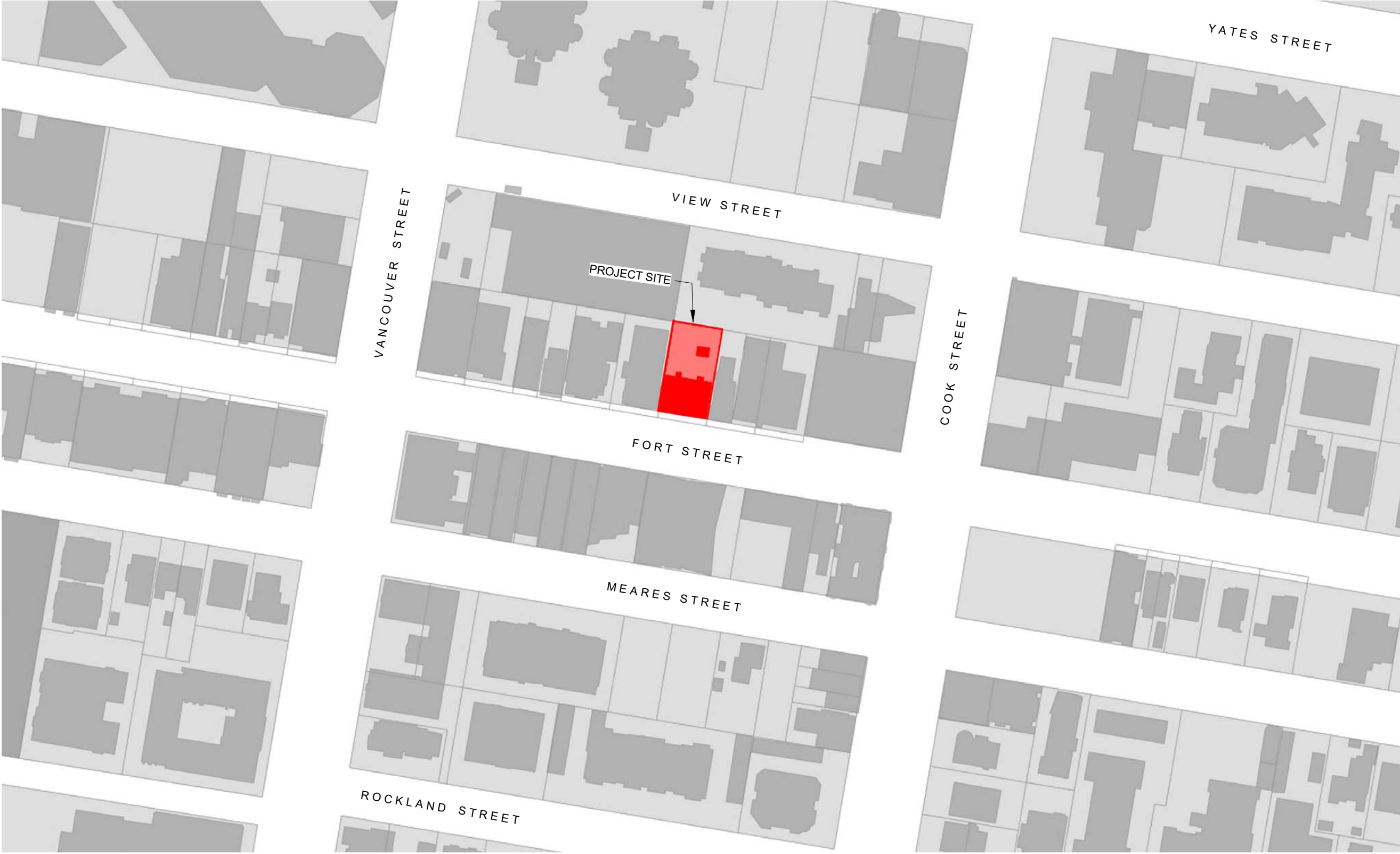






Revisions

Received Date:
December 3, 2021



PROJECT LOCATION PLAN (NTS)

CONTACTS

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1030 Fort Street Holdings Ltd.
Care of Jawl Properties Ltd.
1515 Douglas St Suite 200
Victoria, BC V8W 2G4

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250.384.5510

LIST OF DRAWINGS

ARCHITECTURAL
A000 Cover
A010 Perspectives
A050 Spatial Separation
A051 Code Analysis
A100 Site Plan and Project Data
A101 Proposed Floor Plans
A102 Roof Plan
A200 Building Elevations S-W
A201 Building Elevations N-E
A300 Building Sections
A500 Context & Shadow Study

LANDSCAPE

L1.01 Landscape Materials

CIVIL

C1 Conceptual Site Servicing Plan
C02 Conceptual Surface Works & Site Grading

JAWL PROPERTIES
1030 FORT STREET
NOV 30, 2021

Project #	Date	Revision	Sheet #
2112	NOV 30, 2021	3	A000

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Victoria V8W 1E4 Canada
250.590.3223
cascadiaarchitects.ca





VIEW FROM FORT STREET WEST



VIEW OF NORTH FACING FACADE



VIEW FROM FORT STREET EAST



VIEW OF FORT STREET FRONTAGE

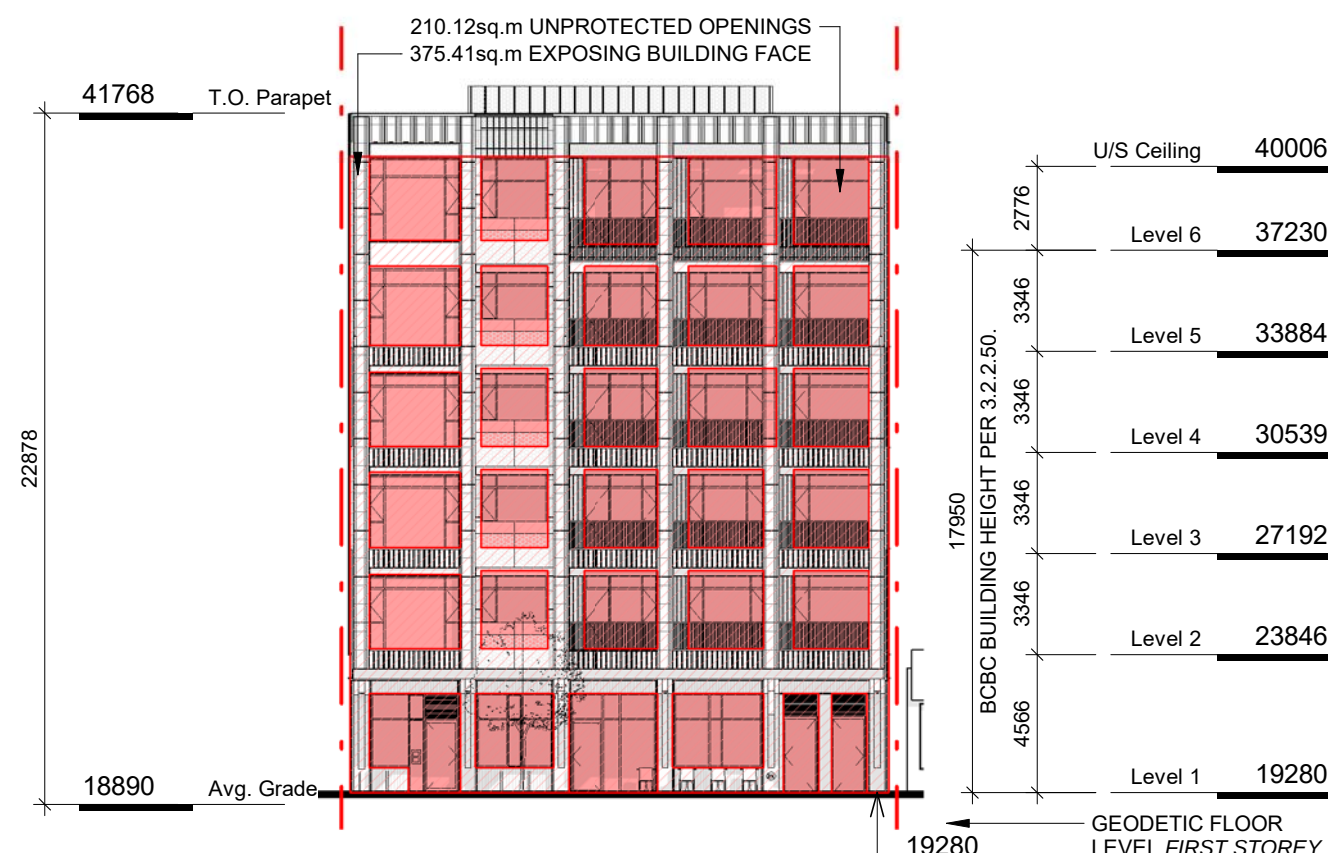
3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE



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Project		1030 FORT STREET	
		JAWL PROPERTIES	
		1030 Fort Street, Victoria BC	
Sheet Name		Perspectives	
Date		NOV 30, 2021	
Scale	Project #	2112	
	Revision	3	
	NOV 30, 2021		
	Sheet #	A010	

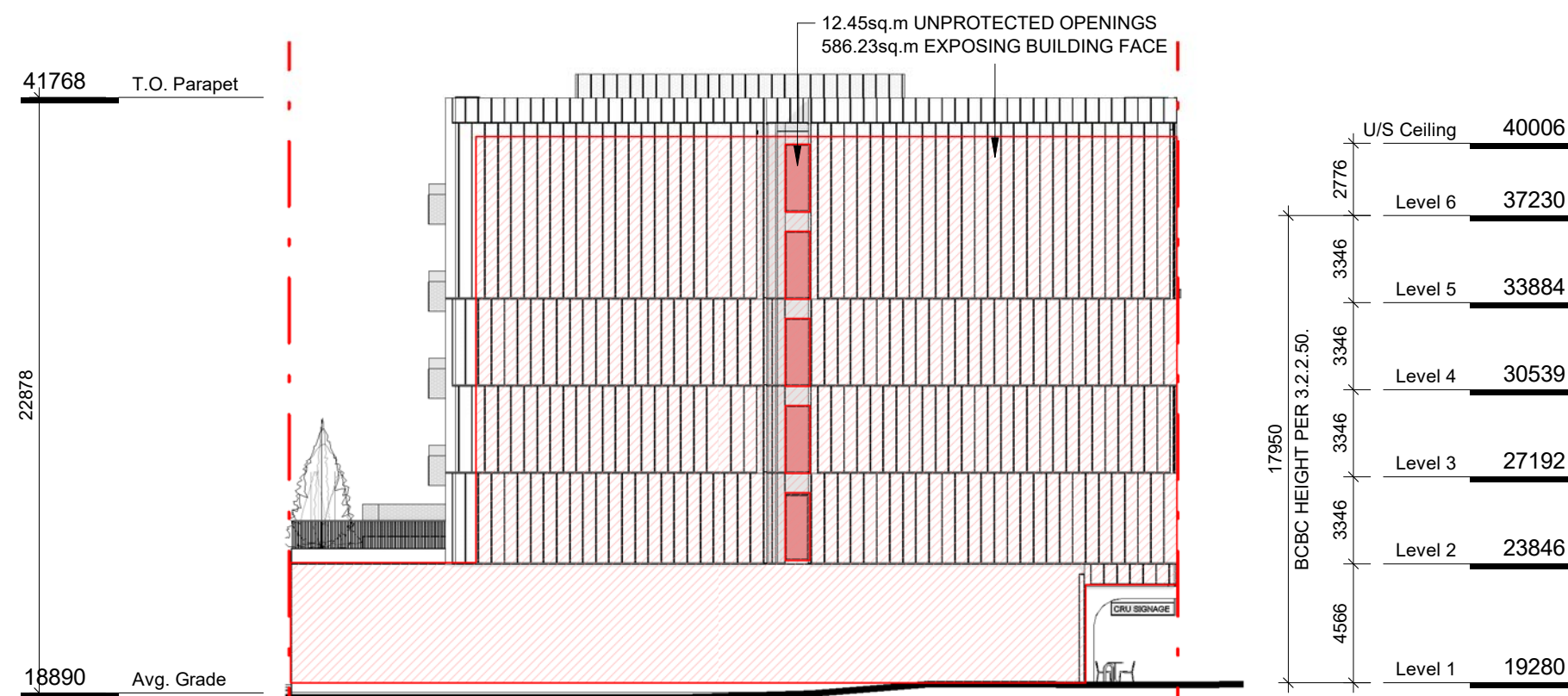


SOUTH ELEVATION

TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
(C/L RD) 11.66m	100	375.41	210.12	56	

TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
(C/L RD) 11.66m	100	N/A	N/A	N/A	N/A

3 South Elevation - LD Key
SCALE = 1 : 250

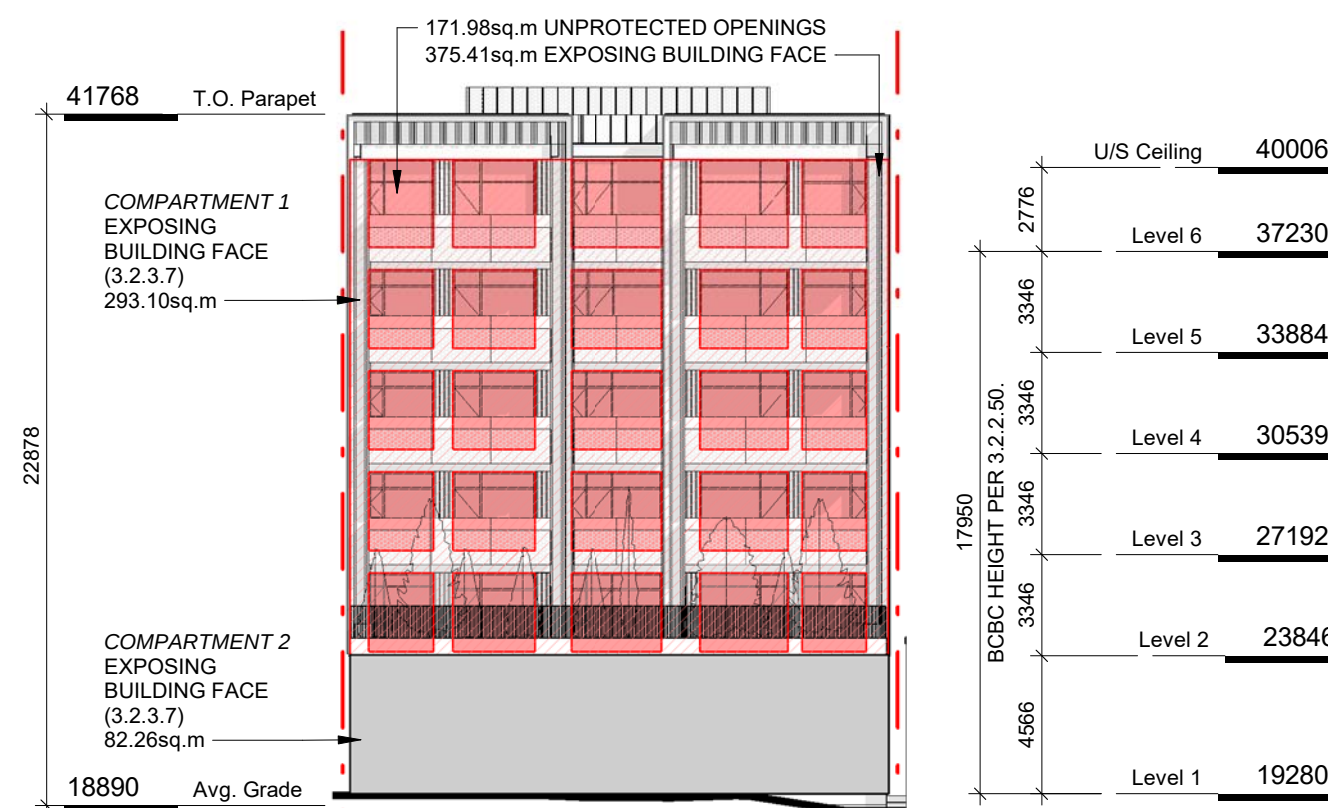


WEST ELEVATION

TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
2.33m (2m)	16	586.23	12.45	2	

TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
0.225 (0)	0	1 hr	Noncombustible	Noncombustible	

6 West Elevation - LD Key
SCALE = 1 : 250



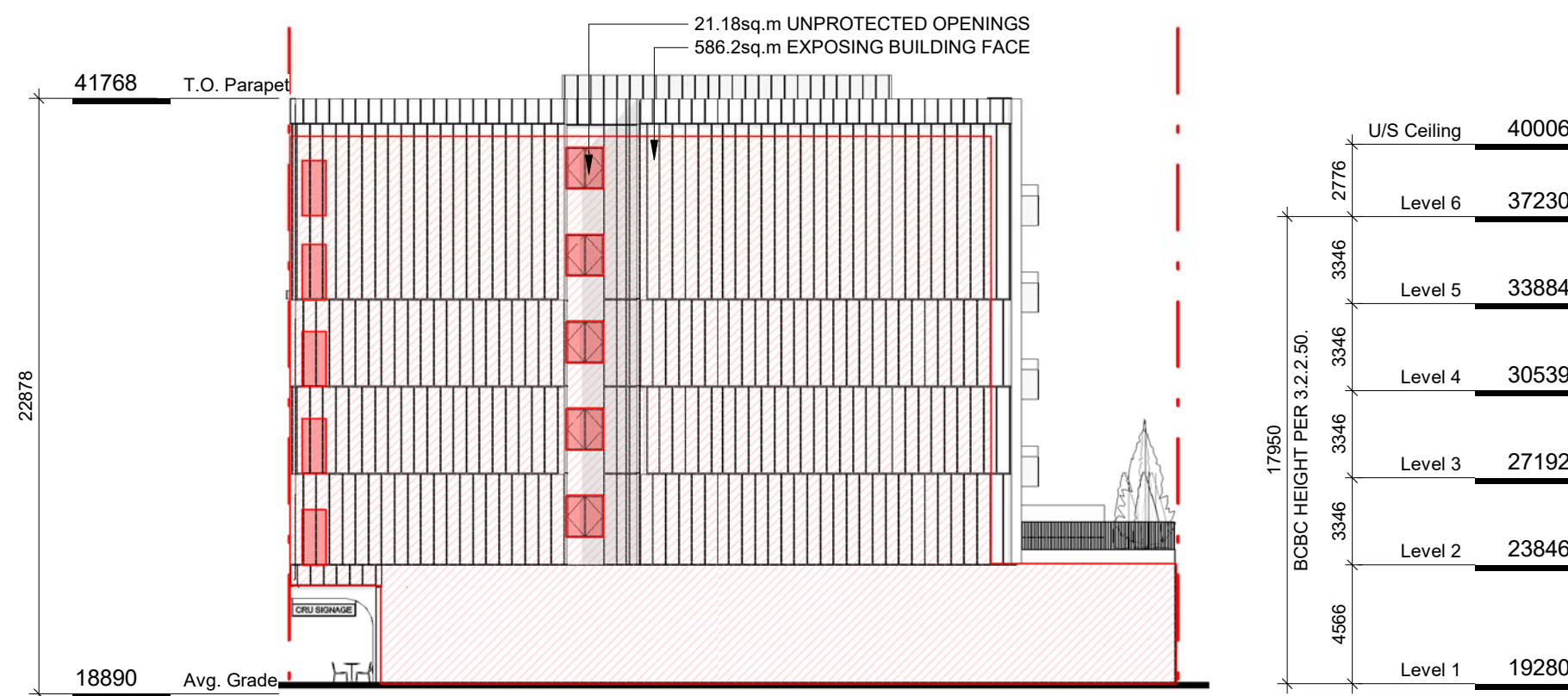
NORTH ELEVATION

TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
6.92 (6)	52	375.41	171.98	46	

TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
6.9m (6)	52	45 min	ALL	ALL	

TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
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5 North Elevation - LD Key
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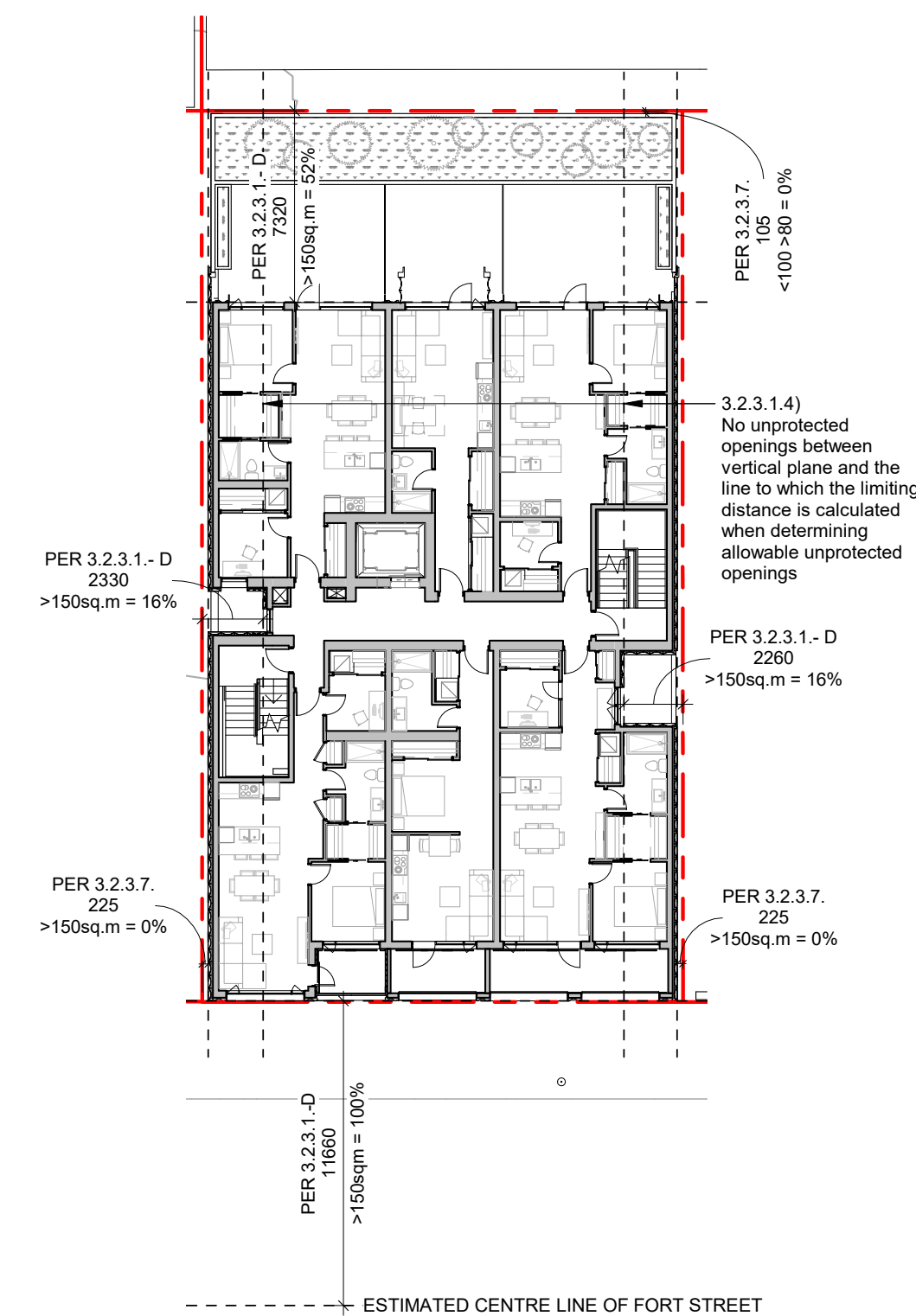


EAST ELEVATION

TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
2.26m (2m)	16	586.23	21.18	4	

TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
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4 East Elevation - LD Key
SCALE = 1 : 250



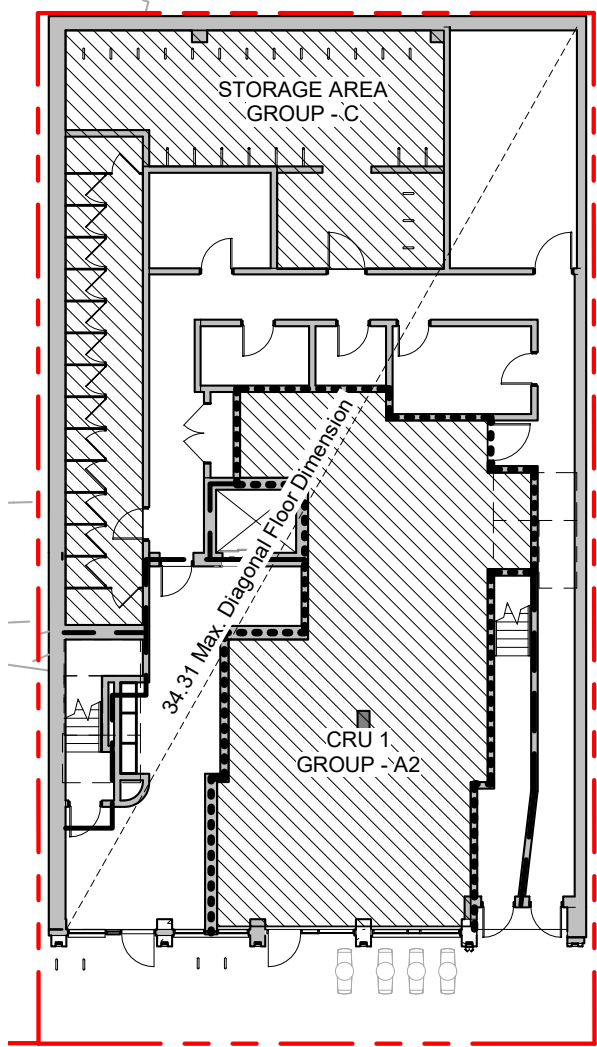
9 Spatial Separation Keyplan
SCALE = 1 : 250

3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
NO.	DESCRIPTION	DATE

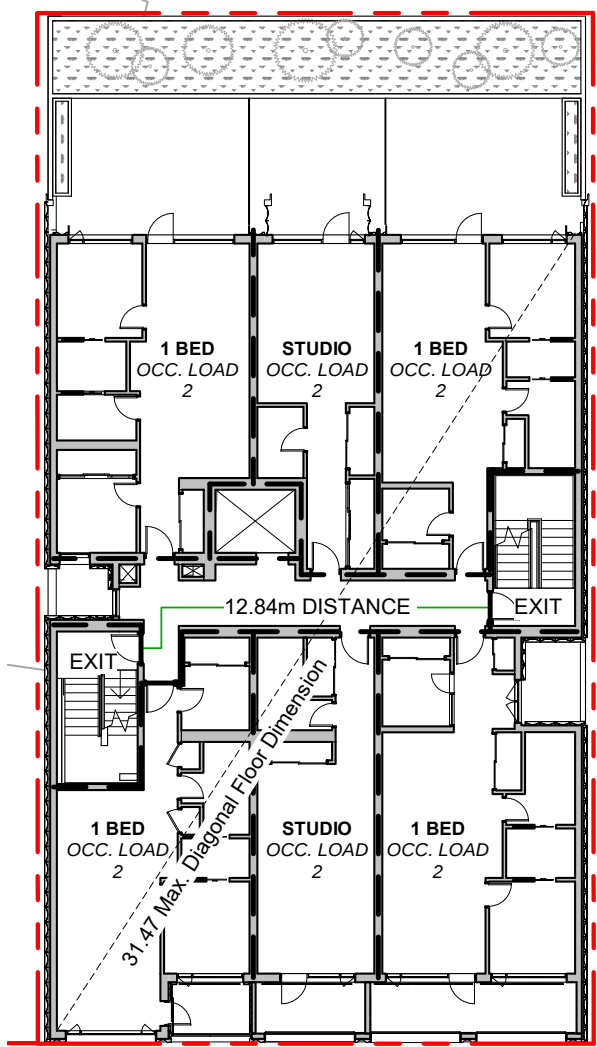
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Project	
1030 FORT STREET	
JAWL PROPERTIES	
1030 Fort Street, Victoria BC	
Sheet Name	
Spatial Separation	
Date	
NOV 30, 2021	
Scale	Project #
1 : 250	2112
Revision	3
NOV 30, 2021	
Sheet #	A050



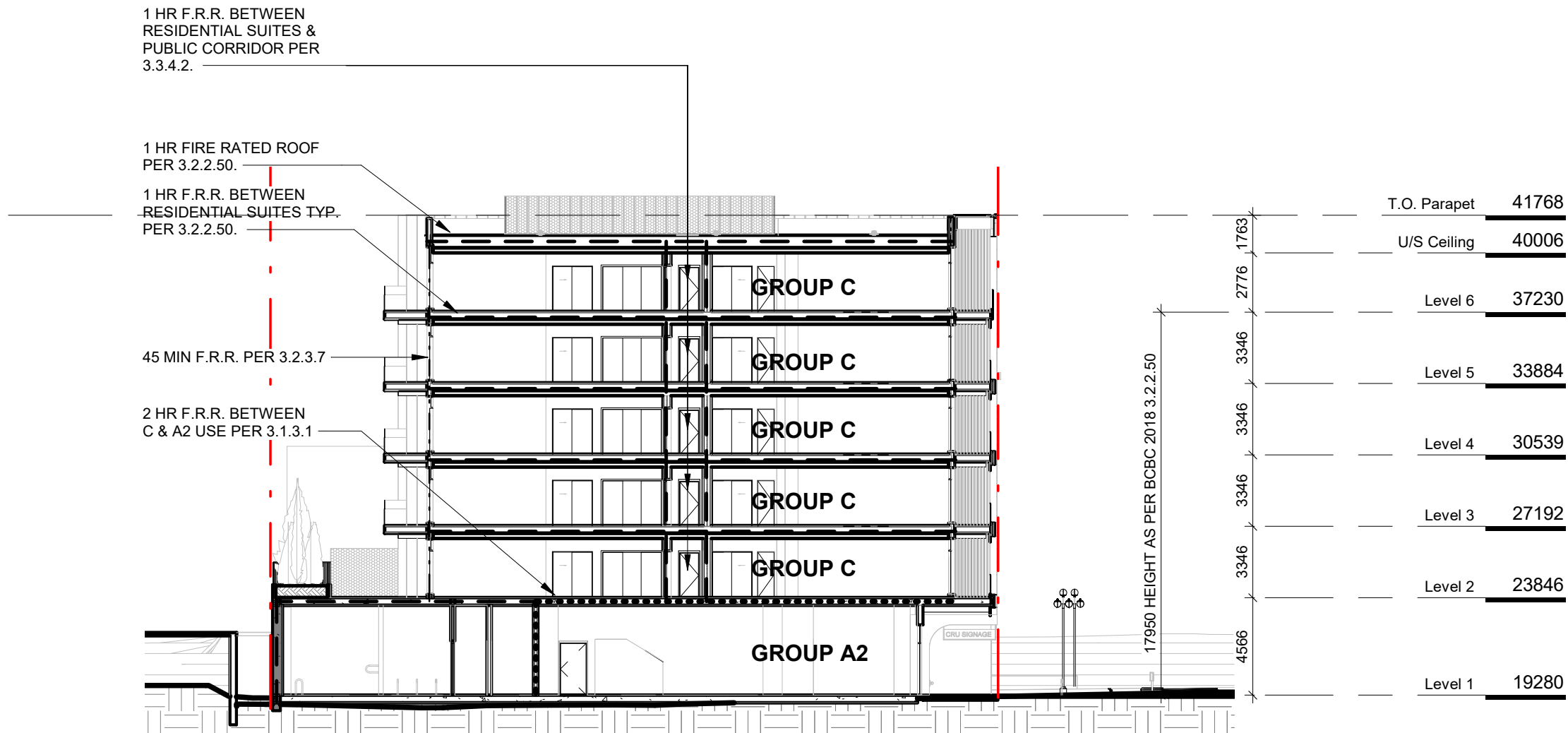
OCCUPANCY: Group A2
FLOOR AREA:
137sq.m
OCCUPANT LOAD (Dining):
1.2sq.m/person = 114 persons
MINIMUM EXIT WIDTH:
Ramps, Corridors, Passageways
the greater of 6.1mm x 114 = 695.4mm
or 1100mm
Stairs
the greater of 8mm x 114 = 912mm
or 1100mm
OCCUPANCY: Group C
FLOOR AREA:
114sq.m
OCCUPANT LOAD (Storage):
46sq.m/person = 3 persons
MINIMUM EXIT WIDTH:
Ramps, Corridors, Passageways
the greater of 6.1mm x 3 = 18.3mm
or 1100mm
Stairs
the greater of 8mm x 3 = 24mm
or 1100mm



OCCUPANCY: Group C
OCCUPANT LOAD:
6 Bedrooms x 2 persons/bedroom
= 12 persons
MINIMUM EXIT WIDTH:
Ramps, Corridors, Passageways
the greater of 6.1mm x 24 = 146.4mm
or 1100mm
Stairs
the greater of 8mm x 24 = 192.0mm
or 1100mm

1 Level 1 Code Plan
SCALE = 1 : 250

2 Level 2-6 Typ. Code Plan
SCALE = 1 : 250



3 F.R.R. Separations - Key Section
SCALE = 1 : 250

BUILDING CODE ANALYSIS

PROJECT TYPE	☒ NEW CONSTRUCTION	☐ RENOVATION	☐ ADDITION
GOVERNING BUILDING CODE	2018 BC BUILDING CODE	☒ PART 3	☐ PART 9
MAJOR OCCUPANCY	A1 A2 A3 A4 B1 B2 B3 C D E F1 F2 F3	☐ ☐ ☐ ☐ ☐ ☐ ☐ ☒ ☐ ☐ ☐ ☐	3.1.2.1
SUPERIMPOSED OCCUPANCY	A1 A2 A3 A4 B1 B2 B3 C D E F1 F2 F3	☐ ☒ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐	3.2.2.7
BUILDING AREA	576	m²	1.4.1.2
GRADE	18.75	m geodetic	1.4.1.2
BUILDING HEIGHT (STOREYS, m)	6	STOREYS ABOVE GRADE	<18 m, LEVEL 1 TO LEVEL 6
	0	STOREYS BELOW GRADE	1.4.1.2, 3.2.2.50

FIRE RESISTANCE RATING - KEY	
-----	UNRATED FIRE SEPERATIONS
- - - - -	45 MIN
-----	1 HOUR
-----	1.5 HOUR
-----	2 HOUR

BUILDING FIRE SAFETY & CONSTRUCTION CLASSIFICATION

CLASSIFICATION	GROUP C, UP TO 6 STOREYS, SPRINKLERED	3.2.2.50
No. OF STREETS FACING	1	3.2.2.10
CONSTRUCTION TYPES PERMITTED	☒ COMBUSTIBLE ☐ NON-COMBUSTIBLE	3.2.2.50
FIRE ALARM SYSTEM	YES NO	3.2.4.1
STANDPIPE SYSTEM	YES NO	3.2.5.8
HIGH BUILDING	YES NO	3.2.6.1
INTERCONNECTED FLOOR SPACE	YES NO	3.2.8

FIRE RESISTANCE RATINGS

HORIZONTAL SEPARATIONS	1 hr FLOORS 1 hr MEZZANINE 1 hr ROOF	3.2.2.50
LOADBEARING WALLS, COLUMNS & ARCHES	1 hr (NOT LESS THAN THAT REQUIRED FOR SUPPORTED STRUCTURE)	3.2.2.50
EXITS	1 hr	3.4.4.1
MAJOR OCCUPANCY SEPARATION	2 hr C to A2	3.1.3.1

EXITS FROM FLOOR AREAS

NUMBER OF EXITS REQUIRED	2	3.4.2.1
SEPARATION OF EXITS (MIN.)	1/2 MAX. DIAGONAL FLOOR AREA, BUT NEED NOT BE > 9 m	3.4.2.3
MAX. TRAVEL DISTANCE ALLOWED	45 m, GROUP C 45 m, GROUP A2	3.4.2.5
MEZZANINE	YES NO	3.2.8

OCCUPIED FLOOR AREAS & OCCUPANT LOAD

LEVEL 1	137	sq.m, A2 (Dining)	114	sq.m, C (Storage)	0 bds	C (Residential)	1.4.1.2, 3.1.17.1
LEVEL 2 - 6	0	sq.m, A2 (Dining)	0	sq.m, C (Storage)	6 bds	C (Residential)	1.4.1.2, 3.1.17.1
TOTAL	137	sq.m, A2 (Dining)	114	sq.m, C (Storage)	30 bds	C (Residential)	1.4.1.2, 3.1.17.1
OCCUPANT LOAD	114	1.2sq.m./person	3	46sq.m./person	60	2 persons*bdm	3.1.17.1

WATER CLOSETS

	OCCUPANT LOAD	REQUIRED	PROVIDED
LEVEL 1(A2)	114 PERSONS	2 M 3 F	T.B.D. AT T.I.

ACCESSIBILITY

UNIVERSAL WASHROOM	REQUIRED AT LEVEL 1	3.8.2.8.3
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3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
NO.	DESCRIPTION	DATE

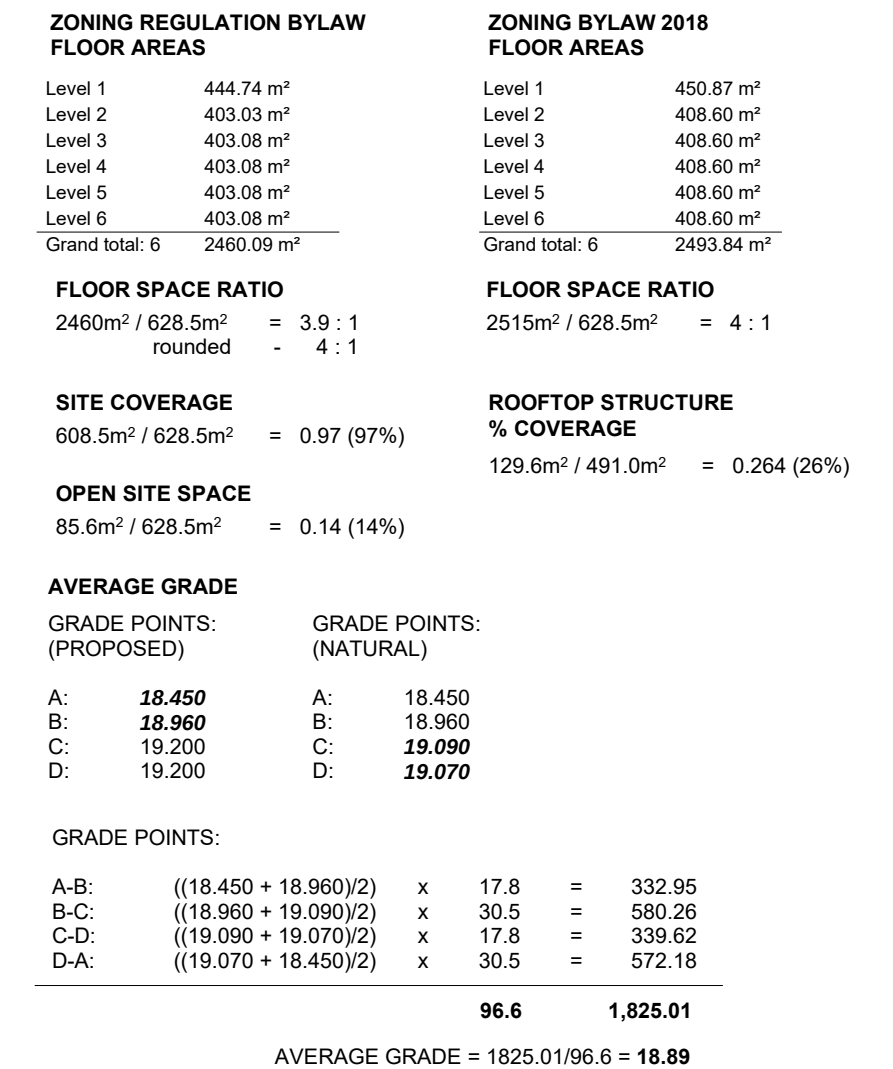
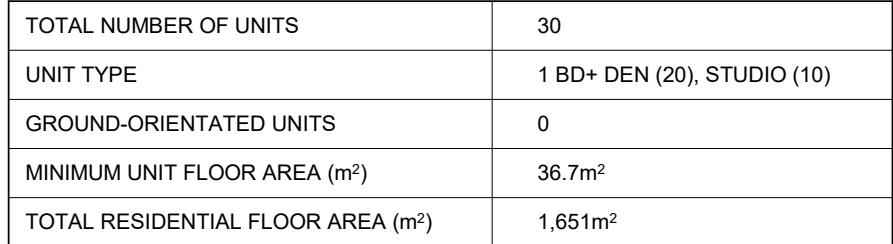
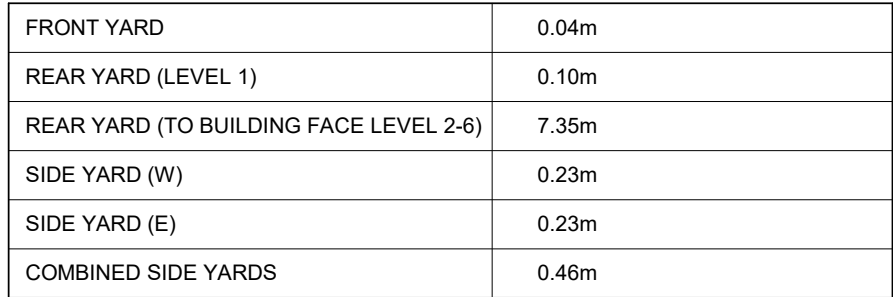
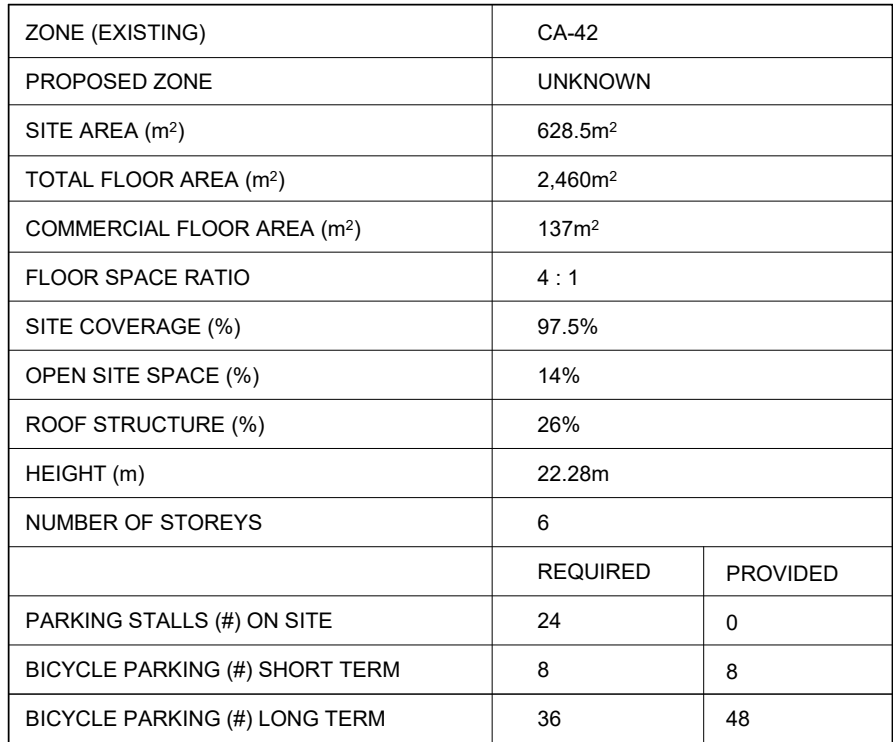
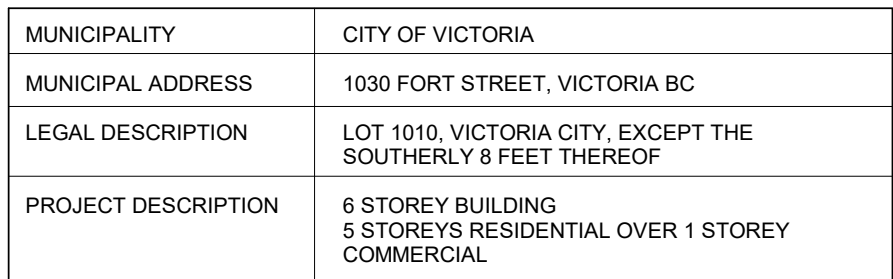


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Project	1030 FORT STREET
	JAWL PROPERTIES
	1030 Fort Street, Victoria BC
Sheet Name	Code Analysis
Date	NOV 30, 2021
Scale	As indicated
Project #	2112
Revision	NOV 30, 2021 3
Sheet #	A051





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1030 FORT STREET

1030 Fort Street, Victoria BC



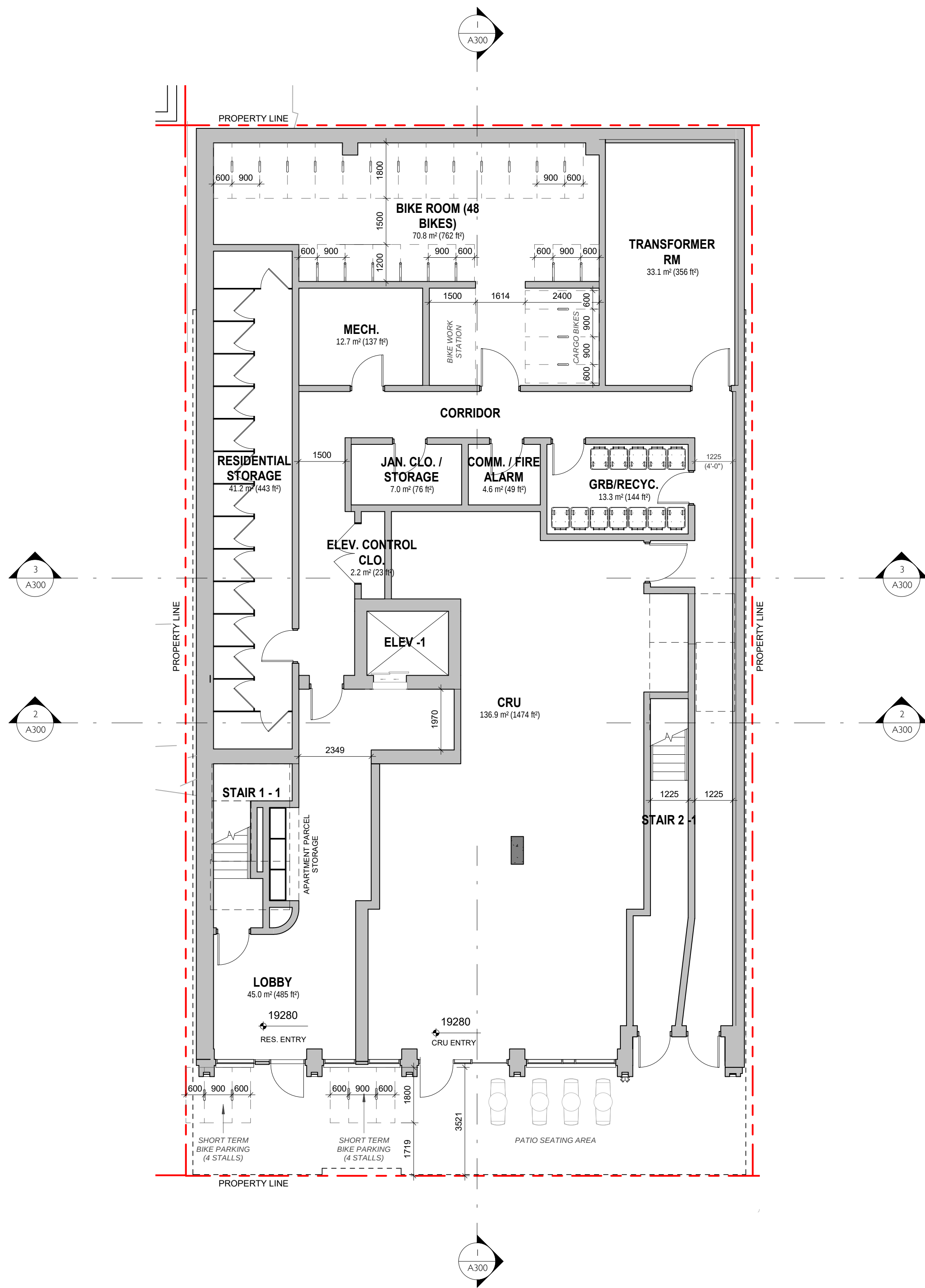
Site Plan and Project Data

	2112
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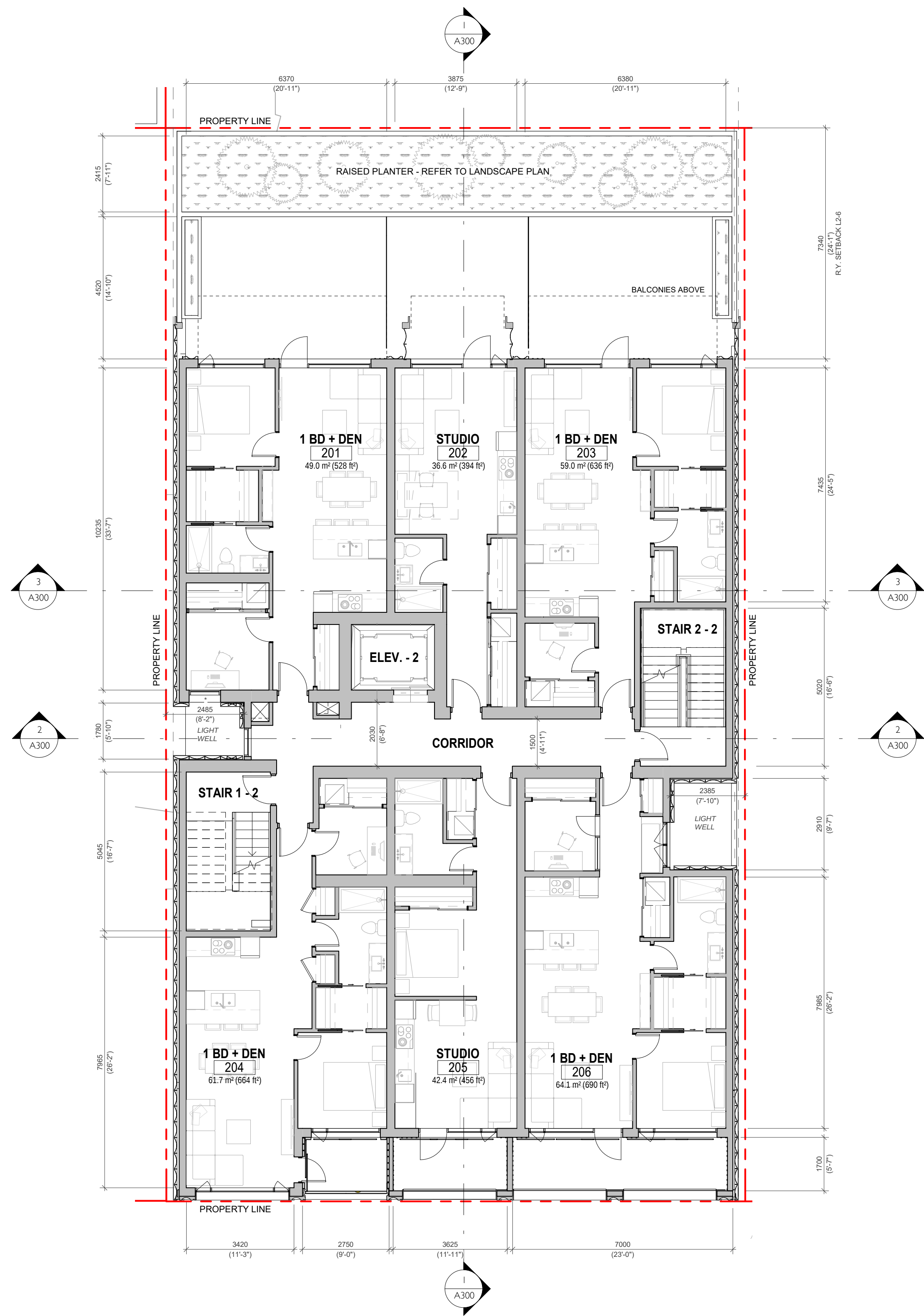
NOV 30, 2021 3

A 100

A100



1 Level 1 Proposed Plan
SCALE = 1 : 100



2 Levels 2-6 Typical Proposed Plan
SCALE = 1 : 100

3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE

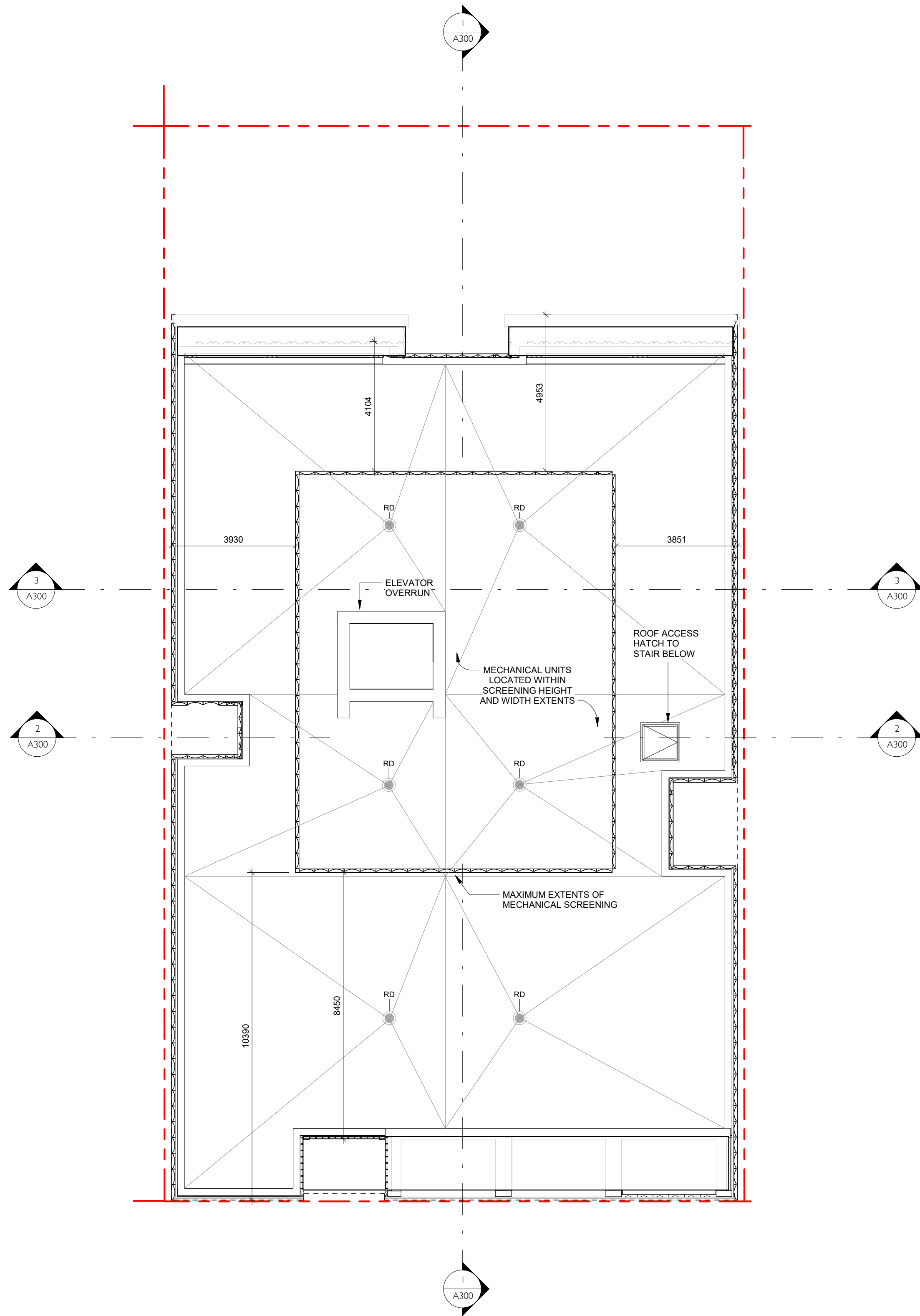


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Project		1030 FORT STREET	
		JAWL PROPERTIES	
		1030 Fort Street, Victoria BC	
Sheet Name		Proposed Floor Plans	
Date		NOV 30, 2021	
Scale	1 : 100	Project #	2112
Revision		NOV 30, 2021	3
Sheet #		A101	





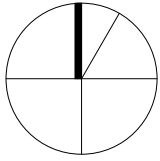
ZONING BYLAW 2018 - ROOF AREA: 491sq.m
ZONING BYLAW 2018 - ROOFTOP STRUCTURE EXTENTS: 130sq.m

3	Issued for RZ/DP Rev1	NOV 30, 2021
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NO.	DESCRIPTION	DATE



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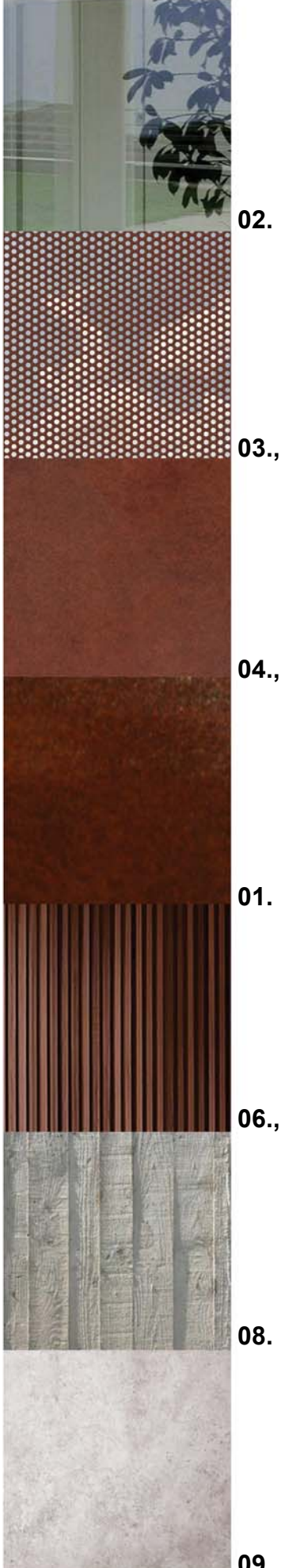
Project	
1030 FORT STREET	
	
JAWL PROPERTIES 1030 Fort Street, Victoria BC	
Sheet Name	
Roof Plan	
Date	
NOV 30, 2021	
Scale	Project #
1 : 100	2112
Revision	3
NOV 30, 2021	
Sheet #	A102



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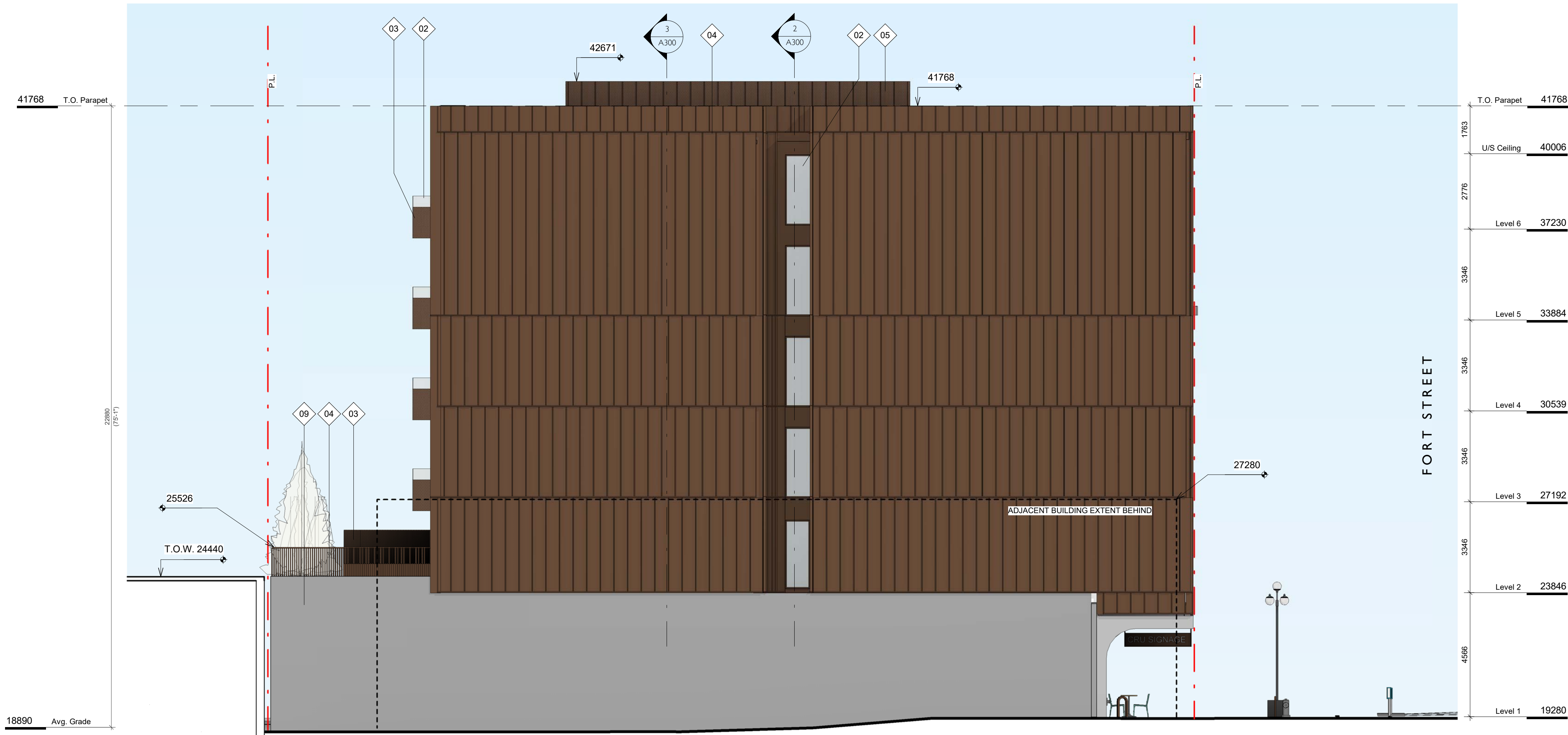


1 South Elevation
SCALE = 1 : 100



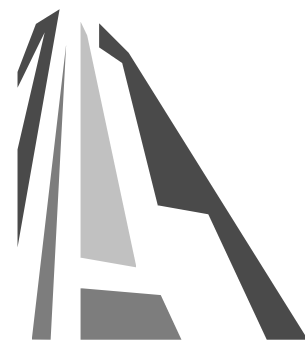
FINISH MATERIALS

- 01. TERRA COTTA
- 02. TRANSPARENT GLAZING
- 03. FRITTED GLASS
- 04. PRE-FINISHED METAL
- 05. PRE-FINISHED PERFORATED METAL
- 06. WOOD GRAIN TEXTURED FINISH
- 07. CEMENTITIOUS PANEL
- 08. ARCHITECTURAL CONCRETE
- 09. CONCRETE
- 10. MECHANICAL LOUVRE



2 West Elevation
SCALE = 1 : 100

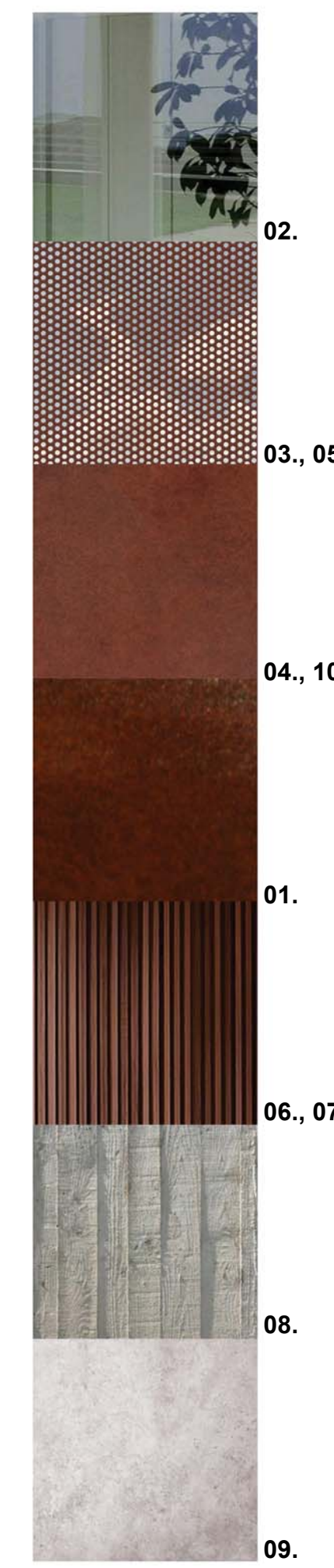
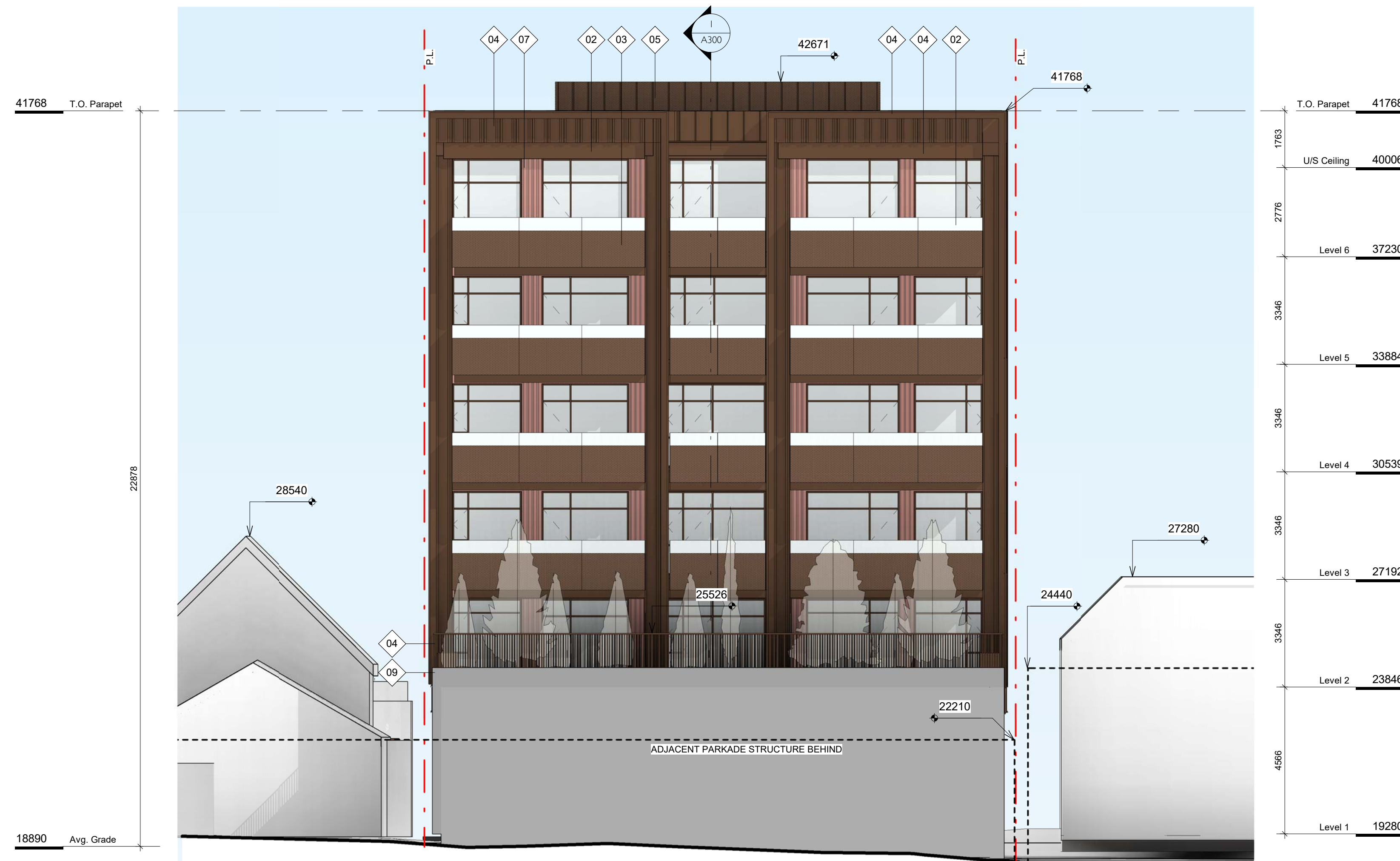
3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
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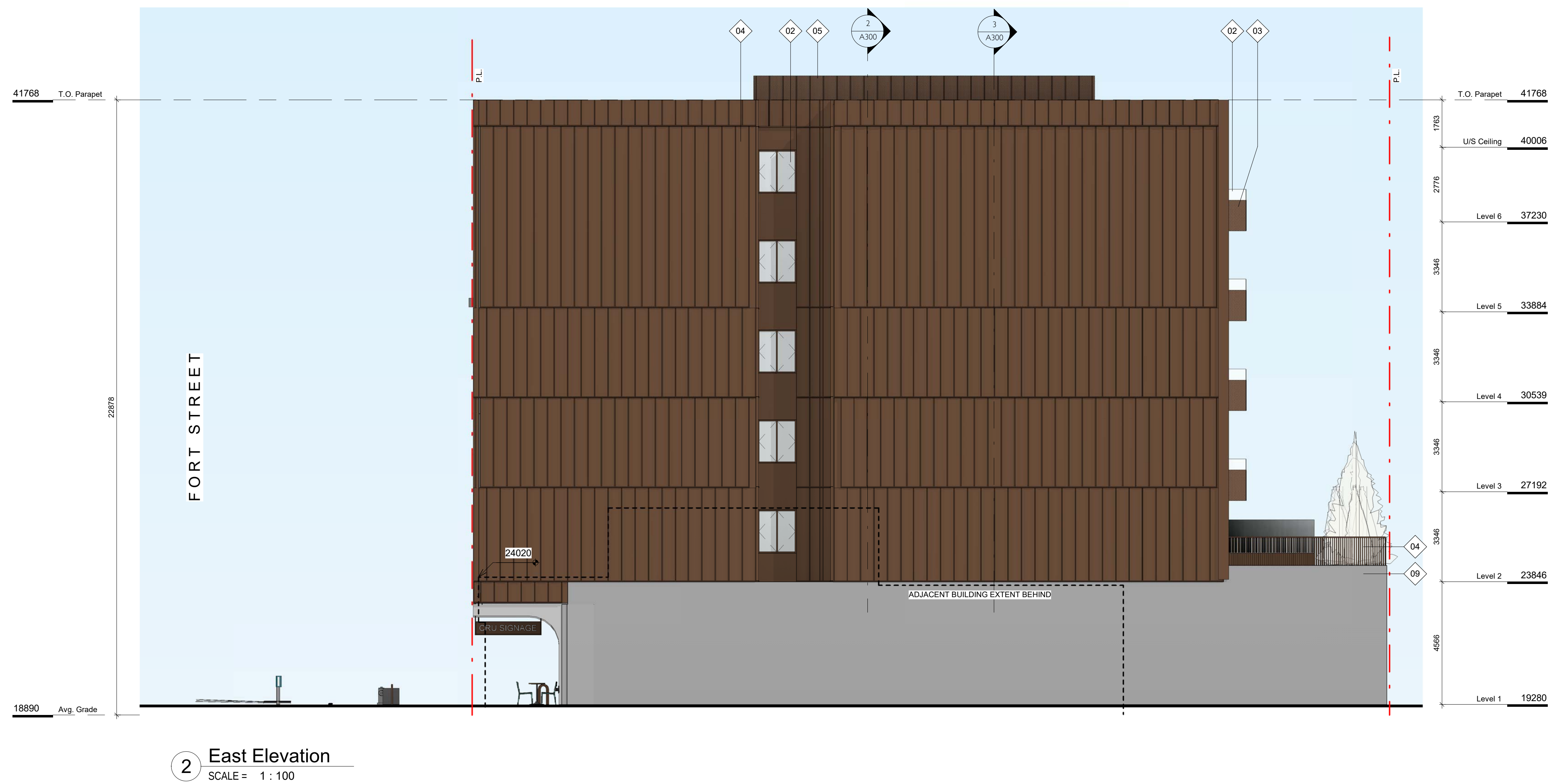
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Project	1030 FORT STREET	
	JAWL PROPERTIES	
	1030 Fort Street, Victoria BC	
Sheet Name	Building Elevations S-W	
Date	NOV 30, 2021	
Scale	As indicated	Project # 2112
	Revision	NOV 30, 2021 3
	Sheet #	A200



FINISH MATERIALS

01. TERRA COTTA
02. TRANSPARENT GLAZING
03. FRITTED GLASS
04. PRE-FINISHED METAL
05. PRE-FINISHED PERFORATED METAL
06. WOOD GRAIN TEXTURED FINISH
07. CEMENTITIOUS PANEL
08. ARCHITECTURAL CONCRETE
09. CONCRETE
10. MECHANICAL LOUVRE



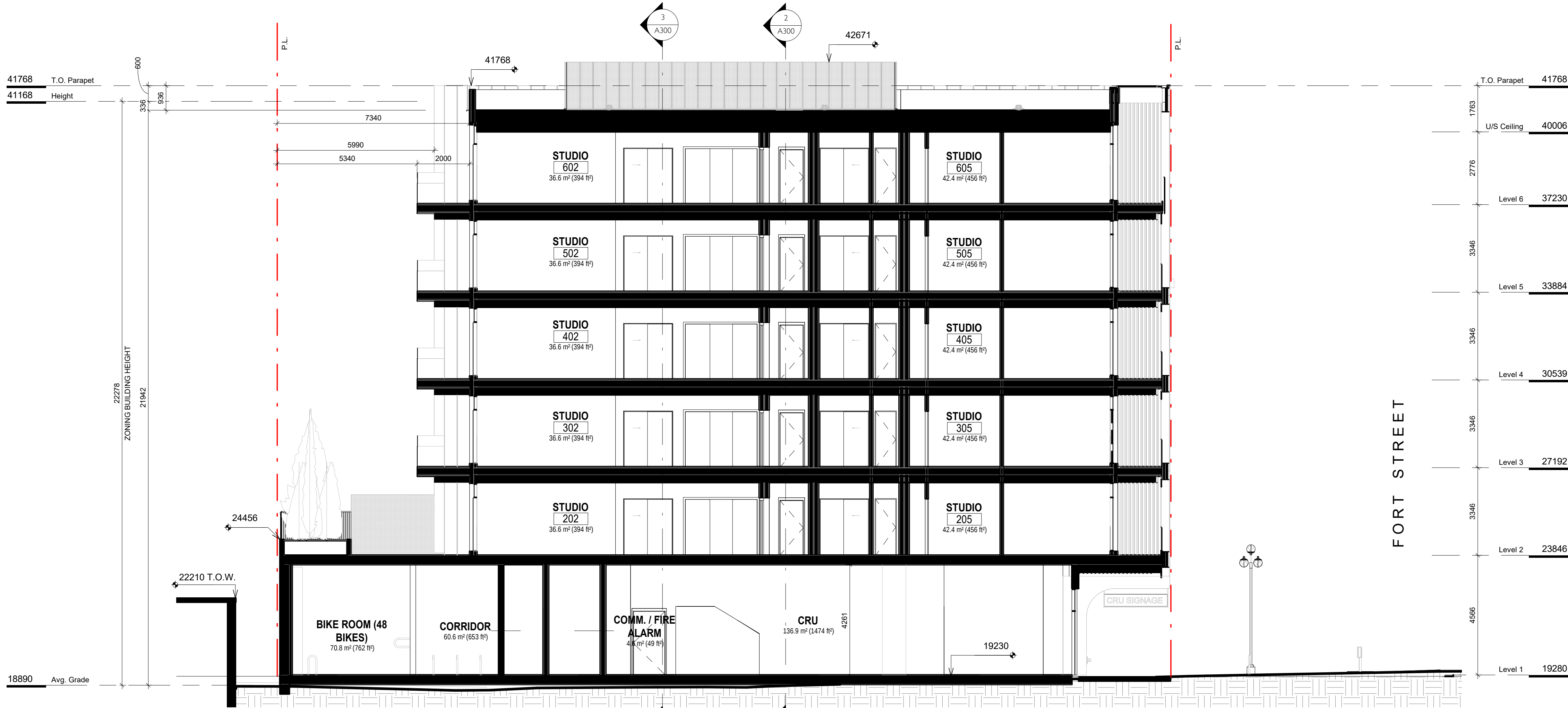
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1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE



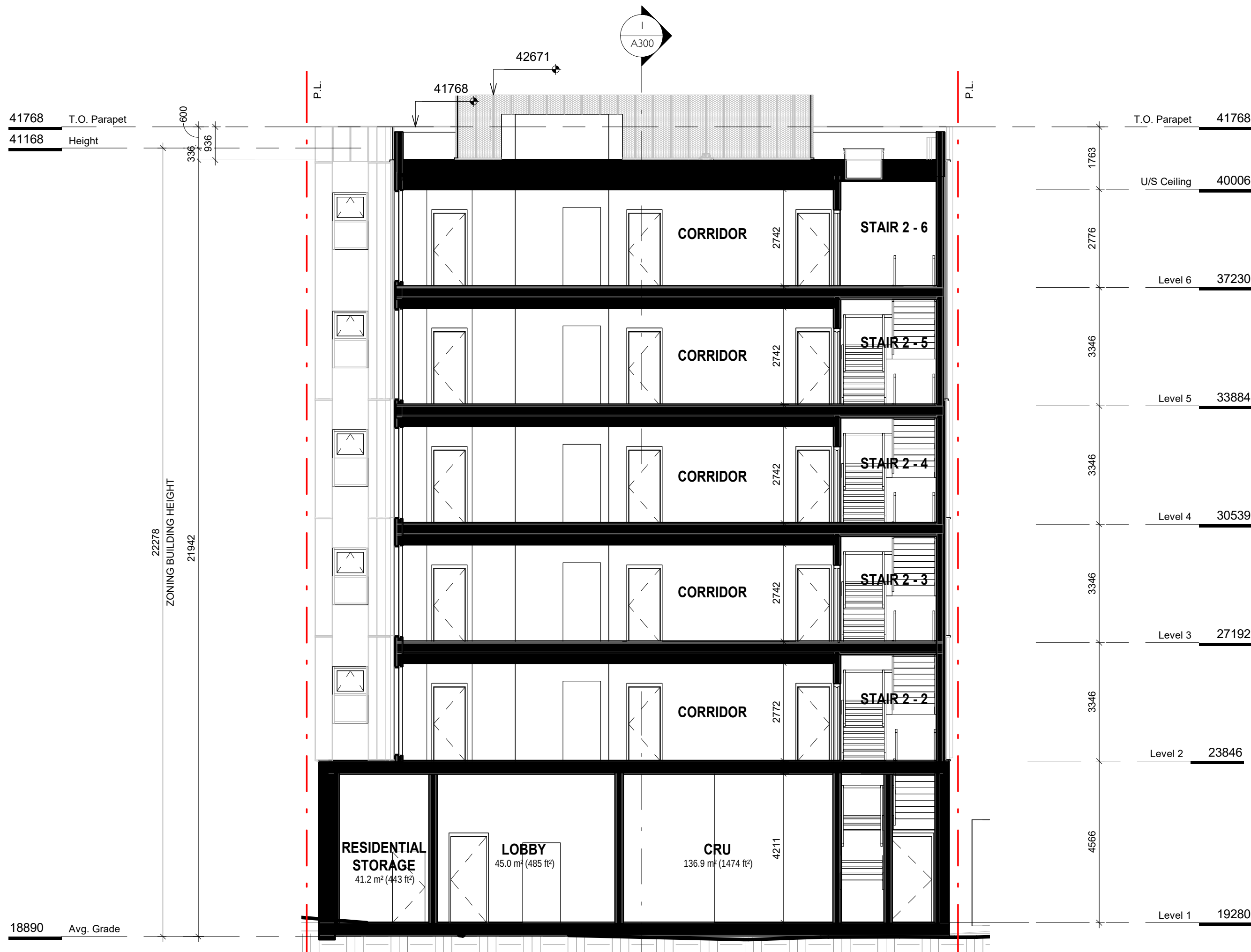
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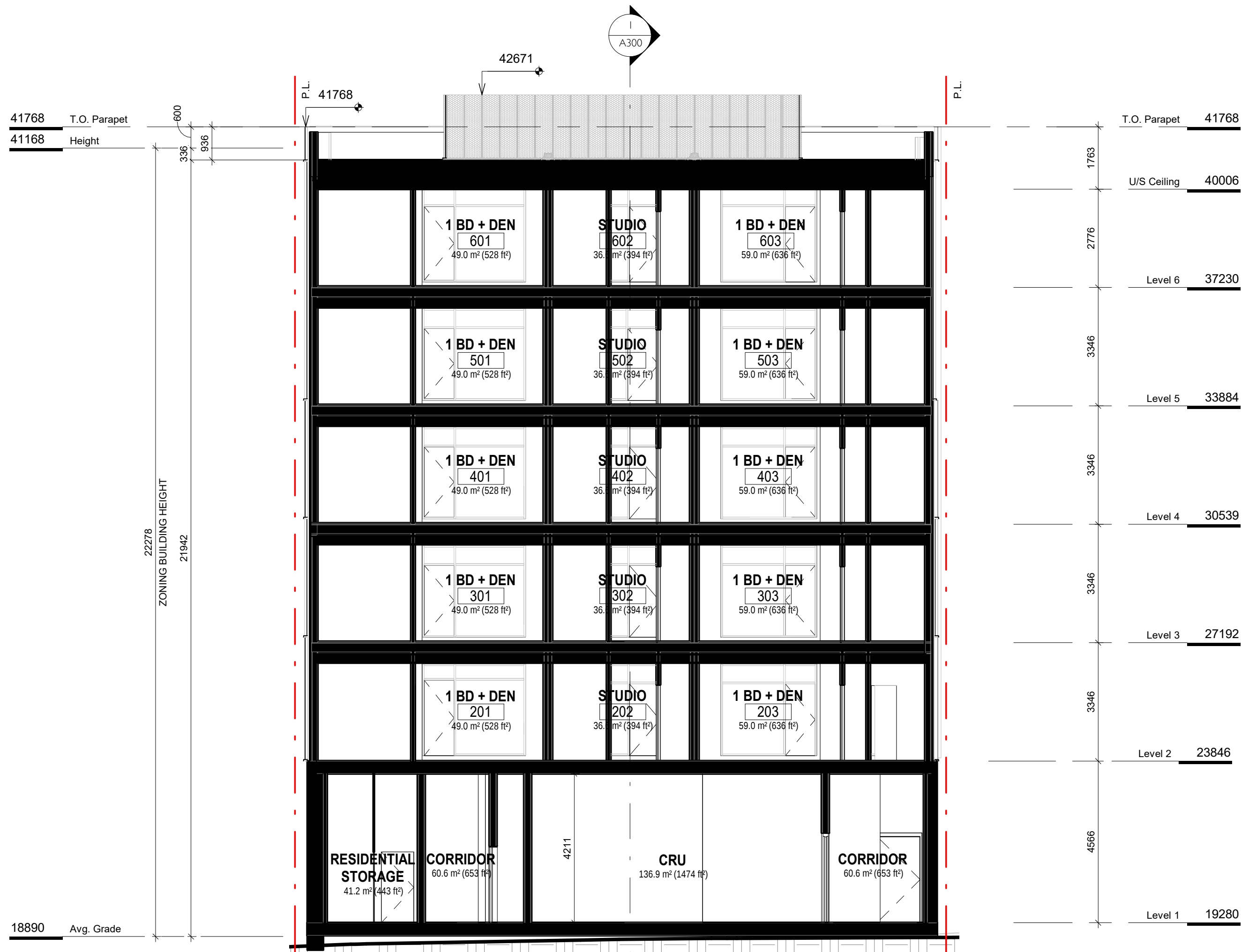
Project		1030 FORT STREET	
		JAWL PROPERTIES 1030 Fort Street, Victoria BC	
Sheet Name Building Elevations N-E			
		Date NOV 30, 2021	
Scale	As indicated	Project #	2112
		Revision	
		NOV 30, 2021	
		Sheet #	A201



1 Building Section 1
SCALE = 1 : 100



2 Building Section 2
SCALE = 1 : 100



3 Building Section 3
SCALE = 1 : 100

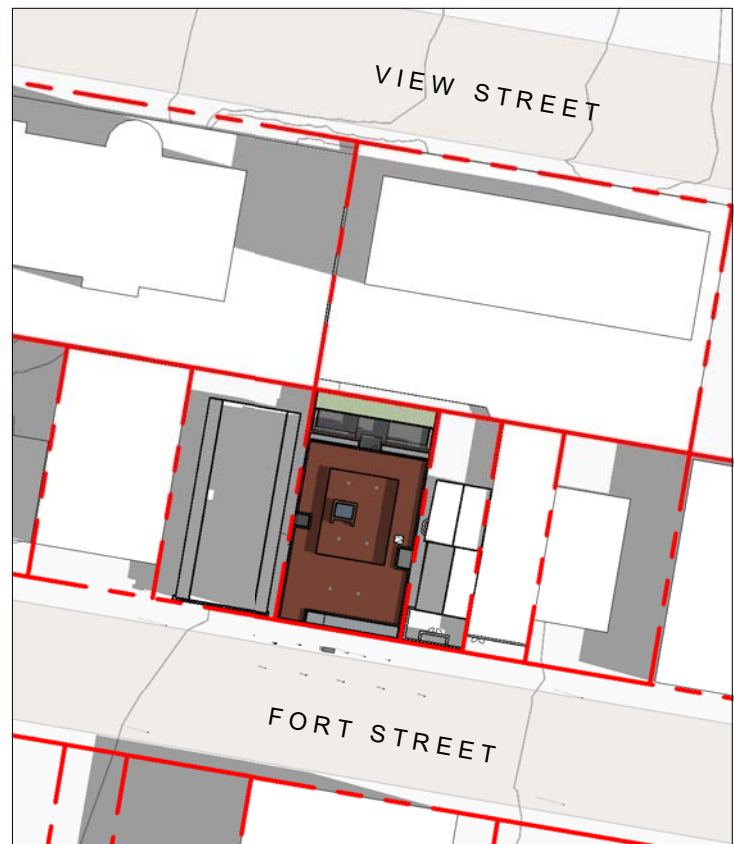
3	Issued for RZ/DP Rev1	NOV 30, 2021
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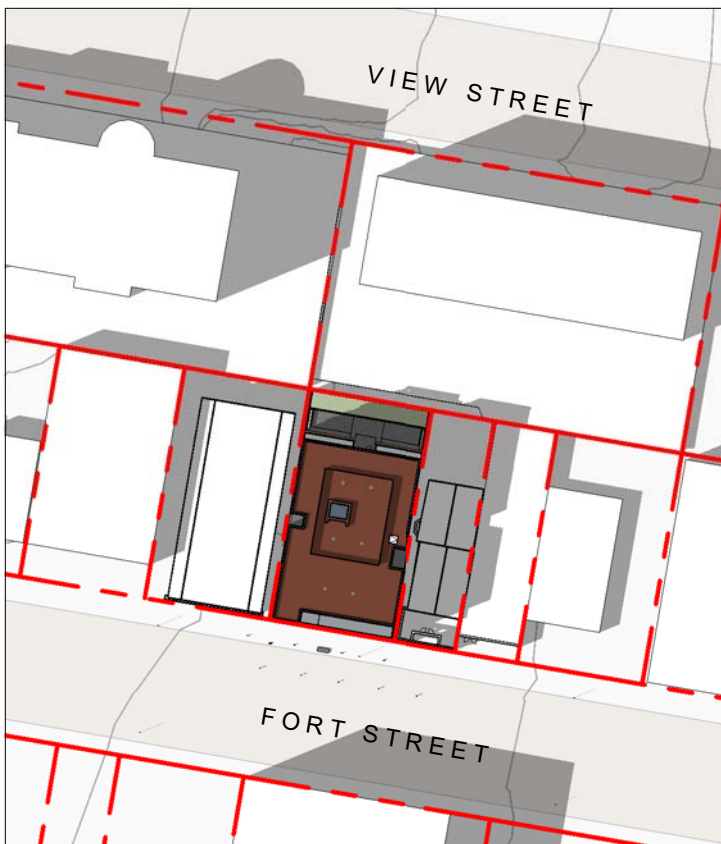
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			JAWL PROPERTIES		
			1030 Fort Street, Victoria BC		
Sheet Name			Building Sections		
Date			NOV 30, 2021		
Scale	1 : 100	Project #	2112		
Revision			NOV 30, 2021		
Sheet #			3		
REGISTERED ARCHITECT GREGORY L.F. DUNN 2021-11-30 BRITISH COLUMBIA			A300		



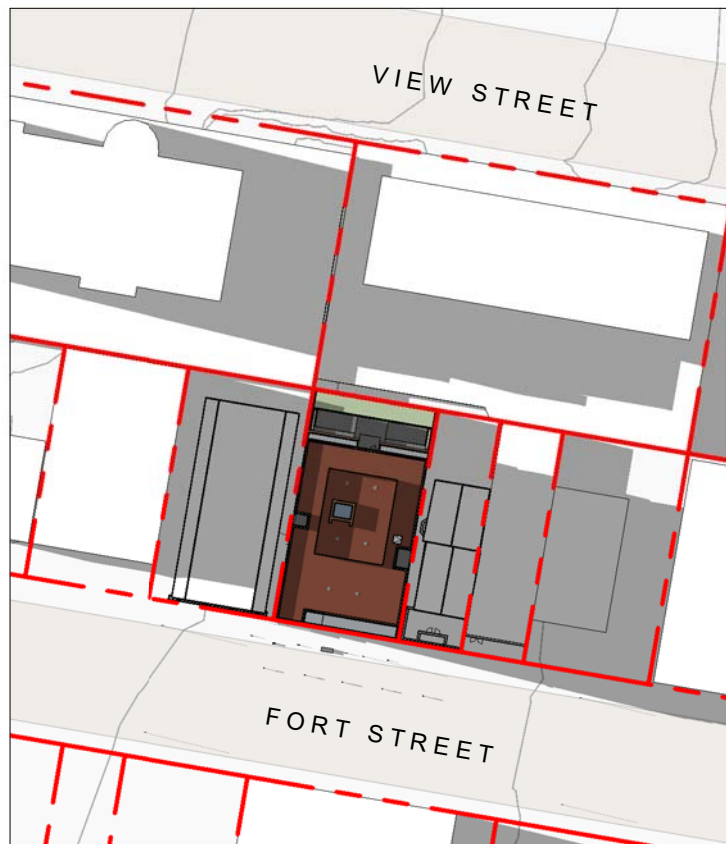
SUMMER SOLSTICE 9am



SUMMER SOLSTICE Noon



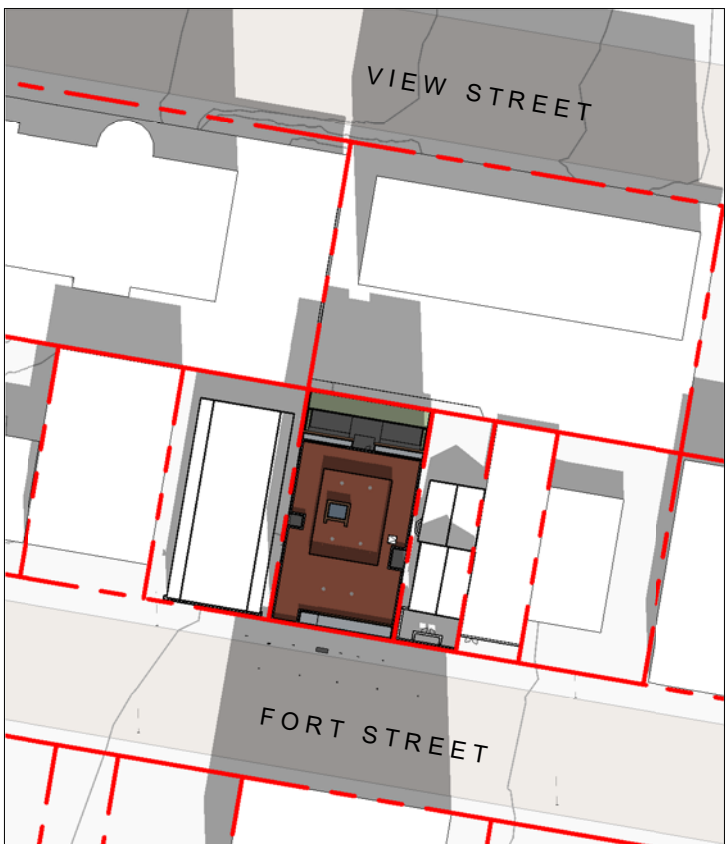
SUMMER SOLSTICE 3pm



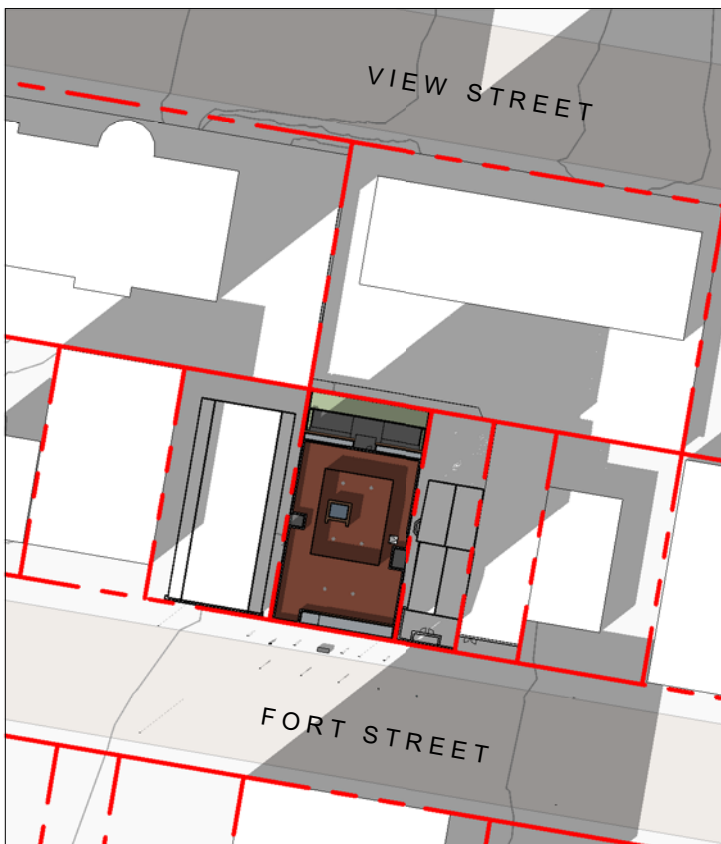
SUMMER SOLSTICE 6pm



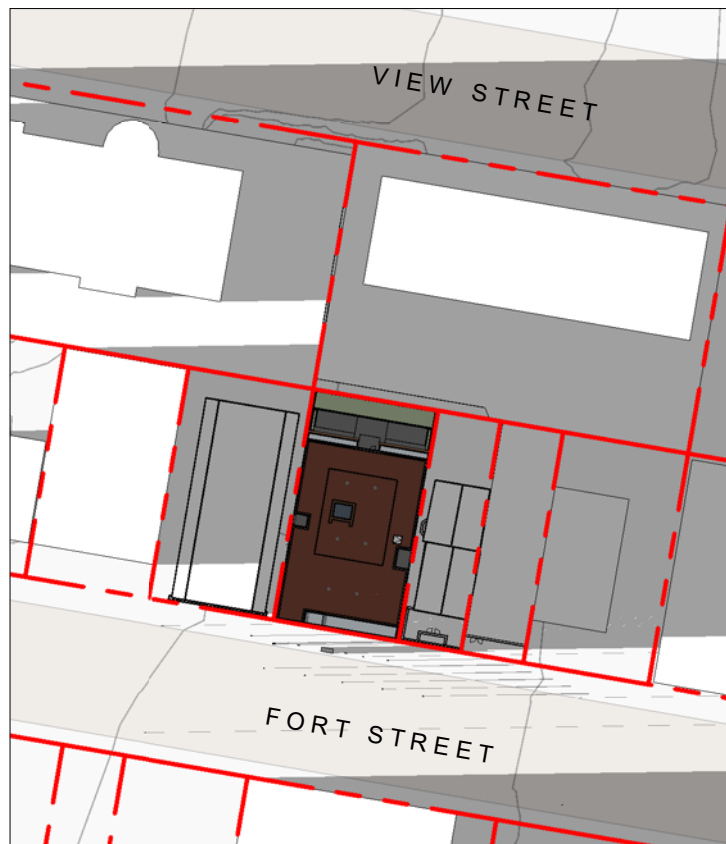
EQUINOX 9am



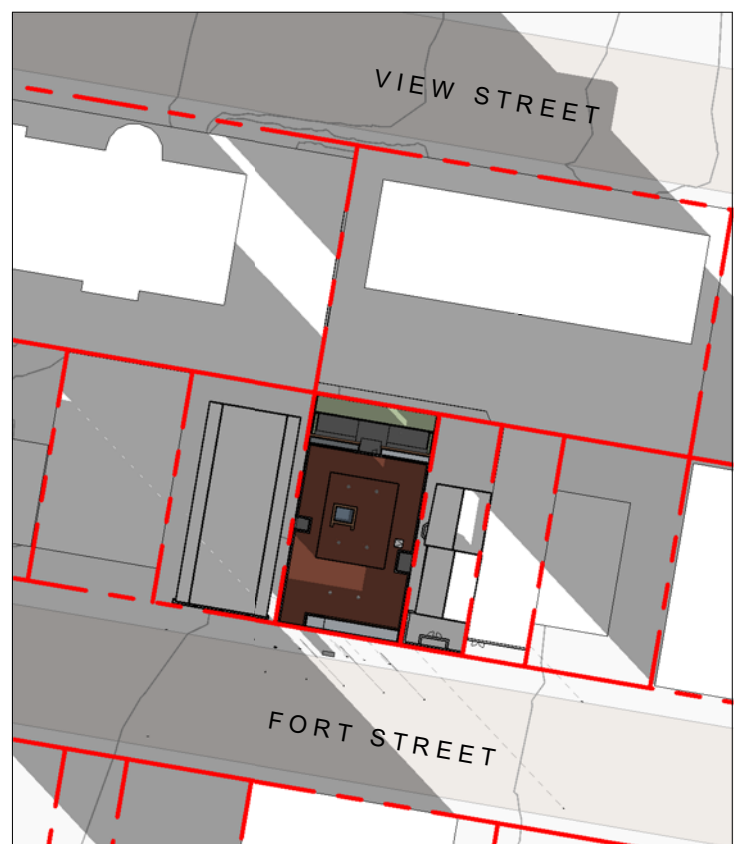
EQUINOX Noon



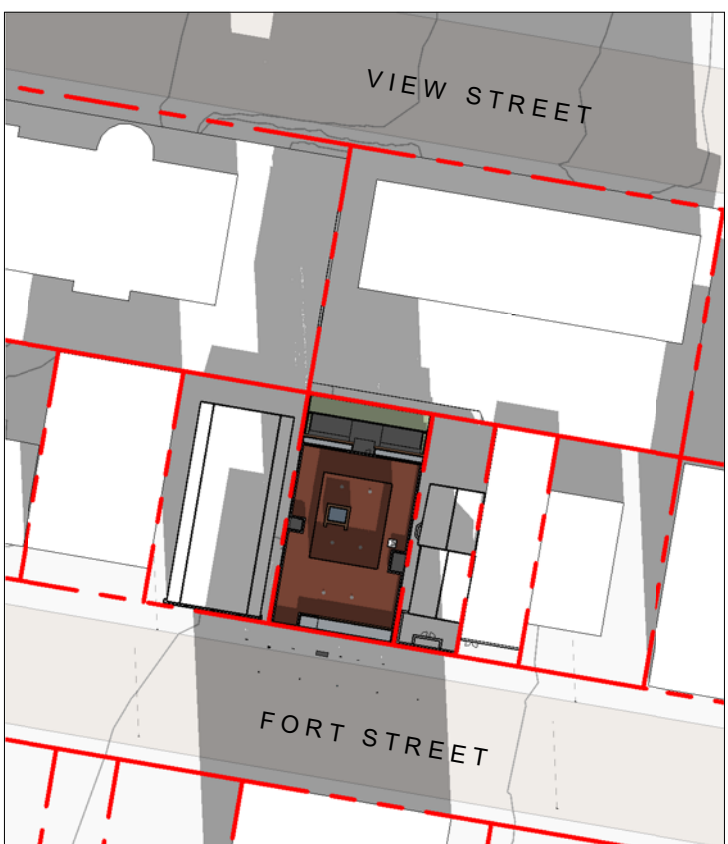
EQUINOX 3pm



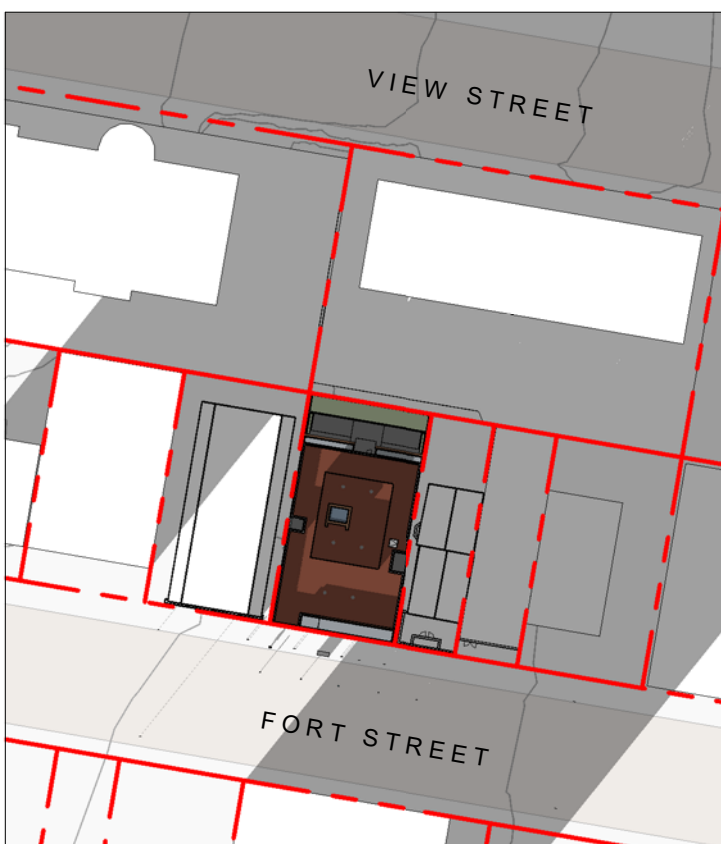
EQUINOX 6pm



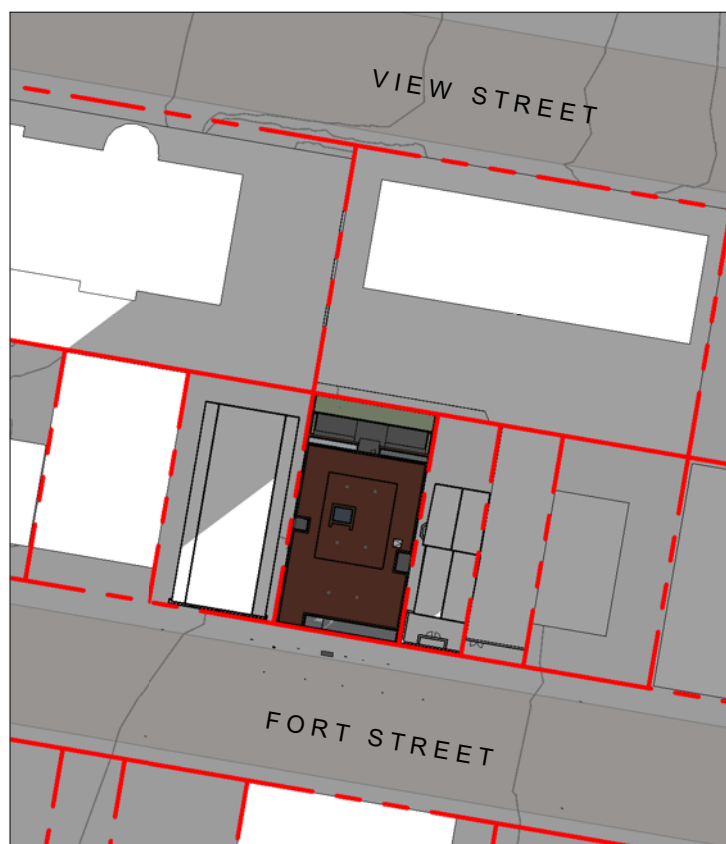
WINTER SOLSTICE 9am



WINTER SOLSTICE Noon



WINTER SOLSTICE 3pm



WINTER SOLSTICE 6pm



1 South Elevation - Fort Street Context
SCALE= 1 : 250



14 Section - Fort Street & Context
SCALE= 1 : 250

3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE


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Project
1030 FORT STREET
JAWL PROPERTIES
1030 Fort Street, Victoria BC

Sheet Name
Context & Shadow Study

Date
NOV 30, 2021

Scale
As indicated

Project #
2112

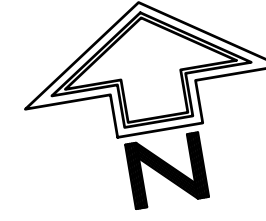
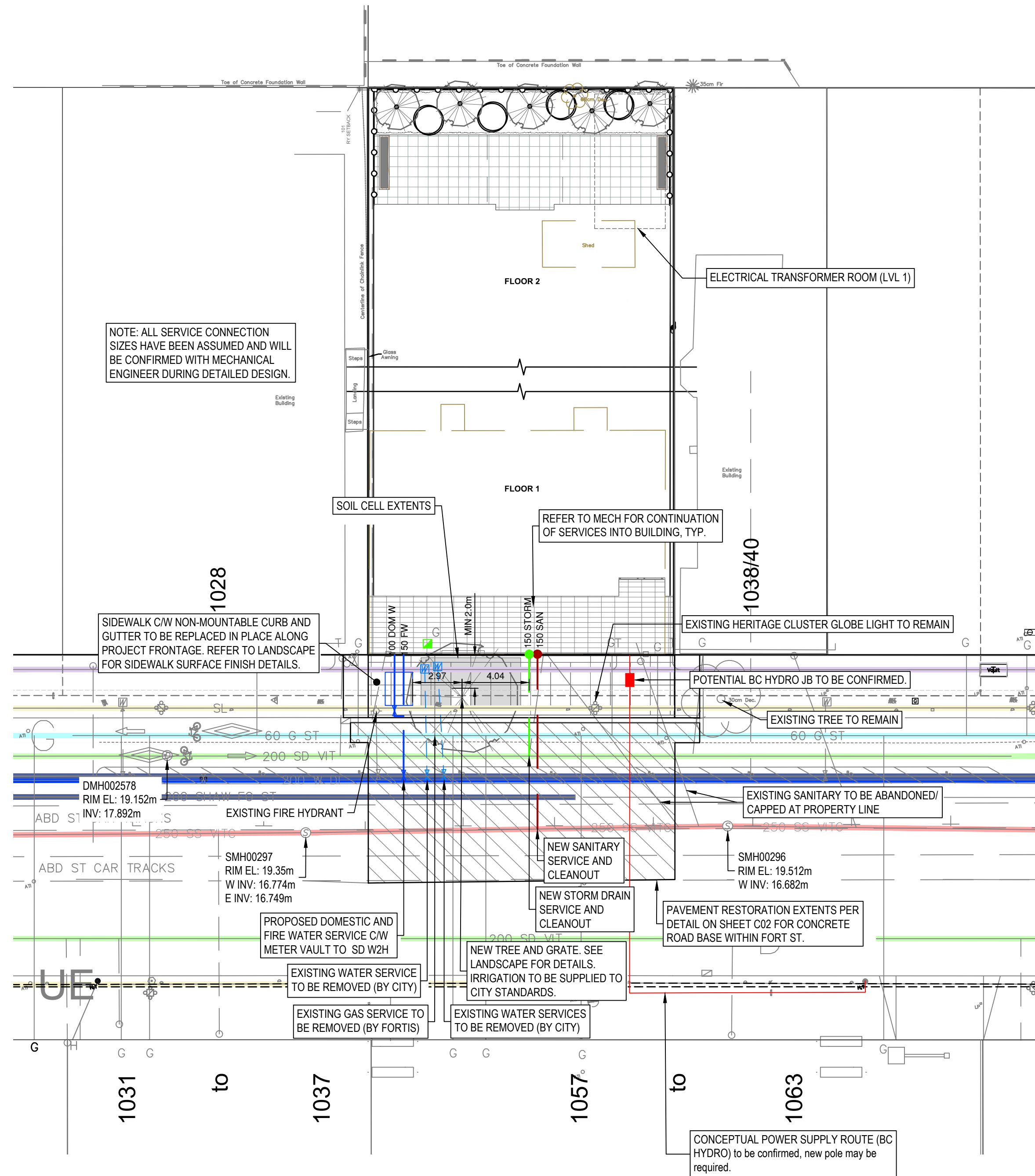
Revision
NOV 30, 2021
3

Sheet #
A500

REGISTERED ARCHITECT
GREGORY L.F. DUNN
2021-11-30
BRITISH COLUMBIA

1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VICTORIA SPECIFICATIONS, MASTER MUNICIPAL CONSTRUCTION DOCUMENT (MCMC) PLATINUM EDITION, AND THESE DRAWINGS.
2. ALL CONSTRUCTION SURVEY LAYOUT TO BE PROVIDED BY THE CONTRACTOR.
3. PERMIT TO CONSTRUCT WORKS ON CITY RIGHT-OF-WAY MUST BE OBTAINED FROM THE CITY ENGINEERING DEPARTMENT BEFORE WORKS COMMENCE. NOTIFY CITY OF VICTORIA 48 HOURS PRIOR TO CONSTRUCTION.
4. ALL SERVICE LOCATIONS AND CROSSINGS ARE NOT GUARANTEED AS TO THEIR ACCURACY. LOCATIONS OF ALL EXISTING SERVICES, FEATURES AND APPURTENANCES SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION.
5. CONTACT BC-1 (1-800-474-8886), BC HYDRO, TELUS, SHAW CABLE, AND FORTIS BC FOR UNDERGROUND UTILITY LOCATIONS 72 HOURS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO VIDEO INSPECT EXISTING 200mm STORM DRAIN BETWEEN EAST AND WEST PROPERTY LINES ALONG PROJECT FRONTAGE PRE AND POST CONSTRUCTION TO CONFIRM PIPE CONDITION.
7. EXISTING SERVICES MUST BE EXPOSED AT CROSSING POINTS PRIOR TO CONSTRUCTION.
8. ANY CONFLICT BETWEEN EXISTING INFRASTRUCTURE AND THE DESIGN TO BE RELAYED TO ENGINEER AND CITY TECHNICIAN IMMEDIATELY.
9. ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESIGN GRADES.
10. CITY CREWS TO INSTALL ALL SEWER AND DRAIN CONNECTIONS AND SERVICES UP TO THE PROPERTY LINE, AT THE DEVELOPER'S EXPENSE.
11. WATER SERVICE CONNECTIONS ARE TO BE INSTALLED TO NEW METER AT THE PROPERTY LINE BY THE CITY OF VICTORIA MUNICIPAL CORP. AT THE DEVELOPER'S EXPENSE. THE CONTRACTOR SHALL NOT OPERATE ANY WATERMAIN OR SERVICE VALVES.
12. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PARTIES REQUIRED FOR SERVICING TO PROPERTY LINE, INCLUDING ABANDONMENT OF EXISTING SERVICES. CAP ABANDONED HYDRO/TELUS/SHAW CONDUIT 300mm OUTSIDE PROPERTY LINE.
13. UNDERGROUND WIRING TO BE CONSTRUCTED IN ACCORDANCE WITH BC ELECTRICAL CODE, BC HYDRO/TELUS DRAWINGS AND SPECIFICATIONS.
14. OVERHEAD WIRING IS NOT SHOWN ON CONTRACT DRAWINGS.
15. STREETS SHALL BE SWEEPED CLEAN ON A REGULAR BASIS TO REMOVE ANY CONSTRUCTION DEBRIS.
16. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF VICTORIA STORMWATER BYLAW.
17. DISPOSE OF ALL UNSUITABLE EXCAVATED MATERIAL AS PER SPECIFICATIONS, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
18. ALL TRAFFIC CONTROL TO CONFORM TO THE MOST CURRENT WORKSAFE BC, MCMC AND MINISTRY OF TRANSPORTATION SPECIFICATIONS (TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS).
19. PROVIDE TRAFFIC CONTROL, SIGNAGE, BARRICADES, ILLUMINATION, AND DETOUR ROUTING AS REQUIRED TO MAINTAIN TRAFFIC FLOW AND EMERGENCY VEHICLE ACCESS. OUTBOUND ARTERIAL ROAD TRAVEL LANES TO BE OPEN AFTER 3:00 P.M.
20. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS HAULING MATERIALS TO THE SITE. THIS WILL INCLUDE DAILY CLEANING OR SWEEPING ALL EXISTING ROADS OF DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
21. ALL ASPHALT AND CONCRETE CUTS TO BE SQUARE CUT WITH SAW.
22. COORDINATE CONSTRUCTION OF ALL WORKS WITHIN ROADWAYS WITH CITY OF VICTORIA WORKS CREWS.
23. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC UTILITY CONSTRUCTION DETAILS.
24. FIELD SURVEY COMPLETED BY GEOVERRA 2020/2021.
25. CONTRACTOR IS TO PROVIDE AS-CONSTRUCTED DRAWING MARKUPS TO ENGINEER UPON CONSTRUCTION COMPLETION.

ADDRESS	1030 FORT STREET
LOT:	REM 1010
BLOCK:	
PLAN:	VIP1A
ZONING:	CA-42
LAND USE:	COMMERCIAL/RESIDENTIAL



SERVICE	ESTIMATED SIZE	UTILITY PROVIDER	INSTALLATION FORCES	COST(\$) ¹
WATER	150mm	City of Victoria	City of Victoria	At Cost
SANITARY	150mm	City of Victoria	City of Victoria	At Cost
STORM DRAIN	150mm	City of Victoria	City of Victoria	At Cost
GAS	² Unconfirmed	Fortis	Utility Contractor	Based on Size
HYDRO	² Unconfirmed	BC Hydro	Utility Contractor	Based on Size
COMMUNICATIONS	² Unconfirmed	Telus/Shaw	Utility Contractor	Based on Size

² Design loads and service size to be confirmed by mechanical and Electrical consultants during detailed design stage.

WORKS AND SERVICES CHECK TABLE				
PLAN CHECKER		AUTHORIZED REPRESENTATIVE		DATE
		NAME	SIGNATURE	
UTILITY	BC HYDRO			
	TELUS			
	FORTIS BC			
	SHAW			
MUNICIPAL	UNDERGROUND UTILITIES			
	TRANSPORTATION DESIGN & INFRASTRUCTURE			
	LAND DEVELOPMENT			

SURFACE DETAIL		Y	SEWER LATERAL	(T)	TEL MANHOLE	⊖	SIGNAL PULL BOX – SIDEWALK	✖	HYDRO/TEL POLE TO BE REMOVED	—	SANITARY
⊖	STORM DRAIN MANHOLE	(H)	HYDRO MANHOLE	⊖	WATER VALVE ON MAIN	⊖	LIGHT/SIGNAL PULL BOX – STREET	⊖	GAS METER	—	STORM
⊖	STORM DRAIN VENT	⊖	HYDRO POLE	⊖	WATER SERVICE VALVE	⊖	TEL POLE	⊖	GAS VALVE	—	WATER
⊖	CATCH BASIN	⊖	HYDRO POLE WITH DIP	⊖	WATER METER	⊖	TEL POLE WITH DIP	⊖	GAS SNIFFER	—	HYDRO
⊖	DRAIN CLEANOUT	⊖	JOINT POLE	⊖	BOULEVARD SERVICE	⊖	TEL POLE WITH LIGHT	⊖	LIGHT/SIGNAL POLE (STEEL)	—	LIGHTING
⊖	DRAIN LATERAL	⊖	HYDRO POLE WITH LIGHT	⊖	FIRE HYDRANT	⊖	TEL SERVICE BOXES	⊖	CLUSTER LAMP – TYPE A	—	GAS
⊖	SANITARY SEWER MANHOLE	⊖	HYDRO SERVICE BOXES	⊖	REDUCER	⊖	TEL VAULT	⊖	CLUSTER LAMP – TYPE B	—	TEL/CABLE
⊖	SANITARY SEWER VENT	⊖	HYDRO VAULT	⊖	LIGHT MANHOLE	→	POLE ANCHOR	⊖	STREET SIGN	—	
⊖	SEWER CLEANOUT	⊖		⊖	LIGHT PULL BOX – SIDEWALK	→	HYDRO/TEL POLE TO BE RELOCATED	⊖	PARKING METER	—	
								⊖	FENCE LINE	—	
								⊖	RETAINING WALL	—	
								⊖	TREE	—	
								⊖	ROCK OUTCROP	—	

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DISCLAIMER: THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.	####	####	####	####	####	####	####	####
	1	2021/12/01	RE-ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING	BH	CD	JCS	BH	
	0	2021/09/15	ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING	BH	CD	JCS	BH	
THIS DRAWING IS NOT TO BE SCALED.	ISSREV	YYYY-MM-DD	DESCRIPTION	DES	DRN	CHK	PM	

PROFESSIONAL
PROVINCE
OF
B. W. HARMS
49278
BRITISH COLUMBIA
ENGINEER

021-12-01

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Victoria, BC



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Victoria BC, Canada
V8Z 0B9
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F+ 1 250-386-2844
wsp.com

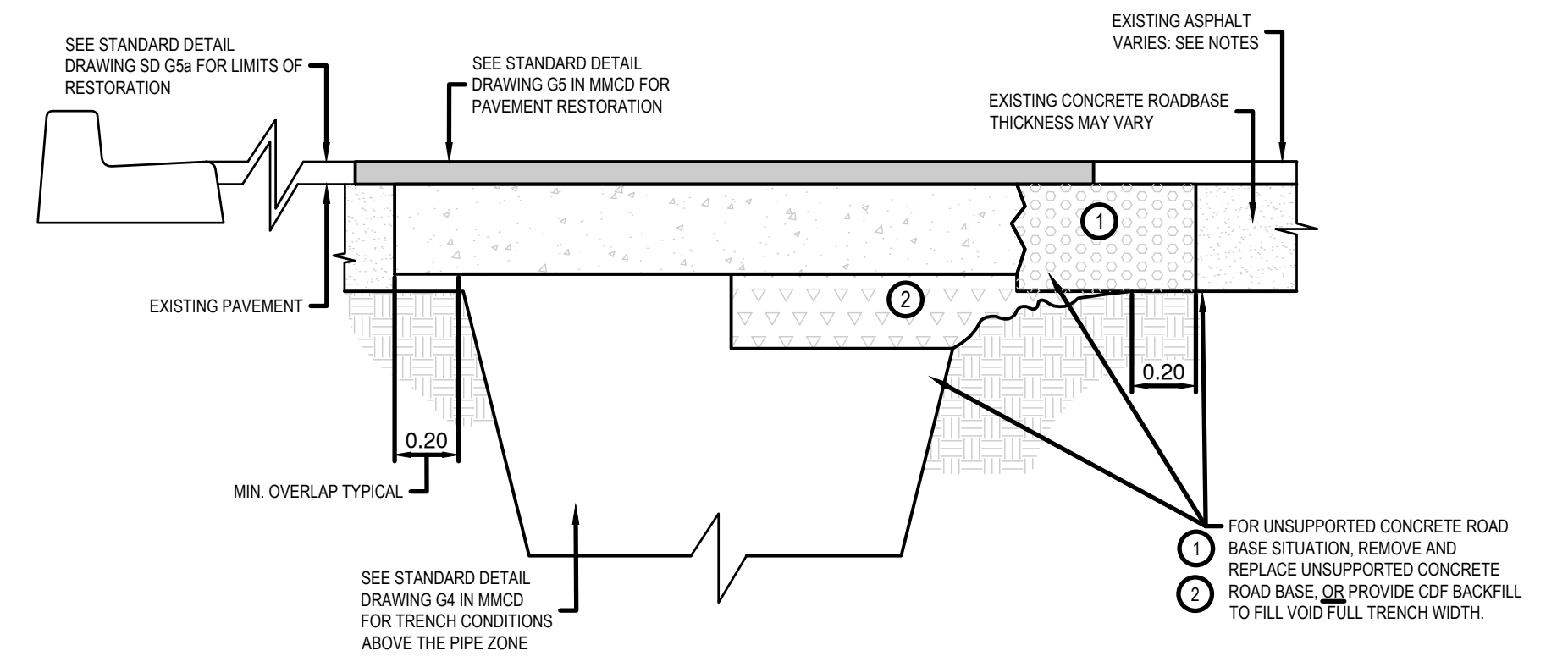
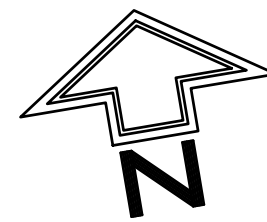
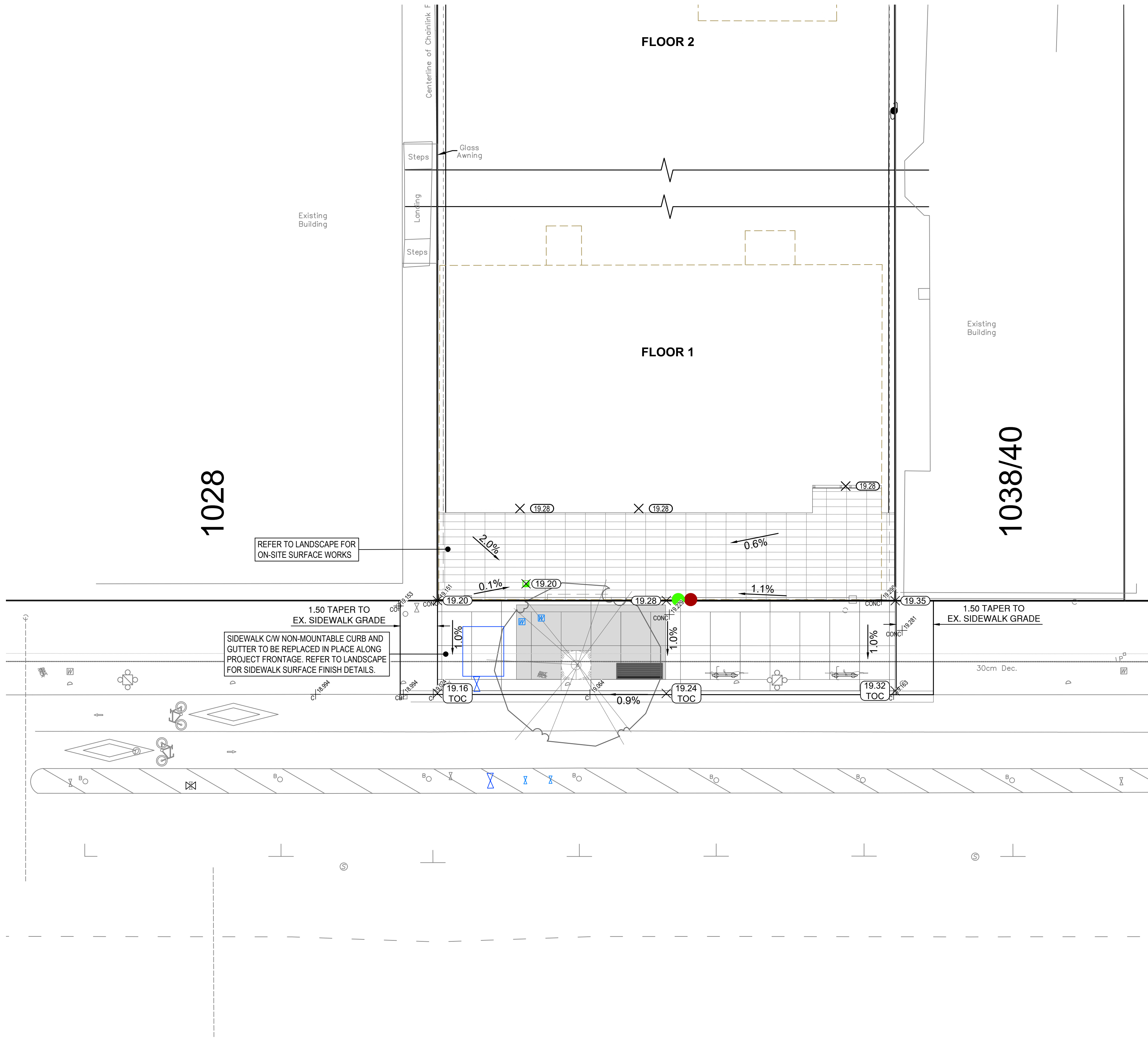
PROJECT: **1030 FORT STREET
MIXED-USE DEVELOPMENT**

PROJECT NO: 211-06978-00
SCALE: 1:200
DISCIPLINE:

TITLE: **CONCEPTUAL CIVIL PLAN**

DRAWING NO:	C01	
SHEET NO:	1	OF 2
ISSUE:		
FOR DEVELOPMENT PERMIT/R		
2021/12/01		

ISS/REV:
1



- NOTES:
1. IF PAVEMENT THICKNESS IS 150mm OR LESS, REPLACE CONCRETE ROAD BASE UP TO EXISTING PAVEMENT LOWER LEVEL.
 2. IF PAVEMENT THICKNESS IS GREATER THAN 150mm REPLACE CONCRETE ROAD BASE UP TO A LEVEL OF 150mm BELOW THE SURFACE OF EXISTING PAVEMENT.
 3. MUNICIPALITY MAY REQUEST FURTHER ASPHALT REMOVAL DEPENDING ON PAVEMENT CONDITIONS.
 4. REFER TO CONTRACT DRAWINGS FOR DETAILED SPECIFICATIONS.
 5. RESTORE CONCRETE ROAD BASE TO 200mm THICKNESS.
 6. DOWEL NEW CONCRETE ROAD BASE INTO EXISTING AT THE DISCRETION OF THE CITY ENGINEER.

TRENCH RESTORATION FOR CONCRETE ROAD BASE

1:20
CoV SD G5b

LEGEND

SURFACE DETAIL							
Ⓢ STORM DRAIN MANHOLE	Ⓜ HYDRO MANHOLE	Y SEWER LATERAL	Ⓣ TEL MANHOLE	Ⓢ SIGNAL PULL BOX - SIDEWALK	✕ HYDRO/TEL POLE TO BE REMOVED		
Ⓢ STORM DRAIN VENT	Ⓜ HYDRO POLE	Ⓢ WATER VALVE ON MAIN	Ⓣ TEL POLE	Ⓢ LIGHT/SIGNAL PULL BOX - STREET	Ⓢ GAS METER		
Ⓢ CATCH BASIN	Ⓜ HYDRO POLE WITH DIP	Ⓢ WATER SERVICE VALVE	Ⓣ TEL POLE WITH DIP	Ⓢ LIGHT POLE (STEEL)	Ⓢ GAS VALVE		
Ⓢ DRAIN CLEANOUT	Ⓜ JOINT POLE	Ⓢ WATER METER	Ⓣ TEL POLE WITH LIGHT	Ⓢ SIGNAL POLE (STEEL)	Ⓢ GAS SNIFFER		
Ⓢ DRAIN LATERAL	Ⓜ HYDRO POLE WITH LIGHT	Ⓢ BOULEVARD SERVICE	Ⓣ TEL SERVICE BOXES	Ⓢ LIGHT/SIGNAL POLE (STEEL)	Ⓢ TEST HOLE		
Ⓢ SANITARY SEWER MANHOLE	Ⓜ HYDRO SERVICE BOXES	Ⓢ FIRE HYDRANT	Ⓣ TEL VAULT	Ⓢ CLUSTER LAMP - TYPE A	Ⓢ FENCE LINE		
Ⓢ SANITARY SEWER VENT	Ⓜ HYDRO VAULT	Ⓢ REDUCER	Ⓣ POLE ANCHOR	Ⓢ CLUSTER LAMP - TYPE B	Ⓢ RETAINING WALL		
Ⓢ SEWER CLEANOUT		Ⓢ LIGHT MANHOLE	Ⓣ HYDRO/TEL POLE TO BE RELOCATED	Ⓢ STREET SIGN	Ⓢ TREE		
		Ⓢ LIGHT PULL BOX - SIDEWALK		Ⓢ PARKING METER	Ⓢ ROCK OUTCROP		

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ISS/REV	YYYY-MM-DD	DESCRIPTION	DES	DRN	CHK	PM	
1	2021/12/01	RE-ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING	BH	CD	JCS	BH	
0	2021/09/15	ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING	BH	CD	JCS	BH	

SEAL:

PROFESSIONAL
OF
B. W. HARMS
49278
BRITISH
COLUMBIA
ENGINEER

2021-12-01

CLIENT:

JAWL PROPERTIES LTD.
1515 Douglas St Suite 200,
Victoria, BC

CLIENT REF. NO:

wsp

301-3600 Uptown Blvd
Victoria BC, Canada
V8Z 0B9
T: 1 250-384-5510
F: 1 250-386-2844
wsp.com

PROJECT:

1030 FORT STREET
MIXED-USE DEVELOPMENT

PROJECT NO:
211-06978-00

SCALE:
1:100

DISCIPLINE:
CIVIL

TITLE:

CONCEPTUAL SURFACE WORKS
& SITE GRADING

DRAWING NO:
C02

SHEET NO:
2 OF 2

ISSUE:
FOR DEVELOPMENT PERMIT/RE-ZONING

ISS/REV:
1

2021/12/01