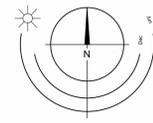


STORE STREET

HERALD STREET

PLAN



Rev	Date	Description	Issued for Development Permit
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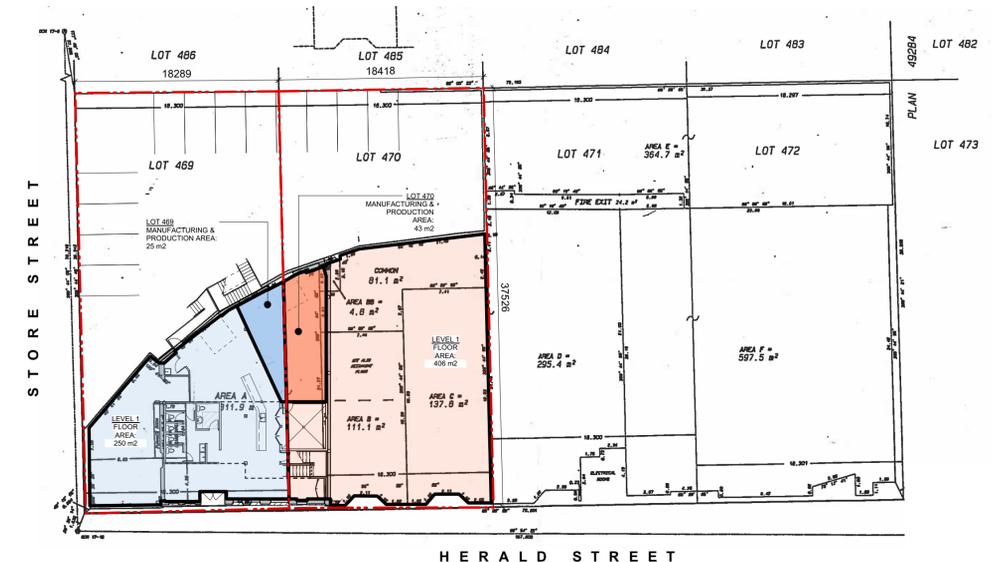
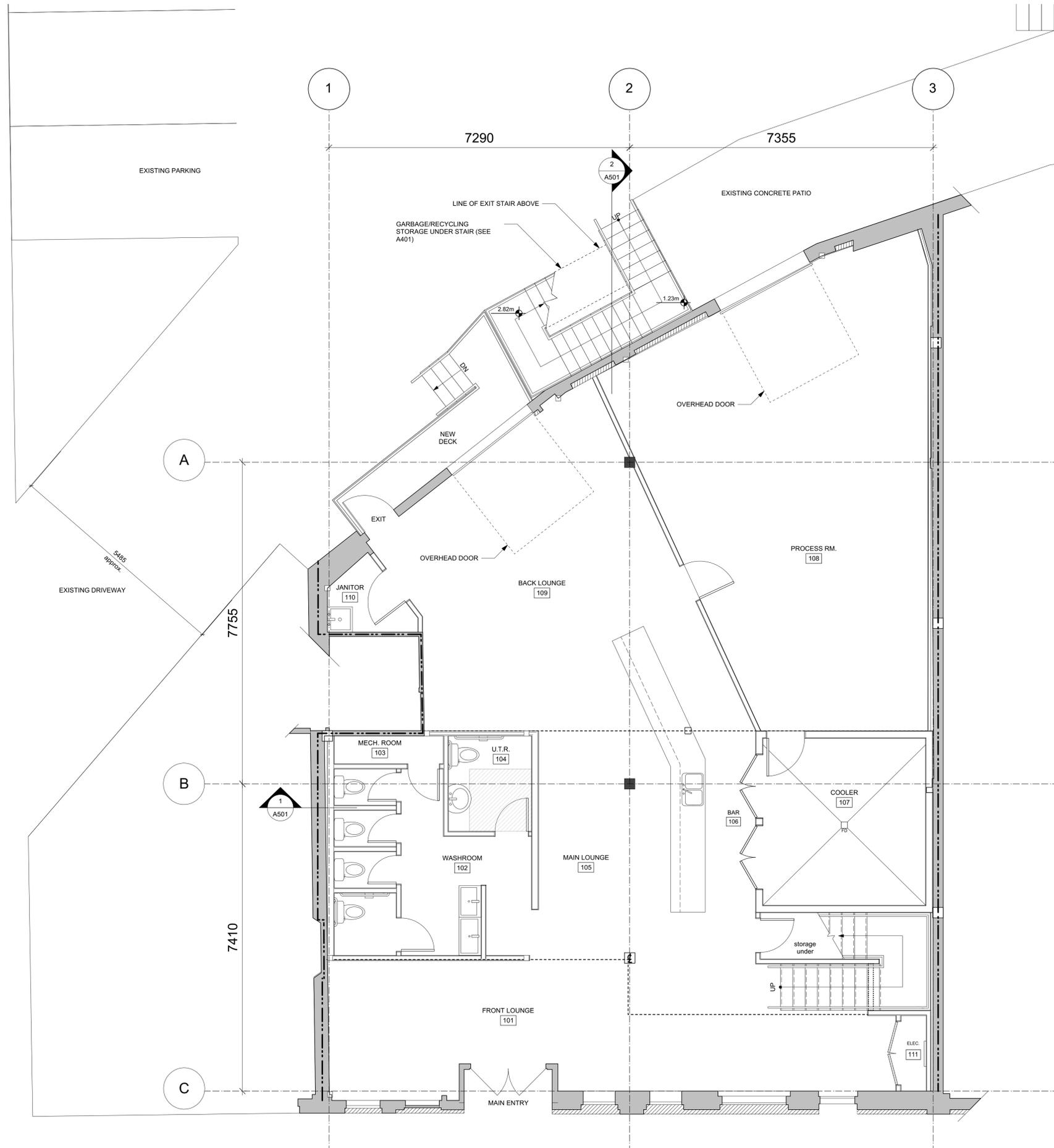
Project Name  
**Herald Brew Pub**  
506 Herald Street  
Victoria, BC

Site Plan

Drawn by	Checked by	Scale	Sheet No.
		1:100	1748

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A101

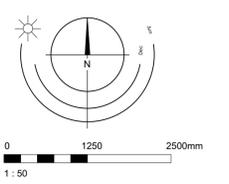


**FLOOR AREA OF MANUFACTURING & PRODUCTION:**

	LOT 469	LOT 470
Level 1 - Gross Floor Area (m <sup>2</sup> )	250	406
Manufacturing & Production Area (m <sup>2</sup> )	25	43
% Manufacturing & Production on Level 1	10%	11%

- General Notes**
- Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
  - Shaded walls are existing.
  - All gridlines are to centreline of existing columns, centre of studs, and face of existing interior brickwork unless noted otherwise. Plans to be read in conjunction with details to confirm.

2 Survey Plan/Floor Area  
Scale: 1:300



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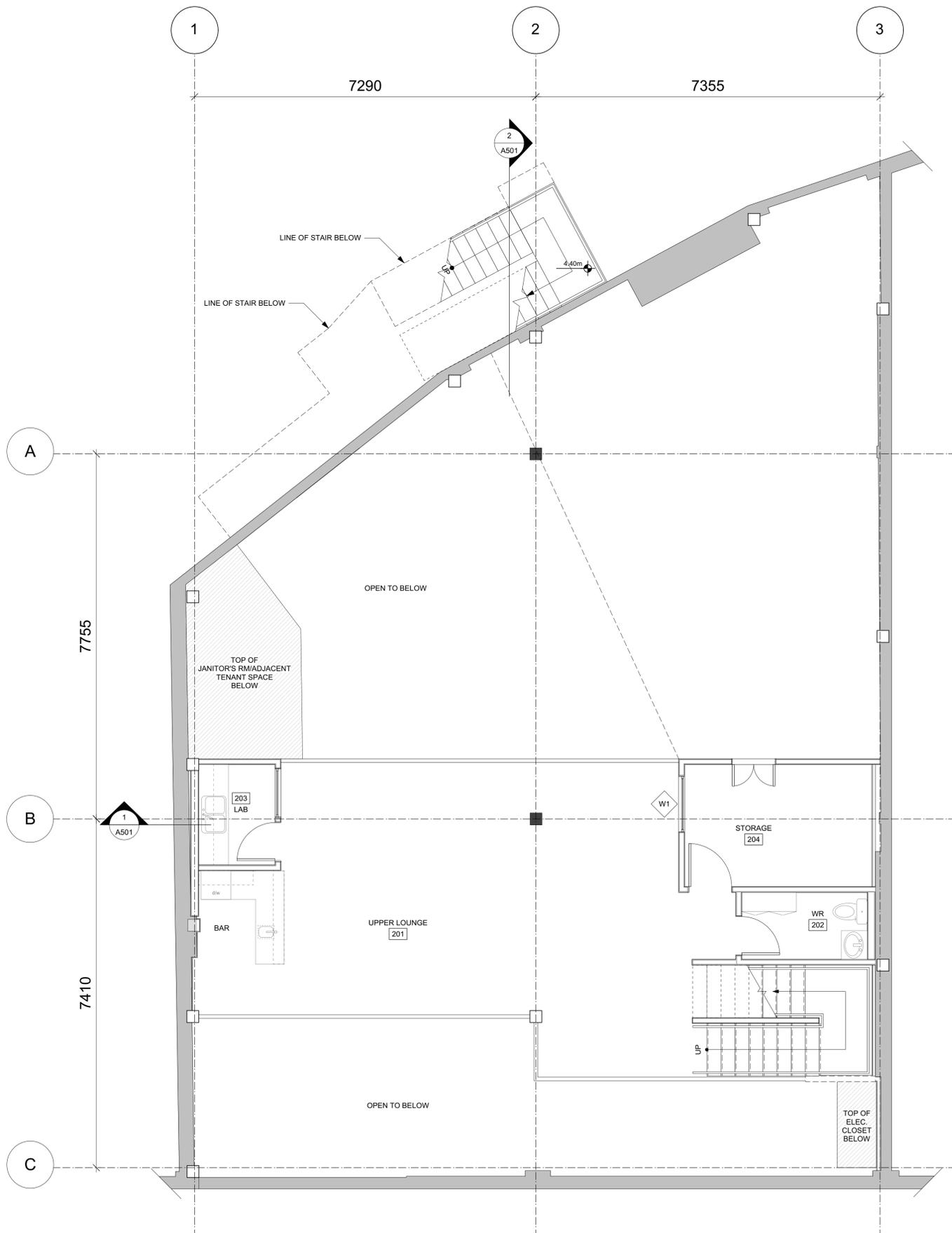
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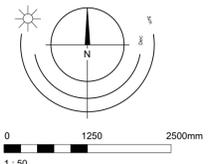
project name  
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Level 1 Floor Plan  
A201

1 Level 1 Floor Plan  
Scale: 1:50



- General Notes**
- Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
  - Shaded walls are existing.
  - All gridlines are to centreline of existing columns, centre of studs, and face of existing interior brickwork unless noted otherwise. Plans to be read in conjunction with details to confirm.



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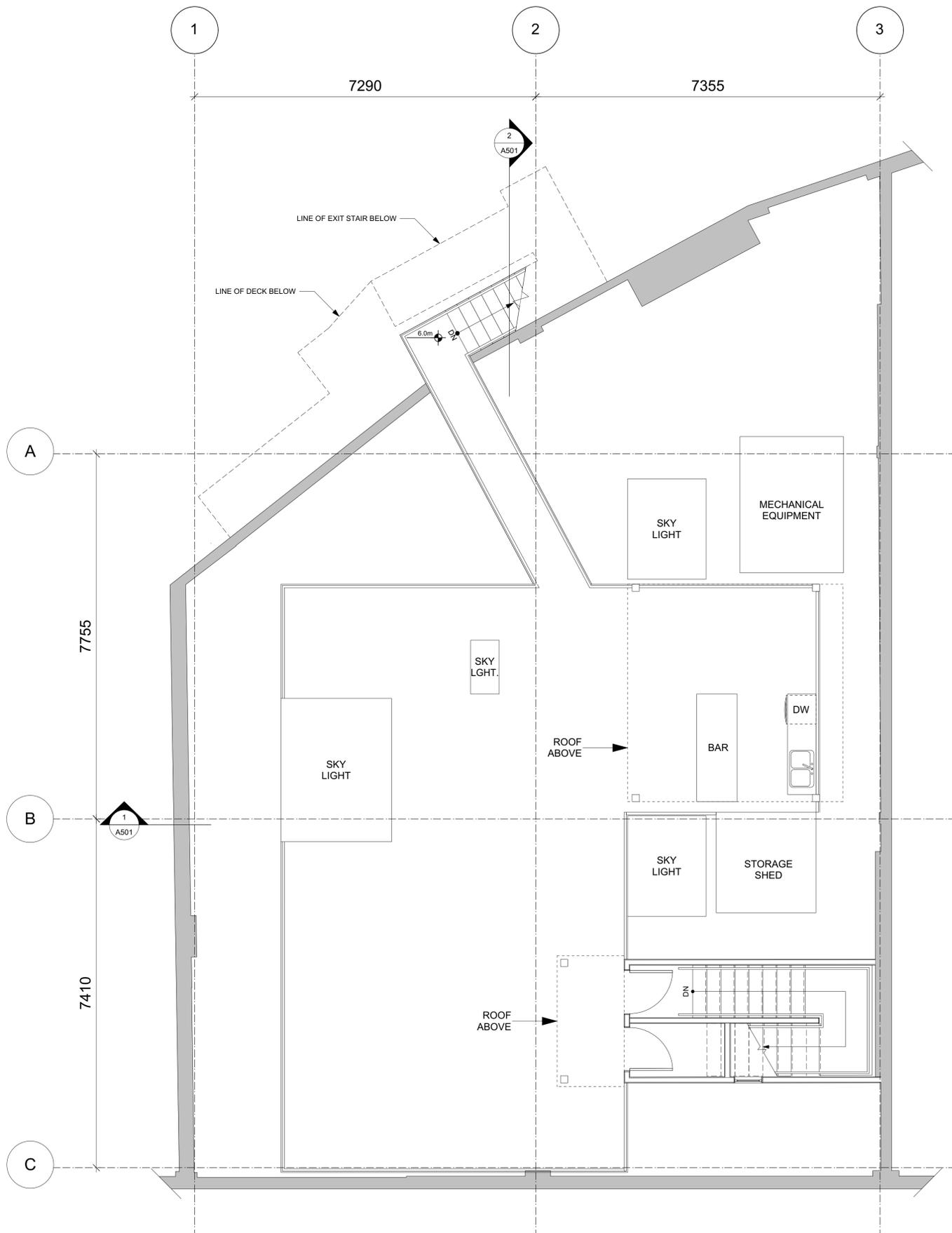
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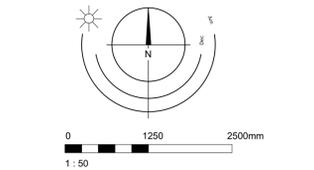
**Mezzanine Floor Plan**

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sheet no. **A202**



- General Notes**
1. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
  2. Shaded walls are existing.
  3. All gridlines are to centreline of existing columns, centre of studs, and face of existing interior brickwork unless noted otherwise. Plans to be read in conjunction with details to confirm.



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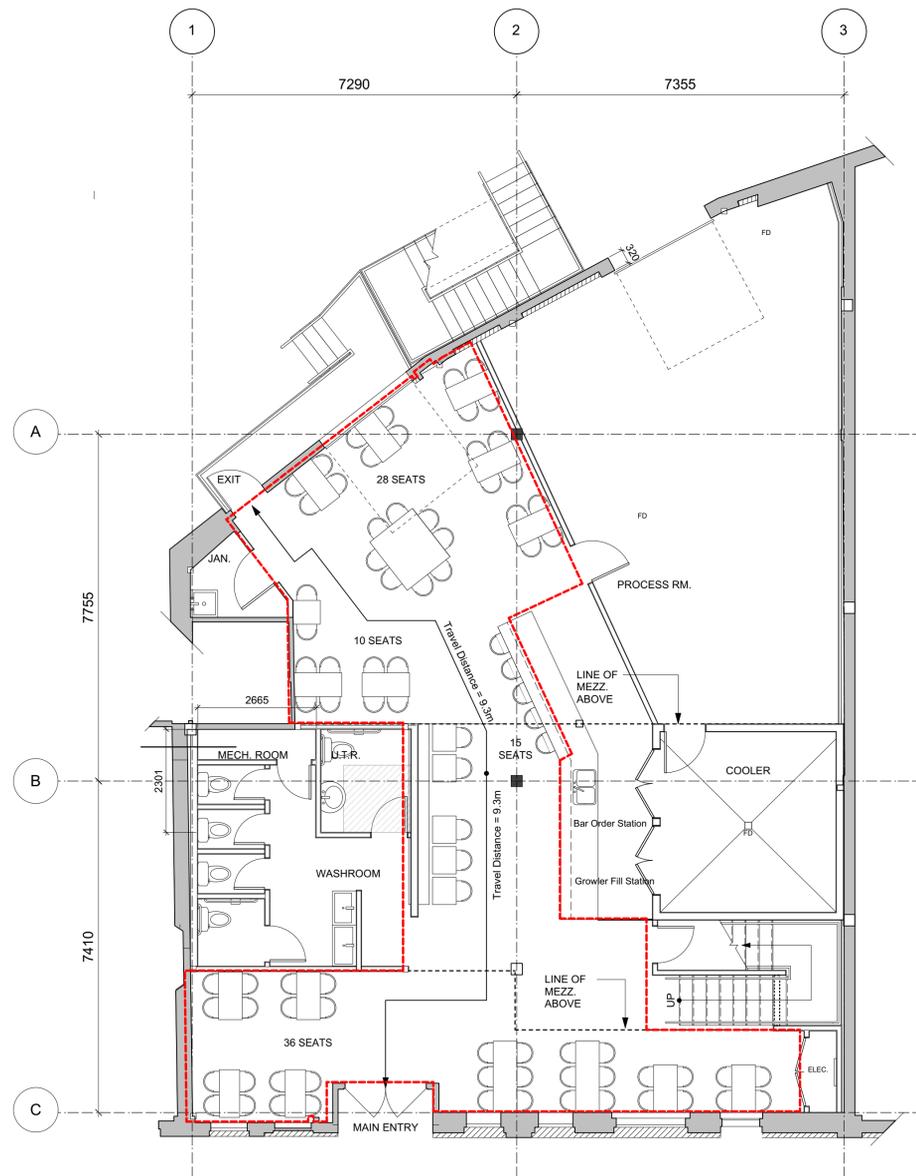
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**Roof Top Floor Plan**

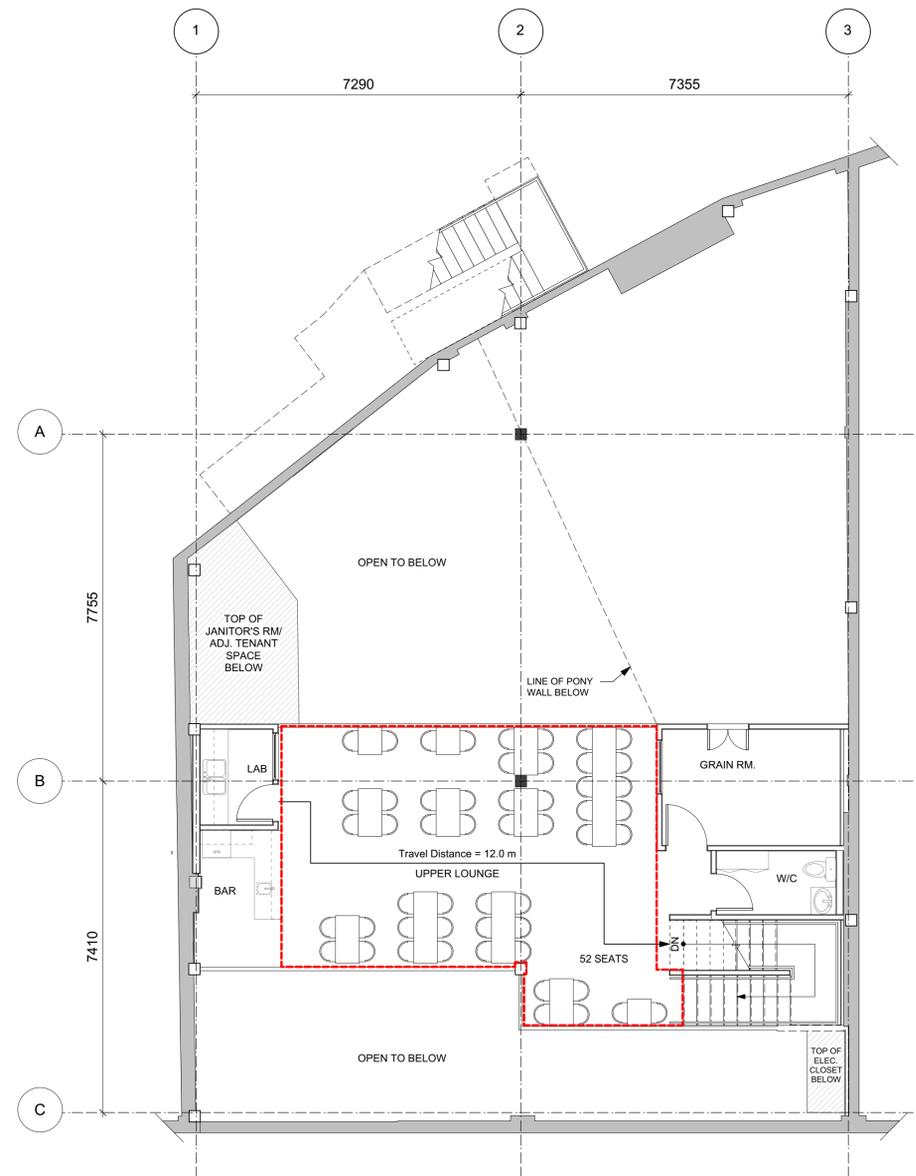
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sheet no. **A203**

- Sheet Notes**
1. Dashed red line indicates liquor service area.
  2. Total Occupant Load based on BCBC 2012 (3.1.17).



**1**  
A204 Ground Floor Seating Plan  
Scale: 1:75

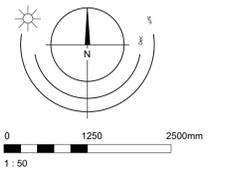


**2**  
A204 Mezzanine Seating Plan  
Scale: 1:75

Ground Floor: 89 people  
 Mezzanine: 52 people  
**Total Seating: 141 people**

Total Staff/Off Premise Customers: 37 people

**Total Occupant Load: 178 people**



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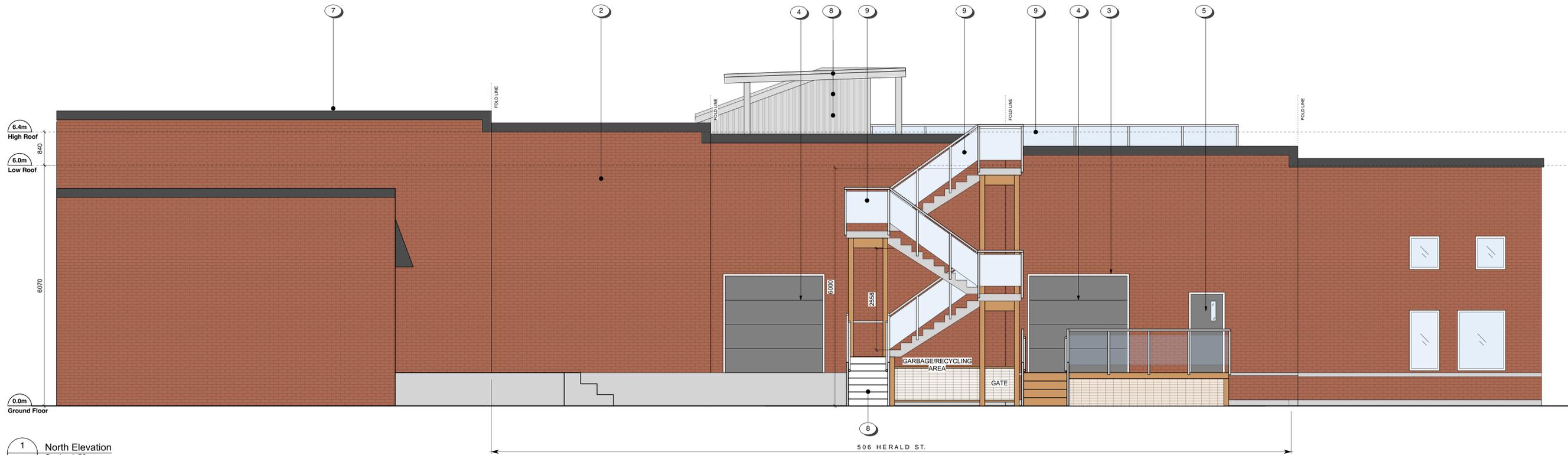
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project name  
**Herald Brew Pub**  
 506 Herald Street  
 Victoria, BC

Seating Plan  
 sheet no. **A204**



1 North Elevation  
Scale: 1:50



2 South Elevation  
Scale: 1:50

**Materials Schedule**

- 1 Paint brick Benjamin Moore Audubon Russet HC-51, or equivalent colour to match existing unpainted brick.
- 2 Retain existing brick (typ.)
- 3 Retain existing white door & window trim (typ.)
- 4 Add new overhead door to fit existing opening (see A401).
- 5 Add new exterior door to fit existing opening (see A401).
- 6 Remove existing awning. Add new sign in white channel letters on backing painted to match building exterior.
- 7 Retain existing dark grey trim (typ.).
- 8 Anodized metal.
- 9 Tempered clear glass guard with prefinished aluminum frame - Grey



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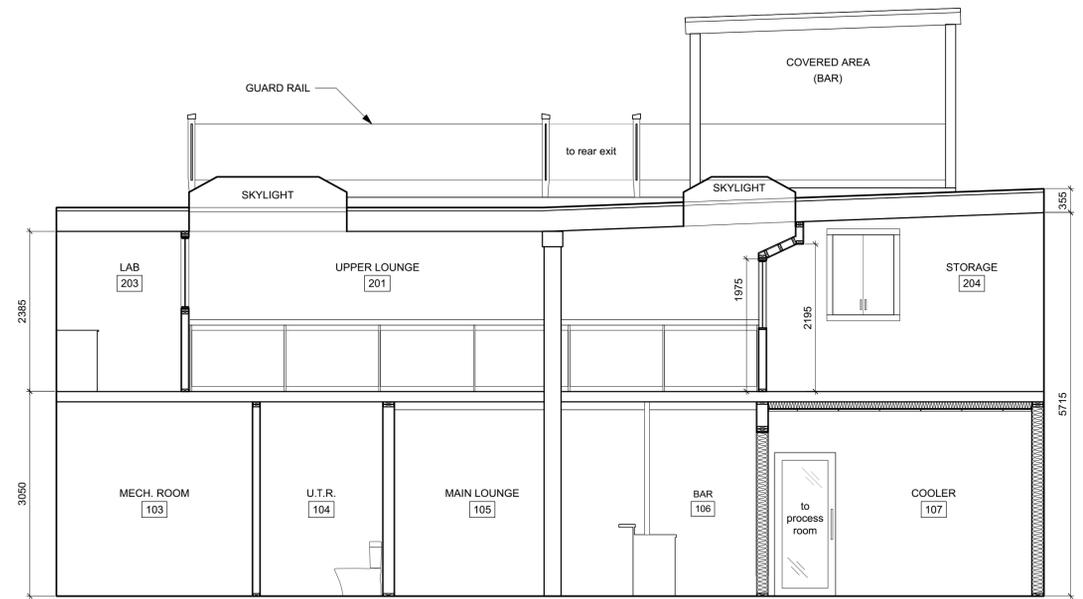
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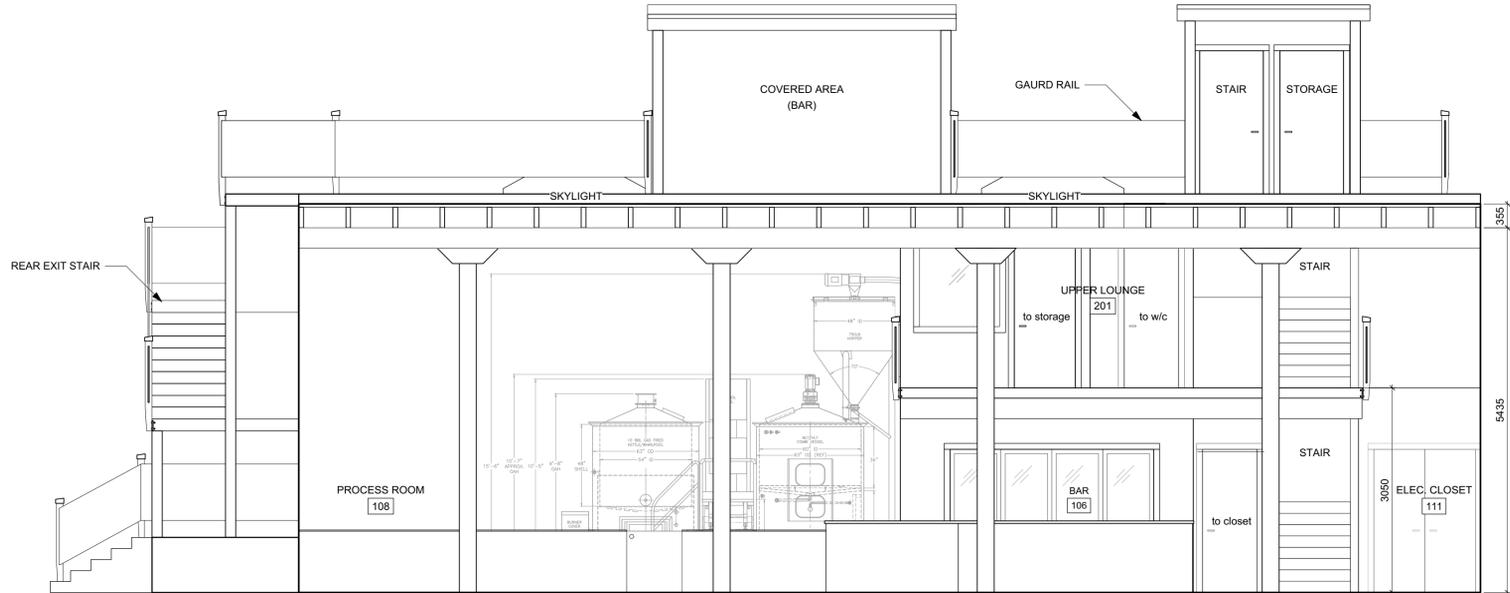
**Herald Brew Pub**  
506 Herald Street  
Victoria, BC

**Elevations**

Project Name: Herald Brew Pub  
Drawing No: A401



1 Building Section  
Scale: 1:50



2 Building Section  
Scale: 1:50



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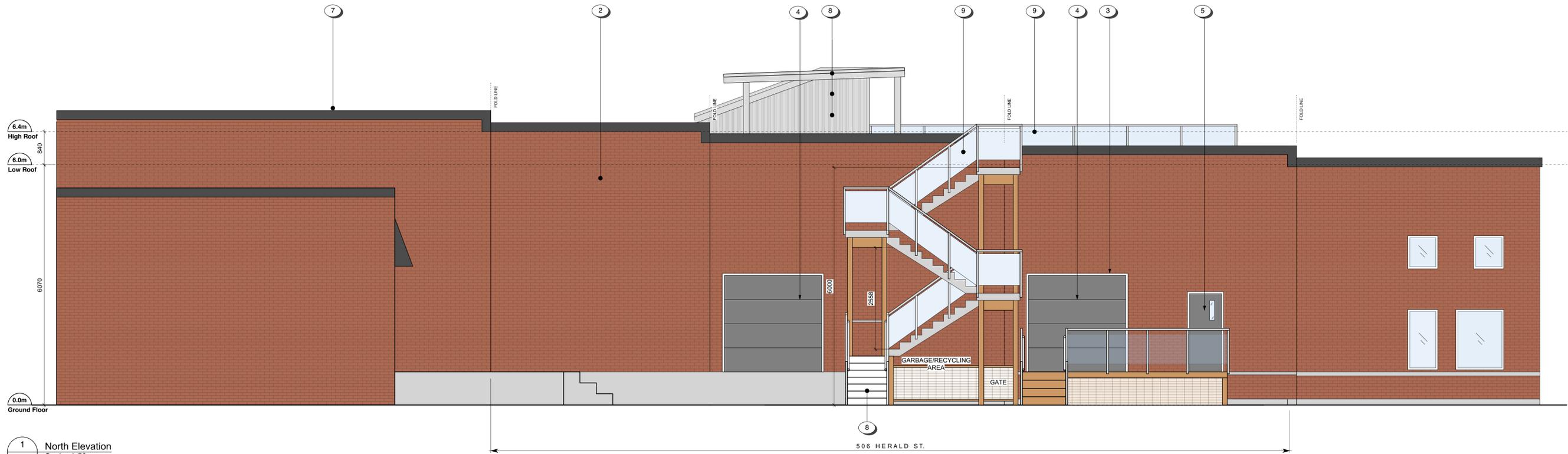
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project name  
**Herald Brew Pub**  
506 Herald Street  
Victoria, BC

Sections  
A501



1 North Elevation  
Scale: 1:50



2 South Elevation  
Scale: 1:50

**Materials Schedule**

- 1 Paint brick Benjamin Moore Audubon Russet HC-51, or equivalent colour to match existing unpainted brick.
- 2 Retain existing brick (typ.)
- 3 Retain existing white door & window trim (typ.)
- 4 Add new overhead door to fit existing opening (see A401).
- 5 Add new exterior door to fit existing opening (see A401).
- 6 Remove existing awning. Add new sign in white channel letters on backing painted to match building exterior.
- 7 Retain existing dark grey trim (typ.).
- 8 Anodized metal.
- 9 Tempered clear glass guard with prefinished aluminum frame - Grey

