



937 View Street

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Plot Date	19/09/20	Drawing File	
Drawn By	RC/LCZ	Checked By	ADM
Scale	1 : 1	Project Number	1922

NOTE: All dimensions are shown in millimeters.

937 View Street

Cover



Revisions

Received Date:
October 10, 2019

 A000

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LIST OF ABBREVIATIONS			
The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.			
ACST	Acrylic Stucco	HP	High Point
ACT	Acoustical Tile	HSS	Hollow Steel Section
AFF	Above Finished Floor	HW	Hardware
AL	Aluminum	INSUL	Insulated
BG	Building Grade	LAM	Laminated Glass
CEM	Cementitious Backing Board	LP	Low Point
Conc	Concrete	MDFB	Medium Density Fibreboard Base
CBK	Concrete Block	MR	Mirror
CIL	Centerline	MP	Metal Panel
CPT	Carpet Tile	O/H	Overhead
CT	Ceramic Tile	OW	Operable Window
C/W	Complete With	PF	Prefinished
DD	Deck Drain	PLAM	Plastic Laminate
EB	Electric Bike Storage	PLS	Plaster
EL	Elevation	PSF	Pressed Steel Frame
EPC	Epoxy Polymer Coating	PT	Paint
EXP AGG	Exposed Aggregate	PTD	Paper Towel Dispenser
EXT	Exterior	PTDW	Paper Towel Dispenser / Waste
FD	Floor Drain	PTW	Paper Towel Waste
FEC	Fire Extinguisher Cabinet	RA	Roof Anchor
FFE	Finished Floor Elevation	RB	Rubber Base
FG	Finished Grade	RES	Resilient Flooring
GB	Grab Bar	RD	Roof Drain
GBL	Glass Block	RD-P	Roof Drain - Planter
GL	Glass	RWL	Rain Water Leader
G/W	Georgian Wire Glass	SAFI	Spray Applied Fibrous Insulation
GWB	Gypsum Wallboard	SDW	Solid Core Wood
HC	Hollow Core	SD	Soap Dispenser
HCW	Hollow Core Wood	SL	Sealer
H/C	Handicap	SP	Spandrel Glass
HM	Hollow Metal	SPC	Solid Particleboard Core
ST	Structure	STL	Steel
STN	Stained	STNT	Stone Tile
SS	Stainless Steel	SVF	Sheet Vinyl Flooring
TB	Towel Bar	T/D	Tempered / Double Glazed
TLAM	Tempered Laminated Glass	TGL	Tempered Glass
TLGL	Translucent Glass	TOD	Top of Drain
TOC	Top of Concrete	TOI	Top of Insulation
TOP	Top of Parapet	TOS	Top of Slab
TOW	Top of Wall	TP	Towel Paper
UNF	Unfinished (for GWB means taped and filled by not sanded to minimum ULC requirements where applicable)	UNO	Unless Noted Otherwise
UNO	Unless Noted Otherwise	U/S	Underside of...
VCT	Vinyl Composition Tile	VIS	Vinyl Impact Sheet
VI	Vision Glass	VT	Vinyl Tile
VWC	Vinyl Wall Covering	WD	Wood
WC	Water Closet	WPM	Waterproof Membrane
WD	Wood	WRC	Water Repellent Coating

PROJECT DESCRIPTION

CIVIC ADDRESS:
937 VIEW STREET, VICTORIA, BC.
LEGAL DESCRIPTION:
LOT A, OF LOTS 785, 786, and 787, VICTORIA CITY,
PLAN 36505

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
15 STOREY RESIDENTIAL BUILDING

USES:
RESIDENTIAL

EXISTING ZONE: R-48 HARRIS GREEN

PROPOSED ZONE: R-48

DEVELOPMENT PERMIT AREA: DPA 713 (HC)

SITE AREA: 1 572.3 m² (16, 924 s.f.)

FLOOR AREA:
RESIDENTIAL Level 1: 445 m² (4 798 sf)
RESIDENTIAL Level 2: 763 m² (8 212 sf)
RESIDENTIAL Level 3-14: 793 m² (8 540 sf) x 12 = 9 516m²
RESIDENTIAL Level 15: 697 m² (7 500 sf)

TOTAL PROPOSED: 11 426 m² (122 995 sf, excl. parkade)

FLOOR SPACE RATIO: 7.27 FSR

SITE COVERAGE: 66%

OPEN SITE SPACE: 34%

GRADE OF BUILDING: 17.6 m (GEODETIC)
See Site Plan for Grade Calculation

HEIGHT OF BUILDING: 45m

NUMBER OF STOREYS: 15 STOREYS

RESIDENTIAL PARKING: 17 stalls (incl. 1 accessible)

COMMERCIAL PARKING: N/A

BICYCLE PARKING: 172 (156 Class 1 + 6 short term rack)

SETBACKS:
FRONT (View Street): 3.5m
REAR (S): N/A
SIDE (E): N/A
SIDE (W): N/A

SUITE COMPOSITION:
1 Bed / 1 Bath: 255

TOTAL: 255 SUITES

BUILDING CODE SUMMARY

REFERENCED DOCUMENT:
BRITISH COLUMBIA BUILDING CODE 2012 - PART 3

MAJOR OCCUPANCY CLASSIFICATION:
GROUP C - RESIDENTIAL

BUILDING AREA:
1,046m² (11,259 s.f.)

BUILDING HEIGHT:
15 STOREYS

NUMBER OF STREETS FACING:
1

ACCESSIBLE FACILITIES:
ACCESSIBLE ENTRANCE
ACCESSIBLE PARKING STALLS

CONSTRUCTION REQUIREMENTS:
3.2.2.47 GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED
NON-COMBUSTIBLE CONSTRUCTION WITH 2 HR MIN. FIRE
RESISTANCE RATING TO FLOORS AND LOADBEARING
WALLS.

ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS
Ref. 3.2.6.1 (1)(d)

PROJECT DIRECTORY

REGISTERED OWNER
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Plot Date 19/09/20 Drawing File
Drawn By RC/LCZ Checked By ADM
Scale As indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

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Project Data



A001

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BC LAND SURVEYORS SITE PLAN OF:

Civic: 937 View Street

Legal Lot A, of Lots 785, 786, and 787,
Victoria City, Plan 36505

Parcel Identifier: 000-410-233
in the City of Victoria

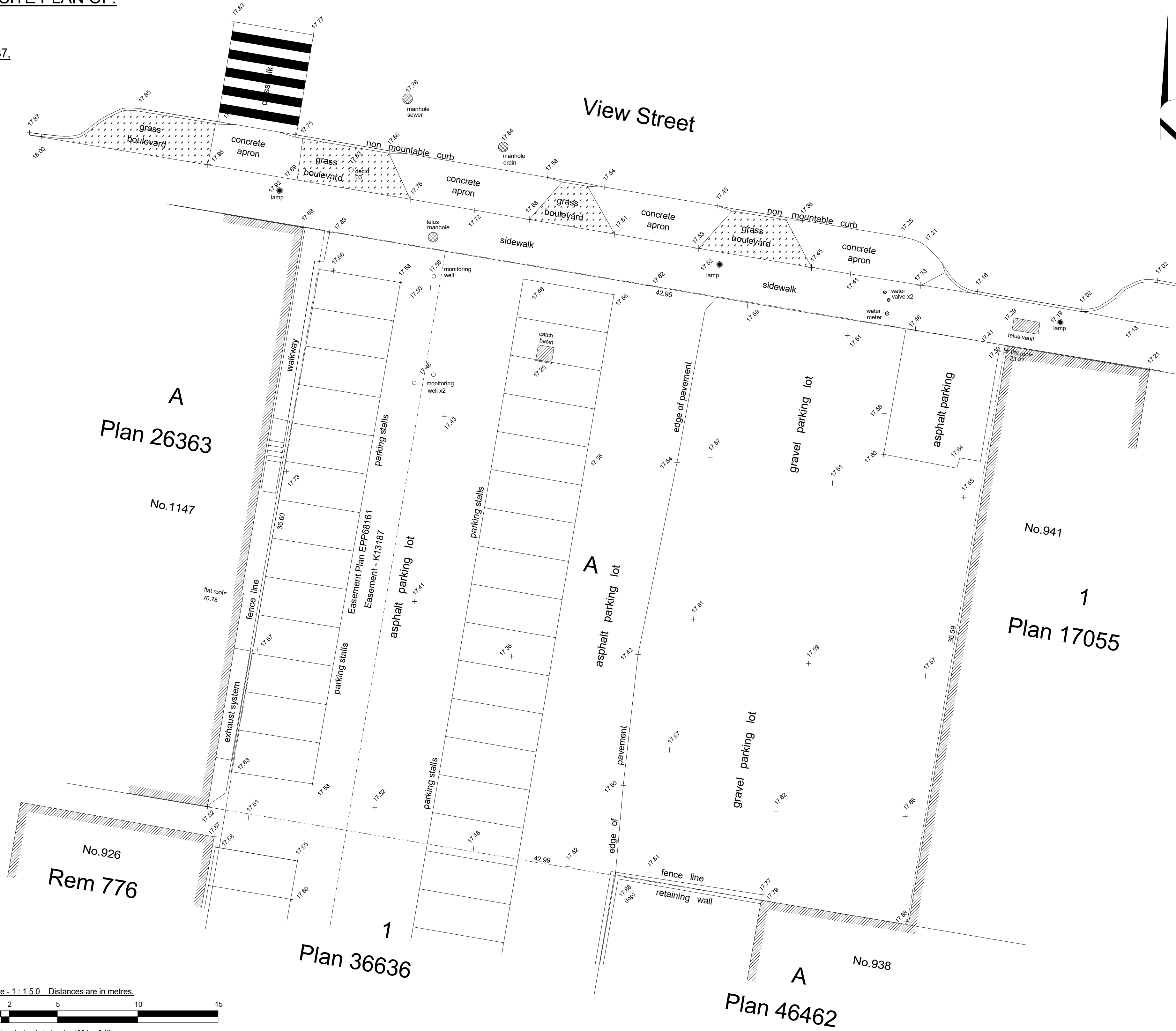
LEGEND

Elevations are to geodetic datum.

+ - denotes - existing elevation

Tree diameters are in centimetres.

Area Lot A = 1572.3m2



December 13, 2016

File : 9.929-16

POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

Scale - 1 : 150 Distances are in metres.



The intended print size is 18" by 24".

19-10-02

Issued for DP

Plot Date	19/09/20	Drawing File	
Drawn By	RC/LCZ	Checked By	ADM
Scale	1 : 150	Project Number	1922

NOTE: All dimensions are shown in millimeters.

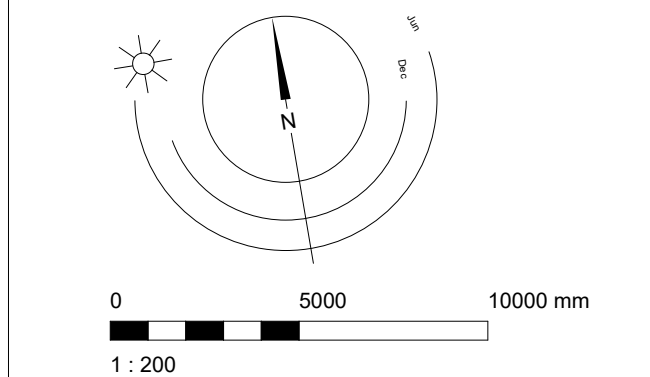
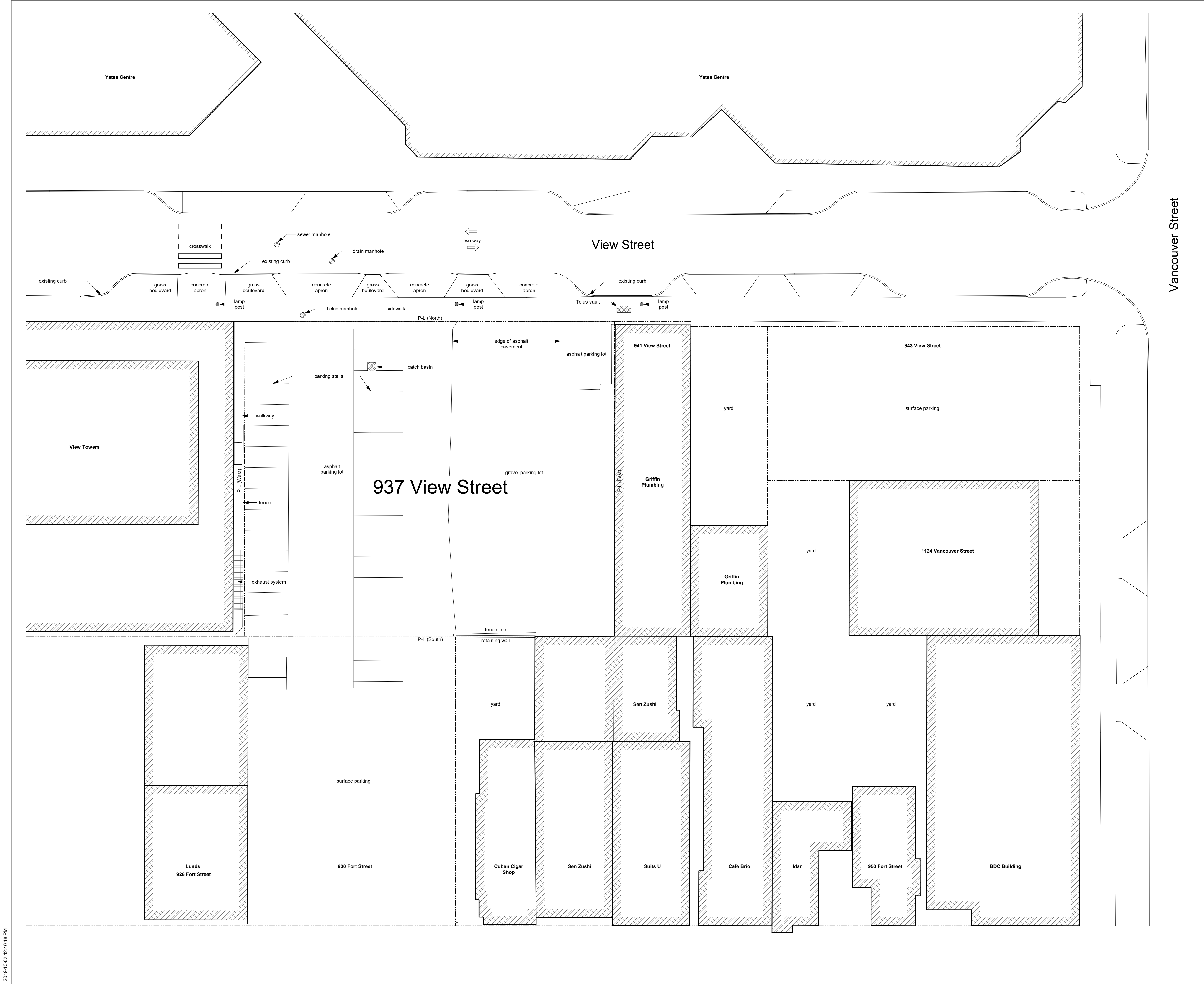
937 View Street

Survey

dHka A100

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Plot Date	19/09/20	Drawing File	
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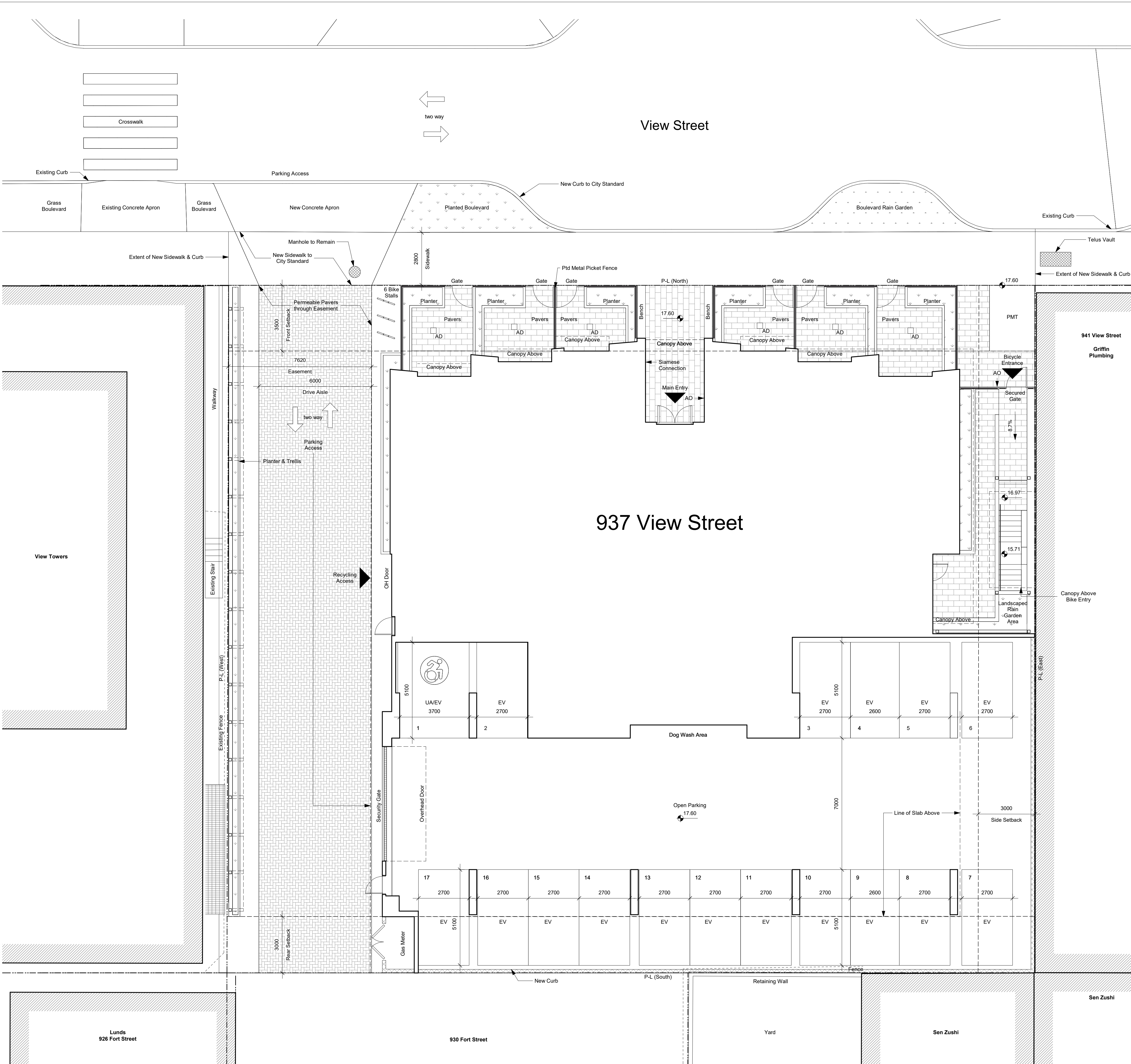
937 View Street

Site Plan Existing



A101

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PROJECT INFORMATION TABLE

	Zone Standard	Proposal - if Different from Zone Standard
Zoning	R-48	R-48
Site Area (m²)	N/A	1572.3m²
Total Floor Area (m²)	N/A	11426.53m²
Floor Space Ratio	N/A	7.27
Site Coverage %	N/A	66%
Open Site Space %	N/A	34%
Height (m)	30m	45m
Number of Storeys	10	15
Parking Stalls (number) on site	N/A	17
Bicycle Parking Number (Storage and Rack)	N/A	172

Building Setback (m)		
Front Yard	0.5m non-res / 3.5m res	3.5m res
Rear Yard	N/A	3m
Side Yard (Indicate Which Side)	N/A	3m (East)
Side Yard (Indicate Which Side)	N/A	7.26m (West)

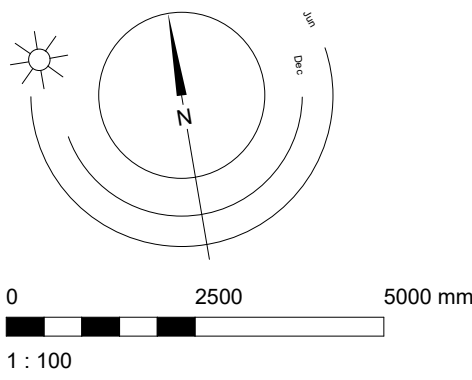
Residential Use Details		
Total Number of Units	N/A	255
Unit Types	N/A	1 BR/BTH
Ground Oriented Units	N/A	7
Minimum Unit Floor Area	N/A	31m²
Total Residential Floor Area	N/A	9463m²

Area Schedule

Description	Zoning (m ²)	Zoning (SF)	No. Suites
Basement			
	968.87 m ²	10429 SF	
Level 1			
City Zoning GFA	445.78 m ²	4798 SF	7
Residential Strata	238.63 m ²	2569 SF	
Residential Common	207.15 m ²	2230 SF	
Efficiency	53.53%	53.53%	
Level 2			
City Zoning GFA	762.93 m ²	8212 SF	17
Residential Strata	634.23 m ²	6827 SF	
Residential Common	128.70 m ²	1385 SF	
Efficiency	83.13%	83.13%	
Levels 3-14			
City Zoning GFA	793.42 m ²	8540 SF	216
Residential Strata	668.34 m ²	7194 SF	
Residential Common	125.08 m ²	1346 SF	
Efficiency	84.24%	84.24%	
Level 15			
City Zoning GFA	696.77 m ²	7500 SF	15
Residential Strata	570.76 m ²	6144 SF	
Residential Common	126.01 m ²	1356 SF	
Efficiency	81.92%	81.92%	
Total GFA	11426.53 m ²	122995 SF	255
Site Area	1572.30 m ²	16924 SF	
FSR	7.27	7.27	
Total Basement	968.87 m ²	10429 SF	
Total Residential	9463.72 m ²	101868 SF	255
Total Commercial	0.00 m ²	0 SF	
Total Common & Core	1962.81 m ²	21128 SF	
Efficiency	82.82%	82.82%	

Suite Areas

Unit Type A (Long)	46.57 m²	501 SF	28
Unit Type B (Corner)	44.22 m²	476 SF	56
Unit Type C (Side Entry)	36.18 m²	389 SF	56
Unit Type D (Typical)	31.65 m²	341 SF	109
Unit Type E (Ground 1)	32.42 m²	349 SF	2
Unit Type F (Ground 2)	32.07 m²	345 SF	2
Unit Type G (Ground 3)	42.00 m²	452 SF	1
Unit Type H (Ground 4)	37.03 m²	399 SF	1



Plot Date	19/09/20	Drawing File	
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NOTE: All dimensions are shown in millimeters.

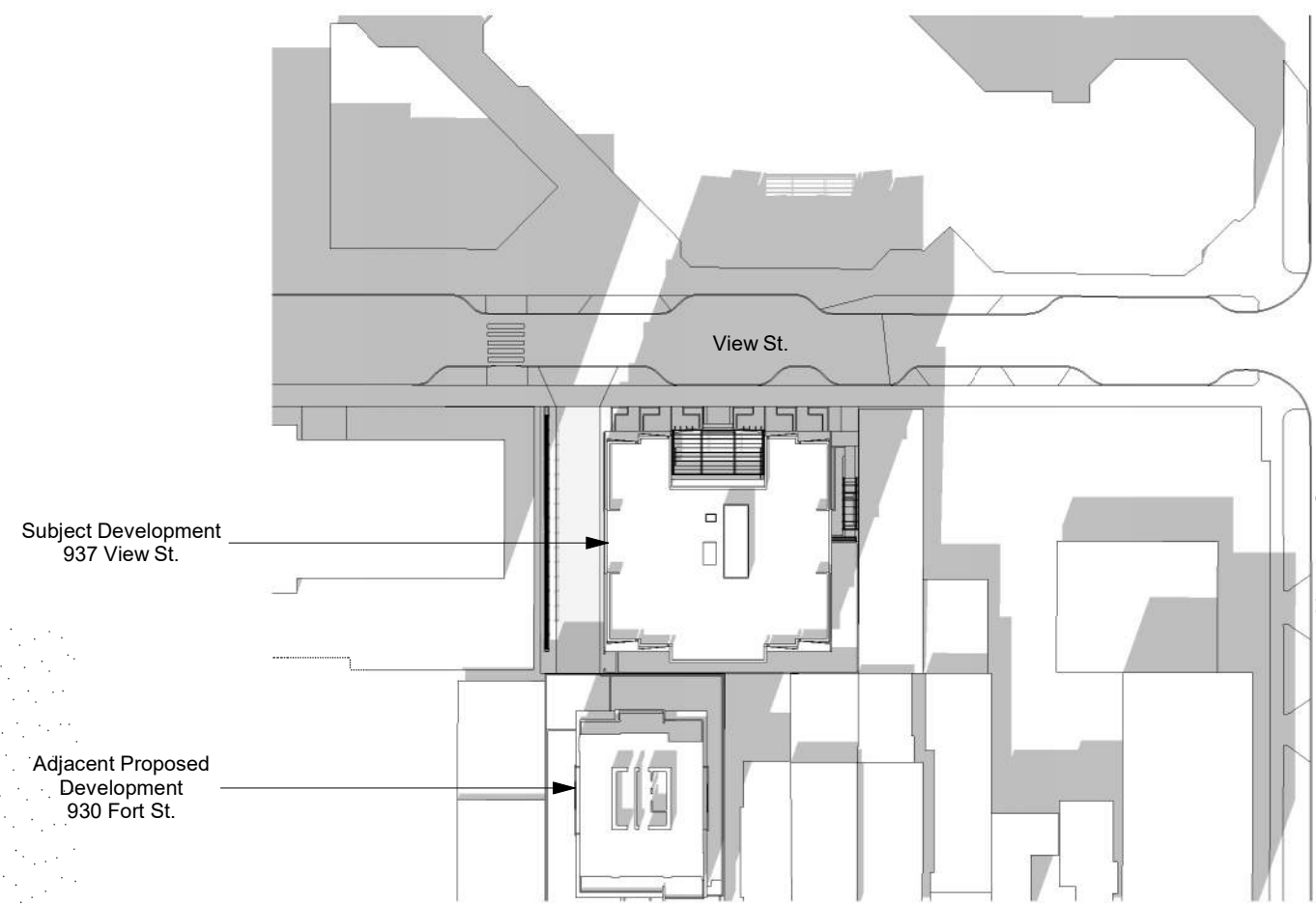
937 View Street

Site Plan Proposed

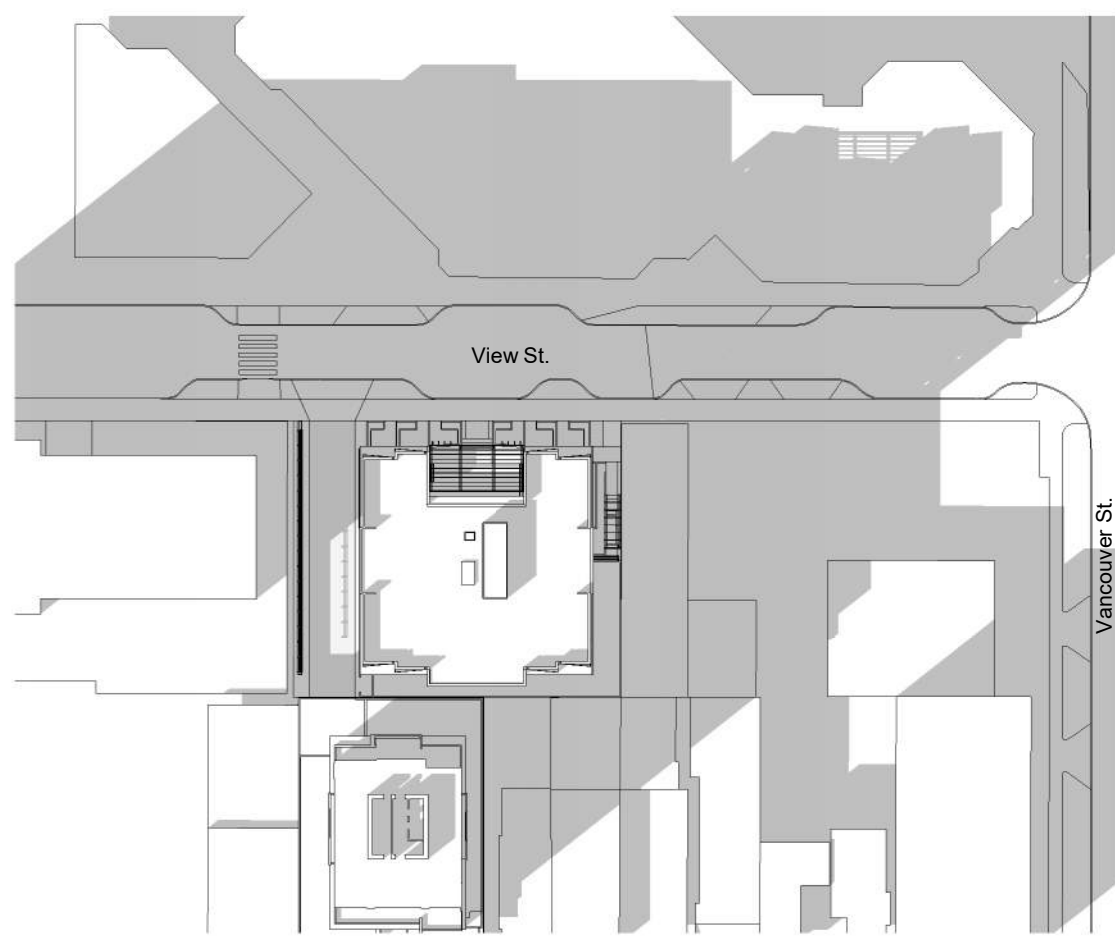


A102

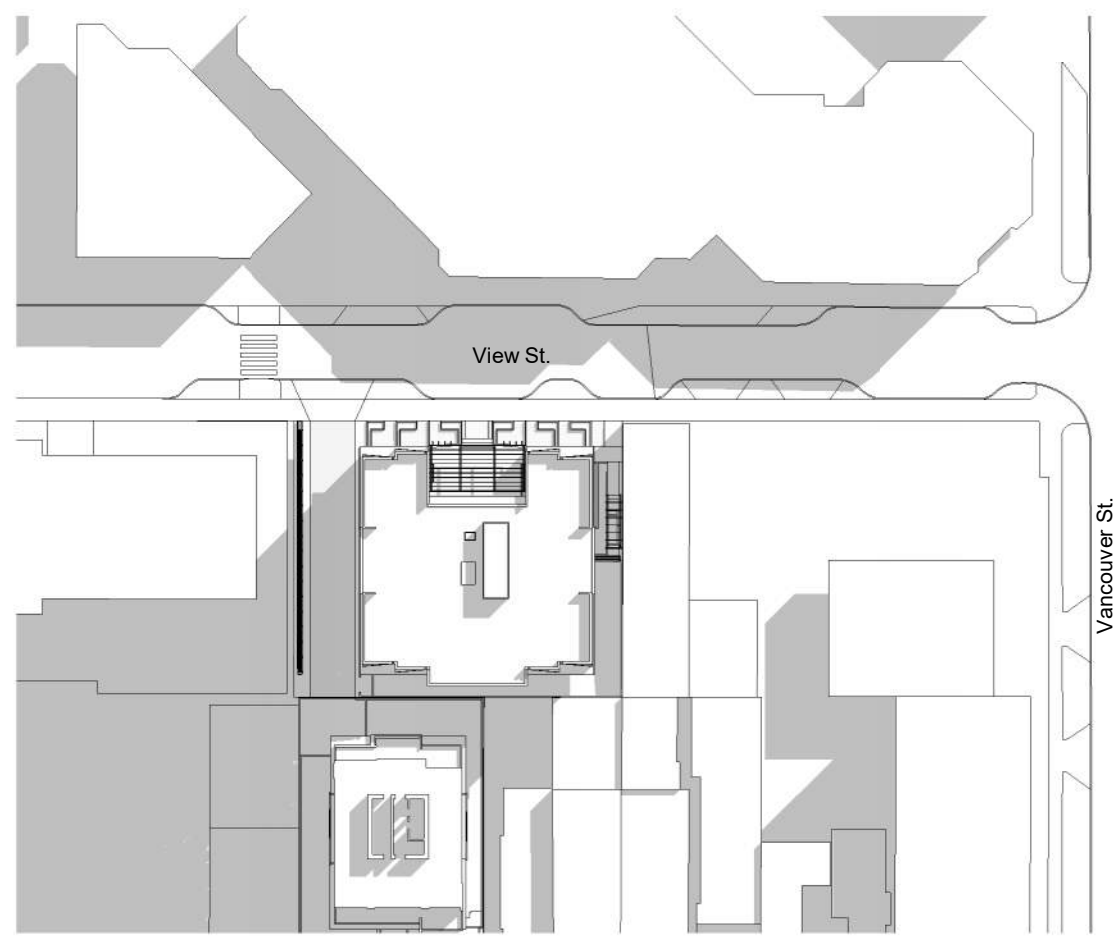
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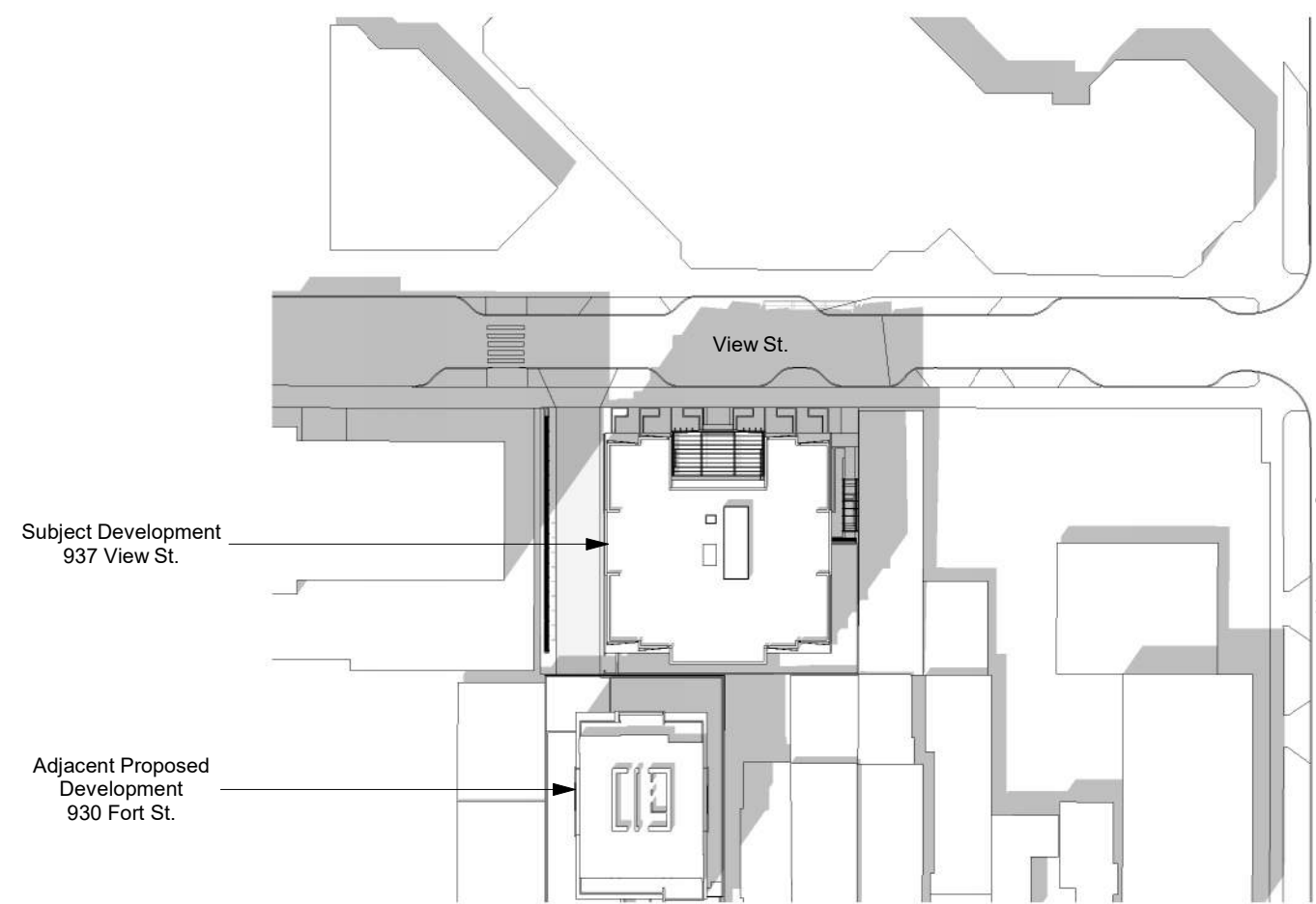
1 Shadow Study - Equinoxes - 10AM
A104 SCALE: 1 : 1000



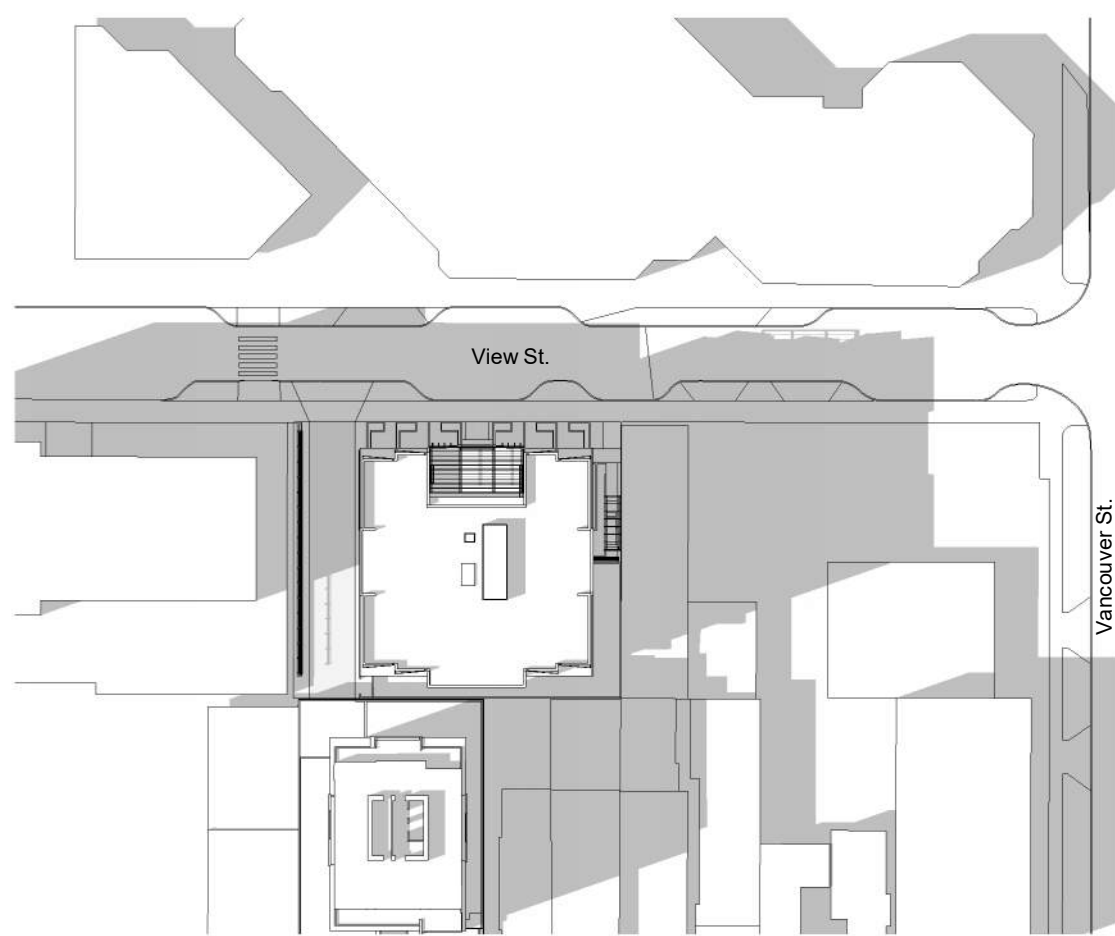
2 Shadow Study - Equinoxes - 12PM
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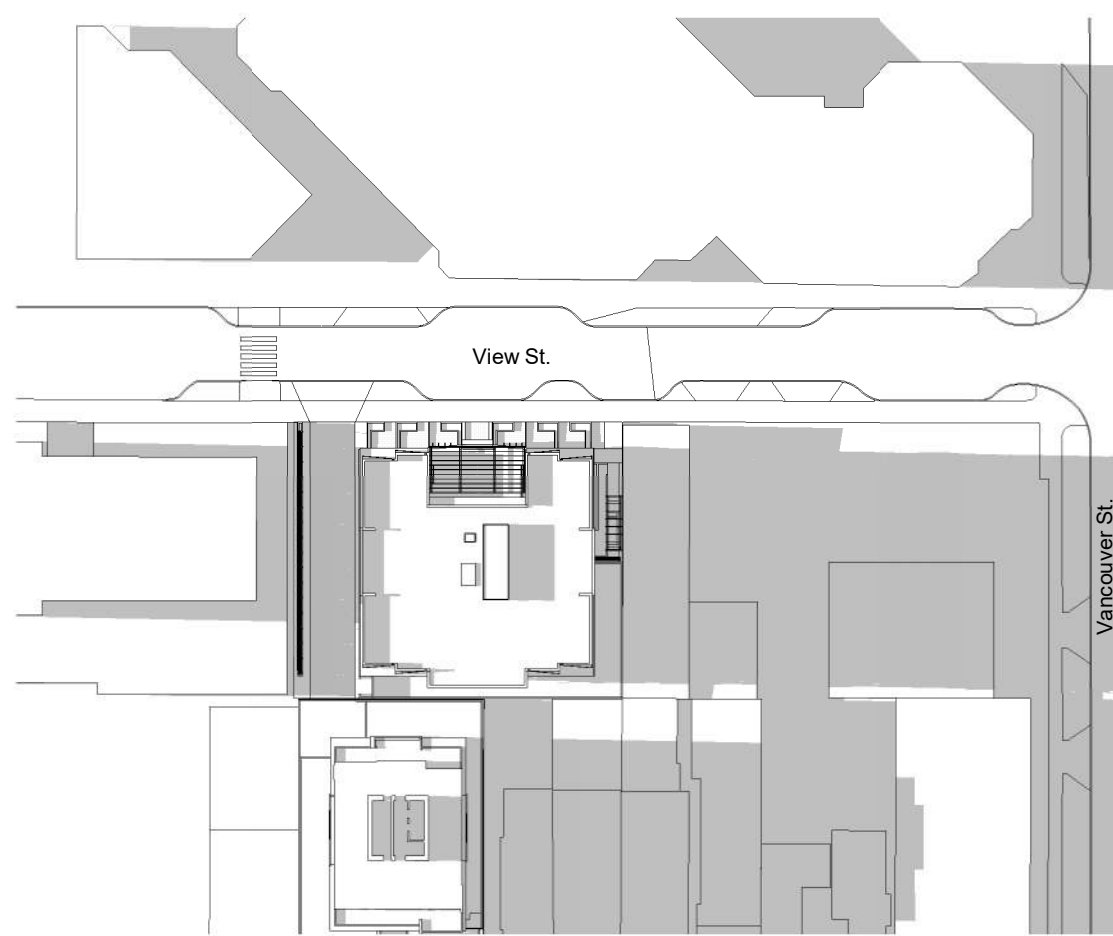
3 Shadow Study - Equinoxes - 2PM
A104 SCALE: 1 : 1000



4 Shadow Study - Summer Solstice - 10AM
A104 SCALE: 1 : 1000



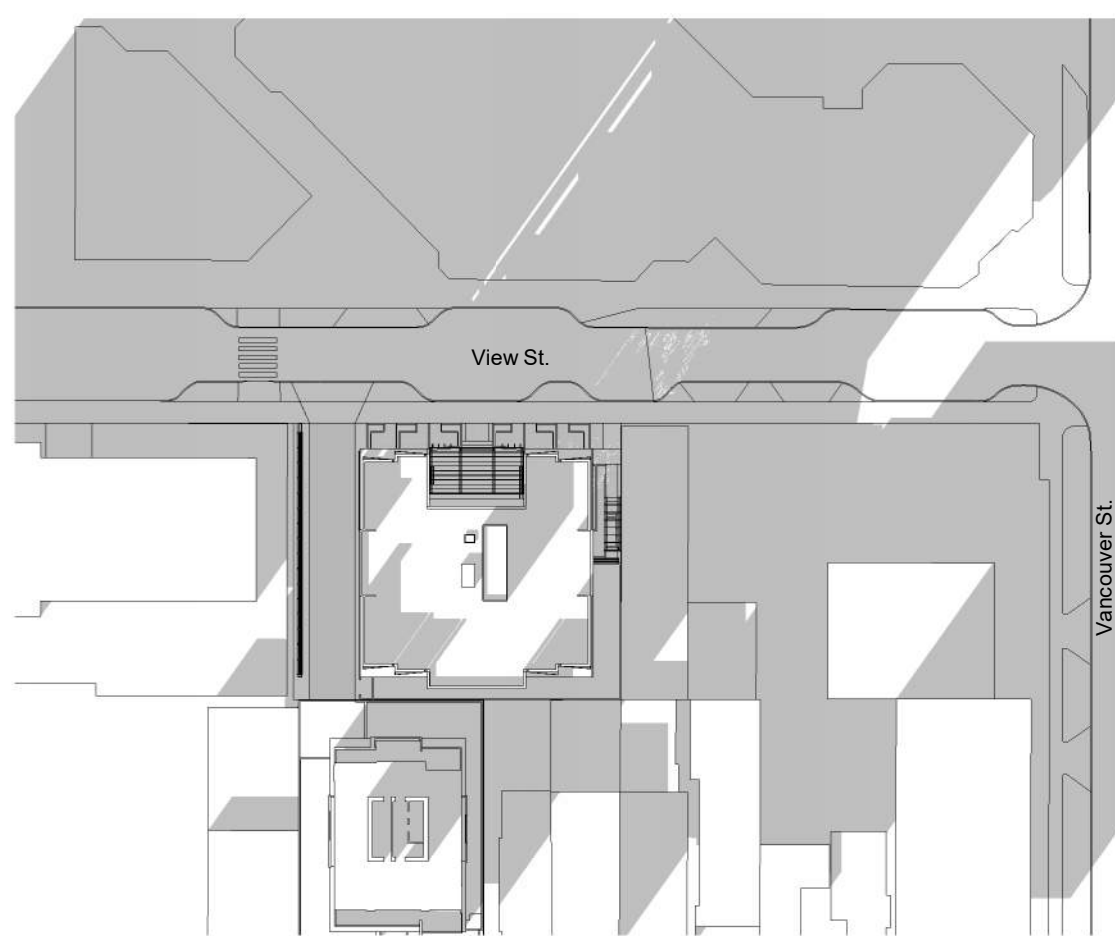
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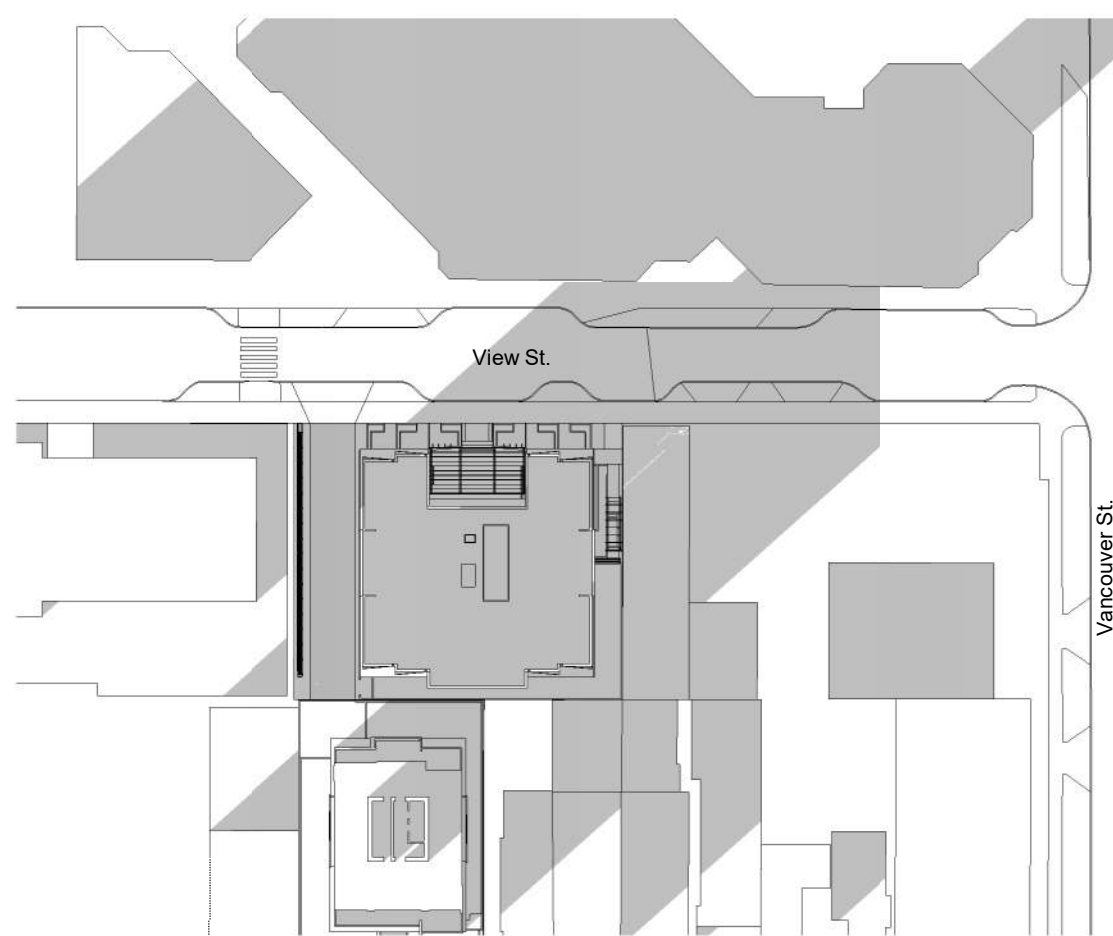
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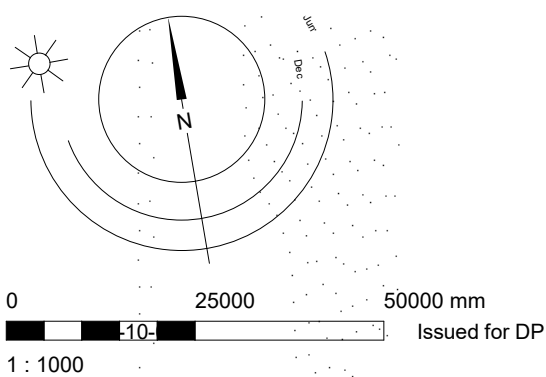
7 Shadow Study - Winter Solstice - 10AM
A104 SCALE: 1 : 1000



8 Shadow Study - Winter Solstice - 12PM
A104 SCALE: 1 : 1000



9 Shadow Study - Winter Solstice - 2PM
A104 SCALE: 1 : 1000



Plot Date	19/09/20	Drawing File	
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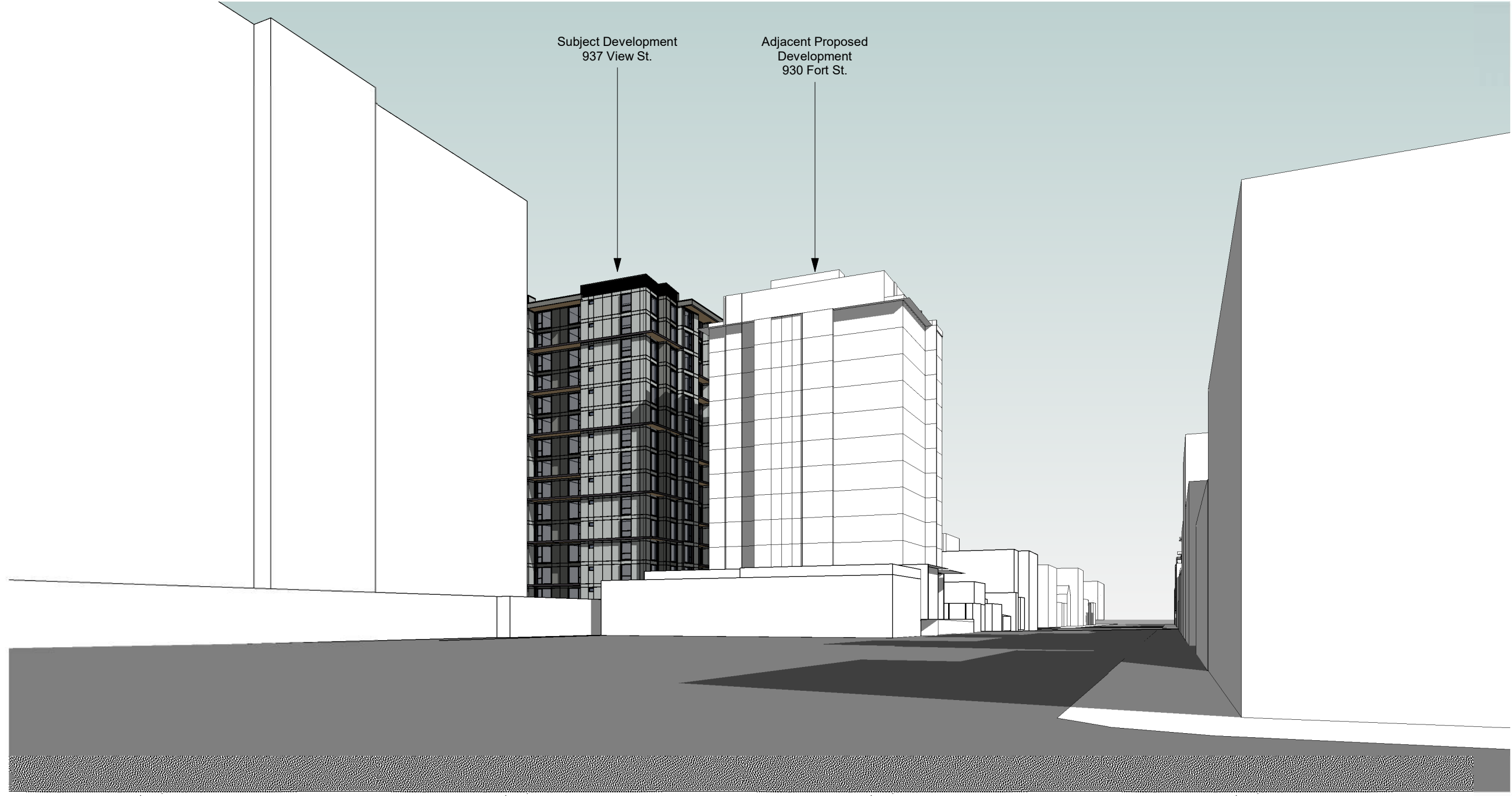
937 View Street

Site Context -
Shadow Analysis

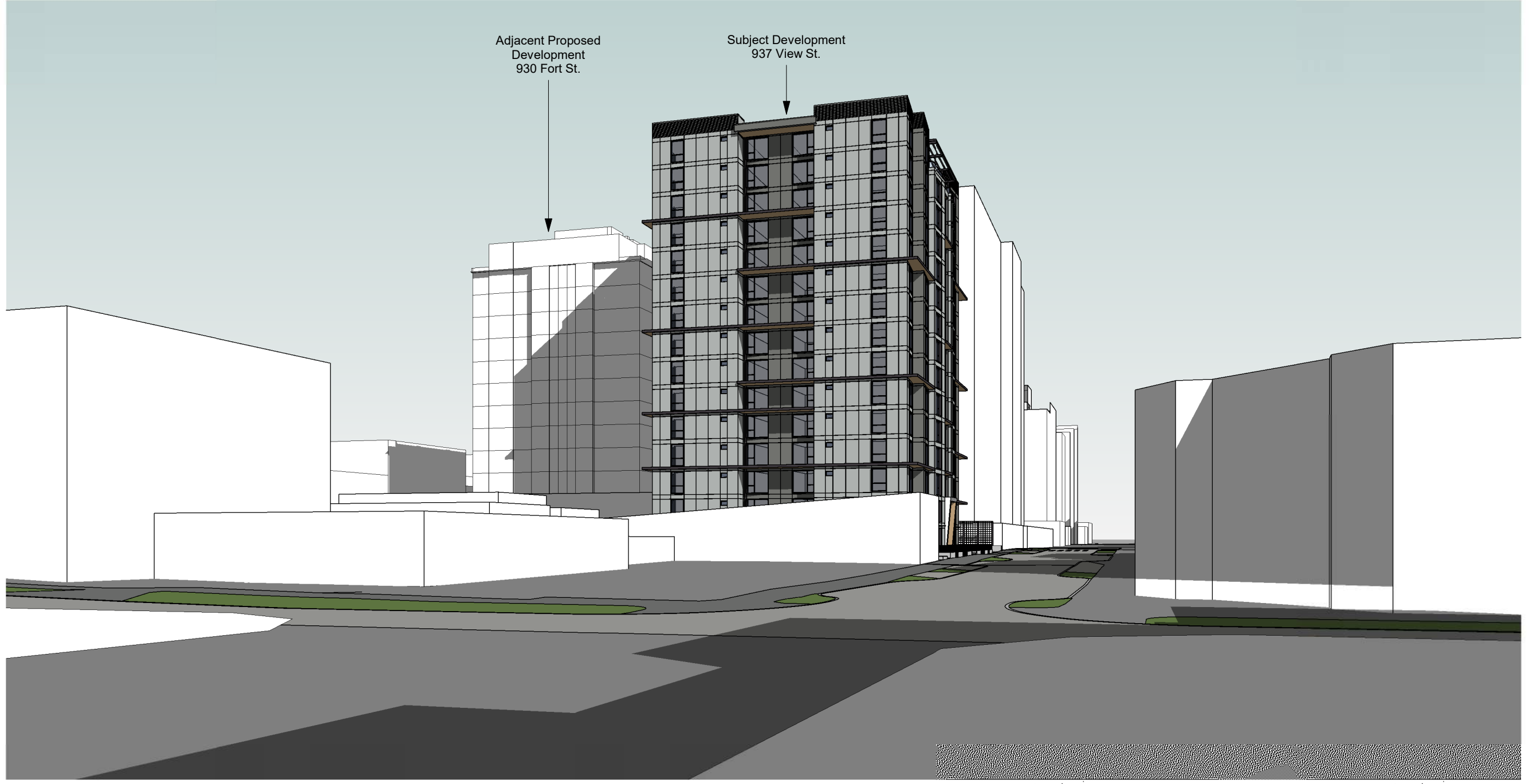
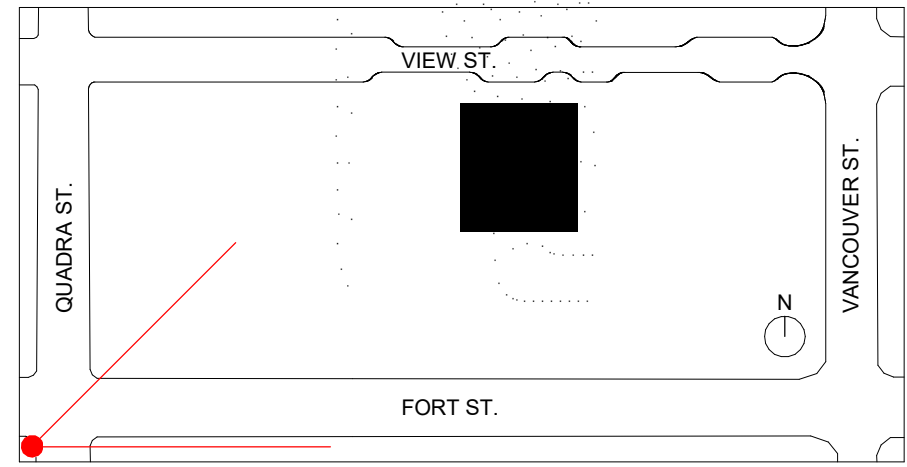


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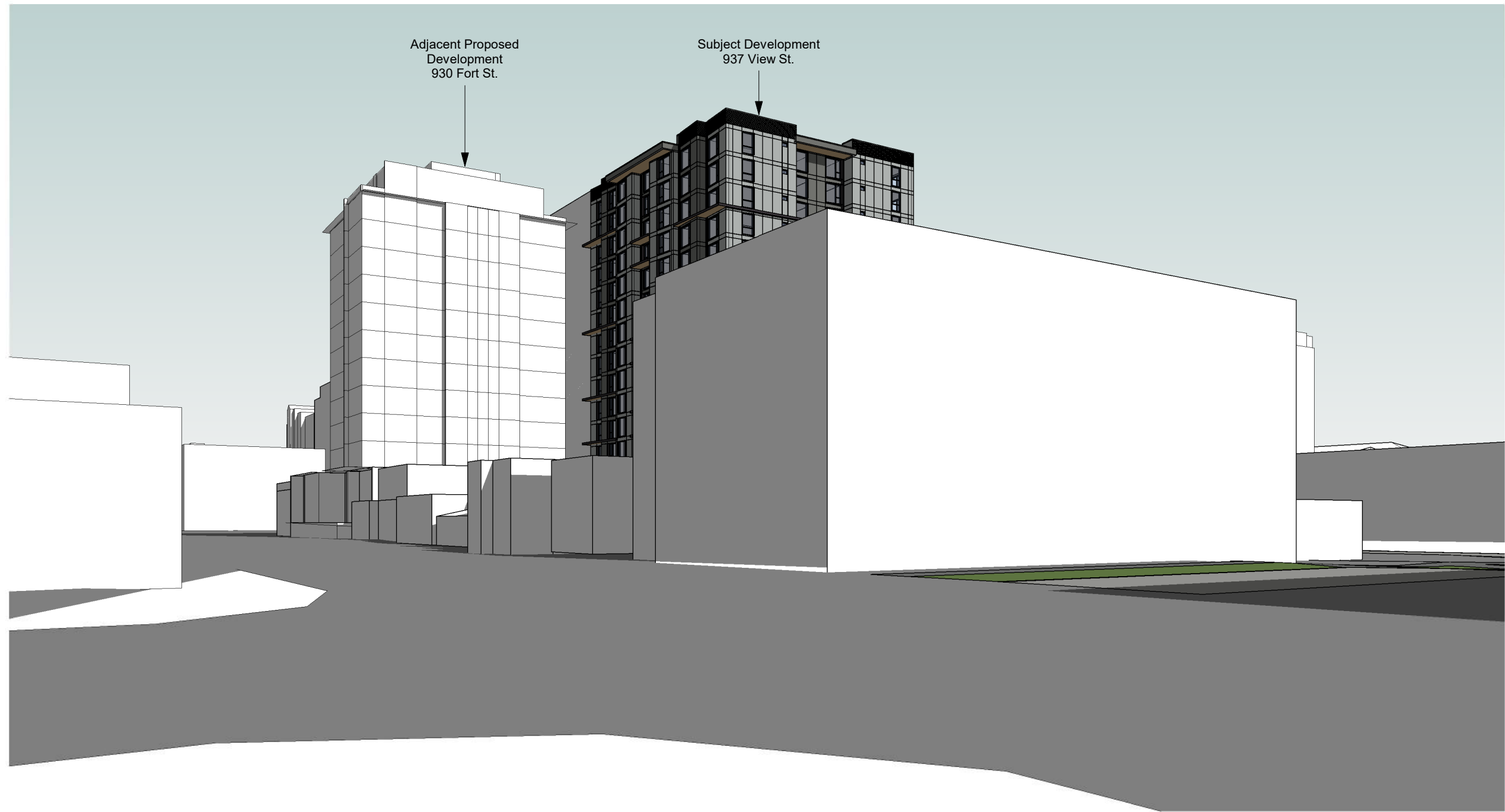
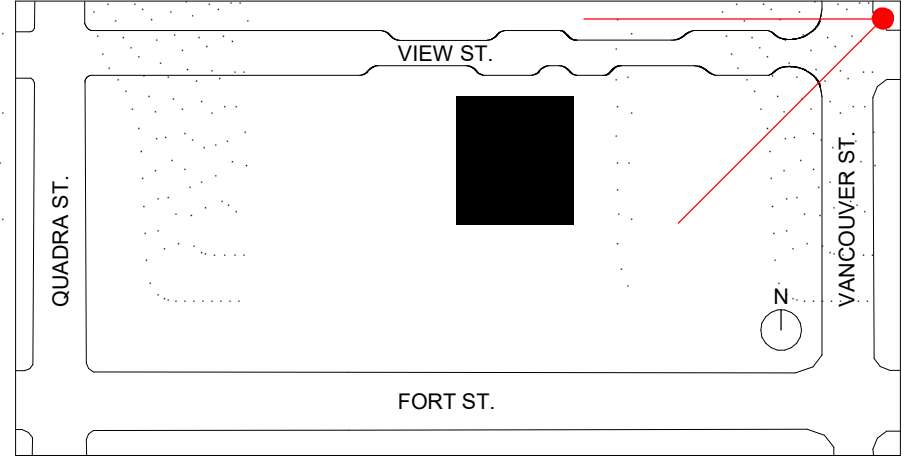
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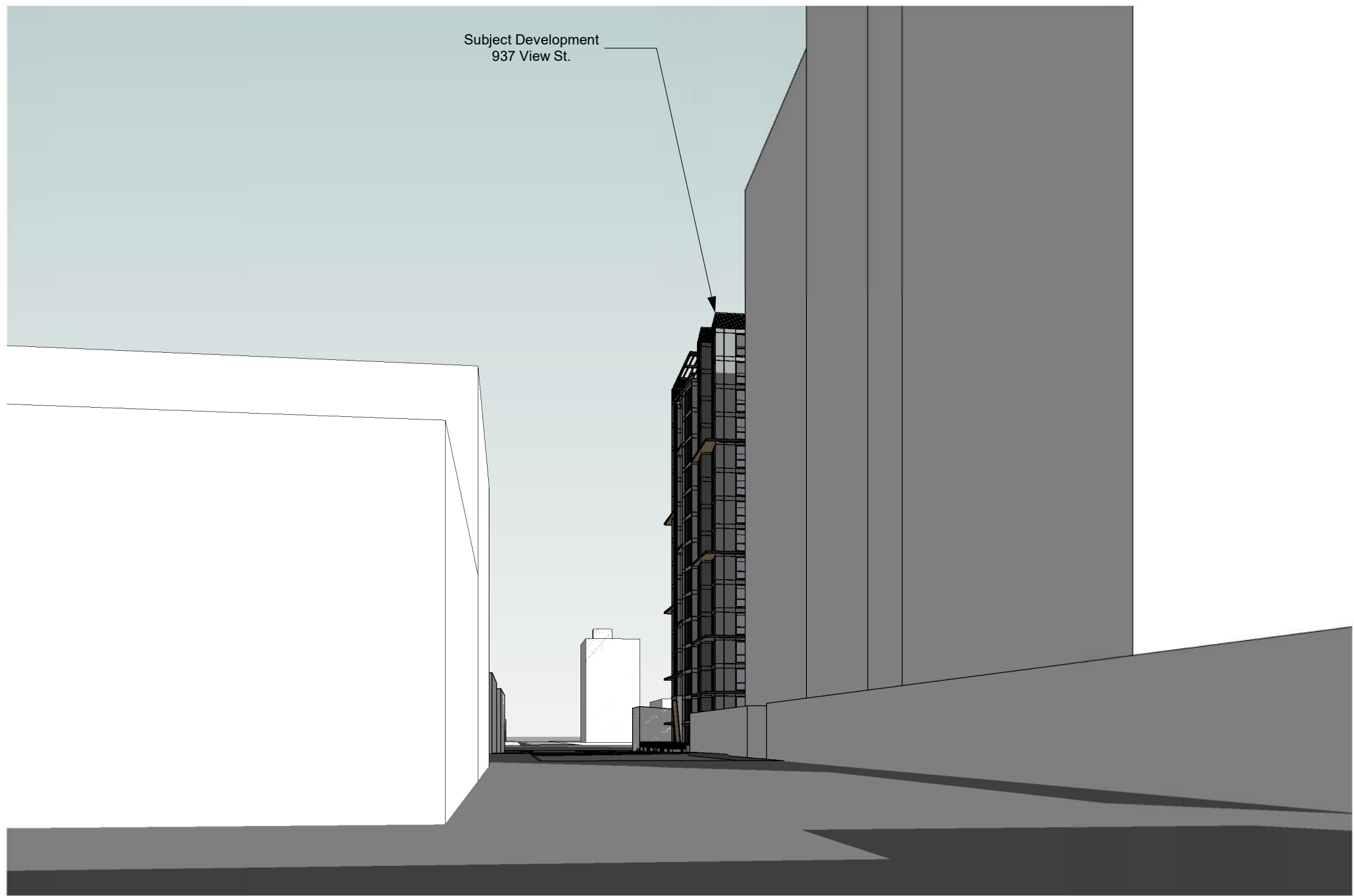
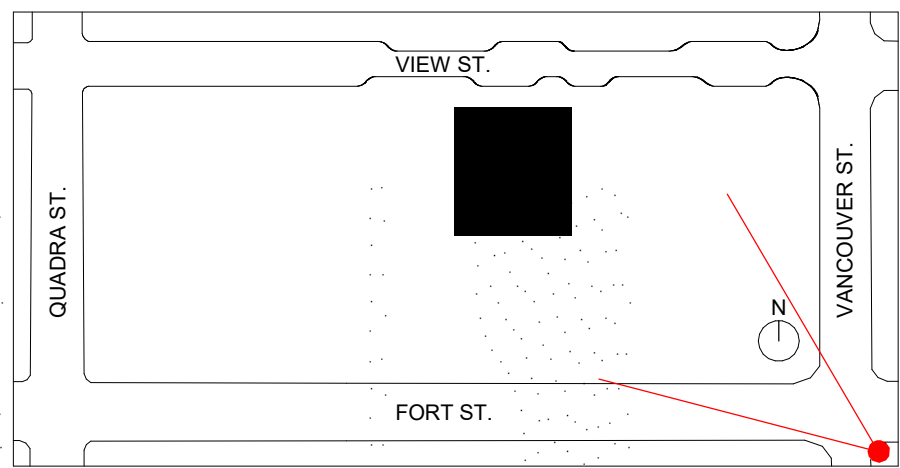
1 Street Perspective - Fort & Quadra - SW Corner
A105 SCALE:



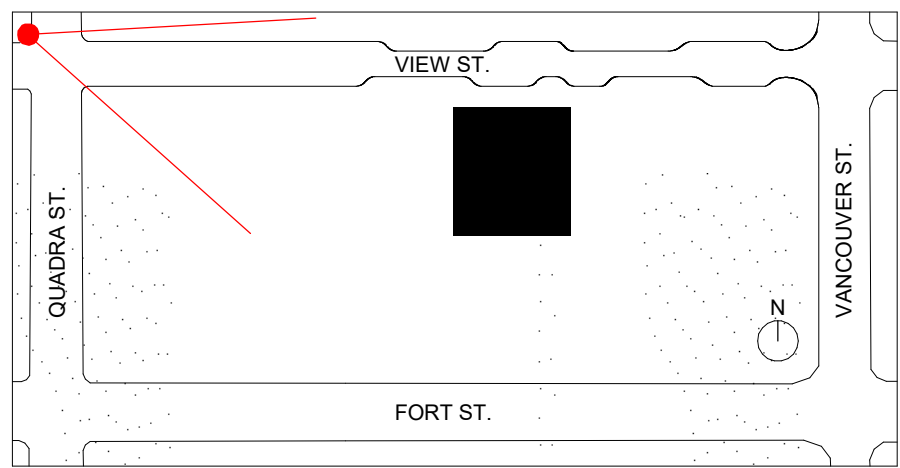
2 Street Perspective - View & Vancouver - NE Corner
A105 SCALE:



3 Street Perspective - Fort & Vancouver - SE Corner
A105 SCALE:



4 Street Perspective - View & Quadra - NW Corner
A105 SCALE:



Plot Date	19/09/20	Drawing File	
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NOTE: All dimensions are shown in millimeters.

937 View Street

Site Context - Street Views

dHka A105

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Plot Date 19/09/20 Drawing File
Drawn By RC/LCZ Checked By ADM
Scale 1 : 300 Project Number 1922

NOTE: All dimensions are shown in millimeters.

937 View Street

Site Context - Street Elevations



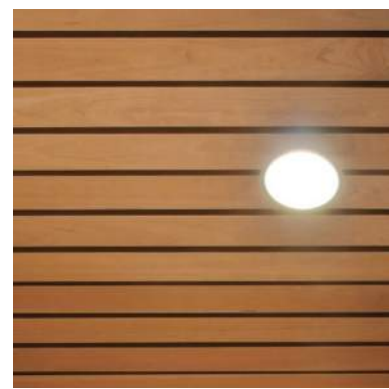
A106

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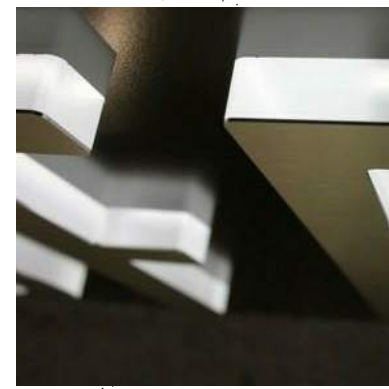
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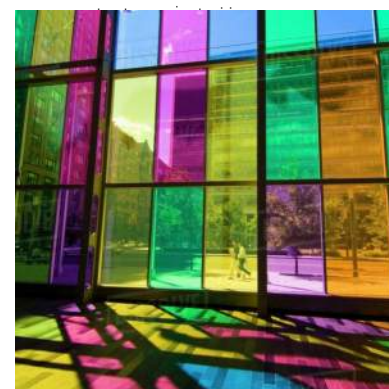
Black Zinc Louvres



Prefabricated Exterior Wood Soffit Panels



Three Dimensional Backlit Address Signage



Window Wall System w/ Low E Insulated Glass & coloured film



Tempered Glass Canopy / Rain Protection w/ Safety Film, PTD Steel Structure



Painted Metal Gates / Trellis Features & Fencing to match Zinc finish



Concrete Masonry, PTD to match M51.0.1



Wood Door with View Lite



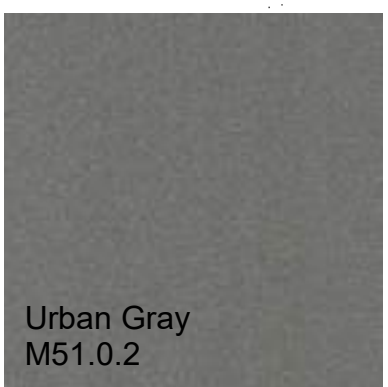
Tempered and Laminated Structural Glass Guardrail w/ Anodized Aluminum Cap Rail



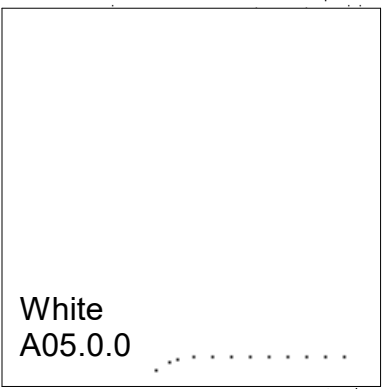
High Pressure Laminate Rainscreen Panels



High Pressure Laminate Rainscreen Panels



High Pressure Laminate Rainscreen Panels



Black Zinc Flashing & Trim Bands



Low E Insulated window panels w/SSG Joints in Anodized Aluminum Frame



Feature Green Wall on PTD Metal Structure w/ Architectural Exposed Concrete Planter



Architectural Exposed Concrete Benches/Planters



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Scale 1 : 5 Project Number 1922

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Site Context -
Materials

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1 Perspective Render - Looking SE
A108 / SCALE:



2 Perspective Render - Looking SW on View St.
A108 / SCALE:



3 Perspective Render - Eye Level on View St.
A108 / SCALE:

Plot Date	19/09/20	Drawing File	
Drawn By	RC/LCZ	Checked By	ADM
Scale		Project Number	1922

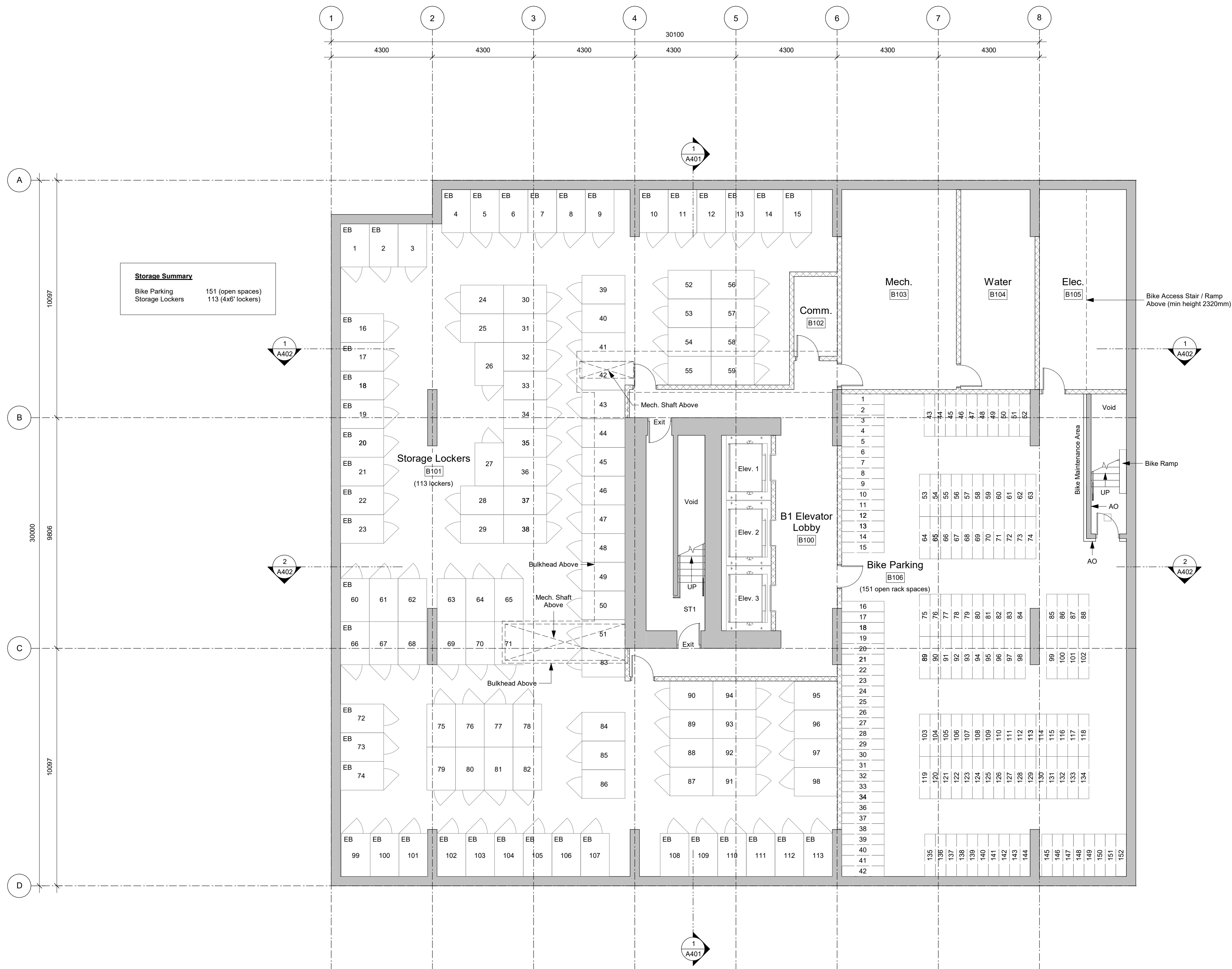
NOTE: All dimensions are shown in millimeters.

937 View Street

Site Context -
Rendered Views

dHkA A108

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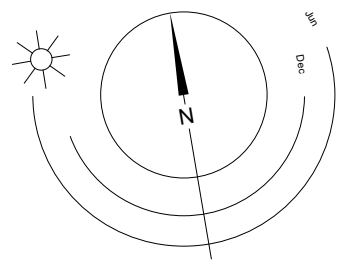
Storage Summary
Bike Parking 151 (open spaces)
Storage Lockers 113 (4x6' lockers)

Plot Date 19/09/20 Drawing File
Drawn By RC/LCZ Checked By ADM
Scale 1 : 100 Project Number 1922

NOTE: All dimensions are shown in millimeters.

937 View Street

Level B1 Basement Plan



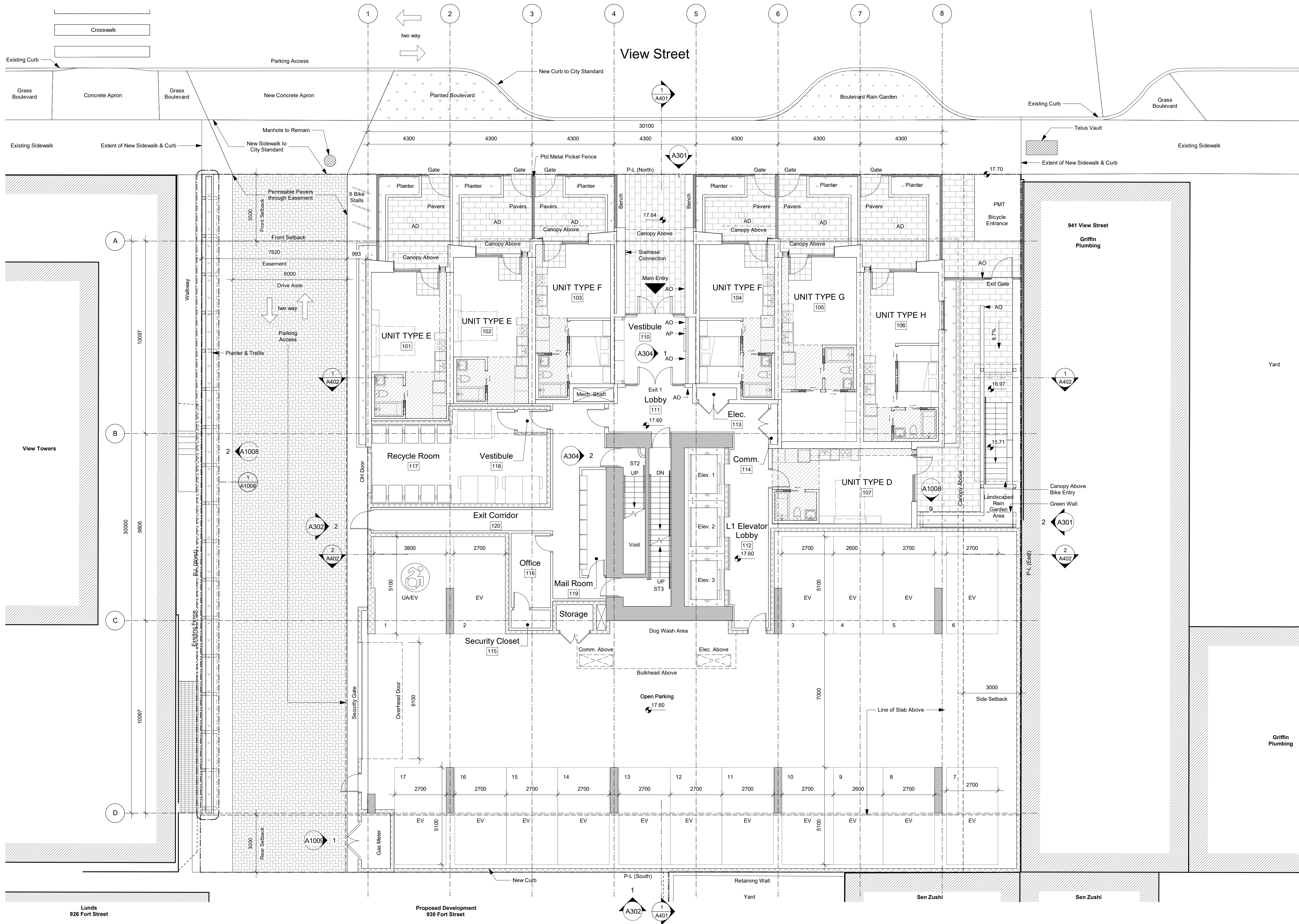
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A201

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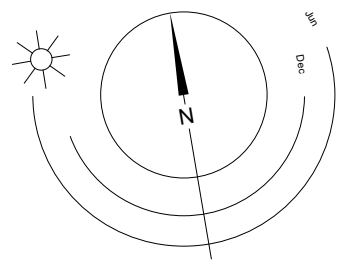


Plot Date 19/09/20 Drawing File
Drawn By RC/LCZ Checked By ADM
Scale 1 : 100 Project Number 1922

NOTE: All dimensions are shown in millimeters.

937 View Street

Level L1 Plan



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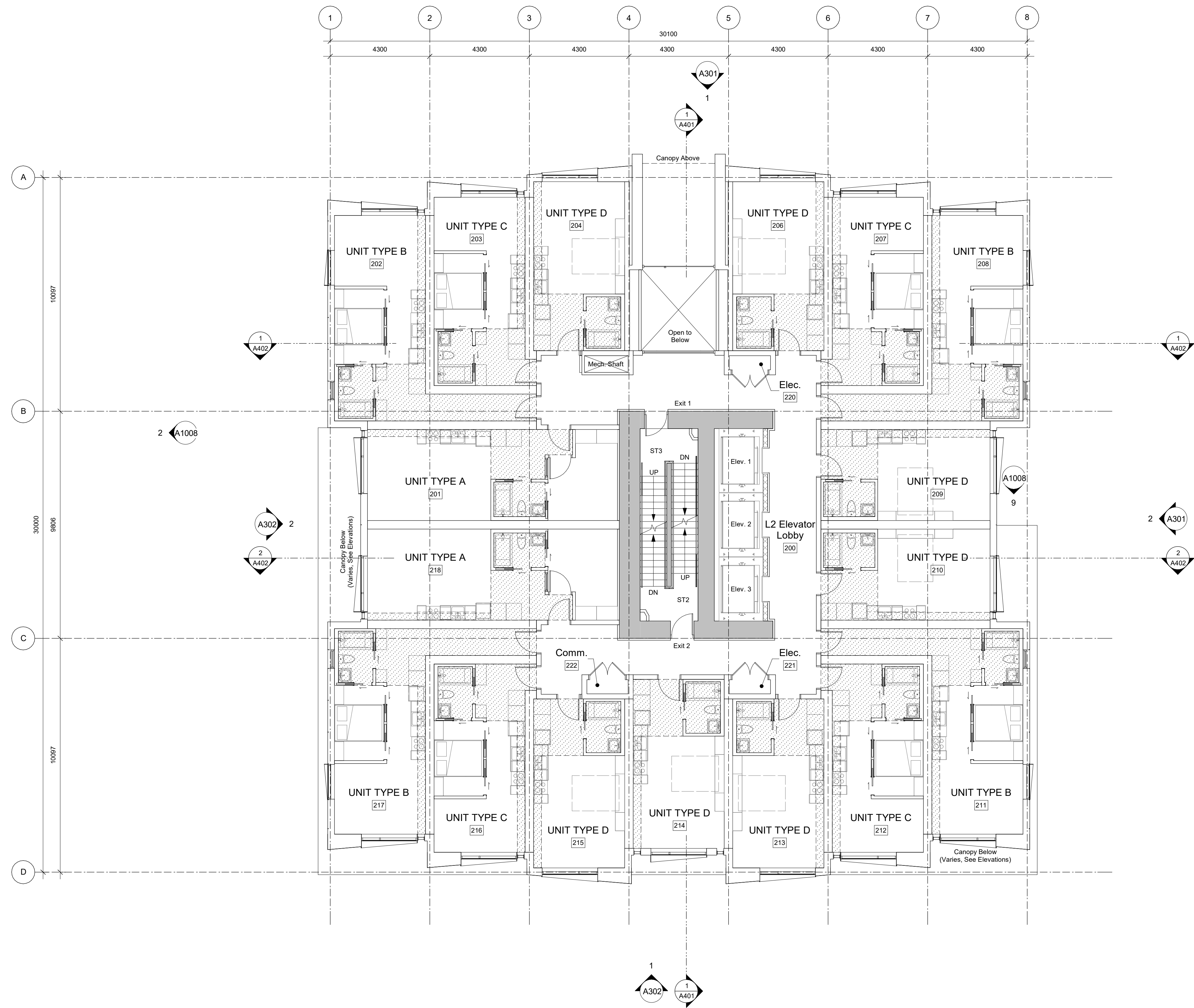


A202

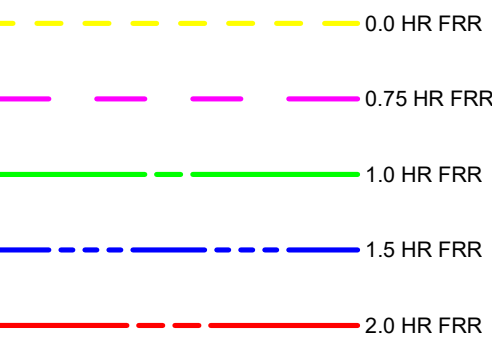
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2019-10-02 12:42:55 PM



Fire Separation Legend



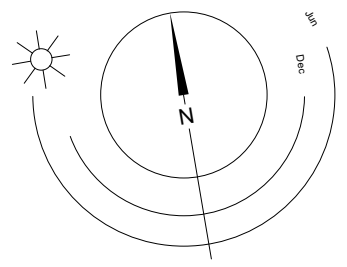
19-10-02 Issued for DP

Plot Date 19/09/20 Drawing File
Drawn By RC/LCZ Checked By ADM
Scale As indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

937 View Street

Level L2 Plan



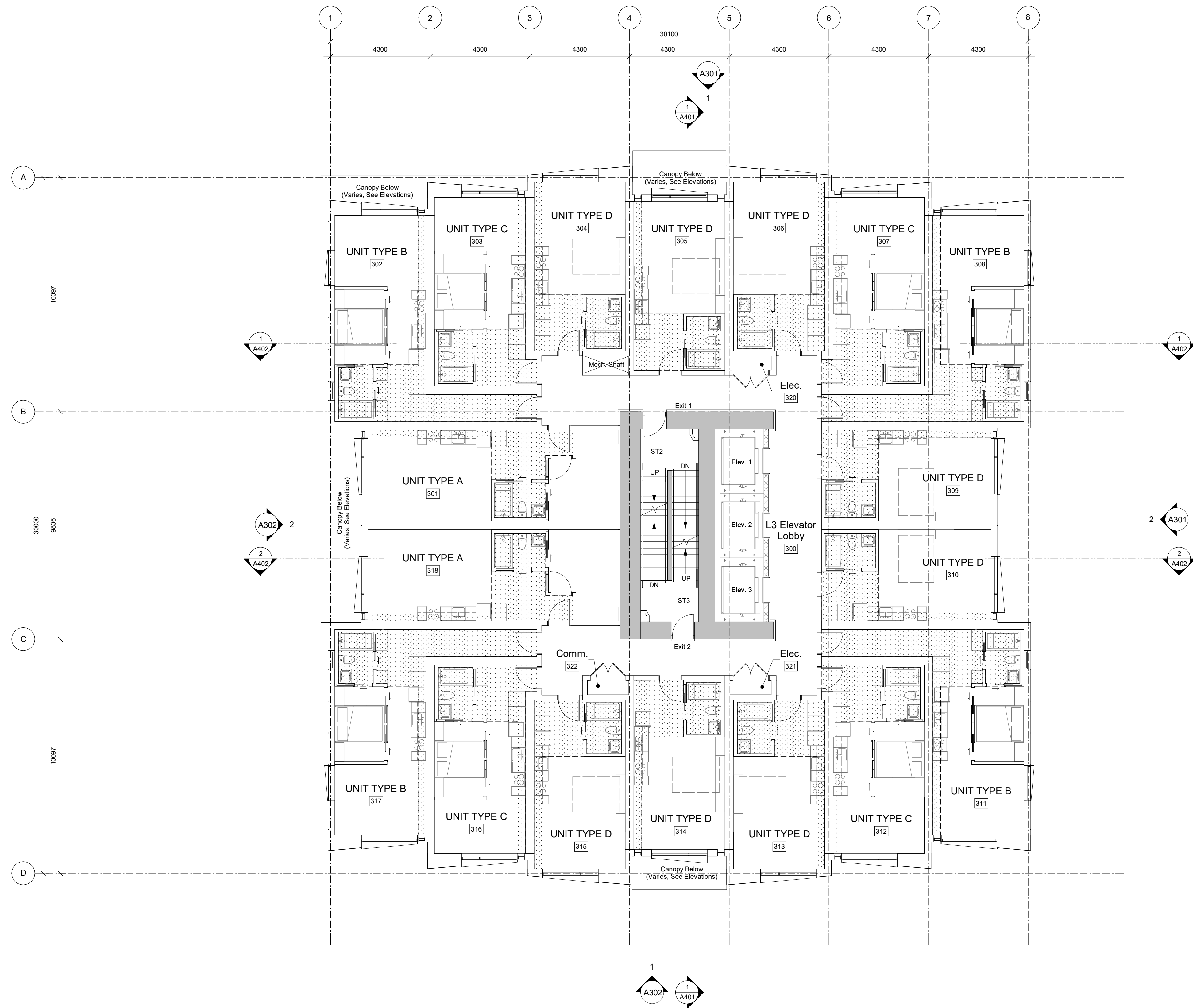
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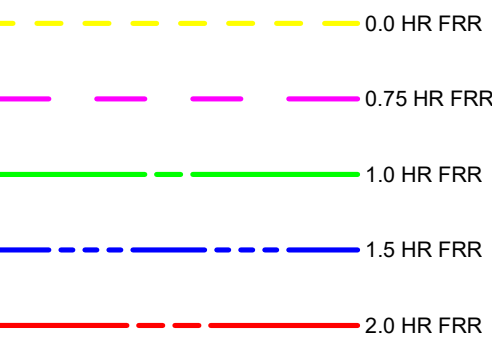
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2019-10-02 12:42:59 PM



Fire Separation Legend

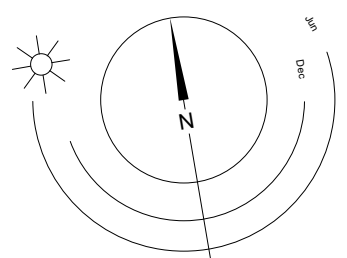


Plot Date 19/09/20 Drawing File
Drawn By RC/LCZ Checked By ADM
Scale As indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

937 View Street

Level L3 - L14 Plan

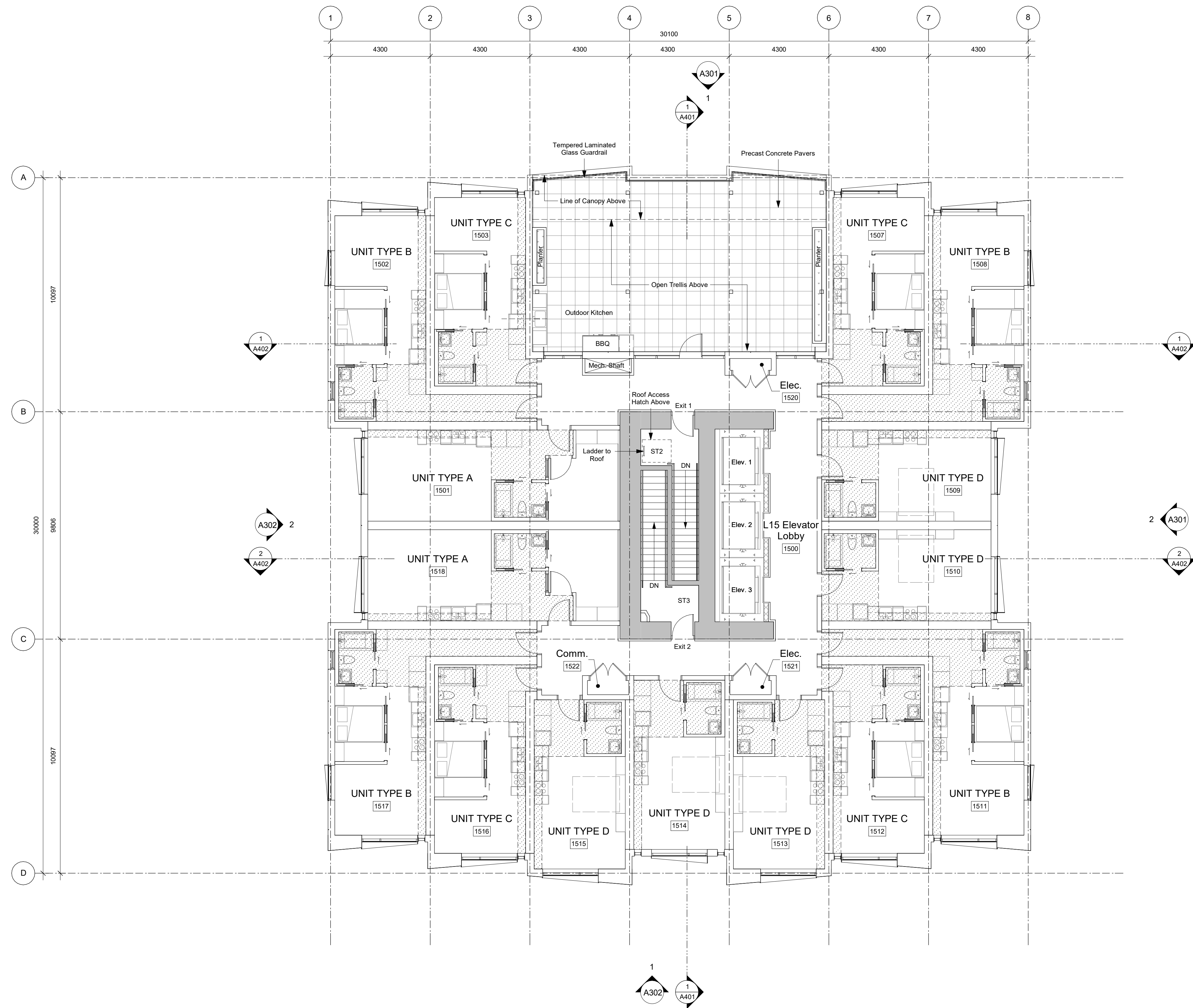


A204

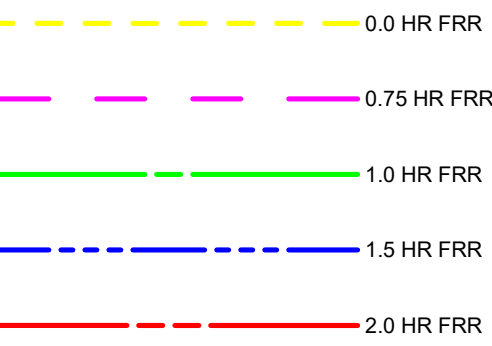
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2019-10-02 12:43:03 PM



Fire Separation Legend

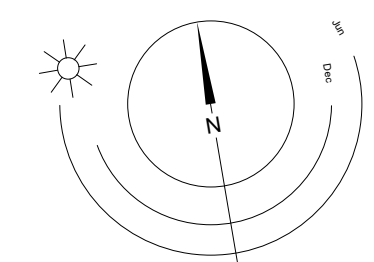


Plot Date: 19/09/20 Drawing File: ADM
Drawn By: RC/LCZ Checked By: 1922
Scale: As indicated Project Number: 1922

NOTE: All dimensions are shown in millimeters.

937 View Street

Level L15 Plan

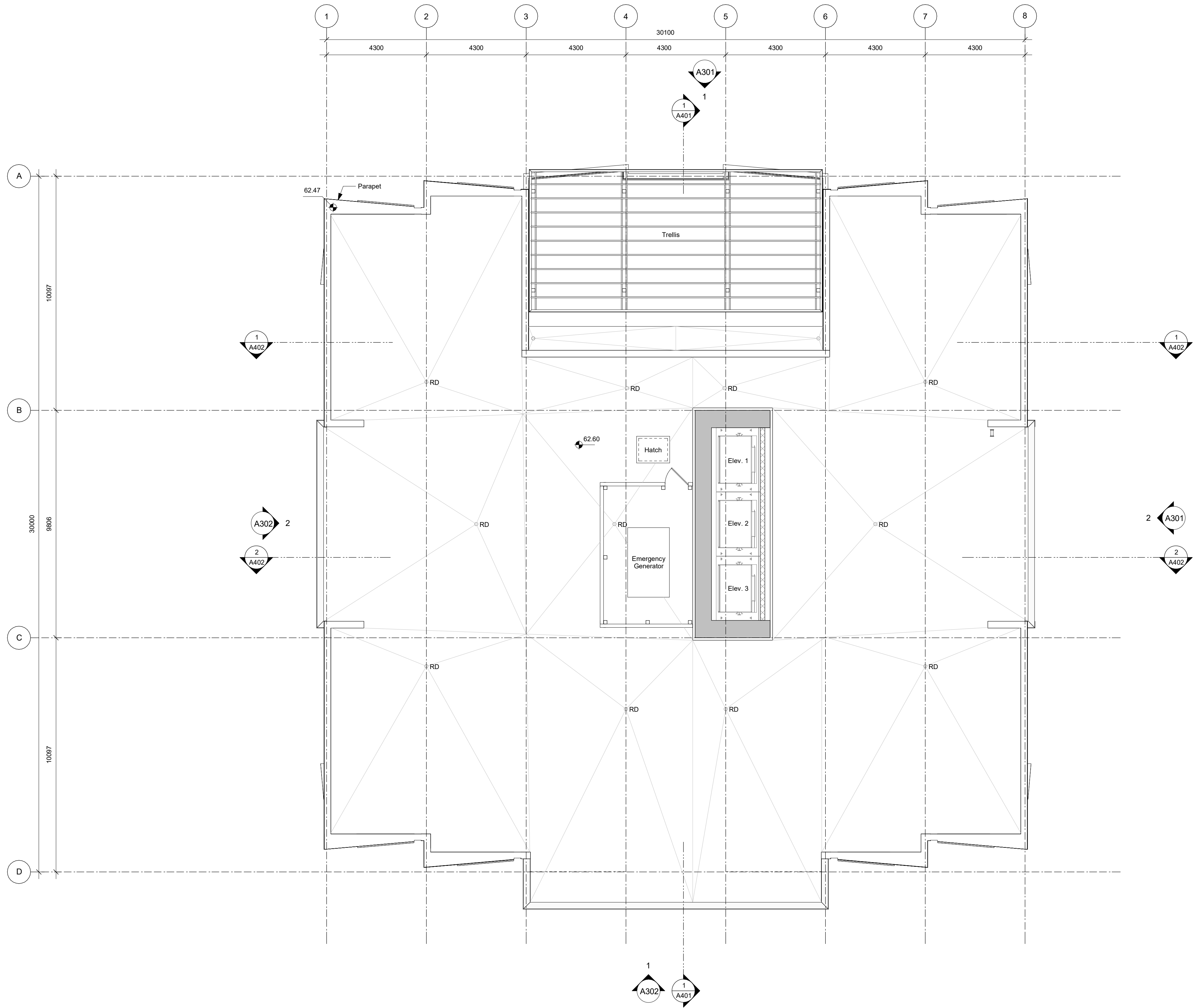


dHka **A205**

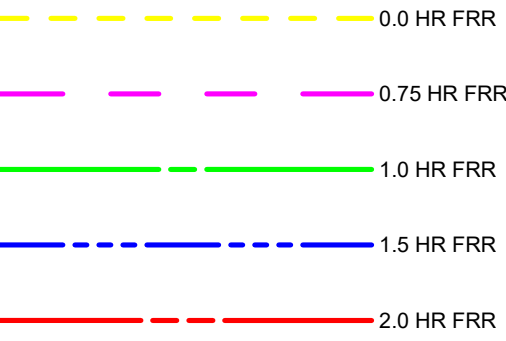
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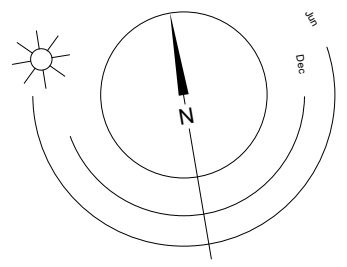


Plot Date	19/09/20	Drawing File	
Drawn By	RC/LCZ	Checked By	ADM
Scale	As indicated	Project Number	1922

NOTE: All dimensions are shown in millimeters.

937 View Street

Roof Plan



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A206

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Materials Schedule

- 1A High Pressure Laminate Panel - Urban Grey
- 1B High Pressure Laminate Panel - Aluminum Grey
- 1C High Pressure Laminate Panel - White
- 2A Low-e, Insulated Glass Anodized Aluminum Framed Window
- 2B Low-e, Insulated, Frosted Glass Anodized Aluminum Framed Window
- 3 Tempered and Laminated Glass Guardrail with Anodized Aluminum Caprail
- 4 Black Zinc Flashing / Trim
- 5 Low-e, Insulated Glass with Safety Film Storefront System
- 6 Mechanical Equipment Screen - Metal mesh panels on steel structural frame
- 7A Smooth Face Concrete Masonry Units Stack Bond - Painted Finish to Match Light Grey Panels
- 7B Smooth Face Concrete Masonry Units Stack Bond - Painted Finish to Match Dark Grey Panels
- 8 Low-e, Insulated Glass with Coloured Film Tint Window Wall System - Colour to be Specified by Architect
- 9A Architectural Exposed Concrete
- 9B Architectural Concrete - Painted Finish
- 9C Precast concrete
- 10 Painted Concrete
- 11 Black Zinc Louvre
- 12 Sectional Aluminum Overhead Garage Door with Security Mesh in All Openings
- 13 Painted Steel Structure to Match Zinc Finish
- 14 Tempered and Laminated Canopy Glazing
- 15 Painted Metal Fence
- 16 Wood Door with View Lite

Plot Date 19/09/20 Drawing File
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937 View Street

Building Elevations



A301

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1 Building Elevation - North
A301 SCALE: 1 : 150



2 Building Elevation - East
A301 SCALE: 1 : 150



1 Building Elevation - South
A302 SCALE: 1 : 150



2 Building Elevation - West
A302 SCALE: 1 : 150

Materials Schedule

- 1A High Pressure Laminate Panel - Urban Grey
- 1B High Pressure Laminate Panel - Aluminum Grey
- 1C High Pressure Laminate Panel - White
- 2A Low-e, Insulated Glass Anodized Aluminum Framed Window
- 2B Low-e, Insulated, Frosted Glass Anodized Aluminum Framed Window
- 3 Tempered and Laminated Glass Guardrail with Anodized Aluminum Caprail
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- 6 Mechanical Equipment Screen - Metal mesh panels on steel structural frame
- 7A Smooth Face Concrete Masonry Units Stack Bond - Painted Finish to Match Light Grey Panels
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- 8 Low-e, Insulated Glass with Coloured Film Tint Window Wall System - Colour to be Specified by Architect
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- 13 Painted Steel Structure to Match Zinc Finish
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- 15 Painted Metal Fence
- 16 Wood Door with View Lite

Plot Date 19/09/20 Drawing File
Drawn By RC/LCZ Checked By ADM
Scale As indicated Project Number 1922
NOTE: All dimensions are shown in millimeters.

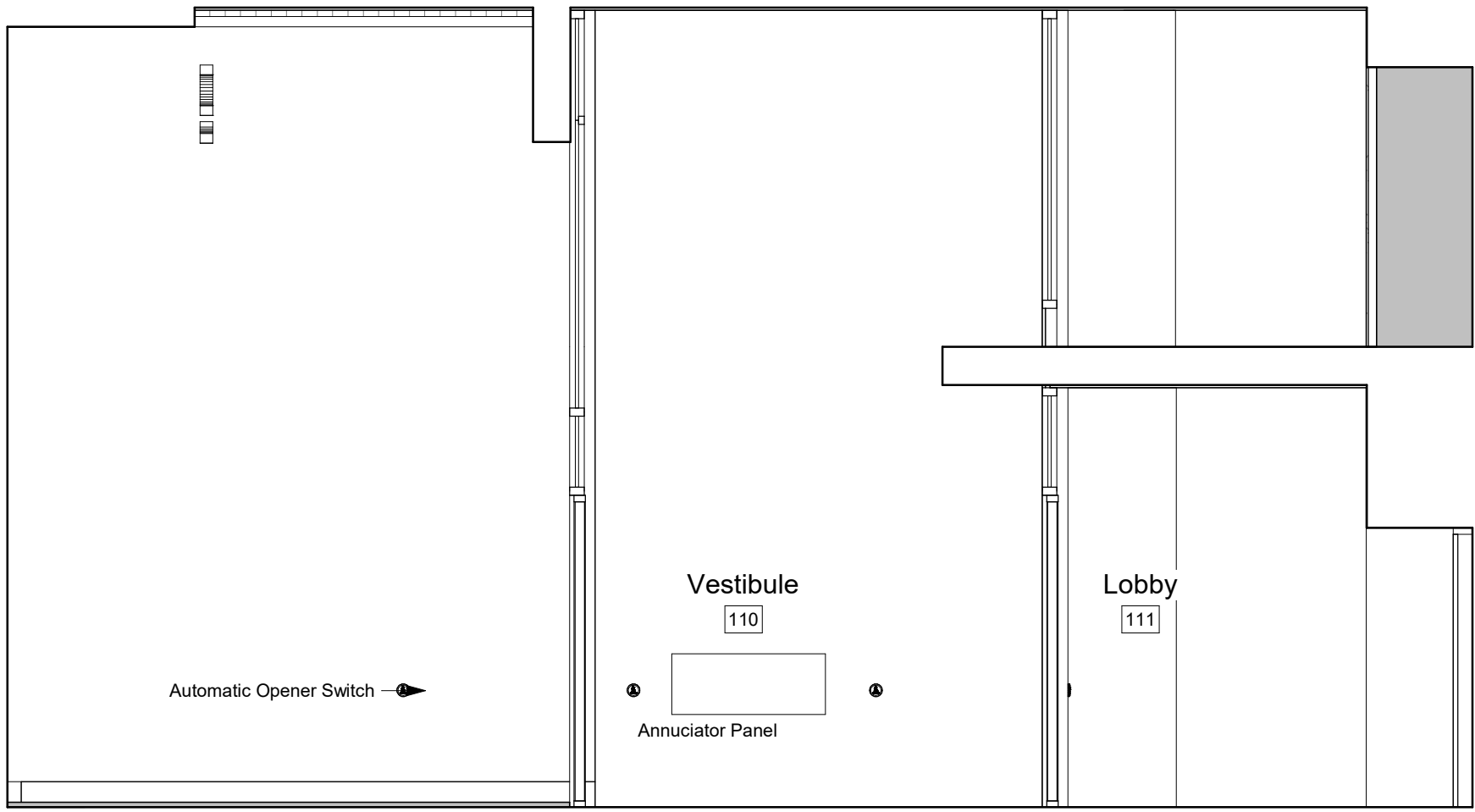
937 View Street

Building Elevations

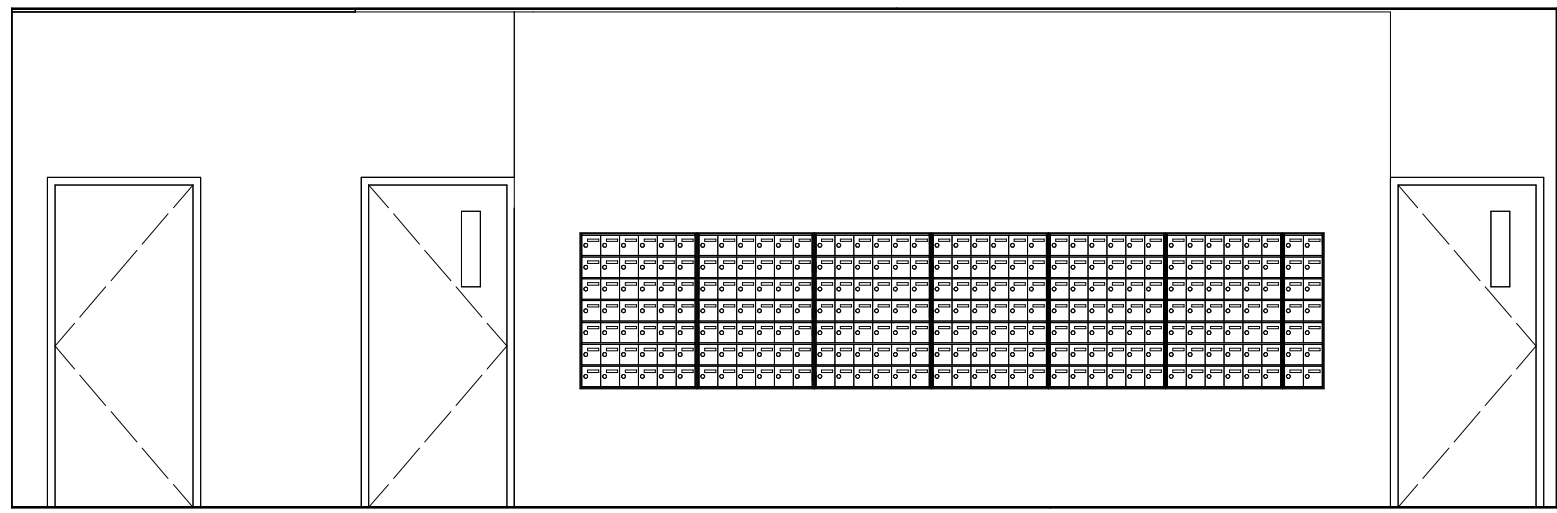


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1 Main Entry - Vestibule
A304 SCALE: 1 : 50



2 Main Lobby - Mailboxes
A304 SCALE: 1 : 50

Plot Date	19/09/20	Drawing File	
Drawn By	Author	Checked By	Checker
Scale	1 : 50	Project Number	1922

NOTE: All dimensions are shown in millimeters.

937 View Street

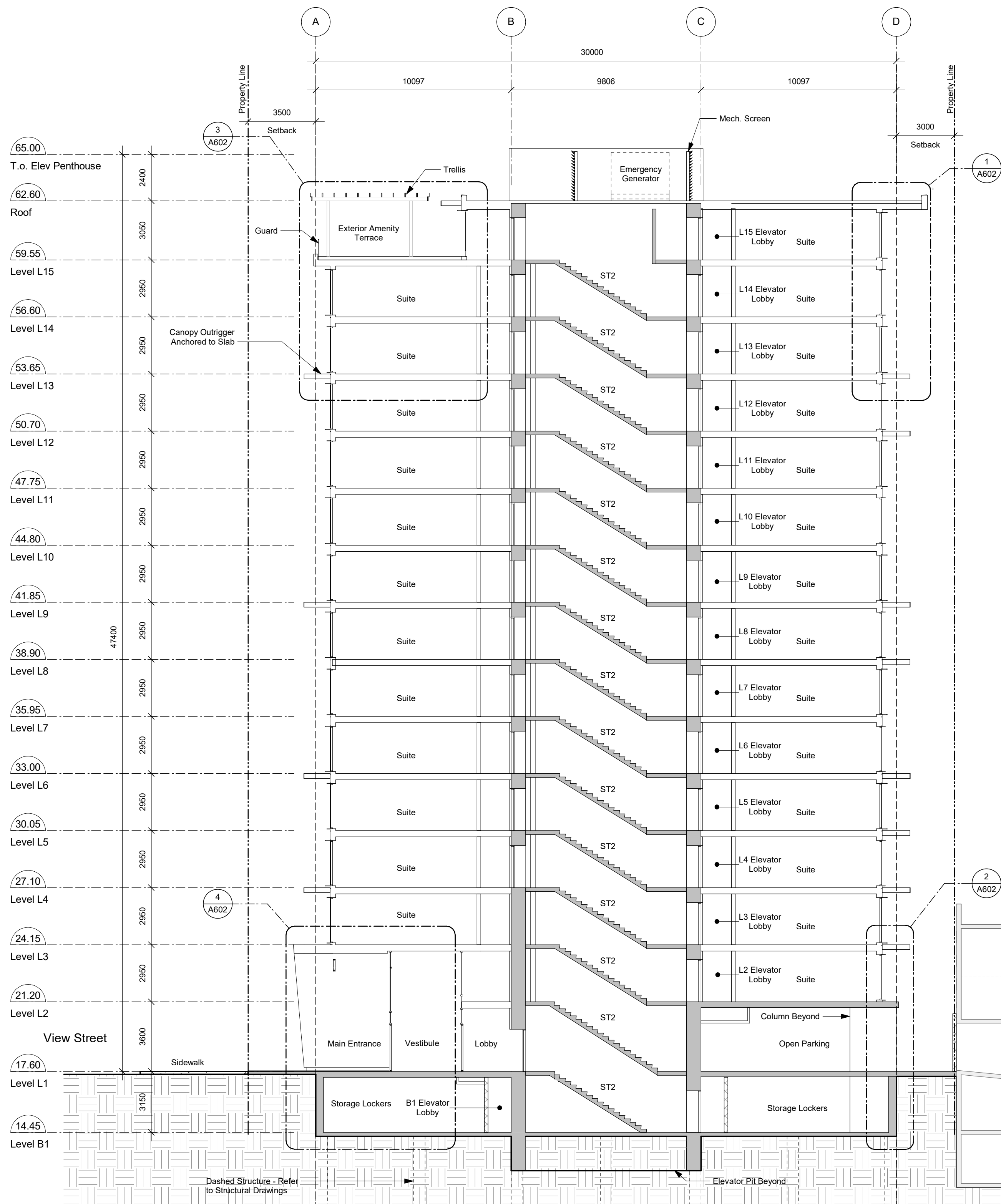
Interior Elevations



A304

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OUTLINE OF PROPOSED RESIDENTIAL
DEVELOPMENT 930 FORT STREET
(SUPPLIED BY DEVELOPER)



19-10-02 Issued for DP

Plot Date 19/09/20 Drawing File
Drawn By RC/LCZ Checked By ADM
Scale 1 : 150 Project Number 1922

NOTE: All dimensions are shown in millimeters.

937 View Street

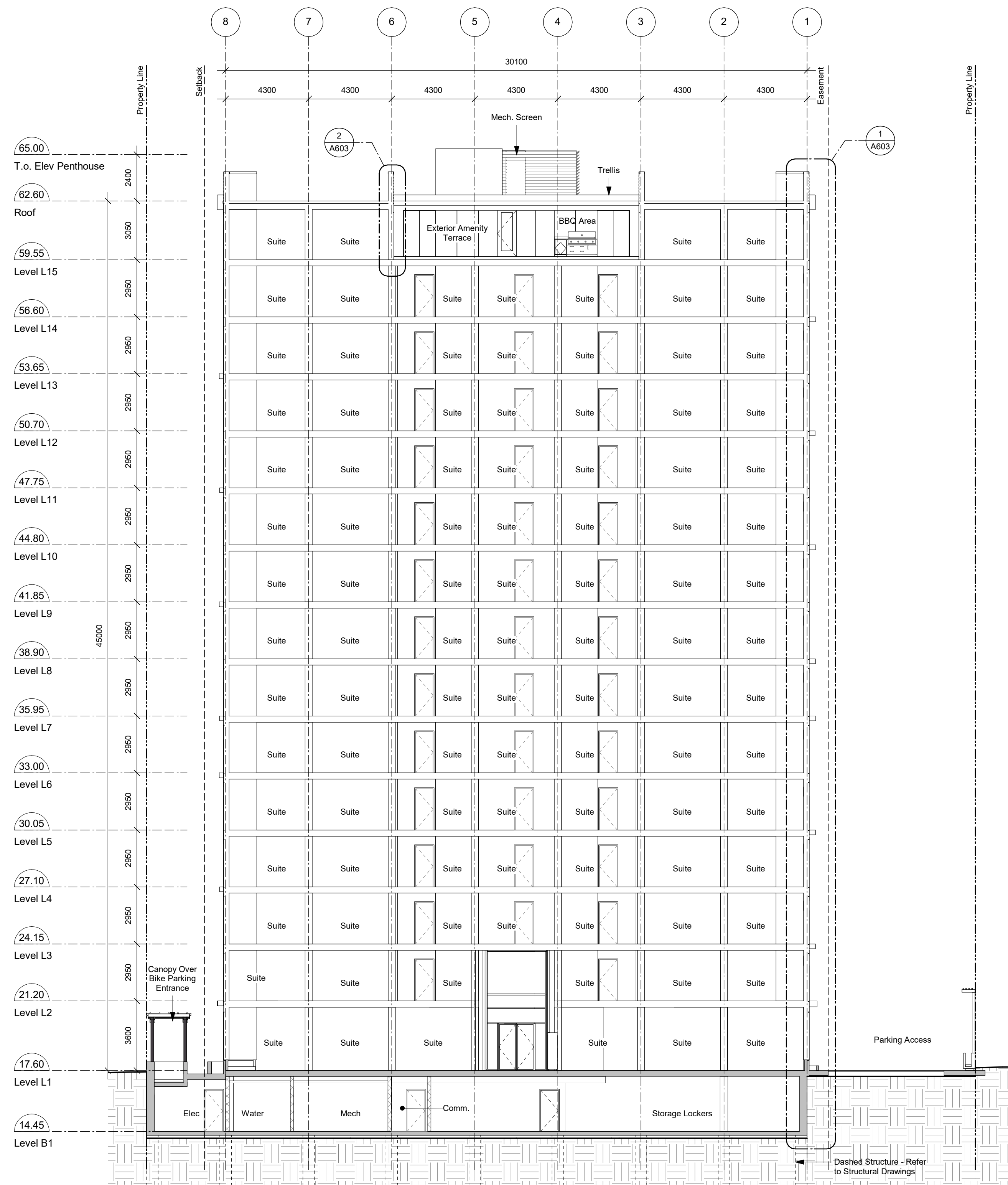
Building Sections



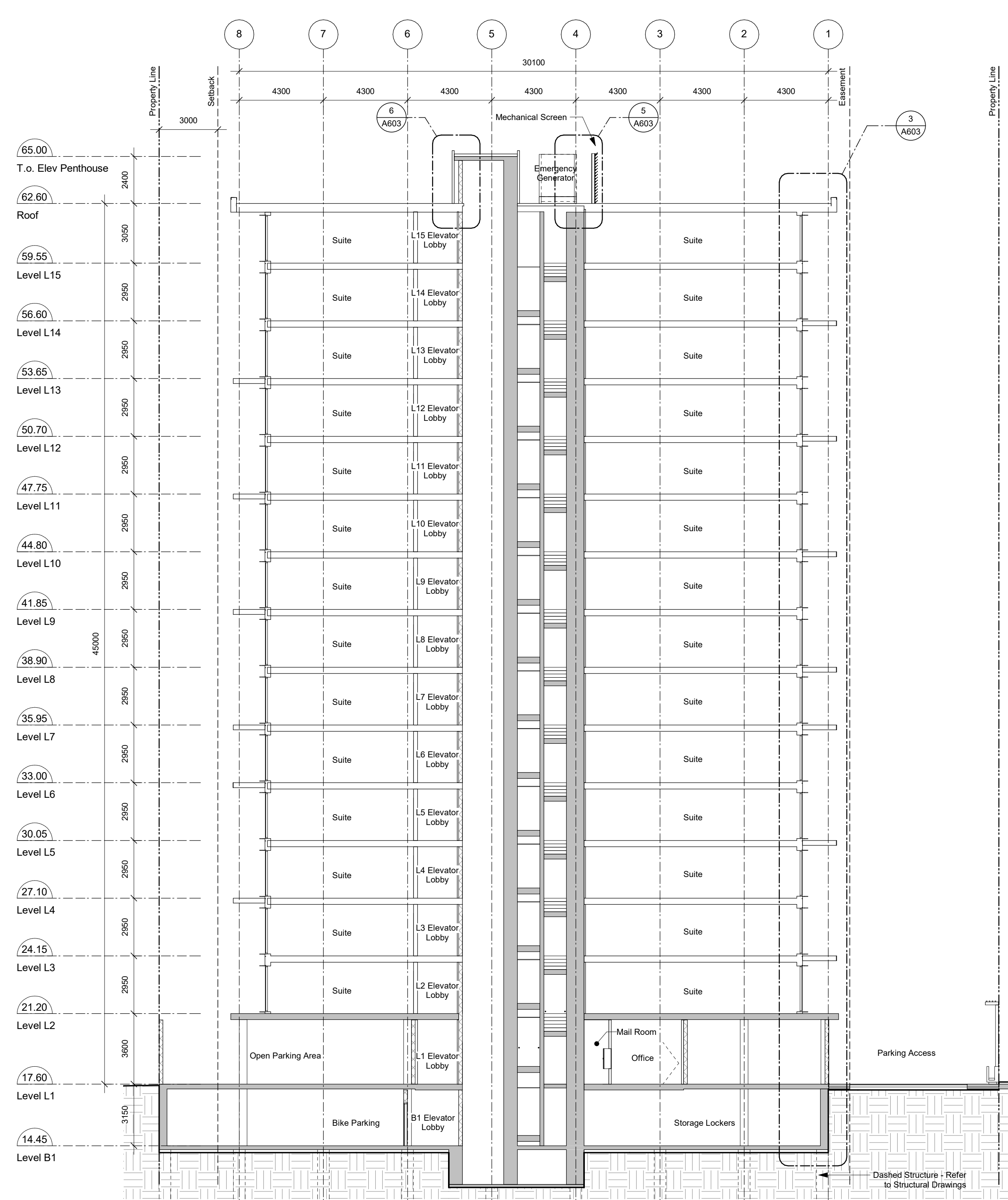
A401

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1 Building Section - East/West
A402 SCALE: 1 : 150

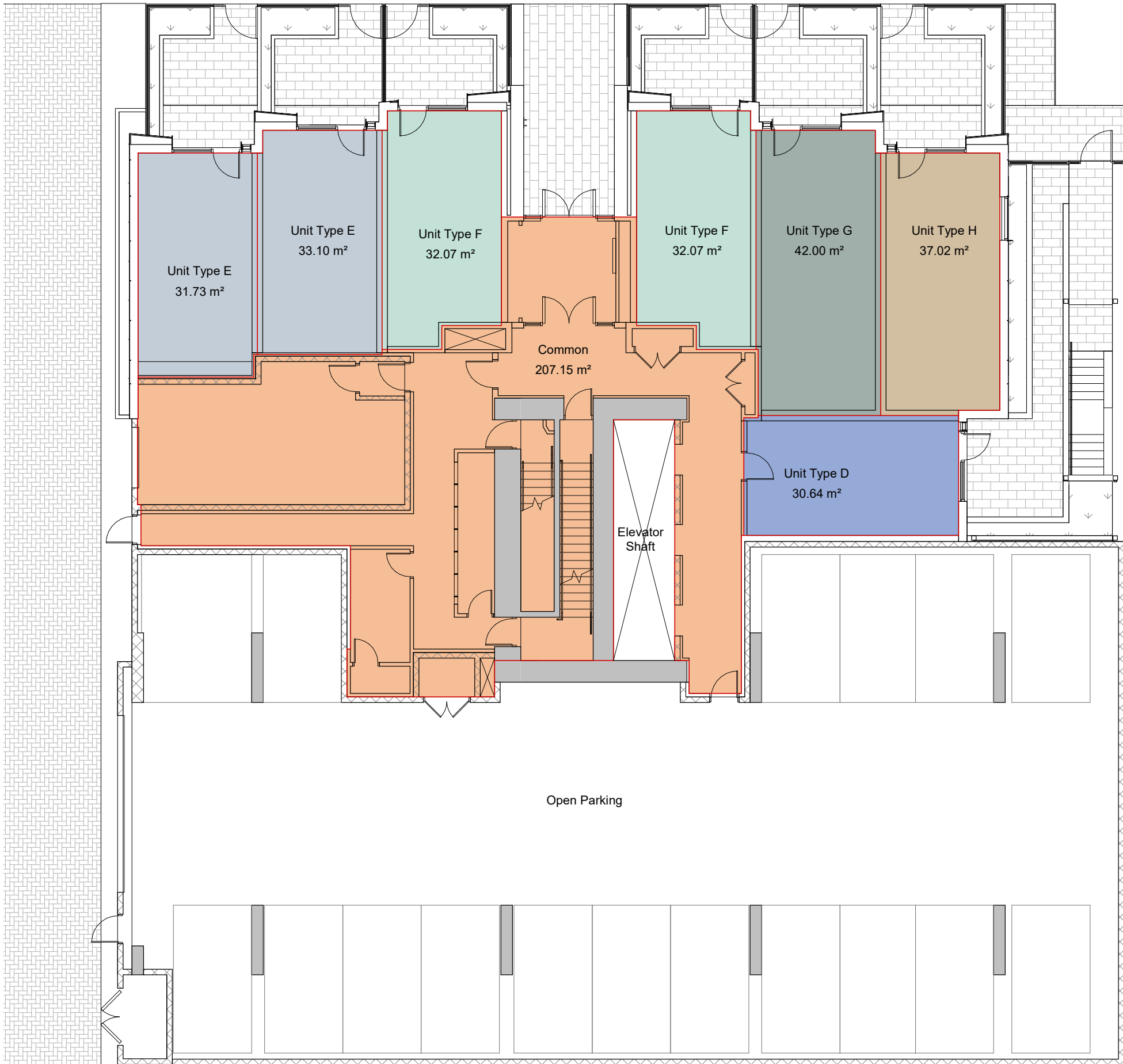


2 Building Section - West/East
A402 SCALE: 1 : 150

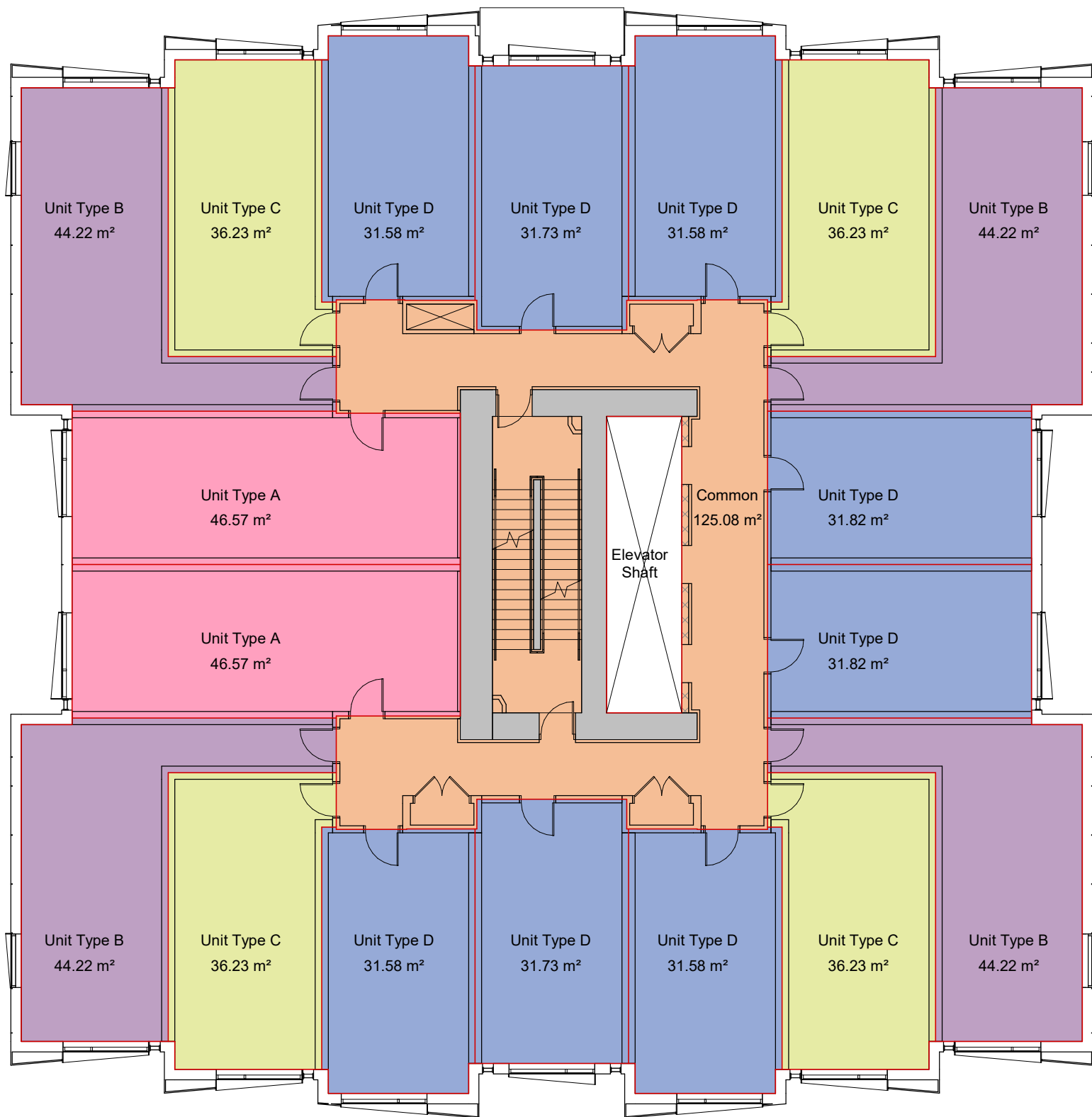
19-10-02 Issued for DP
Plot Date 19/09/20 Drawing File
Drawn By RC/LCZ Checked By ADM
Scale 1 : 150 Project Number 1922
NOTE: All dimensions are shown in millimeters.

937 View Street

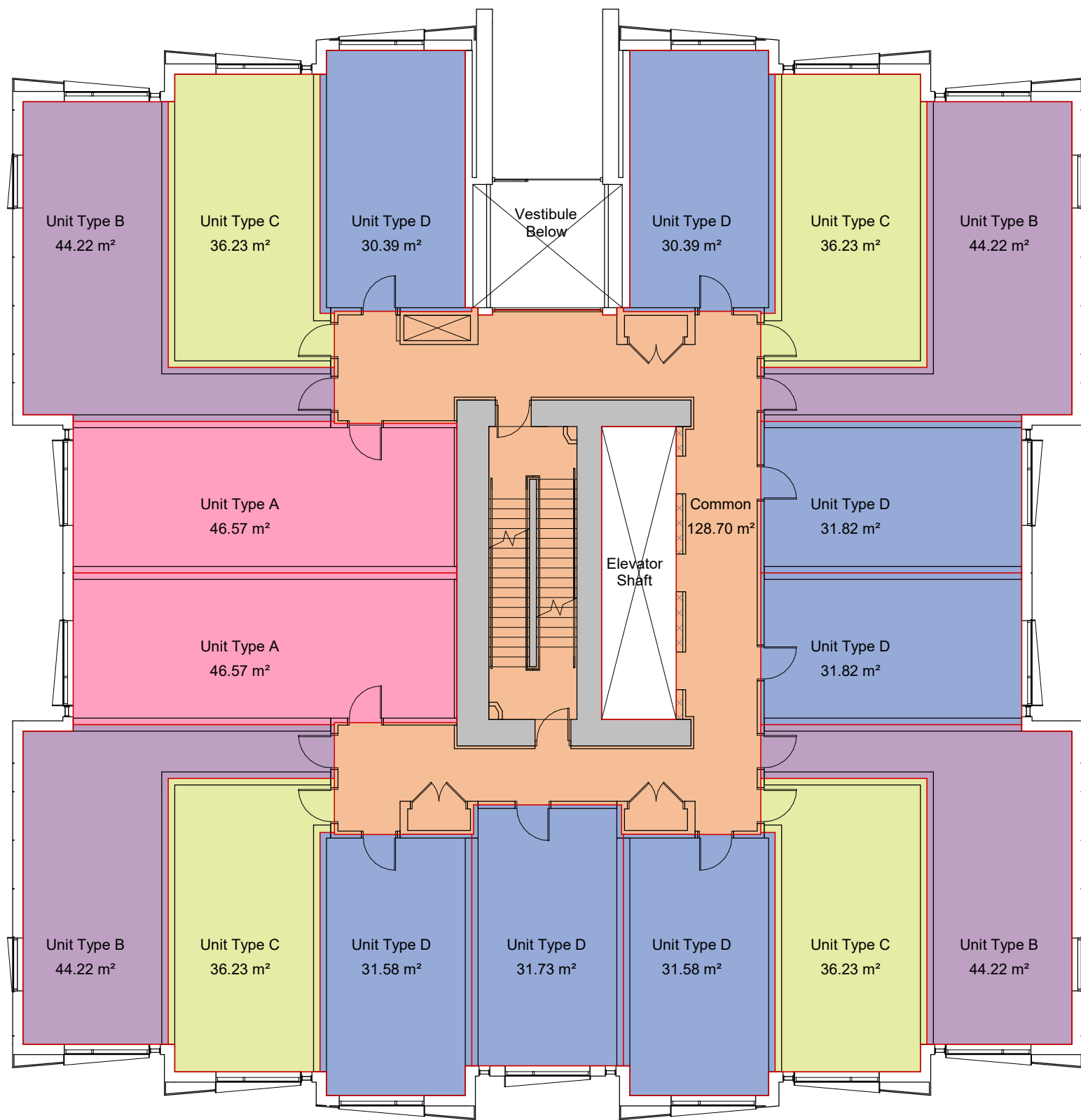
Building Sections



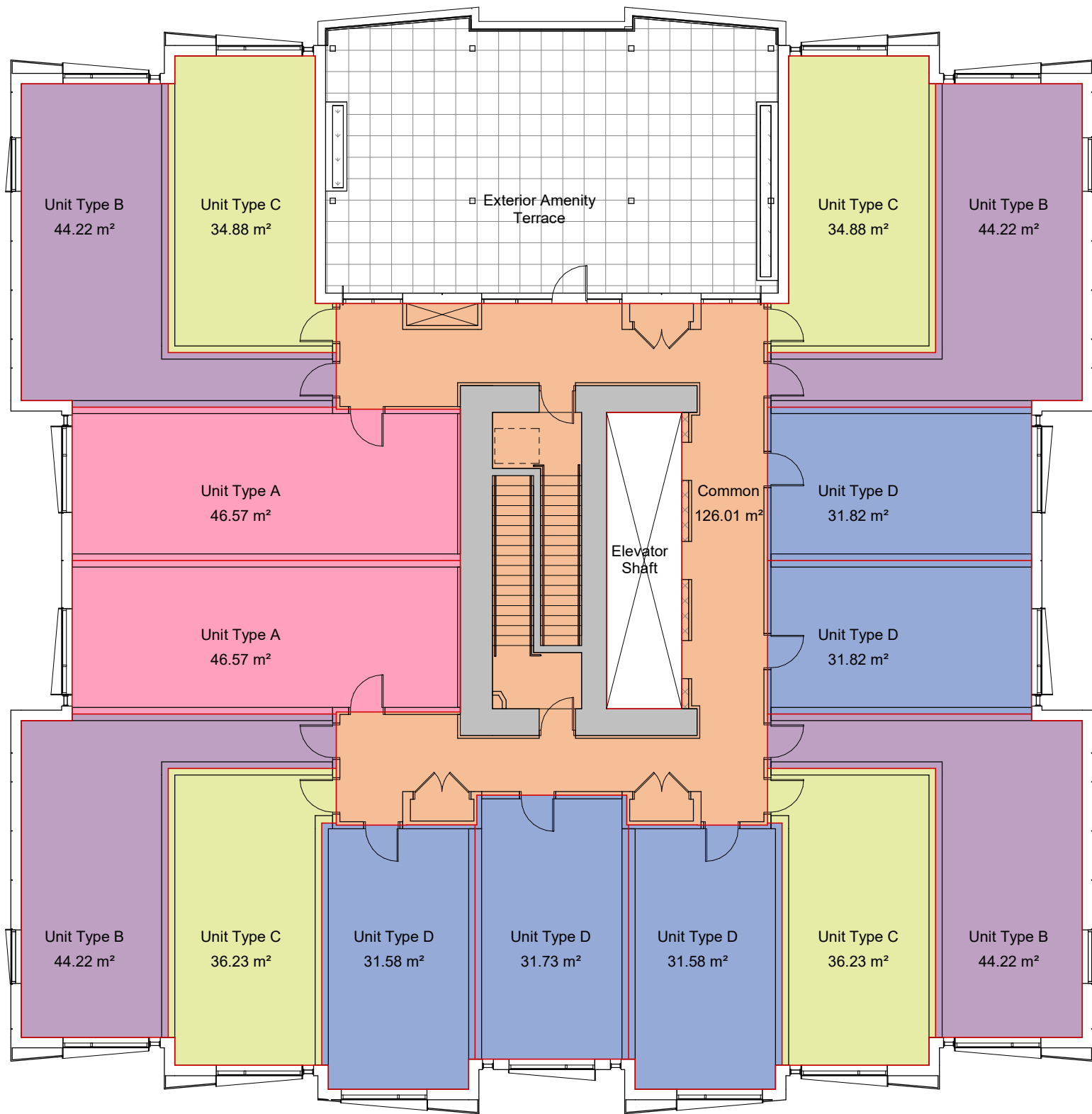
1 Level L1 Area Plan
A911 SCALE: 1 : 150



3 Level L3 - L14 Area Plan
A911 SCALE: 1 : 150



2 Level L2 Area Plan
A911 SCALE: 1 : 150



4 Level L15 Area Plan
A911 SCALE: 1 : 150

Description	Zoning (m ²)	Zoning (SF)	No. Suites
Basement	968.87 m ²	10429 SF	
Level 1			
City Zoning GFA	445.78 m ²	4798 SF	7
Residential Strata	238.63 m ²	2569 SF	
Residential Common Efficiency	207.15 m ²	2230 SF	
	53.53%	83.13%	
Level 2			
City Zoning GFA	762.93 m ²	8212 SF	17
Residential Strata	634.23 m ²	6827 SF	
Residential Common Efficiency	128.70 m ²	1385 SF	
	83.13%	83.13%	
Levels 3-14			
City Zoning GFA	793.42 m ²	8540 SF	216
Residential Strata	668.34 m ²	7194 SF	
Residential Common Efficiency	125.08 m ²	1346 SF	
	84.24%	84.24%	
Level 15			
City Zoning GFA	696.77 m ²	7500 SF	15
Residential Strata	570.76 m ²	6144 SF	
Residential Common Efficiency	126.01 m ²	1356 SF	
	81.92%	81.92%	
Total			
Total GFA	11426.53 m ²	122995 SF	
Site Area	1572.30 m ²	16924 SF	
FSR	7.27	7.27	
Total Basement	968.87 m ²	10429 SF	255
Total Residential	9463.72 m ²	101868 SF	
Total Commercial	0.00 m ²	0 SF	
Total Common & Core Efficiency	1962.81 m ²	21128 SF	
	82.82%	82.82%	

Suite Areas			
Unit Type A (Long)	46.57 m ²	501 SF	28
Unit Type B (Corner)	44.22 m ²	476 SF	56
Unit Type C (Side Entry)	36.18 m ²	389 SF	56
Unit Type D (Typical)	31.65 m ²	341 SF	109
Unit Type E (Ground 1)	32.42 m ²	349 SF	2
Unit Type F (Ground 2)	32.07 m ²	345 SF	2
Unit Type G (Ground 3)	42.00 m ²	452 SF	1
Unit Type H (Ground 4)	37.03 m ²	399 SF	1

Area Legend

- Common
- Unit Type A
- Unit Type B
- Unit Type C
- Unit Type D
- Unit Type E
- Unit Type F
- Unit Type G
- Unit Type H

Plot Date 19/09/20 Drawing File
Drawn By RC/LCZ Checked By ADM
Scale 1 : 150 Project Number 1922

NOTE: All dimensions are shown in millimeters.

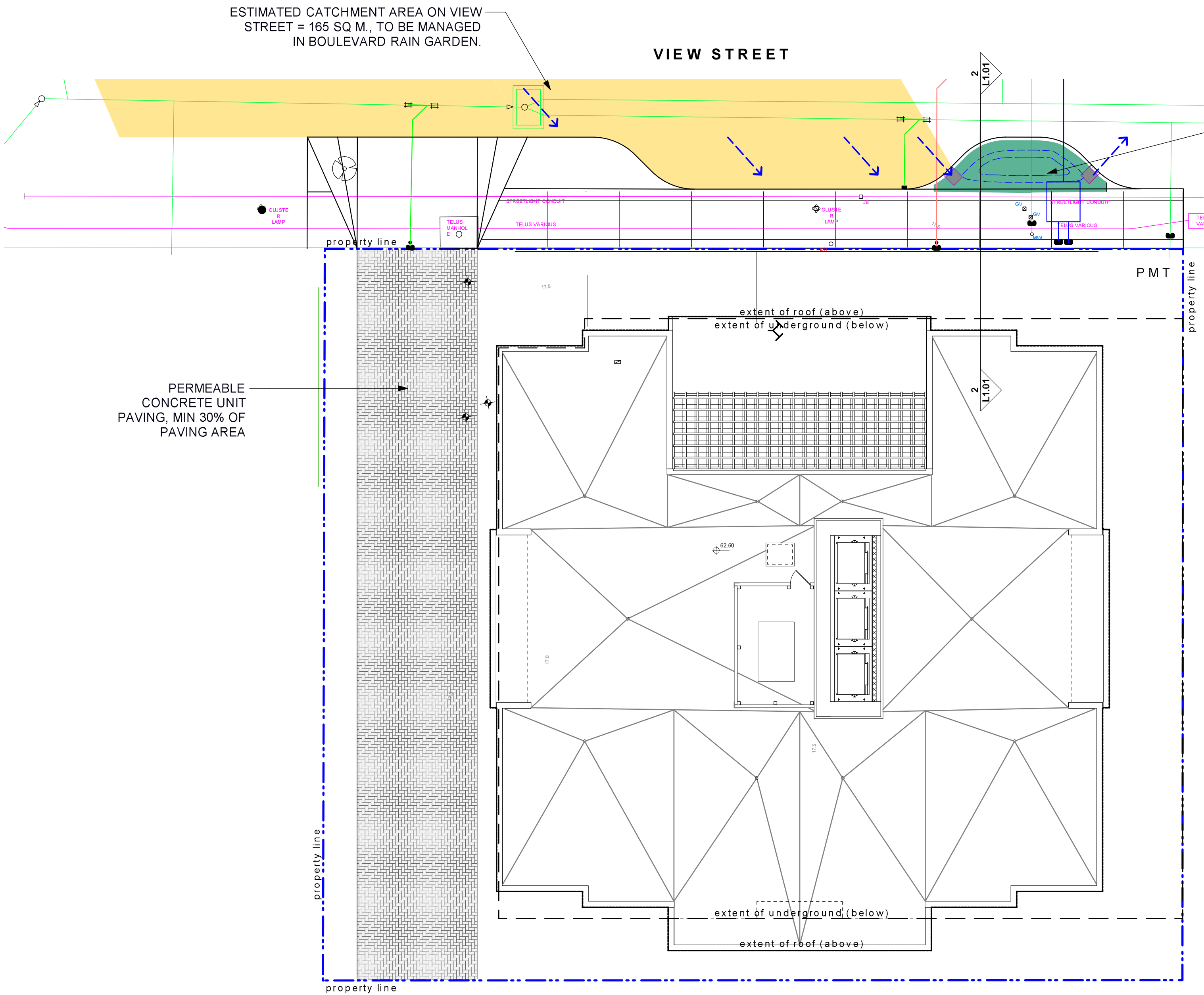
937 View Street

Area Plans

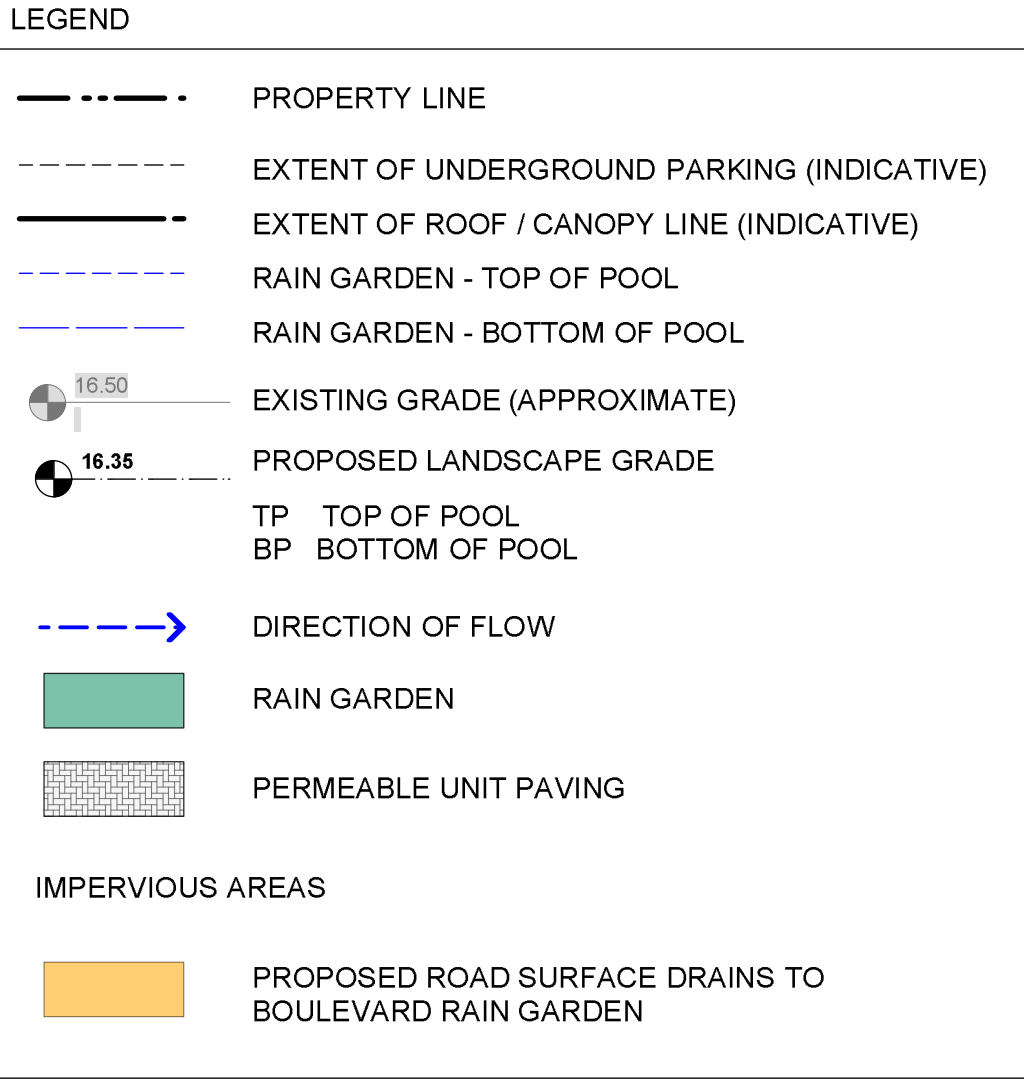


A911

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1 LEVEL 1
Scale: 1:150

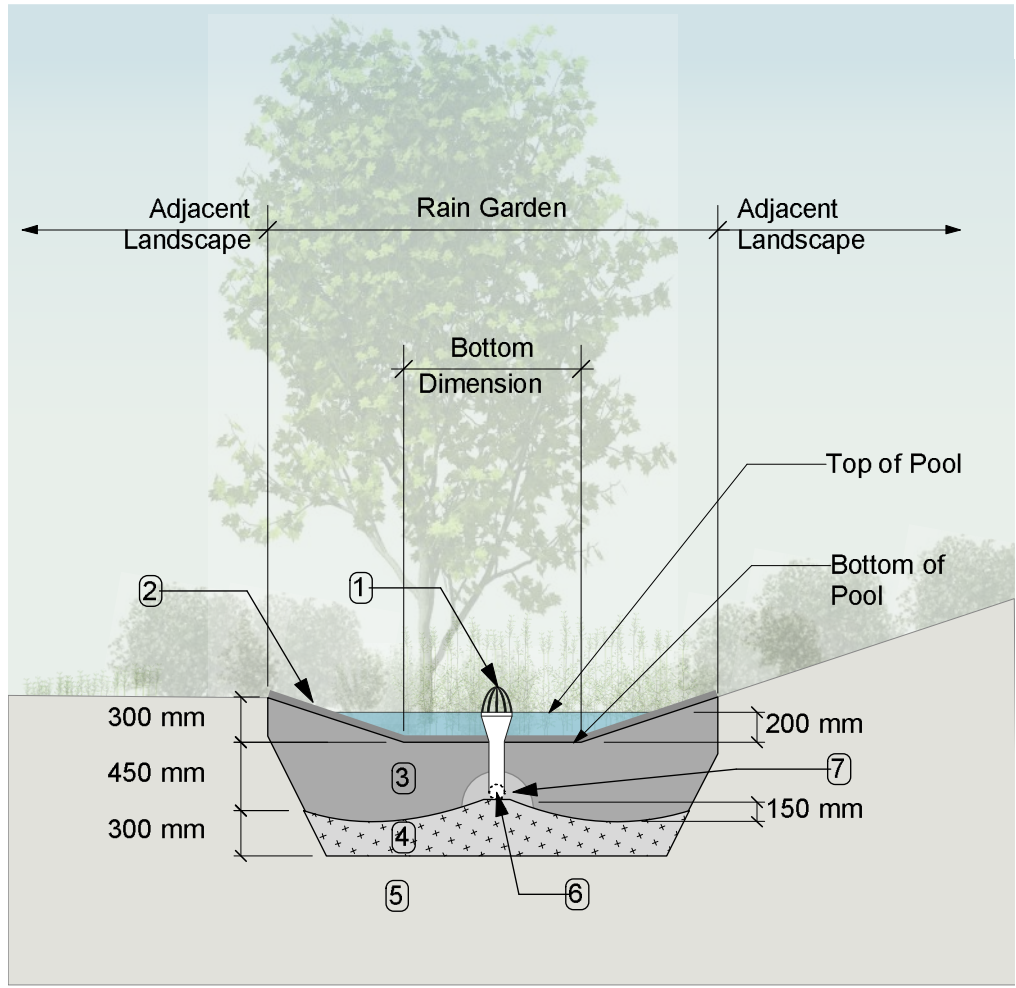


RAIN WATER MANAGEMENT NOTES

Water collected from roads flow into boulevard rain gardens.

Rain gardens will be designed with underdrains and a high capacity overflow drain that will be connected to the onsite piped drainage system.

The rain gardens and planters are sized such that the bottom of the rain planter is 5% of the impervious area.



- RAIN GARDEN MATERIALS**
1. Overflow drain, 200 mm domed grate + adapter
 2. Composted mulch, 50 -70 mm depth
 3. Bio-retention growing medium, 450 mm depth
 4. Scarified/tilled subgrade, 300 mm depth
 5. Existing subgrade/native material
 6. 100 mm diameter (min) perforated pipe
 7. 25 mm diameter drain rock, 100 mm depth

2 TYPICAL RAIN GARDEN
NTS

- DRAWING NOTES**
1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 2. All plan dimensions in metres and all detail dimensions in millimetres.
 3. Plant quantities on Plans shall take precedence over plant list quantities.
 4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 6. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
 7. Landscape installation to carry a 1 year warranty from date of acceptance.
 8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

2	DP REV	19.10.07
1	DEV PERMIT	17.07.07
rev no	description	date

Murdoch de Greeff INC.
Landscape Planning & Design

200 - 524 Custume Road
Victoria, BC V8Z 1G1

Phone: 250.412.2891
Fax: 250.412.2892

Oct. 7, 2019

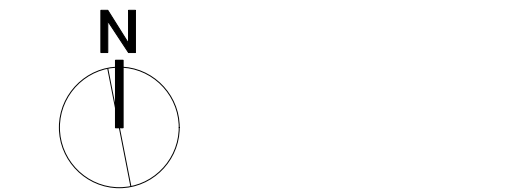
client
NELSON INVESTMENTS INC.

project
VIEW STREET RESIDENTIAL

937 VIEW STREET
VICTORIA, BC

sheet title

Stormwater Managment



project no.	119.24
scale	1:150 @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.

2 L1.02



Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
		<u>TREES:</u>		
	1	Acer circinatum	Vine Maple	2.4 m ht, multi-stem (3 trunk)
	5	Acer palmatum	Japanese Maple	1.8 m height, specimen quality
	2	Cercidiphyllum japonicum	Katsura Tree	6.0cm cal, b&b
	2	Styrax japonicus 'Snowcone'	Snowcone Snowbell	4.0cm cal, b&b

Ag	14	<i>Azalea japonica</i> 'Glacier'	Glacier Azalea	#1	pot
Bw	44	<i>Buxus microphylla</i> 'Winter Gem'	Littleaf Boxwood	#1	pot
Co	91	<i>Carex obnupta</i>	Slough Sedge	#1	pot
Ha	3	<i>Hydrangea anomala</i> subsp. <i>petiolaris</i>	Climbing Hydrangea	#2	pot
Jcg	12	<i>Juncus</i> 'Carmen's Grey'	Soft Common Rush		Sp3
Loc	6	<i>Lonicera ciliosa</i>	Western Trumpet Honeysuckle	#1	pot
Lp	18	<i>Lonicera pileata</i>	Privet Honeysuckle	#2	pot
Mn	4	<i>Mahonia nervosa</i>	Oregon Grape Holly		0.4
Pq	23	<i>Parthenocissus quinquefolia</i>	Virginia Creeper	#2	pot
Ptn	8	<i>Pittosporum tobira</i> 'Nana'	Dwarf Pittosporum	#1	pot
Pm	7	<i>Polystichum munitum</i>	Sword Fern	#1	pot
Scs	19	<i>Schizostylis coccinea</i> 'Oregon Sunset'	Crimson Flag	#1	pot
Tmh	54	<i>Taxus x media</i> 'Hilli'	Hilli Yew	#3	pot, 2' max ht. male only
Vnu	14	<i>Vaccinium nummularia</i>	Coin Whortleberry	#1	pot
Vo	17	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	#3	pot

1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
2. Boulevard/Street Tree locations and species to be coordinated with City of Victoria Parks Staff

Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
		<u>SHRUBS/VINES:</u>		
Ak	2	Akebia quinata	Chocolate vine	#2 pot
Vo	12	Vaccinium ovatum	Evergreen Huckleberry	#3 pot



1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2. All plan dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities on Plans shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
7. Landscape installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

2	DP REV	19.10.07
1	DEV PERMIT	17.07.07
rev no	description	date



Oct. 7, 2019

client

NELSON INVESTMENTS INC.

project

VIEW STREET RESIDENTIAL

937 VIEW STREET
VICTORIA, BC

sheet title

Planting Plan

project no.		119.24
scale	1:150	@ 24"x36"
drawn by		ML
checked by		SM/PdG
revision no.	sheet no.	

L3.01