

Sketch Plan of Proposed Subdivision of Lot 1, Fairfield Farm Estate, Victoria City, Plan 4073

Civic:1320 Purcell Place

Parcel Identifier: 006-153-151
in the City of Victoria

Scale - 1:150 Distances are in metres.

All distances are shown in metres.
The intended print size is 11" by 17".

LEGEND
Elevations are geodetic and referenced to the CVD28BC datum.
+ 8.8' - denotes - existing elevation
⊗ MHD - denotes - Manhole- Drain
⊗ MHS - denotes - Manhole- Sewer
○ WM - denotes - Water Meter
Tree diameters are in centimetres.

July 29, 2022

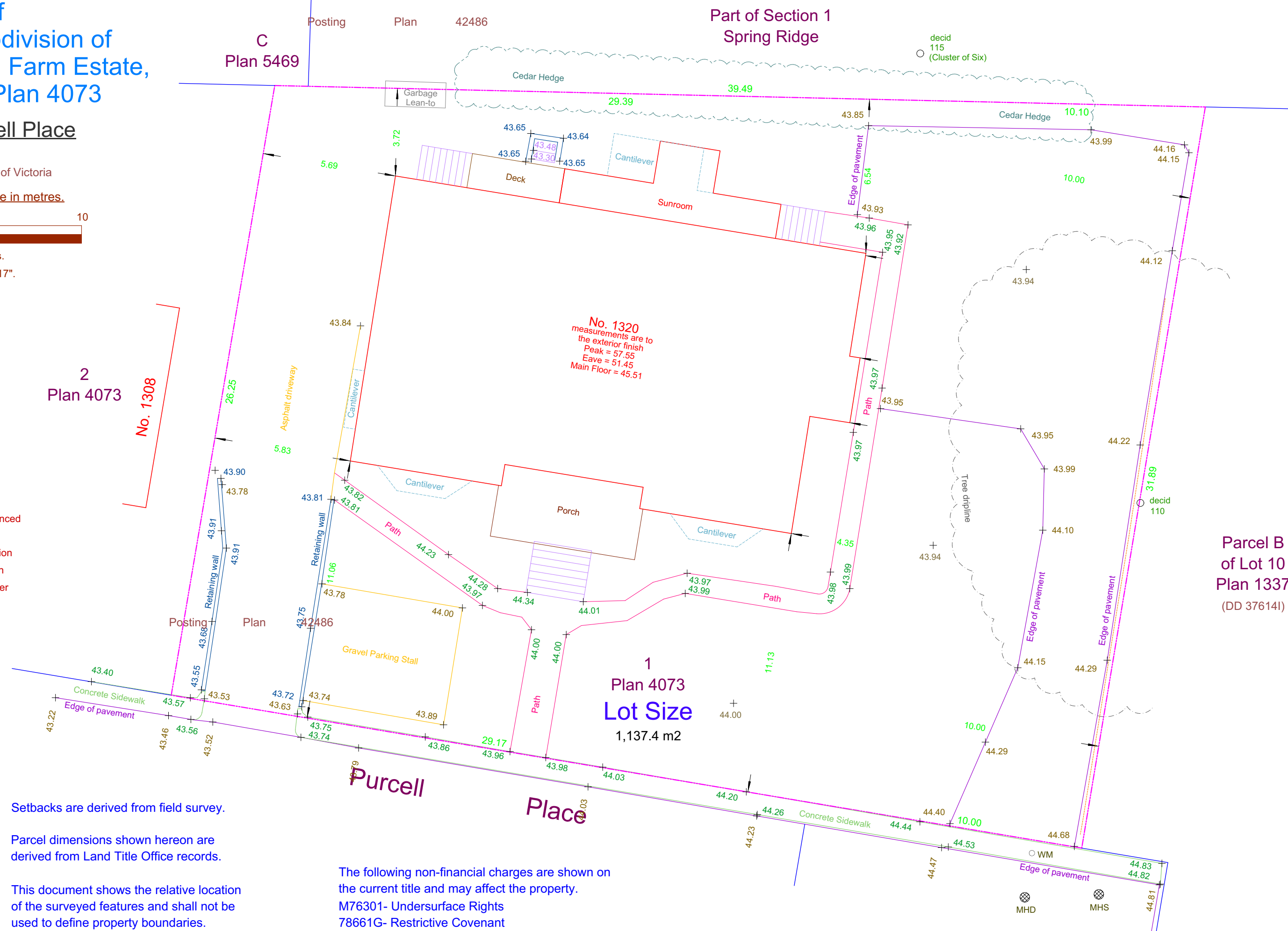
File : 13.811 - 9
POWELL & ASSOCIATES
B C Land Surveyors
250-2650 Douglas Street
Victoria, BC V8T 4M4
phone (250) 382-8855

Setbacks are derived from field survey.

Parcel dimensions shown hereon are
derived from Land Title Office records.

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.

The following non-financial charges are shown on
the current title and may affect the property.
M76301- Undersurface Rights
78661G- Restrictive Covenant



ZONING SUMMARY

BUILDING DESCRIPTION:

The lot is zoned R1-A Rockland Single Family Dwelling District, with an existing 3 storey, 8 unit heritage registered house.

A new 3 storey multi-family rental building consisting of 2 one bedroom, and 2 three bedroom units is proposed to the east of the existing home.

The proposed follows the requirements of Victoria's Heritage Conservation Infill (Schedule P, 5.0), within the Missing Middle Housing Initiative.

USE: Residential, rental

SITE AREA: 1,137 m²

SITE COVERAGE

EXISTING HOME:

PERMITTED: 50%

PROPOSED: 41%

OPEN SITE SPACE:

PERMITTED: 30% min.

PROPOSED: 42%

HEIGHT OF BUILDING

PERMITTED: The greater of 7.6m or 80% of the height of the heritage registered building (8.5 m)

**HEIGHT OF HERITAGE
REGISTERED BUILDING:** 10.6 m

**HEIGHT OF PROPOSED:
NEW BUILDING** 8.5 m

NUMBER OF STOREYS: 3

FLOOR SPACE RATIO

PERMITTED: 1.10 : 1.0 Amenities provided as per 2.3a.

PROPOSED: 0.32 : 1.0

SETBACKS:

| | allowable: | proposed: |
|----------------------|------------|-----------|
| Front, Purcell Place | 4.0 m | 8.6 m |
| Porch, Ramp or Stair | 2.0 m | 2.0 m |
| Side - East* | 3.9 m | 2.0 m |
| Side - West* | 3.9 m | 29.9 m |
| Rear | 5.0m | 3.9 m |

*The greater of 2 m or 10% of lot width (39.17 m)

LONG TERM VEHICLE PARKING

REQUIRED: Maximum 9 spaces required, less any applicable agreed upon amenities as per Schedule P, 6.1, Table 1

EXISTING: 4

PROPOSED: 4, including 1 accessible parking stall.

TOTAL PROPOSED

PARKING: 8

LONG TERM BIKE PARKING

REQUIRED: Two spaces per dwelling unit, 24 total

TOTAL PROPOSED: 24 + bike maintenance are in existing bike room of heritage house (located in basement), including 2 electric bike charging stations.

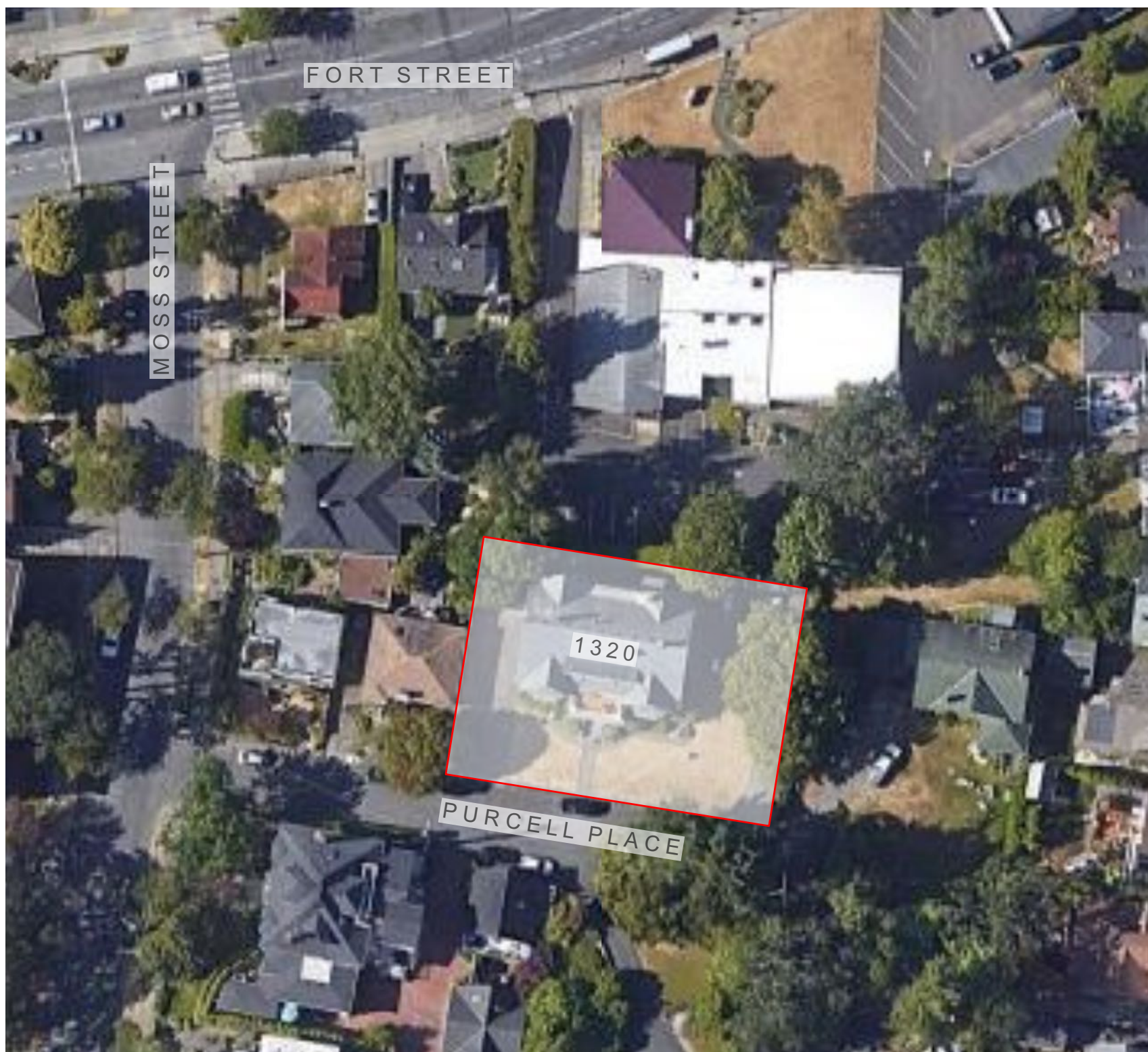
SHORT TERM BIKE PARKING

REQUIRED: 0

TOTAL PROPOSED: 8

1
A001

Survey
n.t.s.



2
A001

Project Location
n.t.s.



3
A001

Purcell - Streetscape
n.t.s.

PROJECT LOCATION

CIVIC ADDRESS:
1320 Purcell Place, Victoria, BC

LEGAL DESCRIPTION:
Lot 1, Fairfield Farm Estate Victoria City,
Plan 4073

PROJECT DIRECTORY

ARCHITECT

de Hoog & Kierulf architects
977 Fort Street
Victoria, BC V8V 3K3

Charles Kierulf Architect AIBC
tel: 250.658.3367
email: crk@dhk.ca



| Rev | Date | Description |
|-----------|-------------|----------------|
| plot date | 26 OCT 2023 | drawing file |
| drawn by | n/c | checked by |
| scale | As Noted | project number |

NOTE: All dimensions are shown in millimeters.

1320 Purcell Place

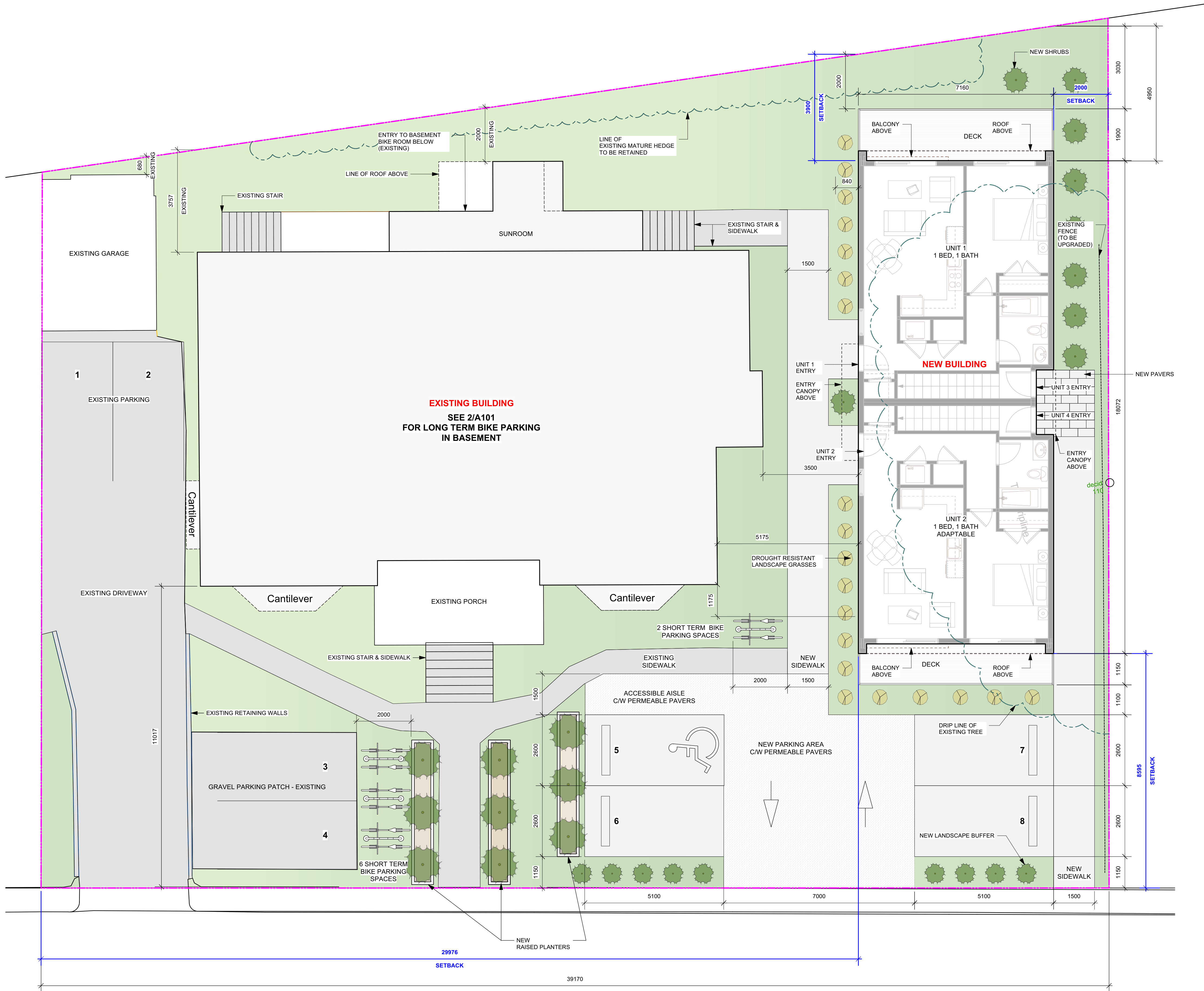
Victoria, BC

Survey & Project Data

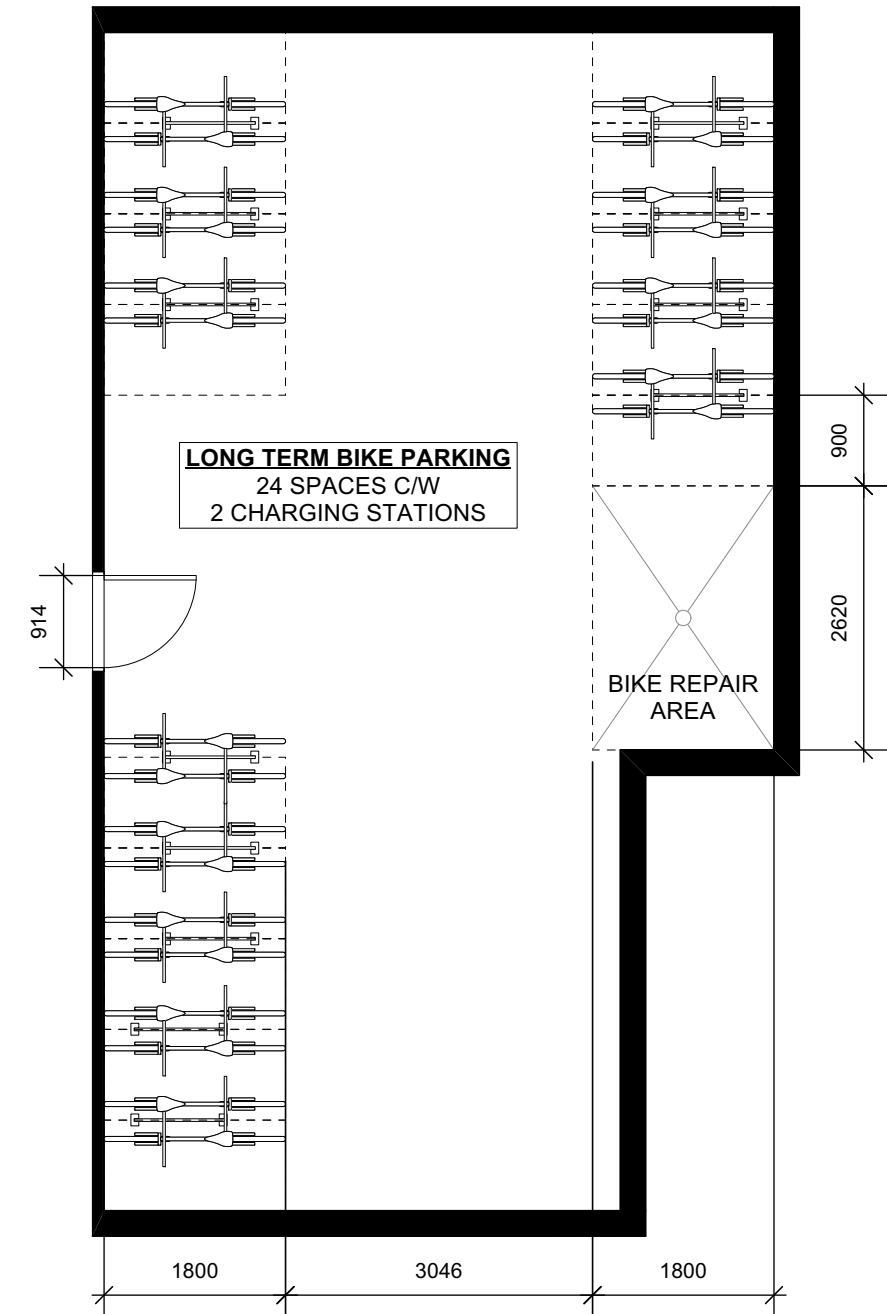
ISSUED FOR DEVELOPMENT PERMIT
MISSING MIDDLE

dhKa A001

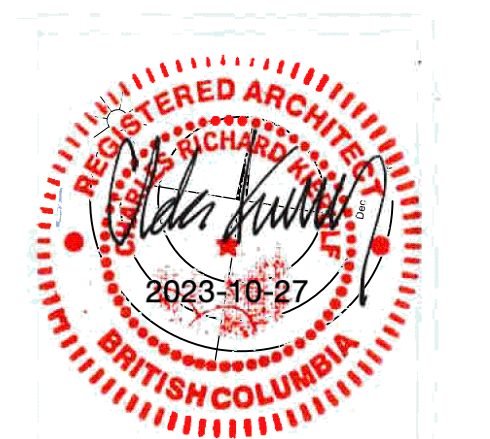
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1 Architectural Site Plan
1:75



2 Long Term Bike Parking Plan
1:75
Basement of Existing Building



| Rev | Date | Description |
|-----------|-------------|---------------------|
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| drawn by | nlc | checked by crk |
| scale | As Noted | project number 2338 |

NOTE: All dimensions are shown in millimeters.

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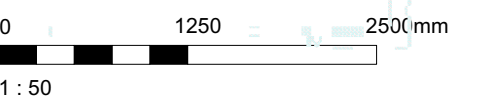
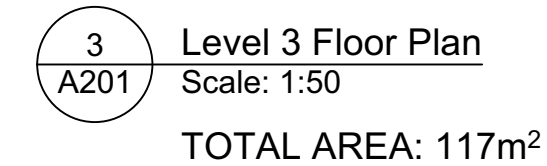
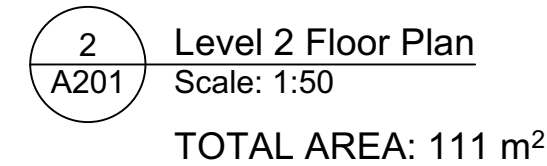
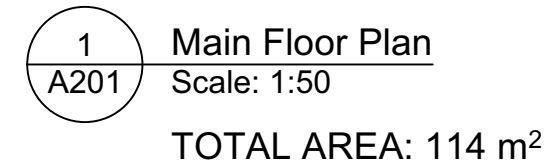
Site Plan

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A101

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| drawn by | nlc | checked by | crk |
| scale | 1:50 | project number | 2338 |

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Floor Plans

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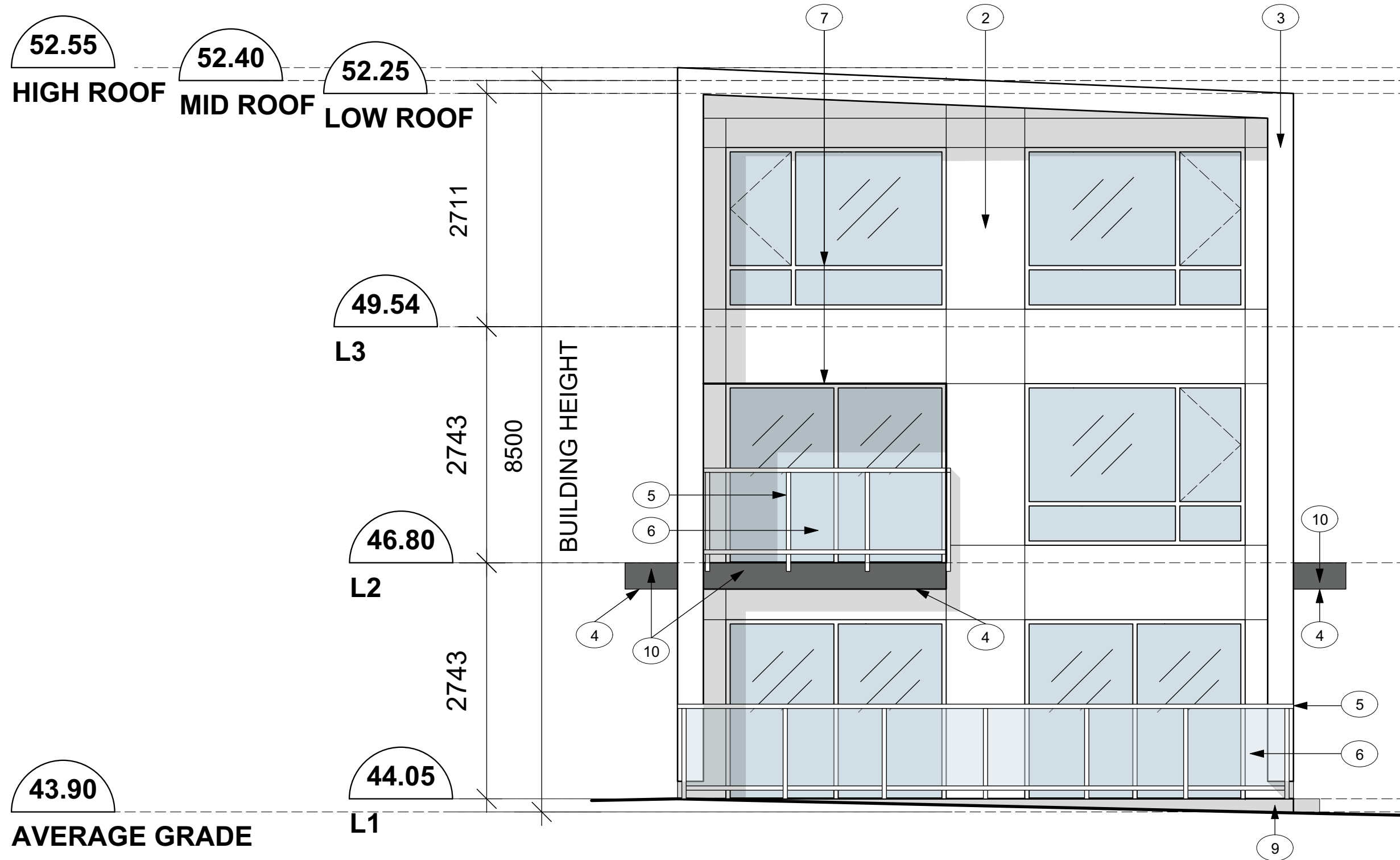
A201

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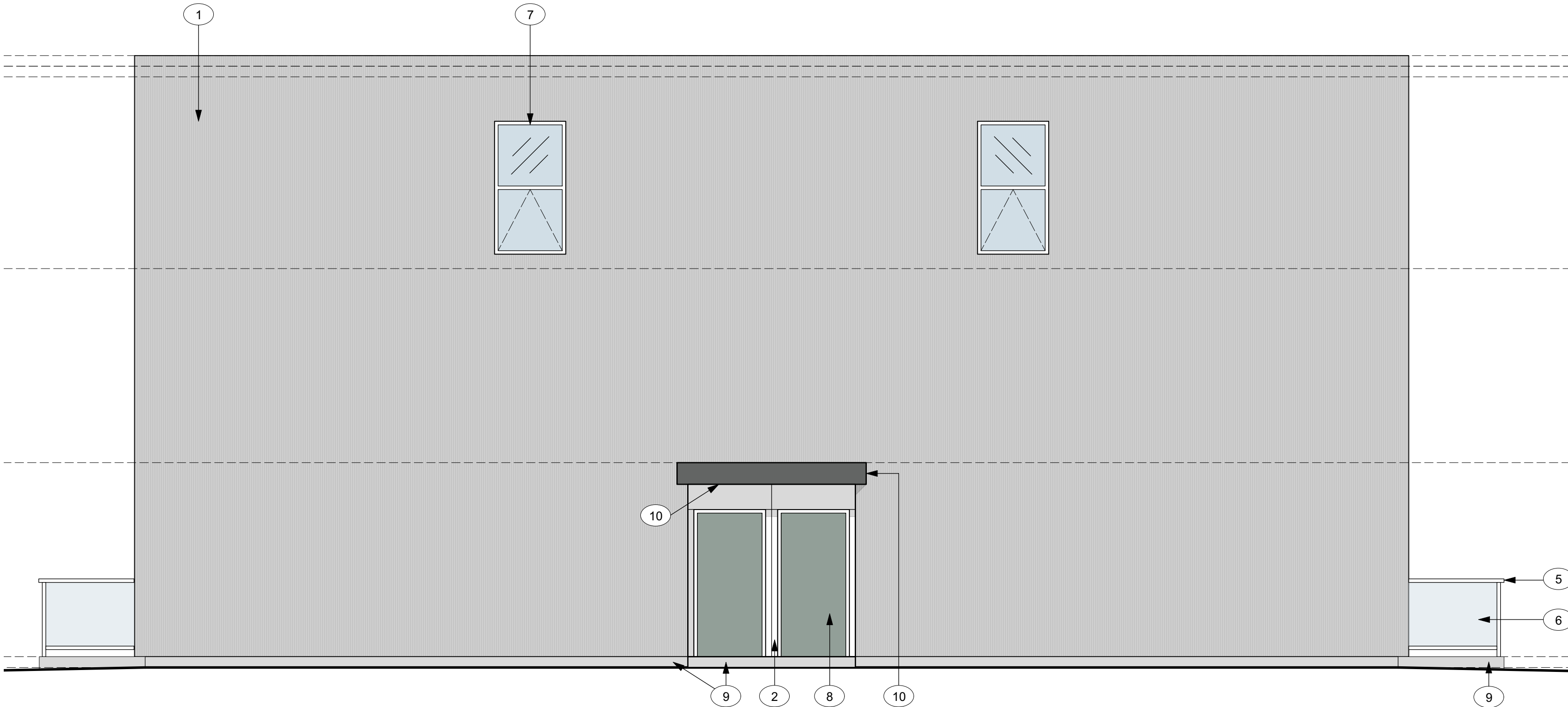
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MATERIALS LEGEND

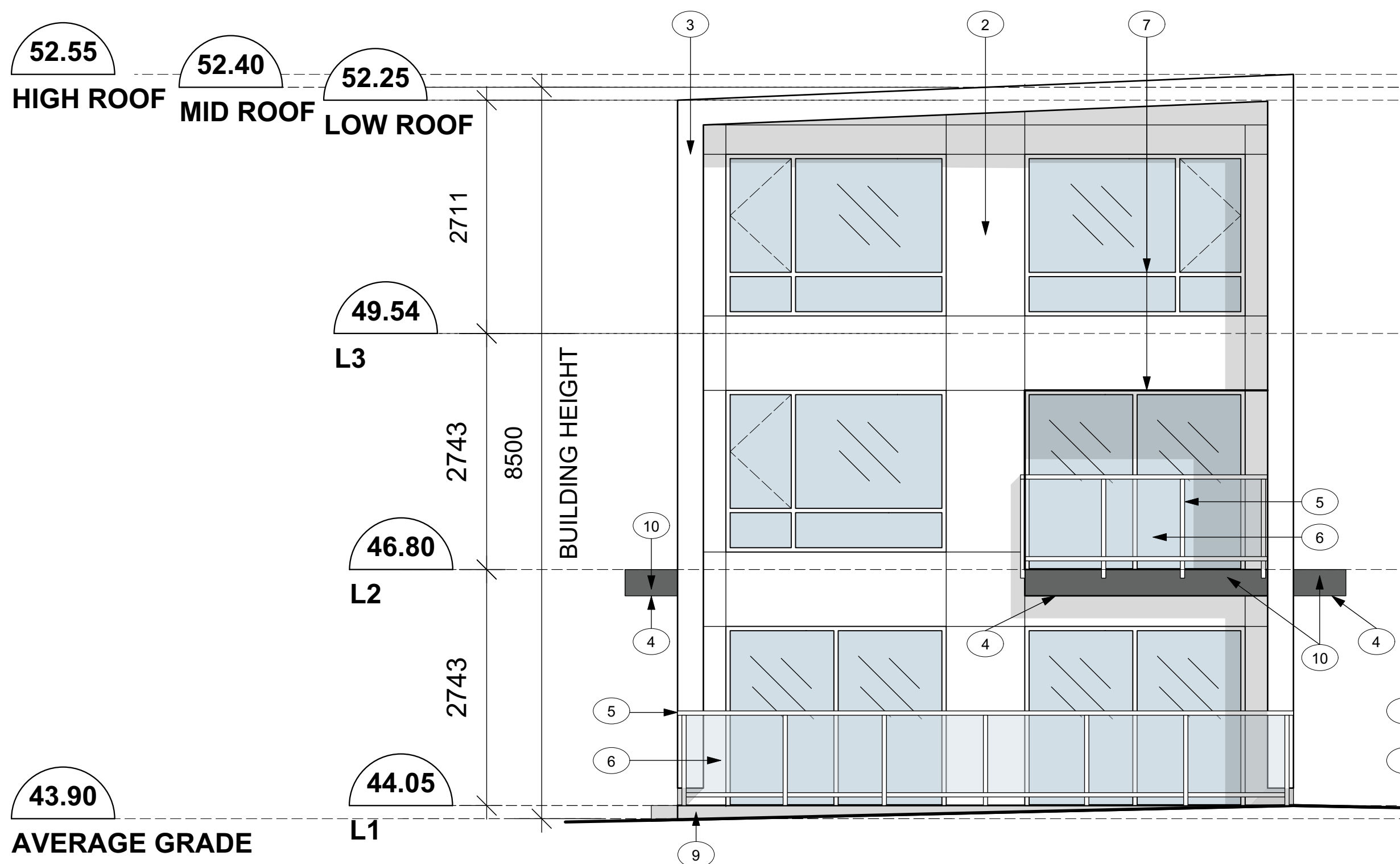
- 1 CORRUGATED METAL SIDING - GALVALUME FINISH
- 2 HARDIE PANEL SIDING - ARCTIC WHITE
- 3 PAINTED WOOD FASCIA - ARCTIC WHITE
- 4 TONGUE & GROOVE SOFFITS - ARCTIC WHITE
- 5 POWDER COATED RAILING - WHITE
- 6 GLASS - FROSTED
- 7 VINYL WINDOWS & SLIDING DOORS - WHITE
- 8 HOLLOW METAL EXTERIOR DOOR PAINT: SHERWIN-WILLIAMS - 6214 UNDERSEAS
- 9 CONCRETE
- 10 PAINTED WOOD FASCIA - SHERWIN-WILLIAMS - 7082 STUNNING SHADE



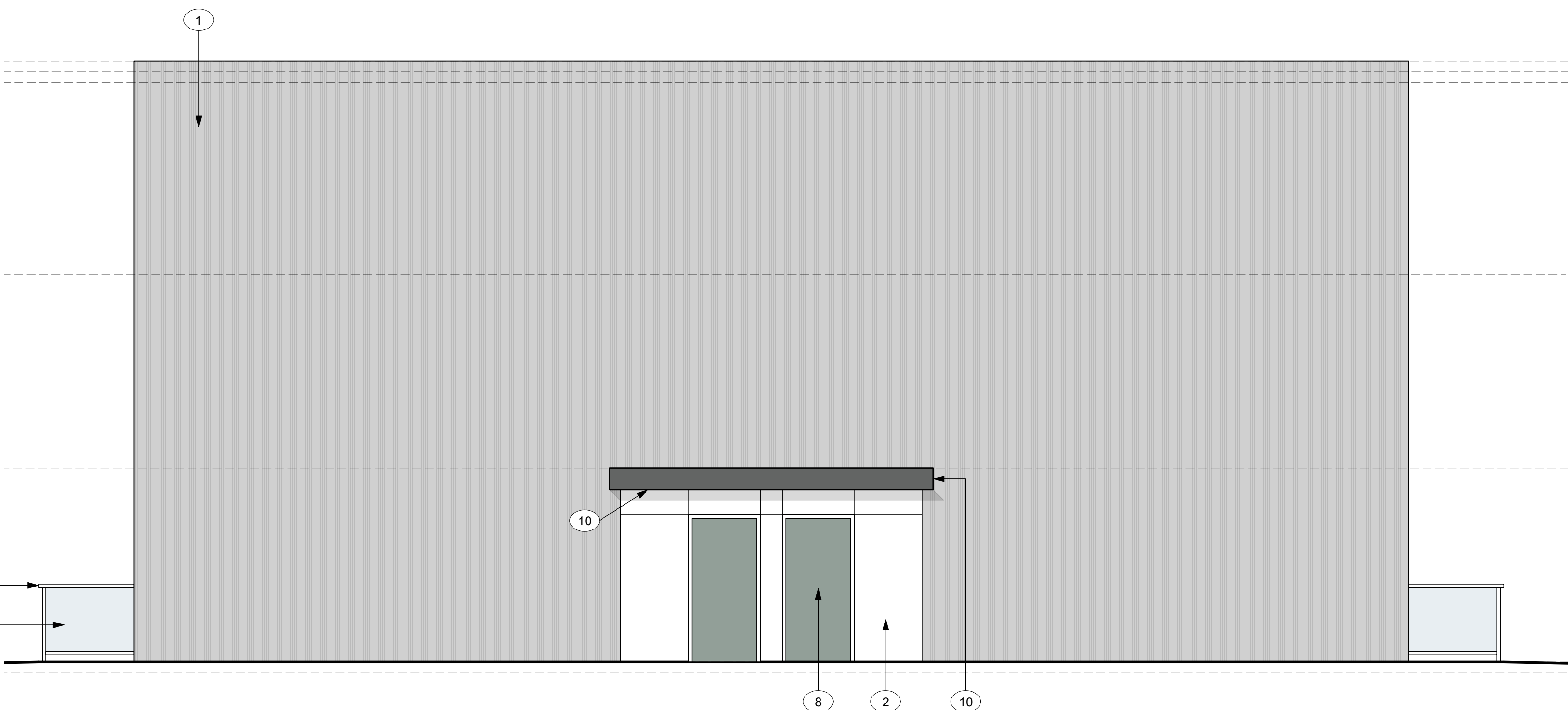
1 South Elevation
A301 Scale: 1:50



2 East Elevation
A301 Scale: 1:50



3 North Elevation
A301 Scale: 1:50



4 West Elevation
A301 Scale: 1:50



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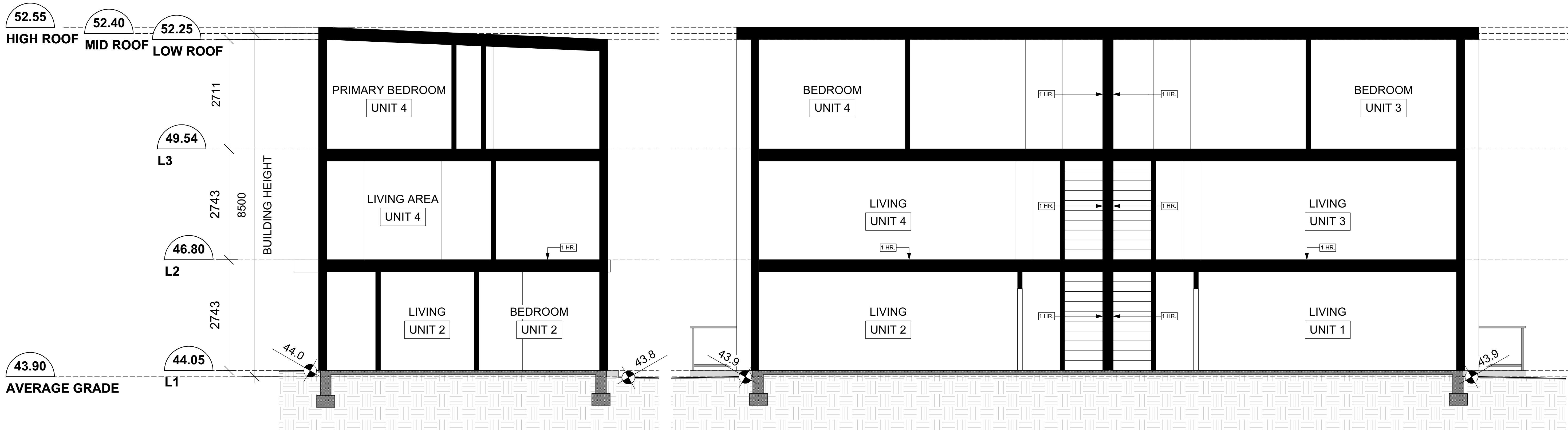
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Exterior Elevations

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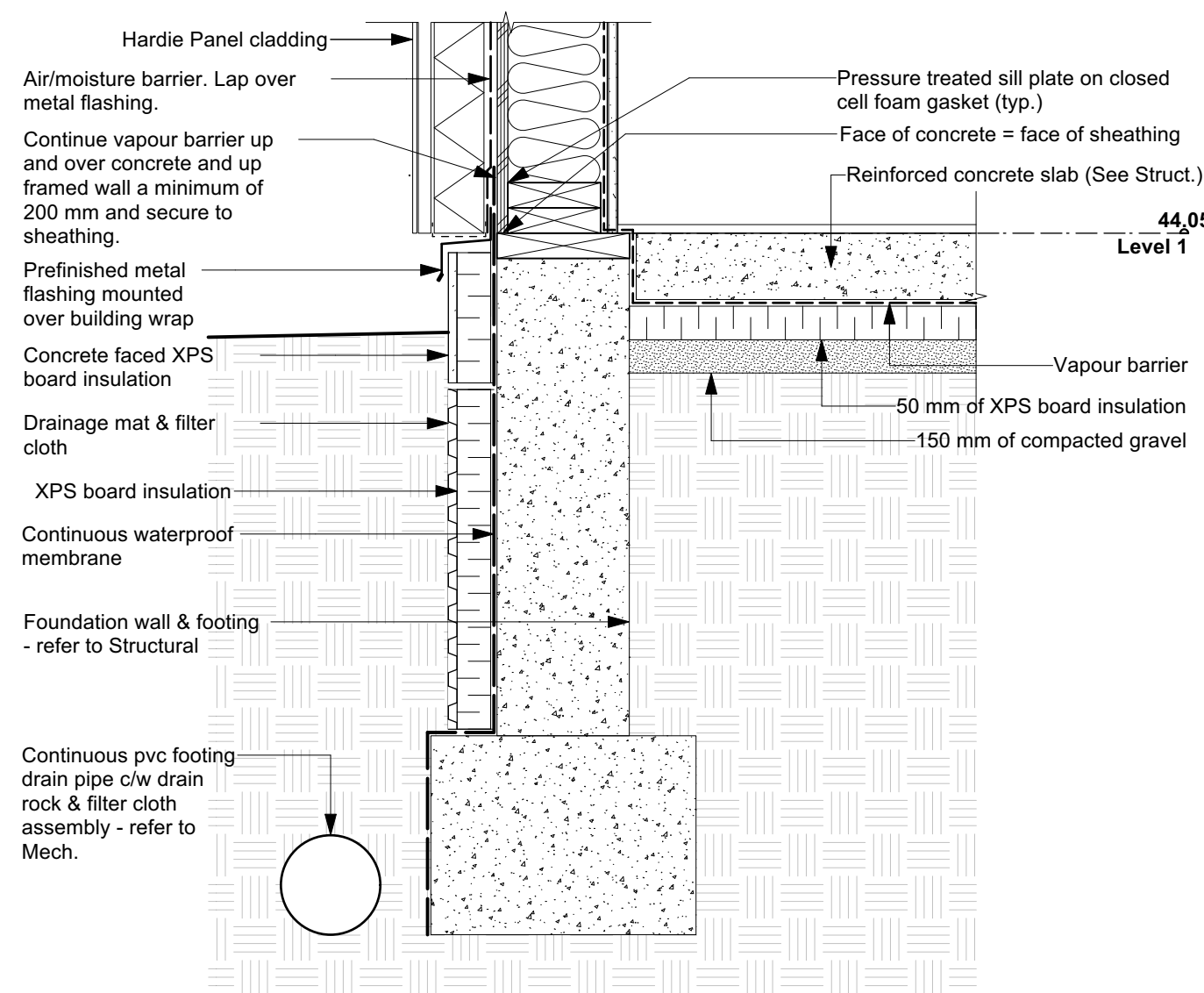
dHka A301

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1
A401
South Elevation
Scale: 1:50

2
A401
East Elevation
Scale: 1:50



3
A401
Typical Foundation Detail
Scale: 1:10



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Sections

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