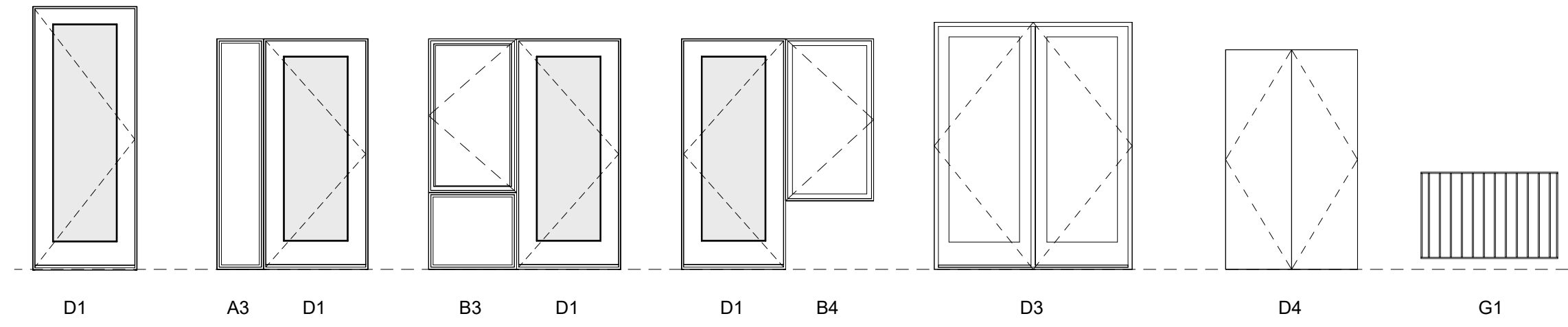
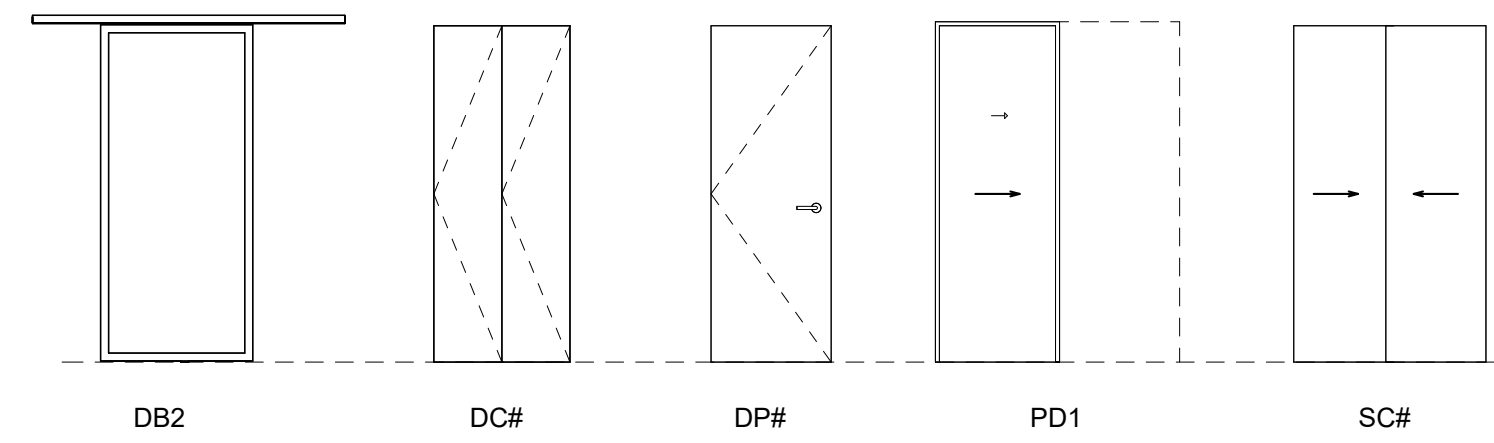


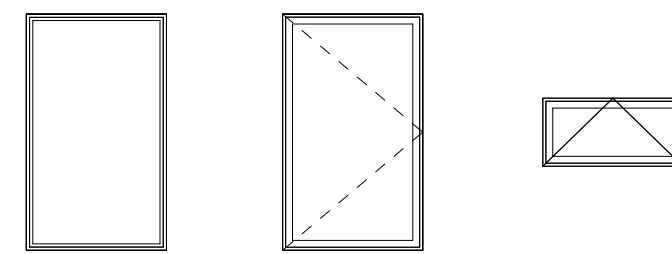
Door Schedule - Blend							Finish
Mark	Type	Door Size	Height	Width	Area	Fire Rating	Comments
A101.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A101.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A101.3	D4	68" X 80"	6'- 8"	5'- 8"	37.8 SF		
A102.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A102.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A102.3	D4	68" X 80"	6'- 8"	5'- 8"	37.8 SF		
A103.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A103.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A103.3	D4	68" X 80"	6'- 8"	5'- 8"	37.8 SF		
A104.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A104.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A104.3	D4	68" X 80"	6'- 8"	5'- 8"	37.8 SF		
A201.1	D1	3'-1 7/8" x 8' Glazed Exterior Suite Door	8'- 0"	3'- 0"	25.3 SF		
A201.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
A202.1	D1	3'-1 7/8" x 8' Glazed Exterior Suite Door	8'- 0"	3'- 0"	25.3 SF		WATER CURTAIN SPRINKLER
A202.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
A203.1	D1	3'-1 7/8" x 8' Glazed Exterior Suite Door	8'- 0"	3'- 0"	25.3 SF		WATER CURTAIN SPRINKLER
A203.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
A204.1	D1	3'-1 7/8" x 8' Glazed Exterior Suite Door	8'- 0"	3'- 0"	25.3 SF		
A204.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
A205	G1	Building A - 1354x900	2'- 11 7/16"		13.1 SF		No latch. Match adjacent railing design and material. Width to suit field conditions.
B101.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
B101.2	D3	6'-0" Glazed Exterior Double Suite Door	7'- 6"	6'- 0"	45.0 SF		
B101.3	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
B102.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
B102.2	D1	34" Glazed Exterior Suite Door 84"	7'- 0"	2'- 10"	19.8 SF		
B102.3	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
B103.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
B103.2	D1	34" Glazed Exterior Suite Door 84"	7'- 0"	2'- 10"	19.8 SF		
B103.3	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
B104.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
B104.2	D1	34" Glazed Exterior Suite Door 84"	7'- 0"	2'- 10"	19.8 SF		
B104.3	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
B105.1	D4	60"x80"	6'- 8"	5'- 0"	33.3 SF		
B105.2	D4	60"x80"	6'- 8"	5'- 0"	33.3 SF		
B105.3	D4	60"x80"	6'- 8"	5'- 0"	33.3 SF		



DOOR LEGEND
1/4" = 1'-0"



DB2 DC# DP# PD1 SC#



A - FIXED B - CASEMENT C - AWNING

WINDOW LEGEND
1/4" = 1'-0"



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2	DPA Rev. 1	25.03.06
3	DPA Rev 2	25.05.09
9	DPA Rev 3	25.12.19
10	BP Revision 1	25.12.23
11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19

S.KALENCHUK

**NALU @ VICWEST
TOWNHOMES**

**DOOR + WINDOW
SCHEDULE**

Project number	24003
Date	24.10.29
Drawn by	AG
Checked by	SS

A.005

Scale	AS NOTED
Printed	2026-03-19 10:02:39 AM



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2026-03-19

Functional Program - Corner Townhouse	
Project Name	NALU @ Vic West Townhomes
Address	811 Mary St
Proposed number of suites	12
Parking Type	Surface
Jurisdiction	City Of Victoria
Zone	GRD-1
DPA	DPA-15
OCP "Traditional Residential" Urban Place Designation	
Heritage Status listed prior to August 4, 2022	No
Legal Address:	LOT 1, SECTION 31, ESQUIMALT DISTRICT, PLAN 7664 - Mary Lot LOT 2, SECTION 31, ESQUIMALT DISTRICT, PLAN 7664 - Edward Lot
Civic Address:	811 Mary St
Parcel Identifier:	005-034-345 - Mary Lot 005-034-345 - Edward Lot
Current Use:	Single Family Housing
Proposed Use:	Residential - MultiFamily

Property Data	
Lot Area = m2 - PRE DEDICATION	1002.44
Lot Area = m2 - POST DEDICATION	978
Lot Width	27.7
Average/Natural Grade - Bldg A	27.67
Average/Natural Grade - Bldg B	27.74
Protected Trees	Yes
Property Configuration	Corner Lot
Other Features	Sloped, Flanked by 3 streets

Zoning - General Residential Zone (GRD-1)	Required/Permitted	Provided	Complies	Comment
Two dwelling units or 30% of the total dwelling units at three-bedroom dwelling units, at a minimum.	30%	66%	NO	
Maximum 12 units (not secondary dwelling units)	12	12	YES	
Operable Window per Bedroom	1per	1per	YES	

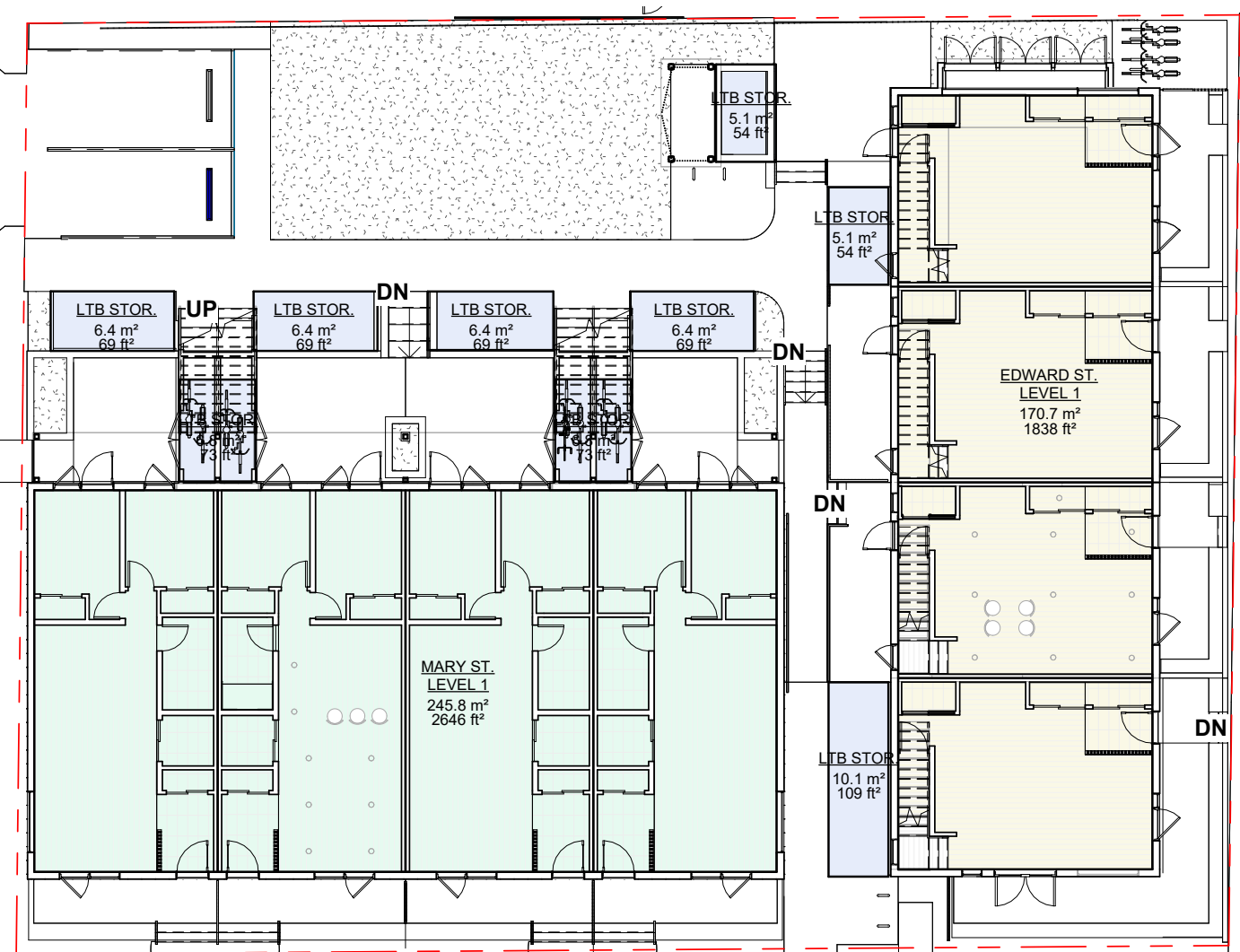
Highway Dedication	Edward - Local St	Exempt	NA	YES	
	Mary - Local St	Exempt	NA	YES	
	Bella - Local St	0.84m	0.84m	YES	
Floor Area / FSR					
Minimum area per unit	33m	62.3m2	118m2	YES	
Maximum per lot	1410m2	1181m2	1181m2	YES	
FAR Allowable - 1.6	1564.8m2	1181m2	1181m2	NO	
Siting					
Lot Width - Minimum	18m	36.5m	36.5m	YES	
Entire Building Within 36m of two streets	36m	36m	36m	YES	
More than 1 Bldg on Lot	20m	largest distance 23m to Bella St largest distance 25.6m to Mary St	20m	NO	

Height					
Building Height - Flat Roof	11m	NA	11m	YES	
Building Height - Other Roof - Bldg A	12m	10.05	12m	NO	
Building Height - Other Roof - Bldg B	12m	10.46	12m	NO	
Finished Ceiling Height of Lowest level of building	1.1m above grade	2.74m	2.74m	YES	
Setbacks					
Setback - Edward	2m	2m	2m	YES	
Front Setback - Mary	2m	2m	2m	YES	
Setback - Bella	2m	0.0m	2m	NO	variance granted
Setback - Other (at lot line)	2m	1.3m	2m	NO	variance granted
Width, Name, Signs over 5m from FG	2m	NA	2m	NO	
Habitable Room Facing a Lot Line	5m	5m	5m	YES	
Eave Projection into Setback	0.75m	0.6m	0.75m	NO	variance granted
Building Separation	5m	3.1m	5m	NO	variance granted
Setback - Accessory Building (Bch. F)					
Setback - Rear	0.6m	0.78m	0.6m	NO	
Setback - Side	0.6m	1.37m	0.6m	NO	
Setback - Flanking Street	3.5m	2.1m	3.5m	NO	variance granted
Building Separation (AccBldg / Principal)	2.4m	0m	2.4m	NO	variance granted
Eave Projections into Setbacks	0.75	0	0.75	NO	
Fencing					
Height Residential - front	1.22	-	1.22	YES	
Height Residential - rear and side	1.83	1m, step to 1.83	1.83	NO	
Site Coverage					
Max Coverage - 45%	489.00	551m2 / 56%	489.00	NO	variance granted
Open Lot Space - 30%	300.73m2	450m2 / 48%	300.73m2	NO	variance needed
Single Landscape Space	97.6m2	40m2	97.6m2	NO	
Landscape Space Setback	1m	1m	1m	YES	
Soft Landscaping - min50%	181.5m2 (50%)	207m2 / 43%	181.5m2	NO	variance needed
Hard Landscaping - max50%	181.5m2 (50%)	273m2 / 56%	181.5m2	NO	variance needed

Accessory Building Coverage					
Accessory Building Rear Lot Coverage	25%	59m2 = 6%	25%	NO	variance granted
Floor Area / FSR	1564.8m2	1190m2	1564.8m2	NO	variance needed
Vehicle Parking					
Total Parking Req'd - 12 Units @ 0.77/unit	9	9	9	YES	
if providing careshare TDDM	2	2	2	YES	TDDM Provided
accessible stall	1	1	1	YES	
accessible stall (van)	NA	NA	NA	NO	
accessible signage	yes	Part 5	yes	YES	
Bicycle Parking					
Short Term Units	12	12	12	YES	
Long Term Units @ 2 per DU	24	24	24	YES	
Overhead Bike Spaces	4	8	4	NO	
50% equipped with Charging	12	12	12	YES	
Bike Maintenance Facility Req'd	yes	yes	yes	YES	
Bike aisle width	1.5	0	1.5	NO	variance needed

Building Area Legend

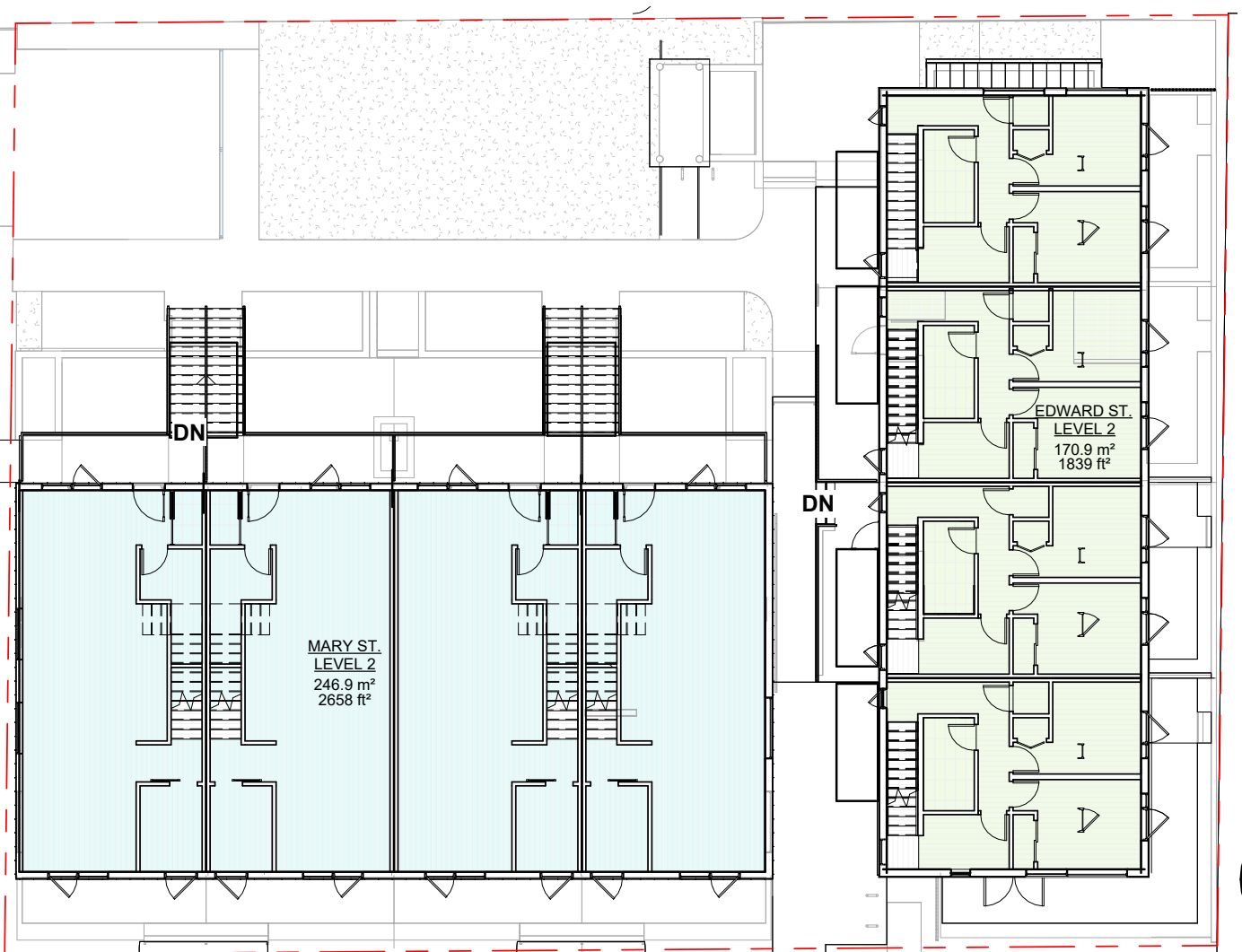
- EDWARD ST. LEVEL 1
- MARY ST. LEVEL 1
- LTB STOR.



1 ZONING AREAS - LEVEL 1
A.007 1:200

Building Area Legend

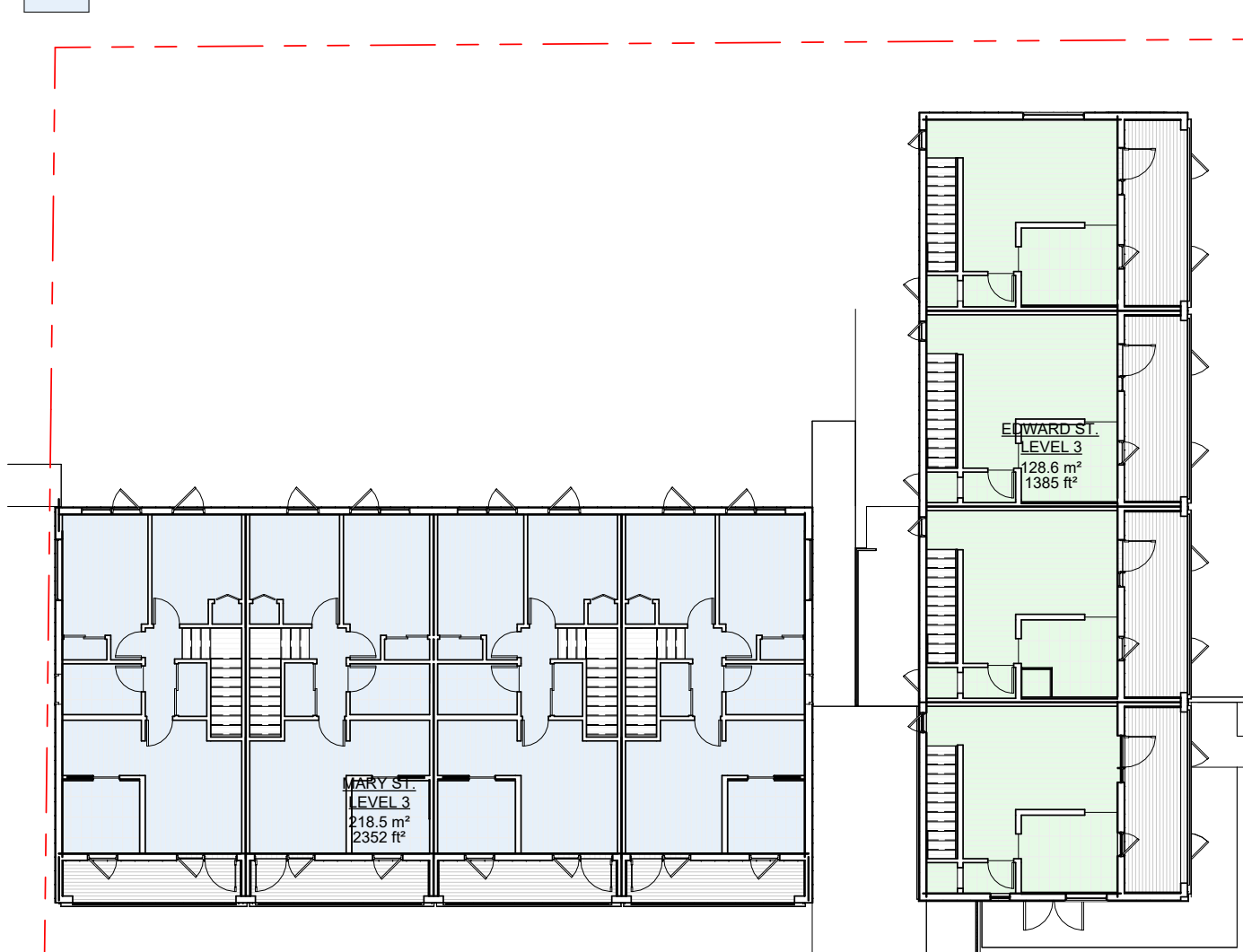
- EDWARD ST. LEVEL 2
- MARY ST. LEVEL 2



2 ZONING AREAS - LEVEL 2
A.007 1:200

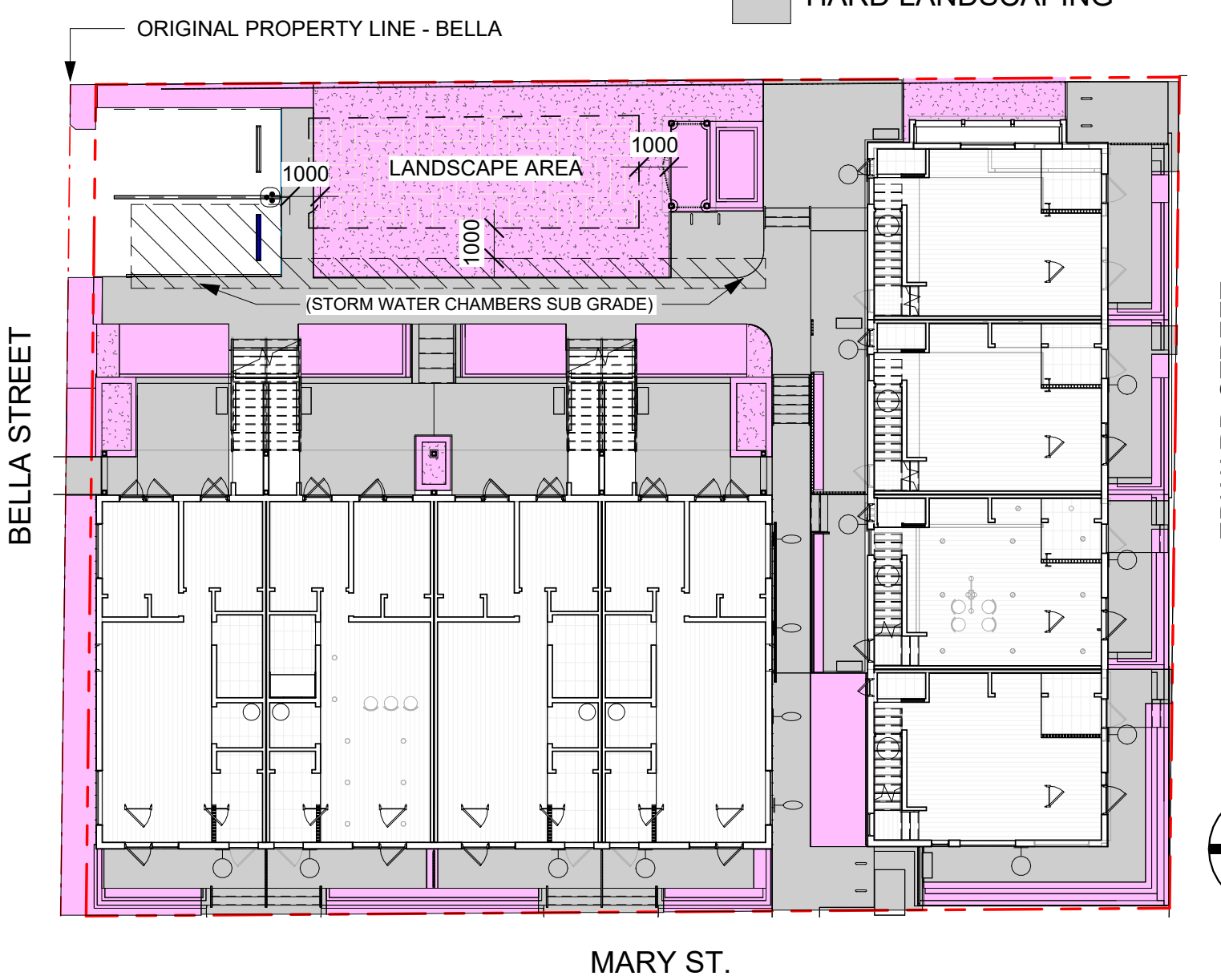
Building Area Legend

- EDWARD ST. LEVEL 3
- MARY ST. LEVEL 3



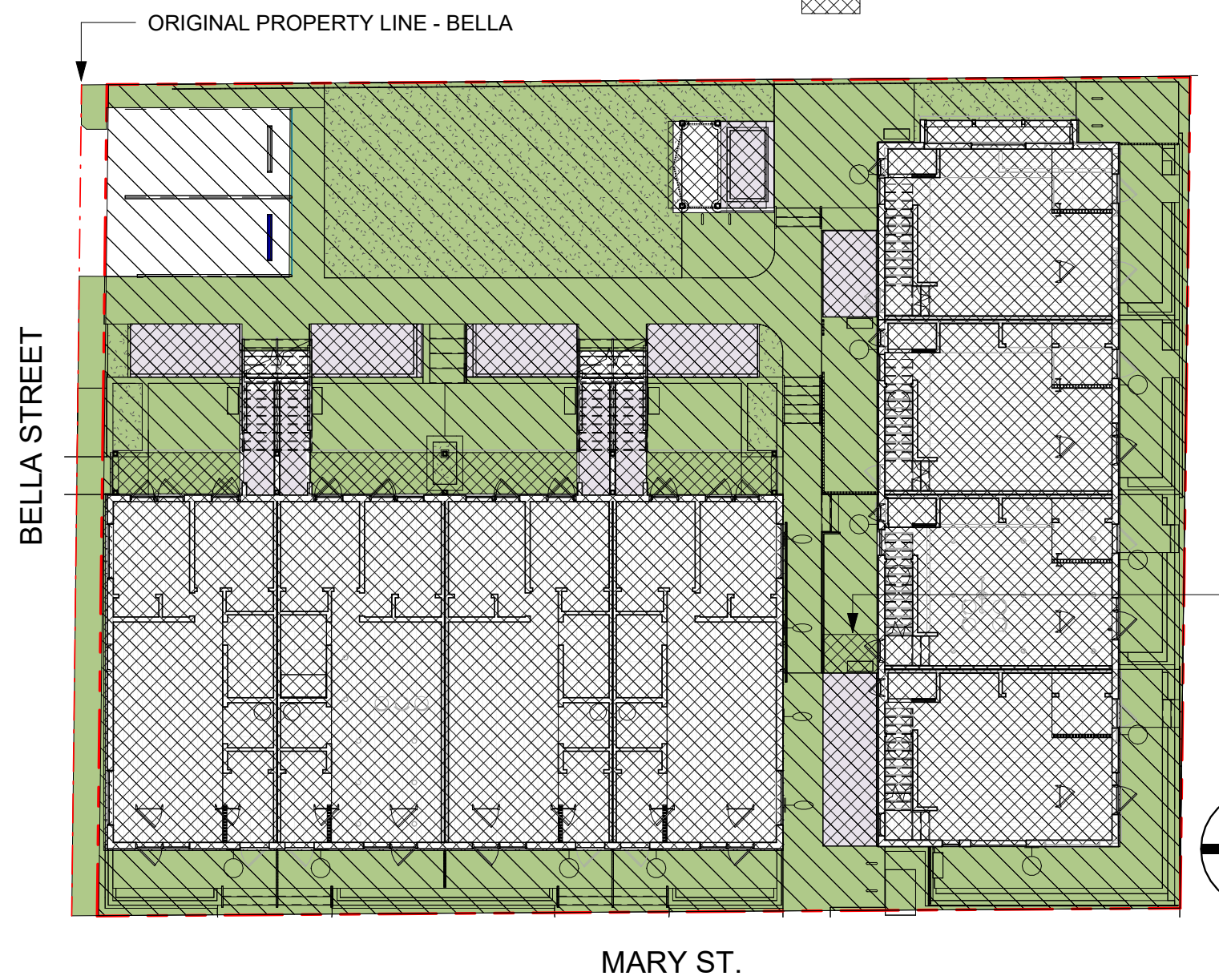
3 ZONING AREAS - LEVEL 3
A.007 1:200

- LANDSCAPE AREA
- SOFT LANDSCAPING
- HARD LANDSCAPING



5 LANDSCAPE AREA DIAGRAM
A.007 1:200

- OPEN LOT SPACE
- LOT AREA
- COVERAGE



4 SITE COVERAGE DIAGRAM
A.007 1:200

AREA OF PATIO CONTRIBUTING TO COVERAGE, ABOVE 0.6M FROM GRADE

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No.	Description	Date
1	DPA	24.11.05
2	DPA Rev. 1	25.03.06
3	DPA Rev 2	25.05.09
6	DP Amendment	25.10.06
8	DP Revisions	25.11.05
9	DPA Rev 3	25.12.19
10	BP Revision 1	25.12.23
11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19

FAR CALC	
Name	Area
EDWARD ST. LEVEL 1	171 m ²
EDWARD ST. LEVEL 2	171 m ²
EDWARD ST. LEVEL 3	129 m ²
MARY ST. LEVEL 1	246 m ²
MARY ST. LEVEL 2	247 m ²
MARY ST. LEVEL 3	218 m ²
	1181 m ²

FAR CALC EXEMPT	
Name	Area
LTB STOR.	59.3 m ²
	59.3 m ²

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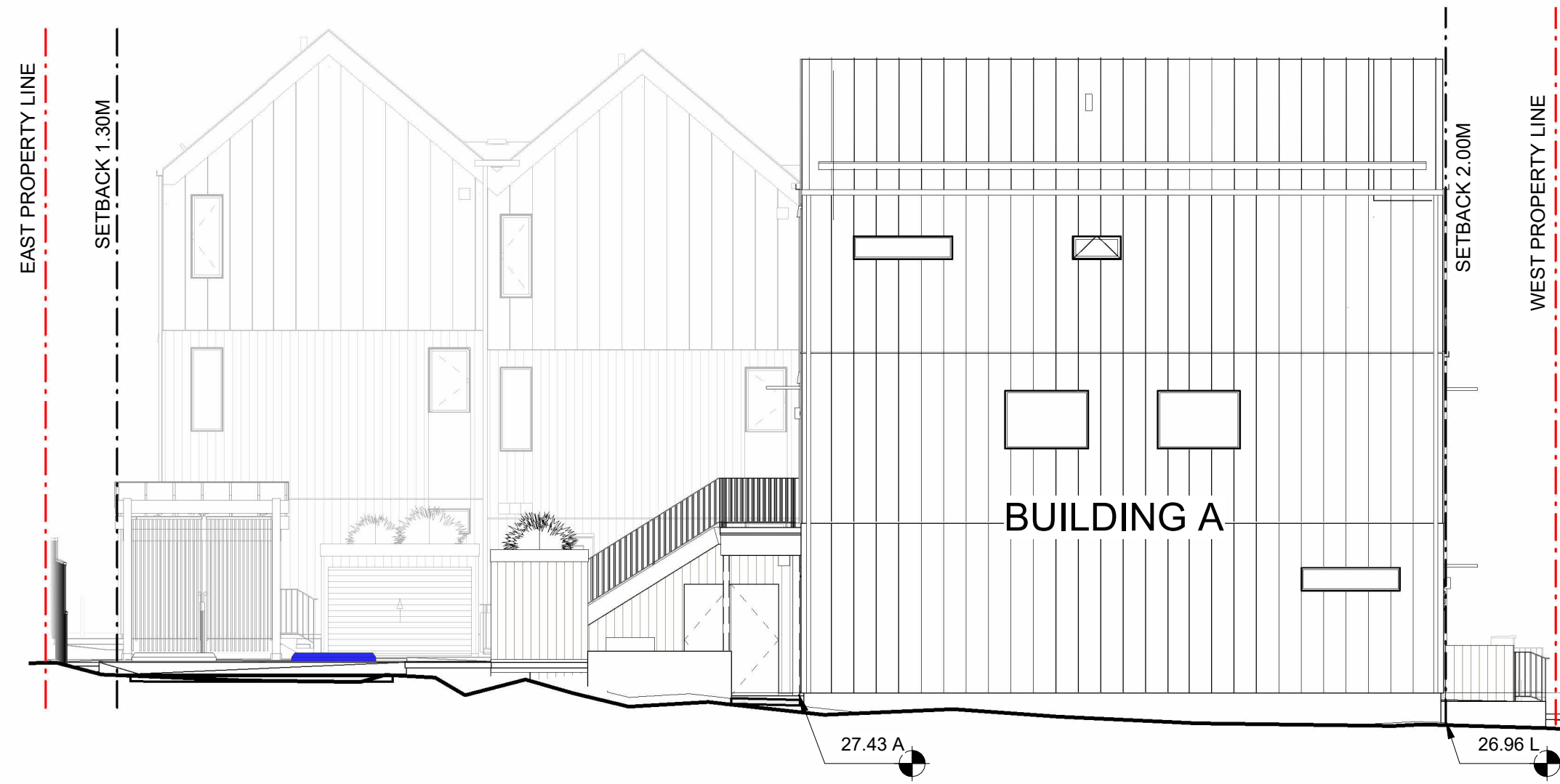
ZONING COMPLIANCE Rev

Project number	24003
Date	24.10.29
Drawn by	SS
Checked by	SS

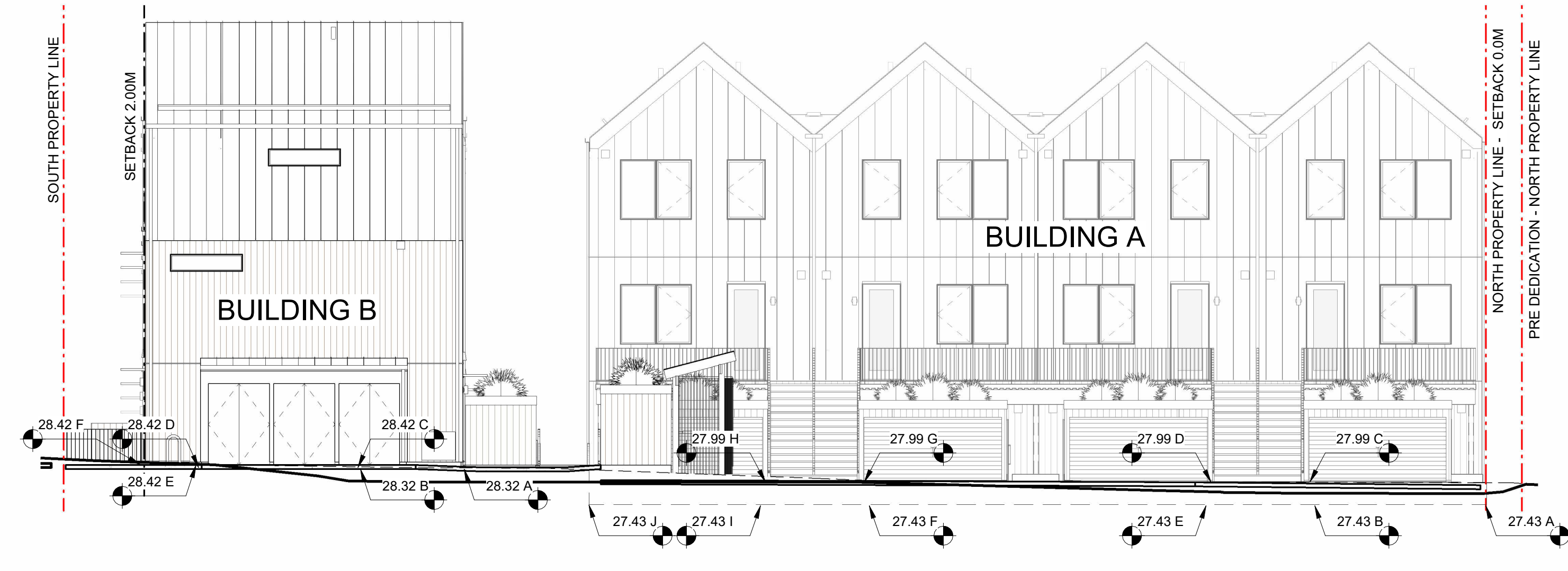
A.007



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1 AVERAGE GRADE - NORTH ELEVATION
A.008 1:100



2 AVERAGE GRADE - EAST ELEVATION
A.008 1:100



3 AVERAGE GRADE - SOUTH ELEVATION
A.008 1:100



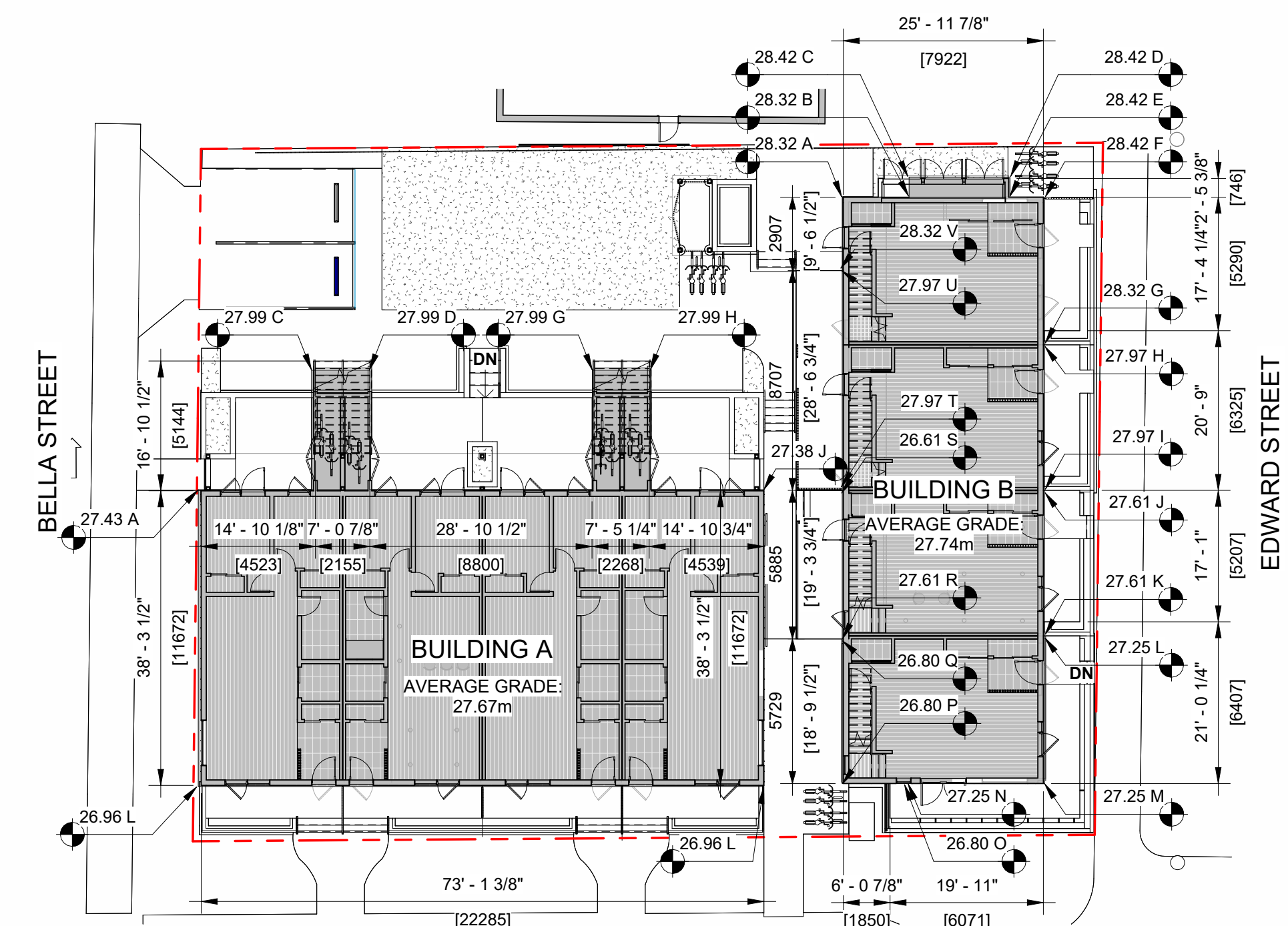
4 AVERAGE GRADE - WEST ELEVATION
A.008 1:100

BUILDING A - AVERAGE GRADE CALCULATIONS

GRADE PT.	ELEV.	DIST.	AVERAGE
A	27.43 m		
A to B	4.47 m	122.72 m ²	
B	27.43 m	4.74 m	131.21 m ²
B to C	27.99 m	2.31 m	64.52 m ²
C	27.99 m	4.74 m	131.21 m ²
C to D	27.43 m	8.8 m	241.41 m ²
D	27.99 m	4.74 m	131.21 m ²
D to E	27.43 m	4.74 m	131.21 m ²
E	27.43 m	8.8 m	241.41 m ²
E to F	27.99 m	2.32 m	64.88 m ²
F	27.99 m	4.74 m	131.21 m ²
F to G	27.99 m	2.32 m	64.88 m ²
G	27.99 m	4.74 m	131.21 m ²
G to H	27.99 m	4.74 m	131.21 m ²
H	27.99 m	4.74 m	131.21 m ²
H to I	27.43 m	4.47 m	122.72 m ²
I	27.43 m	11.76 m	319.49 m ²
I to J	26.96 m	22.37 m	602.45 m ²
J	26.96 m	11.76 m	158.54 m ²
K	26.96 m	11.76 m	158.54 m ²
L	27.43 m	16.25 m	449.65 m ²
SUM AVE. GRADE	27.67 m		

BUILDING B - AVERAGE GRADE CALCULATIONS

GRADE PT.	ELEV.	DIST.	AVERAGE
A	28.32 m		
A to B	2.65 m	74.99 m ²	
B	28.32 m	8 m	22.7 m ²
B to C	28.42 m	4 m	113.68 m ²
C	28.42 m	8 m	22.74 m ²
C to D	28.42 m	1.36 m	38.71 m ²
D	28.42 m	5.9 m	167.35 m ²
D to E	28.32 m	.m	.m ²
E	27.97 m	5.78 m	161.64 m ²
E to F	27.61 m	.m	.m ²
F	27.61 m	5.75 m	158.84 m ²
F to G	27.25 m	.m	.m ²
G	27.25 m	5.8 m	158 m ²
G to H	27.25 m	5.49 m	149.69 m ²
H	27.25 m	.m	.m ²
H to I	26.8 m	2.52 m	67.48 m ²
I	26.8 m	193.54 m ²	
I to J	26.8 m	5.73 m	153.54 m ²
J	26.8 m	.m	.m ²
J to K	27.61 m	5.91 m	163.18 m ²
K	27.61 m	.m	.m ²
K to L	27.97 m	8.68 m	242.81 m ²
L	27.97 m	.m	.m ²
L to M	28.32 m	.m	.m ²
M	28.32 m	2.91 m	82.33 m ²
N	28.32 m	64.88 m	1777.65 m ²
SUM AVE. GRADE	27.74 m		



5 AVERAGE GRADE PLAN
A.008 1:200

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AVERAGE GRADE

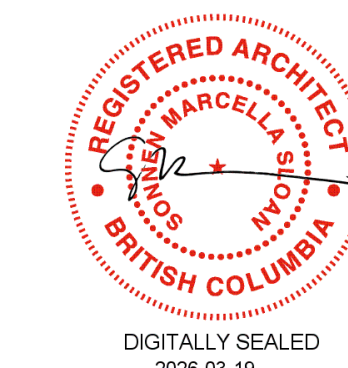
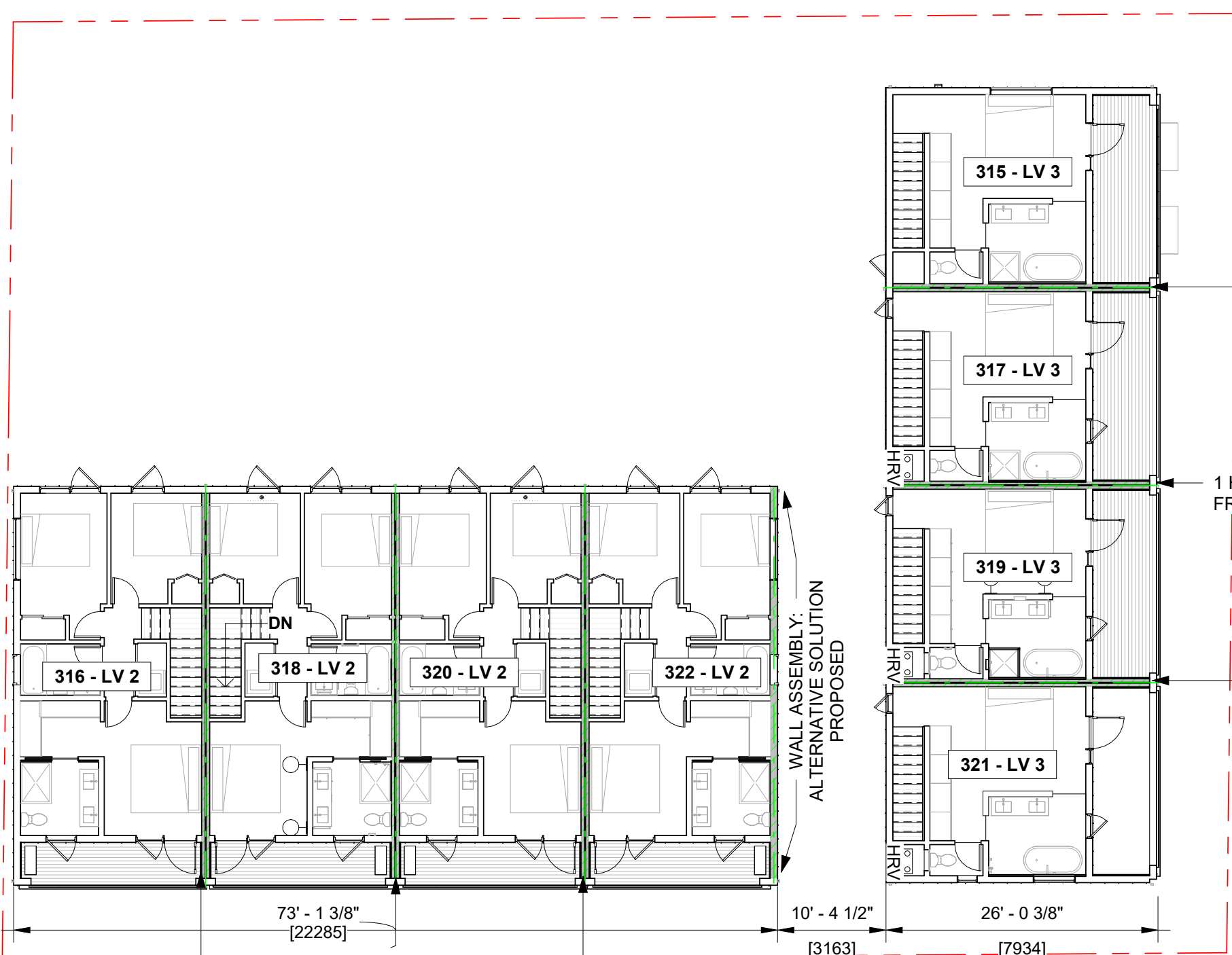
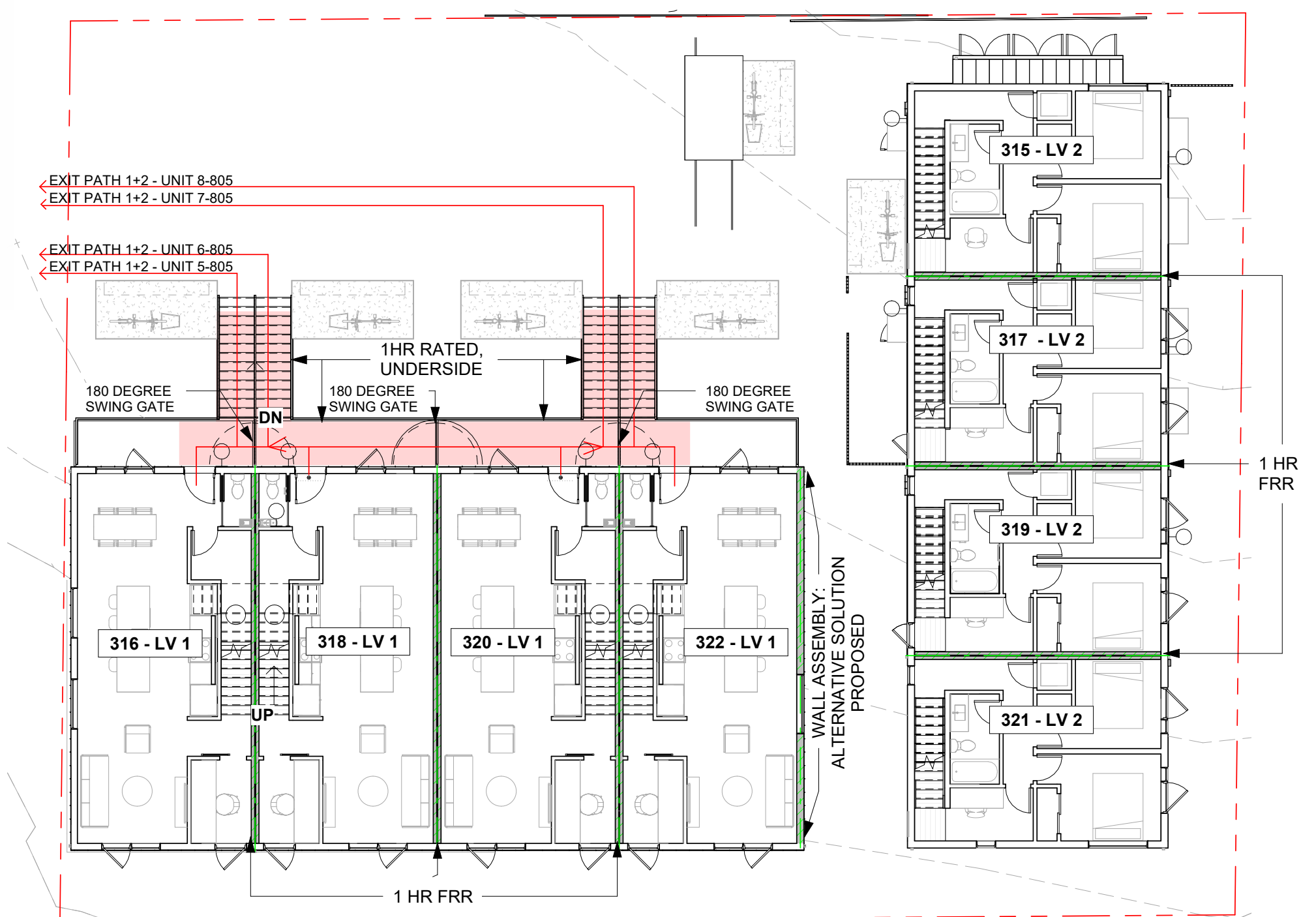
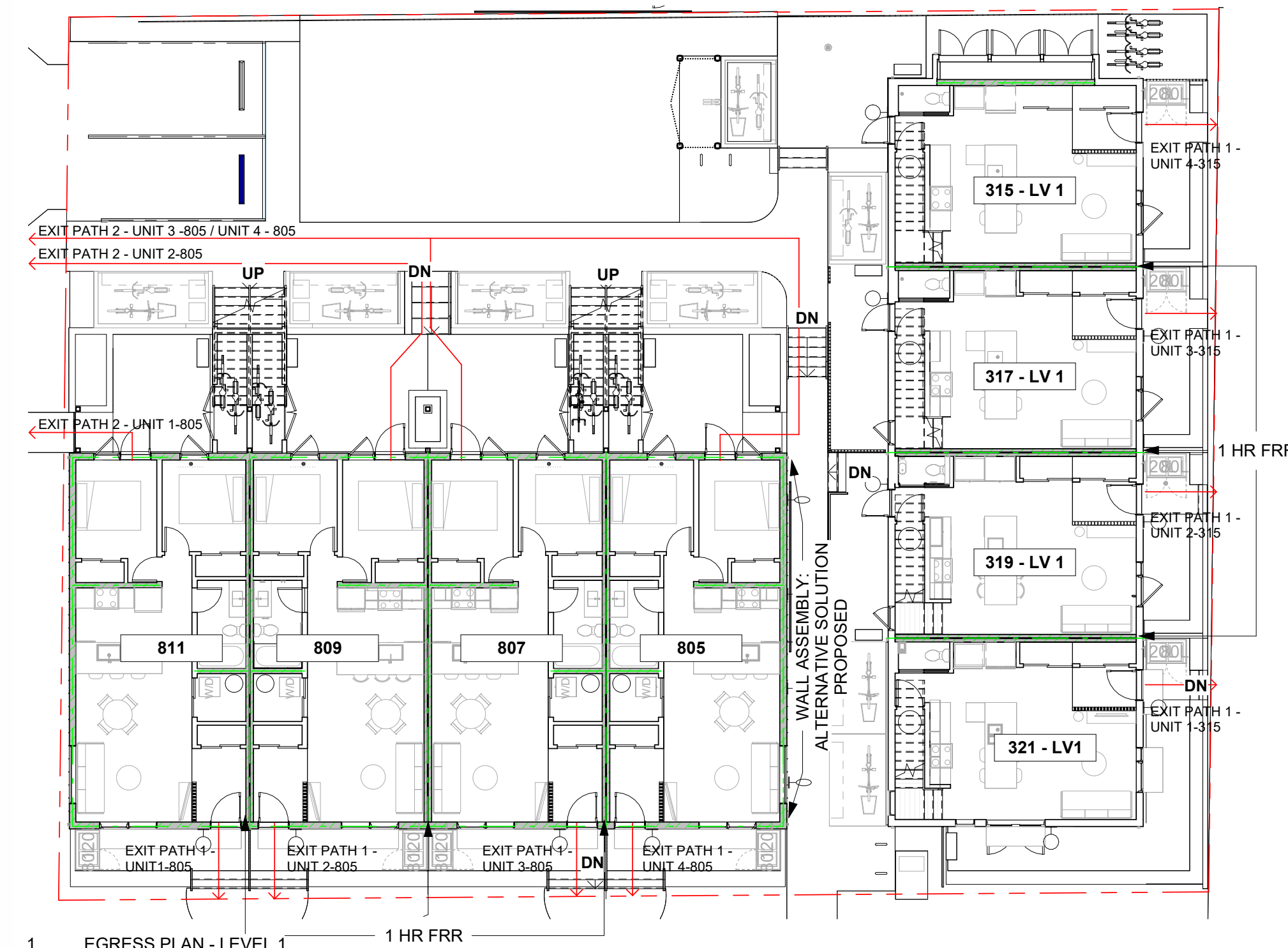
Project number	24003
Date	24.10.29
Drawn by	AG
Checked by	SS

A.008

Scale	AS NOTED
Printed	2026-03-19 10:02:51 AM

BCBC 2024 - CODE REVIEW TABLE

Item	BC Building Code Data Matrix Parts 3 & 9	BCBC Reference
1	Project Description: <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 9	
2	Major Occupancy(s) C - Residential	9.10.2.1
3	Building Area Total 472.30 m ² BUILDING A - MARY 263.40 m ² BUILDING B - EDWARD 189.20 m ² BUILDING C - STORAGE 19.70 m ²	
4	Gross Floor Area Total 1102.00 m ² BUILDING A - MARY 648.00 m ² BUILDING B - EDWARD 454.00 m ² BUILDING C - STORAGE 19.70 m ²	
5	Number of Storeys BLDG A - MARY / BLDG B EDWARD Above Grade 3 Below Grade 0	9.10.4.1
6	Height of Building BLDG A - MARY 10.00 m BLDG B - EDWARD 10.53 m	9.10.4
7	Number of Streets/Access Routes 2 EACH BUILDING FACING 2, BUT 3 TOTAL FOR SITE	9.10.20.3
8	Building Classification BLDG A - MARY Combustible/Non-Combustible BLDG B - EDWARD Combustible/Non-Combustible REQUIRES NON-COMBUSTIBLE WALL ADJACENT TO BLDG B	9.10.14 9.10.15
9	Sprinkler System Proposed <input checked="" type="checkbox"/> Not required - BLDG A <input type="checkbox"/> Basement only <input type="checkbox"/> In lieu of wall rating - BLDG B <input checked="" type="checkbox"/> Not required - BLDG B	3.2.2.20-23 3.2.1.5 3.2.2.17
10	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	9.10.1.3
11	Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	9.10.18.2(5)
12	Water Service Supply is Adequate <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7
13	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6
14a	Permitted Construction <input checked="" type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible *NON COMB. WALL REQUIRED ON BUILDING A, ADJACENT TO PASS THROUGH *REVIEW LIMITING DISTANCE DIAGRAMS	9.10.14 9.10.15
14b	Permitted Cladding <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Both REVIEW LIMITING DISTANCE DIAGRAMS FOR SPECIFIC ASSEMBLIES	9.10.14 9.10.15
16	Occupant Load based on: <input type="checkbox"/> design of building <input checked="" type="checkbox"/> design of building	9.9.1.3.2
	TOTAL OCC. = BLDG A 40 TOTAL OCC. = BLDG B 24 # OF SLEEPING RM TOTAL OCC./UNIT TOTAL UNITS/BLG TOTAL OCC./BLG BUILDING A - MARY - 2 BED UNITS 2 4 4 16 BUILDING A - MARY - 3 BED UNITS 3 6 4 24 BUILDING B - EDWARD - 3 BED UNITS 3 6 4 24	
17	Barrier-free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	9.5.2.3.1 Exempt
18	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	9.10.1.3.(4)
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies Floor Between Suite- Bldg A 1.00 hr Egress Floors of exterior passageways - Bldg A 1.00 hr Floor - in suites (A+B) 0.00 hr Bldg A and Bldg B - Roof 0.00 hr Supporting Members Steel Members 0.75 hr Heavy Timber Columns 0.75 hr Bearing Walls Level 1- Bldg A 1.00 hr Party Walls, between Suites 1.00 hr Listed Design No. or Description Listed Design No. or Description Protection for Steel members connection	9.10.9.13 9.10.8.8 9.10.9.4(2) 9.10.8.1 9.10.7.1 9.10.6.2(3), 1.4.7 9.10.8.3 9.10.9.16(3)
20	Required Acoustic Separation Between Adjoining Walls 50 STC Min Horizontal Construction Walls 50 STC Min	9.11.1.4
22	Other Egress BLDG A - MARY 2 exits BLDG B - EDWARD 1 exit + egress windows/balcony bedrooms- all units: 1 egress window	9.9.9.1.1, 9.9.9.1.2, 9.9.9.1.3



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13	DPA Rev 5	26.03.19

S.KALENCHUK
NALU @ VICWEST TOWNHOMES
CODE REVIEW
 Project number 24003
 Date 24.10.29
 Drawn by SS
 Checked by SS
A.009
 Scale AS NOTED
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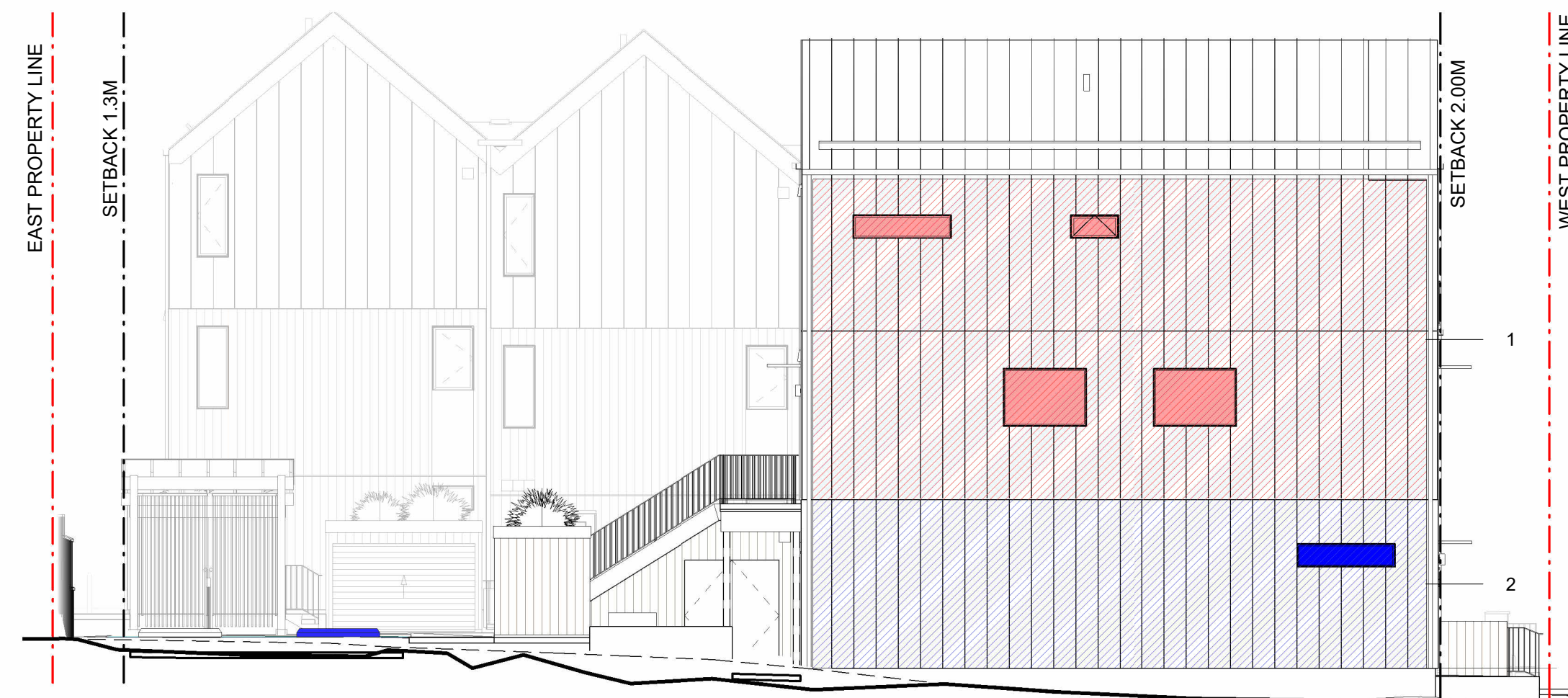


TABLE 9.10.14.4.-A	LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1"	INTERPOLATED ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"	AREA OF EXPOSING BUILDING FACE "2"	INTERPOLATED ALLOWABLE OPENINGS "2"	PROPOSED OPENINGS "2"	PROPOSED OPENINGS "2"
	12.0 FT / 3.66m	711.7 SF / 66.1 M2	22%	47.51 SF / 4.4 M2	6.7%	378.8 SF / 35.2 M2	32%	8.38 SF / 0.8 M2	2.2%

TABLE 9.10.14.5.-A	MAX. UNPROTECTED OPENINGS (%) "1"	REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"	MAX. UNPROTECTED OPENINGS (%) "2"	REQUIRED FRR BUILDING FACE "2"	REQUIRED TYPE OF CONSTRUCTION "2"	REQUIRED TYPE OF CLADDING "2"
	>10 - 25%	1 HR	Combustible or Noncombustible	Combustible or Noncombustible	>25 - 50%	3/4 HR	Combustible or Noncombustible	Combustible or Noncombustible



TABLE 9.10.14.4.-A	LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1-4"	ALLOWABLE OPENINGS "1-4"	PROPOSED OPENINGS "1-4"	PROPOSED OPENINGS "1-4"	AREA OF EXPOSING BUILDING FACE "5-8"	ALLOWABLE OPENINGS "5-8"	PROPOSED OPENINGS "5-8"	PROPOSED OPENINGS "5-8"
	44.3 FT / 13.5m	396.2 SF / 36.8 M2	55%	98.1 SF / 9.1 M2	24.7%	175.9 SF / 16.4 M2	100%	49.6 SF / 4.6 M2	28.2%

TABLE 9.10.14.5.-A	MAX. UNPROTECTED OPENINGS (%) "1-4"	REQUIRED FRR BUILDING FACE "1-4"	REQUIRED TYPE OF CONSTRUCTION "1-4"	REQUIRED TYPE OF CLADDING "1-4"	MAX. UNPROTECTED OPENINGS (%) "5-8"	REQUIRED FRR BUILDING FACE "5-8"	REQUIRED TYPE OF CONSTRUCTION "5-8"	REQUIRED TYPE OF CLADDING "5-8"
	>50 - 100%	3/4 HR	Combustible or Noncombustible	Combustible or Noncombustible	>50 - 100%	3/4 HR	Combustible or Noncombustible	Combustible or Noncombustible

1 LIMITING DISTANCE - BUILDING A NORTH ELEVATION
A.010 1:100

2 LIMITING DISTANCE - BUILDING A EAST ELEVATION
A.010 1:100

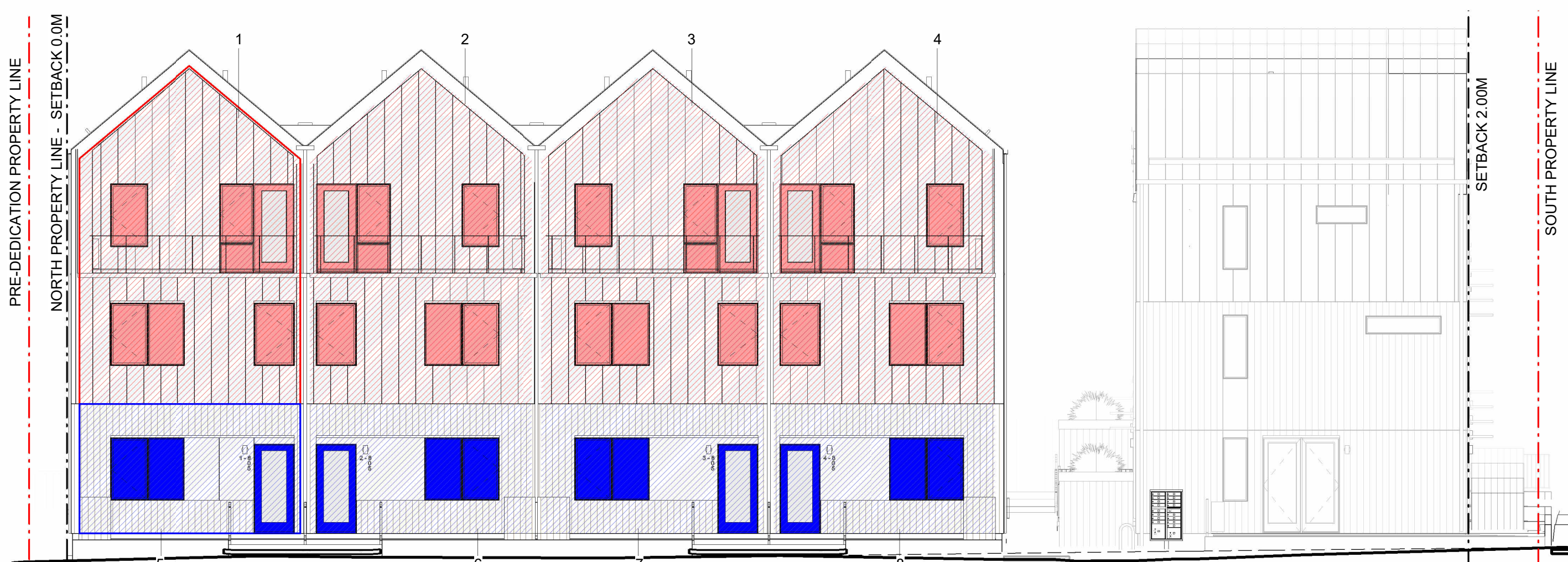


TABLE 9.10.14.4.-A	LIMITING DISTANCE FOR ALL AREAS	AREA OF EXPOSING BUILDING FACE "1-4"	ALLOWABLE OPENINGS "1-4"	PROPOSED OPENINGS "1-4"	PROPOSED OPENINGS "1-4"	AREA OF EXPOSING BUILDING FACE "5-8"	ALLOWABLE OPENINGS "5-8"	PROPOSED OPENINGS "5-8"	PROPOSED OPENINGS "5-8"
	36.7 FT / 11.2m	396.2 SF / 36.8 M2	100%	99.3 SF / 9.2 M2	25.1%	175.9 SF / 16.4 M2	100%	50.1 SF / 4.7 M2	28.5%

TABLE 9.10.14.5.-A	MAX. UNPROTECTED OPENINGS (%) "1-4"	REQUIRED FRR BUILDING FACE "1-4"	REQUIRED TYPE OF CONSTRUCTION "1-4"	REQUIRED TYPE OF CLADDING "1-4"	MAX. UNPROTECTED OPENINGS (%) "5-8"	REQUIRED FRR BUILDING FACE "5-8"	REQUIRED TYPE OF CONSTRUCTION "5-8"	REQUIRED TYPE OF CLADDING "5-8"
	>50 - 100%	3/4 HR	Combustible or Noncombustible	Combustible or Noncombustible	>50-100%	3/4 HR	Combustible or Noncombustible	Combustible or Noncombustible

3 LIMITING DISTANCE - BUILDING A WEST ELEVATION
A.010 1:100



TABLE 9.10.14.4.-A	LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1"	ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"	AREA OF EXPOSING BUILDING FACE "2"	ALLOWABLE OPENINGS "2"	PROPOSED OPENINGS "2"	PROPOSED OPENINGS "2"
	5.08 FT / 1.55m	711.7 SF / 65.4 M2	8%	20.90 SF / 1.94 M2	2.9%	327.9 SF / 30.5 M2	8%	8.38 SF / 0.8 M2	2.6%

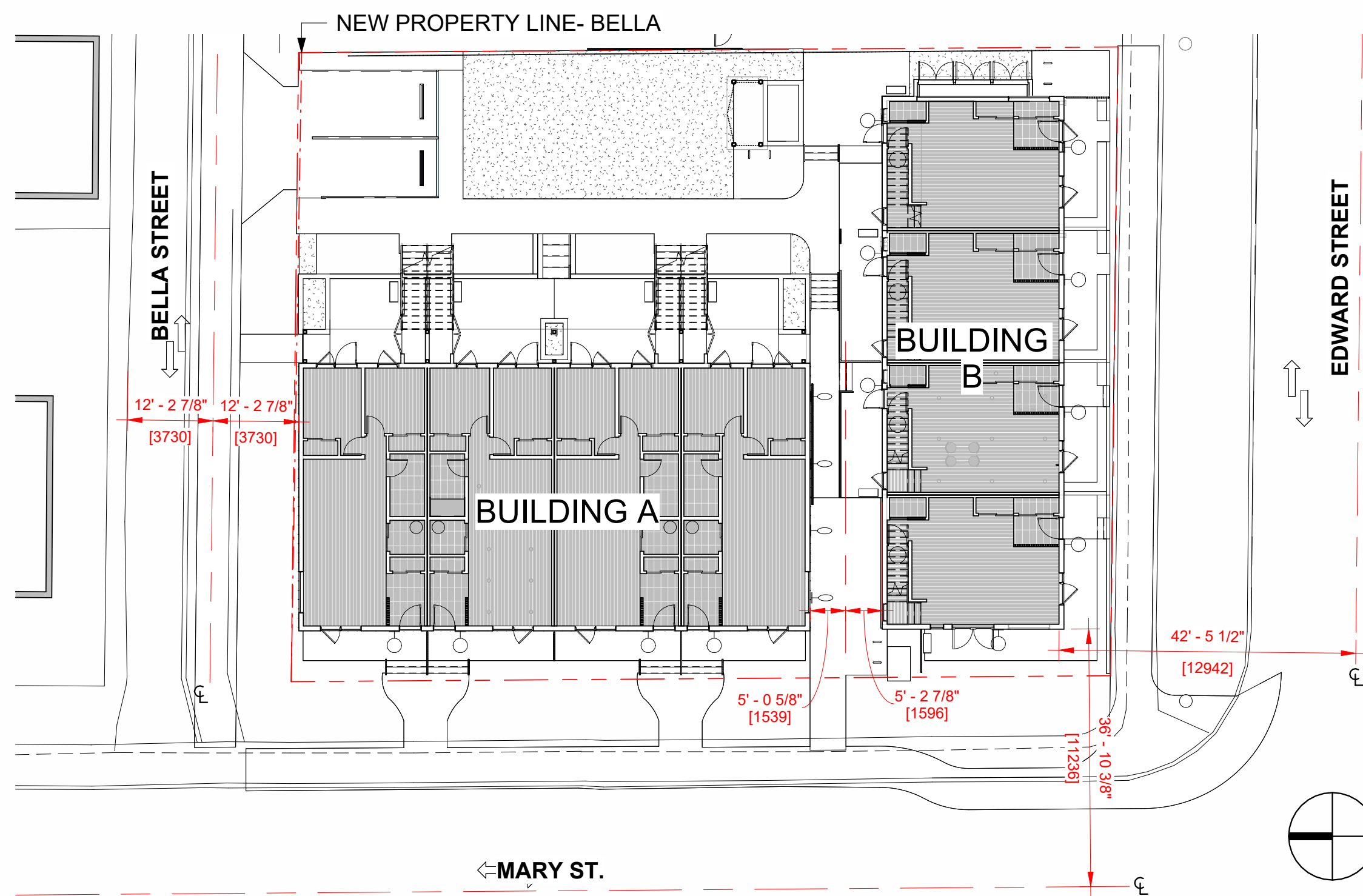
TABLE 9.10.14.5.-A	MAX. UNPROTECTED OPENINGS (%) "1"	REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"	MAX. UNPROTECTED OPENINGS (%) "2"	REQUIRED FRR BUILDING FACE "2"	REQUIRED TYPE OF CONSTRUCTION "2"	REQUIRED TYPE OF CLADDING "2"
	0-10%	1 HR	Noncombustible	*ALT SOLUTION PROPOSED*	0-10%	1 HR	Noncombustible	*ALT SOLUTION PROPOSED*

4 LIMITING DISTANCE - BUILDING A SOUTH ELEVATION
A.010 1:100

LIMITING DISTANCE INTERPOLATION CALCULATIONS

BUILDING A - NORTH ELEVATION "1"						
Area of building face	LD below	LD	LD above	LD*2	% Permitted	Area Permitted
	2.0 m	3.68 m	4.0 m	13.54 m ²	22%	14.78 m ²
Next smallest value	50.0 m ²	10%	25%			
Area	66.10 m ²		22%			
Next largest value	100.0 m ²	9%	17%			

BUILDING A - NORTH ELEVATION "2"						
Area of building face	LD below	LD	LD above	LD*2	% Permitted	Area Permitted
	2.0 m	3.68 m	4.0 m	13.54 m ²	31%	13.18 m ²
Next smallest value	30.0 m ²	12%	35%			
Area	35.20 m ²	11%	32%			
Next largest value	40.0 m ²	11%	29%			



5 LIMITING DISTANCE PLAN
A.010 1:200

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10	BP Revision 1	25.12.23
11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19

S.KALENCHUK

NALU @ VICWEST TOWNHOMES

BUILDING A LIMITING DISTANCE

Project number 24003
Date 24.10.29
Drawn by AG
Checked by SS

A.010

Scale AS NOTED
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S.KALENCHUK

NALU @ VICWEST TOWNHOMES

BUILDING B LIMITING DISTANCE

Project number	24003
Date	24.10.29
Drawn by	AG
Checked by	SS

A.011



TABLE 9.10.15.4.

LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1"	ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"
41.8 FT / 12.7m	2239.4 SF / 208.0 M2	55%	496.1 SF / 46.1 M2	22.2%

9.10.15.5

REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"
0 HR	Combustible or Noncombustible	Combustible or Noncombustible

4 LIMITING DISTANCE - BUILDING B WEST ELEVATION
A.011 1:100



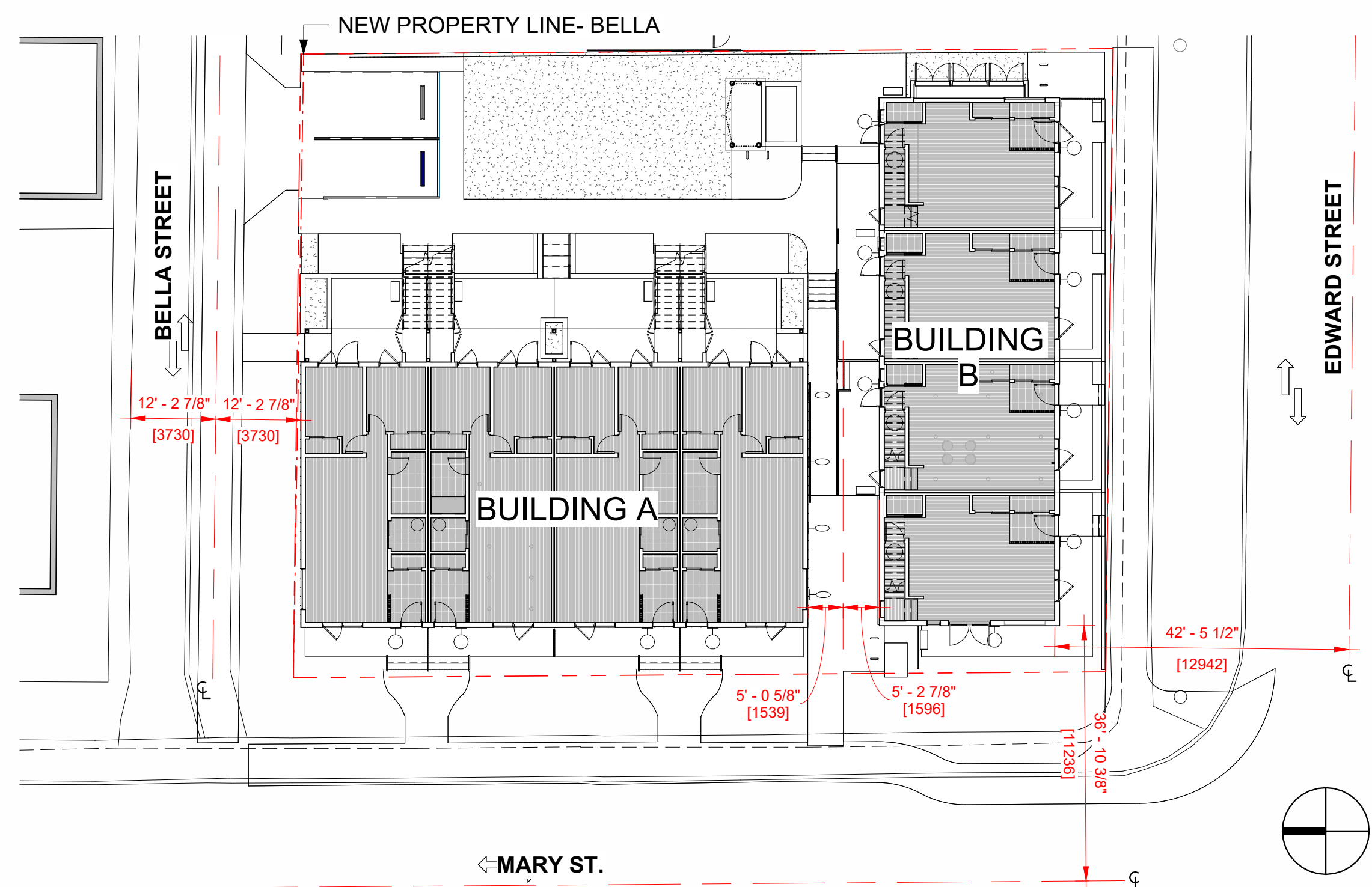
TABLE 9.10.15.4.

LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1"	ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"
6.91 FT / 2.1m	680.3 SF / 63.2 M2	8%	16.76 SF / 1.6 M2	2.5%

9.10.15.5

REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"
0 HR	Combustible or Noncombustible	Combustible or Noncombustible

1 LIMITING DISTANCE - BUILDING B EAST ELEVATION
A.011 1:100



2 LIMITING DISTANCE PLAN
A.011 1:200



TABLE 9.10.15.4.

LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1"	ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"
41.8 FT / 12.7m	2239.4 SF / 208.0 M2	55%	496.1 SF / 46.1 M2	22.2%

9.10.14.5-A

REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"
0 HR	Combustible or Noncombustible	Combustible or Noncombustible

3 LIMITING DISTANCE - BUILDING B SOUTH ELEVATION
A.011 1:100

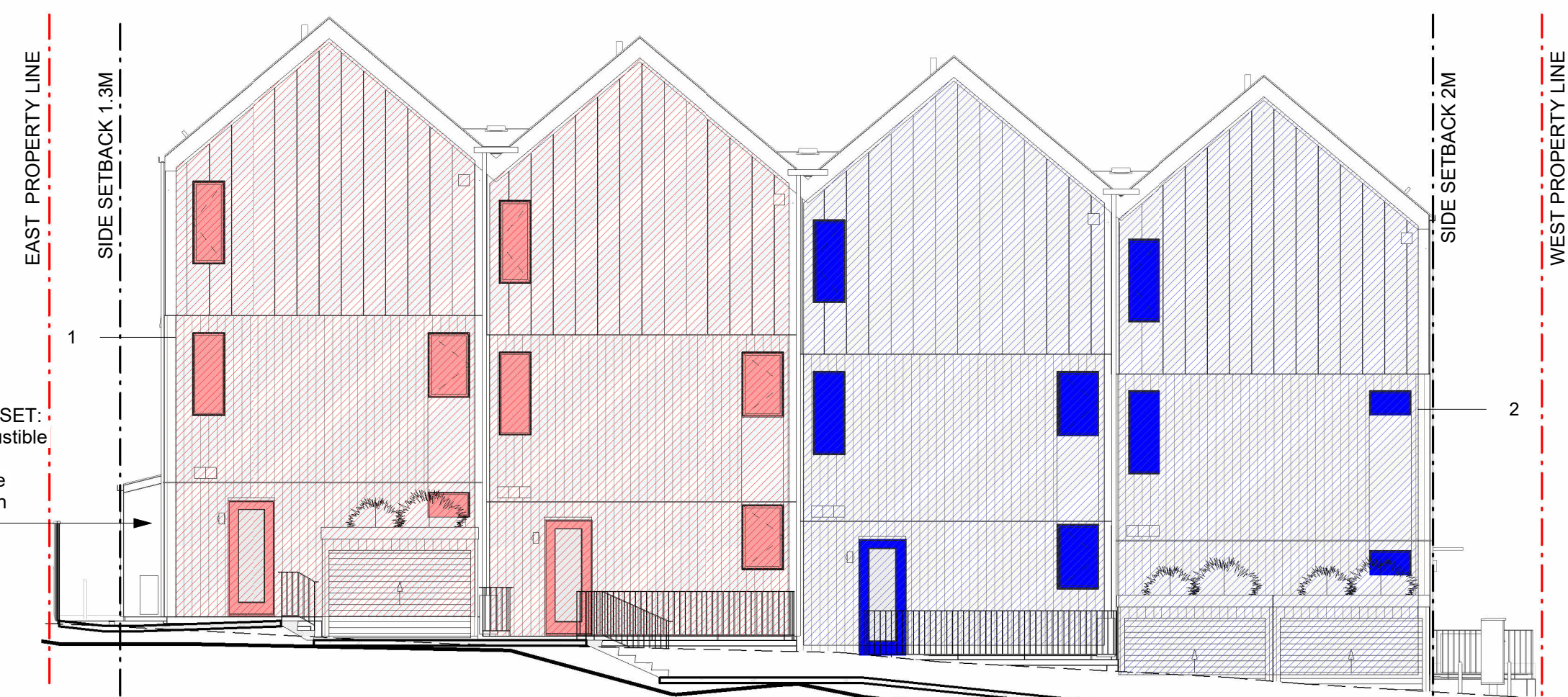


TABLE 9.10.15.4.

LIMITING DISTANCE "1"	AREA OF EXPOSING BUILDING FACE "1"	ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"
86.2 FT / 26.3 M	1119.7 SF / 104.0 M2	100%	111.1 SF / 10.3 M2	9.9%

9.10.15.5

REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"
0 HR	Combustible or Noncombustible	Combustible or Noncombustible

TABLE 9.10.15.4.

LIMITING DISTANCE "2"	AREA OF EXPOSING BUILDING FACE "2"	ALLOWABLE OPENINGS "2"	PROPOSED OPENINGS "2"	PROPOSED OPENINGS "2"
5.1 FT / 1.55 M	1108.4 SF / 103.0 M2	8%	85.3 SF / 7.9 M2	7.7%

9.10.15.

REQUIRED FRR BUILDING FACE "2"	REQUIRED TYPE OF CONSTRUCTION "2"	REQUIRED TYPE OF CLADDING "2"
0 HR	Combustible or Noncombustible	Combustible or Noncombustible

6 LIMITING DISTANCE - BUILDING B NORTH ELEVATION
A.011 1:100

ELEC. CLOSET:
Non-Combustible
Cladding
Combustible
Construction
1HR FRR

ELEC. CLOSET:
Non-Combustible
Cladding
Combustible
Construction
1HR FRR



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13	DPA Rev 5	26.03.19

S.KALENCHUK

**NALU @ VICWEST
TOWNHOMES**

SHADOW STUDIES

Project number 24003

Date 24.10.29

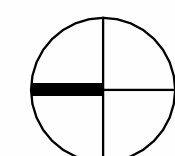
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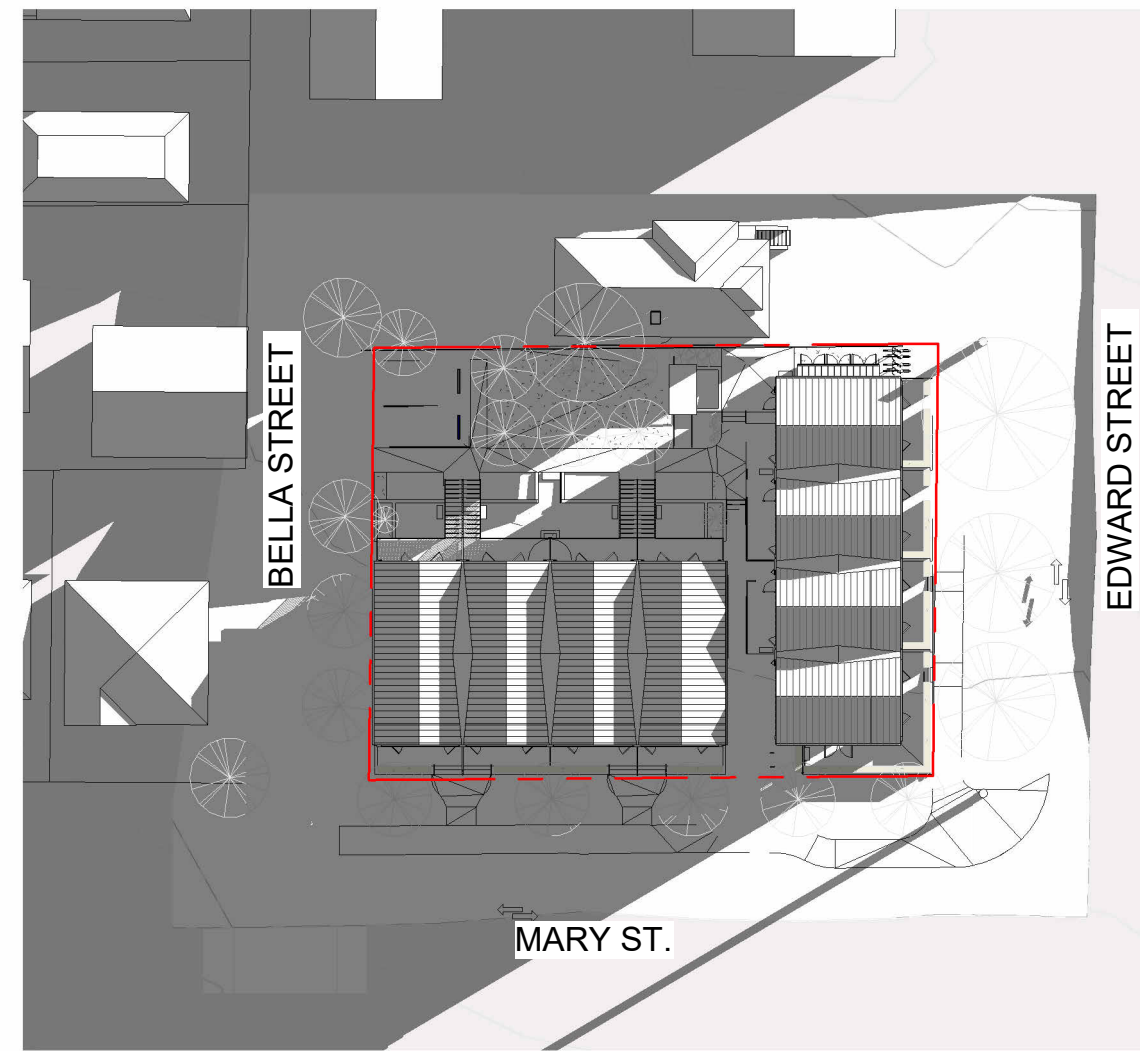
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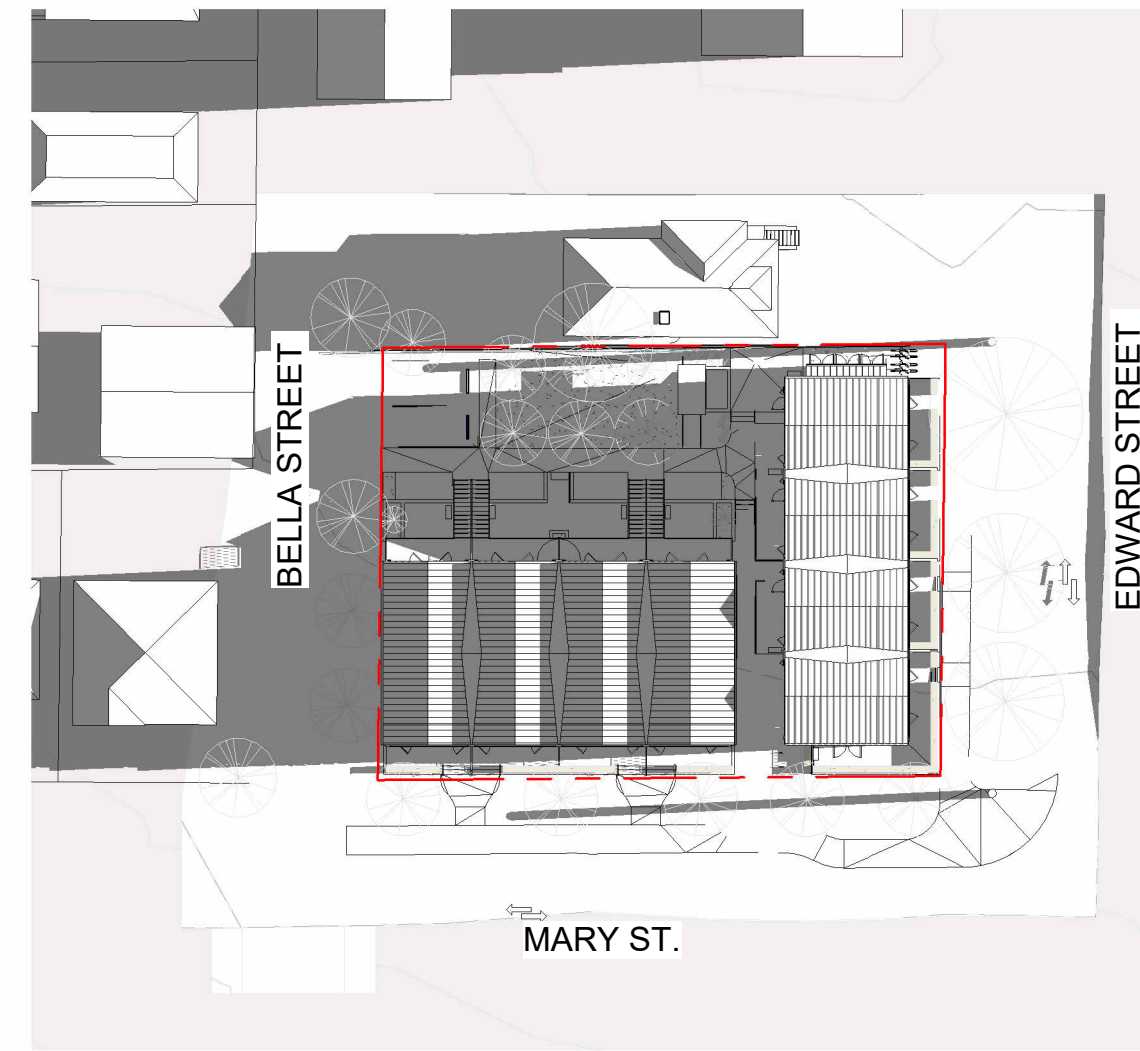
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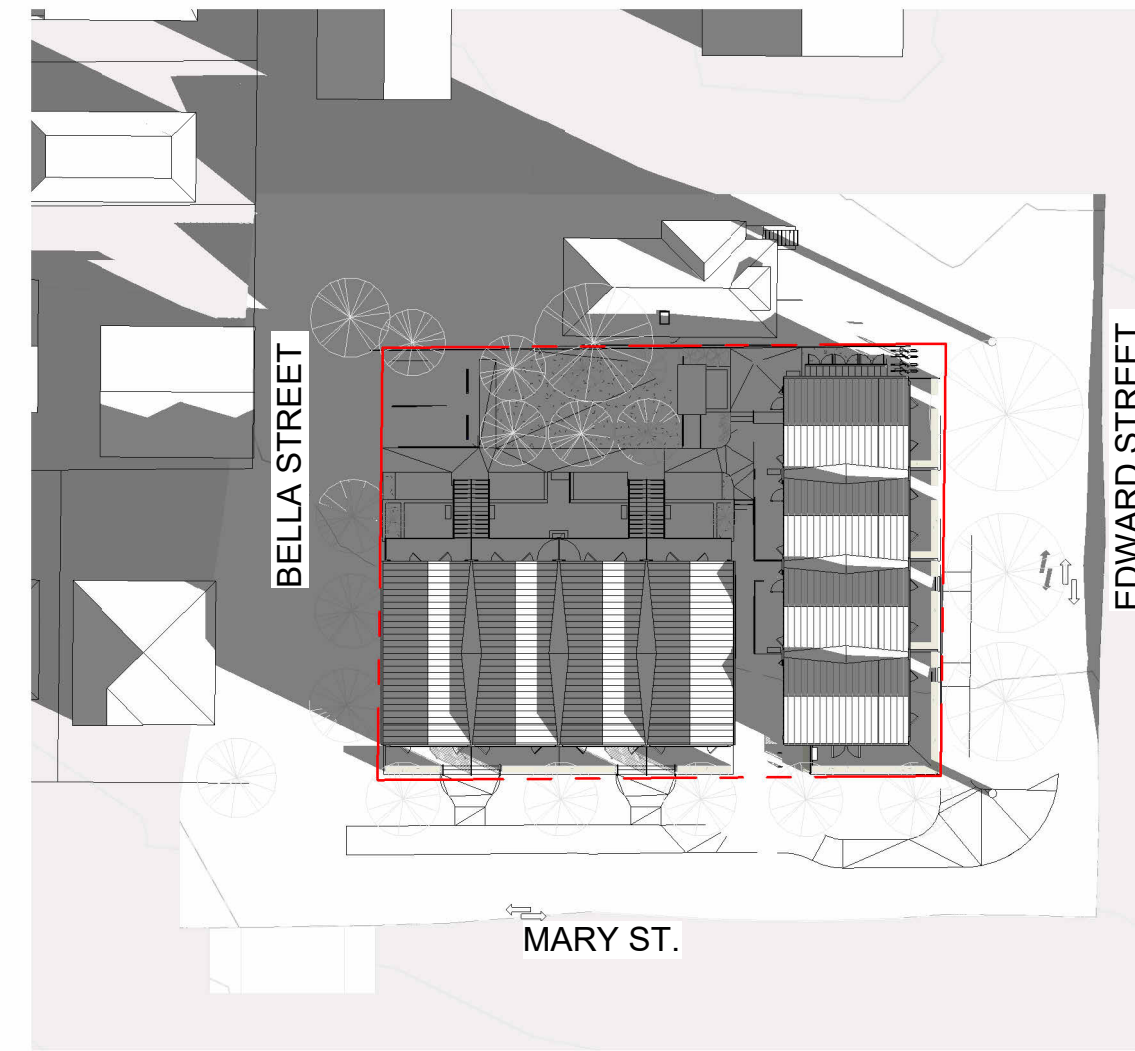
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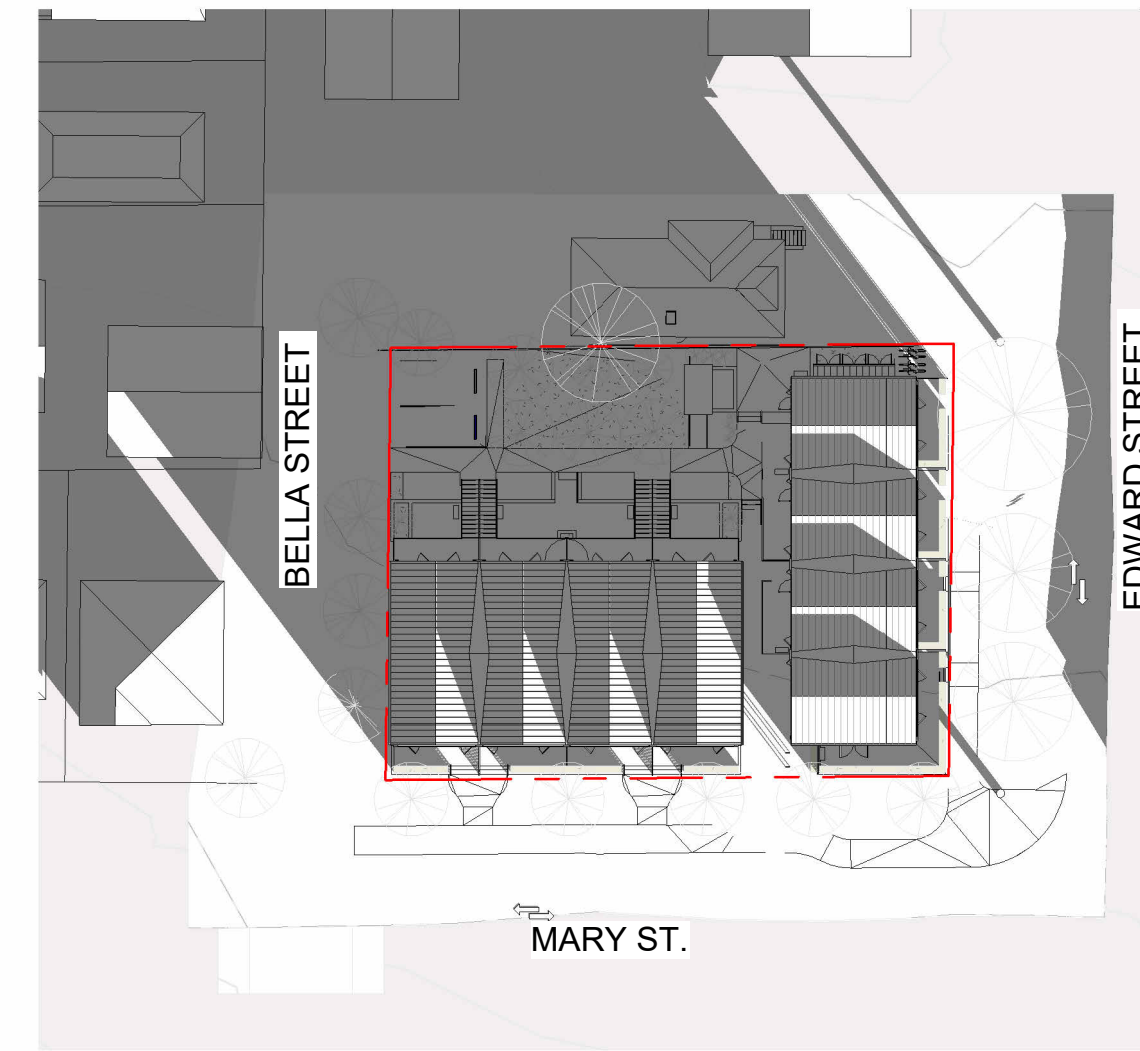
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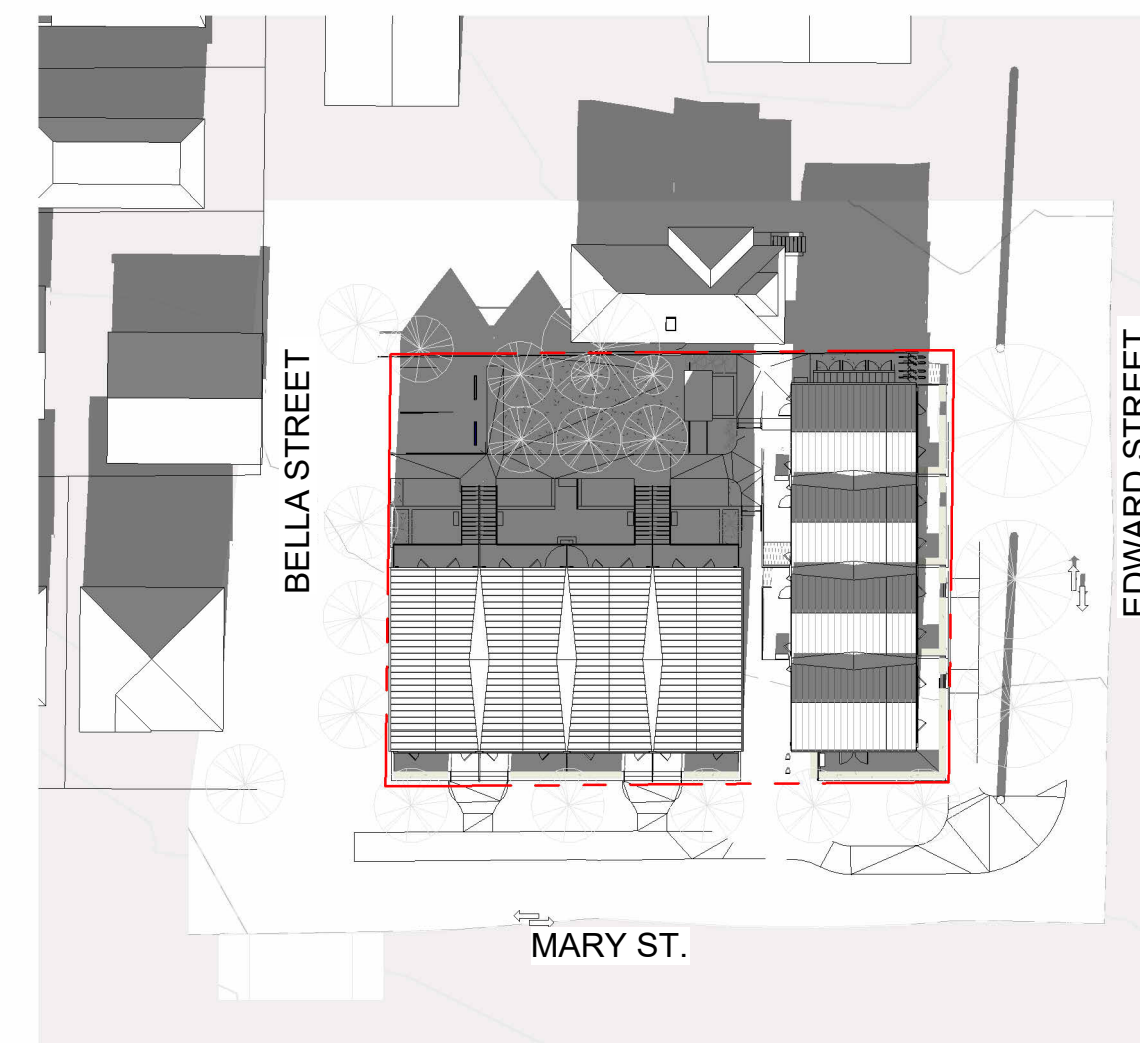
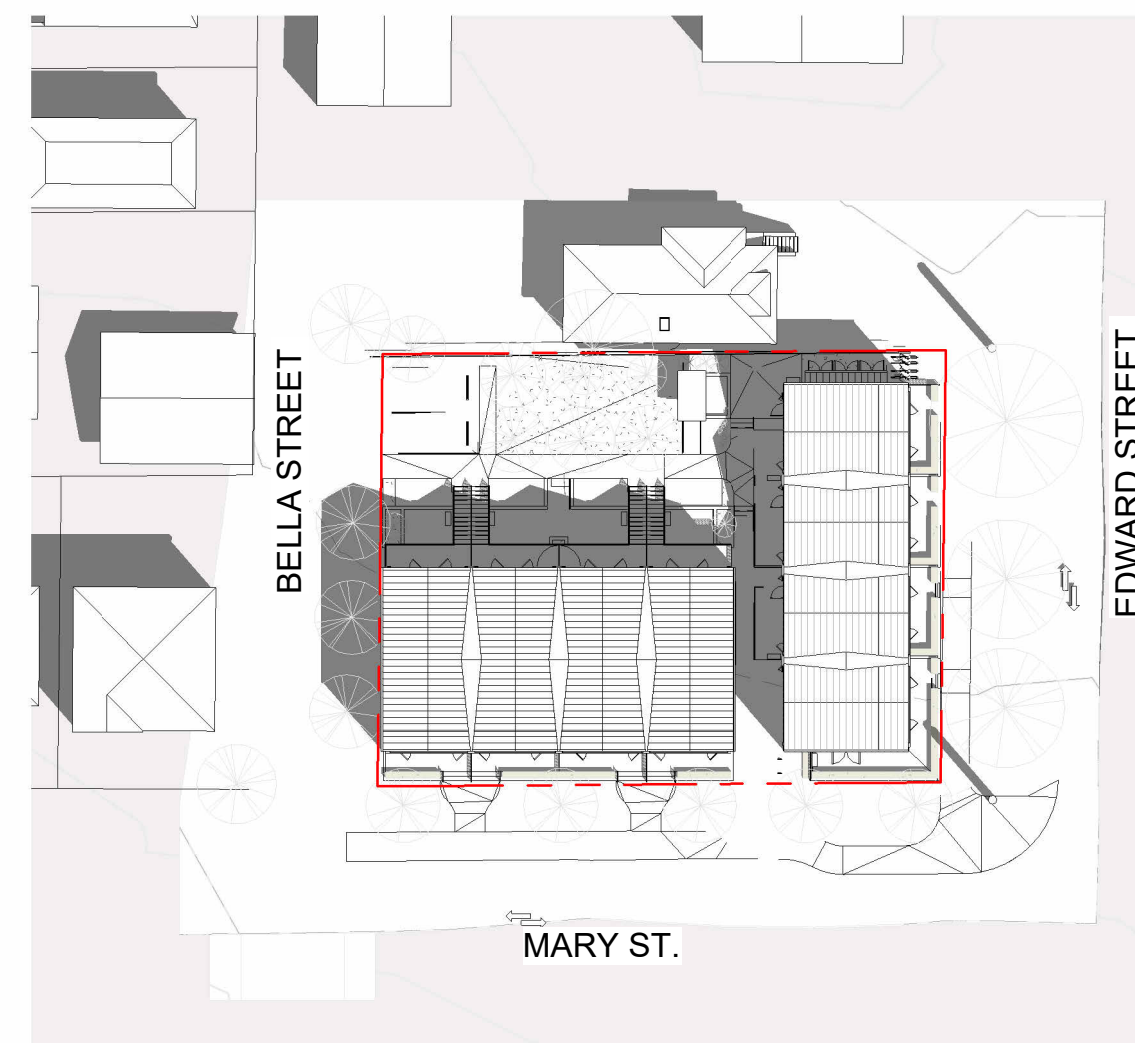
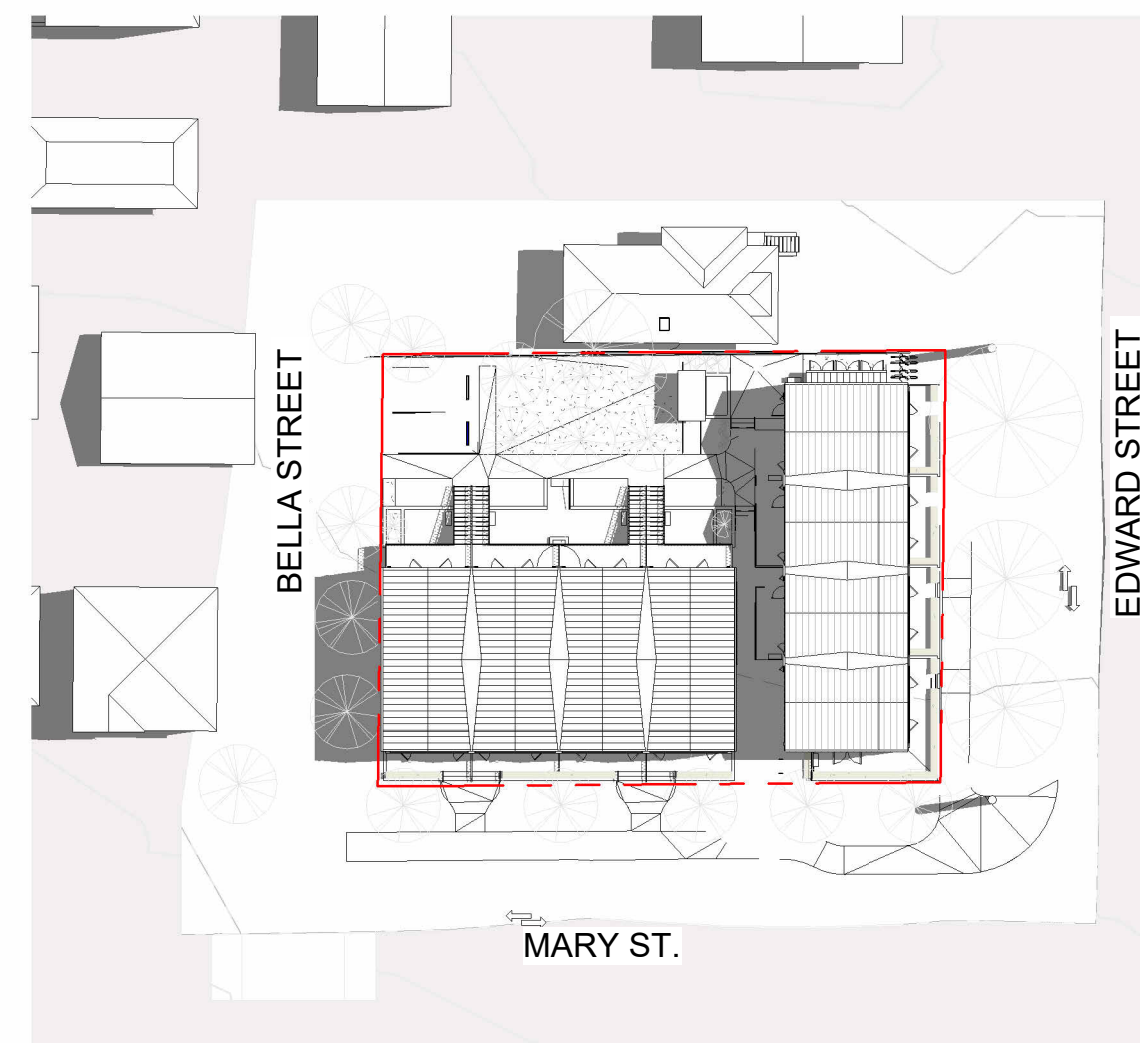
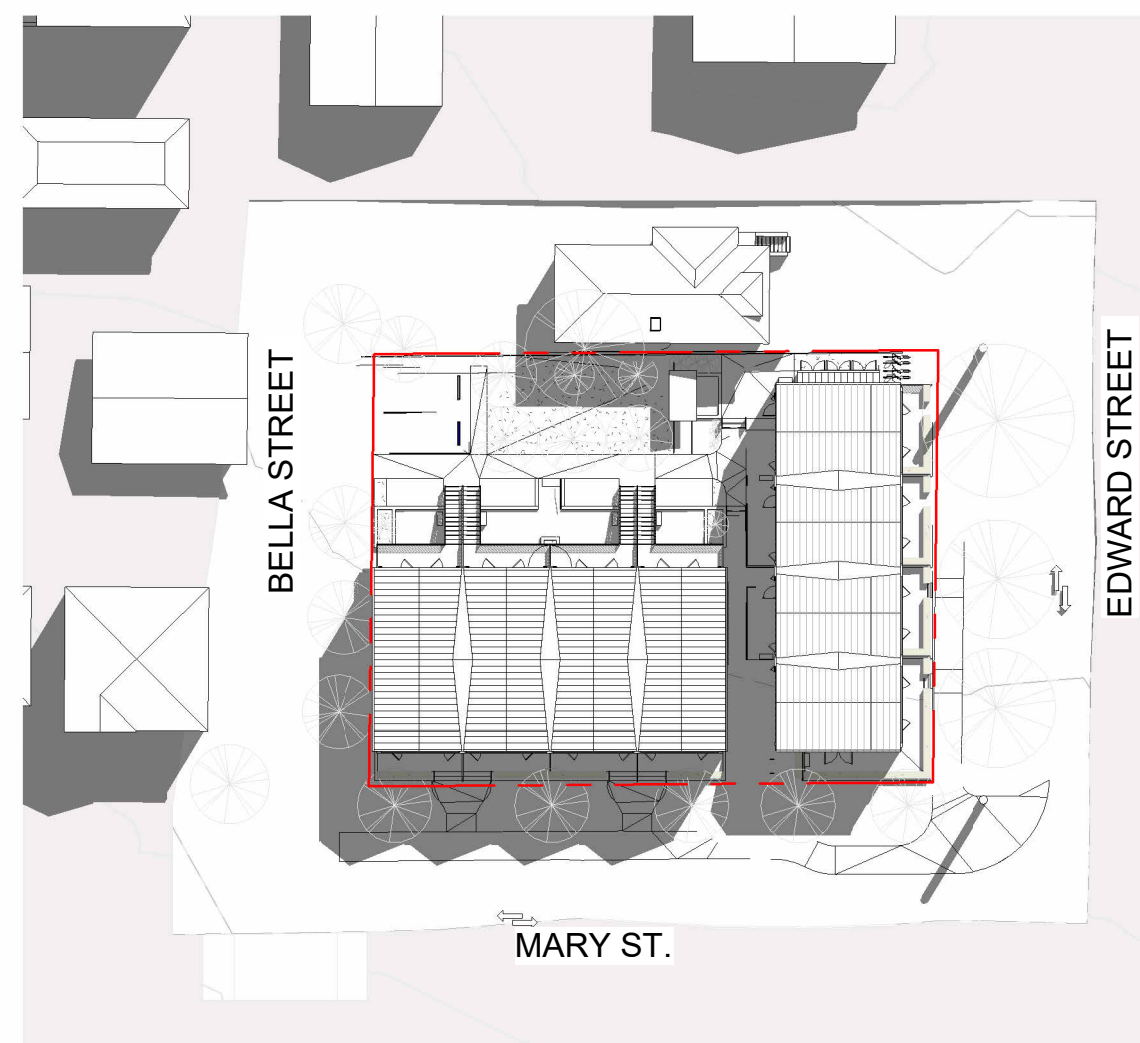
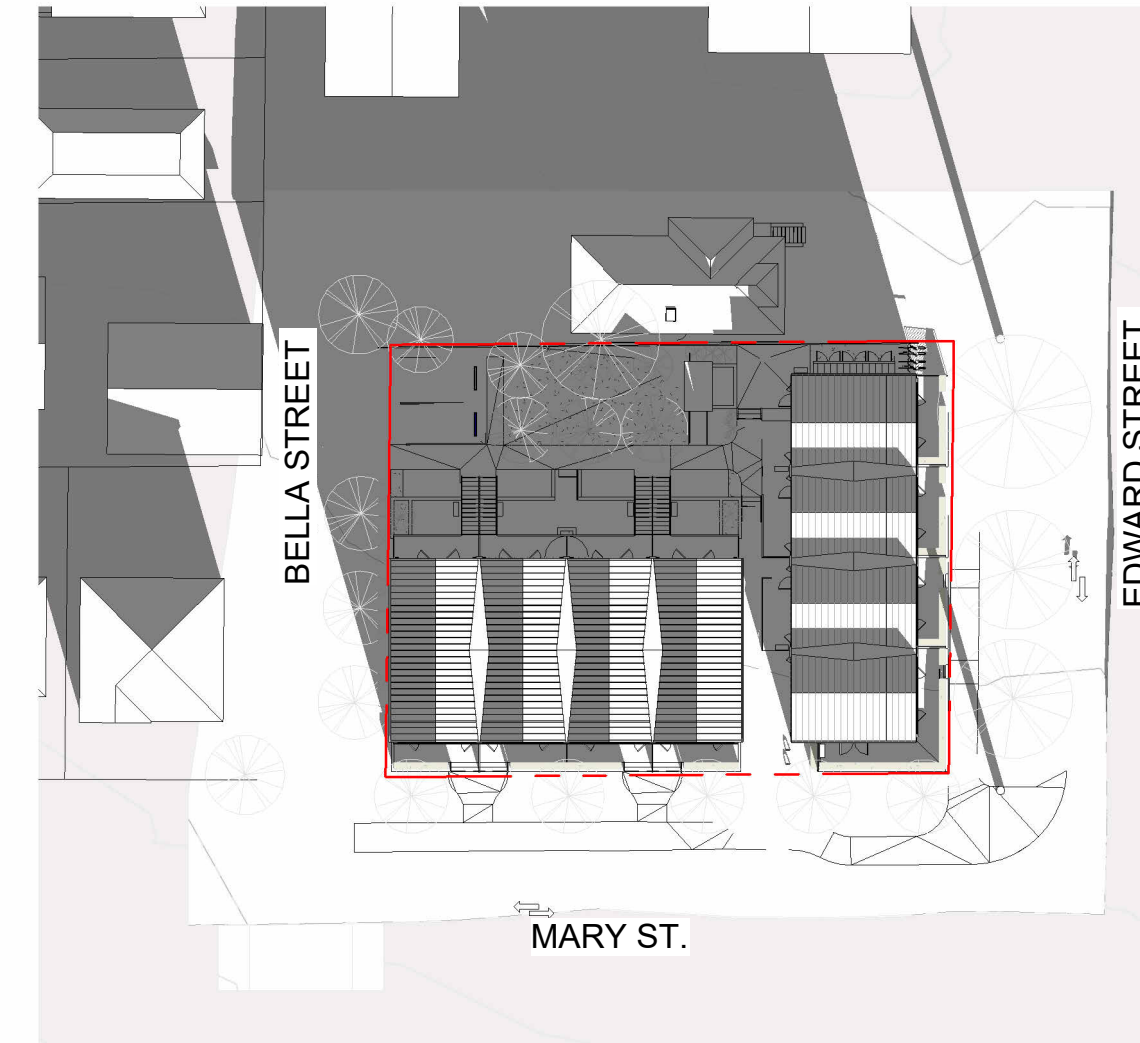
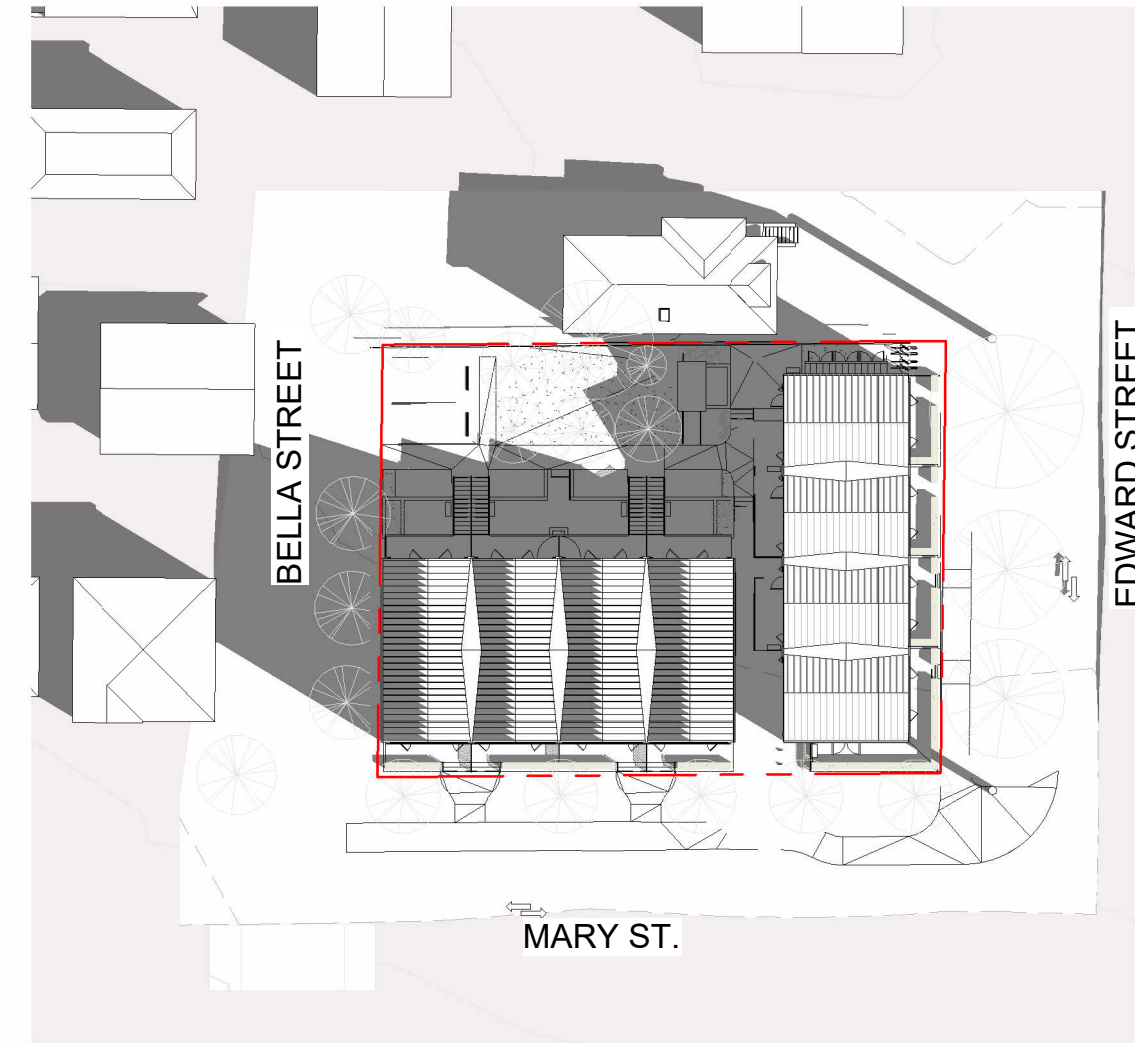
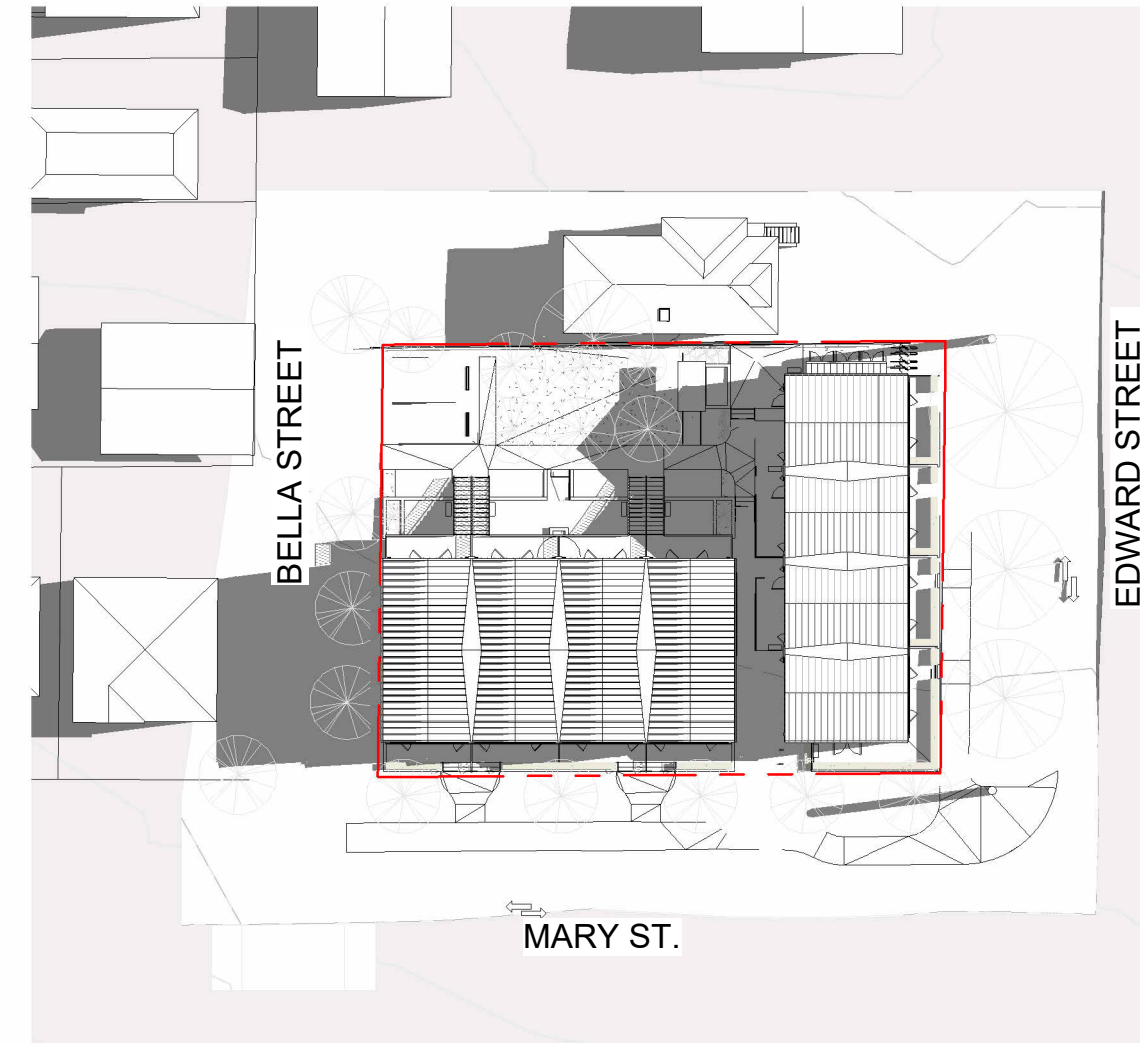
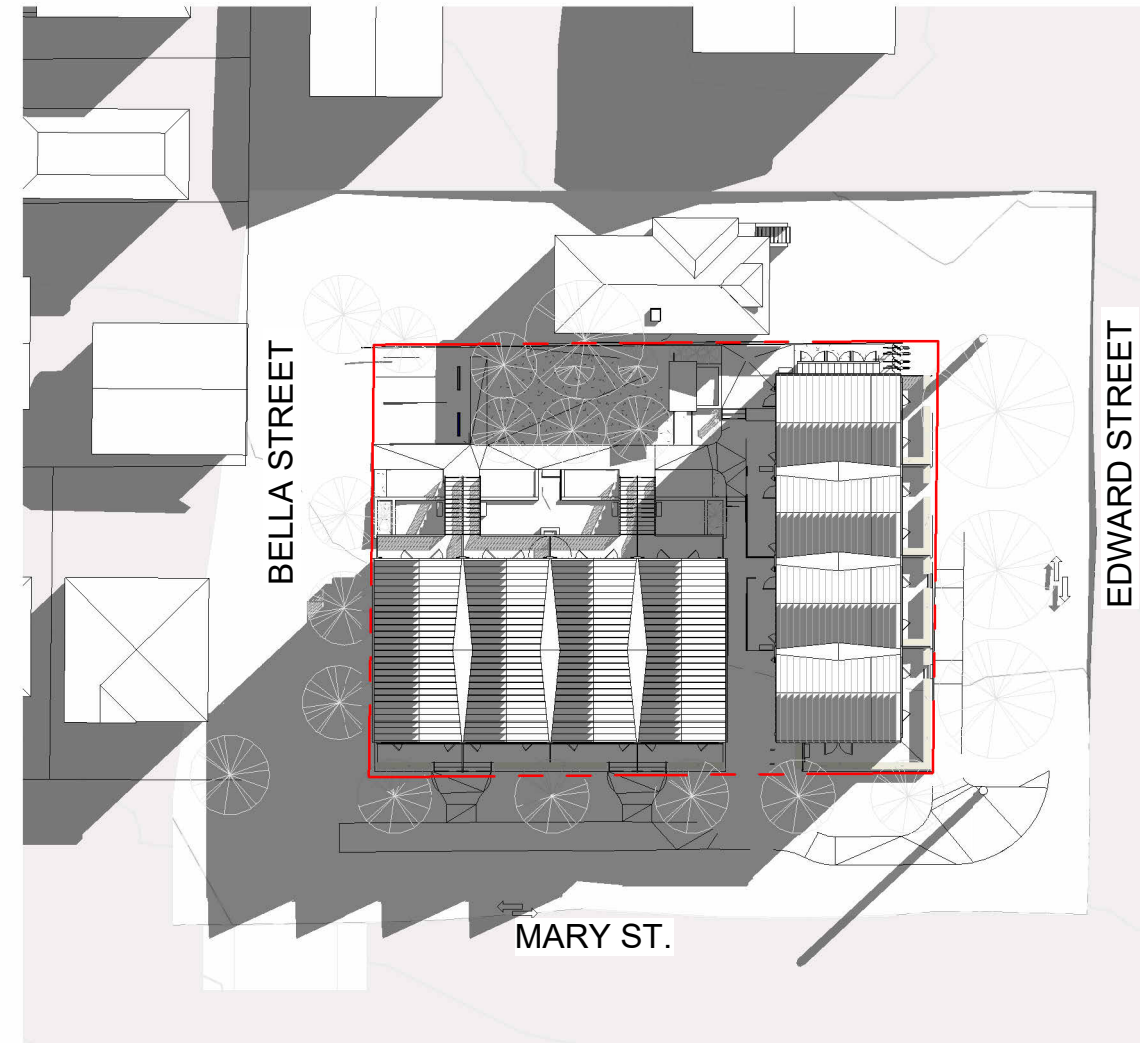
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WINTER SOLSTICE

SPRING / AUTUMN EQUINOX

SUMMER SOLSTICE





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8	DP Revisions	25.11.05
9	DPA Rev 3	25.12.19
10	BP Revision 1	25.12.23
11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19

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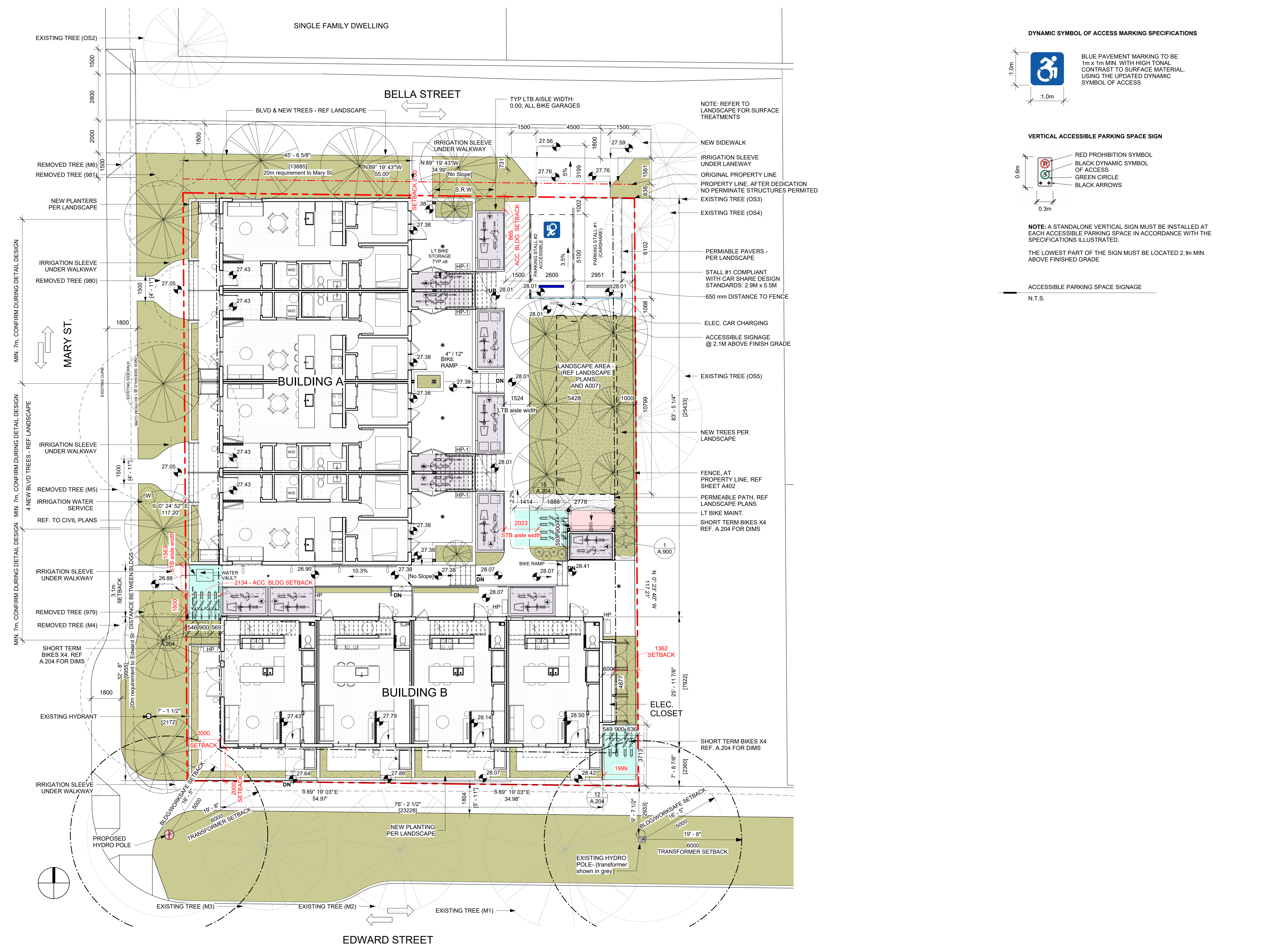
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SITE PLAN

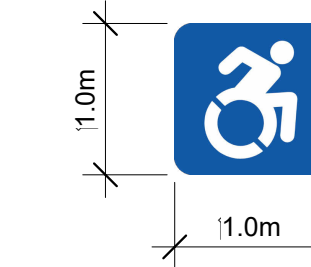
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A.101

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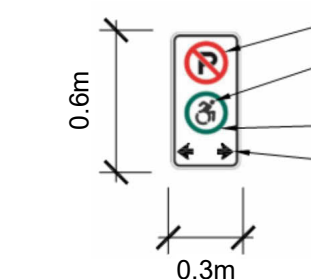


DYNAMIC SYMBOL OF ACCESS MARKING SPECIFICATIONS



BLUE PAVEMENT MARKING TO BE 1m x 1m MIN. WITH HIGH TONAL CONTRAST TO SURFACE MATERIAL, USING THE UPDATED DYNAMIC SYMBOL OF ACCESS

VERTICAL ACCESSIBLE PARKING SPACE SIGN



RED PROHIBITION SYMBOL
BLACK DYNAMIC SYMBOL OF ACCESS
GREEN CIRCLE
BLACK ARROWS

NOTE: A STANDALONE VERTICAL SIGN MUST BE INSTALLED AT EACH ACCESSIBLE PARKING SPACE IN ACCORDANCE WITH THE SPECIFICATIONS ILLUSTRATED.

THE LOWEST PART OF THE SIGN MUST BE LOCATED 2.1m MIN. ABOVE FINISHED GRADE

ACCESSIBLE PARKING SPACE SIGNAGE

N.T.S.

MIN. 7m. CONFIRM DURING DETAIL DESIGN

MIN. 7m. CONFIRM DURING DETAIL DESIGN

MIN. 7m. CONFIRM DURING DETAIL DESIGN

NOTE: REFER TO LANDSCAPE FOR SURFACE TREATMENTS

NEW SIDEWALK
IRRIGATION SLEEVE UNDER LANEWAY
ORIGINAL PROPERTY LINE, AFTER DEDICATION
NO PERMANENT STRUCTURES PERMITTED
EXISTING TREE (OS3)
EXISTING TREE (OS4)

PERMIABLE PAVERS - PER LANDSCAPE
STALL #1 COMPLIANT WITH CAR SHARE DESIGN STANDARDS: 2.9M x 5.5M
650 mm DISTANCE TO FENCE

ELEC. CAR CHARGING
ACCESSIBLE SIGNAGE @ 2.1M ABOVE FINISH GRADE

EXISTING TREE (OS5)

NEW TREES PER LANDSCAPE

FENCE, AT PROPERTY LINE, REF SHEET A402

PERMEABLE PATH, REF LANDSCAPE PLANS
LT BIKE MAINT.
SHORT TERM BIKES X4 REF. A.204 FOR DIMS

BIKE RAMP

HP

HP

HP

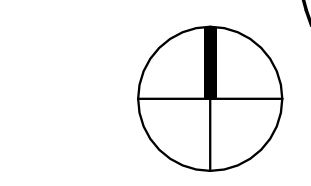
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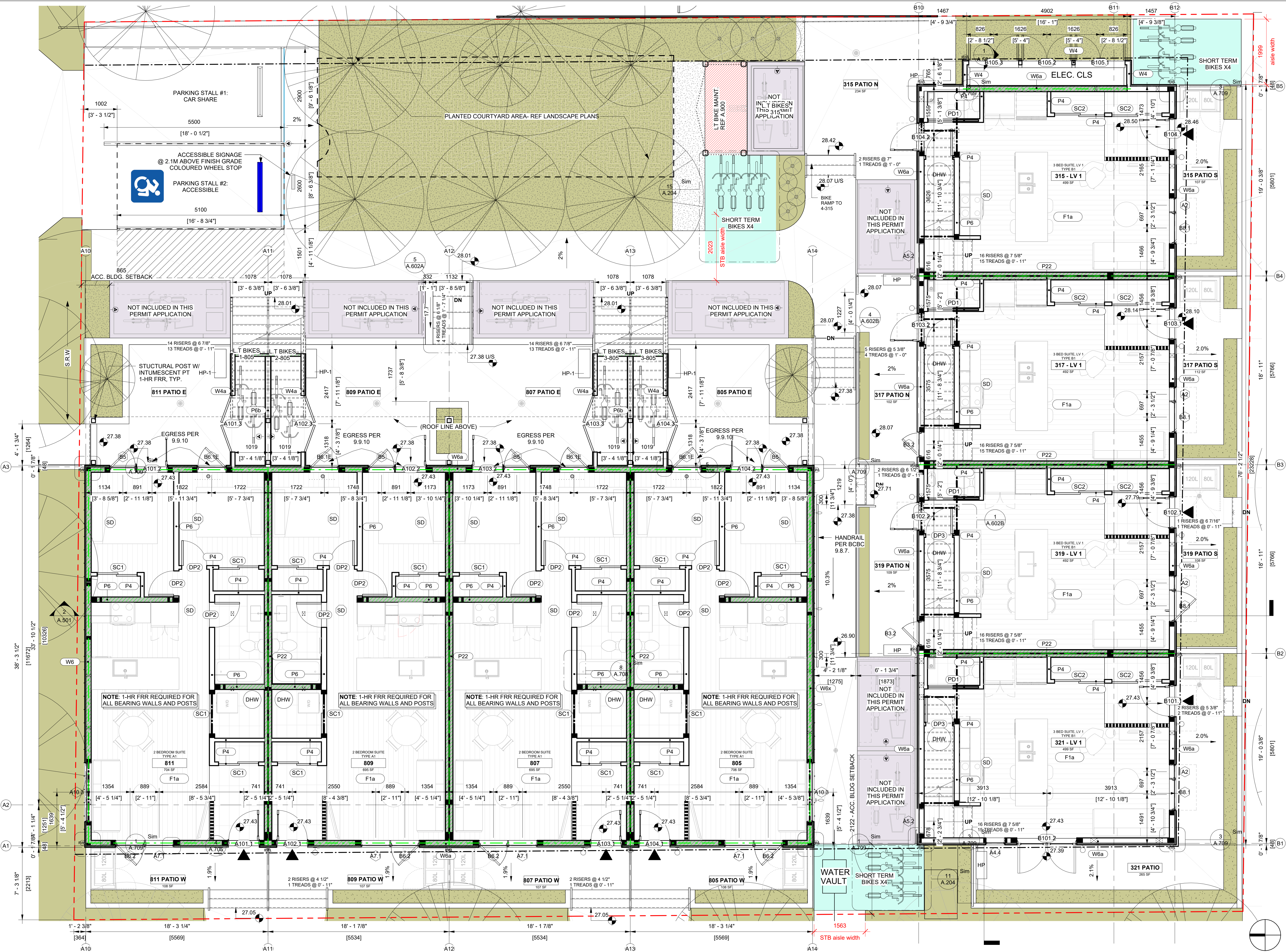
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11	DPA Rev 4	26.01.30
12	IFT	26.02.17
13	DPA Rev 5	26.03.19

S.KALENCHUK

NALU @ VICWEST TOWNHOMES

FULL SITE - LEVEL 1 PLANS

Project number 24003
Date 24.10.29
Drawn by DW
Checked by SS

A.201dp

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11	DPA Rev 4	26.01.30
12	IFT	26.02.17
13	DPA Rev 5	26.03.19
14	IFC	TBD

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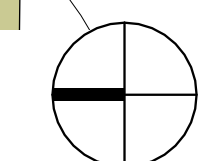
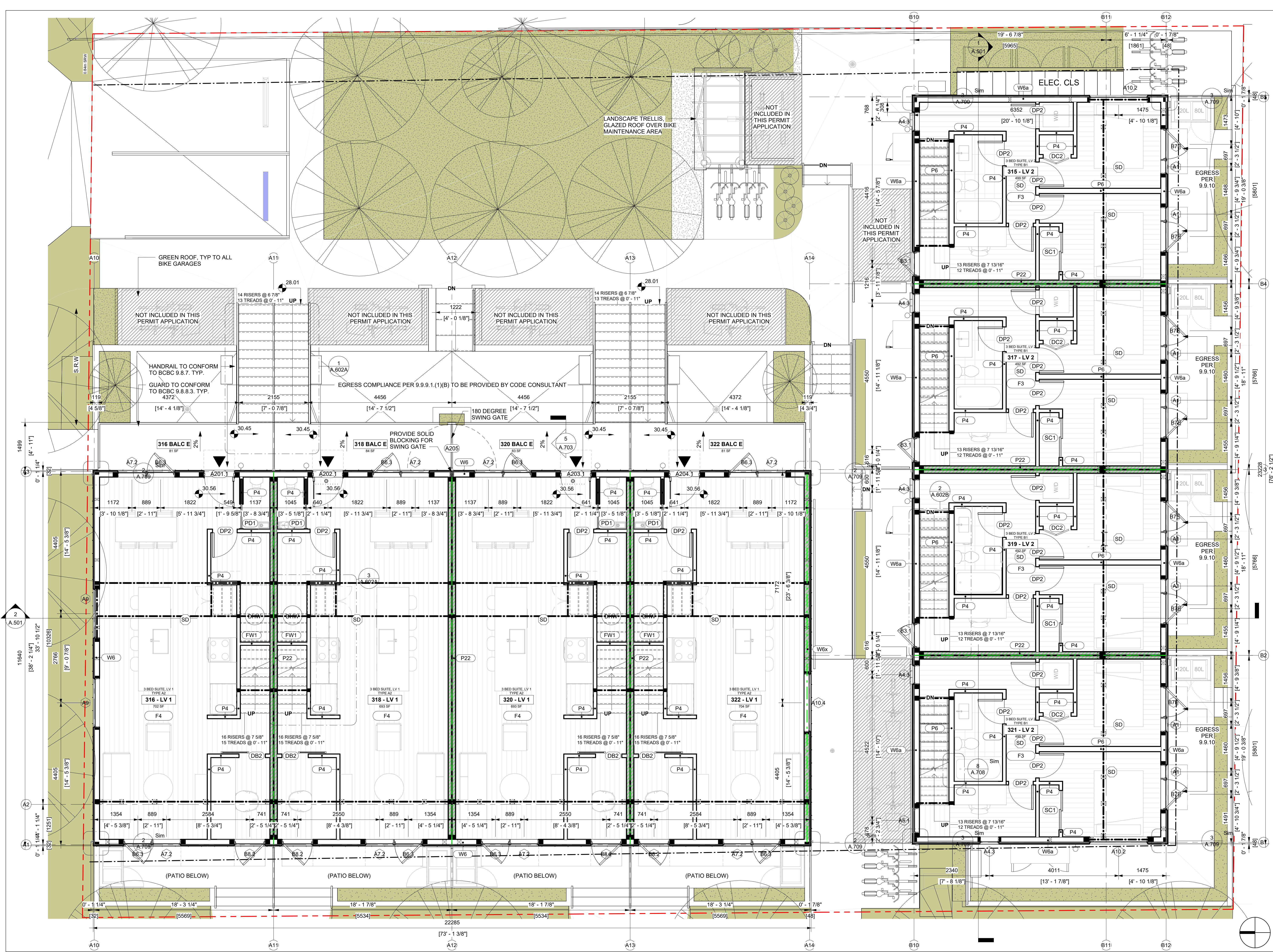
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**FULL SITE - LEVEL 2
PLANS**

Project number	24003
Date	24.10.29
Drawn by	DW
Checked by	SS

A.202

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No.	Description	Date
1	DPA	24.11.05
2	DPA Rev. 1	25.03.06
3	DPA Rev 2	25.05.09
6	DP Amendment	25.10.06
8	DP Revisions	25.11.05
9	DP Rev 3	25.12.19
10	BP Revision 1	25.12.23
11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19
14	IFC	TBD

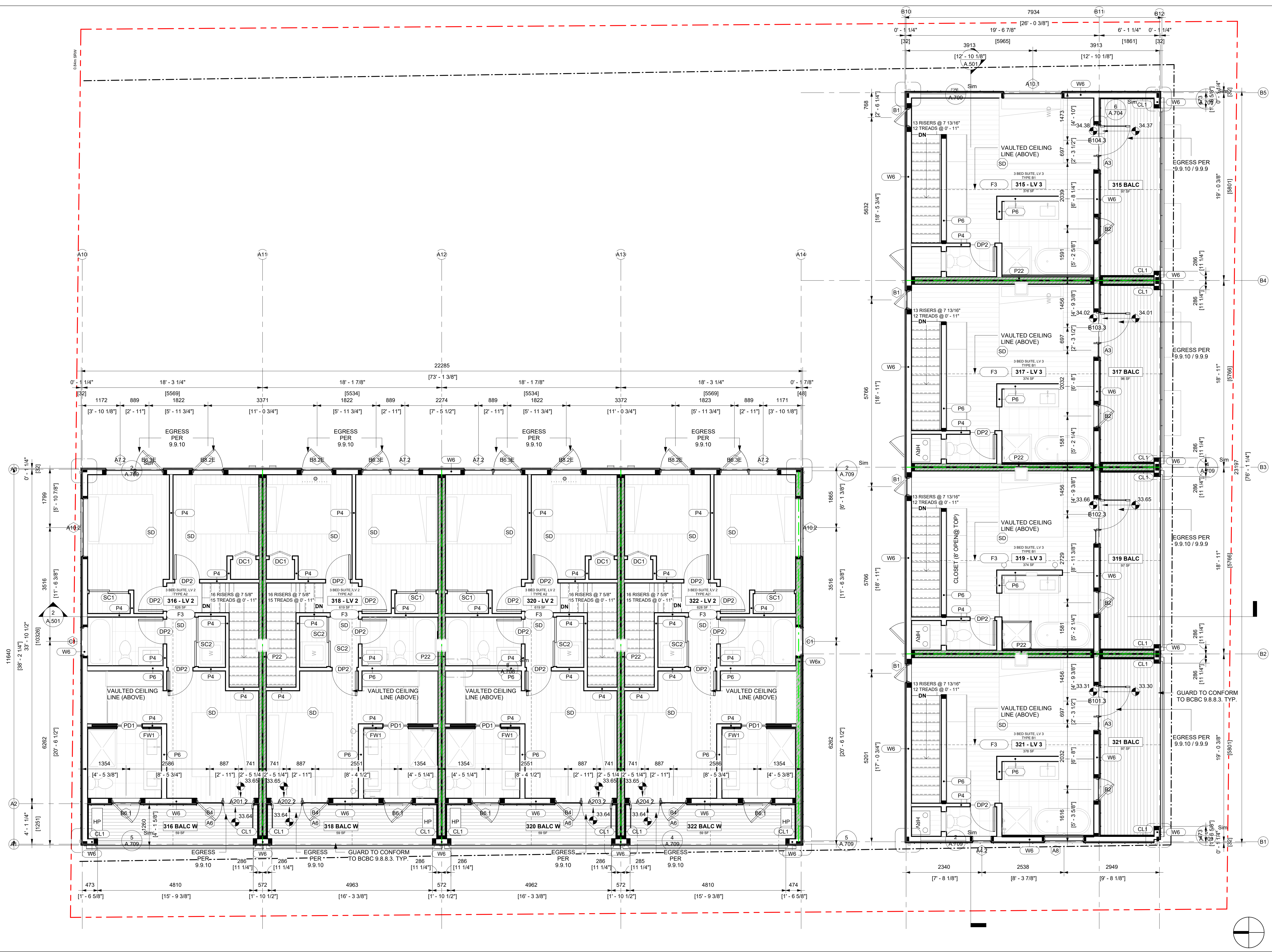
S.KALENCHUK

NALU @ VICWEST TOWNHOMES

FULL SITE - LEVEL 3 PLANS

Project number	24003
Date	24.10.29
Drawn by	DW
Checked by	SS

A.203





1 BUILDING B NORTH ELEVATION
A.403 1:50



2 BUILDING A EAST ELEVATION
A.403 1:50

MATERIAL FINISHES

- 1 METAL SIDING STANDING SEAM PANELS - 12" BLACK OR GREY
- 2 VERTICAL WOOD SIDING / SOFFIT CEDAR
- 3 CLADDING PANEL BLACK
- 4 METAL FASCIA TO MATCH STANDING SEAM CLADDING
- 5 EXTERIOR DOOR BLACK
- 6 HIGH PERFORMANCE WINDOW BLACK
- 7 GLASS GUARDRAIL BLACK PTD. METAL FRAME
- 8 PTD. METAL CANOPY BLACK
- 9 METAL FLASHING TO MATCH BLACK METAL CLADDING
- 10 GUTTER/DOWNSPOUT FINISH TO MATCH BLACK METAL CLADDING
- 11 CONCRETE LANDSCAPE WALL (& STAIRS)
- 12 THRU-WALL FLASHING FINISH TO MATCH CLADDING
- 13 INTAKE/ EXHAUST VENT FINISH TO MATCH BLACK METAL CLADDING
- 14 PTD. METAL EXTERIOR GATE
- 15 PTD. METAL BIKE RACKS
- 16 OVERHEAD DOORS BLACK
- 17 METAL PAN EXTERIOR STAIR
- 18 HEDGE PLANTING
- 19 LIGHTWEIGHT CONCRETE DECKING
- 20 PTD. WOOD EXTERIOR FENCE BLACK
- 21 EXTENSIVE GREEN ROOF
- 22 MECHANICAL VENT FINISH TO MATCH CLADDING
- 23 EXTERIOR LIGHTING
- 24 ALUMINUM GUARDRAIL BLACK PTD. FRAME AND PICKETS

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10	BP Revision 1	25.12.23
11	DPA Rev 4	26.01.30
12	IFT	26.02.17
13	DPA Rev 5	26.03.19
14	IFC	TBD

S.KALENCHUK

NALU @ VICWEST TOWNHOMES

ELEVATIONS

Project number 24003
Date 24.10.29
Drawn by AG
Checked by SS

A.403

Scale AS NOTED
Printed 2026-03-19 10:05:20 AM



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11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19

S.KALENCHUK

NALU @ VICWEST TOWNHOMES

STREETSCAPE CONTEXT

Project number	24003
Date	24.10.29
Drawn by	SS
Checked by	SS

A.404

Scale	3/32" = 1'-0"
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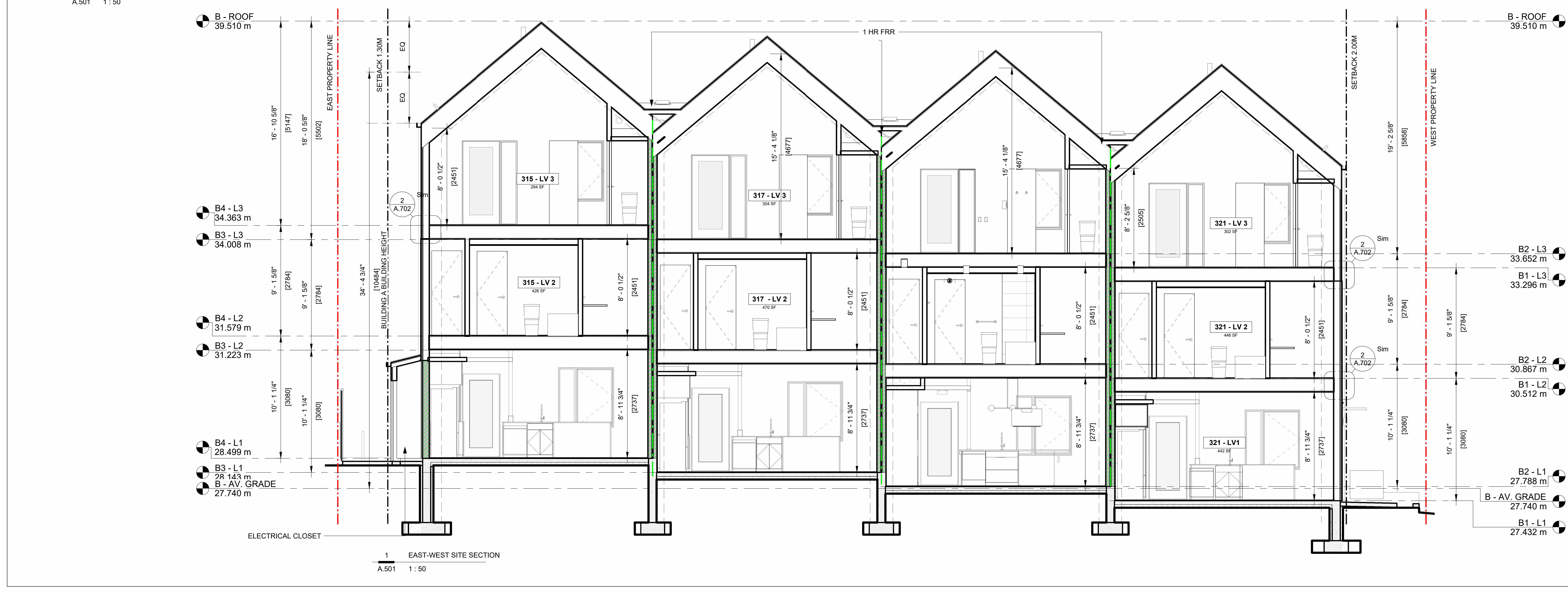
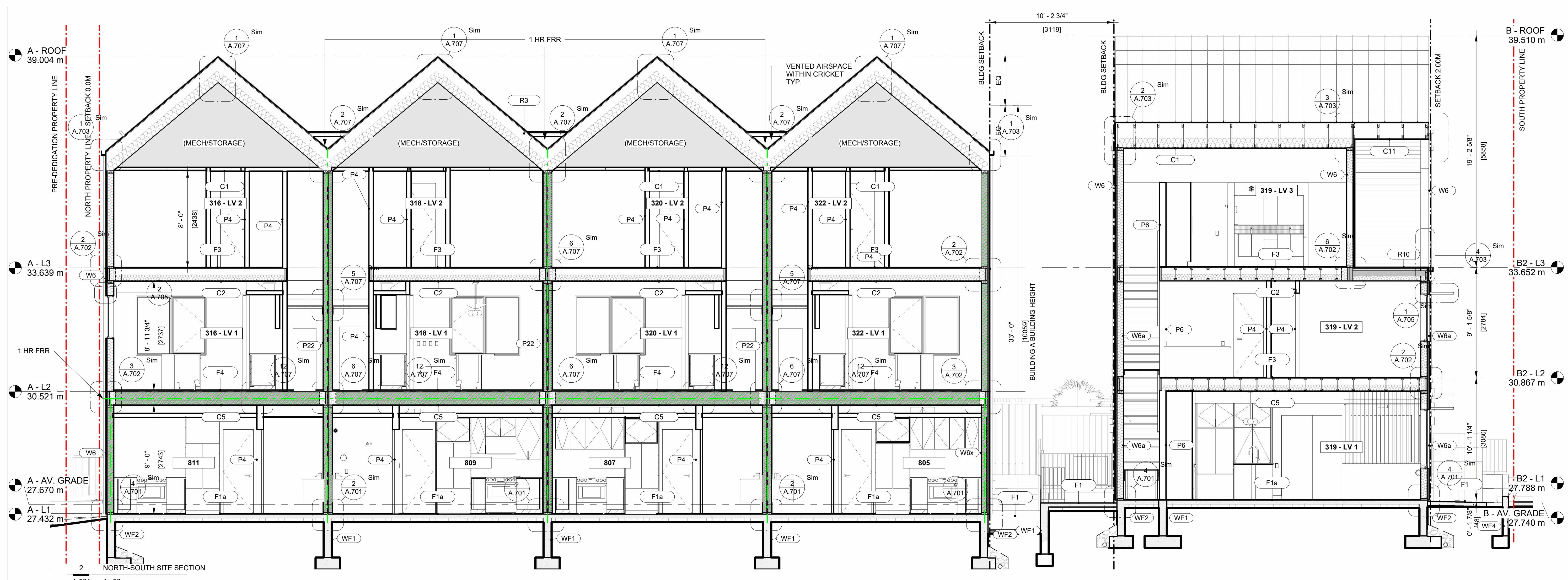
1 MARY STREET CONTEXT ELEVATION
A.404 3/32" = 1'-0"



2 EDWARD STREET CONTEXT ELEVATION
A.404 3/32" = 1'-0"



3 BELLA STREET CONTEXT
A.404 3/32" = 1'-0"



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11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19

No.	Description	Level
B4 - L3	34.363 m	B2 - L3
B3 - L3	34.008 m	B1 - L3
B4 - L2	31.579 m	B2 - L2
B3 - L2	31.223 m	B1 - L2
B4 - L1	28.499 m	B2 - L1
B3 - L1	28.143 m	B1 - L1
B - AV. GRADE	27.740 m	

S.KALENCHUK

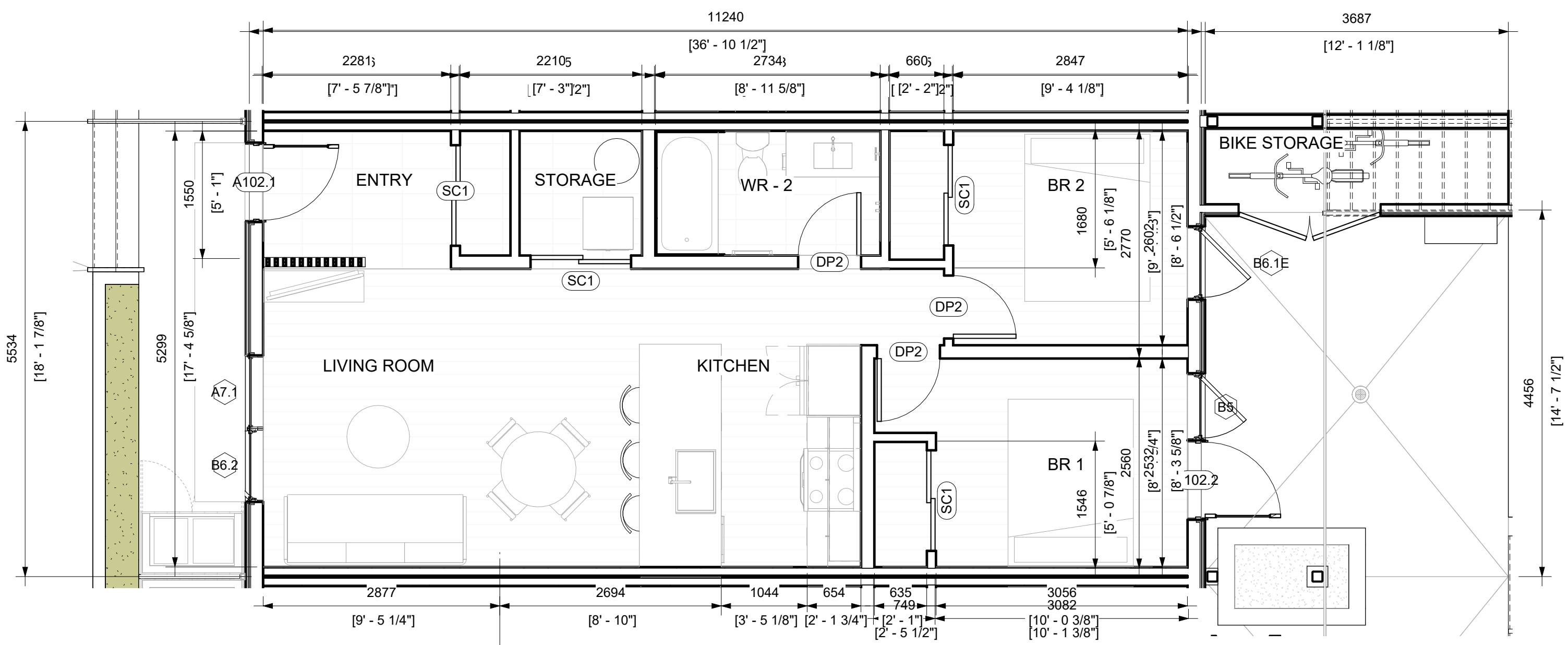
NALU @ VICWEST TOWNHOMES

SITE - SECTIONS

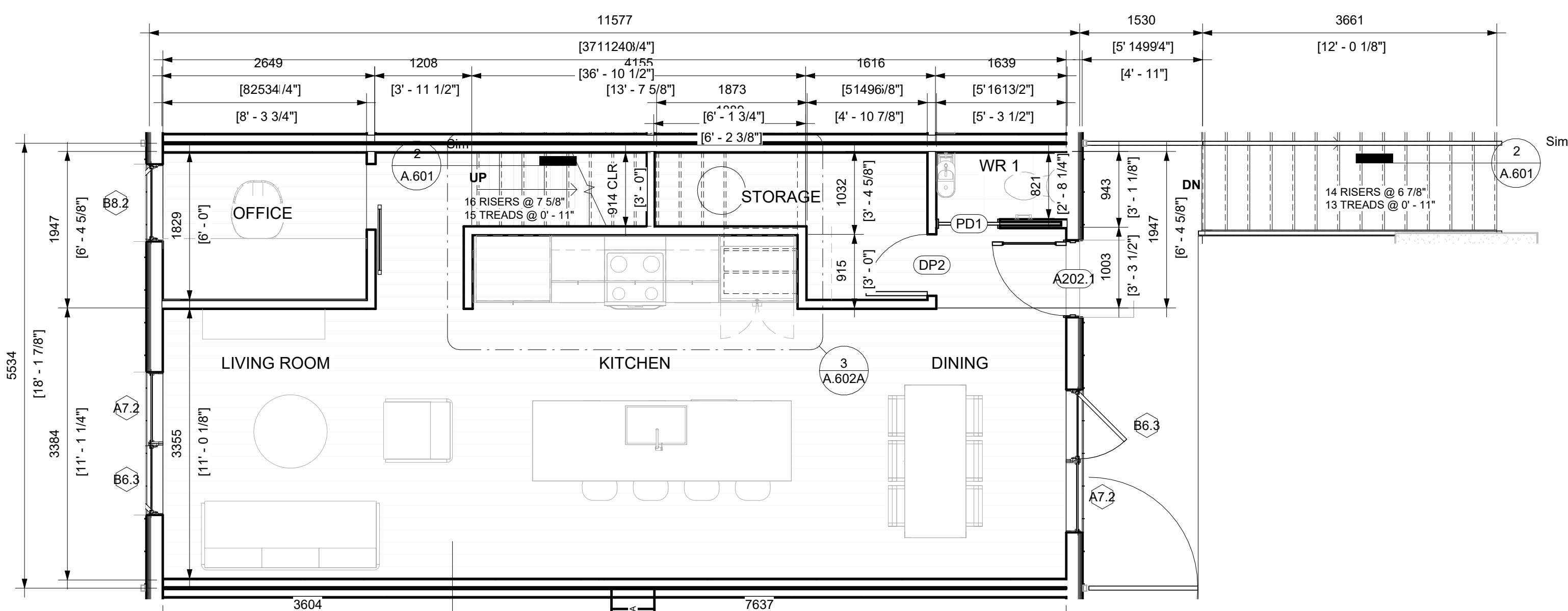
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Date 24.10.29
Drawn by AG
Checked by SS

A.501

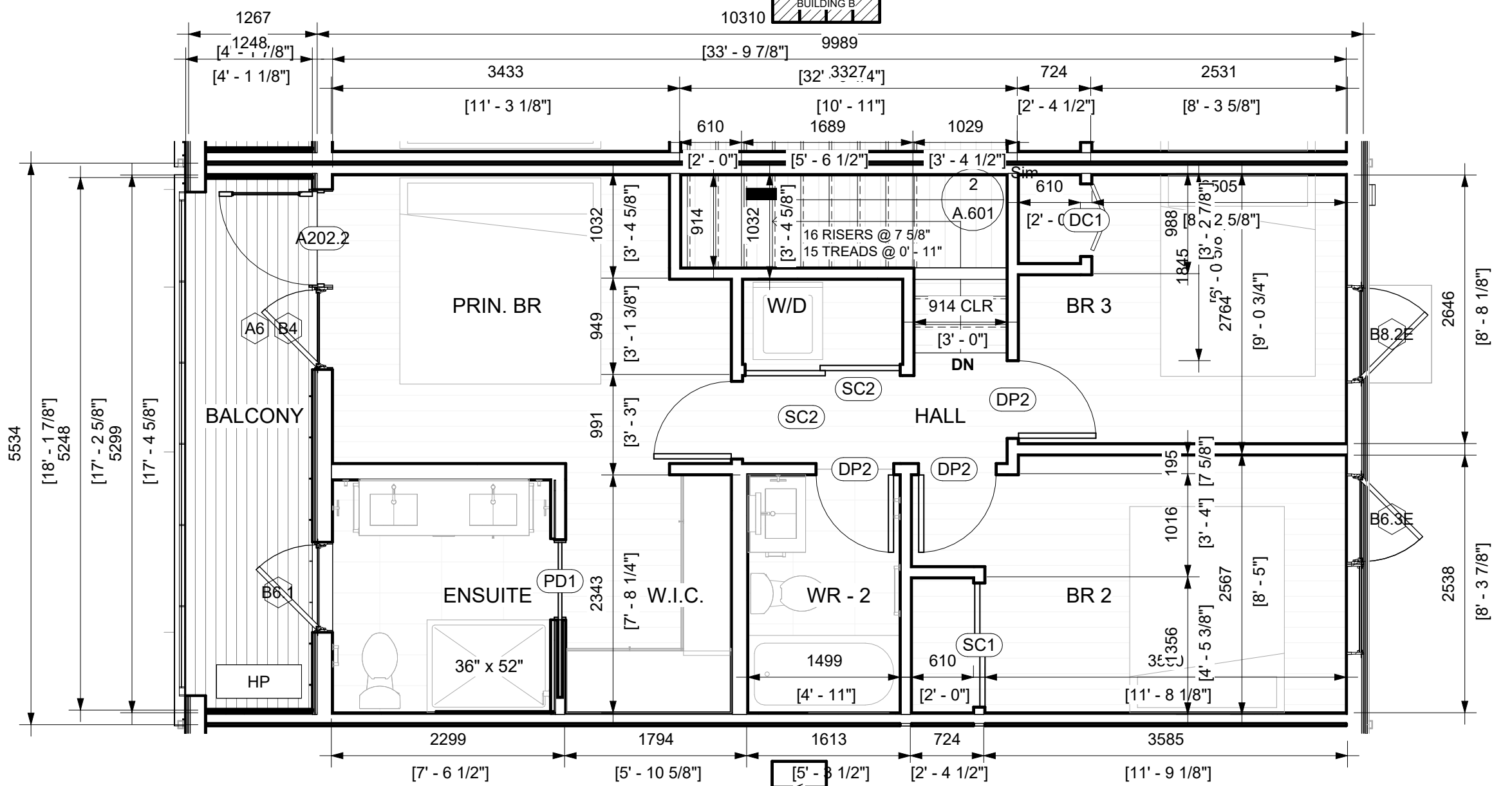
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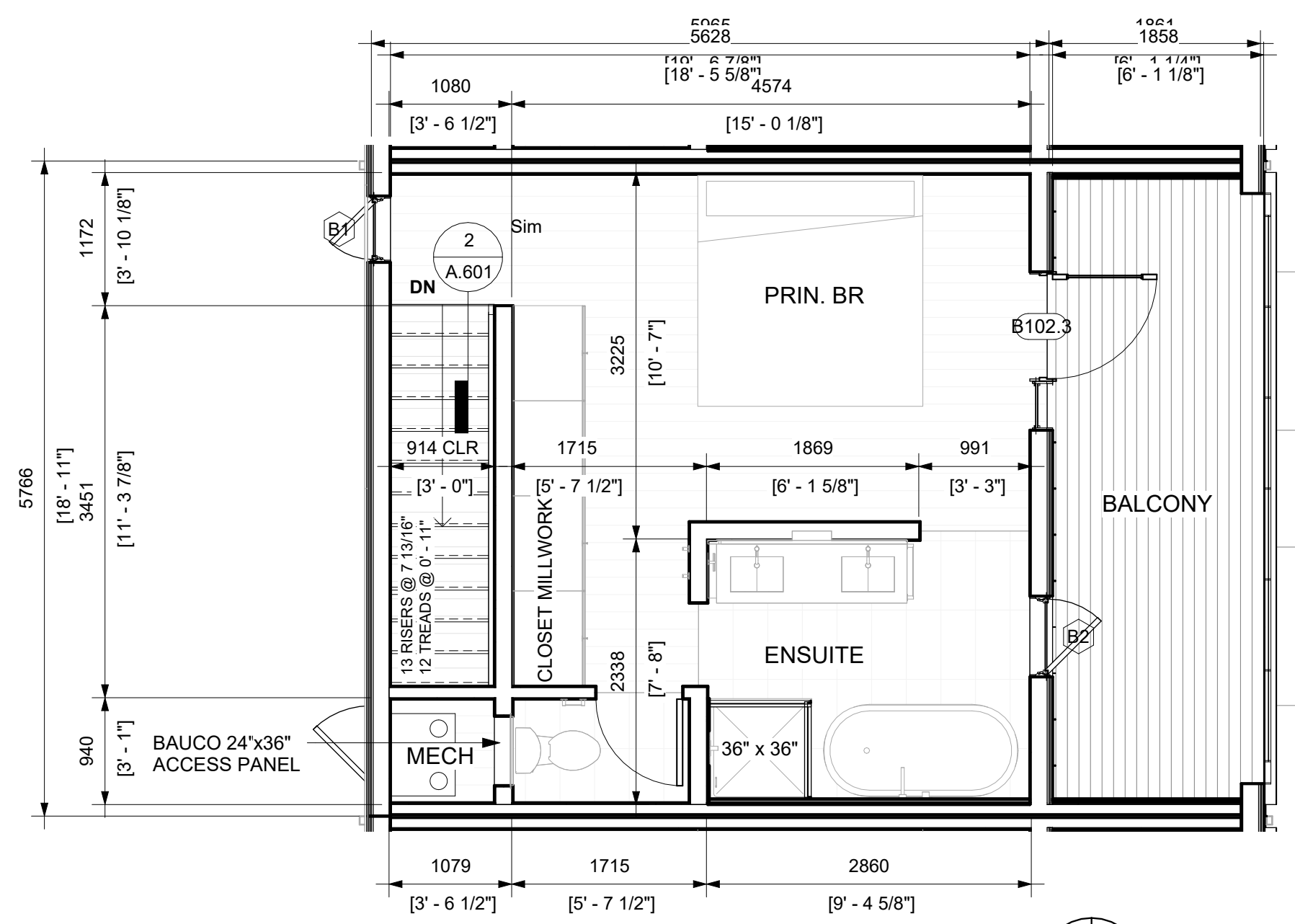
1 BUILDING A - 2 BEDROOM SUITE
A.800 1/4" = 1'-0"



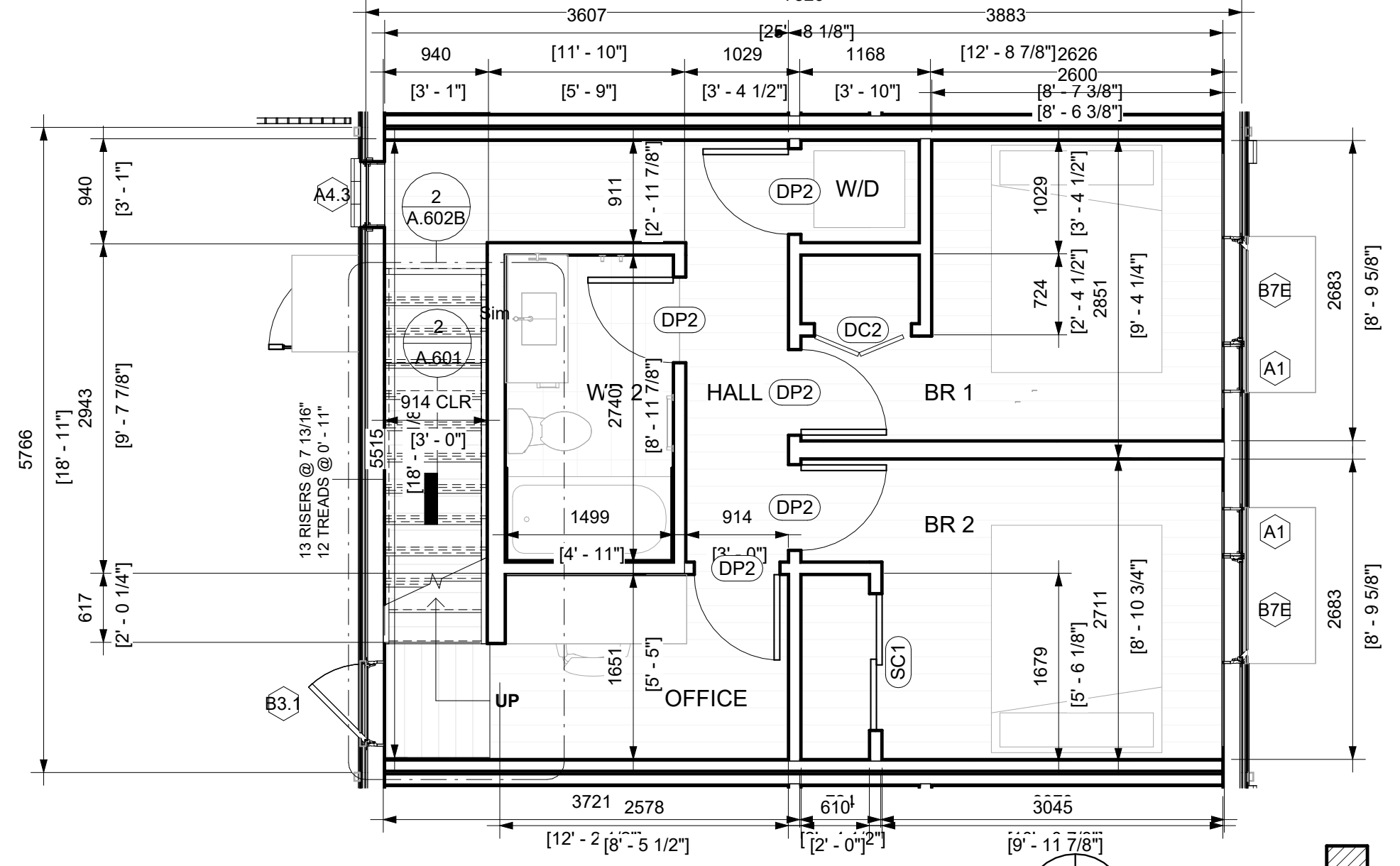
2 BUILDING A - 3 BED SUITE, LV 1
A.800 1/4" = 1'-0"



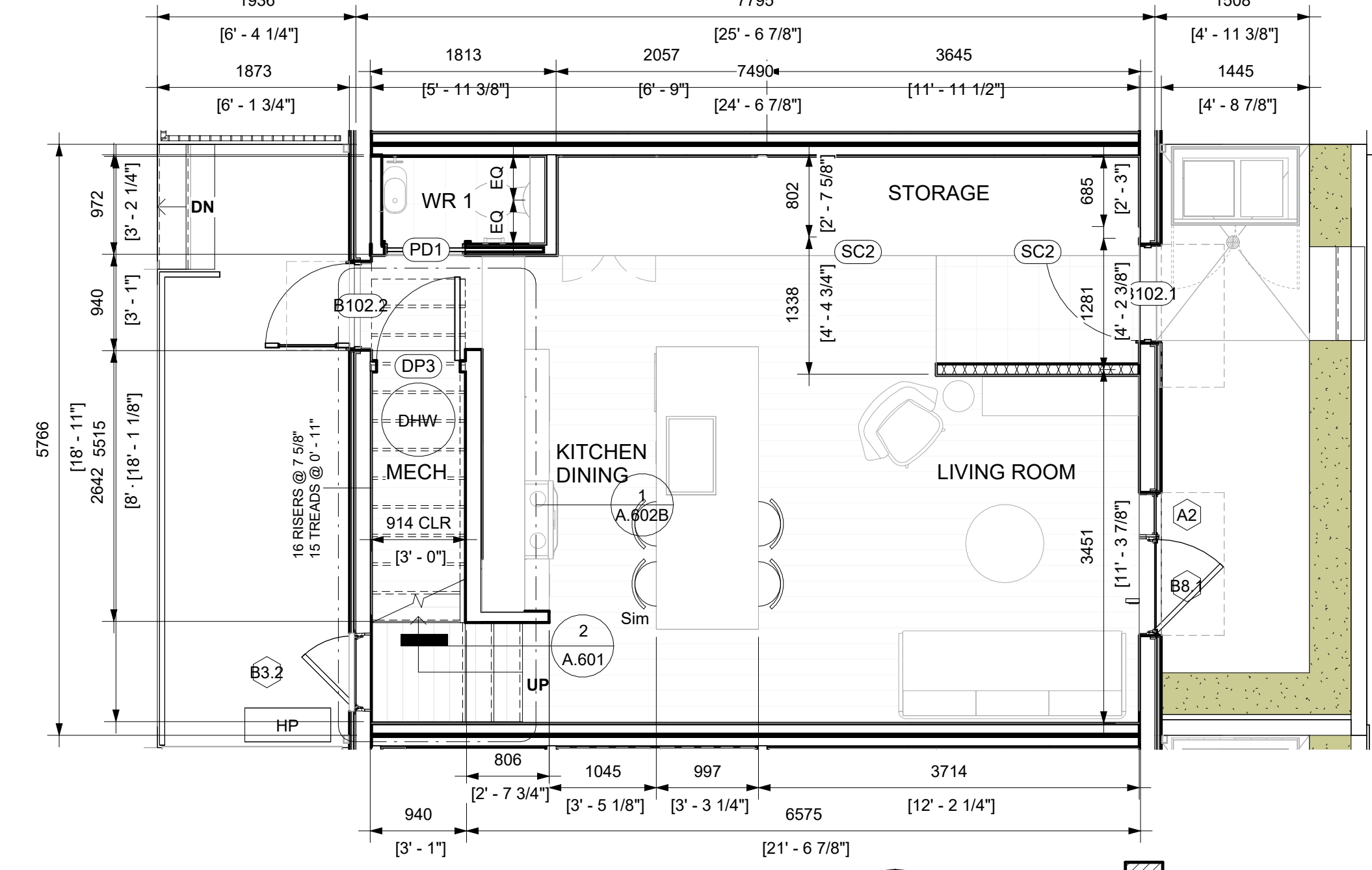
3 BUILDING A - 3 BED SUITE, LV 2
A.800 1/4" = 1'-0"



5 BUILDING B - 3 BED SUITE, LV 3
A.800 1/4" = 1'-0"



6 BUILDING B - 3 BED SUITE, LV 2
A.800 1/4" = 1'-0"



4 BUILDING B - 3 BED SUITE, LV 1
A.800 1/4" = 1'-0"

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NALU @ VICWEST TOWNHOMES

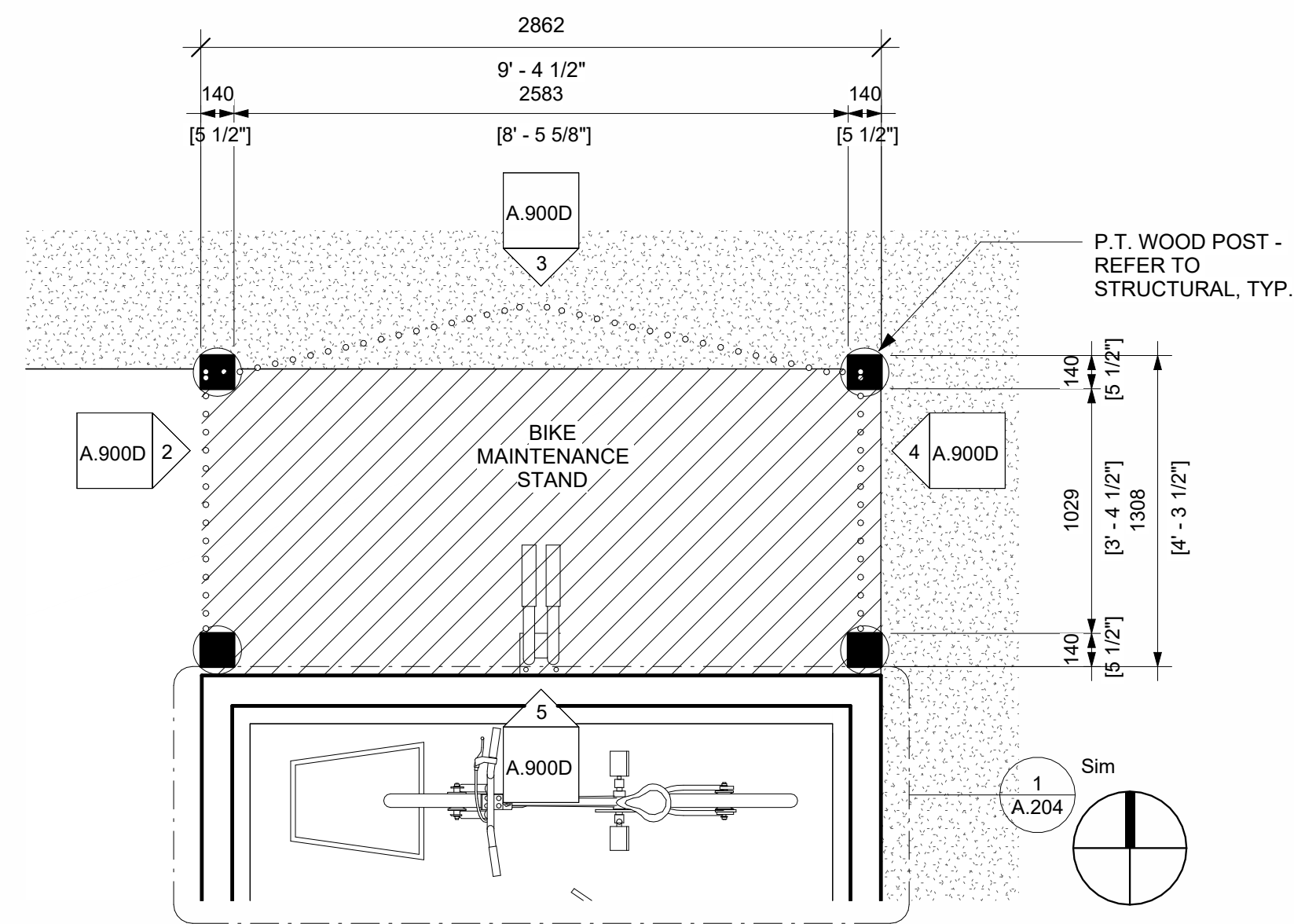
SUITE PLANS

Project number 24003
Date 24.10.29
Drawn by SA
Checked by SS

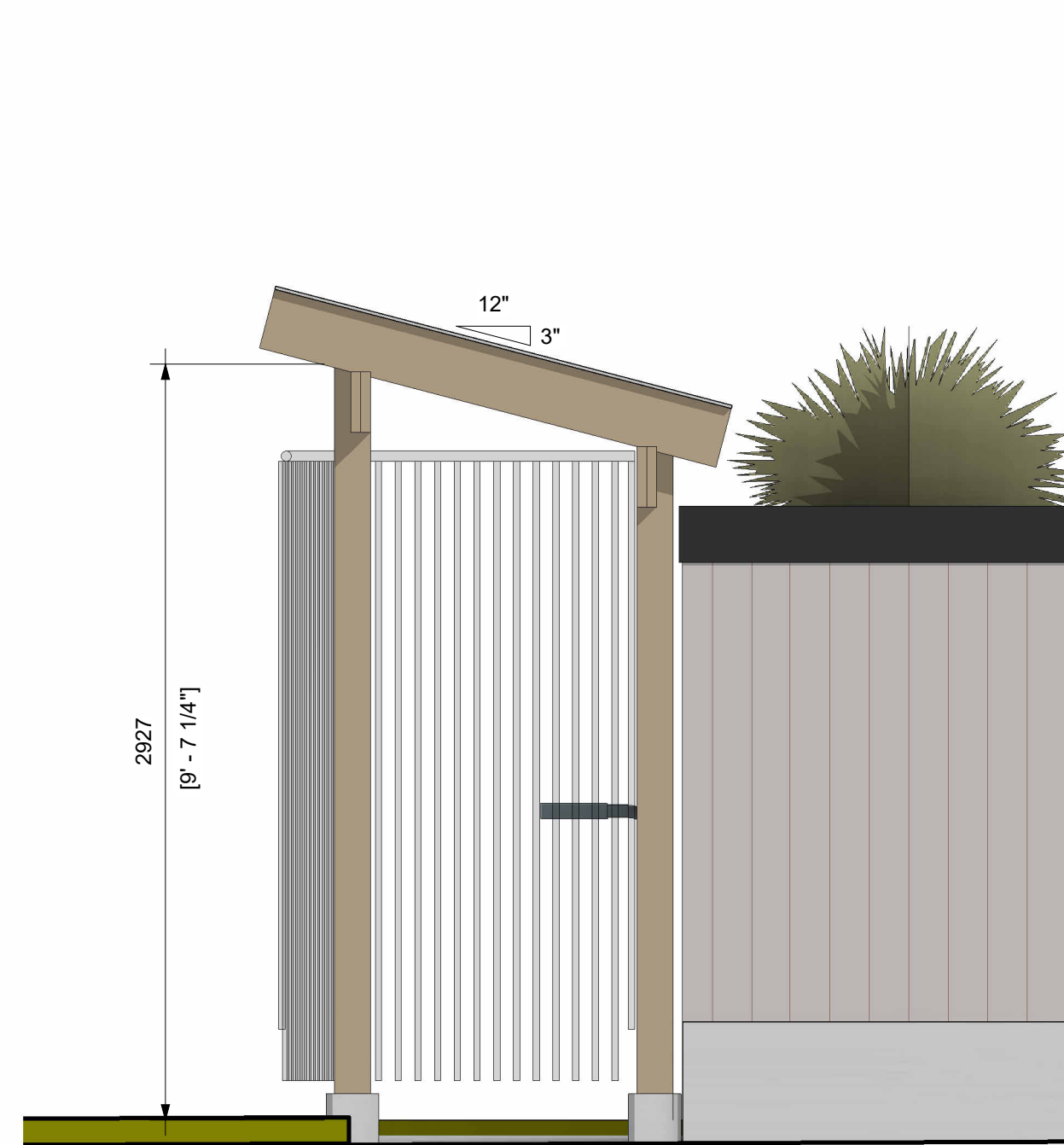
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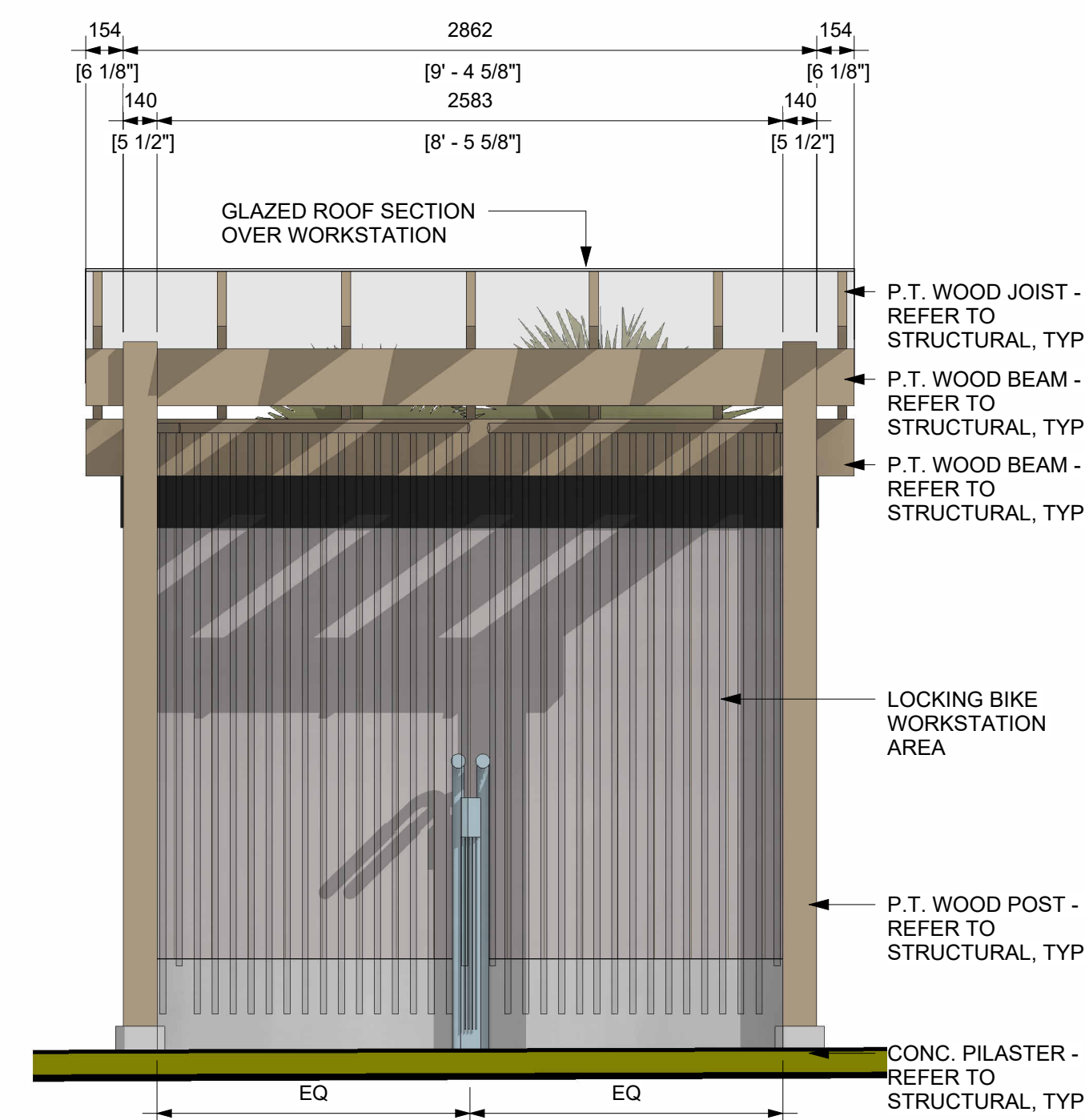
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2026-03-19



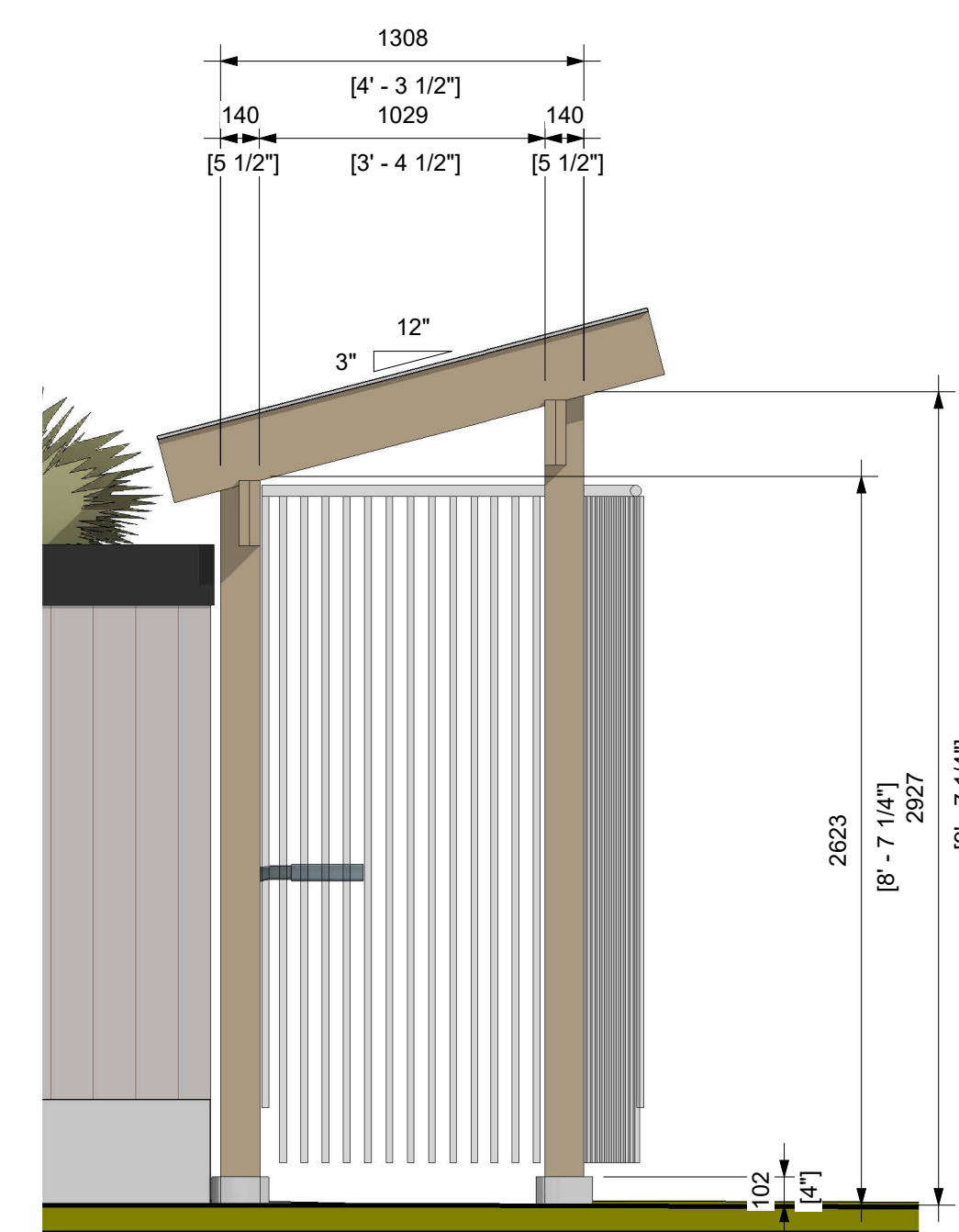
1 PLAN VIEW - BIKE WORKSTATION
A.900 1:25



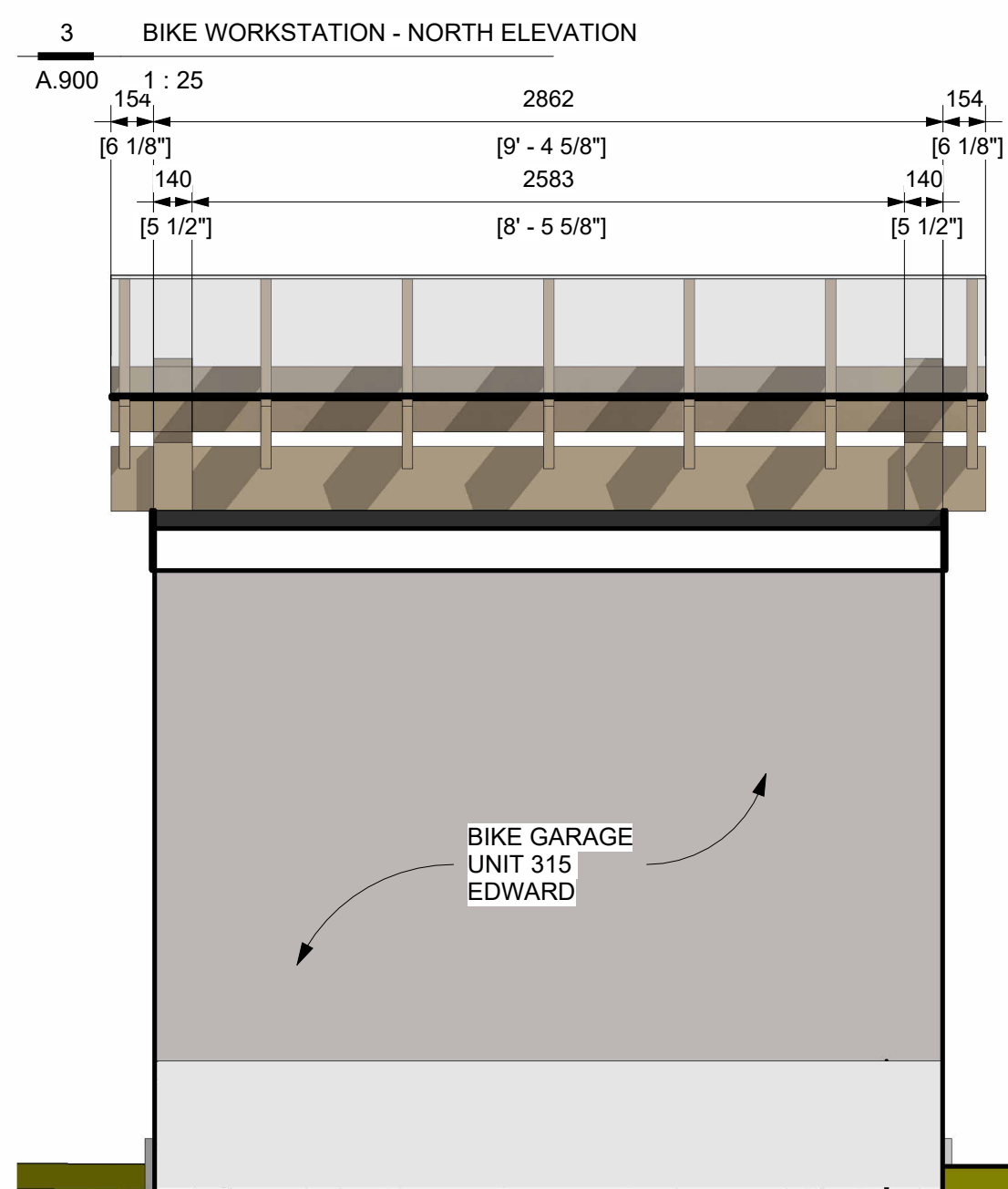
2 BIKE WORKSTATION - WEST ELEVATION
A.900 1:25



3 BIKE WORKSTATION - NORTH ELEVATION
A.900 1:25



4 BIKE WORKSTATION - EAST ELEVATION
A.900 1:25



5 BIKE WORKSTATION - SOUTH ELEVATION
A.900 1:25

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14	IFC	TBD

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BIKE WORKSTATION

Project number	24003
Date	24.10.29
Drawn by	SA
Checked by	SS

A.900

Scale 1:25
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SHEET LIST

L0—COVER PAGE

L1—TREE PLAN

L2—TREE PLANTING PLAN

L3—SITE MATERIALS PLAN

L4— SITE PLAN

L5—SOIL DEPTH PLAN

L6— PLANTING PLAN

L7— IRRIGATION PLAN

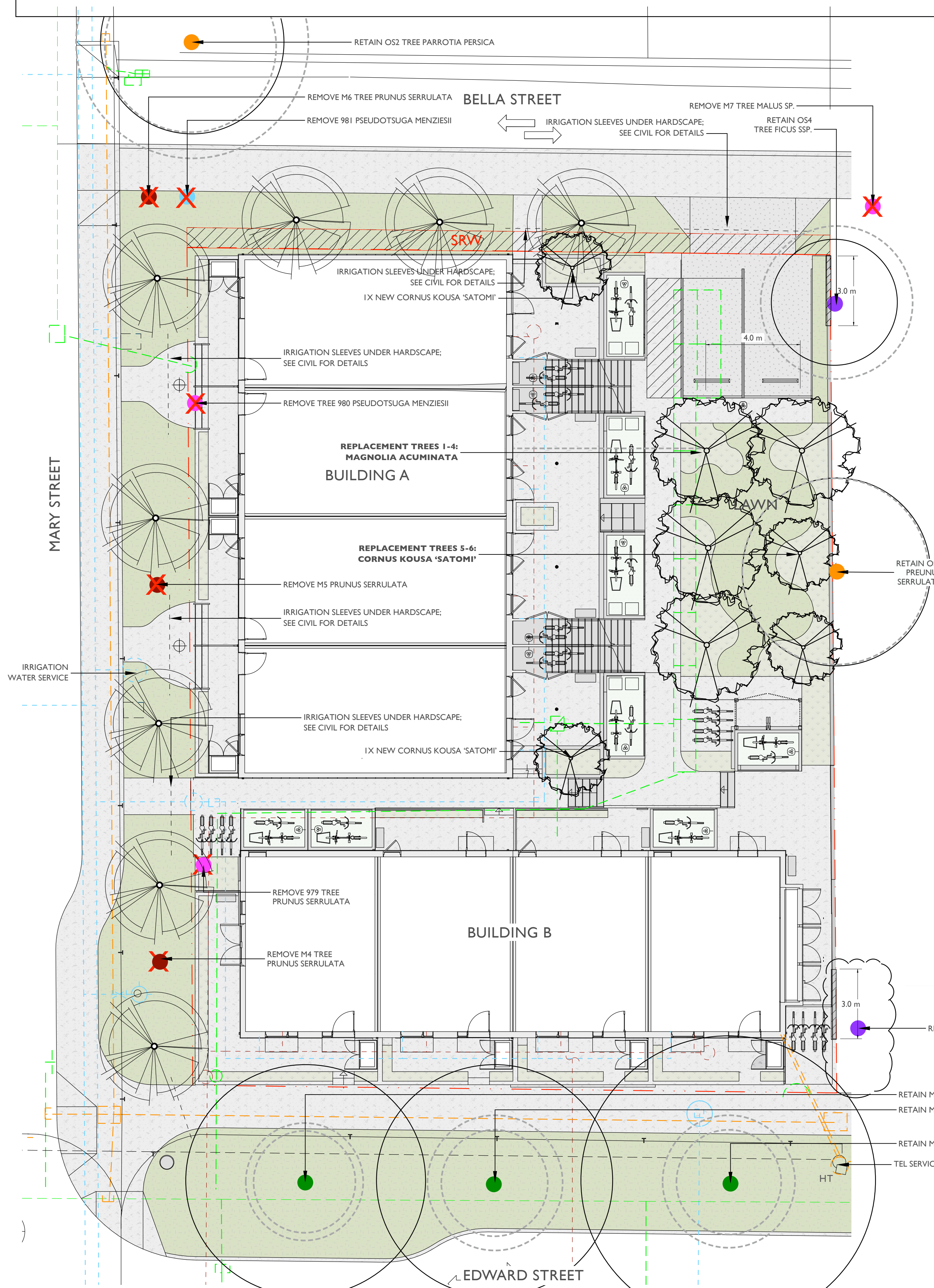
L8— LANDSCAPE NOTES

315 EDWARD STREET TOWNHOMES



Greenspace Designs
Sustainable Landscape Design

LI— 315 EDWARD STREET, VICTORIA BC — TREE RETENTION, REMOVAL, AND REPLACEMENT PLAN



SITE LEGEND

- PROPERTY LINE
- PLANTING AREA
- GREENROOF
- LAWN
- CONCRETE (CIP)
- PERMEABLE ASPHALT

TREE LEGEND

- TREES FOR REMOVAL
- MUNICIPAL TREE FOR REMOVAL
- MUNICIPAL TREE TO RETAIN
- NON-PROTECTED TREE FOR REMOVAL
- NON-PROTECTED TREE TO RETAIN
- PROTECTED TREE FOR REMOVAL
- PROTECTED TREE TO RETAIN
- CRZ
- CANOPY
- PROPOSED ON-SITE TREE
- PROPOSED BOULEVARD TREE

*SEE ARBORIST PLAN FOR TREE PROTECTION FENCING

CIVIL LEGEND

- DRAIN/STORM
- SEWER
- WATER
- HTC
- TEL

SUPPLEMENTARY STANDARD DETAIL DRAWINGS

CITY OF VICTORIA

PREPARATION NOTES:

- CONTAINER GROWN: REMOVE COMPLETELY FROM CONTAINER
- BURLAP AND ROPE: REMOVE TOP 1/3 OF COVERING
- WIRE AND BURLAP: REMOVE TOP 1/3 OF WIRE, ROPE AND BURLAP COVERING WITHOUT DAMAGING ROOTBALL. REMOVE ALL TWINE.

DO NOT PRUNE LEADER. PRUNE ONLY DEAD OR DAMAGED BRANCHES.

2-2 1/2" (64mm) ROUND PRESSURE TREATED STAKES @ 8' 0" (2440mm) LENGTH STAKE AT EDGES OF THE ROOTBALL IN LINE WITH ROADWAY. ON EXPOSED SITES STAKE IN LINE WITH PREVAILING WIND. VERTICAL STAKES TO BE DRIVEN 600 mm INTO GROUND.

40mm NYLON WEBBING

1.0m DIAMETER BARK MULCH RING SAUCER OVER ROOTBALL 150mm DEPTH

TREES MUST BE PLANTED WITH NO MORE THAN A 50 mm DEPTH FROM FINISHED GRADE TO THE TOP OF THE ROOT BALL

GRASS BOULEVARD

ROOT BARRIER 450 mm x 4.0M LENGTH

BROOM FINISH CONCRETE SIDEWALK

700 mm COMPACTED STRUCTURAL SOIL TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER

ASPHALT ROADWAY REFER TO CIVIL DWGS

ROOT BARRIER 450 mm x 4.0M LENGTH

COMPACTED SUBGRADE TO 98% S.P.D.

SCARIFY BOTTOM OF PIT

NOTES:

- ALL TREES SHALL MEET OR EXCEED THE CITY OF VICTORIA TREE SPECIFICATIONS
- ROOT BARRIER REQUIRED ON BLVD 2.0m OR LESS WIDE OR AS SPECIFIED BY THE DIRECTOR OF PARKS.
- ROOT BARRIER REQUIRED PENDING TREE SPECIES AND/OR BLVD WIDTH.

TREE PLANTING IN BOULEVARD	REVISIONS	DRAWING NUMBER:
		SD P4

CITY OF VICTORIA BOULEVARD TREE NOTES

STREET TREES

- Proposed Street Trees must comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B3-4 or on the approved landscape plan. The following tree inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Rob Hughes, rhughes@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time.

TREE PLANTING INSPECTIONS

- Excavated tree pits, soil cells, root barriers
- Trees prior to planting (Parks staff can inspect trees prior to shipping at local nurseries. Photos can be provided from up-island and mainland nurseries. Tree must meet the spec upon delivery.)
- Completed planting—tree planting, grate/guard, stakes etc.

1:100 SCALE

Greenspace Designs
Sustainable Landscape Design

PROJECT TITLE : PROPOSED CONCEPT PLAN for STEFAN KALENCHUK 315 EDWARD STREET, VICTORIA, BC

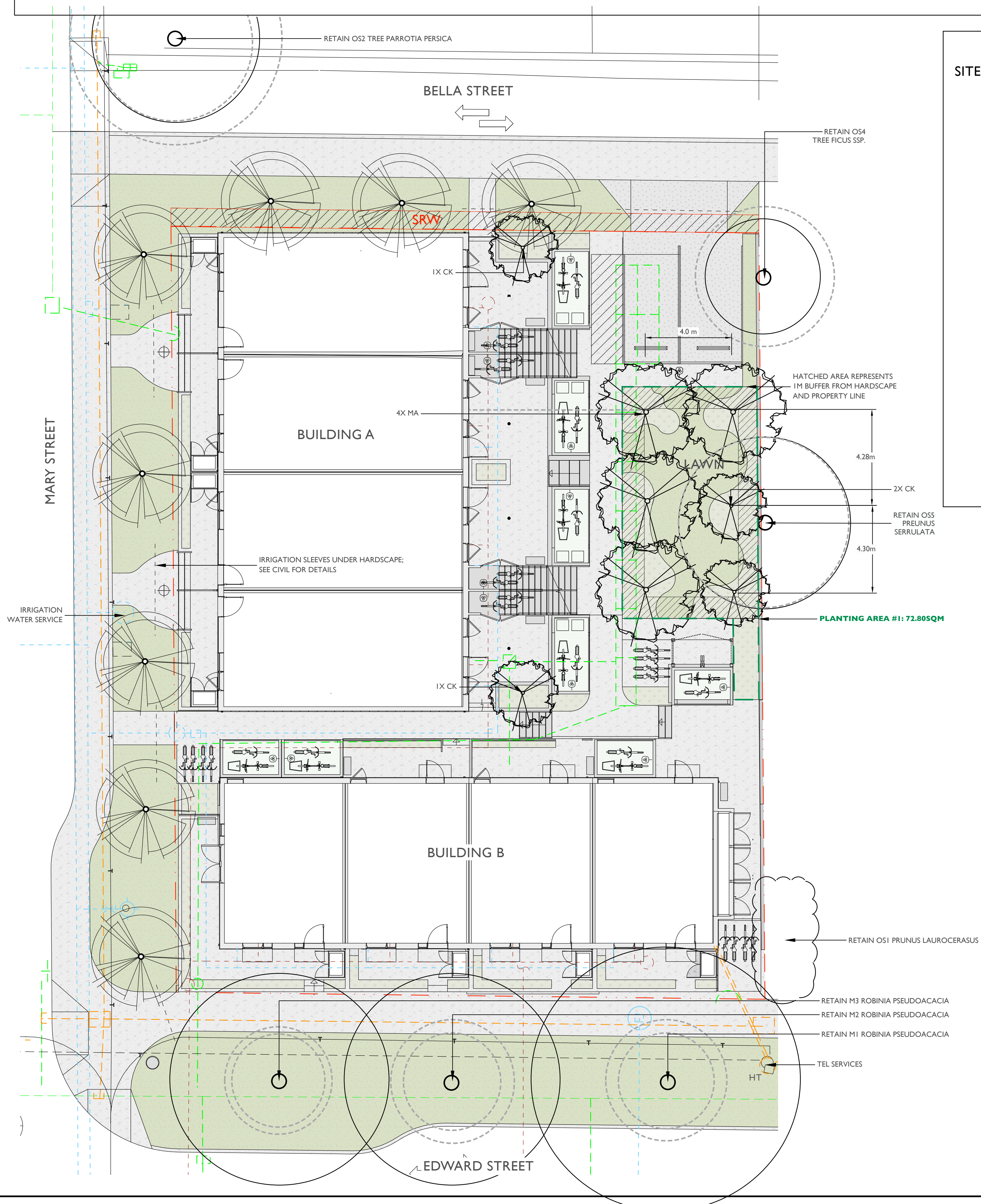
PAGE TITLE : TREE PLAN

DATE : OCTOBER 3, 2025
REVISED DECEMBER 19, 2025

PAGE NUMBER : LI

SCALE : 1:100

L2— 315 EDWARD STREET, VICTORIA BC — TREE PLANTING PLAN



SITE LEGEND

- - - PROPERTY LINE
- PLANTING AREA
- GREENROOF
- LAWN
- CONCRETE (CIP)
- PERMEABLE ASPHALT

ON-SITE TREE SCHEDULE

ABB.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	NATIVE, POLLINATOR, OR FOOD BEARING
CK	4	6cm.	CORNUS KOUSA 'SATOMI'	SATOMI KOUSA DOGWOOD	YES
MA	4	6cm.	MAGNOLIA ACUMINATA	CUCUMBER MAGNOLIA	YES

REPLACEMENT TREE SOIL VOLUMES

PLANTING AREA ID	AREA (m2)	SOIL VOLUME MULTIPLIER	A. ESTIMATED SOIL VOLUME	REPLACEMENT TREES PROPOSED		SOIL VOLUME REQUIRED (m3)		
				B. #SMALL	C. #MEDIUM	E. #SMALL	F. #MEDIUM	TOTAL
PLANTING AREA #1	72.80	1	72.80	2	4	12	60	72

CIVIL LEGEND

- - - DRAIN/STORM
- - - SEWER
- - - WATER
- - - HTC
- T - TEL

TREE LEGEND

- EXISTING TREE TRUNK
- CRZ
- CANOPY
- PROPOSED ON-SITE TREE
- PROPOSED BOULEVARD TREE
- REPLACEMENT TREE PLANTING AREA

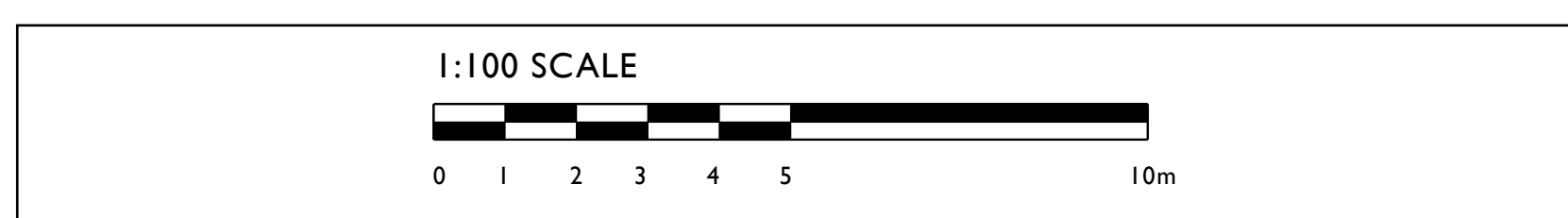
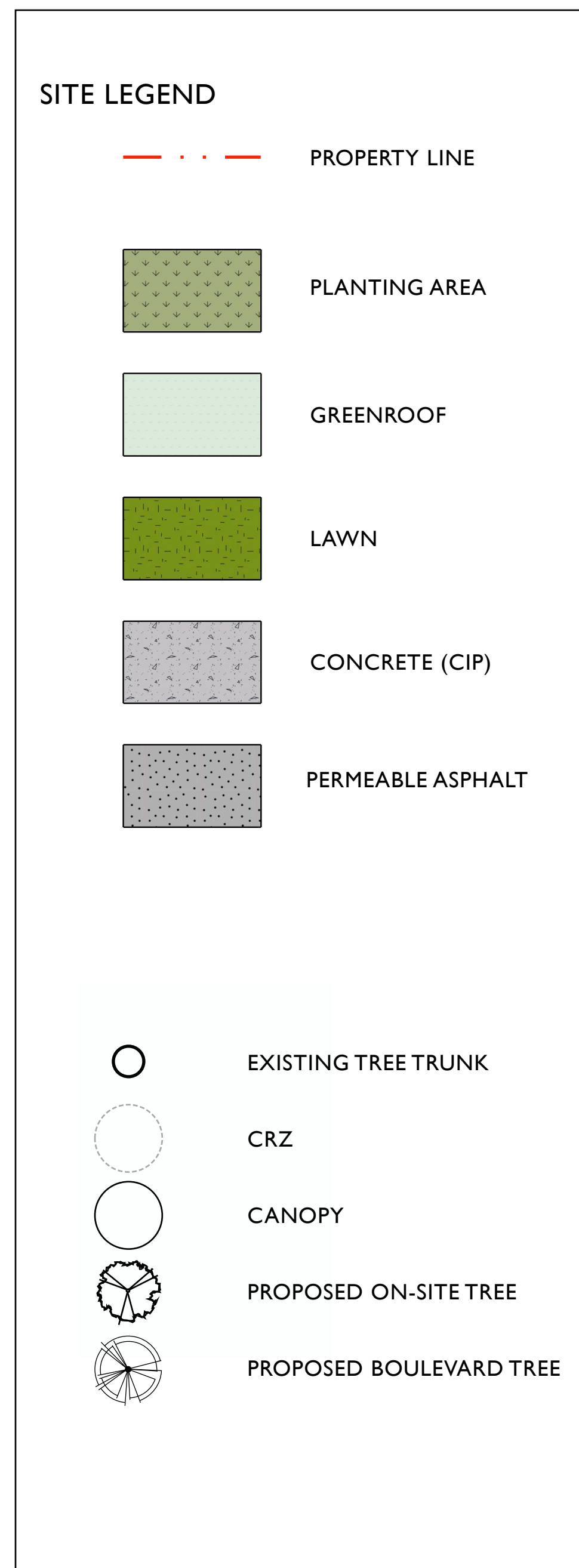
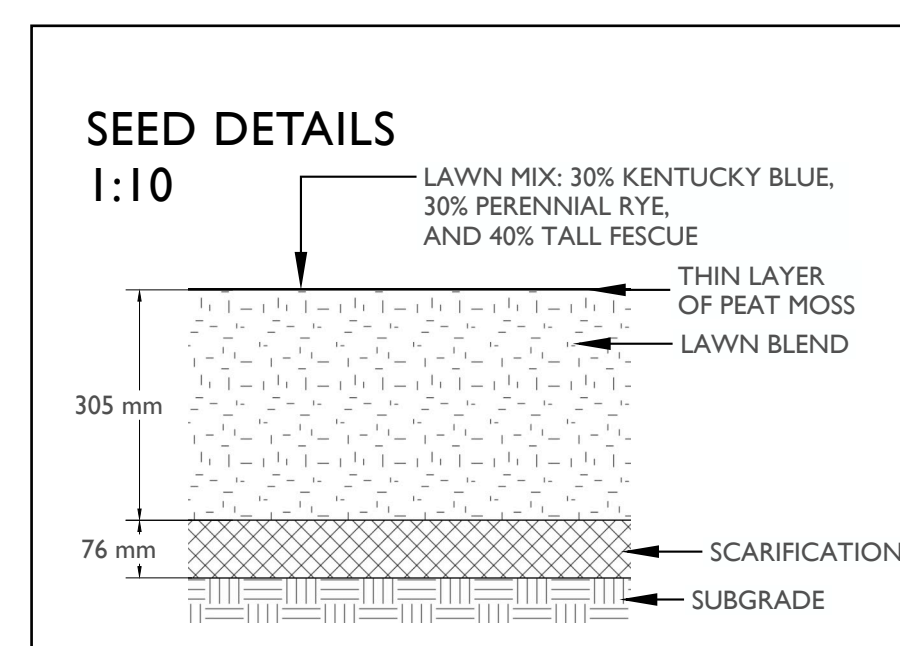
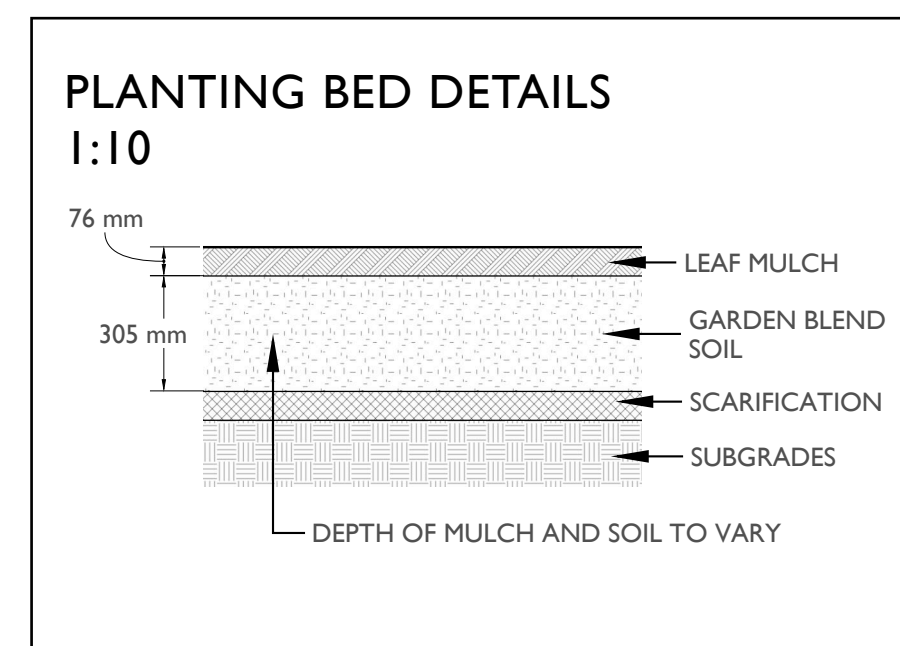
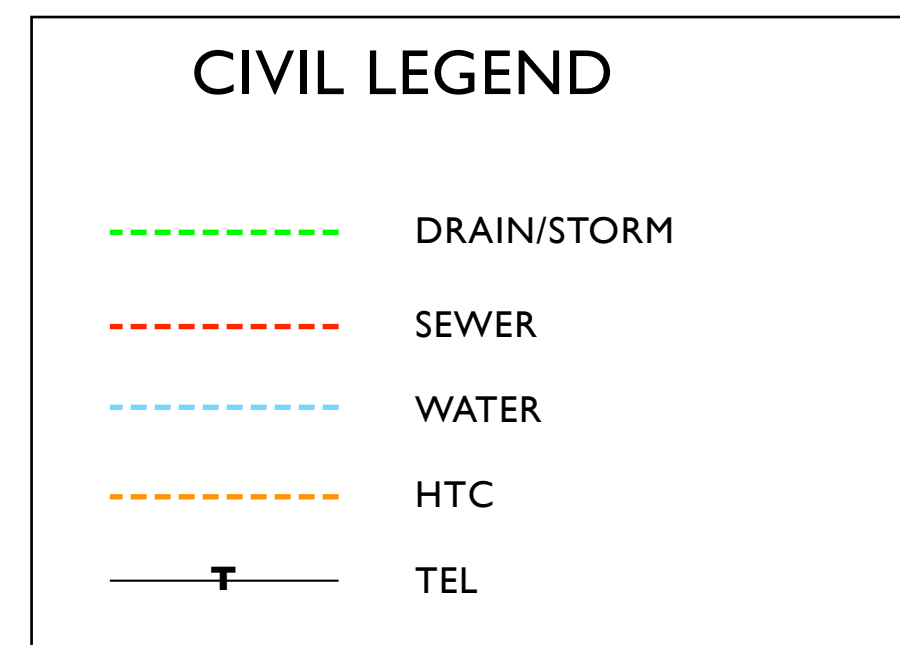
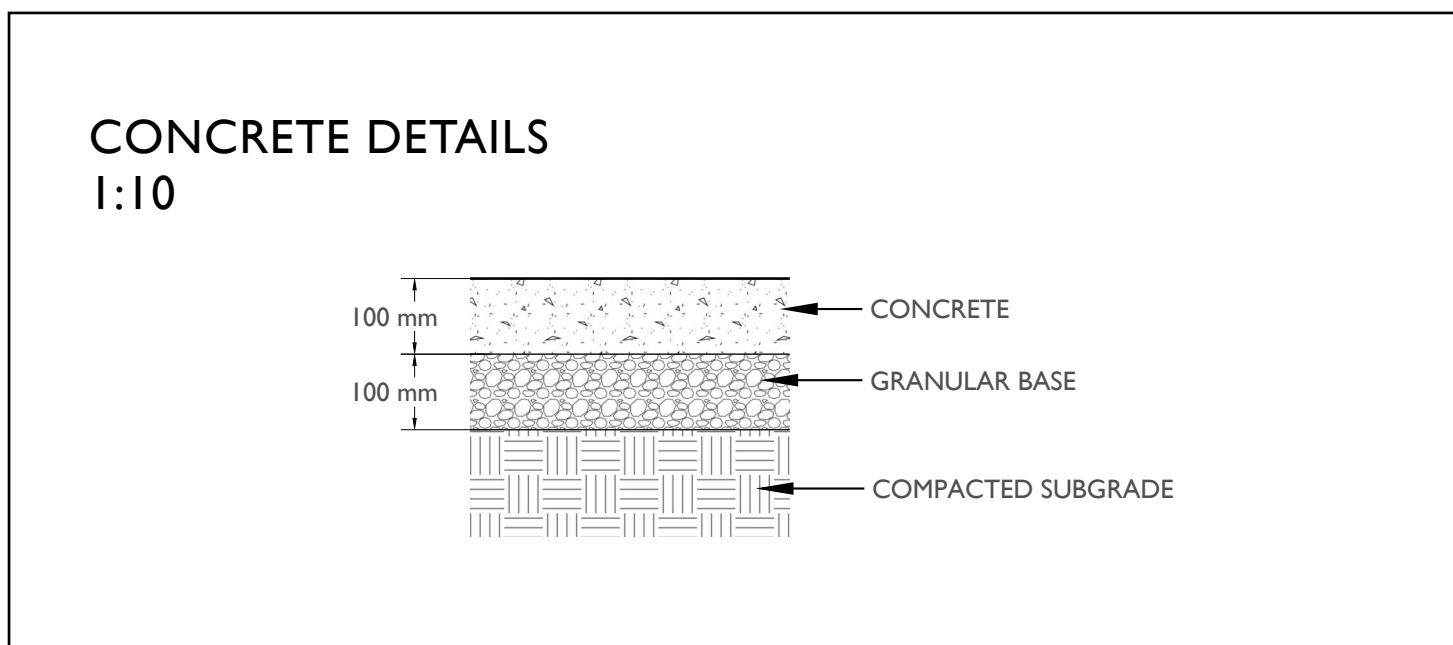


Greenspace Designs
Sustainable Landscape Design

PROJECT TITLE ::
PROPOSED CONCEPT PLAN for STEFAN KALENCHUK 315 EDWARD STREET, VICTORIA, BC

PAGE TITLE :: TREE PLANTING PLAN **PAGE NUMBER ::** L2

DATE :: OCTOBER 3, 2025 **SCALE ::** 1:100
REVISED DECEMBER 19, 2025



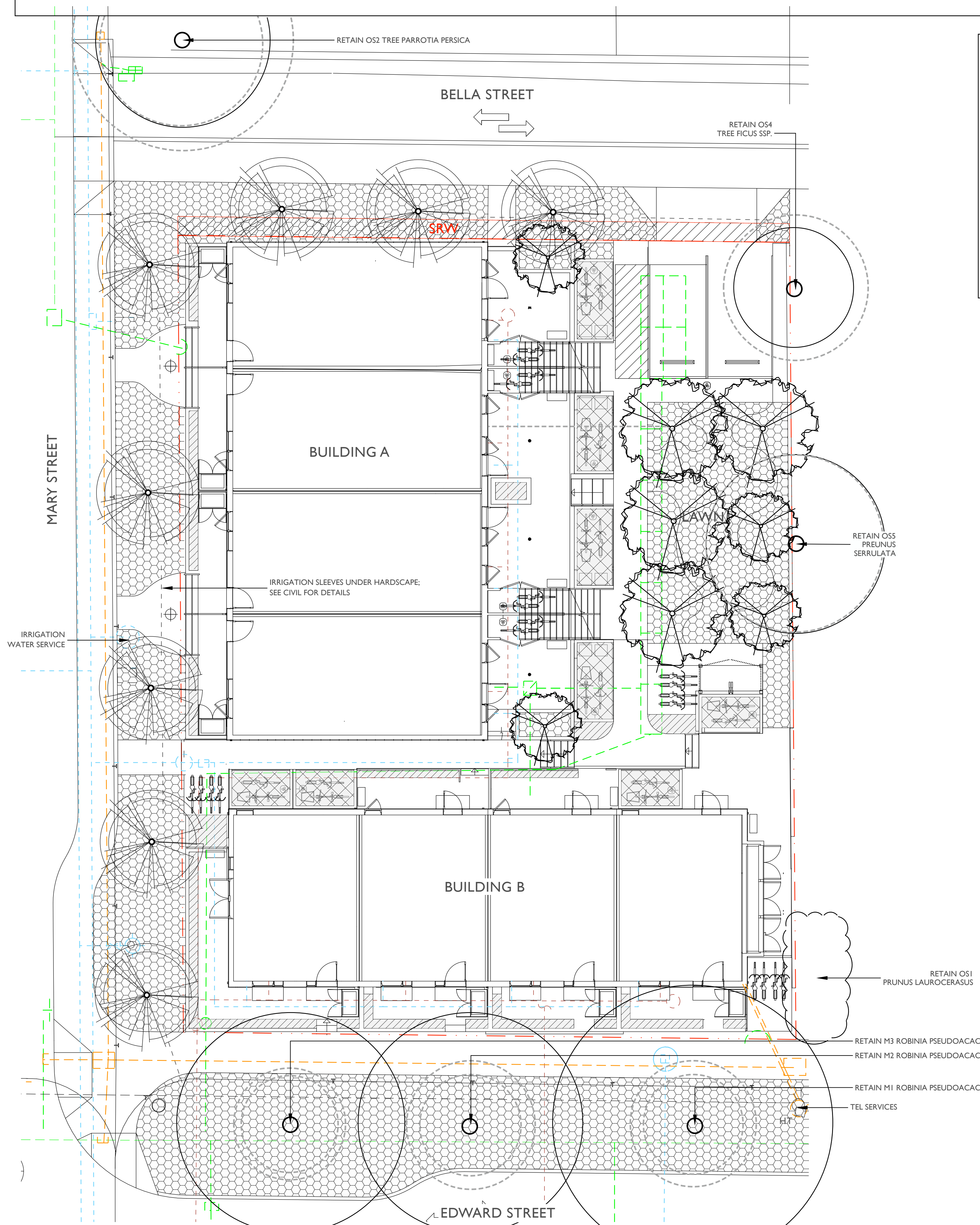
Greenspace Designs
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PROJECT TITLE ::
PROPOSED CONCEPT PLAN for
STEFAN KALENCHUK
315 EDWARD STREET, VICTORIA, BC

PAGE TITLE :: MATERIALS PAGE
DATE :: OCTOBER 3, 2025
REVISED DECEMBER 19, 2025

PAGE NUMBER :: L3
SCALE :: 1:100

L5— 315 EDWARD STREET, VICTORIA BC — SOIL DEPTH PLAN



CIVIL LEGEND

- DRAIN/STORM
- SEWER
- WATER
- HTC
- TEL

SOIL DEPTHS

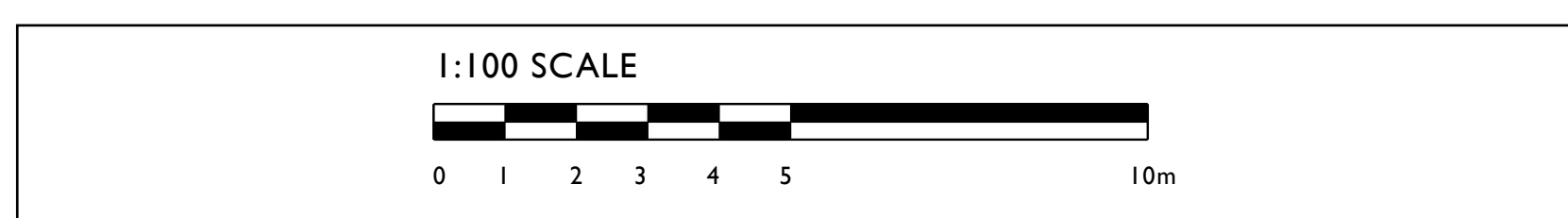
- 1000MM SOIL DEPTH
- 450MM SOIL DEPTH
- 150MM SOIL DEPTH

TREE LEGEND

- EXISTING TREE TRUNK
- CRZ
- CANOPY
- PROPOSED ON-SITE TREE
- PROPOSED BOULEVARD TREE

SITE LEGEND

- PROPERTY LINE



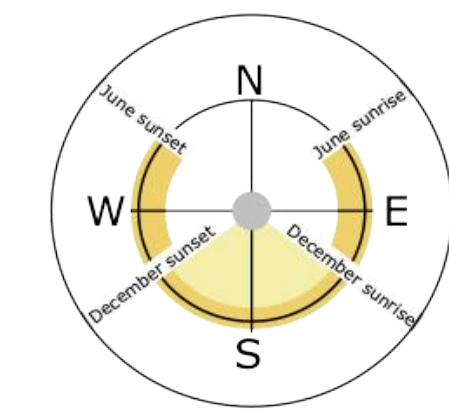
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 PROPOSED CONCEPT PLAN for
 STEFAN KALENCHUK
 315 EDWARD STREET, VICTORIA, BC

:: PAGE TITLE ::
 SOIL DEPTH PLAN

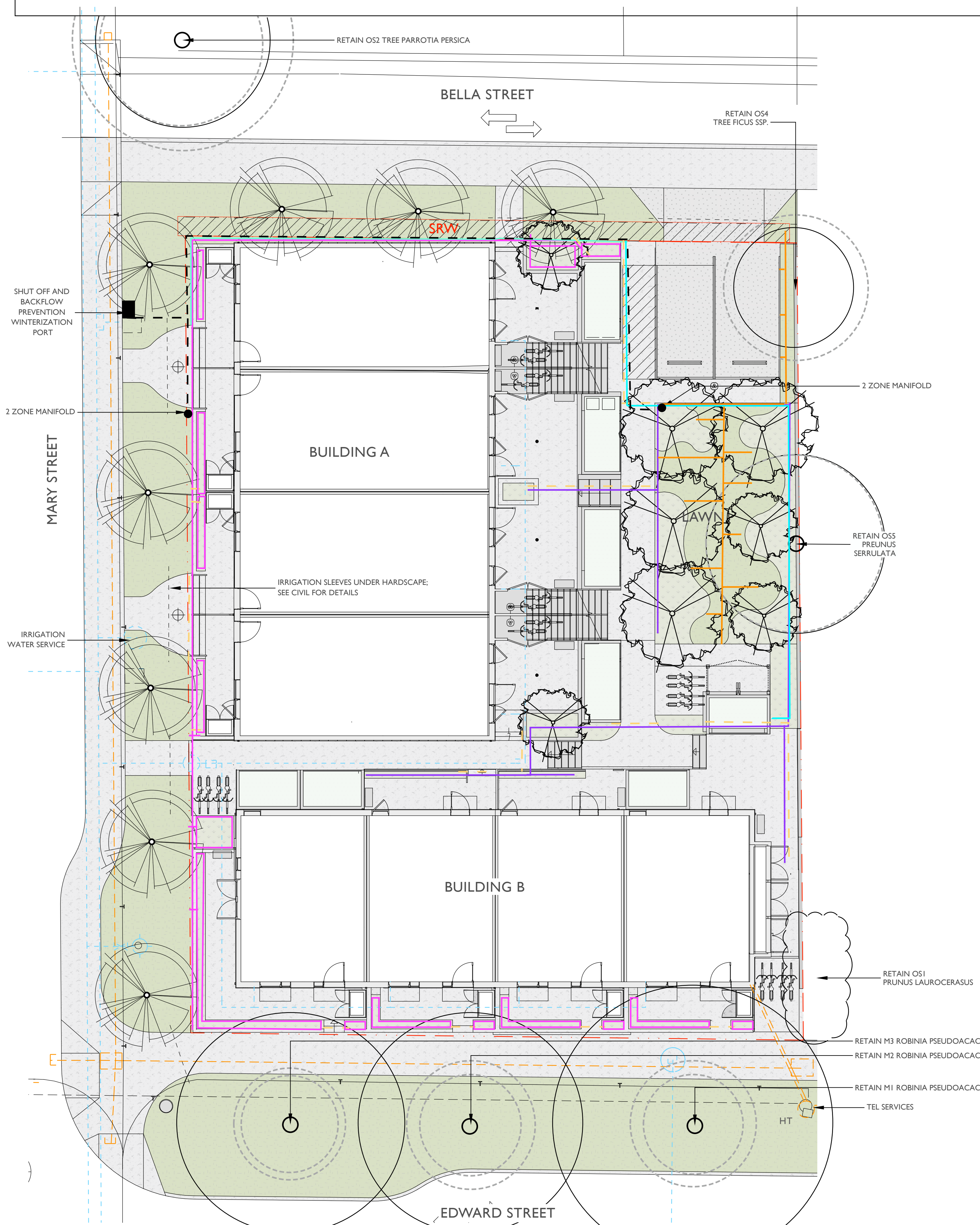
:: DATE ::
 OCTOBER 3, 2025
 REVISED DECEMBER 19, 2025

:: PAGE NUMBER ::
 L5

:: SCALE ::
 1:100



L7— 315 EDWARD STREET, VICTORIA BC — IRRIGATION PLAN



IRRIGATION LEGEND

- ZONE 1: SHRUB PLANTING ZONE (SOAKER HOSE)
- ZONE 2: SHRUB PLANTING ZONE
- ZONE 3: INNER AREA GRASS ZONE
- - - 1" MAINLINE
- - - 4" SDR CONDUIT
- 7-9 STRAND IRRIGATION WIRE
- 2 ZONE MANIFOLD

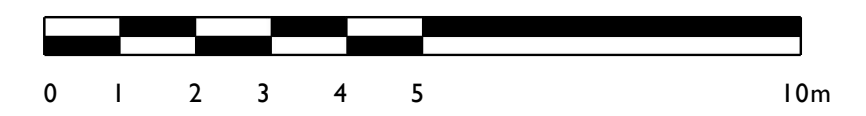
TREE LEGEND

- EXISTING TREE TRUNK
- CRZ
- CANOPY
- PROPOSED ON-SITE TREE
- PROPOSED BOULEVARD TREE

SITE LEGEND

- - - PROPERTY LINE
- PLANTING AREA
- GREENROOF
- LAWN
- CONCRETE (CIP)
- PERMEABLE ASPHALT

1:100 SCALE



Greenspace Designs
Sustainable Landscape Design

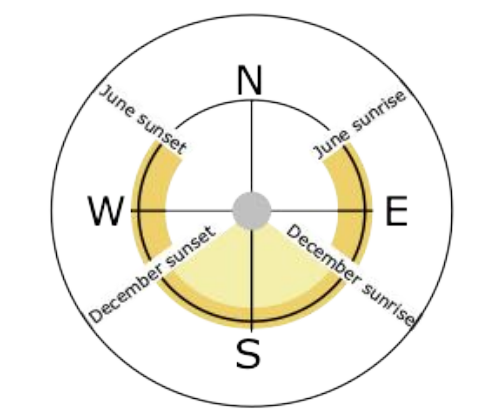
PROJECT TITLE ::
PROPOSED CONCEPT PLAN for
STEFAN KALENCHUK
315 EDWARD STREET, VICTORIA, BC

PAGE TITLE ::
IRRIGATION PLAN

DATE ::
OCTOBER 3, 2025
REVISED DECEMBER 19, 2025

PAGE NUMBER ::
L7

SCALE ::
1:100



OVERALL NOTES

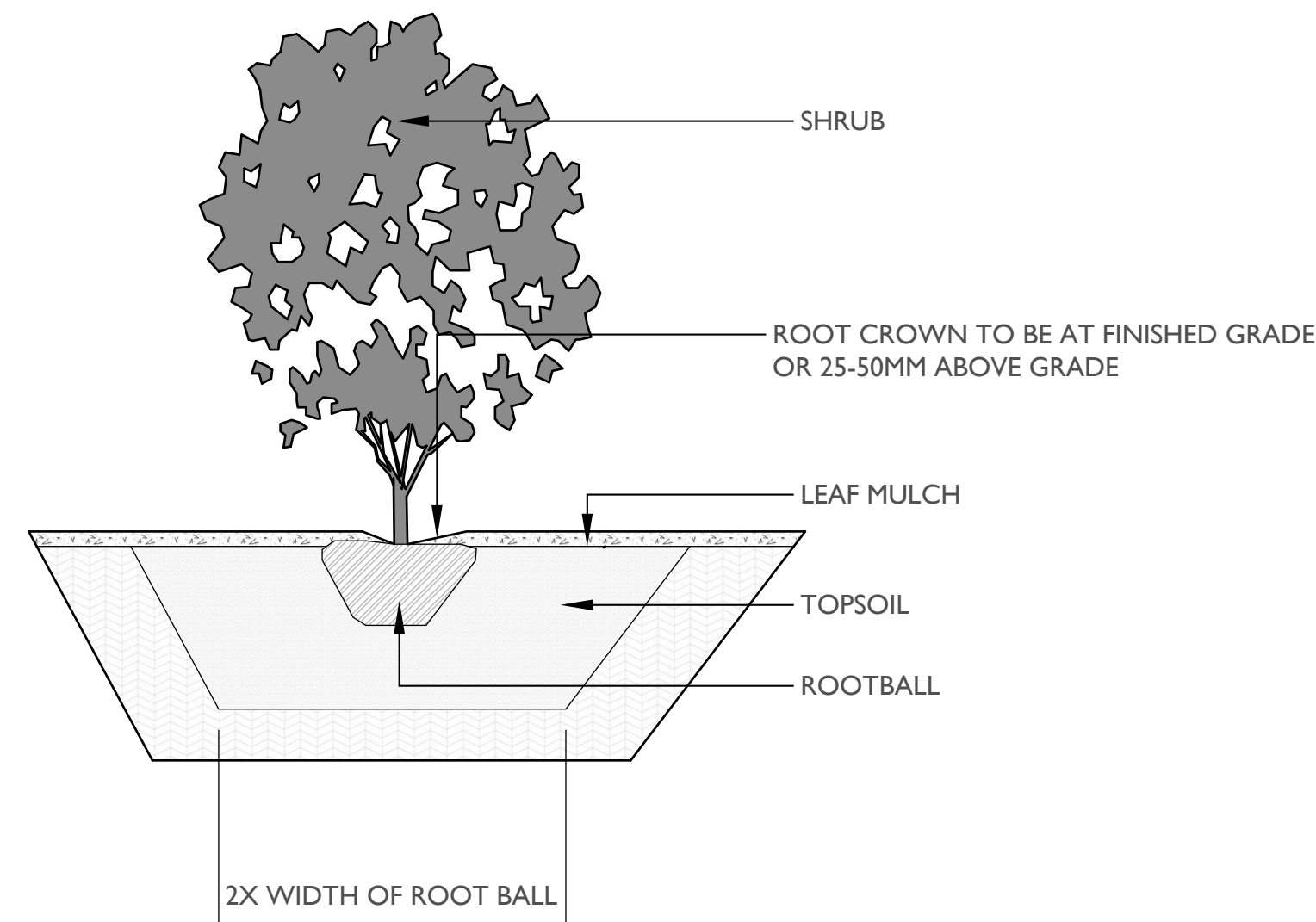
1. Plantings, landscape installation, and irrigations should all be installed in accordance with the BCLNA/BCSLA standard (2020)
2. Any plant substitutions shall be made in consultation with the landscape architect.
3. The Landscape and Irrigation Contractor shall determine the location of all underground services prior to the commencement of landscape work and shall be responsible for the repair of all damage caused by landscape work to the Owner's satisfaction.
4. All topsoil and plants shall conform to BCNTA / BCSLA specifications.
5. BCLNA/BCSLA standard (2020) is the guiding resource for all notes on this page

MATERIALS

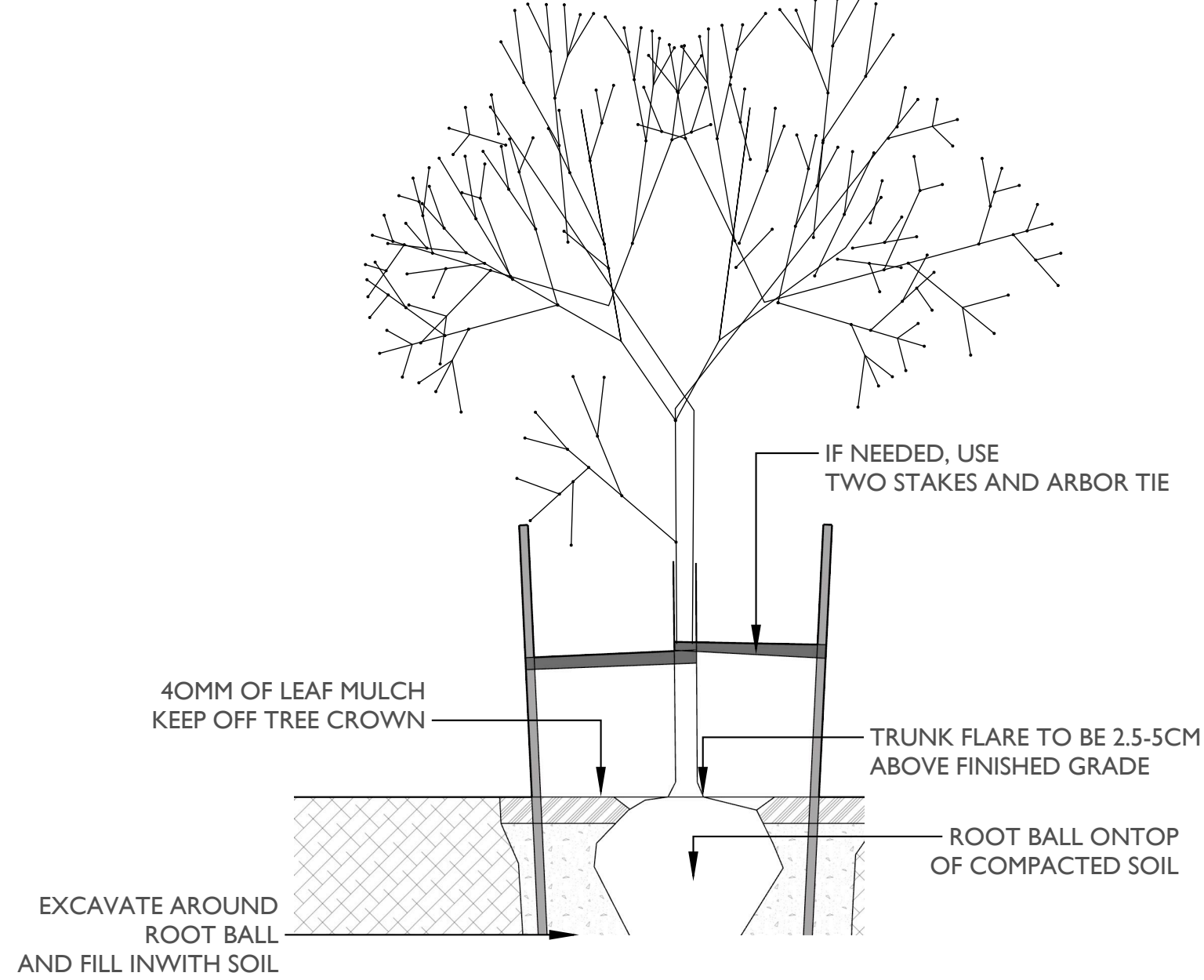
CAST-IN-PLACE CONCRETE

1. Cast-in-place concrete may have a finish of trowel finish, broom finish, exposed aggregate, or parging. To be finished as specified on landscape plans.
- 2.

PLANTING DETAILS



TREE PLANTING DETAILS



STOCKPILES

1. Site materials should be stockpiled separately from the growing medium to avoid contaminating the growing medium.
2. Ideally, the growing medium is delivered on the day of installation.
3. Soils, fill, sand, gravel, or any construction materials should not be stockpiled within the critical protection zones.
4. Soil or subsoil should not be stockpiled in low areas to avoid erosion or water pooling.

TOPSOIL

1. On-site topsoil should be used if it meets the standards for a growing medium.
2. Topsoil should have a pH range of pH 5.5-7.5 and contain not less than 2 % Organic Matter [OM] by weight and a salt conductivity of less than 2.5 dS/m.
3. Both imported and on-site topsoil should be tested and amended before landscape work commences on-site by the contractor or soil supplier. Modification costs should be included in the overall budget.

MULCH

1. All planted beds shall be covered with a 55 mm layer of high organic low-wood content mulch.
2. Mulch should be a minimum of 10cm (4in.) from the crown of any plant. It is never to be mounded up around the stem of the plant.
3. Mulch depths should be at most 10cm (4in.) around larger plants and 5cm (2in.) for smaller plants such as groundcovers.
4. Trees installed in lawns should have a mulch ring of 1m diameter that will be maintained for a minimum of 8 years.
5. Mulch is to be of a type suitable for the material planted.

PLANTING.

1. All trees shall be secured with two 75 mm diameter x 1.8 m long round poles set 1m into the ground.
2. Plants determined to be dead or dying at the end of one year from the installation date shall be replaced by the Contractor at the Contractor's expense.
3. Growing media settlement should be corrected prior to mulching.
4. Immediately after planting, trees shall be stabilized, ensuring that the tree's crown has free movement, but wind, snow loading, or human force will not disturb the buttress root system or cause the rootball to shift in the ground.
5. Trees may not need stabilization if the subsoil and growing medium are stable and can hold the rootball in place, and the rootball is solid and contained and shaped where it can resist shifting.
6. Planting debris and materials shall be removed promptly from the site.
7. Plants must be watered immediately after planting to the depth of their root systems.
8. The contractor is responsible for scheduling the delivery of plants to the site in conformance with the contract documents.
9. Plants should spend a minimal amount of time in the storage on site.

SEED

1. All on-site grass areas shall be seed.
2. The finished grade should be smooth, firm against footprints, loose textured, and free of all stones, roots, and branches.
3. Areas with heavy compaction should have their surfaces loosened employing thorough scarification, discing, or harrowing to a minimum of 150mm (6in.) depth.
4. Slope soil away from house and level soil by dragging a 2x6" board over area, rake the soil even, then roll over the soil three times in opposite directions until soil is firm.
5. Add a light dressing of peat moss, just as a measure to retain moisture.
6. A mix of 3 grass species is better than one species. The following grasses are known for their hardiness and have been tested for turf quality and resistance to many diseases and insects. A good basic mix would be 30% Kentucky blue, 30% perennial rye and 40% tall fescue. These do well in cool-season climates such as ours.
7. Seed should be applied at a rate of one pound per 200 square feet and spread in opposite directions.
8. After application seed should be lightly and gently raked.
9. After seeding the newly seeded area must be watered evenly, and kept moist until lawn is established.

IRRIGATION

1. All planting beds shall be irrigated with an automatic underground system with automatic rain shut-off.
2. Irrigation sleeving is to be 150mm in diameter. Schedule 40 or SDR 28.
3. Must be installed 12" below finished grade for all lateral lines and 18" below finished grade for irrigation main lines.
4. All irrigation materials and installation methods shall conform to IABC standards.
5. Irrigation within municipal rights of way shall conform to the City of Victoria requirements.
6. Backflow preventer requirements for irrigation lines shall conform to Victoria municipality requirements.
7. The Irrigation Contractor shall test the irrigation system and ensure that it is fully operational prior to acceptance by the owner.

CITY OF VICTORIA IRRIGATION NOTES

Irrigation Systems on City property shall comply to City of Victoria Supplementary Division for review and approval 30 days prior to installation work. The following irrigation and sleeving inspections by Parks are required tsherbo@victoria.ca 48 hours prior to the required inspection time. Irrigation Inspection Requirements.

- The irrigation system and sleeving inspection requirements can be found in Schedule C of the Victoria Subdivision and Development Servicing Bylaw No. 12-042.
- Irrigation Sleeving prior to backfilling*
- Open trench Main Line and Pressure Test
- Open trench Lateral Line
- Irrigation system, Controller, Coverage test, Backflow Preventer Assembly Test
- Report required, Backflow Assembly is to have an inspection tag completed and attached.
- Please Note: Parks is now requesting that 100mm SDR 28 pipe be used for irrigation sleeving under hard surfaces. Installations where a 90-degree

WATERING

1. Plants shall be monitored for moisture at delivery and watered as necessary until planting with on-site irrigation during storage.
2. Plants and soil moisture should be monitored during the first and second growing seasons for a sufficient irrigation schedule and to ensure that the plants are healthy with the irrigation setup. If the plants are wilting or showing stress due to water, there shall be an increase in watering frequency.
3. Watering should reach the depth of the root zone.
4. Irrigation schedules may be skipped if rainfall has penetrated the full depth of the root zone.
5. Soil moisture should be maintained at 50 to 100 percent field capacity.

LANDSCAPE LIGHTING

1. Landscape lighting must adhere to the Canadian Electrical Code, British Columbia electrical and building codes, and Municipal by-laws regarding electrical, lighting, and light pollution.

CITY OF VICTORIA

SUPPLEMENTARY STANDARD DETAIL DRAWINGS

A cross-sectional diagram of a sod seed detail. It shows a layer of sod (1) on top of a compacted growing medium (2). A seed (3) is placed in the growing medium. The sod is secured with a mesh (4) and a layer of topsoil (5) is applied over the sod. Labels 1 through 5 correspond to the different layers and components.

NOTES:

1. APPROVED, COMPACTED GROWING MEDIUM PLACED AS PER MMCD 32 91 21 TABLE 3.
2. FOR CURB, SIDEWALK, ASPHALT, DUCT AND ROAD BASE, REFER TO MMCD AND CITY OF VICTORIA SUPPLEMENTARY STANDARDS.
3. APPROVED SUBGRADE TO MMCD AND CITY OF VICTORIA SUPPLEMENTARY STANDARDS.
4. SOD OR SEED, AS SPECIFIED TO MMCD AND CITY OF VICTORIA SUPPLEMENTARY STANDARDS.
5. SOD NOT TO BE REINFORCED WITH MESH.

2011

SOD SEED DETAIL

REVISIONS

DRAWING NUMBER: **SD P3**

Greenspace Designs
Sustainable Landscape Design

PROJECT TITLE :
PROPOSED CONCEPT PLAN for
STEFAN KALENCHUK
315 EDWARD STREET, VICTORIA, BC

PAGE TITLE : LANDSCAPE NOTES **PAGE NUMBER :** L8

DATE :
OCTOBER 3, 2025
REVISED DECEMBER 19, 2025

ENVIRONMENTAL NOTES:

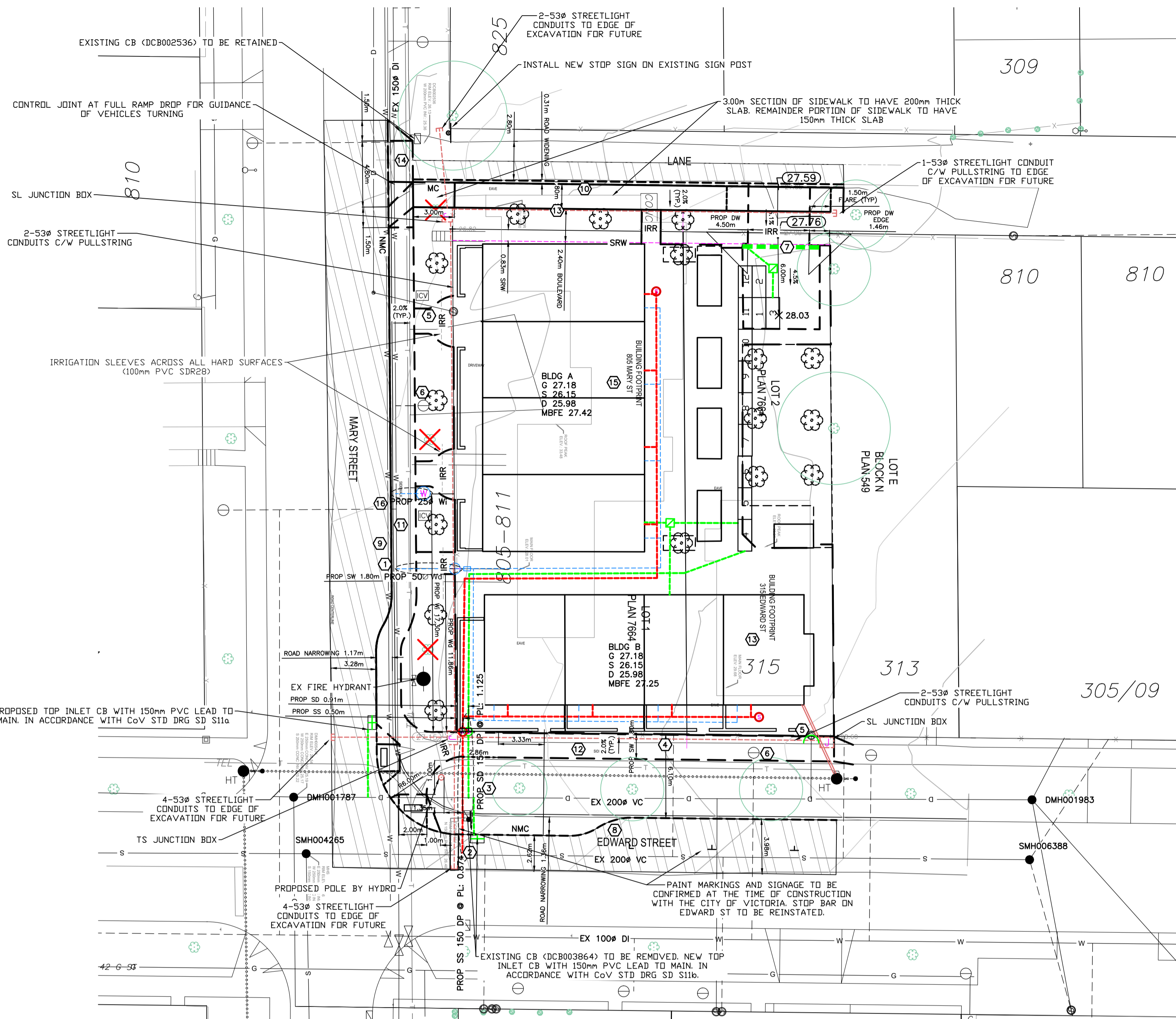
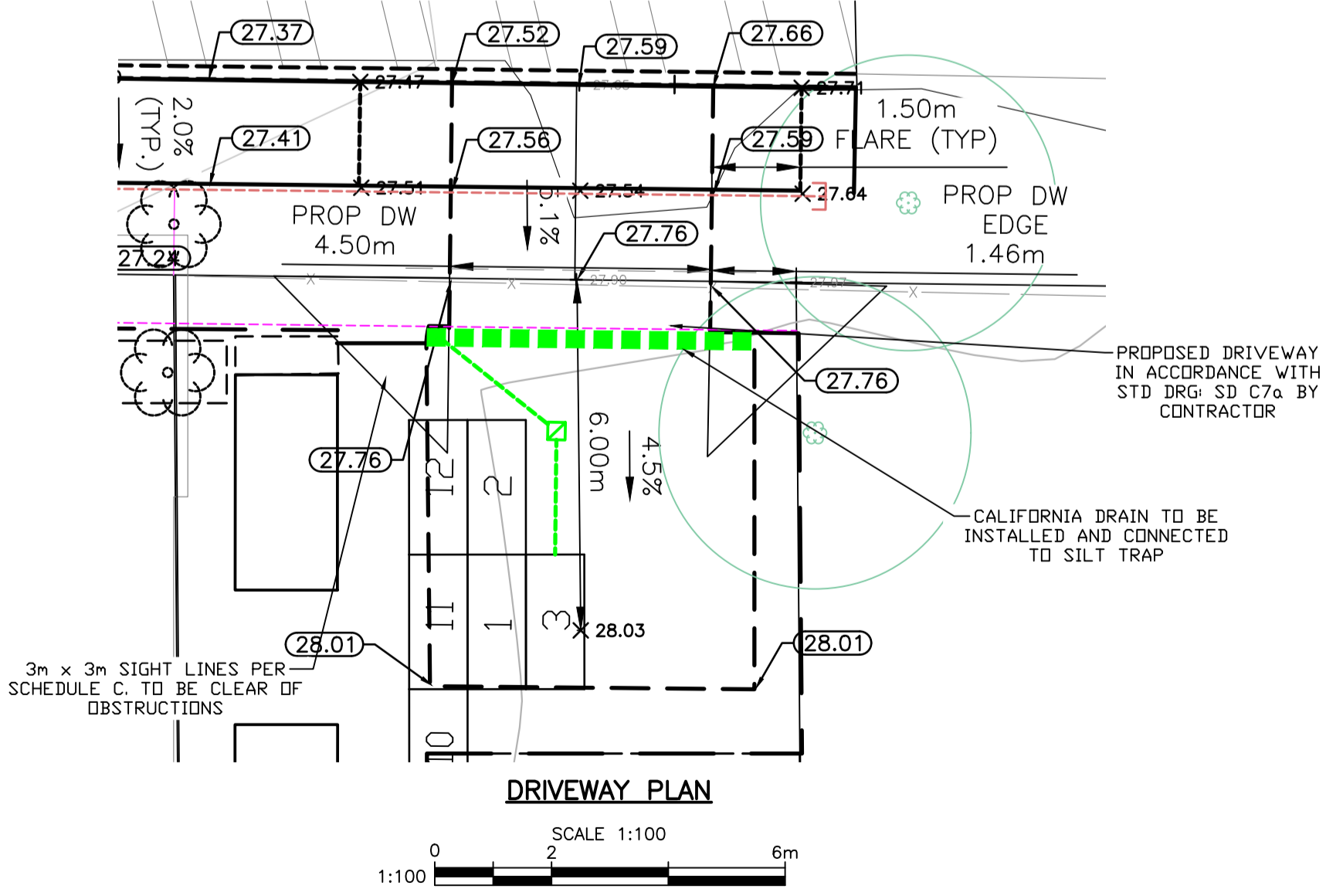
- USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. ADJUST WORK ACTIVITIES DURING PERIODS OF HEAVY RAIN TO MINIMIZE SEDIMENTS ENTERING THE STORM DRAINAGE SYSTEM. SOME BMP'S TO CONSIDER:
- CHECK ALL EQUIPMENT FOR FLUID LEAKS PRIOR TO ENTERING THE WORK AREA.
- NO EQUIPMENT RE-FUELING TO OCCUR IN THE WORK AREA UNLESS SPILL PROTECTION MEASURES ARE IN PLACE.
- A SPILL KIT IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.
- SURFACE WATER IS TO BE MANAGED WITHIN THE WORK AREA AND TREATED BEFORE DISCHARGED. THIS MAY INCLUDE ONSITE DETENTION AND/OR CULVERT FILTRATION.
- COVER EXPOSED SOILS IN INCLEMENT WEATHER IN TARP, HYDRO SEED OR ORGANIC LEAF MULCH.
- STOCKPILE SOILS AWAY FROM CULVERT INLETS AND ENSURE THEY ARE COVERED IF LEFT FOR MORE THAN 48 HOURS.
- PLACE DRAIN ROCK AND FILET FABRIC AT THE INLET OF CULVERT.
- SURROUND PROTECTED TREES WITH SNOW FENCING AT DRIP LINE OR CRITICAL ROOT ZONE OF TREE DURING CONSTRUCTION. CONTACT CITY ARBORIST PRIOR TO BEGINNING CONSTRUCTION.
- INSTALL SILT FENCING AS REQUIRED.

GENERAL CONSTRUCTION NOTES:

1. CONTACT & NOTIFY ALL HOMEOWNERS AFFECTED BY WORKS 4 WEEKS PRIOR TO CONSTRUCTION.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CITY STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED ON THIS DRAWING.
3. REPAIR AND/OR REPLACE ALL INFRASTRUCTURE/PRIVATE PROPERTY DAMAGED OR REMOVED DURING CONSTRUCTION, TO BETTER THAN, OR EQUAL TO PRE-CONSTRUCTION CONDITION.
4. REINSTATE ALL PRIVATE PROPERTY TO PRE-CONSTRUCTION CONDITIONS.
5. CONTACT CITY PARKS DEPARTMENT PRIOR TO WORKING IN AND AROUND TREES.
6. ENSURE THE CURRENT MUNICIPAL O.H.S. GROUND DISTURBANCE PRACTICE AND PROCEDURES ARE FOLLOWED. CONTACT BC1 AT 1-800-474-6886 FOR EXTERNAL UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. NOTIFY THOSE HOMEOWNERS WHO WILL BE AFFECTED BY CONSTRUCTION 48HRS BEFORE BEGINNING WORKS.
8. CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS PRIOR TO CONSTRUCTION.
9. ENSURE ALL EXISTING SERVICES STAY IN OPERATIONAL CONDITION DURING CONSTRUCTION.
10. SIGNS ARE TO BE CONSTRUCTED AS PER CoV STANDARD DRAWINGS.
11. ALL BOULEVARDS TO BE RESTORED WITH 200mm TOPSOIL AND GRASS.
12. MAINTAIN VEHICLE AND PEDESTRIAN ACCESS AT ALL TIMES.
13. ALL EXISTING AND PROPOSED APURTANCES TO MEET FINAL GRADES.
14. ALL TRENCHING EXCAVATIONS AND BEDDING TO BE PER MMCD G4.
15. CONTRACTOR TO ARRANGE PRECONSTRUCTION MEETING WITH ENGINEER, VICTORIA ENGINEERING DEPARTMENT, PARKS DEPARTMENT AND PROJECT ARBORIST PRIOR TO COMMENCEMENT OF WORK.

DETAILED CONSTRUCTION NOTES:

1. NEW 50mm DOMESTIC WATER SERVICE WITH 50mm METER BY CoV AT APPLICANTS EXPENSE.
2. 150mm PVC SEWER CONNECTION AND IC BY CoV AT APPLICANTS EXPENSE.
3. 150mm PVC STORM WATER CONNECTION AND IC BY CoV AT APPLICANTS EXPENSE.
4. EXISTING SEWER CONNECTION TO BE DECOMMISSIONED BY CONTRACTOR.
5. TWO (2) EXISTING STORM CONNECTIONS TO BE DECOMMISSIONED BY CONTRACTOR.
6. EXISTING WATER CONNECTION TO BE DECOMMISSIONED BY CoV AT APPLICANTS EXPENSE.
7. NEW 4.5m WIDE DRIVEWAY WITH 1.5m FLARES IN ACCORDANCE WITH STD DRG: SD C7a BY CONTRACTOR
8. REMOVE AND REPLACE CURB (MMCD C4 NMC) AND GUTTER ALONG EDWARD ST AS SHOWN AND RESURFACE ASPHALT TO CENTERLINE OR AS DIRECTED BY CITY, IN ACCORDANCE WITH CoV STANDARDS. SIDEWALK DROP DOWN IN ACCORDANCE WITH STD DRG: SD C9b. SEE SHEET 4 FOR DETAILS.
9. REMOVE AND REPLACE CURB (MMCD C4 NMC) AND GUTTER ALONG MARY ST AS SHOWN AND RESURFACE ASPHALT TO CENTERLINE OR AS DIRECTED BY CITY, IN ACCORDANCE WITH CoV STANDARDS. SEE SHEET 5 FOR DETAILS.
10. REMOVE AND REPLACE MOUNTABLE CURB (MMCD C4 MC) AND GUTTER ALONG BELLA ST AS SHOWN AND 0.31m ROAD WIDENING. RESURFACE ASPHALT TO CENTERLINE OR AS DIRECTED BY CITY, IN ACCORDANCE WITH CoV STANDARDS. SEE SHEET 6 FOR DETAILS.
11. REMOVE 1.5m WIDE SIDEWALK AND REPLACE WITH NEW 1.8m WIDE SIDEWALK ALONG EDWARD ST AS SHOWN, IN ACCORDANCE WITH STD DRG: SD C7c. BROOM FINISHED. REPLACE TO CLOSEST JOINT LINE
12. REMOVE 1.5m WIDE SIDEWALK AND REPLACE WITH NEW 1.8m WIDE SIDEWALK ALONG MARY ST AS SHOWN, IN ACCORDANCE WITH STD DRG: SD C7c. BROOM FINISHED. REPLACE TO CLOSEST JOINT LINE
13. NEW 1.8m WIDE SIDEWALK ALONG BELLA ST AS SHOWN, IN ACCORDANCE WITH STD DRG: SD C7c. BROOM FINISHED.
14. CONTINUOUS SIDEWALK ACROSS BELLA ST AS SHOWN, IN ACCORDANCE WITH STD DRG: SD C7.04
15. BUILDING TO BE REMOVED BY OTHERS.
16. REMOVE EXISTING WATER SERVICE AND REPLACE WITH 25# IRRIGATION SERVICE BY CoV AT APPLICANTS EXPENSE.



WORKS AND SERVICES CHECK TABLE		
PLAN CHECKER	AUTHORIZED REPRESENTATIVE NAME	DATE
BC HYDRO		
TELUS		
FORTIS BC		
SHAW CABLE		

PERMIT TO PRACTICE NUM: 1000348

GENERAL NOTES:

DRAWING INFORMATION
DIMENSIONS ARE METRIC; MILLIMETERS ON DETAIL DRAWINGS; METERS ON 1:250 PLAN AND PROFILE, UNLESS OTHERWISE NOTED.

INFORMATION THAT IS PROVIDED IN OUR PLANS, DESIGNS, OR SPECIFICATIONS IS INTENDED TO INDICATE THE GENERAL ARRANGEMENT OF WORK TO BE CARRIED OUT, AS THE PROJECT PROGRESSES, THE DEGREE OF DETAIL THAT IS PROVIDED MAY REQUIRE ADDITIONS OR DELETIONS.

EXISTING SERVICE INFORMATION WITHIN AREAS OF CONSTRUCTION MAY HAVE BEEN SUPPLIED BY OTHERS AND ARE APPROXIMATE ONLY, ADDITIONAL SERVICES MAY BE PRESENT BUT NOT INDICATED ON THESE DRAWINGS.

EXISTING SERVICES TO BE VERIFIED OR EXPOSED IN FIELD. CONTACT ENGINEER IF THERE ARE ANY CONFLICTS. ALL ALTERNATE DESIGNS ARE TO BE SUBMITTED THROUGH CONSULTING ENGINEER.

GENERAL REQUIREMENTS
REFER TO KYLE ENGINEERING'S "STATEMENT OF CONDITIONS" FOR ADDITIONAL INFORMATION AS TO THE USE OF THESE DOCUMENTS AND CONSTRUCTION OF THE WORKS.

REFER TO DISTRICT STANDARD DRAWINGS AND SPECIFICATIONS AND PERMITS, MASTER MUNICIPAL CONSTRUCTION DOCUMENTS, LATEST EDITION, BC HYDRO, TELUS, SHAW AND FORTIS GAS DRAWINGS AND SPECIFICATIONS, AND OTHER AGENCIES/ SUB-CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR INFORMATION NOT COVERED ON THESE DRAWINGS.

ALL OTHER CONSTRUCTION, MATERIAL AND INSTALLATION OF SERVICES NOT COVERED SPECIFICALLY BY THE BC BUILDING CODE, BC ELECTRICAL CODE, OR BY OTHER BYLAWS OR SPECIFICATIONS SHALL BE IN GENERAL CONFORMANCE WITH THE MASTER MMCD SPECIFICATIONS/STANDARD DETAIL DRAWINGS, AND ADDENDUMS.

UNLESS OTHERWISE SPECIFIED HEREIN, ALL WORK WITHIN PRIVATE PROPERTY AND EASEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE AND INSPECTED BY THE MUNICIPAL WORKS INSPECTOR.

USE OF INFORMATION
THIS DOCUMENT MAY NOT BE USED, COPIED OR SHARED WITHOUT THE EXPRESS WRITTEN AUTHORITY OF KYLE ENGINEERING AND AT NO TIME MAY IT BE USED OR REFERENCED IN ANY FORM FOR ANY LEGAL INSTRUMENT.

COORDINATION REQUIREMENTS
COMMUNICATION AND REPORTING
CONTACT BC ONE-CALL PRIOR TO CONSTRUCTION FOR SERVICES LOCATE. 1-800-474-6886

THE CONTRACTOR IS TO COORDINATE AND COMMUNICATE WITH THE ENGINEER, ALL UTILITIES, AND AUTHORITIES HAVING JURISDICTION, WELL IN ADVANCE (2-WORKING DAYS MINIMUM) OF THE START OF ANY EXCAVATION AND COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.

THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL SUB-CONSULTANTS, CONTRACTORS AND TRADES REQUIRED FOR THE COMPLETION OF THE WORKS.

THE CONTRACTOR SHALL PROVIDE THE REQUIRED QUALITY CONTROL AND CONFORMANCE TESTING REPORTS TO THE ENGINEER AT THE COMPLETION OF EACH PHASE OF THE WORK. ENGINEER WILL THEN SEND RELATED DOCUMENTATION TO DISTRICT WITH REGARDS TO ITS INFRASTRUCTURE.

PERMITS
A TREE BYLAW PERMIT IS TO BE OBTAINED PRIOR TO ANY SITE ACTIVITIES.

A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL ROAD ALLOWANCE MUST BE OBTAINED BEFORE WORKS COMMENCE.

A PERMIT TO CROSS OR WORK NEAR FORTIS GAS PIPELINE IS REQUIRED. CONTACT 1-877-599-0986

NOTIFICATION
WHEN GIVING ADVANCE NOTIFICATION, THE CONTRACTOR SHALL TAKE INTO CONSIDERATION THE SCHEDULING DEMAND AND PRIOR COMMITMENTS OF ALL PARTIES.

FAILURE TO COMPLY WITH THESE REQUIREMENTS MAY RESULT IN DELAYS, REJECTION OF THE WORK, OR EXPENSIVE TESTING TO PROVE COMPLIANCE.

IN THE EVENT THAT THE CONTRACTOR IS NOT PROVIDING HIS OWN CONSTRUCTION LAYOUT, THE ENGINEER IS TO BE NOTIFIED BY EMAIL OR OTHERWISE IN WRITING AT LEAST 5 DAYS BEFORE ANY CONSTRUCTION LAYOUT IS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONDITIONS ARE NOT FAVORABLE TO THE ACHIEVEMENT OF THE DESIGN INTENT.

CHANGE REQUESTS
CONTRACTOR REQUESTED CONSTRUCTION CHANGES MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION. DISTRICT TO BE ENGAGED FOR CHANGES RELATED TO DISTRICT OWNED INFRASTRUCTURE.

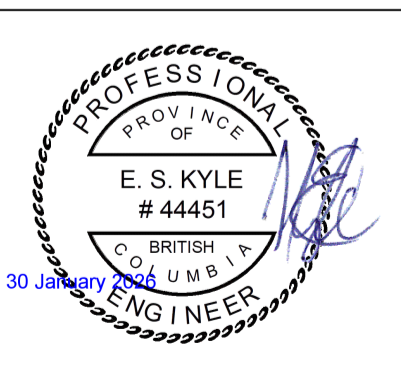
TESTING REQUIREMENTS
CONFORMANCE TESTING IS TO BE PROVIDED BY THE CONTRACTORS TESTING ENGINEER FOR ALL ROAD CROSSINGS, ROAD BASE, SUBGRADE, CONCRETE, AND PAVING CONSTRUCTION MATERIALS AND AS OTHERWISE REQUIRED BY DISTRICT OR THE ENGINEER.

ALL TESTING IS TO BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.

MISCELLANEOUS
ALL PUBLIC ROADS ARE TO BE MAINTAINED MUD AND DUST FREE DURING CONSTRUCTION.
ALL LANDSCAPING AND STRUCTURES TO BE REINSTATED TO ORIGINAL CONDITION OR BETTER.
PAVEMENT RESTORATION FOR RESIDENTIAL ROADS TO BE PER CoV STD DWGS



FOR PROPOSED SEWER, STORM, AND WATER OF LOT 1 & 2, SECTION 31, ESQUIMALT DISTRICT, PLAN 7664 PID 005-034-345 & 005-686-717 811 MARY STREET & 315 EDWARD STREET



CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES	LEGEND	REVISIONS	REVISIONS APPROVED			DESIGN APPROVED			CITY OF VICTORIA	FILE No.
			REVISION # 1	REVISION # 2	REVISION # 3	Approved By	Date	Signed		
Existing Municipal Infrastructure	Drain —D—	Curb —C—	Concrete Box ☒	Valve ⌘	6				811 MARY ST & 315 EDWARD ST PROPOSED SERVICES (STORM, SEWER, WATER, ROAD)	DESIGN No.
Proposed Municipal Infrastructure	Ditch —D—	Sidewalk —S/W—	Wood Box ☒	Flush Valve —F—	5					
Existing External U/G Utilities	Sewer —S—	Manhole ○	Catch Basin ☒	Hydrant ⌘	4				B.M. : 18-12	DRAWING No.
Proposed External U/G Utilities	Water —W—	Cleanout □	Culvert —C—	Reducer —R—	3				Design: SJP	
Street Lighting	Pole Mount ⌘	Standard Mount ○	Silt Trap ☒	Cap / Plug —C/P—	2				Checked: ESK	1 OF 8
Post Top	Pedestrian Signal ⌘	Traffic Signal ⌘	Ctrl Monument ⌘	Traverse Hub ⌘	1				Date: DEC 2025	

ON SITE STORMWATER MANAGEMENT (SWM) NOTES

CONTRACTORS OBLIGATION

PRE-CONSTRUCTION MEETING
THE CONTRACTOR MUST ARRANGE WITH THE ENGINEER, A PRE-CONSTRUCTION MEETING TO REVIEW THE SWM OBJECTIVES BEFORE SETTING OF ANY FOUNDATION OR BUILDING PERIMETER DRAINS.

REFER TO GENERAL NOTES

SEDIMENT RETENTION
DURING CONSTRUCTION AND RE-ESTABLISHMENT OF VEGETATION AND LAWN, SURFACE WATER RUN-OFF FROM DISTURBED AREAS OF THE PROJECT, OR ANY OTHER SOURCE OF SEDIMENT OR POLLUTANT LADEN WATER, SHALL NOT BE ROUTED THROUGH ANY STORMWATER MANAGEMENT SYSTEM. A SEDIMENT POND, TRAP, PERIMETER PROTECTION, SUCH AS SILT FENCES, OR OTHER ENGINEER APPROVED SURFACE TREATMENTS SHALL BE USED.

COMMISSIONING OF SWM SYSTEMS
TEMPORARY EROSION AND SILT CONTROL TREATMENTS SHALL REMAIN IN PLACE UNTIL THE ENTIRE SITE HAS BEEN STABILIZED AND VEGETATION RE-ESTABLISHED.

SWM OBJECTIVES

GENERAL
ALL LOTS SHALL BE PROVIDED WITH STORMWATER MANAGEMENT SYSTEMS FOR IMPERVIOUS SURFACES.

THIS PLAN SHOWS REPRESENTATIVE EXAMPLES OF TYPICAL SWM CONFIGURATIONS FOR EACH LOT.

THE OWNER AND CONTRACTOR SHALL CONSULT WITH THE ENGINEER REGARDING THE ULTIMATE ARRANGEMENT AND SCOPE OF REQUIRED SWM COMPONENTS.

INTENT OF SWM IS TO REDIRECT ALL HARD LANDSCAPE RUNOFF INTO ENGINEERED SYSTEMS FOR WATER RECHARGE TO SURFACE OR GROUND FOR DISPERSION AND/OR INFILTRATION AS WELL AS TO REDUCE THE IMPACT THE DOWNSTREAM MUNICIPAL MAIN.

BUILDING FOUNDATION PERIMETER DRAINS
THE FOUNDATION PERIMETER DRAINS (PD) FROM BUILDINGS SHALL BE DIRECTLY CONNECTED TO THE COMMON OR MUNICIPAL DRAIN CONNECTION AS APPLICABLE, AND NOT ROUTED THROUGH THE ROOF OR DRIVEWAY DRAIN SYSTEMS.

FOUNDATION DRAINS TO BE PROVIDED OTHERWISE AS REQUIRED BY THE BC BUILDING CODE.

BUILDING ROOF DRAINS

THE ROOF DOWNSPOUTS (RO) FROM DWELLINGS ARE TO BE SEPARATE FROM THE FOUNDATION PERIMETER DRAIN AND ROUTED THROUGH THE SWM SYSTEMS PRESCRIBED HEREIN.

ON-SITE DRIVEWAYS
NEW DRIVEWAY SURFACE AREAS HAVE BEEN INCLUDED IN STORMWATER STORAGE CALCULATIONS.

PROVIDE DRIVEWAY SURFACE AND SUBGRADE DRAINAGE AS REQUIRED TO MEET OBJECTIVES AND COV STD DWG SD C7c.

EMERGENCY STORM OVERFLOWS MUST BE DIRECTED TO MUNICIPAL SYSTEM AS INDICATED IN D11C.

SWM SYSTEM DESIGN NOTES

FOUNDATION PERIMETER DRAINS
PROVIDE DRAINS SUBSTANTIALLY IN ACCORDANCE WITH THE BC PLUMBING CODE UNLESS OTHERWISE APPROVED BY THE ENGINEER.

ROOF DRAINS
PROVIDE ROOF WATER LEADERS AND PERIMETER ROOF DRAINS SUBSTANTIALLY IN ACCORDANCE WITH THE BC BUILDING CODE AS SHOWN ON THE APPROVED BUILDING PLANS UNLESS OTHERWISE APPROVED BY THE ENGINEER.

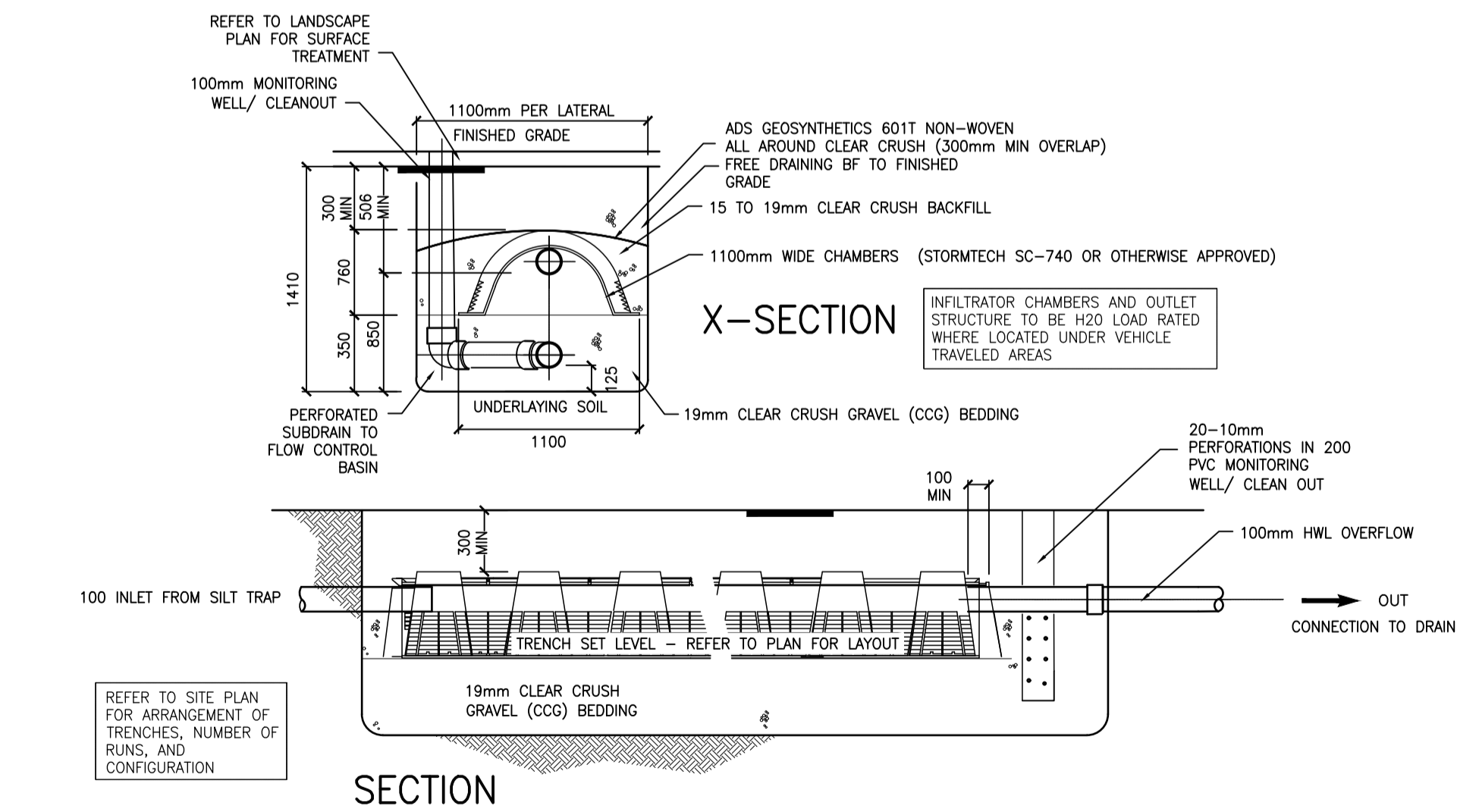
DIRECT 100MM ROOF WATER COLLECTION PIPE TO STORAGE/FILTRATION CHAMBER TRENCHES VIA SWM SILT TRAP AS INDICATED.

REFER TO DETAIL D11C

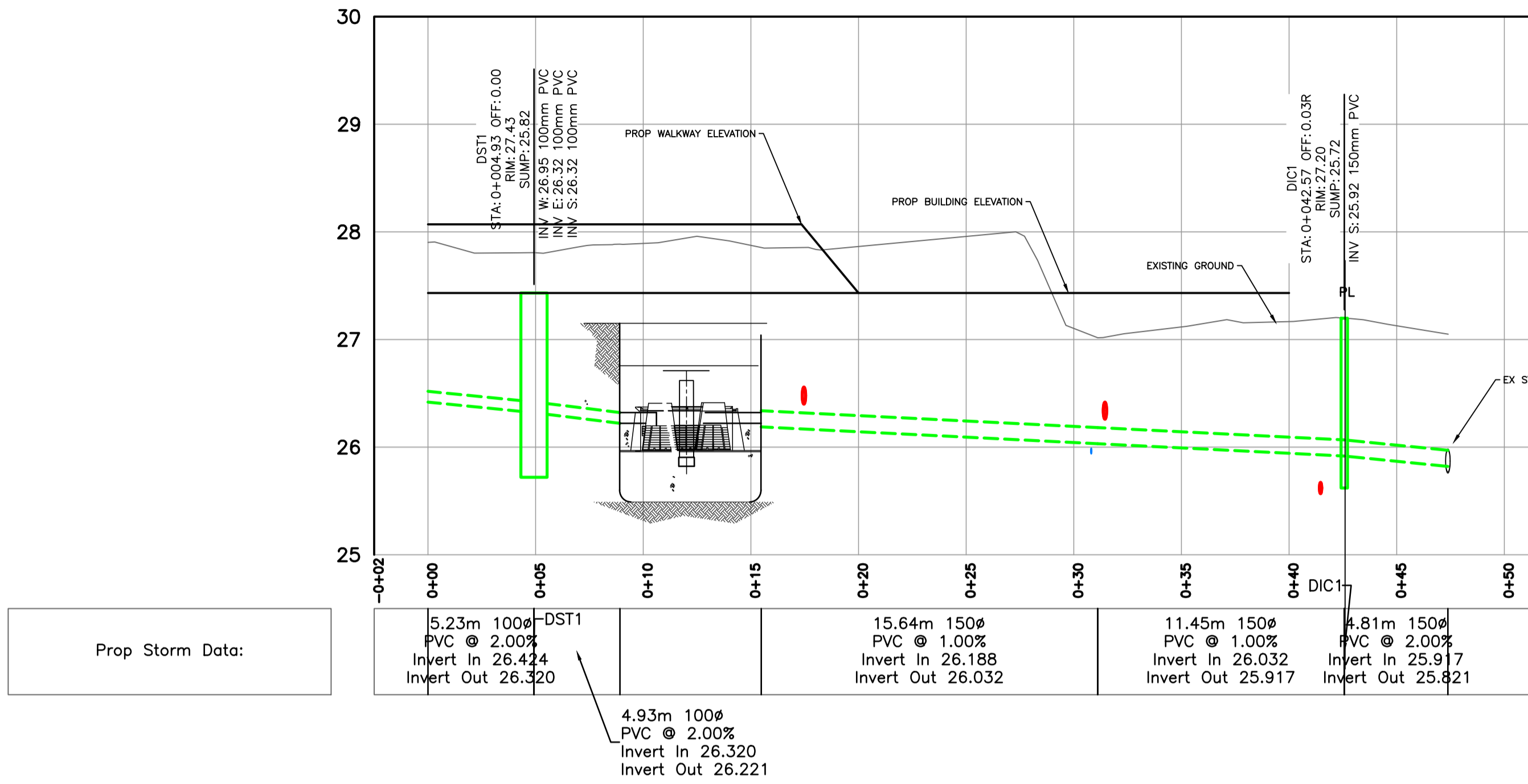
STORMWATER MANAGEMENT

(A) SILT TRAP
SWM RELATED SILT TRAPS (ST) TO BE CONSTRUCTED AS SHOWN IN DETAIL D12B

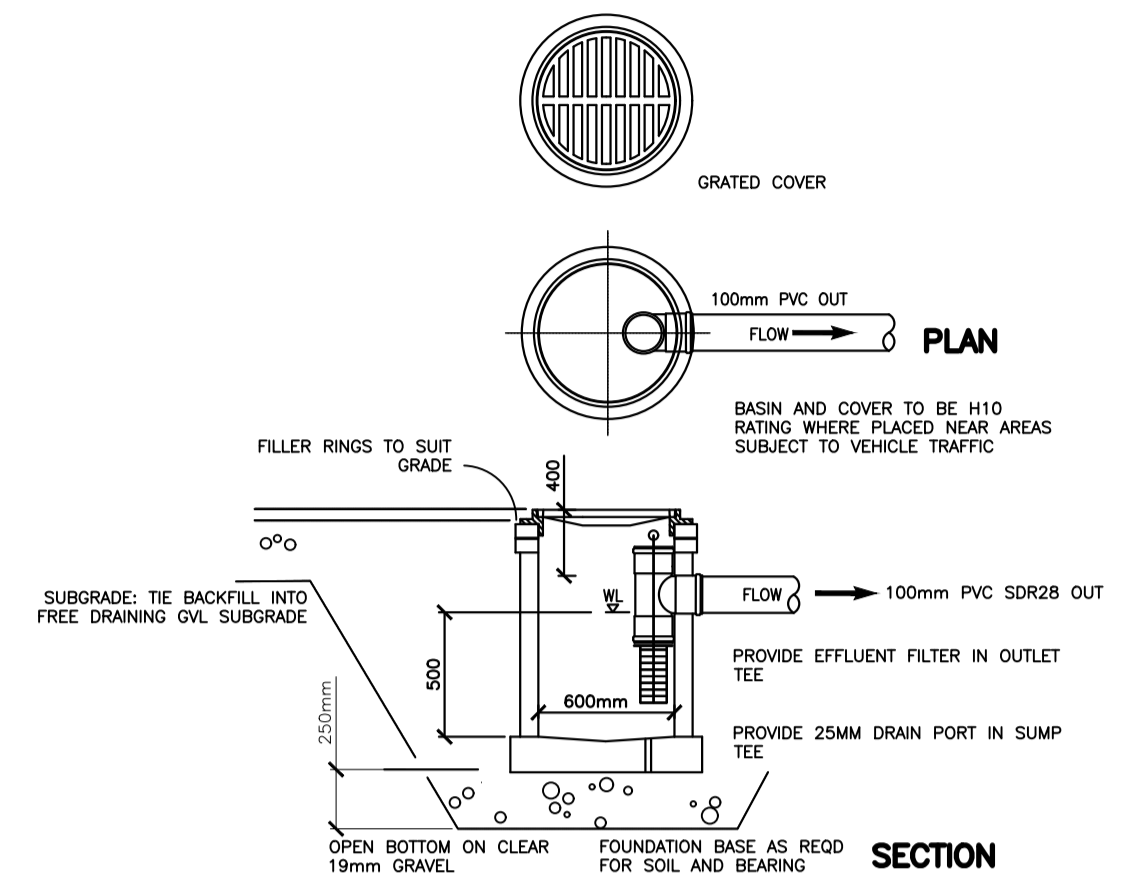
(B) STORAGE/ FILTRATION CHAMBER TRENCHES
CHAMBER TRENCHES (TRN) TO BE CONSTRUCTED AS SHOWN IN DETAIL D11C



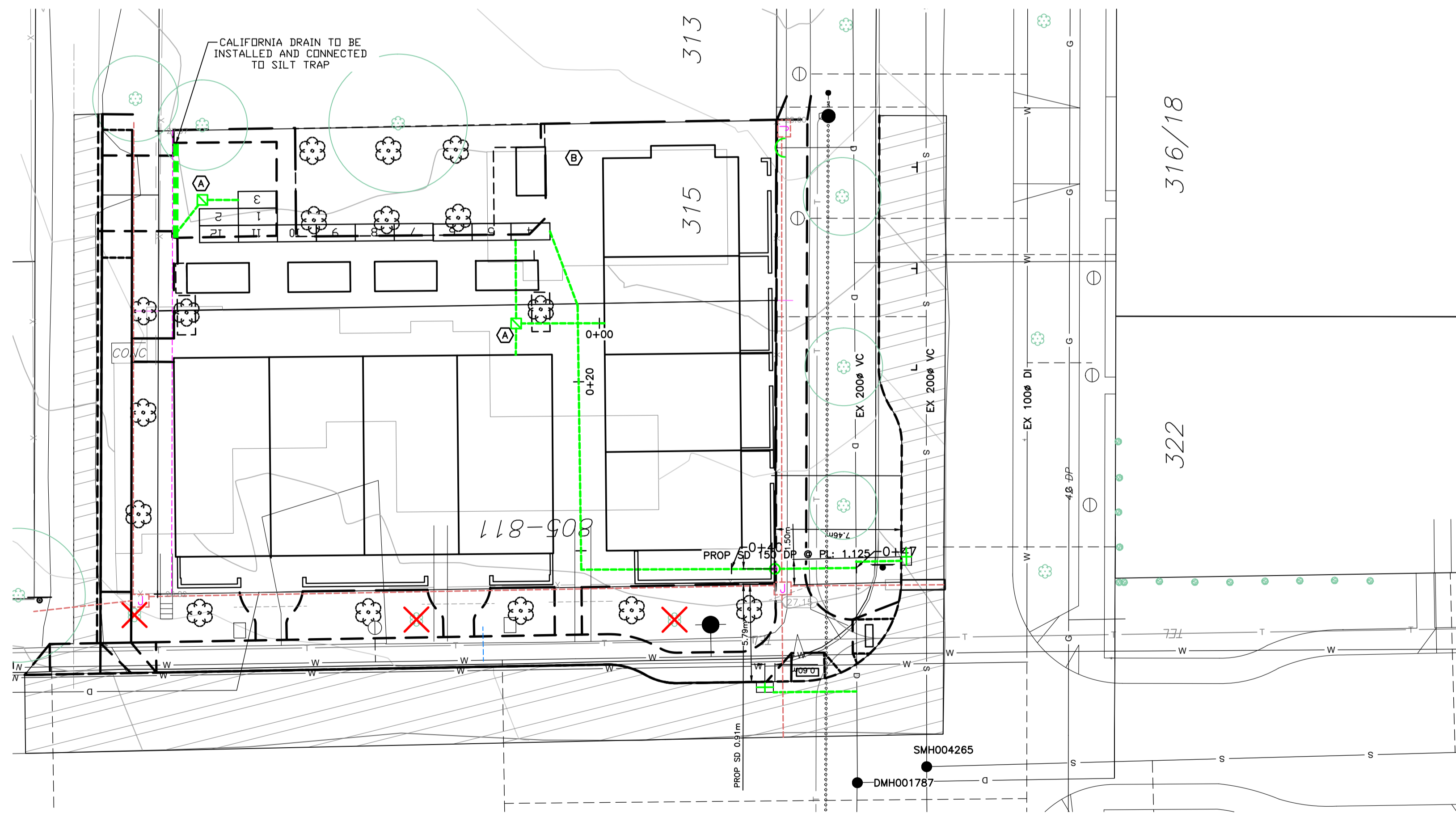
SWM STORAGE/FILTRATION TRENCH – D11C



Prop Storm Data:

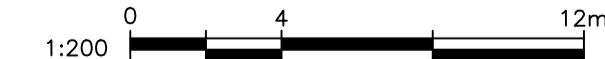


DRIVEWAY DRAIN SILT TRAP – D12B1

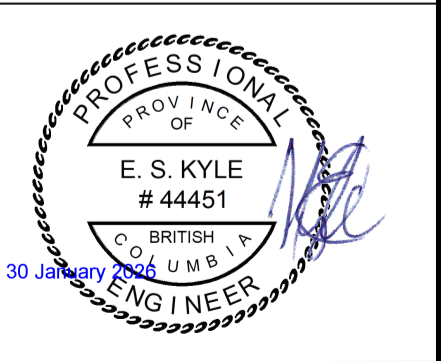


PLAN

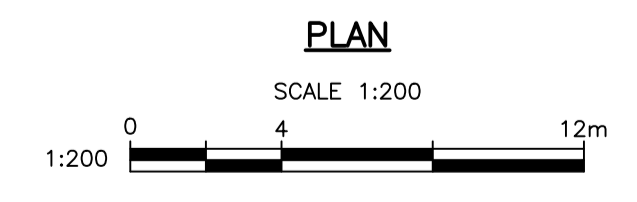
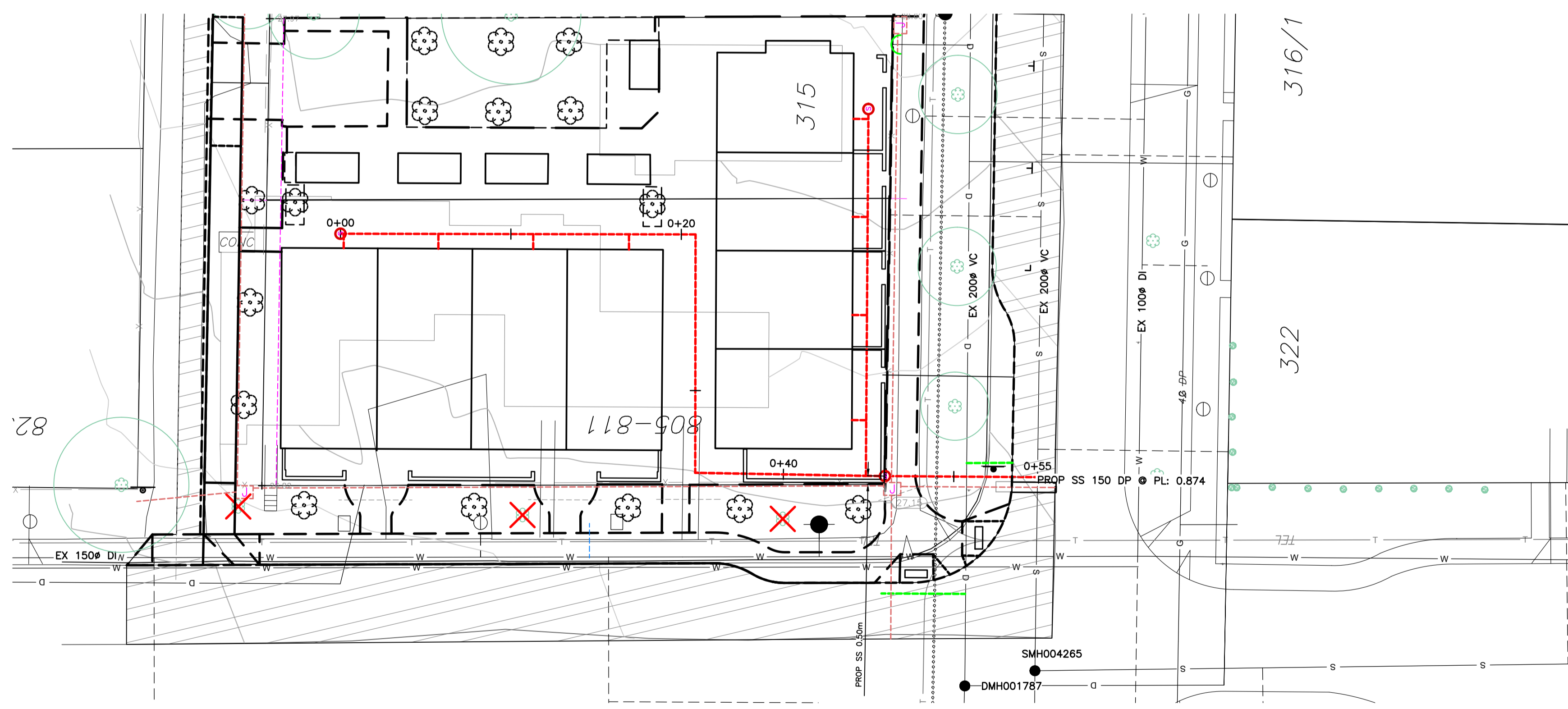
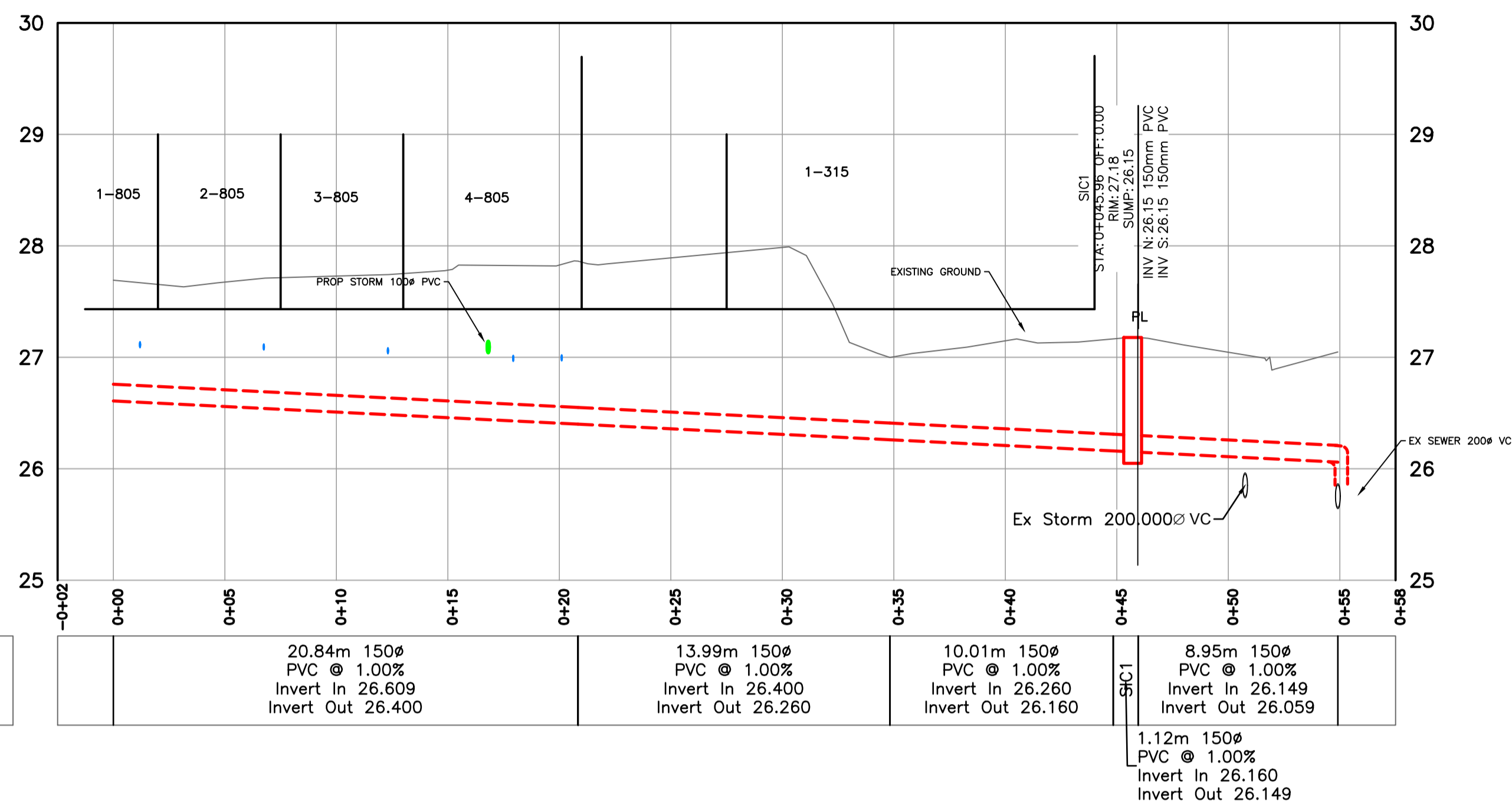
SCALE 1:200



CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES	LEGEND	REVISIONS	REVISIONS APPROVED									DESIGN APPROVED			CITY OF VICTORIA		FILE No.		
			REVISION # 1	REVISION # 2	REVISION # 3	Approved By	Date	Signed	811 MARY ST & 315 EDWARD ST		DESIGN No.								
THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.	Existing Municipal Infrastructure	Drain	6	Approved	Date	Signed	Approved	Date	Signed	Approved		Date	Signed	Design Engineer			B.M. : 18-12	Elev: 26.587m	DRAWING No.
	Proposed Municipal Infrastructure	Ditch	5	Design Engineer			Design Engineer			Design Engineer			Manager of Development			Design: SJP			
	Existing External U/G Utilities	Sewer	4	Manager of Development			Manager of Development			Manager of Development			Development Coordinator				Scale: Hor: 1:200	Vertical: 1:40	
	Proposed External U/G Utilities	Water	3	Development Coordinator			Development Coordinator			Development Coordinator									
	Street Lighting	Pole Mount	2																



THE CITY OF VICTORIA: January 29, 2026 / U:\CS1400 Customer Files\2025\CV Gw\CV25-33\CV25-33_260121_Mary - Kalenchuk - Service Connections.dwg



CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES
 THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.

LEGEND	
Existing Municipal Infrastructure	Drain —D—
Proposed Municipal Infrastructure	Ditch —D—
Existing External U/G Utilities	Sewer —S—
Proposed External U/G Utilities	Water —W—
Street Lighting Pole Mount	Standard Mount
Post Top	Pedestrian Signal
Traffic Signal	Traffic Signal
Ctrl Monument	Traverse Hub
Drain	Curb
Sidewalk	Wood Box
Manhole	Catch Basin
Cleanout	Culvert
Silt Trap	Cap / Plug
Gas Valve	Air Valve
Valve	Flush Valve
Hydrant	Reducer
Water Meter	

REVISIONS	
6	Concrete Box
5	Flush Valve
4	Catch Basin
3	Reducer
2	Air Valve
1	Water Meter

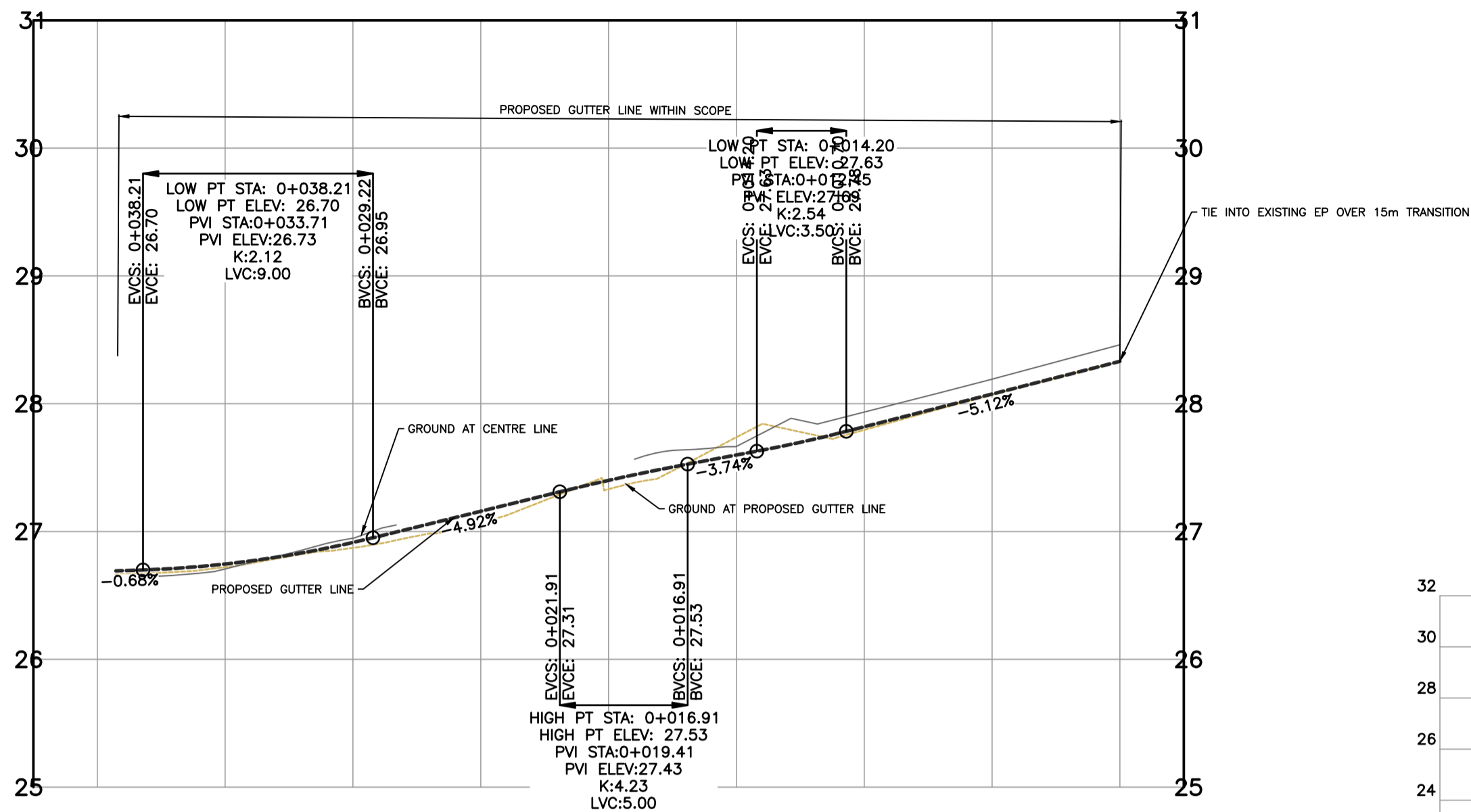
REVISIONS APPROVED								
REVISION # 1			REVISION # 2			REVISION # 3		
Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed
Design Engineer			Design Engineer			Design Engineer		
Manager of Development			Manager of Development			Manager of Development		
Development Coordinator			Development Coordinator			Development Coordinator		

DESIGN APPROVED		
Approved By	Date	Signed
Design Engineer		
Manager of Development		
Development Coordinator		

CITY OF VICTORIA			
811 MARY ST & 315 EDWARD ST			
SEWER PLAN			
B.M. : 18-12	Drawn: SJP	Elev: 26.587m	Checked: ESK
Scale: Hor: 1:200	Vertical: 1:40	Date: DEC 2025	

FILE No.	
DESIGN No.	
DRAWING No.	3 OF 8

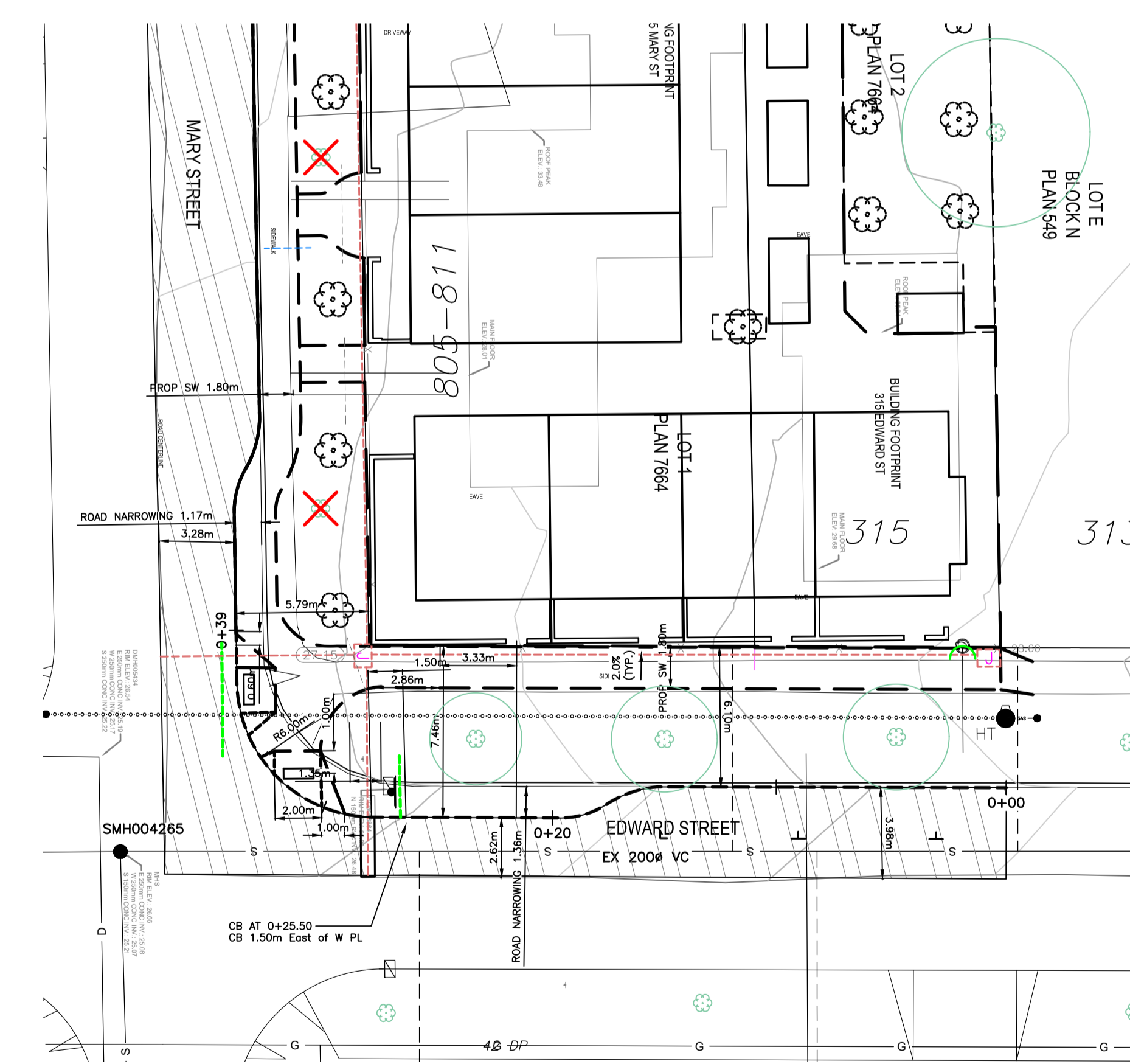
THE CITY OF VICTORIA: January 29, 2026 / U:\GIS\400 Customer Files\2025\CIV\040 Internal Drawings\00 Current\CIV\025-33 260121 Mary - Kalenchuk - Service Connections.dwg



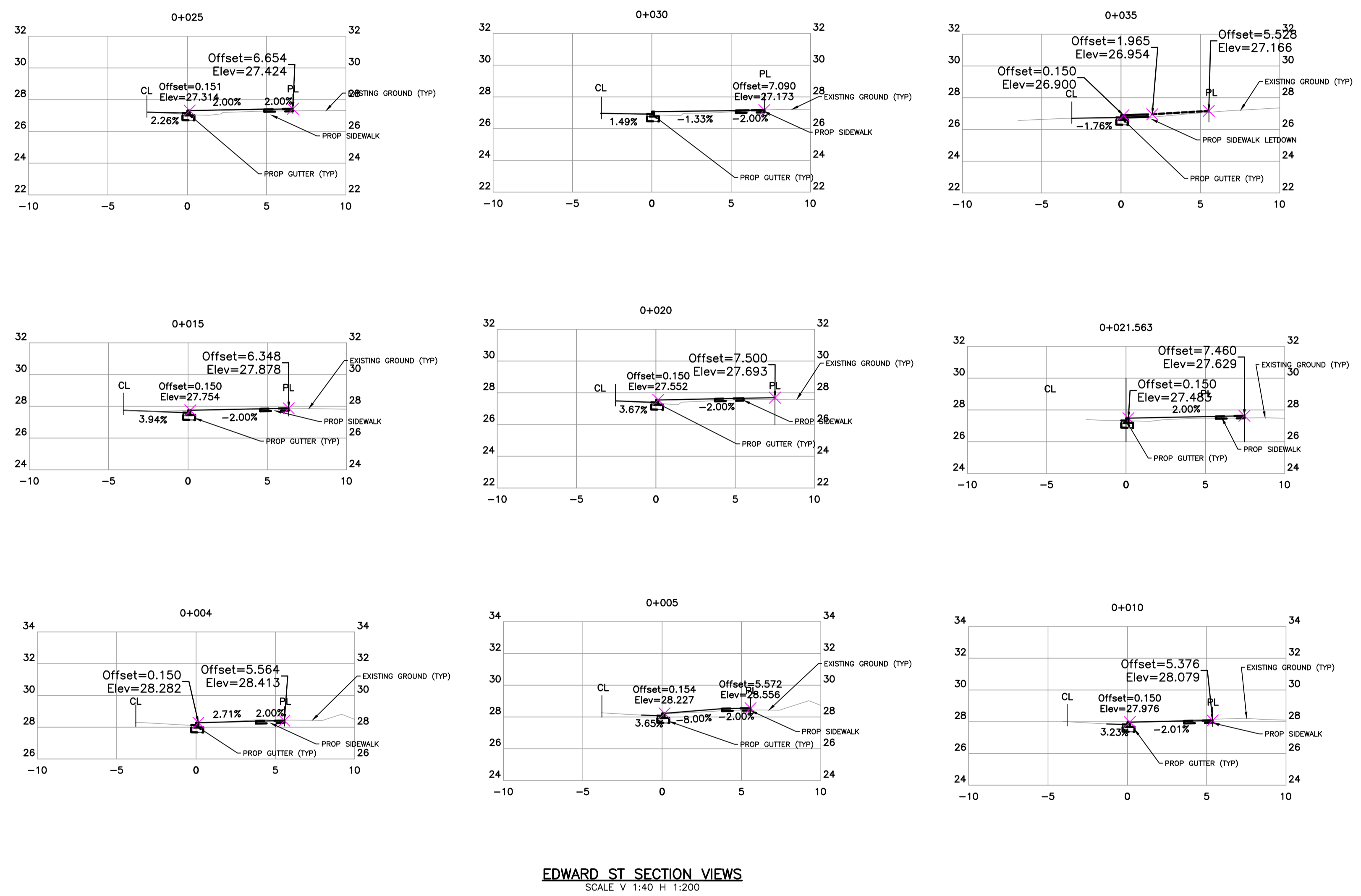
Edward St (Ground)
Edward St (FGS)

0+042	0+040	0+035	0+030	0+025	0+020	0+015	0+010	0+005	0+000
		26.745	26.807	26.914	27.07	27.159	27.400	27.599	27.820
					27.74	27.53	27.820	28.07	28.076
									28.331

EDWARD ST PROFILE
SCALE V 1:40 H 1:200



PLAN
SCALE 1:200



EDWARD ST SECTION VIEWS
SCALE V 1:40 H 1:200

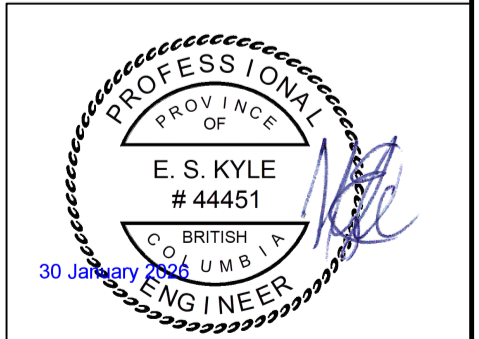
CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES
THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.

LEGEND		REVISIONS	
Existing Municipal Infrastructure	Drain — D —	Curb — C —	Concrete Box — CB —
Proposed Municipal Infrastructure	Ditch — D —	Sidewalk — SW —	Wood Box — WB —
Existing External U/G Utilities	Sewer — S —	Manhole — M —	Catch Basin — CB —
Proposed External U/G Utilities	Water — W —	Cleanout — C —	Culvert — CV —
Street Lighting	Pole Mount — PM —	Standard Mount — SM —	Traffic Sign — TS —
Post Top — PT —	Pedestrian Signal — PS —	Traffic Signal — TS —	Ctrl Monument — CM —
		Traverse Hub — TH —	Gas Valve — GV —
			Water Meter — WM —
			Valve — V —
			Flush Valve — FV —
			Hydrant — H —
			Reducer — R —
			Silt Trap — ST —
			Cap / Plug — CP —
			Air Valve — AV —

REVISIONS APPROVED								
REVISION # 1			REVISION # 2			REVISION # 3		
Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed
Design Engineer			Design Engineer			Design Engineer		
Manager of Development			Manager of Development			Manager of Development		
Development Coordinator			Development Coordinator			Development Coordinator		

DESIGN APPROVED		
Approved By	Date	Signed
Design Engineer		
Manager of Development		
Development Coordinator		

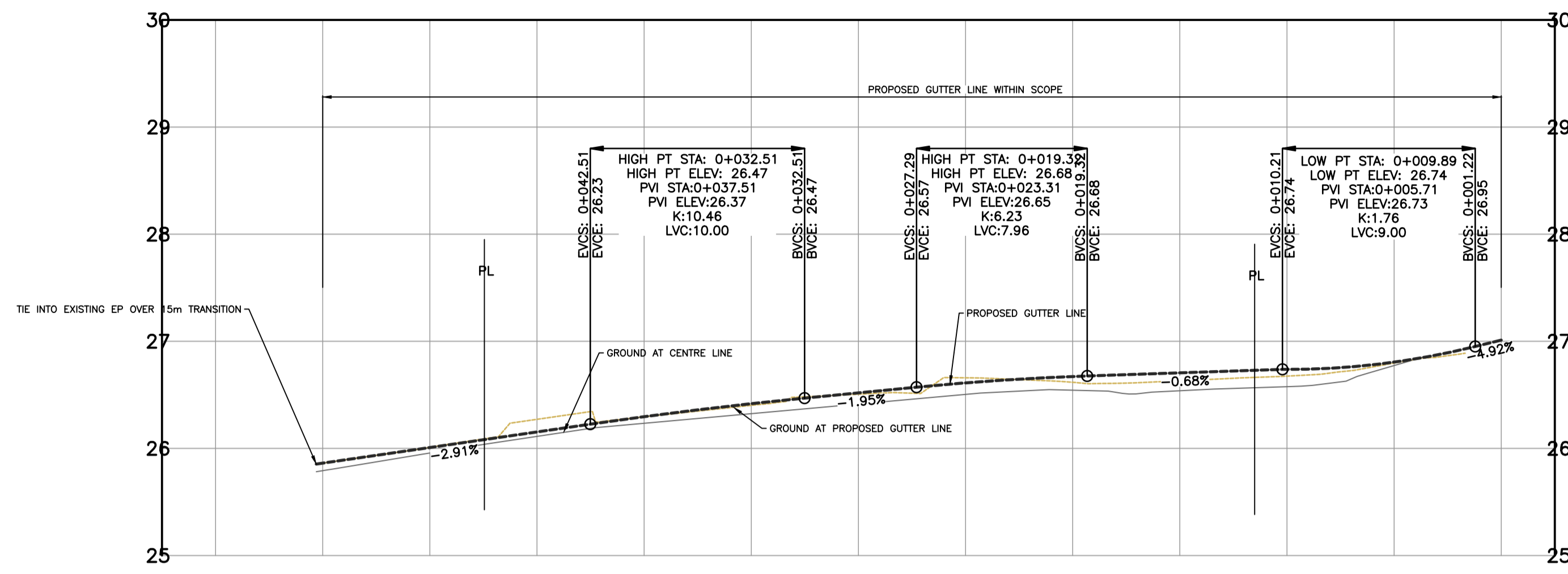
CITY OF VICTORIA			
811 MARY ST & 315 EDWARD ST			
EDWARD STREET			
B.M. : 18-12	Drawn: SJP	Elev: 26.587m	Checked: ESK
Scale: Hor: 1:200	Vertical: 1:40	Date: DEC 2025	



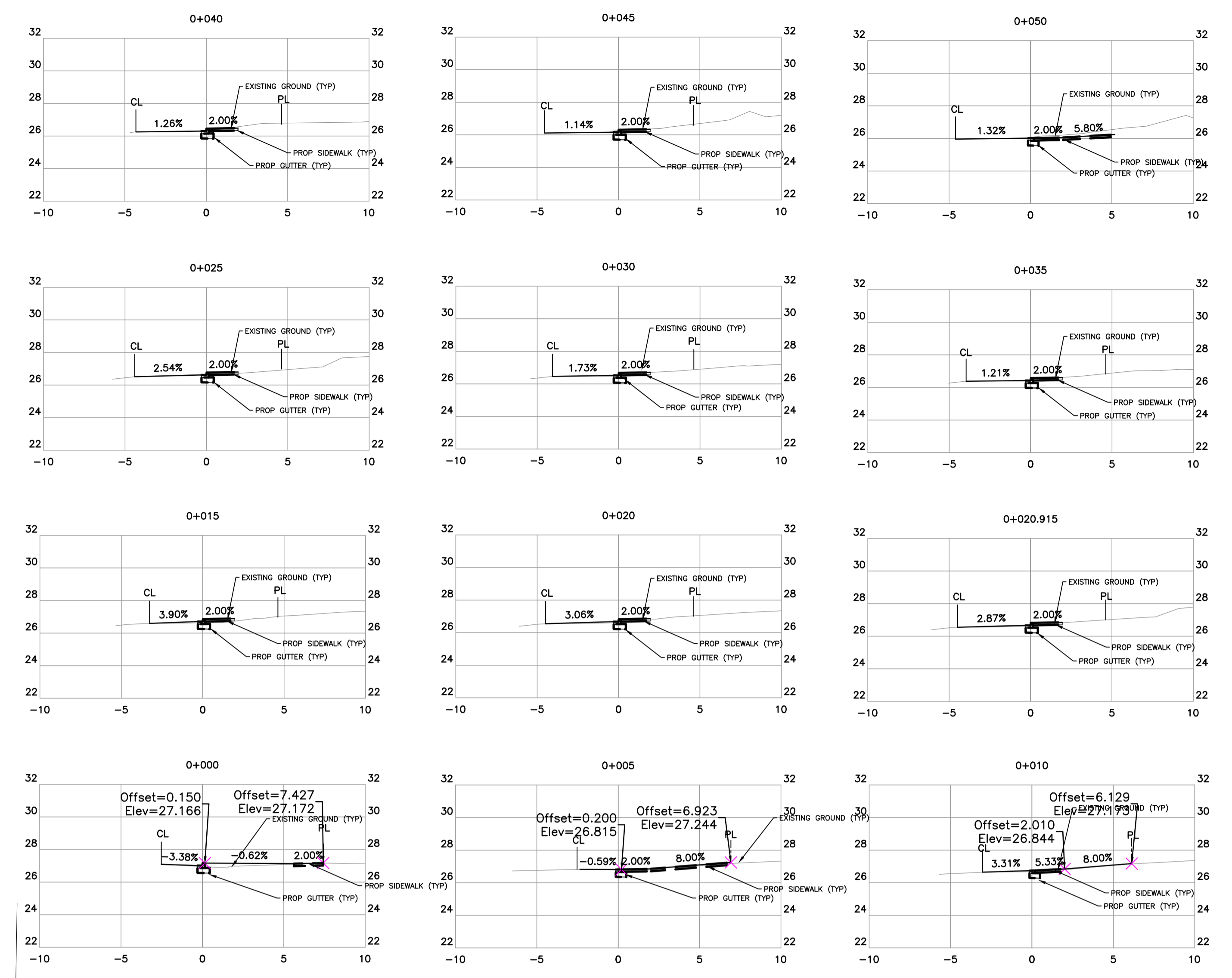
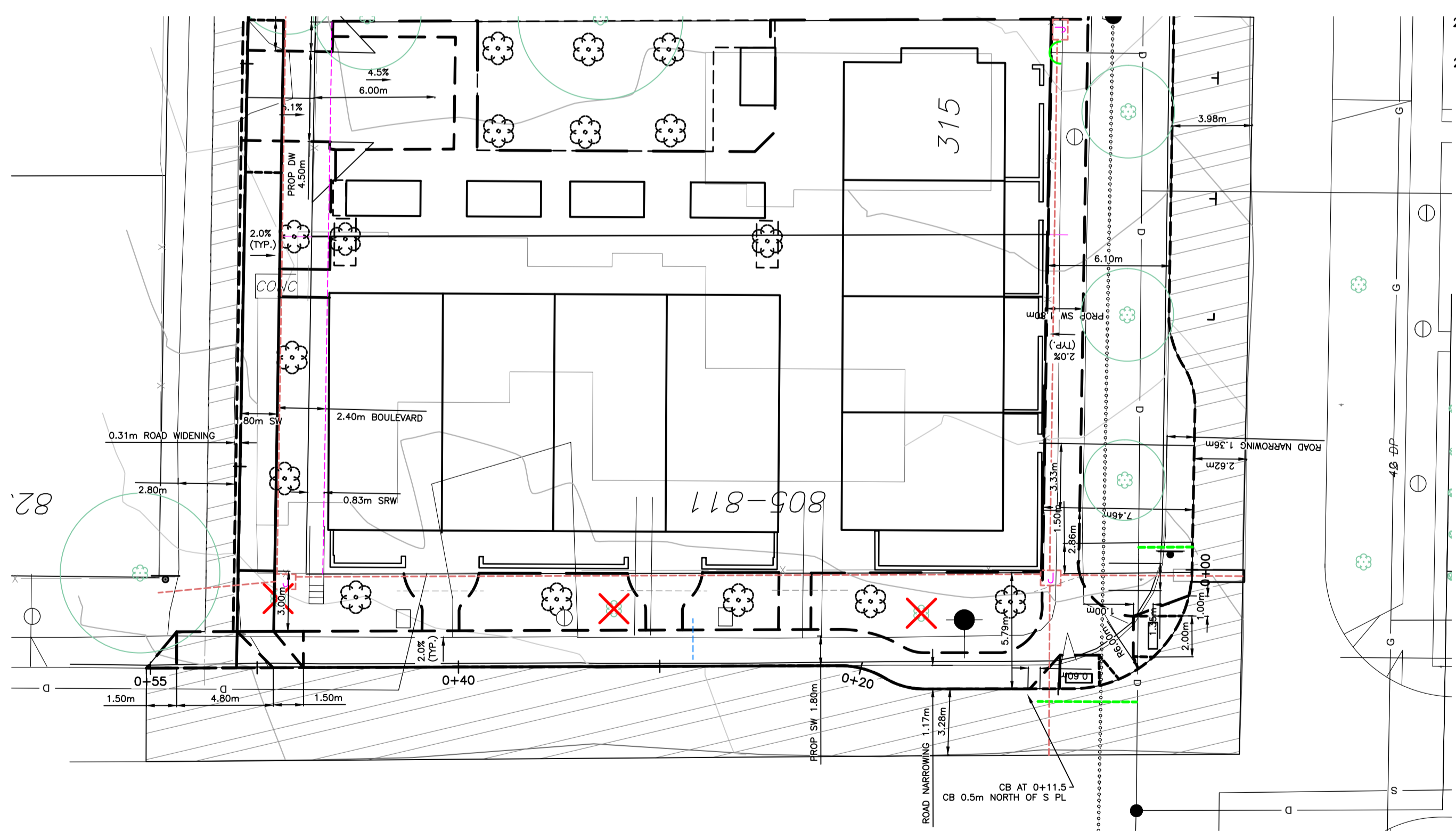
FILE No.	
DESIGN No.	
DRAWING No.	4 OF 8

THE CITY OF VICTORIA - January 29, 2026 / U:\CS1400 Customer Files\2025\Civil\CV25-33 Mary - Kalenchuk\03 EN-CN\040 Internal Drawings\00 Current\CV25-33 260121 Mary - Kalenchuk - Service Connections.dwg

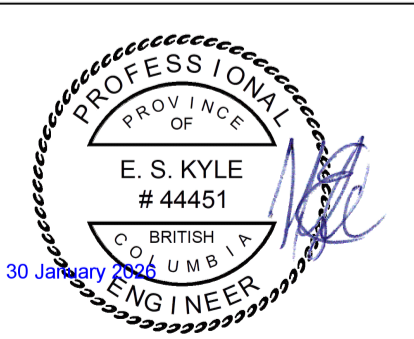
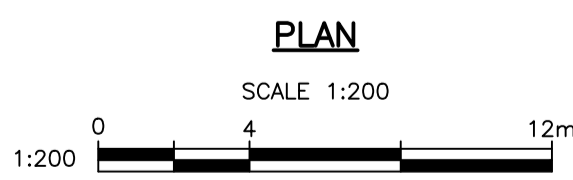
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Station	Elevation
0+062	26.62
0+060	26.63
0+055	25.863
0+050	26.01
0+045	26.008
0+040	26.154
0+035	26.29
0+030	26.296
0+025	26.418
0+020	26.51
0+015	26.518
0+010	26.62
0+005	26.671
0+002	26.705
0+000	26.738
0+000	26.805
0+000	26.86
0+000	27.011



MARY ST SECTION VIEWS
SCALE V 1:40 H 1:200



CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES
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LEGEND	
Existing Municipal Infrastructure	Drain — D —
Proposed Municipal Infrastructure	Ditch — D —
Existing External U/G Utilities	Sewer — S —
Proposed External U/G Utilities	Water — W —
Street Lighting Pole Mount	Standard Mount
Post Top	Pedestrian Signal
	Traffic Signal
	Ctrl Monument
	Troverse Hub
	Gas Valve
	Water Meter
	Curb
	Sidewalk
	Manhole
	Cleanout
	Silt Trap
	Cap / Plug
	Air Valve
	Valve
	Flush Valve
	Hydrant
	Reducer
	Valve
	Concrete Box
	Wood Box
	Catch Basin
	Culvert
	Cap / Plug
	Air Valve
	Water Meter

REVISIONS	
6	Concrete Box
5	Flush Valve
4	Hydrant
3	Reducer
2	Air Valve
1	Water Meter

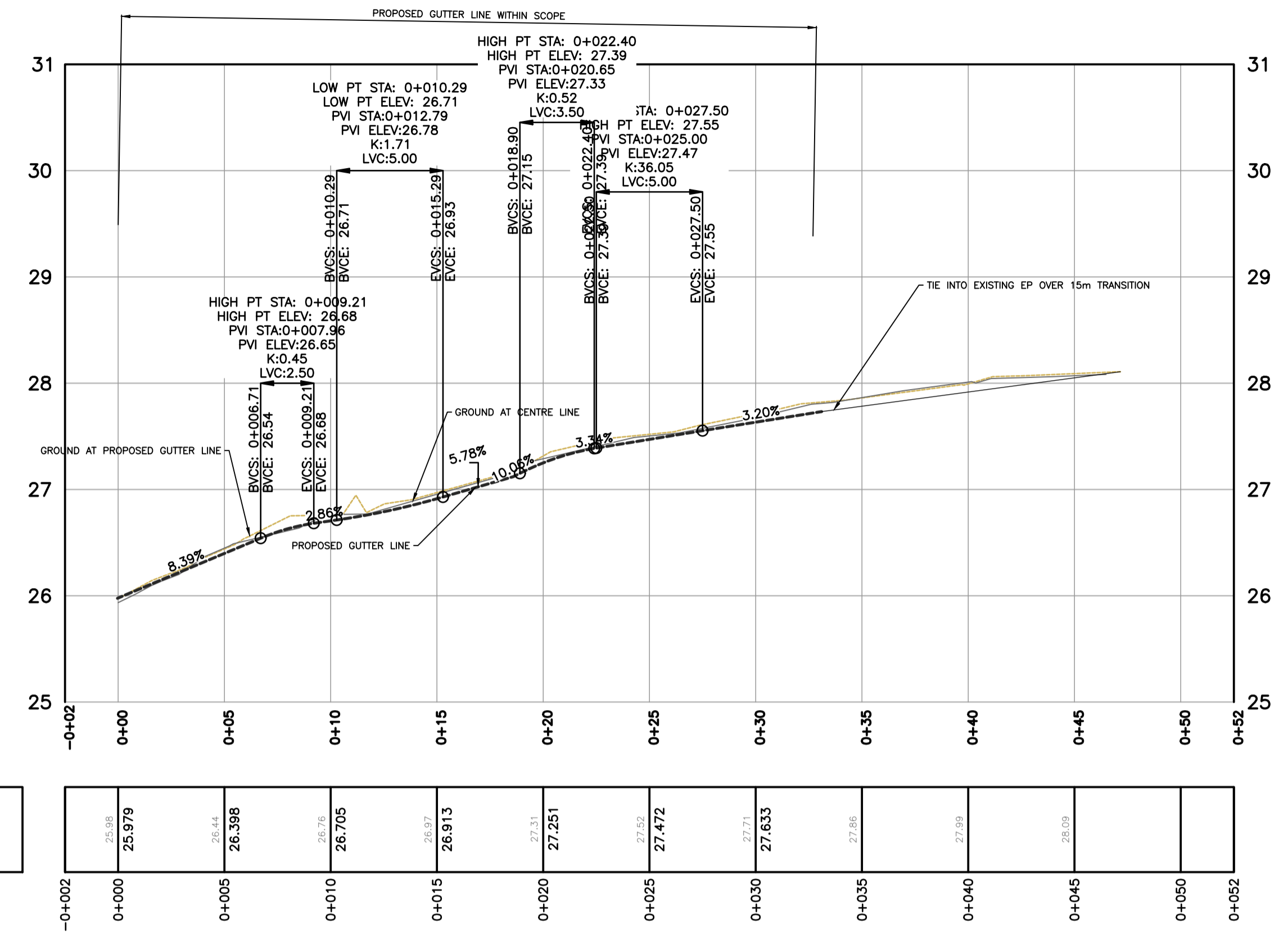
REVISIONS APPROVED								
REVISION # 1			REVISION # 2			REVISION # 3		
Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed
Design Engineer			Design Engineer			Design Engineer		
Manager of Development			Manager of Development			Manager of Development		
Development Coordinator			Development Coordinator			Development Coordinator		

DESIGN APPROVED		
Approved By	Date	Signed
Design Engineer		
Manager of Development		
Development Coordinator		

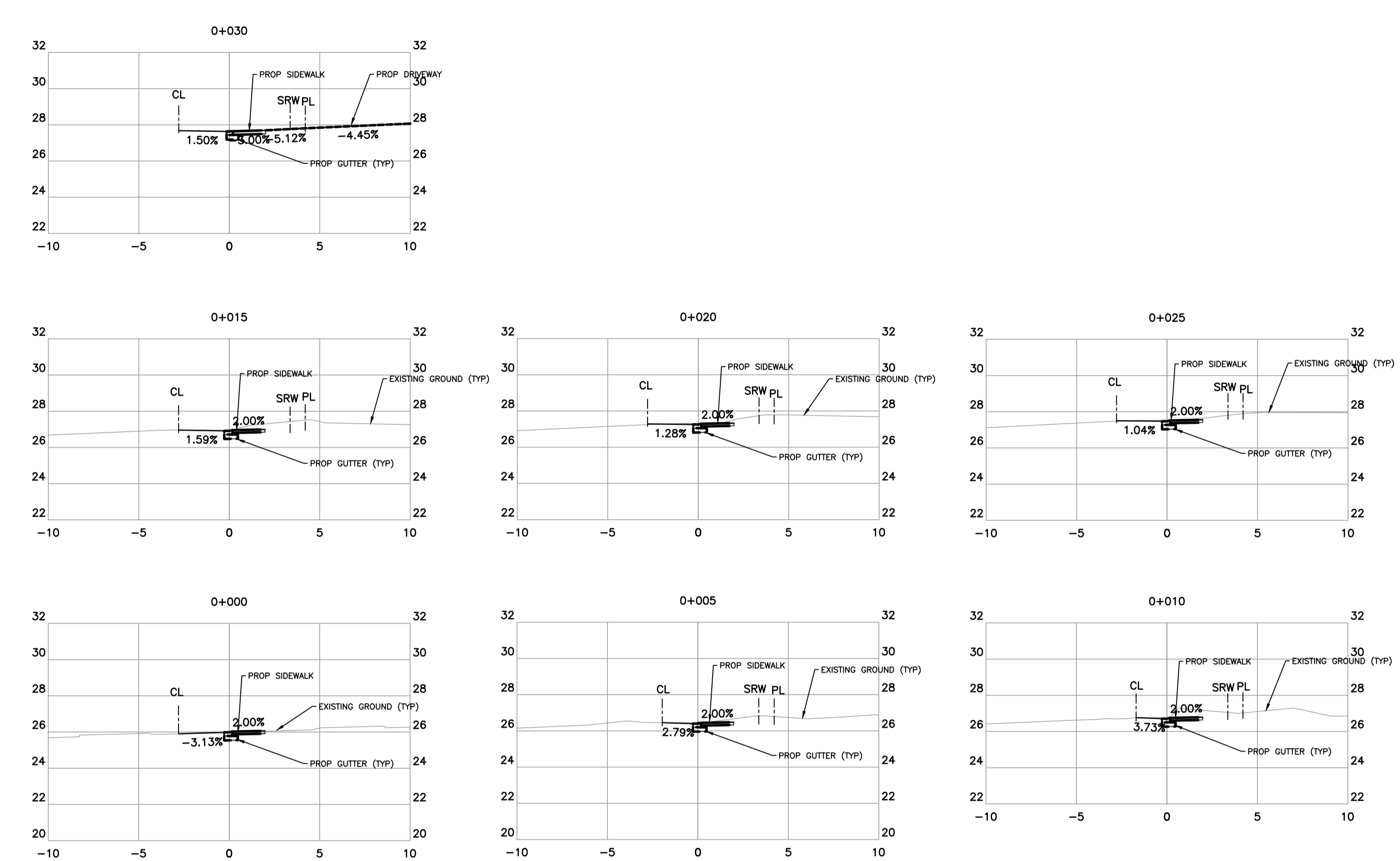
CITY OF VICTORIA			
811 MARY ST & 315 EDWARD ST			
MARY STREET			
B.M. : 18-12	Drawn: SJP	Elev: 26.587m	Checked: ESK
Scale: Hor: 1:200	Vertical: 1:40	Date: DEC 2025	

FILE No.	
DESIGN No.	
DRAWING No.	5 OF 8

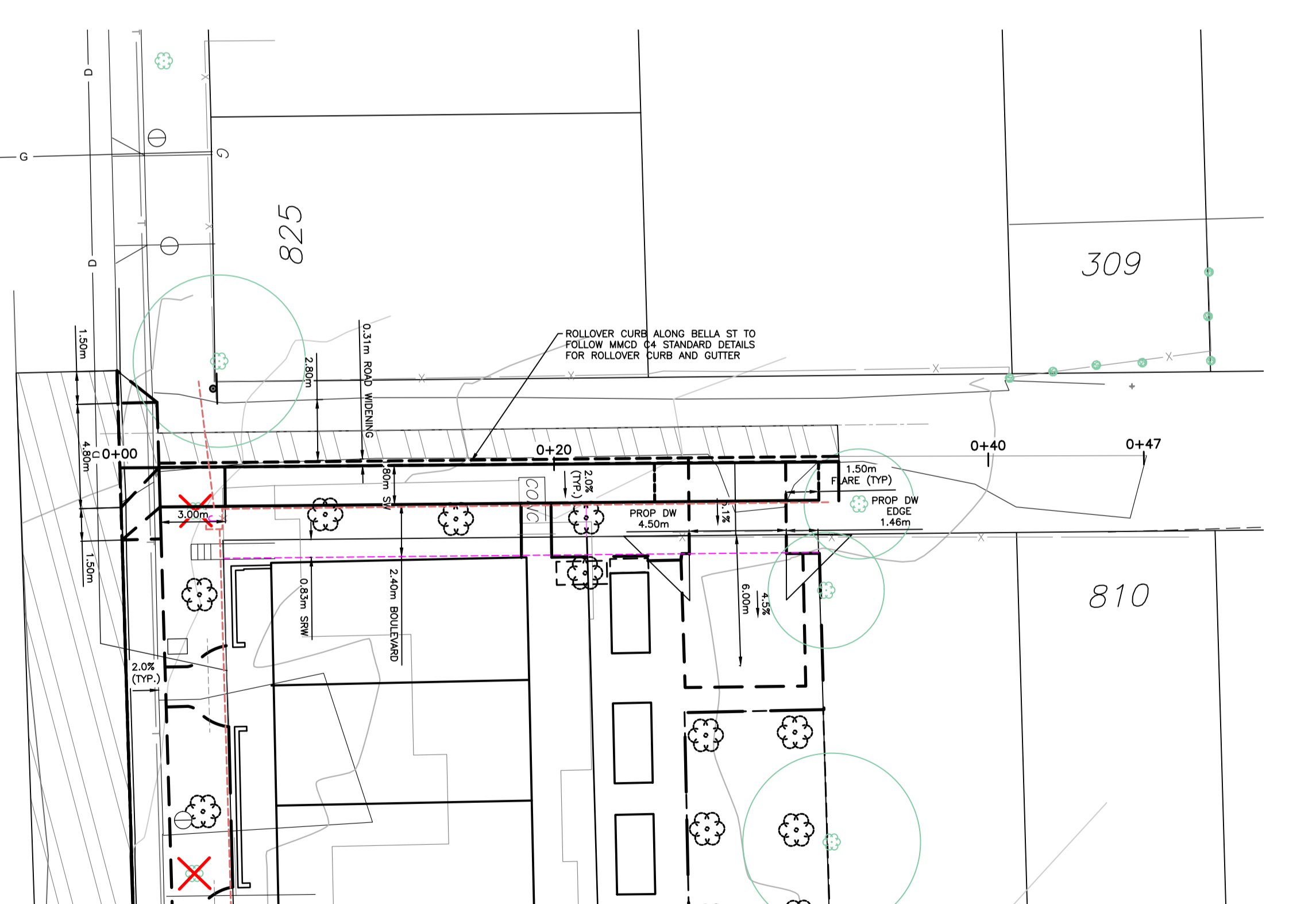
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BELLA ST PROFILE
SCALE V 1:40 H 1:200



BELLA ST SECTION VIEWS
SCALE V 1:40 H 1:200



PLAN
SCALE 1:200

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES
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LEGEND		REVISIONS	
Existing Municipal Infrastructure	Drain —D—	Curb —C—	Concrete Box
Proposed Municipal Infrastructure	Ditch —D—	Sidewalk —S/W—	Wood Box
Existing External U/G Utilities	Sewer —S—	Manhole	Catch Basin
Proposed External U/G Utilities	Water —W—	Cleanout	Culvert
Street Lighting	Pole Mount	Standard Mount	Traffic Sign
Post Top	Pedestrian Signal	Traffic Signal	Ctrl Monument
			Traverse Hub
			Gas Valve
			Water Meter

REVISIONS APPROVED								
REVISION # 1			REVISION # 2			REVISION # 3		
Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed
Design Engineer			Design Engineer			Design Engineer		
Manager of Development			Manager of Development			Manager of Development		
Development Coordinator			Development Coordinator			Development Coordinator		

DESIGN APPROVED		
Approved By	Date	Signed
Design Engineer		
Manager of Development		
Development Coordinator		

CITY OF VICTORIA			
811 MARY ST & 315 EDWARD ST			
BELLA STREET			
B.M. : 18-12	Drawn: SJP	Elev: 26.587m	Checked: ESK
Design: SJP	Scale: Hor: 1:200	Vertical: 1:40	Date: DEC 2025

