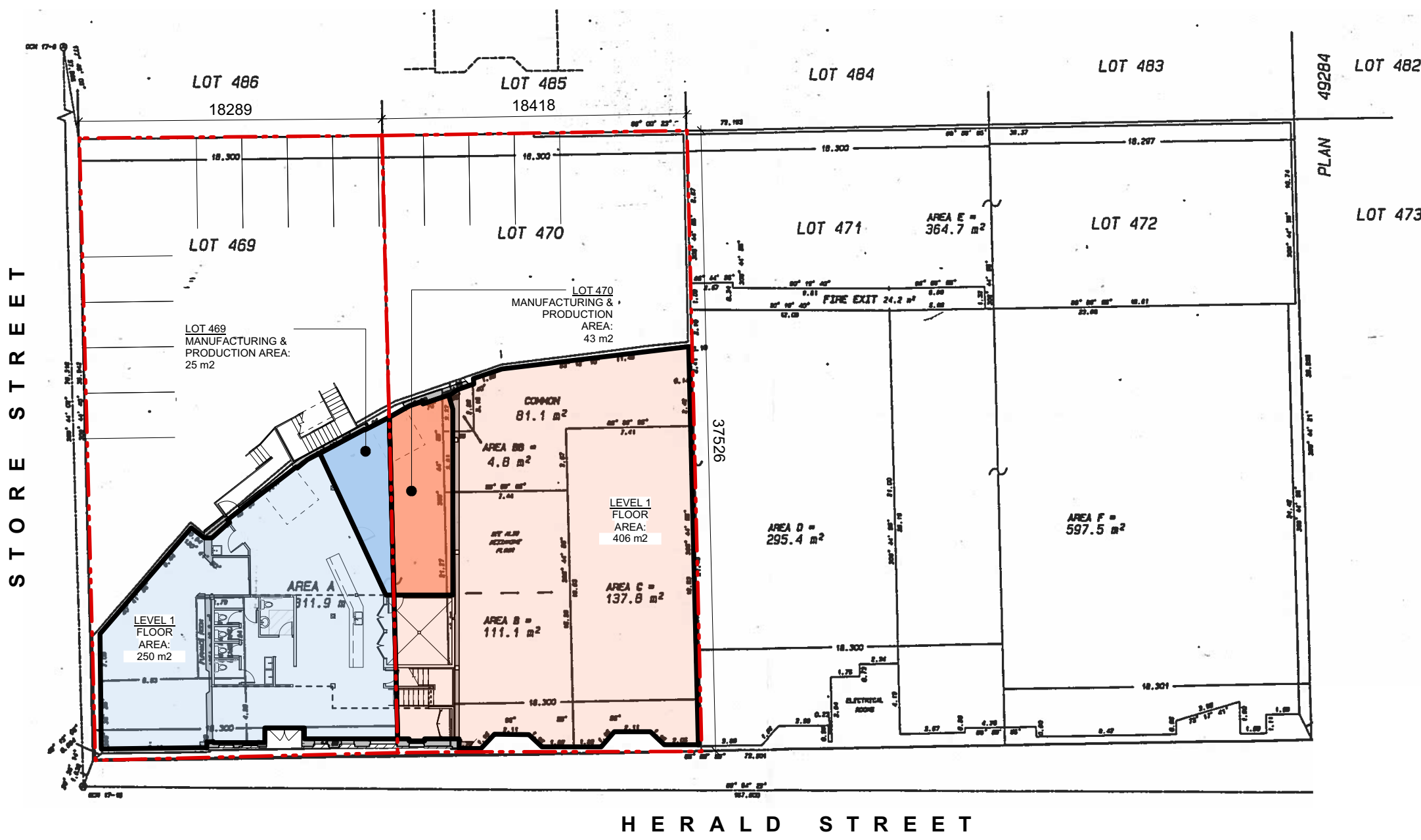


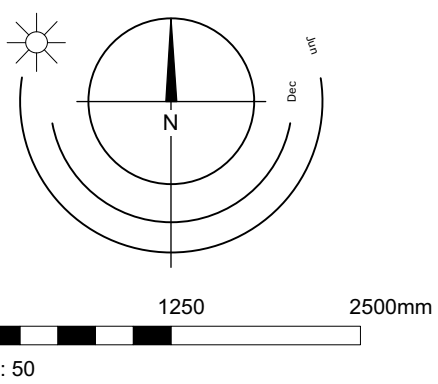
- General Notes**
1. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
 2. Shaded walls are existing.
 3. All gridlines are to centreline of existing columns, centre of studs, and face of existing interior brickwork unless noted otherwise. Plans to be read in conjunction with details to confirm.



FLOOR AREA OF MANUFACTURING & PRODUCTION:

	LOT 469	LOT 470
Level 1 - Gross Floor Area (m ²)	250	406
Manufacturing & Production Area (m ²)	25	43
% Manufacturing & Production on Level 1	10%	11%

2
A201 Survey Plan/Floor Area
Scale: 1:300



Rev	Date	Description	Issued for Development Permit
01	31 DEC 2018	Issued for Development Permit	
02	31 DEC 2018	Issued for Development Permit	
03	31 DEC 2018	Issued for Development Permit	
04	31 DEC 2018	Issued for Development Permit	
05	31 DEC 2018	Issued for Development Permit	
06	31 DEC 2018	Issued for Development Permit	
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98	31 DEC 2018	Issued for Development Permit	
99	31 DEC 2018	Issued for Development Permit	
100	31 DEC 2018	Issued for Development Permit	

NOTE: All dimensions are shown in millimeters.

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977 Fort Street
Victoria BC V8V 3K3
T 1-250-608-3367

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K6
T 1-250-585-5810

Project Name
Herald Brew Pub
506 Herald Street
Victoria, BC

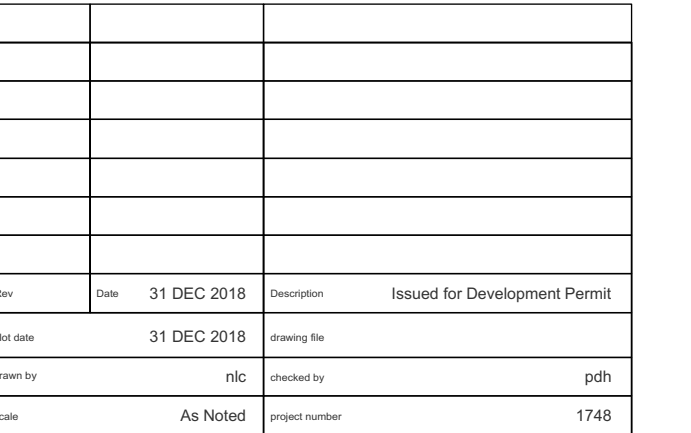
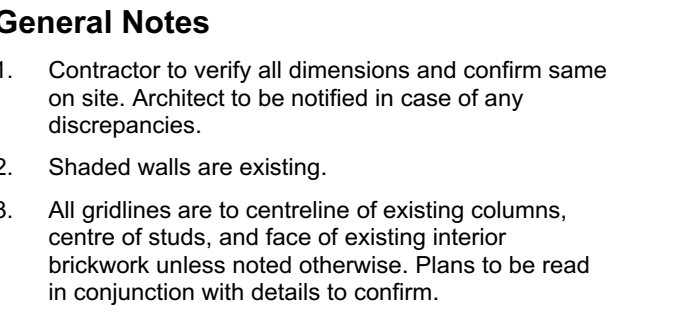
Project No.
A201

Revision No.
-

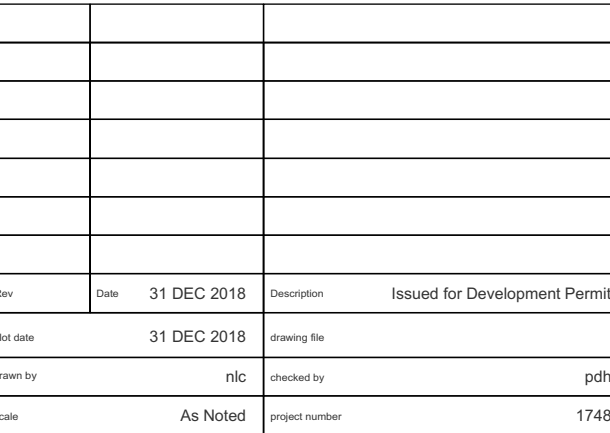
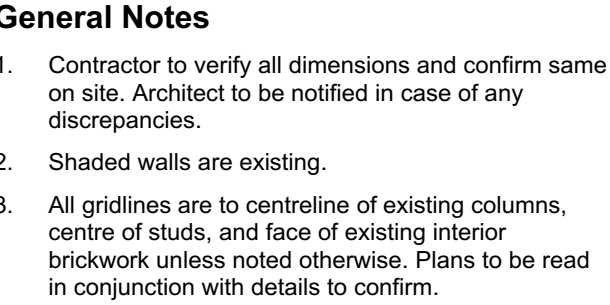
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1
A201 Level 1 Floor Plan
Scale: 1:50



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dHKA

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VICTORIA OFFICE

**977 Fort Street
Victoria BC V8W 3K3
T 1-250-656-3367**

project name

Herald Brew Pub
506 Herald Street
Victoria, BC

drawing title

Roof Top Floor Plan

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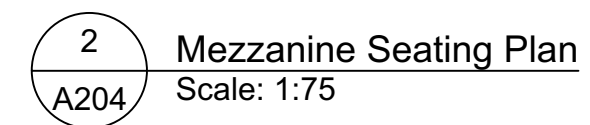
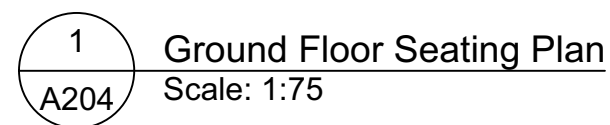
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A203

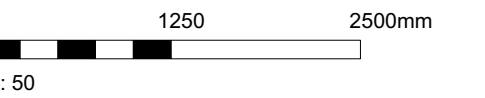
schematic no.

-

1. Dashed red line indicates liquor service area.
2. Total Occupant Load based on BCBC 2012 (3.1.17).

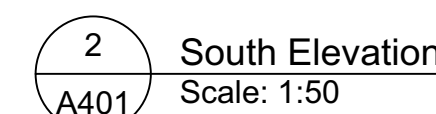
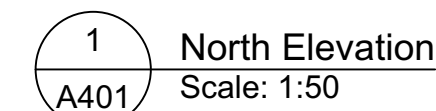


Total Occupant Load: 178 people

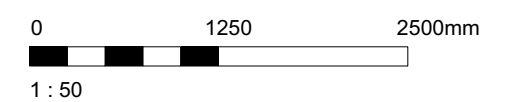


Day	Date 31 DEC 2018	Description Issued for Development Permit
print date	31 DEC 2018	drawing file
drawn by	njc	pdf
scale	As Noted	project number 1748

 <p>de Hoog & Kierulf architects</p>	
<p>VICTORIA OFFICE 107 7th Street Victoria B.C. V8T 3K3 T 1-250-688-3397</p>	<p>NANAIMO OFFICE 102-5150 Dublin Way Nanaimo B.C. V9T 2K8 T 1-250-688-0810</p>
<p>project name Herald Beer Pub 506 Herald Street Victoria, BC</p>	
<p>drawing title Seating Plan</p>	
<p>CONCEPT AND DESIGN: ARIE AND ALI. THESE DRAWING THE PROPERTIES OF WOOD, GLASS, METAL AND FABRIC ARE EXPLORED TO PRODUCE FUNCTIONAL AND AESTHETIC INTERIORS. PROJECT: UNFINISHED. NOT WRITTEN FOR CONSTRUCTION.</p>	<p>drawing no. A204</p> <p>revision no. -</p>

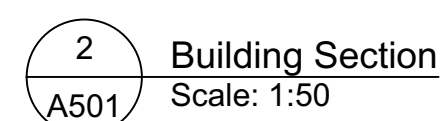
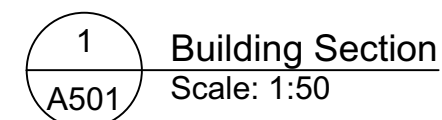


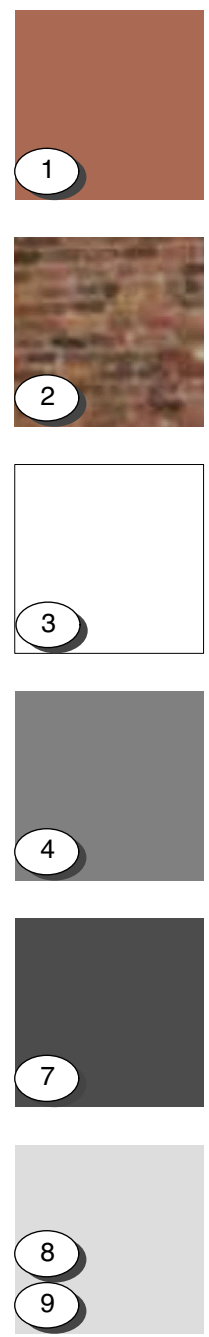
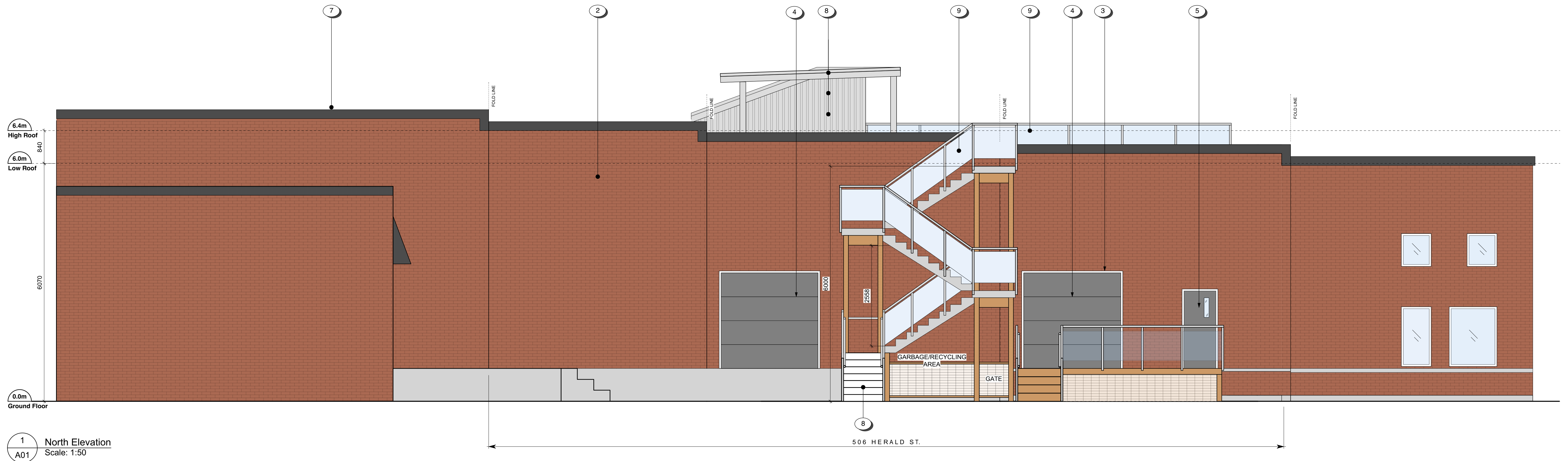
- 1 Paint brick Benjamin Moore Audubon Russet HC-51, or equivalent colour to match existing unpainted brick.
- 2 Retain existing brick (typ.)
- 3 Retain existing white door & window trim (typ.)
- 4 Add new overhead door to fit existing opening (See A401).
- 5 Add new exterior door to fit existing opening (See A401).
- 6 Remove existing awning. Add new sign in white channel letters on backing painted to match building exterior.
- 7 Retain existing dark grey trim (typ.).
- 8 Anodized metal.
- 9 Tempered clear glass guard with prefinished aluminum frame - Grey

[illegible]

NOTE: All dimensions are shown in millimeters.

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project name		
Herald Brew Pub 506 Herald Street Victoria, BC		
drawing title		
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A401	drawing title	drawing date -





Materials Schedule

- 1 Paint brick Benjamin Moore Audubon Russet HC-51, or equivalent colour to match existing unpainted brick.
- 2 Retain existing brick (typ.)
- 3 Retain existing white door & window trim (typ.)
- 4 Add new overhead door to fit existing opening (see A401).
- 5 Add new exterior door to fit existing opening (see A401).
- 6 Remove existing awning. Add new sign in white channel letters on backing painted to match building exterior.
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0 1250 2500mm
1 : 50