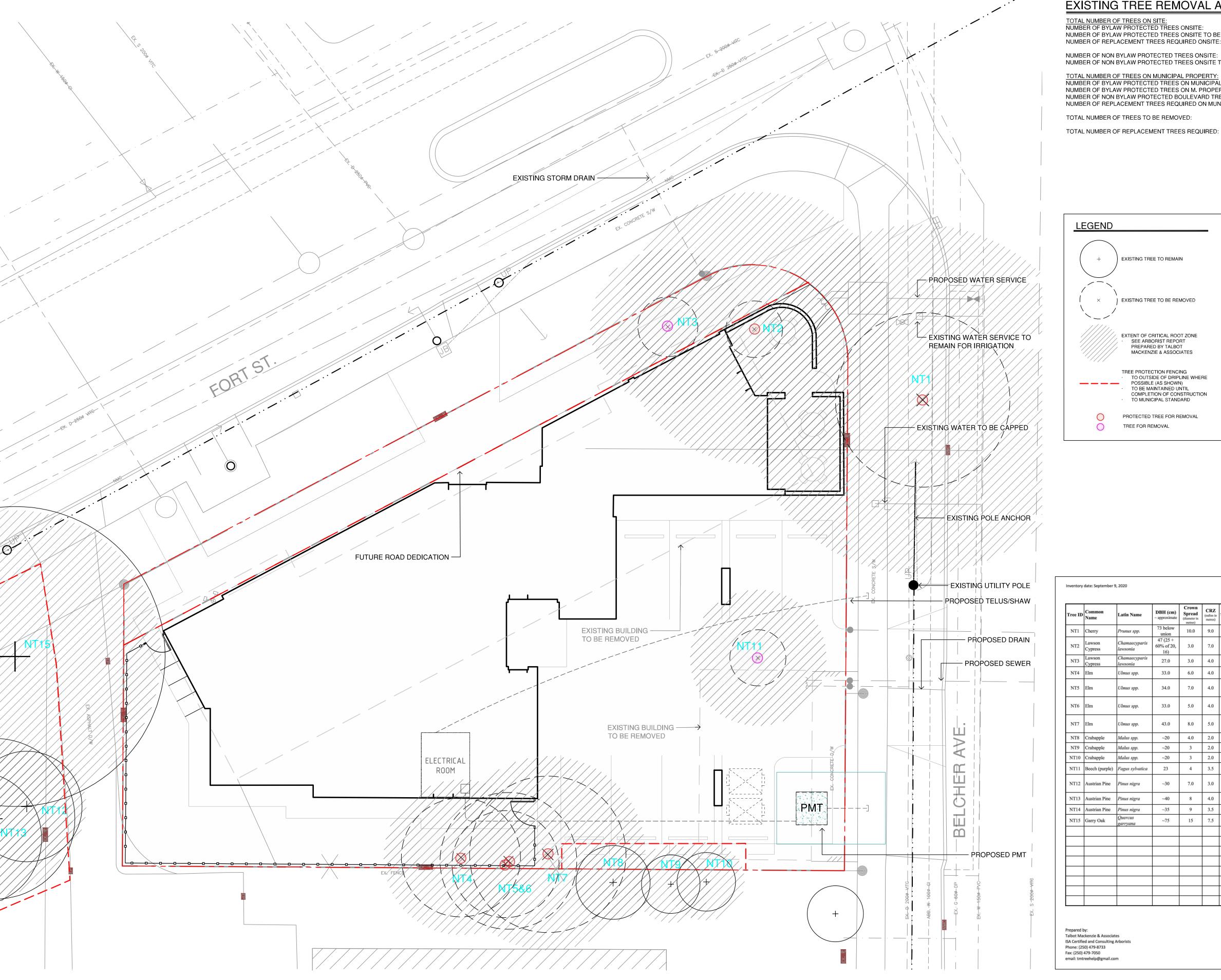
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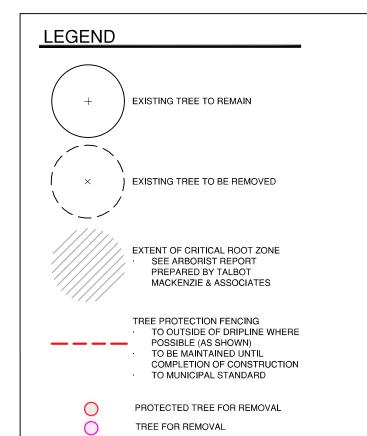
Landscape Site Plan

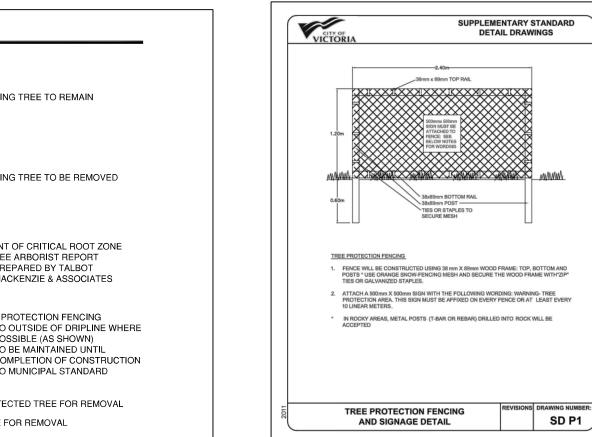
DATE:January, 2021



#### **EXISTING TREE REMOVAL AND PROTECTION**

TOTAL NUMBER OF TREES ON SITE:
NUMBER OF BYLAW PROTECTED TREES ONSITE:
NUMBER OF BYLAW PROTECTED TREES ONSITE TO BE REMOVED:
NUMBER OF REPLACEMENT TREES REQUIRED ONSITE: NUMBER OF NON BYLAW PROTECTED TREES ONSITE: NUMBER OF NON BYLAW PROTECTED TREES ONSITE TO BE REMOVED: TOTAL NUMBER OF TREES ON MUNICIPAL PROPERTY:
NUMBER OF BYLAW PROTECTED TREES ON MUNICIPAL PROPERTY
NUMBER OF BYLAW PROTECTED TREES ON M. PROPERTY TO BE REMOVED: NUMBER OF NON BYLAW PROTECTED BOULEVARD TREES TO BE REMOVED: NUMBER OF REPLACEMENT TREES REQUIRED ON MUNICIPAL PROPERTY:





Tree ID	Common Name	Latin Name	DBH (cm) ~ approximate	Crown Spread (diameter in metres)	CRZ (radius in metres)	Relative Tolerance (good, moderate, poor)	Health	Structure	Remarks and Recommendations	Bylaw Protected	Retention Status	Impacts	
NT1	Cherry	Prunus spp.	73 below union	10.0	9.0	Moderate	Fair	Fair-poor	Municipal tree. Decay in most pruning wounds.	Yes (municipal)			
NT2	Lawson Cypress	Chamaecyparis lawsonia	47 (25 + 60% of 20, 16)	3.0	7.0	Poor	Good	Fair	Close proximity to building foundation. Sheared and topped.	Yes (by multi- stem calculation)			
NT3	Lawson Cypress	Chamaecyparis lawsonia	27.0	3.0	4.0	Poor	Good	Fair	Close proximity to building foundation. Sheared and topped.	No			
NT4	Elm	Ulmus spp.	33.0	6.0	4.0	Moderate	Fair	Fair	Leaf miner cosmetic damage. Surface roots. Appears to be 3 more in the row that were removed to the west.	Yes			
NT5	Elm	Ulmus spp.	34.0	7.0	4.0	Moderate	Fair	Fair	Topped previously. Leaf miner cosmetic damage. Surface roots. Appears to have been 3 more in the row that were removed (to the west).	Yes			
NT6	Elm	Ulmus spp.	33.0	5.0	4.0	Moderate	Fair	Fair	Leaf miner cosmetic damage. Surface roots. Appears to have been 3 more in the row that were removed (to the west).	Yes			
NT7	Elm	Ulmus spp.	43.0	8.0	5.0	Moderate	Fair	Fair	Leaf miner cosmetic damage. Surface roots. Appears to have been 3 more in the row that were removed (to the west).	Yes			
NT8	Crabapple	Malus spp.	~20	4.0	2.0	Good	Fair	Fair	Clearance pruned. Neighbour's trees. Ivy covered.	No			
NT9	Crabapple	Malus spp.	~20	3	2.0	Good	Fair	Fair	Clearance pruned. Neighbour's trees. Ivy covered.	No			
NT10	Crabapple	Malus spp.	~20	3	2.0	Good	Fair	Fair	Clearance pruned. Neighbour's trees. Ivy covered.	No			
NT11	Beech (purple)	Fagus sylvatica	23	4	3,5	Poor	Good	Good	Close proximity to carport foundation. Some clearance pruning previously.	No			
NT12	Austrian Pine	Pinus nigra	~30	7.0	3.0	Good	Fair	Good	Assymetric crown. Elevated from subject property 45cm, protected by retaining wall. Barrier fencing due to development on neighbouring property.	Yes			
NT13	Austrian Pine	Pinus nigra	~40	8	4.0	Good	Fair	Fair-poor	Codominant leaders with included bark, swelling from reaction wood. Asymmetric crown	Yes			
NT14	Austrian Pine	Pinus nigra	~35	9	3.5	Good	Fair	Good	Assymetric crown.	Yes			
NT15	Garry Oak	Quercus garryana	~75	15	7.5	Good	Good	Fair	Codominant leaders with included bark. Barrier fencing due to development on neighbouring property.	Yes			
SA Certifie	ckenzie & Associated and Consulting (60) 479-8733												



Biophilia Design Collective Ltd. 250.590.1156 Info@biophiliacollective.ca

CLIENT NAME ARYZE Developments

PROJECT Student Housing

**ADDRESS** 1693 Fort St. Victoria BC

DESIGNED BY

Bianca Bodley

DRAWN BY

KH

**REVISIONS:** 



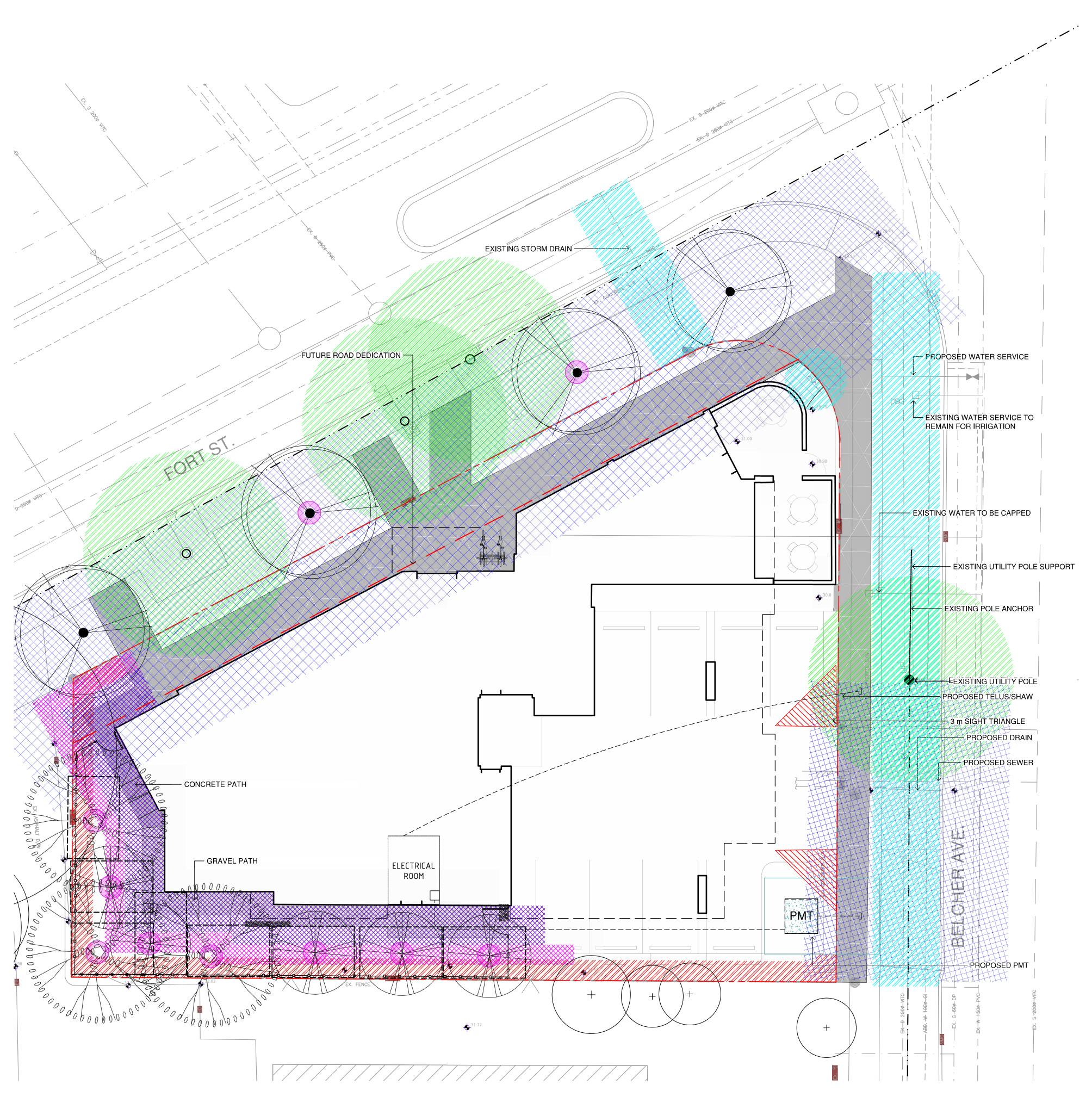
ISSUED FOR REZONING AND DP JANUARY 25, 2021

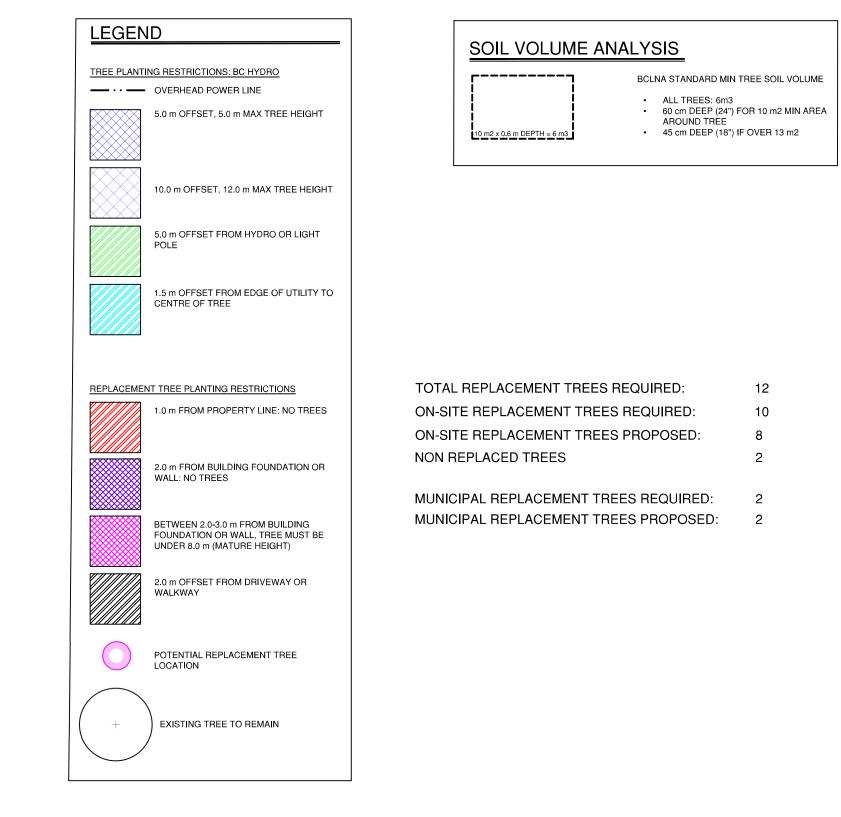
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2 Tree Removal & Protection Plan

DATE:January, 2021





TREE SCH	EDULE					
Quantity	Symbol	Latin Name	Common Name	Container	Caliper	Native
1		Acer circinatum	Vine maple	B&B	4cm	yes
5		Cornus nuttallii	Pacific dogwood	B&B	4cm	yes
3	000000000000000000000000000000000000000	Quercus garryana	Garry oak	B&B	4 cm	yes
MUNICIPAL						
4		Prunus ceracifera nigra	Black cherry plum	B&B	4cm	



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