



1693 Fort Street
Victoria, B.C.



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Victoria BC Canada V8T 5K2

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Re-Zoning and Development
Permit Resubmission
September 07, 2022

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Contacts

Developer

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List of Drawings

Architectural

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- A0.1 Code Summary
- A0.2 Average Grade
- A0.3 Shadow Studies
- A0.4 Perspective Views
- A0.5 Perspective Views

- A1.0 Survey

- A2.0 Site Plan / L1 Floorplan
- A2.1 L2 & L3 Floorplan
- A2.2 L4 & L5 Floorplan
- A2.3 L6 Floorplan & Roof Plan

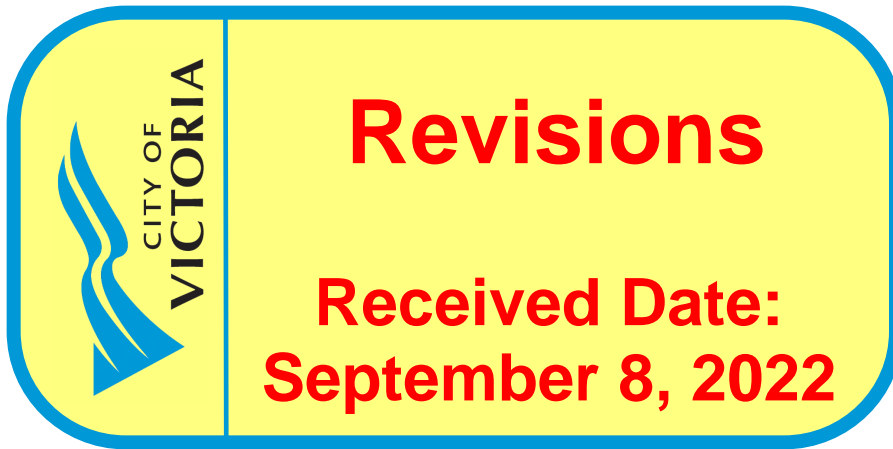
- A4.1 North & West Elevations & Materials
- A4.2 South & East Elevations & Materials
- A4.3 Building Sections
- A4.4 Context Elevations

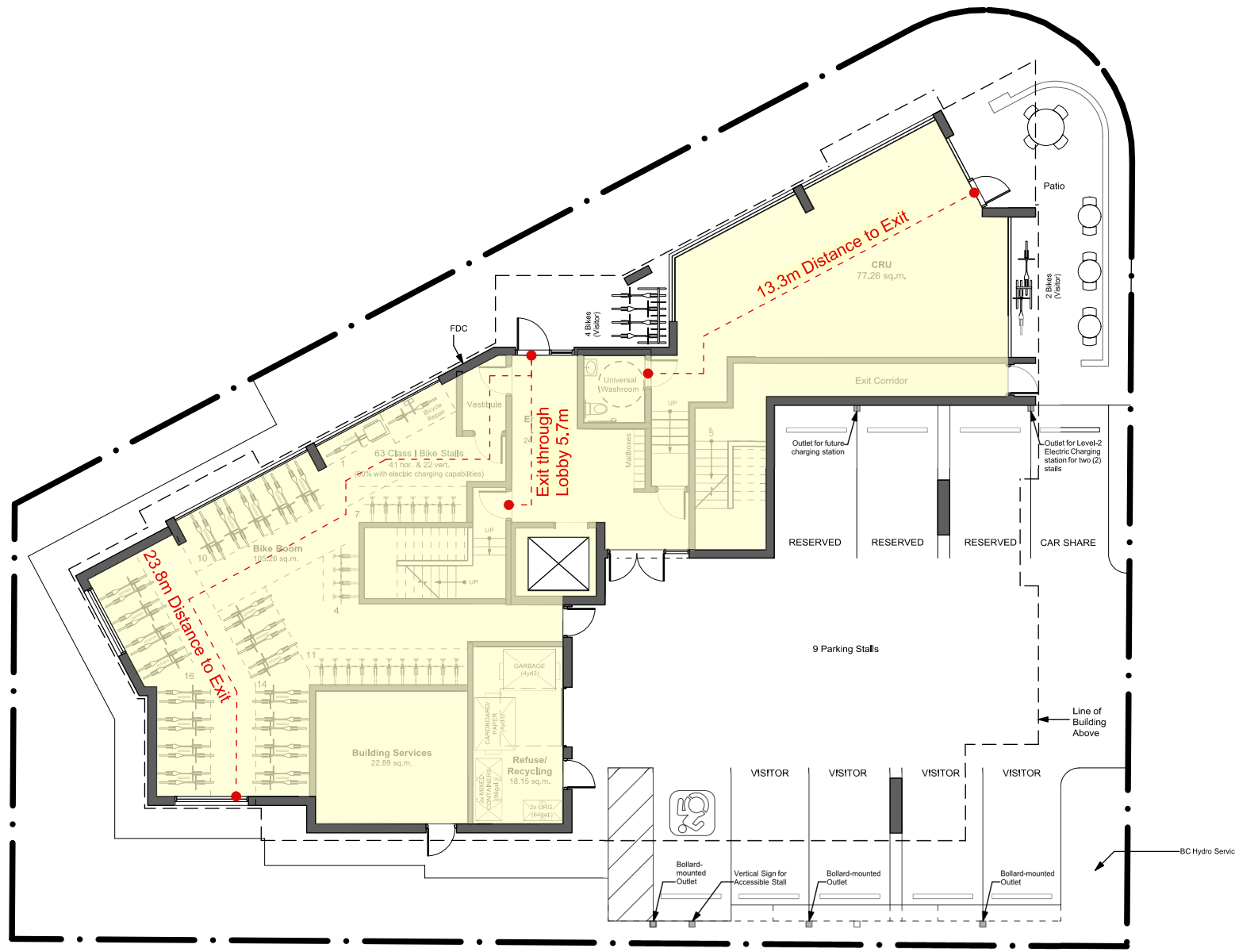
Landscape

- L0 Tree Removal and Protection Plan
- L1 Landscape Site Plan
- L2 Tree Planting Plan
- L3 Planting Plan

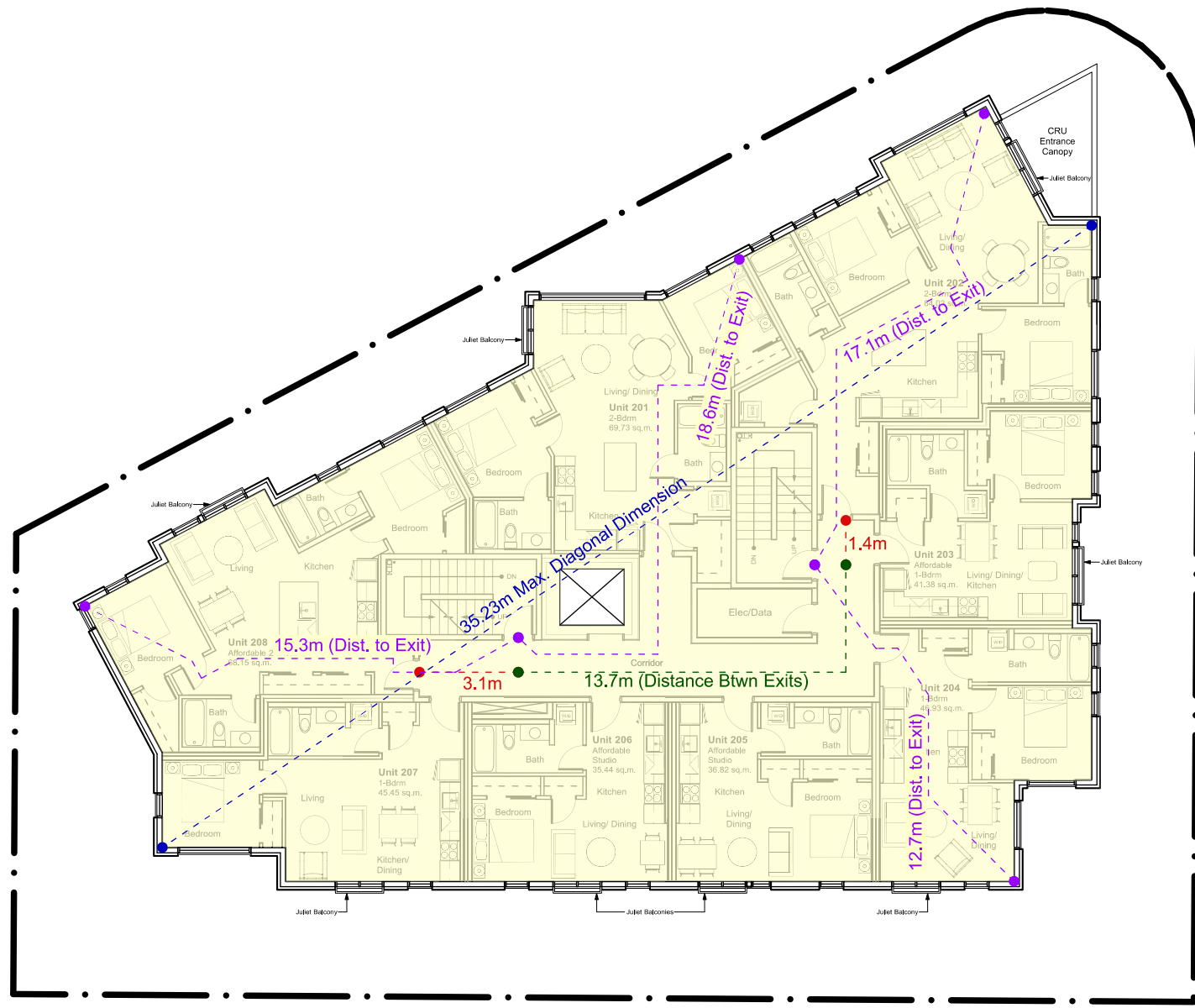
Civil

- C1 Conceptual Servicing Drawing

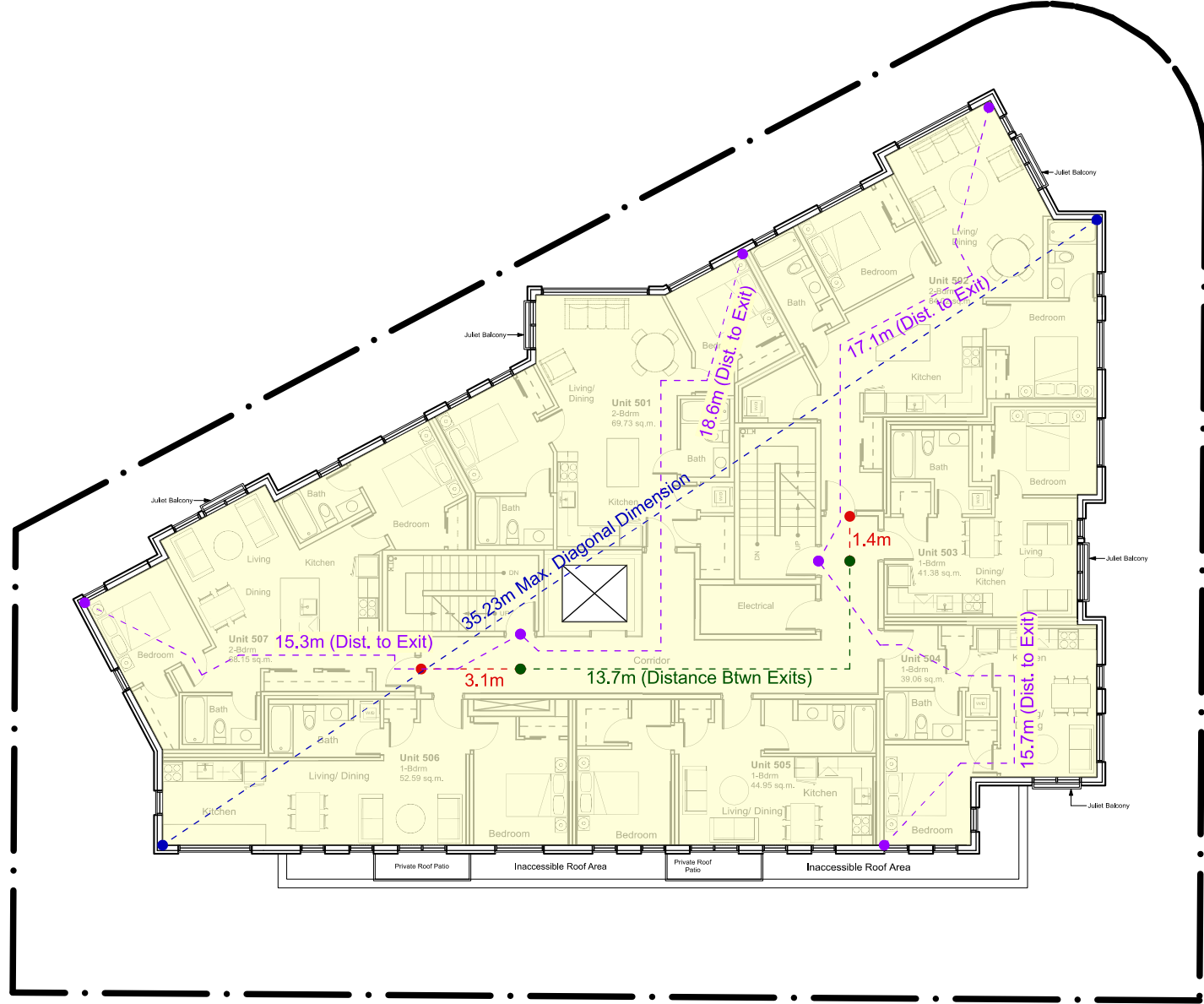




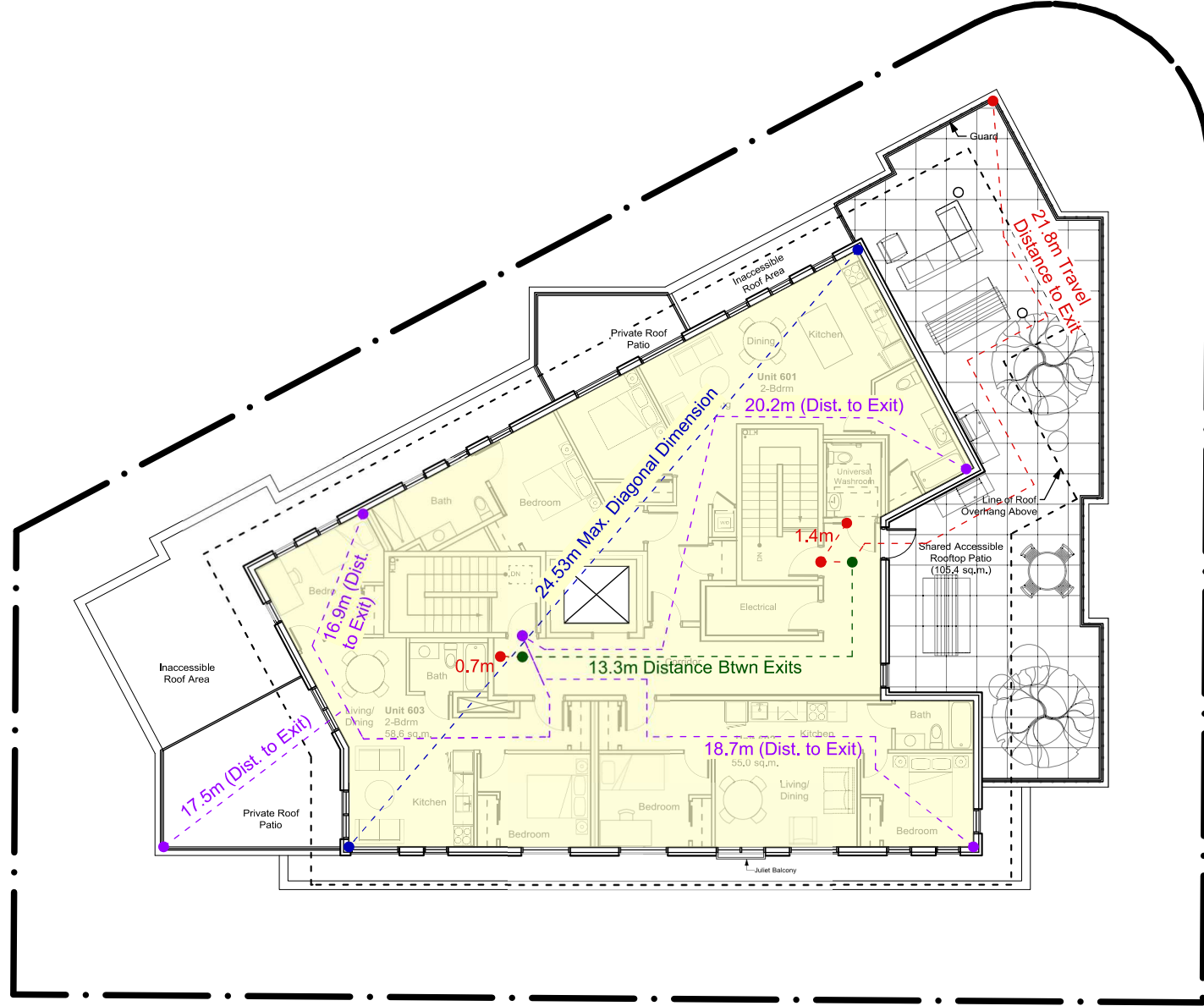
Level 1 - 323.694 sq.m.



Level 2 to Level 4 (Typical) - 538.366 sq.m.



Level 5 - 510.089 sq.m.



Level 6 - 297.016 sq.m.

Building Code Summary

NOTE: PROJECT DATA IS GOVERNED BY BCBC 2018

SUMMARY:

THE PROPOSED BUILDING WILL BE A 6-STOREY RESIDENTIAL DEVELOPMENT WITH ANCILLARY AT-GRADE PARKING & CRU USES IN VICTORIA, B.C. THE BUILDING WILL CONTAIN SIX (6) STOREYS OF WOOD FRAME CONSTRUCTION WITH RESIDENTIAL (GROUP C) AND COMMERCIAL (GROUP D) USE.

Governing Code
BCBC 2018 (unless otherwise indicated)

Governing Code Part
Division B Part 3

Major Occupancy Classification / Construction Type
Group C (Residential / Combustible)

Building Area
538.366 m2

Building Height
6 Storeys

Number of Dwelling Units
34 Dwelling Units

Building Code Classification
3.2.2.50 - Group C, up to 6 Storeys, Sprinklered

Sprinklers
To Be Provided (NFPA 13R for Residential)

Stand Pipes
To Be Provided

Fire Resistance Ratings
Roof: 1h
Floor / Occupied Roof: 1h
Load-bearing Walls/Columns: 1h

Fire Alarm
To Be Provided

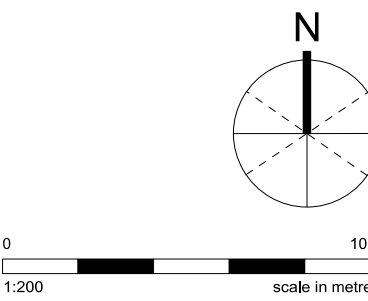
Central Station Monitoring
To Be Provided per 3.2.4.7 (4)

Emergency Lighting & Exit Signs
To Be Provided

Alternative Solutions
None Required



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8	Rezoning and DP	22/09/07
7	Rezoning and DP	22/07/11
6	Rezoning and DP	22/05/25
5	Rezoning and DP	22/03/14
4	Rezoning and DP	21/11/03
3	Rezoning and DP	21/05/11
2	Rezoning and DP	21/04/29
1	Rezoning and DP	21/01/22
0	Rezoning and DP	20/11/18
rev no	description	date

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project name

Rental Housing

1693 Fort Street

sheet title

Code Summary

project no. 20-17

drawing file 20-17 1693 Fort Street CURRENT.vwx

date issued September 07, 2022

scale As Noted

drawn by MZ

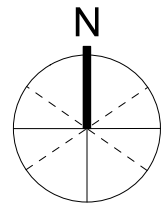
checked by ES

revision no. sheet no.

8 A0.1



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0 5m
1:100 scale in metres

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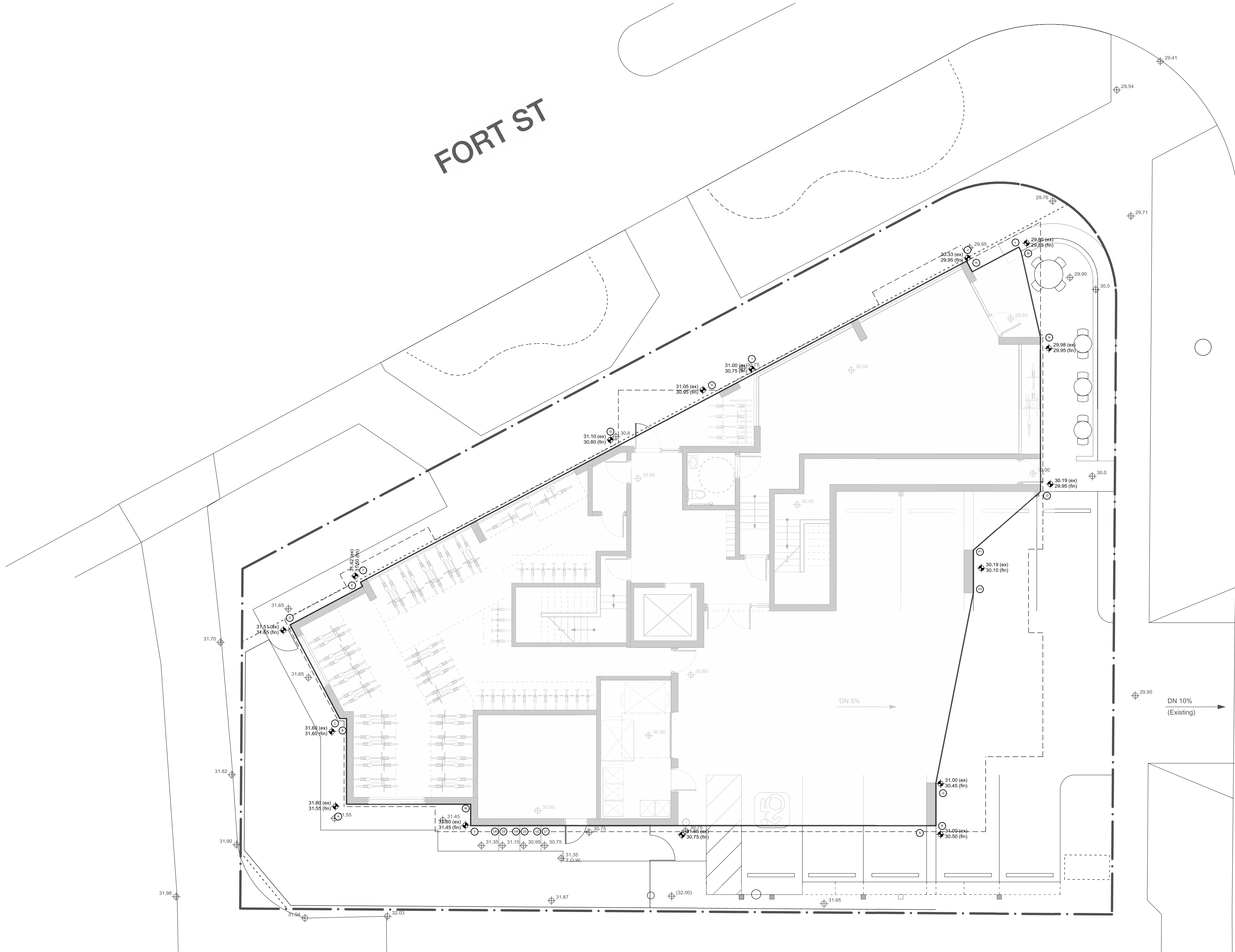
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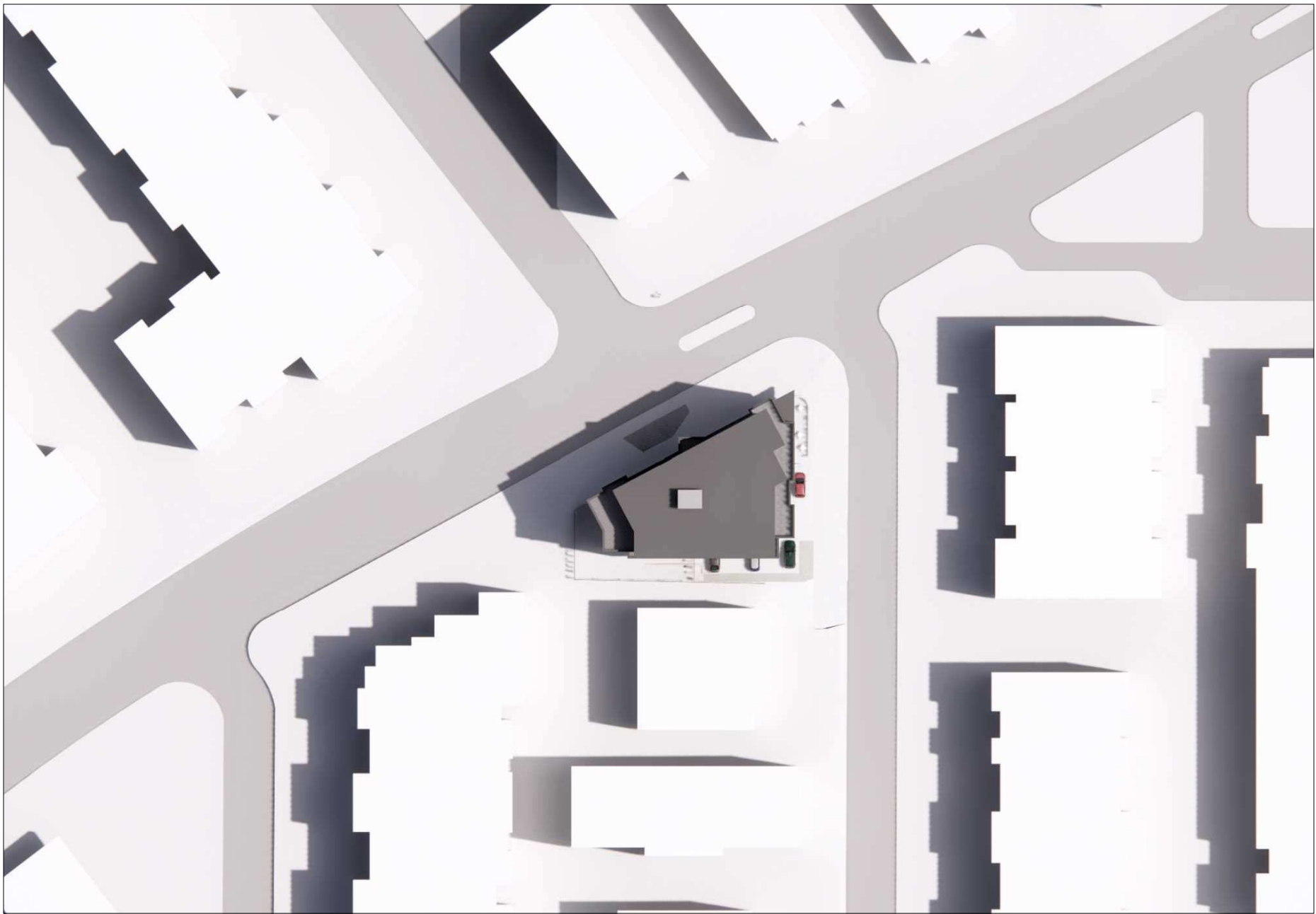
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Rental Housing	
1693 Fort Street	
sheet title	
Average Grade	
project no. 20-17	
drawing file 20-17 1693 Fort Street CURRENT.vwx	
date issued September 07, 2022	
scale As Noted	
drawn by MZ	
checked by ES	
revision no.	sheet no.
8	A0.2

1693 Fort Street - Student Housing
Project Data 2020-10-24 Average Grade = 30.607

ID	Grade (m)	Interval	Average Grade	Distance (m)	Subtotal
A	30.55	A-B	30.575	3.661	111.93508
B	30.6	B-C1	30.625	0.288	8.82
C	30.65	C-D	31.08	4.524	140.60592
D	31.51	D-E	31.465	3.504	110.25336
E	31.42	E-F	31.42	0.2	6.284
F	31.42	F-G	31.11	12.4	385.764
G	30.8	G-H	30.775	4.911	151.13603
H	30.75	H-I	30.725	1.699	52.201775
I	30.7	I-J	30.325	10.262	311.19515
J	29.95	J-K	29.95	0.515	15.42425
K	29.95	K-L	29.9	2.249	67.2451
L	29.85	L-M	29.85	0.2	5.97
M	29.85	M-N	29.9	3.766	112.6034
N	29.95	M-N	29.95	6.579	197.04105
O	29.95	N-O	30.025	3.8	114.095
P1	30.1	P1-P2	30.1	1.83	55.083
P2	30.1	P2-Q	30.275	8.26	250.0715
Q	30.45	Q-R	30.475	1.83	55.76925
R	30.5	R-S	30.5	0.4	12.2
S	30.5	S-T	30.625	10.602	324.68625
T	30.75	T-U	30.75	5.852	179.949
U1	30.75	U1-U2	30.85	0	0
U2	30.95	U2-U3	30.95	0.9	27.855
U3	30.95	U3-U4	31.05	0	0
U4	31.15	U4-U5	31.15	0.9	28.035
U5	31.15	U5-U6	31.25	0	0
U6	31.35	U6-V	31.4	1.2	37.68
V	31.45	V-W	31.45	0.915	28.77675
W	31.45	V-A	31	5.3	164.3
Subtotal			96.547		2954.9799



1 Average Grade Calculation
Scale 1:100



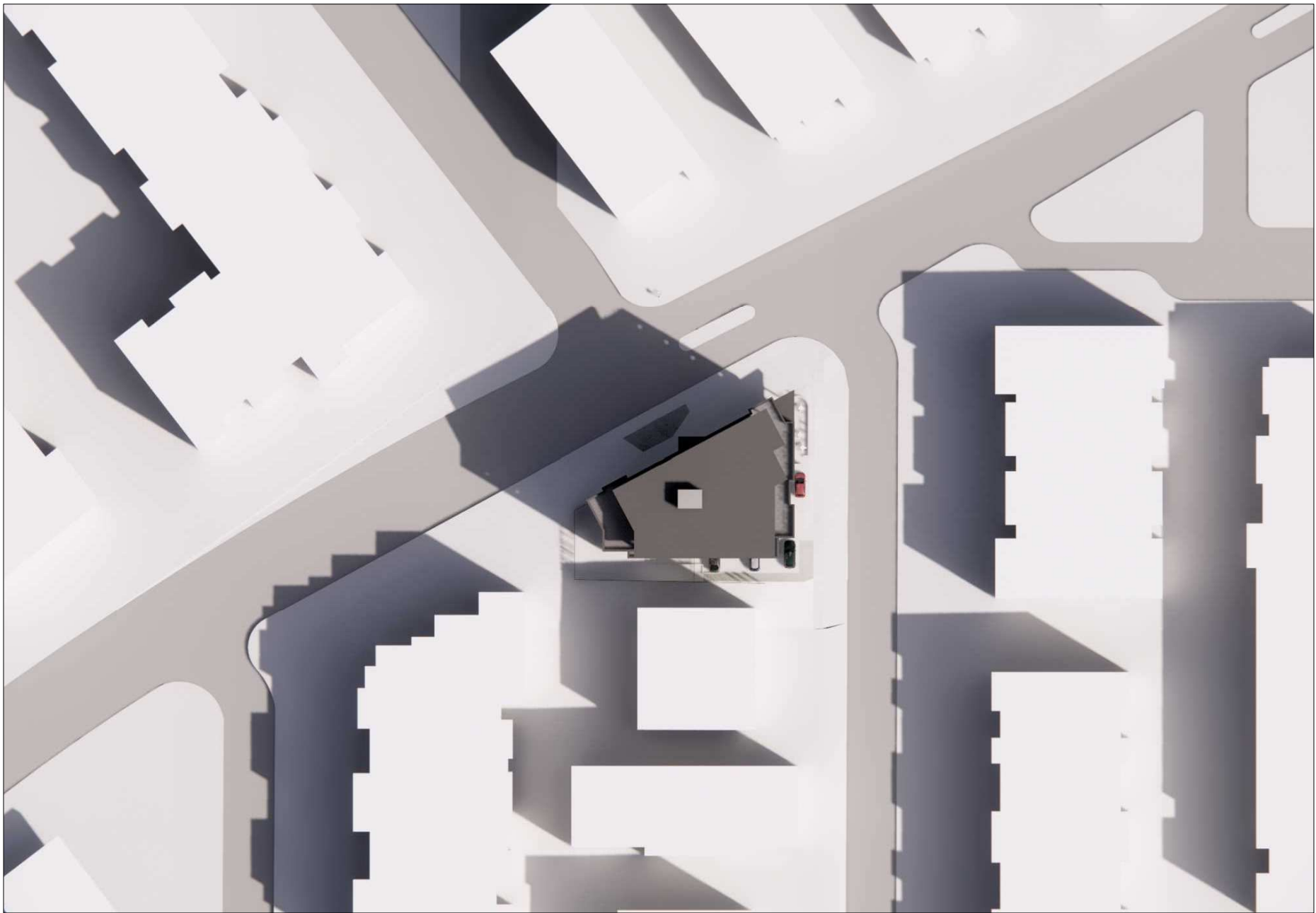
1 June 21 - 9:00am
Scale: NTS



2 June 21 - 12:00pm
Scale: NTS



3 June 21 - 5:00pm
Scale: NTS



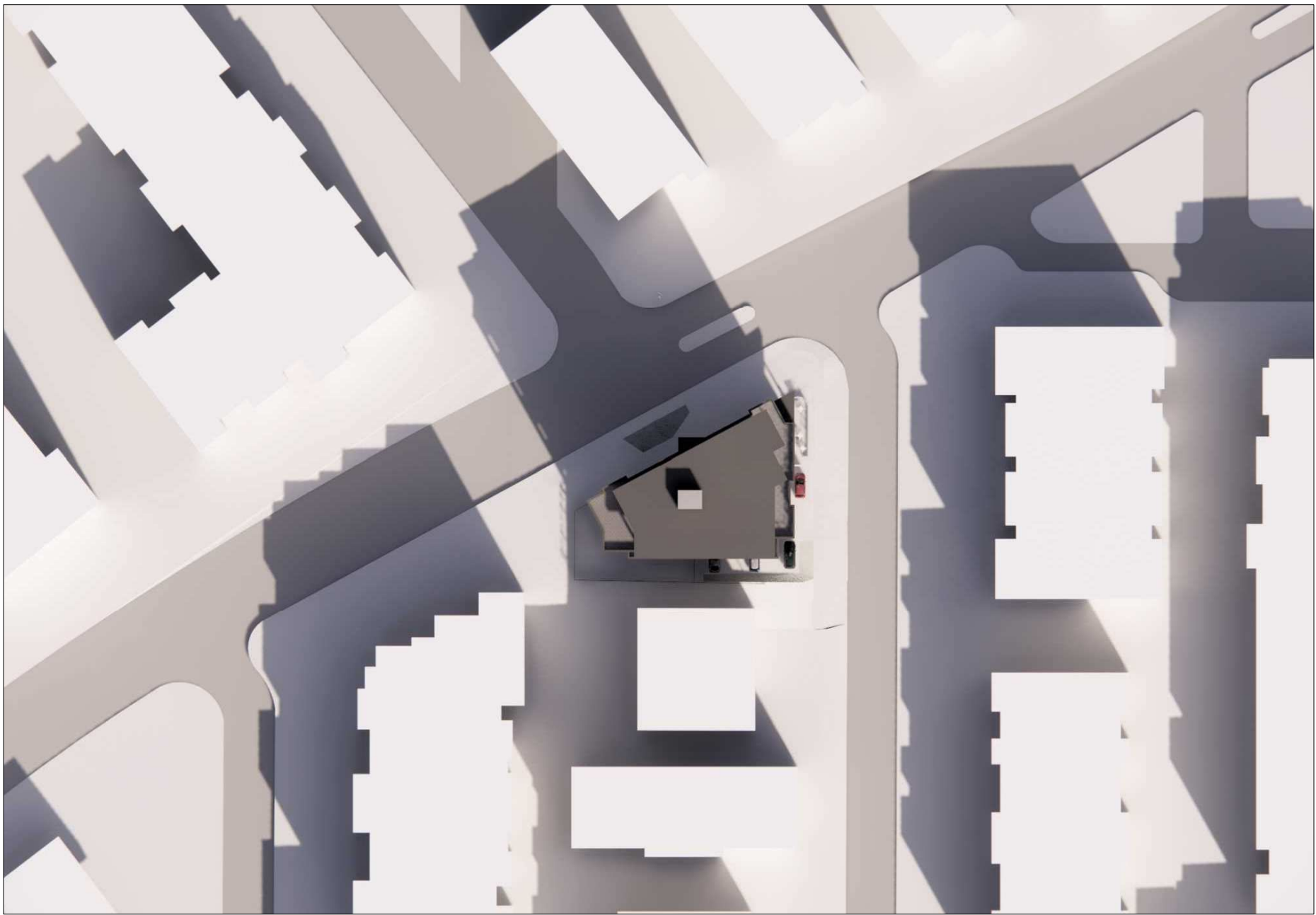
4 March/Sept 21 - 9:00am
Scale: NTS



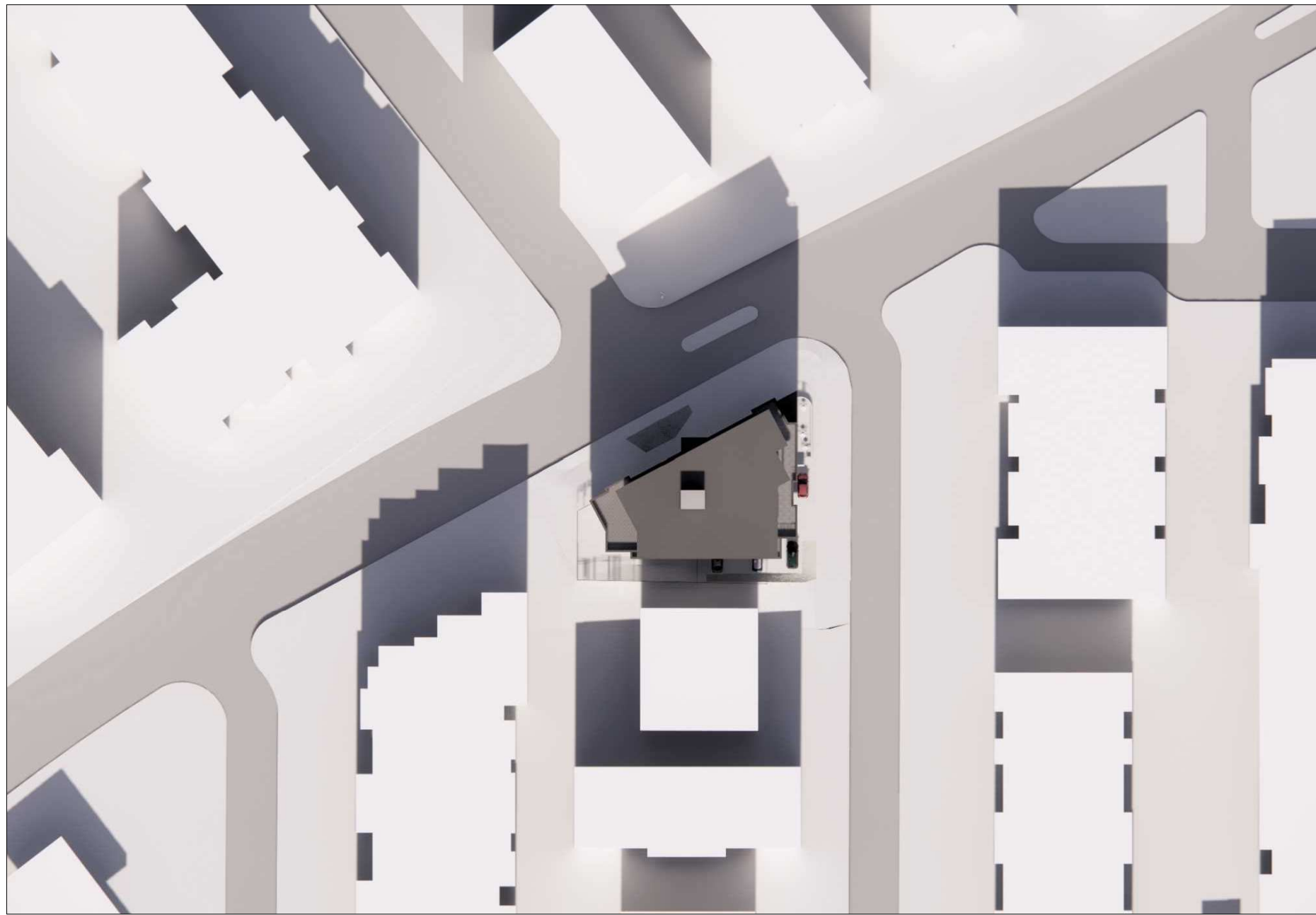
5 March/Sept 21 - 12:00pm
Scale: NTS



6 March/Sept 21 - 5:00pm
Scale: NTS



7 December 21 - 9:00am
Scale: NTS



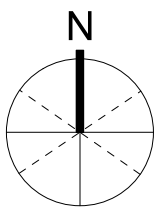
8 December 21 - 12:00pm
Scale: NTS



9 December 21 - 3:00pm
Scale: NTS



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1	Rezoning and DP	21/01/22
0	Rezoning and DP	20/11/18

rev no	description	date
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project name
Rental Housing
1693 Fort Street

sheet title
Shadow Studies

project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	September 07, 2022
scale	As Noted
drawn by	MZ
checked by	ES

revision no.	sheet no.
8	A0.3

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1 View from Northeast
Scale: NTS



2 **View from Northwest**
Scale: NTS



2 View from Southeast
Scale: NTS

8	Rezoning and DP	22/09/2022
7	Rezoning and DP	22/07/2022
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5	Rezoning and DP	22/03/2022
4	Rezoning and DP	21/11/2021
3	Rezoning and DP	21/05/2021
2	Rezoning and DP	21/04/2021
1	Rezoning and DP	21/01/2021
0	Rezoning and DP	20/11/2020
rev no	description	date
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project name		
Rental Housing		
1693 Fort Street		
sheet title		
Perspective Views		
project no.		
20-11		
drawing file		
20-17 1693 Fort Street CURRENT.vw		
date issued		
September 07, 2022		
scale		
As Noted		
drawn by		
M2		
checked by		
E3		
revision no.		sheet no.
		A0.4



1 View from East
Scale: NTS



2 View from Northwest
Scale: NTS



3 View from Southwest
Scale: NTS



4 View from North
Scale: NTS

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0	Rezoning and DP	20/11/18
rev no	description	date
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project name		
Rental Housing		
1693 Fort Street		
sheet title		
Perspective Views		
project no. 20-17		
drawing file 20-17 1693 Fort Street CURRENT.vwx		
date issued September 07, 2022		
scale As Noted		
drawn by MZ		
checked by ES		
revision no.		sheet no.
8		A0.5

8	Rezoning and DP	22/09/01
7	Rezoning and DP	22/07/11
6	Rezoning and DP	22/05/21
5	Rezoning and DP	22/03/11
4	Rezoning and DP	21/11/01
3	Rezoning and DP	21/05/11
2	Rezoning and DP	21/04/21
1	Rezoning and DP	21/01/21
0	Rezoning and DP	20/11/11

rev no	description	date
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project name

Rental Housing

1693 Fort Street

Survey

project no.	20-17
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drawing file 20-17 1693 Fort Street CURRENT.wdw


date issued September 07, 2022

scale	As Noted
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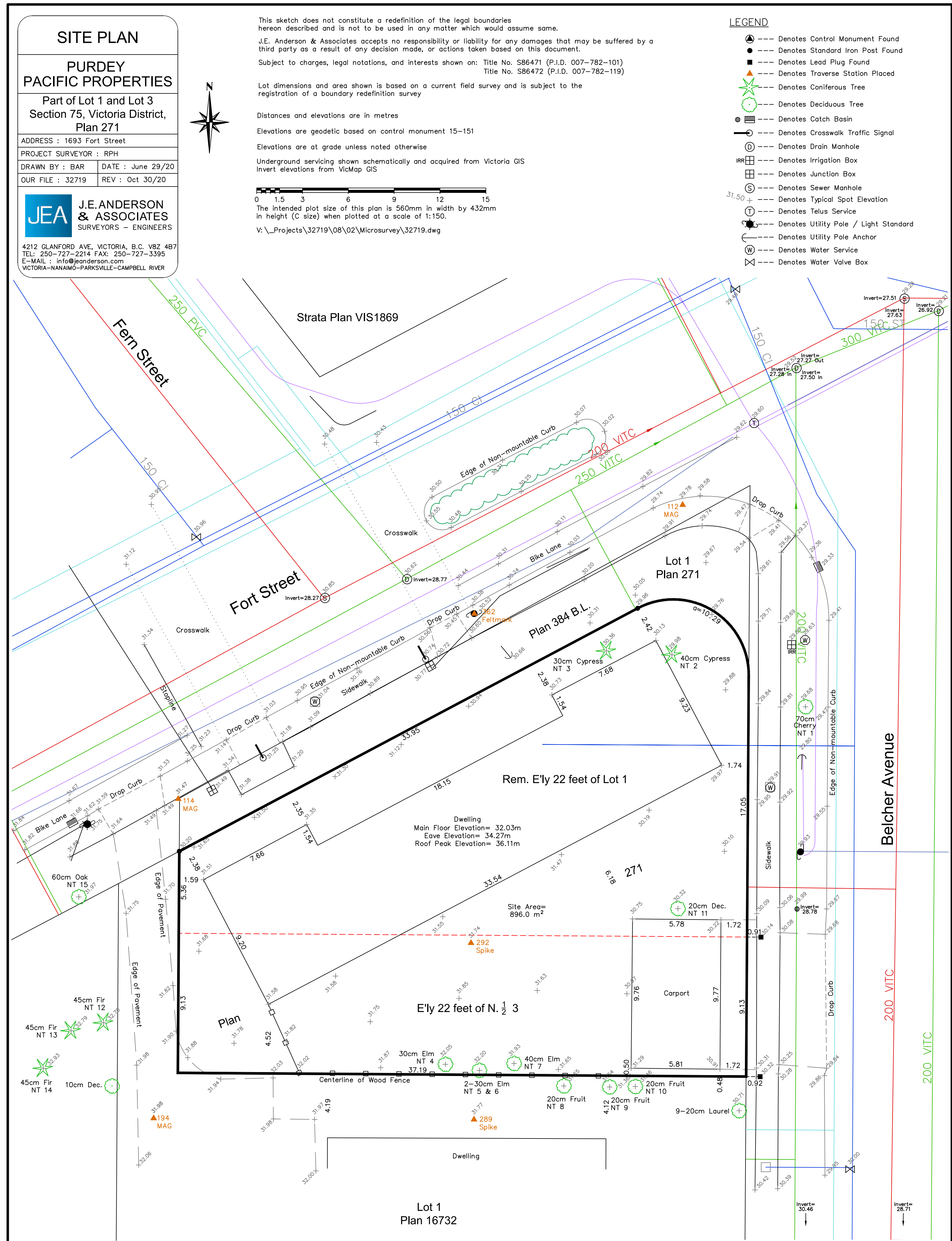
drawn by MZ

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revision no.	sheet no.
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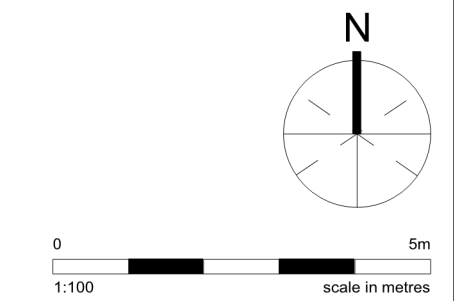
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- NOTES:
- General information, dimensions & specifications on these drawings are subject to confirmation and are not to be used as part of construction contract documentation.
 - Refer to landscape architectural drawings for paving and plant materials information.



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0	Rezoning and DP	20/11/18

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project name
Rental Housing

1693 Fort Street

sheet title
Site Plan / L1 Floorplan

project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	September 07, 2022
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

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A2.0

Project Information Table	
Zone (existing)	R3-2
Proposed zone or site specific zone	Site Specific
Site area (m2)	896
Total floor area (m2)	2456.70
Commercial floor area (m2)	77.26
Floor space ratio	2.74
Site Coverage (%)	61.15%
Open site space (%)	30.43%
Height of building (m)	19.72
Number of storeys	6
Parking stalls (number) on site	9
Bicycle parking number (Class 1 & 2)	Class 1 = 63 Class 2 = 6
Building Setbacks (m)	
Front yard	0.771
Rear yard	3.36
Side yard (Flanking Street)	3.025
Side yard (Interior)	1.615
Combined side yards	4.84
Residential Use Details	
Total number of units	34
Unit type, e.g., 1 bedroom	Studio, 1-Bdrm and 2-Bdrm
Ground-oriented units	None
Minimum unit floor area (m2)	35.44
Total residential floor area (m2)	2379.44

SCHEDULE C PARKING CALCULATIONS					
Vehicle Parking Calculations (Residential)					
Unit Area	Pkg Rate	Qty	LT	ST	
< 45 sq.m. (Market)	0.6	9	5.4	0.9	
< 45 sq.m. (Affordable)	0.2	3	0.6	0.3	
45 to 70 sq.m. (Market)	0.7	16	11.2	1.6	
45 to 70 sq.m. (Affordable)	0.5	1	0.5	0.1	
> 70 sq.m. (Market)	1.1	5	5.5	0.5	
Totals			23.2	3.4	
Vehicle Parking Calculations (Commercial)					
Use	Pkg Rate	Area	ST		
Services/Store	1 per 40 sq.m.	77.3 sq.m.	1.9		
Totals			1.9		
Bicycle Parking Calculations (Residential)					
Unit Area	Pkg Rate	Qty	LT	ST	
< 45 sq.m.	1.0	12	12	1.2	
> 45 sq.m.	1.25	22	27.5	2.2	
Totals			39.5	3.4	
Bicycle Parking Calculations (Commercial)					
Stall Type	Pkg Rate	Qty	LT	ST	
Long Term	1 per 400 sq.m.	77.3	0.2		
Short Term	1 per 100 sq.m.	77.3		0.8	
Totals			0.2	0.8	

30 Market Rentals + 4 Affordable Rentals
+ CRU - Urban Village



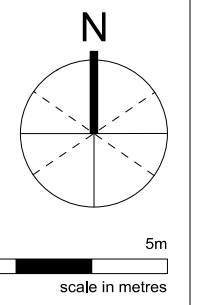
STREET FRONTAGE: LARGEST INSCRIBED RECTANGLE THAT IS, ON AVERAGE, NEAREST TO THE STREET - PER GENERAL REGULATION 27(1)



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project name
Rental Housing

1693 Fort Street

sheet title
L2 & L3 Floorplans

project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	September 07, 2022
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

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A2.1



1 **L2 Floorplan**
Scale 1:100

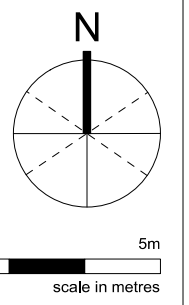
2 **L3 Floorplan**
Scale 1:100



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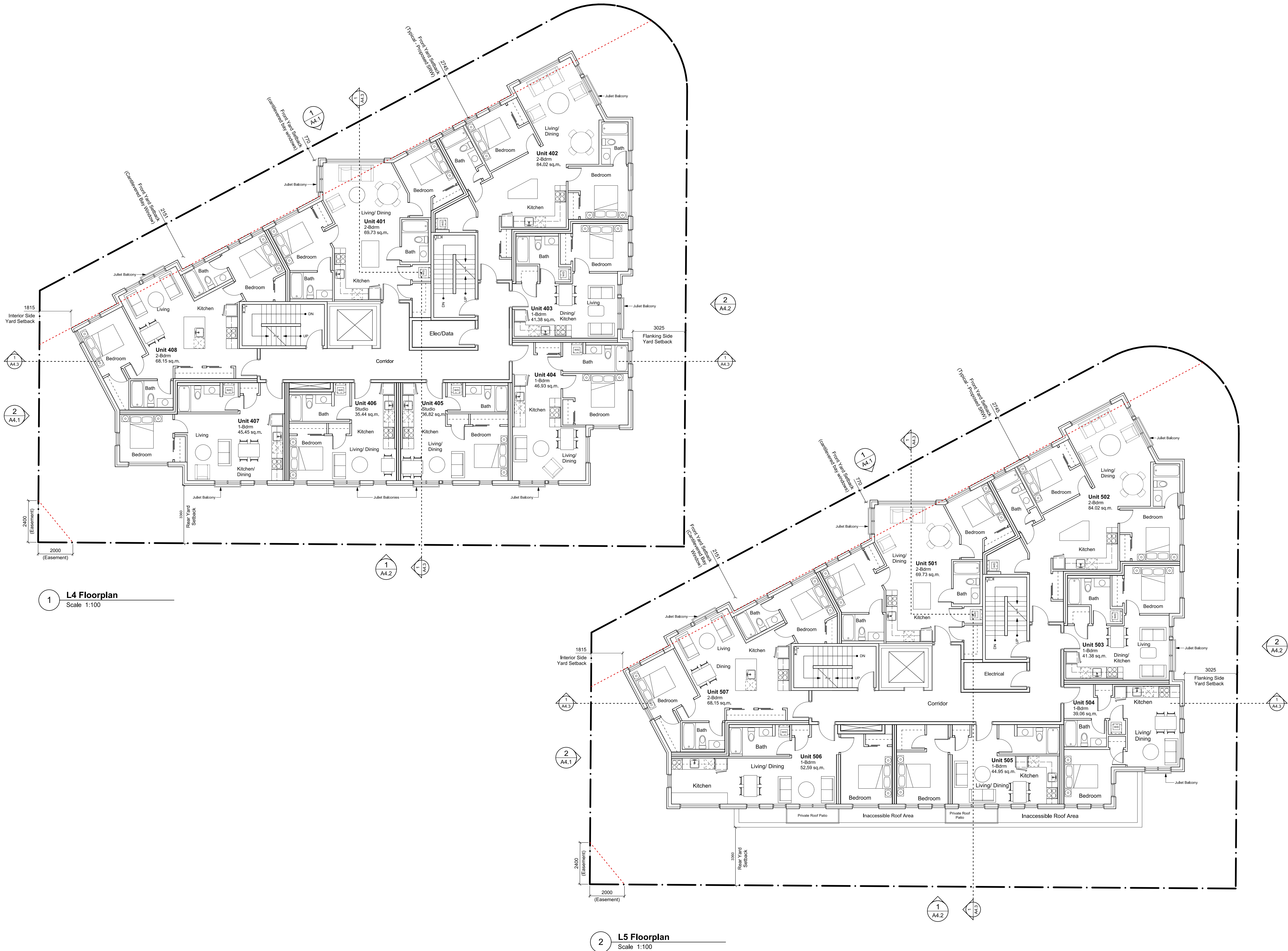
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project name
Rental Housing
1693 Fort Street

sheet title
L4 & L5 Floorplans

project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	September 07, 2022
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

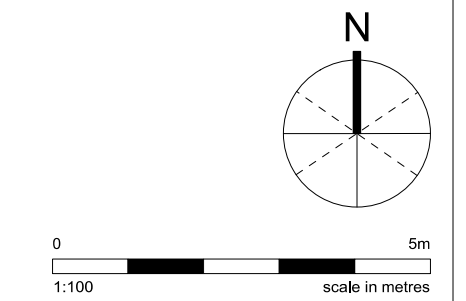
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- NOTES:
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 - Refer to landscape architectural drawings for paving and plant materials information.
 - Unit 601 conforms to BCBC 2018 accessible design requirements.



8	Rezoning and DP	22/09/07
7	Rezoning and DP	22/07/11
6	Rezoning and DP	22/05/25
5	Rezoning and DP	22/03/14
4	Rezoning and DP	21/11/03
3	Rezoning and DP	21/05/11
2	Rezoning and DP	21/04/29
1	Rezoning and DP	21/01/22
0	Rezoning and DP	20/11/18
rev no	description	date

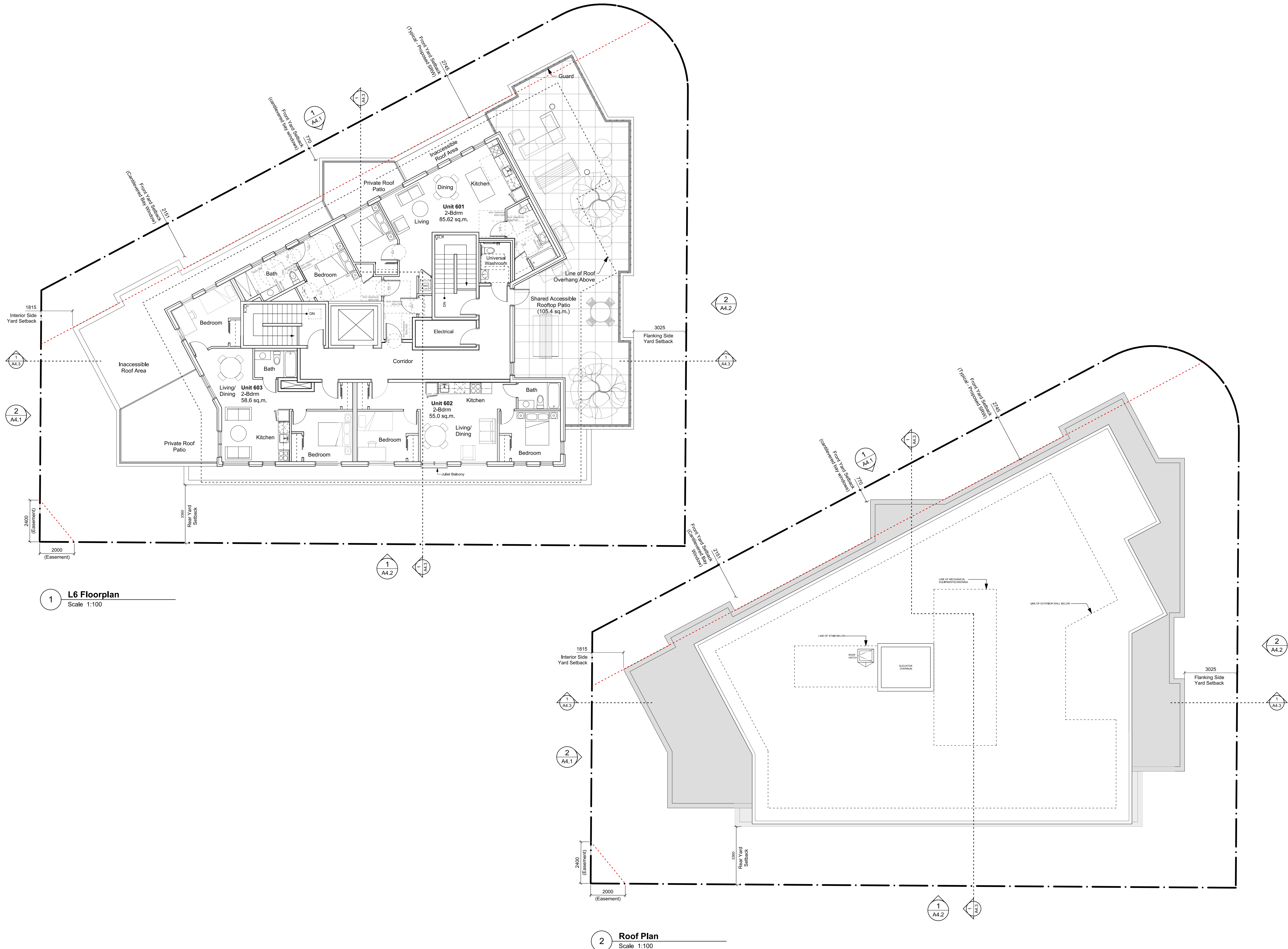
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project name
Rental Housing
1693 Fort Street

sheet title
L6 & Roof Floorplans

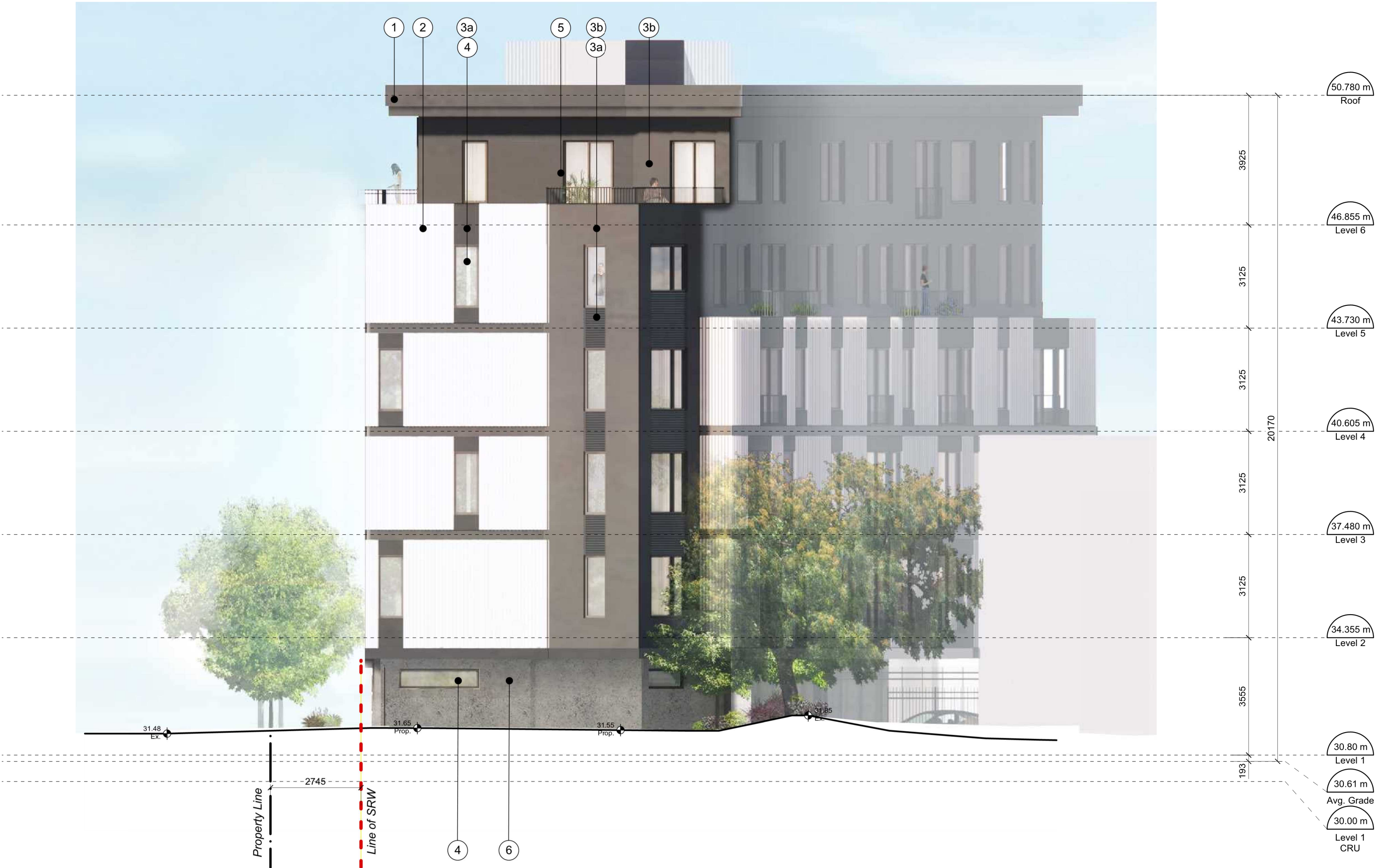
project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	September 07, 2022
scale	As Noted
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revision no.	sheet no.

8
A2.3



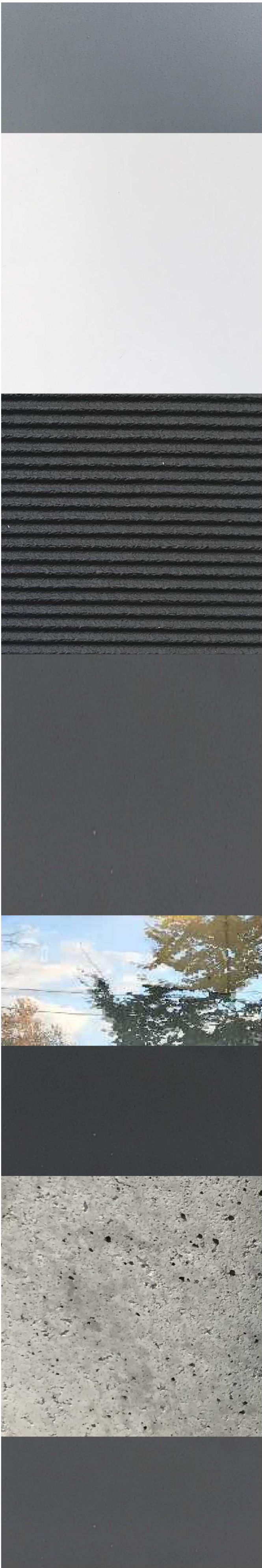


1 North Elevation
Scale 1:100



2 West Elevation
Scale 1:100

Material Examples



Finish Legend

- 1 Pre-finished Metal 'Weathered Zinc' (Mechanical Screen, Flashings and Parapets)
- 2 Corrugated Metal Cladding 'Surf White' (L2-L5 only)
- 3a Charcoal Ceraclad 'Zen Garden' (L2-L5 Only)
- 3b Charcoal Ceraclad 'Smooth' (L5-L6 Only)
- 4 Glazing
- 5 Black Vinyl Window Frames (L1 to L6)
- 6 Exposed Concrete (Ground Level Only)
- 7 Painted Metal Picket Guard

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0 5m
1:100 scale in metres

rev no	description	date
8	Rezoning and DP	22/09/07
7	Rezoning and DP	22/07/11
6	Rezoning and DP	22/05/25
5	Rezoning and DP	22/03/14
4	Rezoning and DP	21/11/03
3	Rezoning and DP	21/05/11
2	Rezoning and DP	21/04/29
1	Rezoning and DP	21/01/22
0	Rezoning and DP	20/11/18

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project name
Rental Housing

1693 Fort Street

sheet title
Elevations - North and West

project no. 20-17
drawing file 20-17 1693 Fort Street CURRENT.vwx
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sheet no. A4.1



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8	Rezoning and DP	22/09/07
7	Rezoning and DP	22/07/11
6	Rezoning and DP	22/05/25
5	Rezoning and DP	22/03/14
4	Rezoning and DP	21/11/03
3	Rezoning and DP	21/05/11
2	Rezoning and DP	21/04/29
1	Rezoning and DP	21/01/22
0	Rezoning and DP	20/11/18

rev no	description	date
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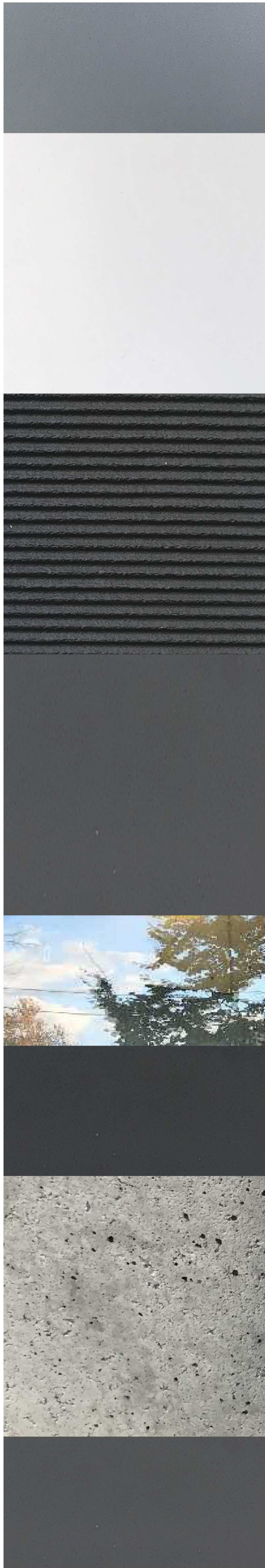
project name
Rental Housing
1693 Fort Street

sheet title
Elevations - South and East

project no. 20-17
drawing file 20-17 1693 Fort Street CURRENT.vwx
date issued September 07, 2022
scale As Noted
drawn by MZ
checked by ES
revision no. sheet no.

8
A4.2

Material Examples



Finish Legend

- 1 Pre-finished Metal 'Weathered Zinc' (Mechanical Screen, Flashings and Parapets)
- 2 Corrugated Metal Cladding 'Surf White' (L2-L5 only)
- 3a Charcoal Ceraclad 'Zen Garden' (L2-L5 Only)
- 3b Charcoal Ceraclad 'Smooth' (L5-L6 Only)
- 4 Glazing
- 5 Black Vinyl Window Frames (L1 to L6)
- 6 Exposed Concrete (Ground Level Only)
- 7 Painted Metal Picket Guard



1 South Elevation
Scale 1:100



2 East Elevation
Scale 1:100



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1	Rezoning and DP	21/01/22
0	Rezoning and DP	20/11/18

rev no	description	date
8	Rezoning and DP	22/09/07

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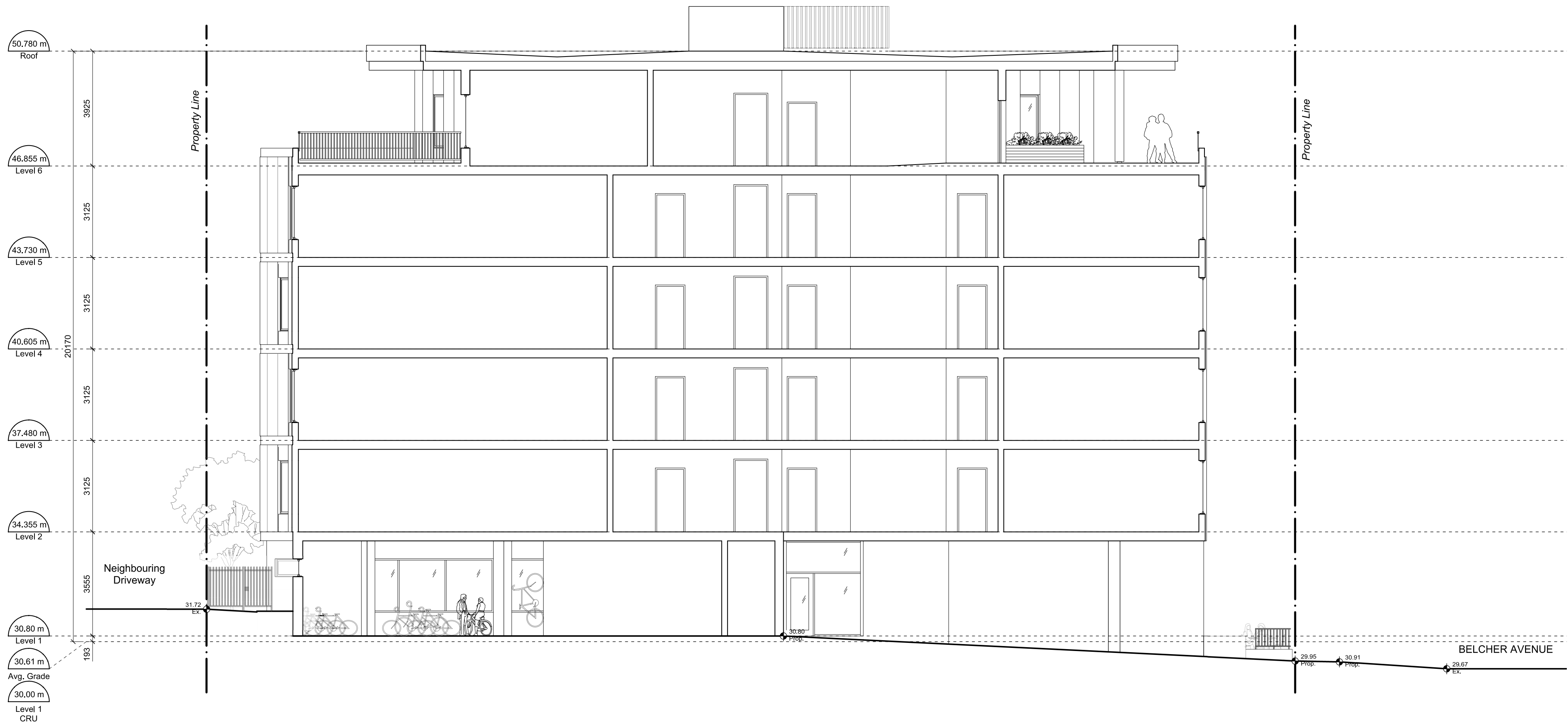
project name
Rental Housing
1693 Fort Street

sheet title
Building Sections

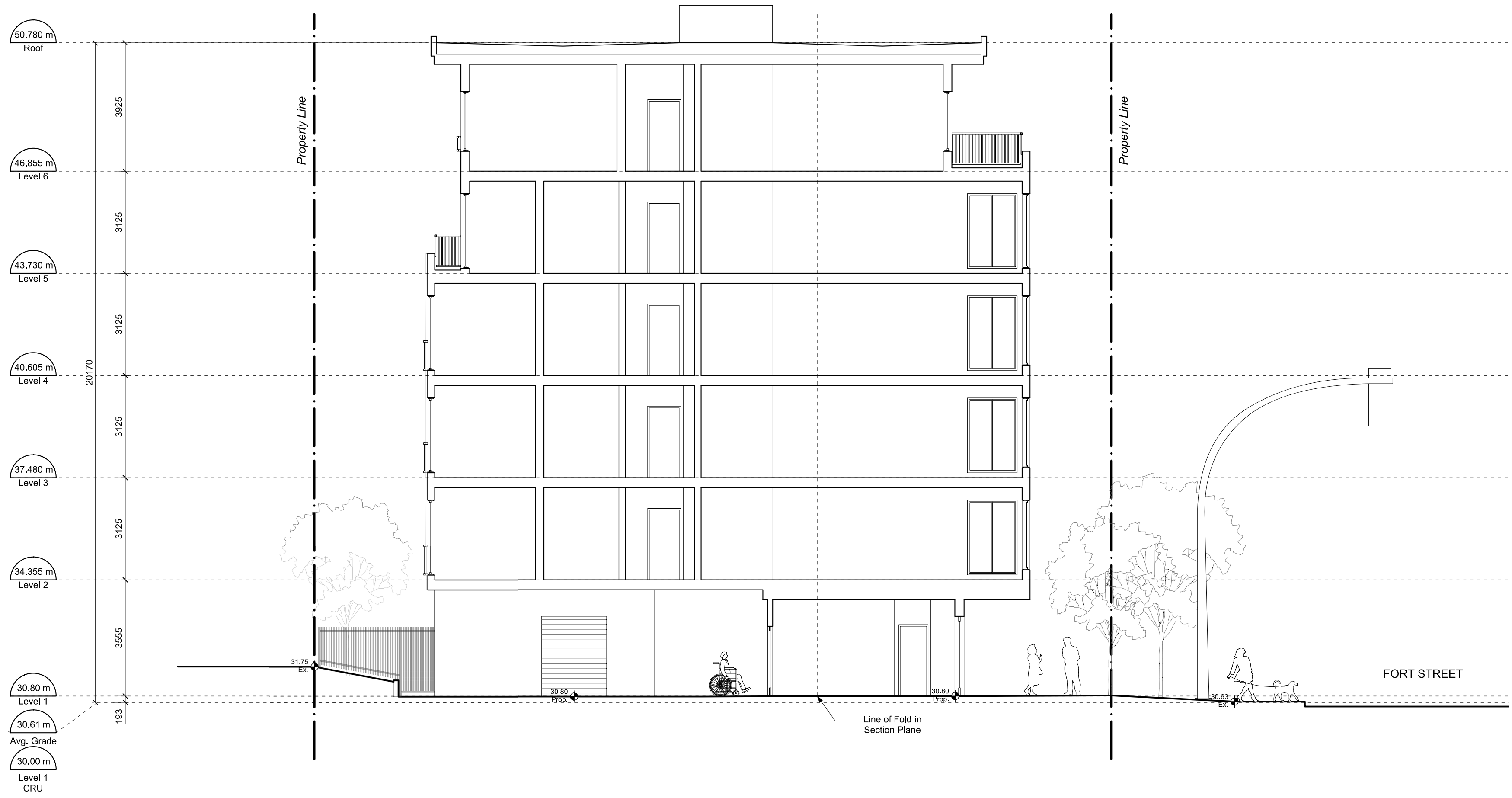
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drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	September 07, 2022
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8
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Scale 1:100

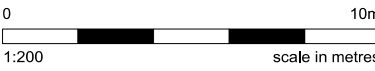


2 **Section 2**
Scale 1:100

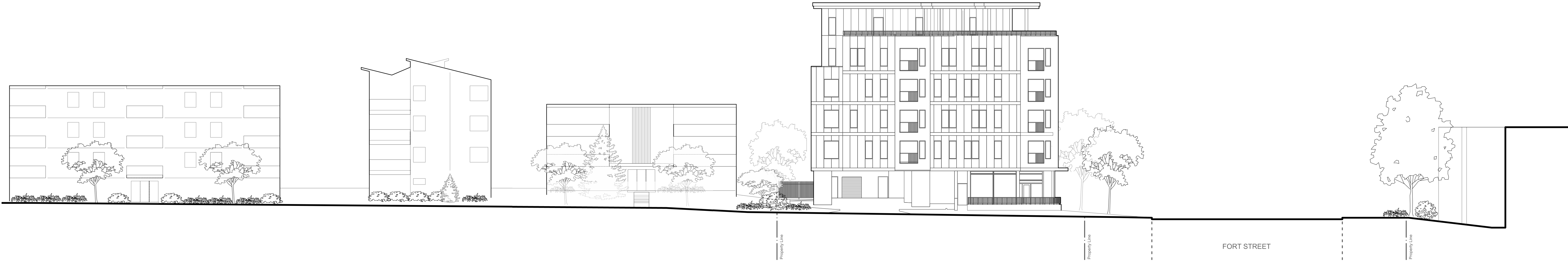


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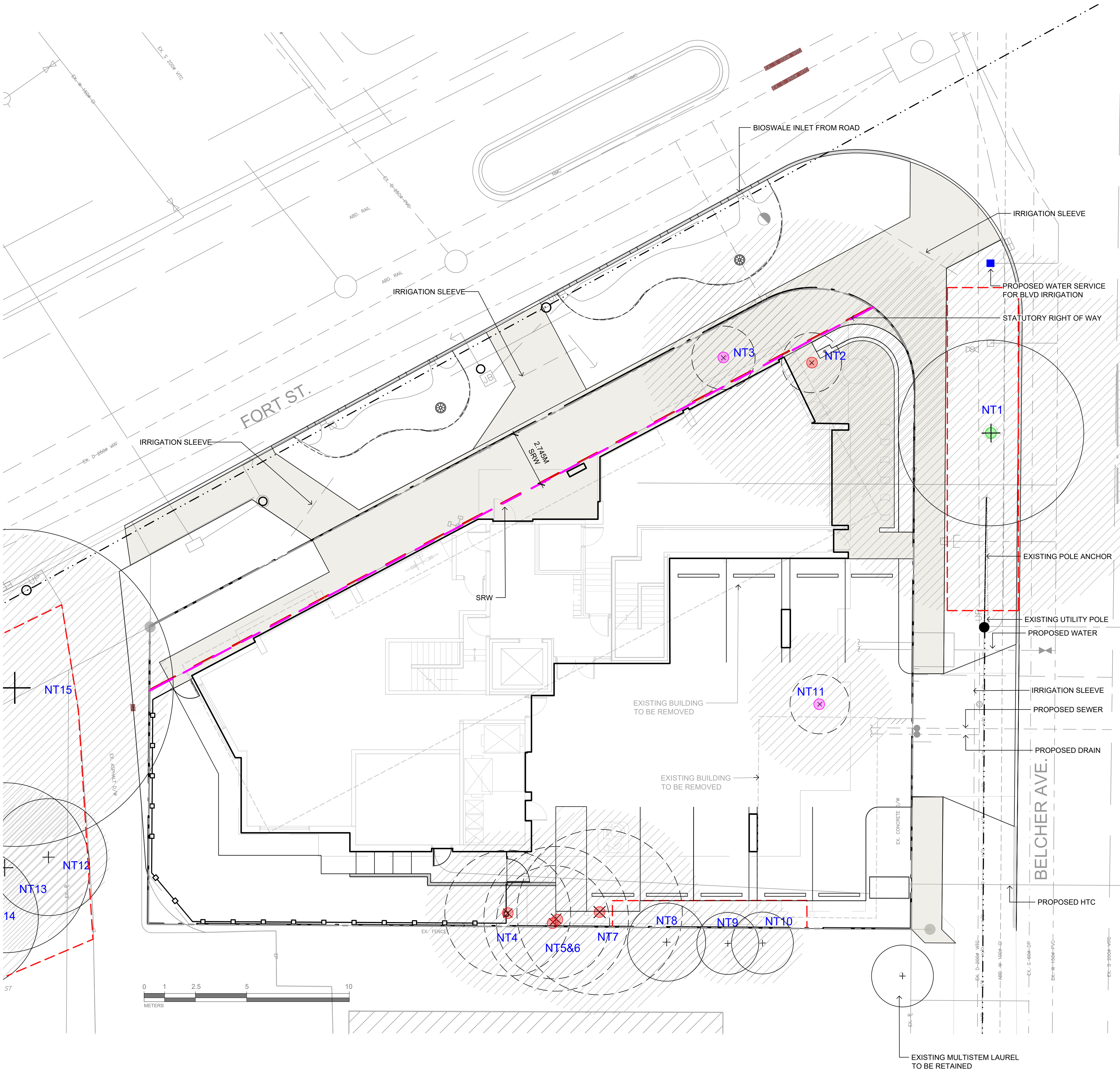


1 Fort Street Context Elev.
Scale 1:200



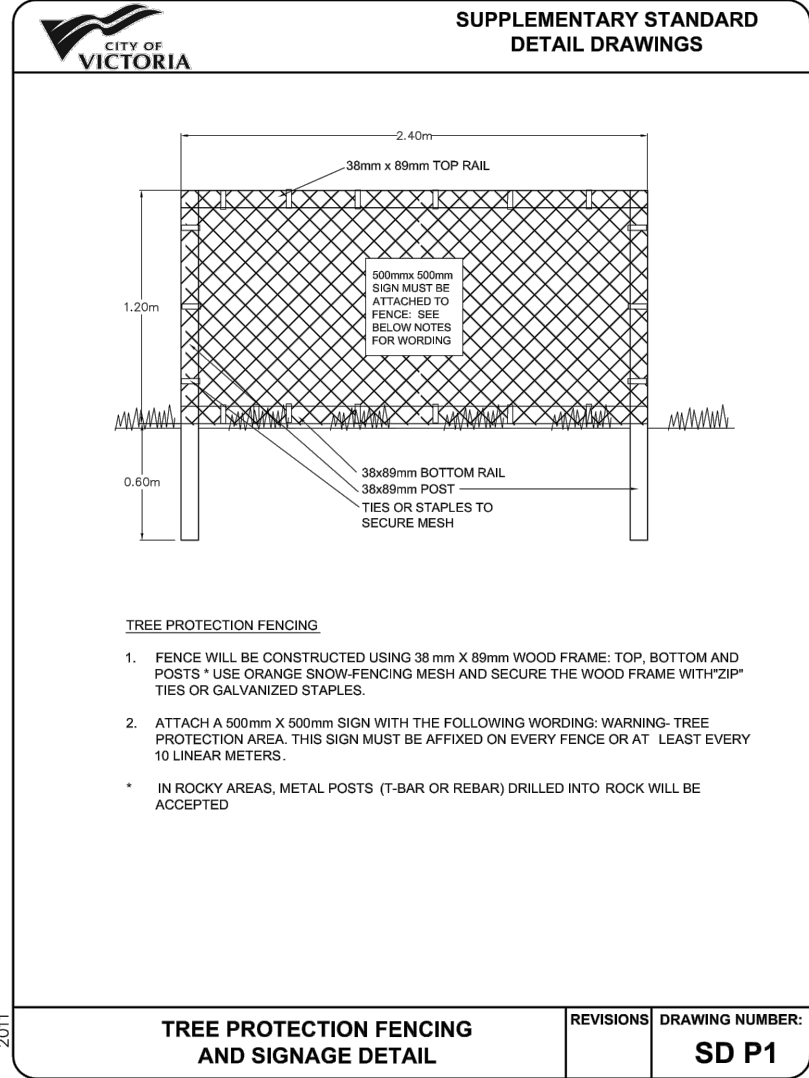
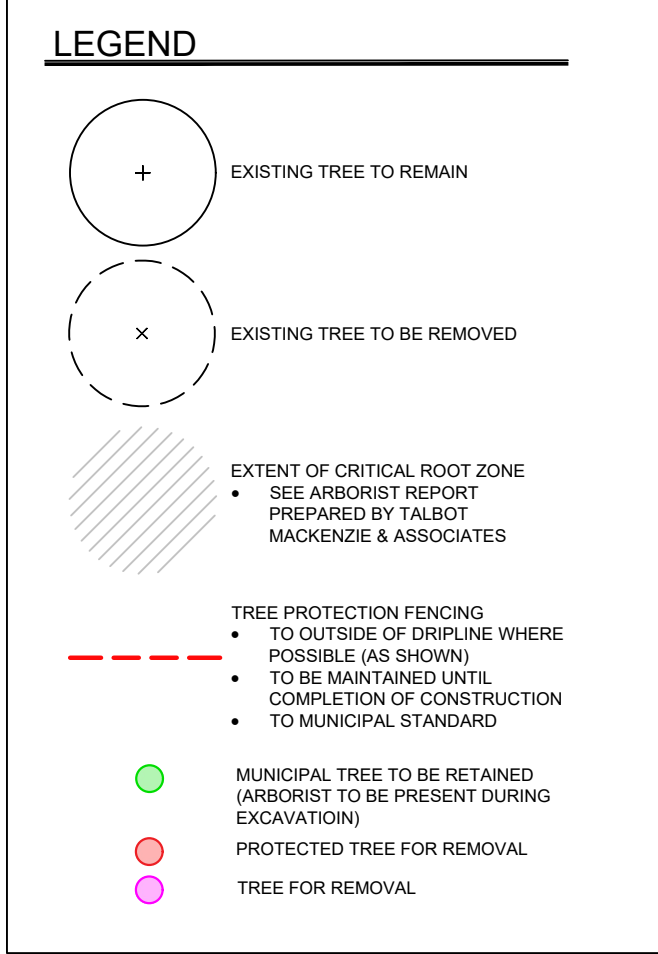
2 Belcher Ave Context Elev.
Scale 1:200

8	Rezoning and DP	22/09/07
7	Rezoning and DP	22/07/11
6	Rezoning and DP	22/05/25
5	Rezoning and DP	22/03/14
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0	Rezoning and DP	20/11/18
rev no	description	date
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project name		
Rental Housing		
1693 Fort Street		
sheet title		
Context Elevations		
project no.	20-17	
drawing file	20-17 1693 Fort Street CURRENT.vwx	
date issued	September 07, 2022	
scale	As Noted	
drawn by	MZ	
checked by	ES	
revision no.	sheet no.	
8		A4.4



TREE IMPACT SUMMARY TABLE					
TREE STATUS	TOTAL	To be RETAINED	To be REMOVED	REPLACEMENTS REQUIRED	To be PLANTED
ON-SITE TREES BYLAW PROTECTED	5		5	10	8
ON-SITE TREES, NOT BYLAW PROTECTED	2		2		
MUNICIPAL TREES	1	1		0	4
NEIGHBORING TREES, BYLAW PROTECTED	4	4			
NEIGHBORING TREES, NOT BYLAW PROTECTED	3	3			
TOTAL	15	8	7	10	12

REPLACEMENT TREES REQUIRED	10
REPLACEMENT TREES PROPOSED	8
REPLACEMENT TREE SHORTFALL	2



Inventory date: September 9, 2020

Tree Resource Spreadsheet - 1693 Fort Street

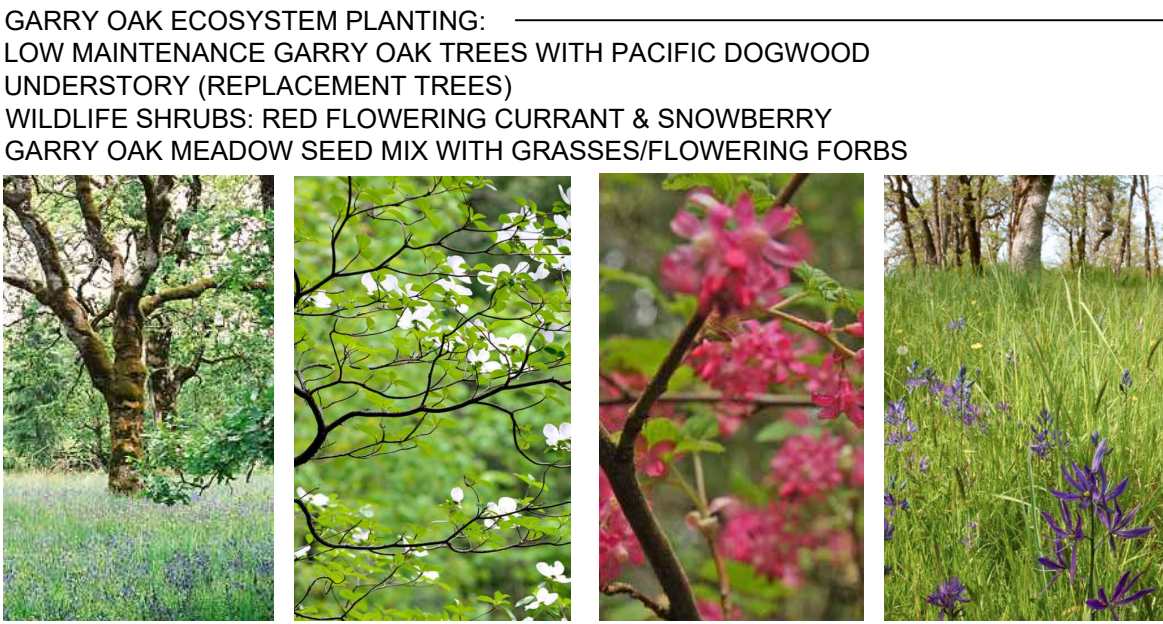
Page 1 of 2

Tree ID	Common Name	Latin Name	DBH (cm) - approximate	Crown Spread (diameter in metres)	CRZ (radius in metres)	Relative Tolerance (good, moderate, poor)	Health	Structure	Remarks and Recommendations	Bylaw Protected	Retention Status	Impacts
NT1	Cherry	<i>Prunus spp.</i>	73 below union	10.0	9.0	Moderate	Fair	Fair-poor	Municipal tree. Decay in most pruning wounds.	Yes (municipal)	Retain*	Water services, sidewalk
NT2	Lawson Cypress	<i>Chamaecyparis lawsoniana</i>	47 (25 + 60% of 20, 16)	3.0	7.0	Poor	Good	Fair	Close proximity to building foundation. Sheared and topped.	Yes (by multi stem calculation)	X	Within building footprint
NT3	Lawson Cypress	<i>Chamaecyparis lawsoniana</i>	27.0	3.0	4.0	Poor	Good	Fair	Close proximity to building foundation. Sheared and topped.	No	X	Within sidewalk footprint
NT4	Elm	<i>Ulmus spp.</i>	33.0	6.0	4.0	Moderate	Fair	Fair	Leaf miner cosmetic damage. Surface roots. Appears to be 3 more in the row that were removed to the west.	Yes	X	Conflict with foundation, sidewalk
NT5	Elm	<i>Ulmus spp.</i>	34.0	7.0	4.0	Moderate	Fair	Fair	Topped previously. Leaf miner cosmetic damage. Surface roots. Appears to have been 3 more in the row that were removed (to the west).	Yes	X	Conflict with foundation, sidewalk
NT6	Elm	<i>Ulmus spp.</i>	33.0	5.0	4.0	Moderate	Fair	Fair	Leaf miner cosmetic damage. Surface roots. Appears to have been 3 more in the row that were removed (to the west).	Yes	X	Conflict with foundation, sidewalk
NT7	Elm	<i>Ulmus spp.</i>	43.0	8.0	5.0	Moderate	Fair	Fair	Leaf miner cosmetic damage. Surface roots. Appears to have been 3 more in the row that were removed (to the west).	Yes	X	Conflict with foundation, sidewalk, and parking lot
NT8	Crabapple	<i>Malus spp.</i>	~20	4.0	2.0	Good	Fair	Fair	Clearance pruned. Neighbour's trees. Ivy covered.	No	Retain	Parking lot
NT9	Crabapple	<i>Malus spp.</i>	~20	3	2.0	Good	Fair	Fair	Clearance pruned. Neighbour's trees. Ivy covered.	No	Retain	Parking lot
NT10	Crabapple	<i>Malus spp.</i>	~20	3	2.0	Good	Fair	Fair	Clearance pruned. Neighbour's trees. Ivy covered.	No	Retain	Parking lot
NT11	Beech (purple)	<i>Fagus sylvatica</i>	23	4	3.5	Poor	Good	Good	Close proximity to carport foundation. Some clearance pruning previously.	No	X	Within parking lot footprint
NT12	Austrian Pine	<i>Pinus nigra</i>	~30	7.0	3.0	Good	Fair	Good	Asymmetric crown. Elevated from subject property 45cm, protected by retaining wall. Barrier fencing due to development on neighbouring property.	Yes (if estimate is correct)	Retain	Driveway widening/retaining wall
NT13	Austrian Pine	<i>Pinus nigra</i>	~40	8	4.0	Good	Fair	Fair-poor	Codominant leaders with included bark, swelling from reaction wood. Asymmetric crown	Yes (if estimate is correct)	Retain	Driveway widening/retaining wall
NT14	Austrian Pine	<i>Pinus nigra</i>	~35	9	3.5	Good	Fair	Good	Asymmetric crown.	Yes (if estimate is correct)	Retain	Driveway widening/retaining wall
NT15	Garry Oak	<i>Quercus garryana</i>	~60	15	6.0	Good	Good	Fair	May be municipal or co-owned. Codominant leaders with included bark. Barrier fencing due to development on neighbouring property.	Yes	Retain	Driveway widening/retaining wall

ISA Certified and Consulting Arborists
Phone: (250) 479-8733
Fax: (250) 479-7050
email: tmtreehelp@gmail.com



ROOF TOP PATIO



LEGEND

- PROPERTY LINE
- STATUTORY RIGHT OF WAY
- ROOF OVERHANG
- IRRIGATION SLEEVE
- WEST COAST FOREST PLANTINGS
 - 600 mm DEPTH 1L GROWING MEDIUM (BCLS) 75 mm DEPTH MULCH
- GARRY OAK MEADOW PLANTINGS
 - 600 mm DEPTH 1L GROWING MEDIUM (BCLS) 75 mm DEPTH MULCH
- MEADOW SEED MIX
 - AREA 35 m²
 - 1 lb for 1000 m²; 0.35 lbs required
- RAINFALL MANAGEMENT AREA
 - BIOSWALE
 - 600 mm DEPTH GROWING MEDIUM AND SHRUBS
- ASPHALT DRIVE AISLE
- PEDESTAL PAVERS 12X24X2"
 - NEWSTONE MANHATTAN
 - COLOR: NATURAL GREY
- CAST IN PLACE CONCRETE
- MUNICIPAL SIDEWALK
 - CIP CONCRETE WITH BROOM FINISH TO CITY OF VICTORIA MUNICIPAL STANDARDS
- SOD MUNICIPAL BOULEVARD AREA
 - 150 mm DEPTH LOW TRAFFIC LAWN GROWING MEDIUM (MMCD)
 - SOD
- GRAVEL MAINTENANCE PATH
- NOTE: RAIN GARDEN DESIGN TO BE REVIEWED AND APPROVED BY CITY STAFF AT BUILDING PERMIT STAGE.
- PROPOSED SITE TREES
 - RAISED BEEHIVE CATCHBASIN
 - BIOSWALE RIP RAP
 - 150 - 300 mm DIA. RIVER ROCK
- PROPOSED BOULEVARD TREES
 - TREE SPECIES TO BE COORDINATED WITH PARKS PRIOR TO PLANTING
 - TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 5-6 cm DIAMETER, CALIPER MEASURED 15 cm ABOVE GROUND, WELL BALANCED CROWN WITH BRANCHING STARTING AT 1.8m-2.5m ABOVE GROUND
 - TREES TO BE PLANTED AS PER PLANTING OF TREES, SHRUBS AND GROUND COVERS (22 93 01 MMCD 2009 AND CITY OF VICTORIA SUPPLEMENTAL DRAWINGS 93 P3 AND 93 P4)
 - PARKS WILL REQUIRE 3 INSPECTIONS FOR TREE PLANTING: 1) INSPECTION OF SOIL AND PLANTING AREA; 2) INSPECTION OF STOCK UPON DELIVERY; 3) INSPECTION OF INSTALLED TREE WITH MULCH AND STAKING. TRUNK FLARE MUST BE VISIBLE AND PLANTED AT OR SLIGHTLY ABOVE GRADE UPON INSPECTION.
 - THE APPLICANT MUST MAINTAIN THE TREE IN GOOD HEALTH AND STRUCTURAL CONDITION FOR 1 YEAR FROM THE SUBSTANTIAL COMPLETION TO BE ELIGIBLE FOR DEPOSIT RETURN.
- BOULEVARD IRRIGATION
 - SEE IRRIGATION PLAN
 - MUNICIPAL BOULEVARD TO BE IRRIGATED BY A SEPARATE SYSTEM FROM A SEPARATE CITY SOURCE CONFORMING TO THE CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C TO BYLAW 12-042, SUBDIVISION BYLAW
 - IRRIGATION DESIGN DRAWINGS MUST BE SENT TO PARKS FOR REVIEW 30 DAYS PRIOR TO INSTALLATION. DRAWINGS SHOULD INDICATE ALL COMPONENTS, MODELS AND MATERIALS FROM WATER SUPPLY TO IRRIGATION HEADS
 - THE CITY WILL REQUIRE 4 INSPECTIONS FOR IRRIGATION INSTALLATION: 1) SLEEVING; 2) OPEN TRENCH MAINLINE AND PRESSURE TEST; 3) OPEN TRENCH AND LATERAL LINE; 4) OPERATION AND COVERAGE, AND BACKFLOW PREVENTER ASSEMBLY TEST REPORT.

CLIENT NAME
ARYZE Developments

PROJECT
Rental Housing

ADDRESS
1693 Fort St.
Victoria BC

DESIGNED BY

Bianca Bodley

DRAWN BY

KH

REVISIONS:

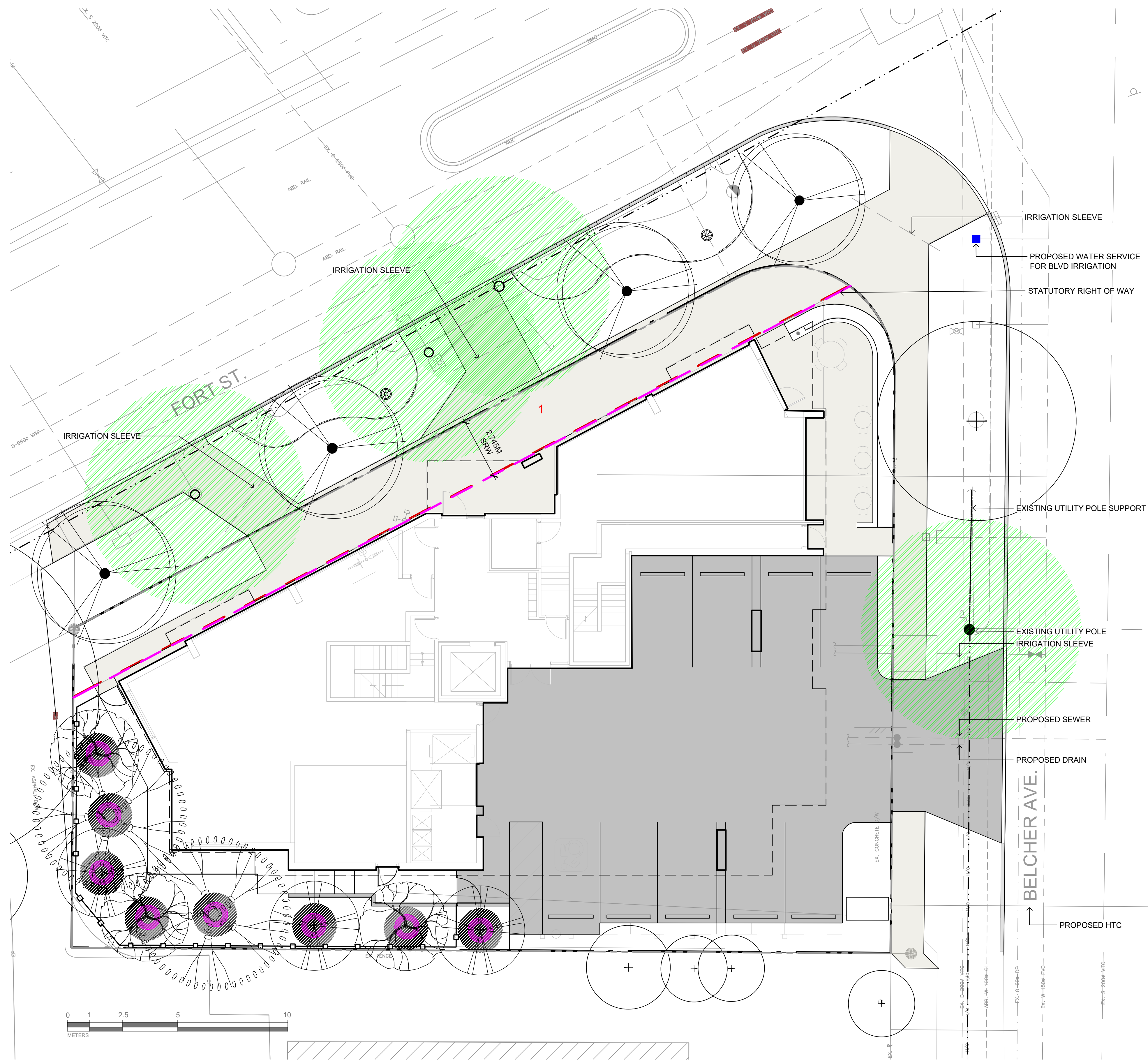
#1 SRW CLARIFICATION 2022-07-11
#2 DP RESUBMISSION 2022-09-07

RE-ISSUED FOR
REZONING AND DEVELOPMENT
PERMIT
SEPTEMBER 07, 2022

Scale: 1:100



L1 Landscape Site
Plan



LEGEND

REPLACEMENT TREE

TREE PLANTING RESTRICTIONS

- OVERHEAD POWER LINE
- 5.0 m OFFSET FROM HYDRO OR LIGHT POLE
- 1.0 m OFFSET FROM PAVING & UTILITIES
- EXISTING TREE TO REMAIN

TREE IMPACT SUMMARY TABLE

TREE STATUS	TOTAL	To be RETAINED	To be REMOVED	REPLACEMENTS REQUIRED	To be PLANTED
ON-SITE TREES BYLAW PROTECTED	5		5	10	8
ON-SITE TREES, NOT BYLAW PROTECTED	2		2		
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NEIGHBORING TREES, BYLAW PROTECTED	4	4			
NEIGHBORING TREES, NOT BYLAW PROTECTED	3	3			
TOTAL	15	8	7	10	12

REPLACEMENT TREES REQUIRED	10
REPLACEMENT TREES PROPOSED	8
REPLACEMENT TREE SHORTFALL	2

TREE SCHEDULE

Quantity	Symbol	Latin Name	Common Name	Container	Caliper	Native
3		Acer circinatum	Vine maple	B&B	4cm	yes
3		Cornus 'Eddie's White Wonder'	Eddie's White Wonder Flowering Dogwood	B&B	4cm	yes
2		Quercus garryana	Garry oak	B&B	4 cm	yes
MUNICIPAL						
4		BOULEVARD TREE TO BE DETERMINED BY PARKS AT BP		B&B	4cm	

CLIENT NAME
ARYZE Developments

PROJECT
Rental Housing

ADDRESS
1693 Fort St.
Victoria BC

DESIGNED BY

Bianca Bodley

DRAWN BY

KH

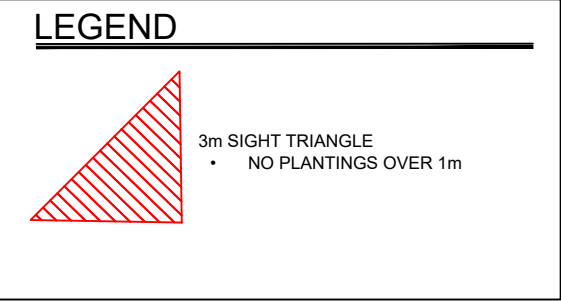
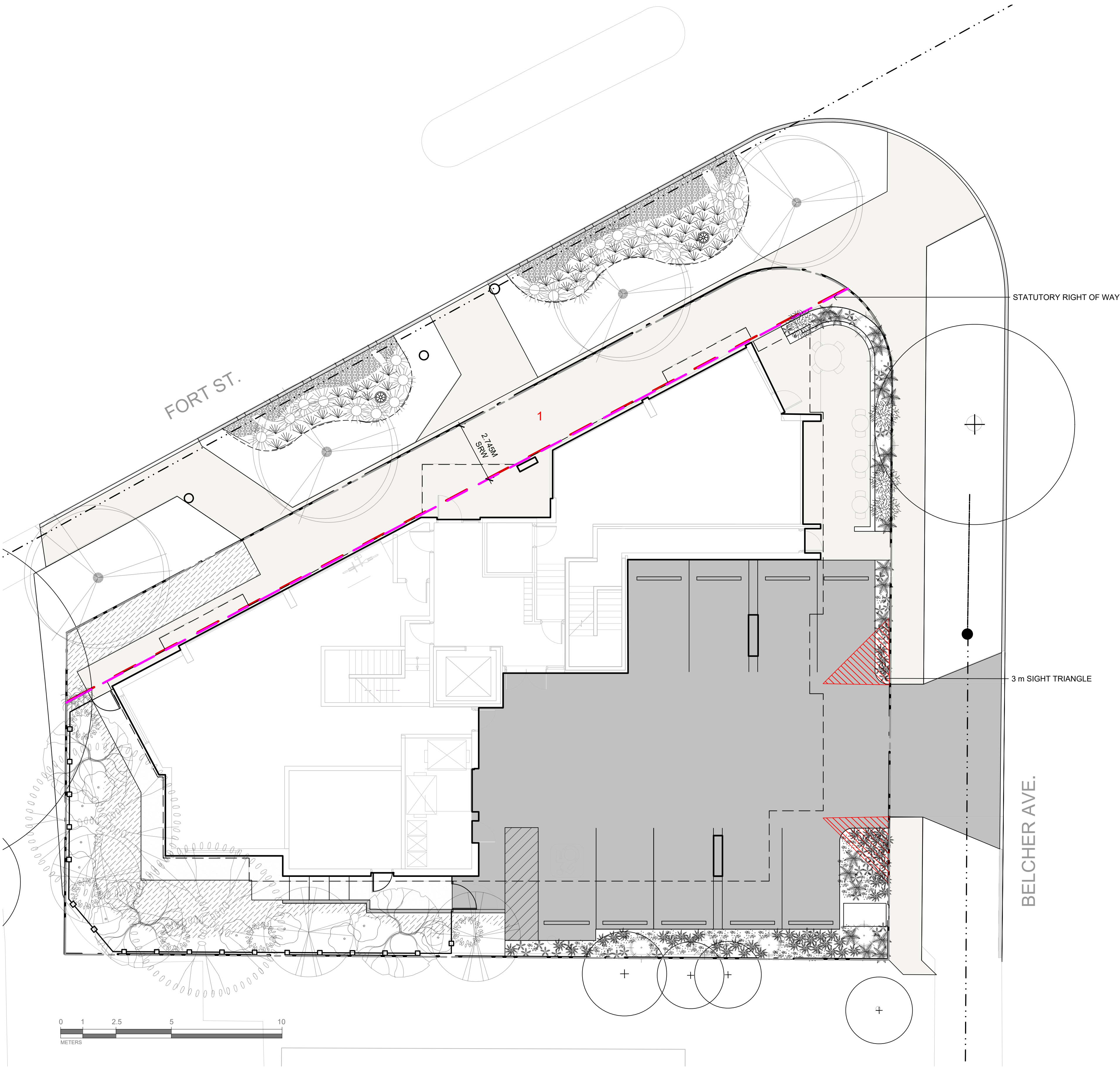
REVISIONS:

#1 SRW CLARIFICATION	2022-07-11
#2 DP RESUBMISSION	2022-09-07

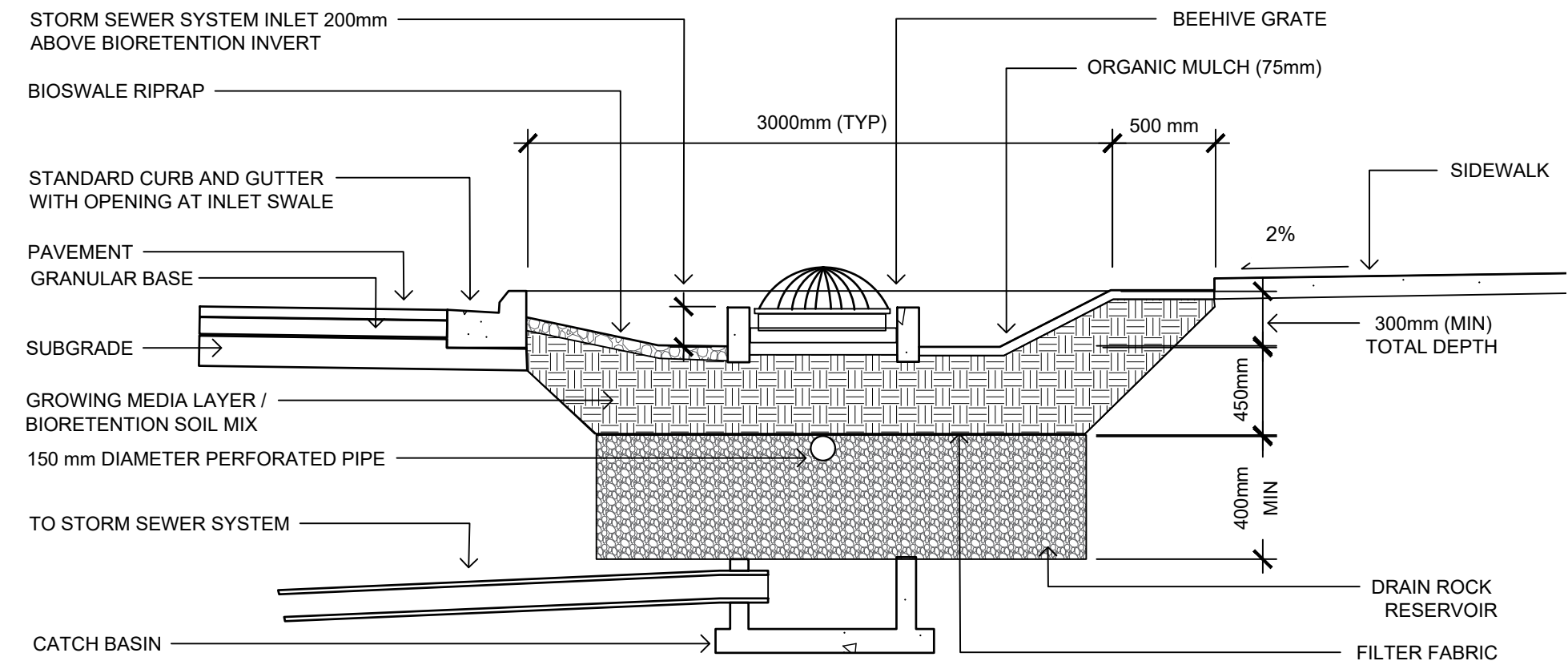
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SEPTEMBER 07 , 2022

Scale: 1:100





PLANT SCHEDULE						
Quantity	Symbol	Latin Name	Common Name	Container	Native	Pollinator
44	✱	Blechnum spicant	Deer Fern	#1	y	
2	✱	Cornus canadensis	Creeping dogwood	tray	y	y
22	☀	Cornus sericea 'Kelsey'	Kelseyi dogwood	#2		
7	☼	Gaultheria shallon	Salal	#2	Y	
58	✱	Juncus effusus	Common rush	#1	y	
51	✱	Mahonia nervosa	Oregon Grape	#1	y	
4	✱	Pinus Mugo	Dwarf Mugo pine	#2		
26	✱	Ploystichum munitum	Western sword fern	#1	y	
6	✱	Ribes sanguineum	Red-flowering currant	#2		y
14	✱	Symphoricarpos albus	Snowberry	#2	y	y
	✱	Native Meadow Seed Mix		hydro-seed	y	y
NOTES: 1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12. CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.						



1 BIOSWALE DETAIL
SCALE NTS

CLIENT NAME
ARYZE Developments

PROJECT
Rental Housing

ADDRESS
1693 Fort St.
Victoria BC

DESIGNED BY

Bianca Bodley

DRAWN BY

KH

REVISIONS:

#1 SRW CLARIFICATION 2022-07-11
#2 DP RESUBMISSION 2022-09-07

RE-ISSUED FOR
REZONING AND DEVELOPMENT
PERMIT
SEPTEMBER 07 , 2022

Scale: 1:100

