

11 CHOWN PLACE  
DEVELOPMENT PERMIT WITH VARIANCES APPLICATION

LOT A, PLAN 11749 VICTORIA SECTION 10/11



Drawing List

Architecture Drawings

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- A-0.02 Grading Plan
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- A-1.02 Site and Context Plan
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Landscape Drawings

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- L-3 Landscape Details

Civil Drawings

- C01 Conceptual Servicing Plan
- C02 Conceptual Site Plan

Variations Requested

Height  
11m in zoning / 12.6m proposed.  
1.6m Height Variance

Building Separation  
12.2m in zoning / 8.6m proposed  
3.6m Separation Variance

Parking Setback  
6m in zoning / 2.4-3.8m proposed

Note: Setbacks of Existing Buildings are non conforming No Variations Requested

Proposed New Building Summary

Height- 12.6m 4 Storeys  
FSR Area - 3,683 sqm  
Number of Units - 58  
Building Separation - 8.6m  
Setbacks

- North Side 46,002
  - West Rear 80,715
  - South Side 51,107
  - East Front 69,068
- Parking - (recalculated into site total)  
Bike Parking
- Visitor 6 Stalls
  - Resident 68 Stalls

ZONING DATA									
2019-11-04									
Project Name:	Chown Place								
Address:	11 Chown Place Victoria B.C.								
Building Type	Wood Frame								
Parking Type	Surface								
Zone	R3-G ZONE, GARDEN APARTMENT DISTRICT & PART 3.1.1 – R3-G-SC ZONE – GARDEN APARTMENT (SENIOR CITIZEN) DISTRICT								
Client:	Gorge View Housing Society								
R3- G Catagorey		R3- G Zoning Req'ts		Existing Chown Place Data			Proposed Site Total		
3	Dwelling unit size	33 m2 min area		33 - 70 m2 units			44- 98 m2 units		
4	Height	11m in height		7.5m	2.5 storeys		12.6 m	4 storeys	
5	Site Coverage	30% max		19.05%	4258.6 m2		25.0%	5,511 m2	
6	Floor Space Ratio	0.5 to 1		0.206 to 1			0.371 to 1		
7	Open Site Space	40% min		66.0%	14,856 m2		61.0%	13,746 m2	
9	Number of apartments	2 or more garden apartments		108 units	15 Buildings		58 new (166 total)	1 new Bldg (16 Total)	
10	Site Area	1,858 m2 min		22,355 m2	240,629.3 sq.ft.		22,355 m2	240,629.3 sq.ft.	
13	Building Separation	# Storeys x 3.048		6 m			12.2 m	8.6 m	
14	Setbacks	7.62 m		4.5 m			Existing non conforming 4.5m		
16	Parking Set Back	6m	2.4m with screen	3.5 m			2.4m - 3.8m	Screens as proposed	
	Built Area Above Grade	11,177.5	m2 max	4,604 m2	49,552.9 sq.ft.		8,287 m2	89,200.5 sq.ft.	
	Built Area Below Grade			none			334 m2	3,595 sq.ft.	
R3-G-SC	Parking Old Zoning	per unit	0.35 stalls per unit	108 units	37.8 stalls req'd	70 supplied	166 units (58 new)	58.1	
	Schedule C Affordable	Visitors	0.1 stalls per unit	108	10.8 stalls		166	16.6	
		Total			42.6 stalls	70 supplied		74.7	79 provided
	Schedule C Bike Parking						Needed in new	Supplied	
		Visitors	6				6	6	
		45 m2	1				25	25	
		45 m2 +	1.25				42.5	43	
		Total					68	68	

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GENERAL NOTES



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SEAL

SCALE	1 : 400	DATE	2019-11-05
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11 Chown Place

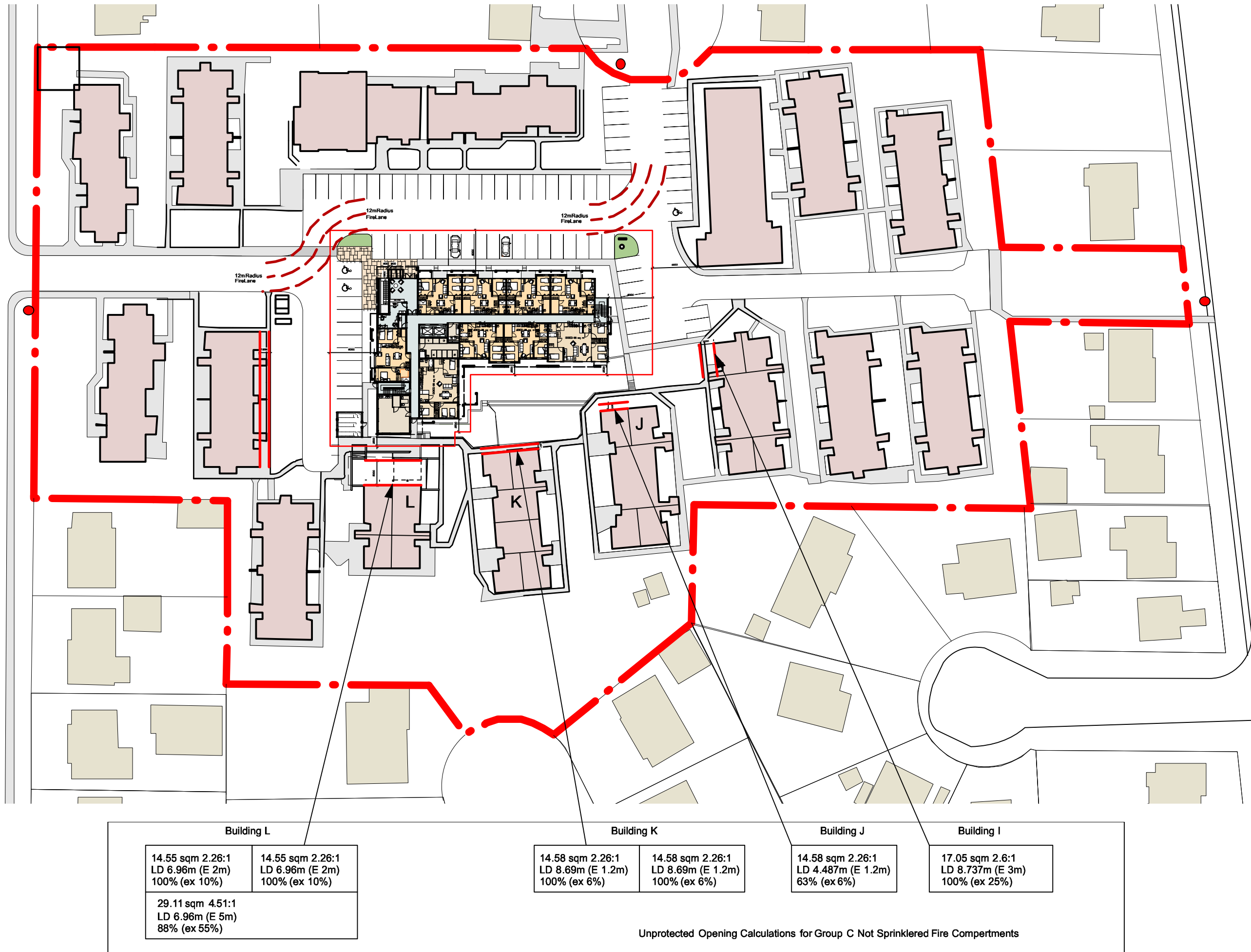
PROJECT

Cover

SHEET TITLE

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CLIENT PROJECT NO.			
DATE PROJECT NO.	2018532	A-0.00	
DATE PROJECT NO.		SHEET NO.	





Unprotected Opening Calculations for Group C Sprinklered Fire Compartments BCBC 3.2.2.51.	
3 bed long side Area 37sqm U.P.O 10.75sqm 30% LD min 2.5m	
3 bed side Area 24.88sqm U.P.O 2.88sqm 11% LD min 1.2m	
2 bed Area 27.52sqm U.P.O 7.78sqm 28% LD min 2.5m	
2 bed Area 18.57sqm U.P.O 4.63sqm 25% LD min 2m	
1 bed side Area 24.88sqm U.P.O 1.64sqm 7% LD min 1.2m	
Door In Exit hall Area 5.04sqm U.P.O 2.49sqm 49% LD min 2.5m	
Lounge side Area 21.24sqm U.P.O 5.95sqm 28% LD min 2.5m	

Building L		Building K		Building J	Building I
14.55 sqm 2.26:1 LD 6.96m (E 2m) 100% (ex 10%)	14.55 sqm 2.26:1 LD 6.96m (E 2m) 100% (ex 10%)	14.58 sqm 2.26:1 LD 6.69m (E 1.2m) 100% (ex 6%)	14.58 sqm 2.26:1 LD 6.69m (E 1.2m) 100% (ex 6%)	14.58 sqm 2.26:1 LD 4.463m (E 1.2m) 63% (ex 6%)	17.05 sqm 2.6:1 LD 3.737m (E 3m) 100% (ex 25%)
29.11 sqm 4.51:1 LD 6.96m (E 5m) 88% (ex 55%)					
Unprotected Opening Calculations for Group C Not Sprinklered Fire Compartments					

Name of Project: 11 Chown Place Location: Victoria, BC		2018-09-09	
Item	BCBC 2018	Part 3	BCBC Reference
1	Project Description: - <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation Construction of a new 4 storey residence building on a site with 15 existing building on site.		
2	Major Occupancy(s):	Group C - Residential	3.1.2.1 (1)
3	Building Area:	963.1 sq.m. (10,367 sf)	1.4.1.2 (A)
4	Bldg Floor Area: U/G Parking Area	4,006.8 sq.m. (43,129 sf) 0 sq.m. (0 sf)	1.4.1.2 (A)
5	Number of Storeys:	4	1.4.1.2(A); 3.2.1.1
6	Height of Building (m):	12.6m (Average Grade to top of Roof level)	-
7	Number of Streets/Access Routes:	2	3.2.2.10; 3.2.5.4
8	Building Size, Construction, Occupancy:	Group C, up to <4> Storey, Sprinklered	3.2.2.51
9	Sprinkler System Proposed:	<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> No	3.2.2.50 1)a)
10	Standpipe Required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.8
11	Fire Alarm Required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4
12	Water Service/Supply is Adequate:	<input checked="" type="checkbox"/> Yes (assumed) <input type="checkbox"/> No	3.2.5.7
13	High Building:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6
14	Permitted Construction: Actual Construction: Exterior Wall Cladding:	<input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Both <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Both <input checked="" type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Non-Combustible	3.2.2.50 3.2.2.50 3)a)
15	Mezzanine(s) Area:	N.A.	3.2.1.1
16	Occupant Load Based On: Main floor Lounge (0.95 sq.m/person) Main floor Offices (0.30 sq.m/person) Number of sleeping rooms (2 persons/room) Total Occupant Load	<input checked="" type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> Sleeping Rooms 55 sq.m = 58 persons 28 sq.m = 3 persons 69 rooms = 138 persons = 199 persons	3.1.17
17	Barrier-Free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.8
18	Hazardous Substances:	<input type="checkbox"/> Yes <input type="checkbox"/> No N.A.	3.3.1.2
19	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Roof Floors FRR of Supporting Floor over Crawl	3.2.2.50 2)a) not req'd 1.0 h 1h min or NC N.A. Listed Design No. or Description See Assemblies (TBD)
20	Spatial Separation - Construction of Exterior Walls:		
		3.2.3.1.D	
Wall	Area of EBF (m <sup>2</sup> )	L.D. (m) or H/L	Permitted % of Openings Proposed % FRR (hours) Listed Design or Description Construction Cladding Combustible or Noncombustible
South	5-37sqm	1.2-2.5m	N.A.
West	354.9sqm over 9m	N.A.	7.49% -
North	584.0sqm over 9m	N.A.	100% -
East	354.9sqm over 9m	N.A.	100% -

## 2 Unprotected Openings Code Calculations

A0.01 SCALE: nts

## 1 Unprotected Openings Code Plan

A0.01 SCALE: 1:750



3 Building J  
A0.01 SCALE: NTS



4 Building K  
A0.01 SCALE: NTS



5 Building L  
A0.01 SCALE: NTS

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GENERAL NOTES

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02	REVISED/ISSUED/NOTIFIED	DATE

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SEAL

SCALE 1 : 400

DATE 2019-11-05

11 Chown Place

PROJECT

Code

SHEET TITLE

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2018532

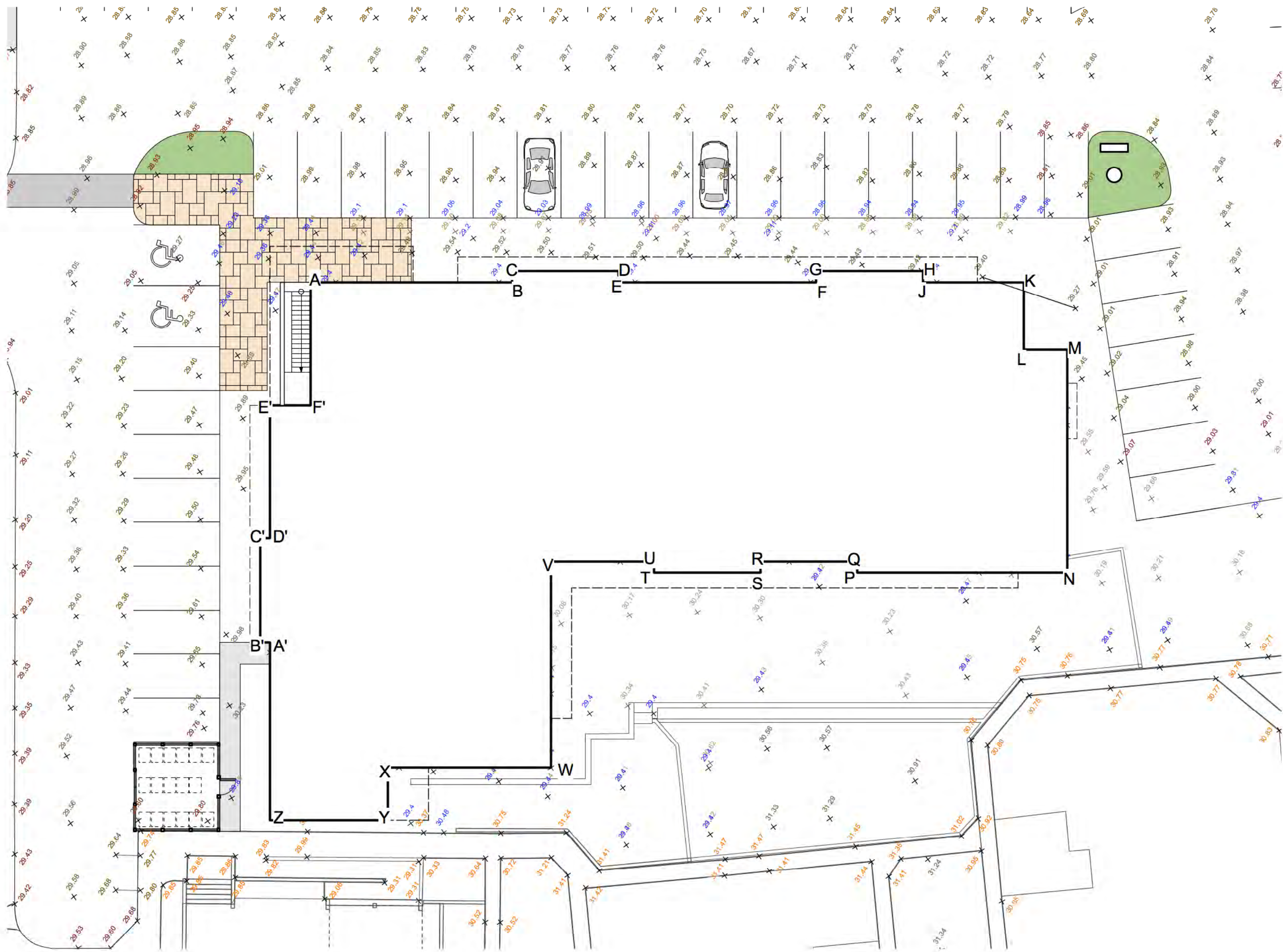
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A-0.01





1 Grade Point Locations  
A0.02 SCALE: 1:200

2019-10-11						
POINTS	EXISTING GRADE ELEV.	FINISHED GRADE ELEV.	POINT TO POINT	SUM OF ELEVATIONS	HORZ. DISTANCE BETWEEN GRADE POINTS (M)	AVERAGE GRADE BETWEEN
A	29.60	29.40	A-B	58.80	11.906	29.40
B	29.60	29.40	B-C	58.80	0.648	29.40
C	29.58	29.40	C-D	58.80	6.298	29.40
D	29.58	29.40	D-E	58.80	0.648	29.40
E	29.58	29.40	E-F	58.80	11.694	29.40
F	29.53	29.40	F-G	58.80	0.648	29.40
G	29.53	29.40	G-H	58.80	6.312	29.40
H	29.48	29.40	H-I	58.80	0.648	29.40
J	29.48	29.40	J-K	58.73	5.969	29.37
K	29.33	29.40	K-L	58.73	3.983	29.37
L	29.48	29.40	L-M	58.76	2.578	29.38
M	29.36	29.40	M-N	58.76	13.551	29.38
N	29.64	29.40	N-O	58.80	12.422	29.40
P	30.14	29.40	P-Q	58.80	0.625	29.40
Q	30.14	29.40	Q-R	58.80	5.725	29.40
R	30.22	29.40	R-S	58.80	0.625	29.40
S	30.24	29.40	S-T	58.80	6.312	29.40
T	30.10	29.40	T-U	58.80	0.625	29.40
U	30.09	29.40	U-V	58.80	5.737	29.40
V	29.98	29.40	V-W	58.80	12.188	29.40
W	30.41	29.40	W-X	58.80	9.646	29.40
X	30.34	29.40	X-Y	58.80	3.095	29.40
Y	30.34	29.40	Y-Z	58.80	6.994	29.40
Z	30.18	29.40	Z-A'	58.80	10.507	29.40
A'	30.01	29.40	A'-B'	58.80	0.563	29.40
B'	30.01	29.40	B'-C'	58.80	6.189	29.40
C'	29.97	29.40	C'-D'	58.80	0.563	29.40
D'	29.97	29.40	D'-E'	58.80	7.865	29.40
E'	29.85	29.40	E'-F'	58.80	2.411	29.40
F'	29.82	29.40	F'-G'	58.80	7.281	29.40

TOTAL= 164.256 TOTAL= 4828.456

AVERAGE GRADE = 29.40

2 Grade Point Calculations  
A0.02 SCALE: NTS

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GENERAL NOTES

01 DEVELOPMENT PERMIT WITH VARIANCES APPLICATION 2019-11-05  
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SCALE

1 : 400

SEAL

DATE

2019-11-05

11 Chown Place

PROJECT

Grading plan

SHEET TITLE

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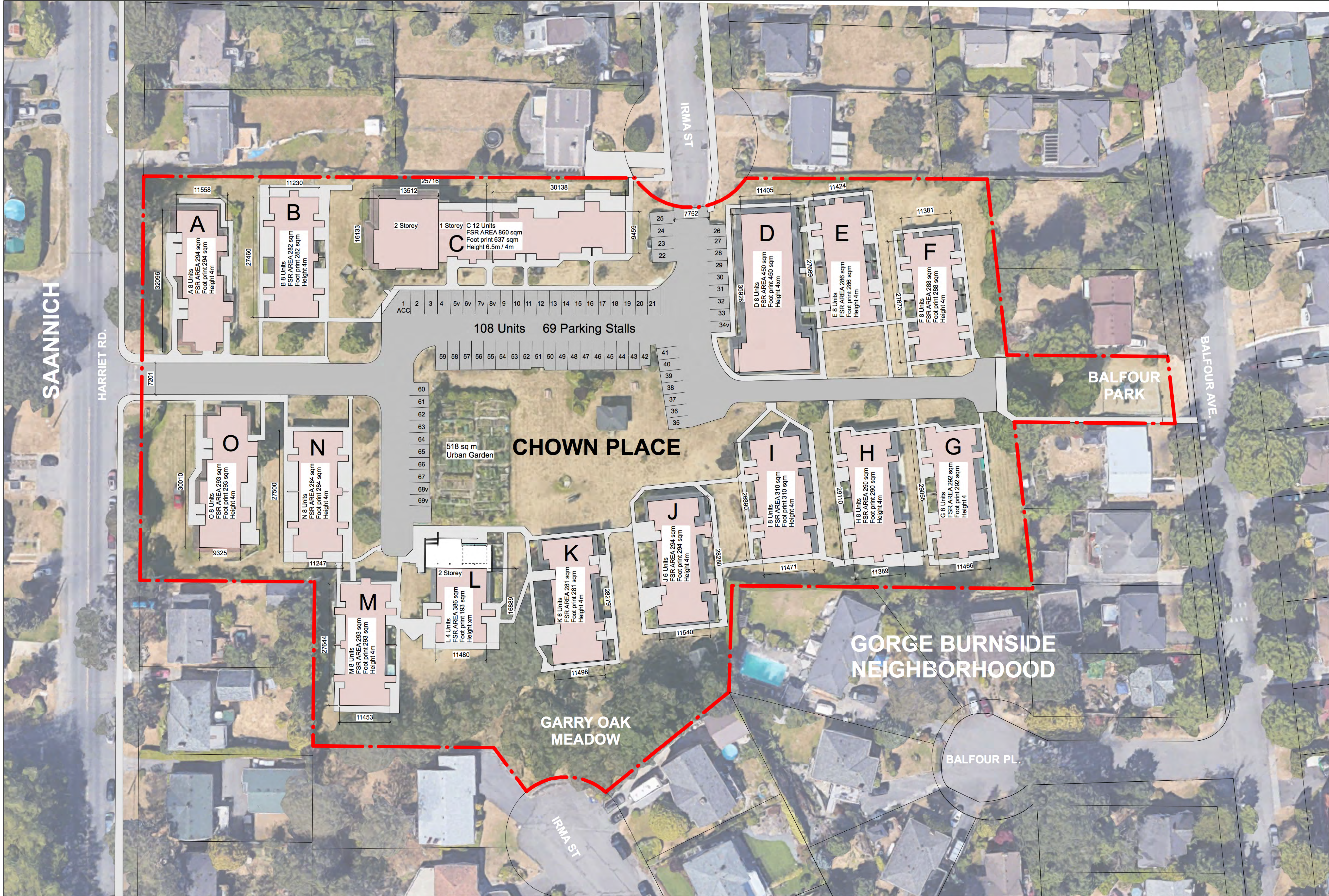
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SHEET NO.

A-0.02





1 Existing Site Plan  
A1.01 SCALE: 1:400

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GENERAL NOTES

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11 Chown Place

PROJECT  
Existing Site Plan

SHEET TITLE  
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CLIENT PROJECT NO. 2018532  
NTAG PROJECT NO. 2018532  
SHEET NO. A-1.01





1 Site and Context Plan  
A1.02 SCALE: 1:400

GENERAL NOTES	
Site Area	=22,373.7 sqm
Site Coverage	=5,511 sqm
Total Parking	=79
Parking residents	=58
Parking Visitor	=17
Other	=4
Total Units	=166
Existing	=108
Proposed New	=58
Point elevation dimensions all in meters	
	12.192m Building Separation Zone 4 stories x 3.048m
	New Landscape Areas
	Existing Tree Locations From Aerial Image

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SEAL	DATE
SCALE	DATE
11 Chown Place	
PROJECT	
Site/ Context Plan	
SHEET TITLE	
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2018532	
DATE	DATE
2019-11-05	









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A large, stylized logo consisting of the word "number" in a lowercase sans-serif font above a large, bold, white number "10" set against a red square background.

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11 Chown Place

PROJECT \_\_\_\_\_

1st Floor Plan

SHEET TITLE

DRAWN BY _____	DS, _____	CHECKED BY _____	BO _____
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CLIENT PROJECT NO. **A-201**

NTAG PROJECT NO.	2018532	SHEET NO.
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PRINT DATE: MM-DD-YYYY FILE NAME: Drawing 1.dwg





**2ND FLOOR**  
**17 SENIOR UNITS**  
Junior 1 Bedroom - 8  
1 Bedroom - 9  
FSR Area - 950 sqm

CLIENT  
GENERAL NOTES

01 DEVELOPMENT PERMIT WITH VARIANCES APPLICATION 2019-11-05  
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SCALE 1:100  
DATE 2019-11-05

11 Chown Place

PROJECT  
2nd Floor Plan

SHEET TITLE  
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CLIENT PROJECT NO. 2018532  
NTAG PROJECT NO. SHEET NO. A-2.02



1 2nd Floor Plan  
A2.02 SCALE: 1:100





1.07m high planter,  
plants provided by residents

**3RD FLOOR**  
**16 SENIOR UNITS**  
Junior 1 Bedroom - 8  
1 Bedroom - 8  
FSR Area - 891 sqm

1 3rd Floor Plan  
A2.03 SCALE: 1:100

CLIENT  
GENERAL NOTES

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11 Chown Place

PROJECT	3rd Floor Plan
SHEET TITLE	
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CLIENT PROJECT NO.	2018532
NTAG PROJECT NO.	
SHEET NO.	A-2.03







**4TH FLOOR**  
**16 SENIOR UNITS**  
Junior 1 Bedroom - 8  
1 Bedroom - 8  
FSR Area - 891 sqm

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GENERAL NOTES

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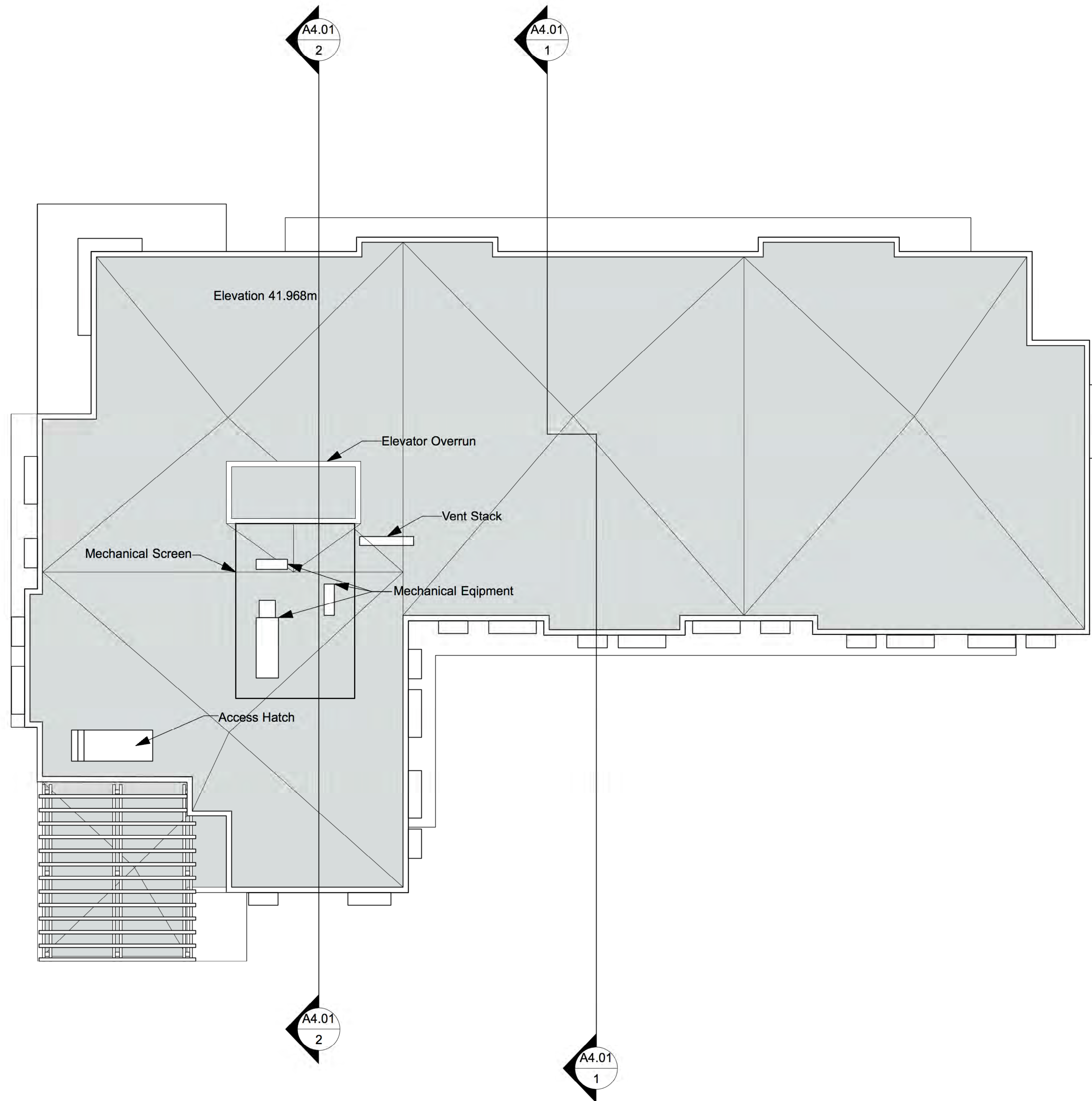
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SCALE	DATE
1:100	2019-11-05

11 Chown Place

PROJECT	
4th Floor Plan	
SHEET TITLE	
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2018532	A-2.04
NTAG PROJECT NO.	





1 Roof Plan  
A2.05 SCALE: 1:100

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GENERAL NOTES

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11 Chown Place

PROJECT

Roof Plan

SHEET TITLE

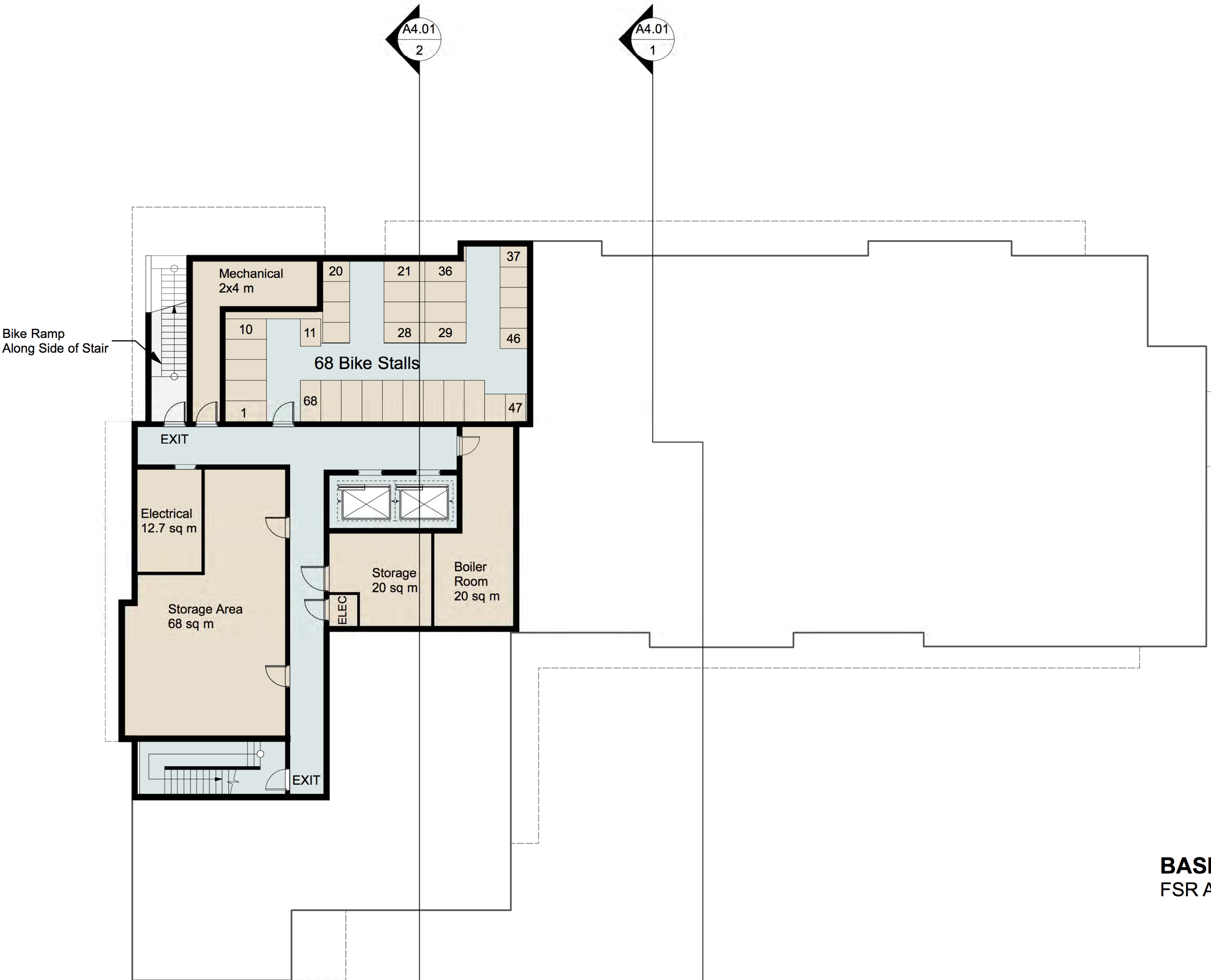
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NTAG PROJECT NO. SHEET NO. A-2.05







**BASEMENT**  
FSR Area - 0 sqm

1 Basement Floor Plan  
A2.06 SCALE: 1:100

CLIENT  
GENERAL NOTES

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11 Chown Place

PROJECT

Basement Plan

SHEET TITLE

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CLIENT PROJECT NO. 2018532  
SHEET NO. A-2.06







1 North Elevation  
A3.01 SCALE: 1:100



1 West Elevation  
A3.01 SCALE: 1:100

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GENERAL NOTES

- 1 Cementitious Fiber Board - Panel  
- SW 9166 DRIFT WOOD MIST
- 2 Cementitious Fiber Board - Panel  
- SW 7047 DOWNING STONE
- 3 Cementitious Fiber Board - Panel  
- SW 7047 WESTCHESTER GRAY
- 4 Cementitious Fiber Board - Panel  
- SW 7047 POROISE
- 5 Cementitious Fiber Board - Plank  
- SW 9113 MUDSLIDE
- 6 Flashing to match  
- SW 9166DRIFT WOOD MIST
- 7 Window and Door Frames  
- Black
- 8 Exposed Concrete
- 9 Horizontal Siding  
-Wood Look
- 10 Wood Screen
- 11 Painted Sun Shade  
- SW 9166DRIFT WOOD MIST
- 12 Aluminum and Glass Rail

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SEAL

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11 Chown Place

PROJECT

North and West Elevations

SHEET TITLE

DRAWN BY DS, CHECKED BY BC

CLIENT PROJECT NO. 2018532

NTAG PROJECT NO. SHEET NO.

A-3.01





1 South Elevation  
A3.02 SCALE: 1:100



2 East Elevation  
A3.02 SCALE: 1:100

CLIENT

GENERAL NOTES

- 1 Cementitious Fiber Board - Panel  
- SW 9166 DRIFT WOOD MIST
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CORRELATIONS

SEAL

SCALE 1:100 DATE 2019-11-05

11 Chown Place

PROJECT

South and East Elevations

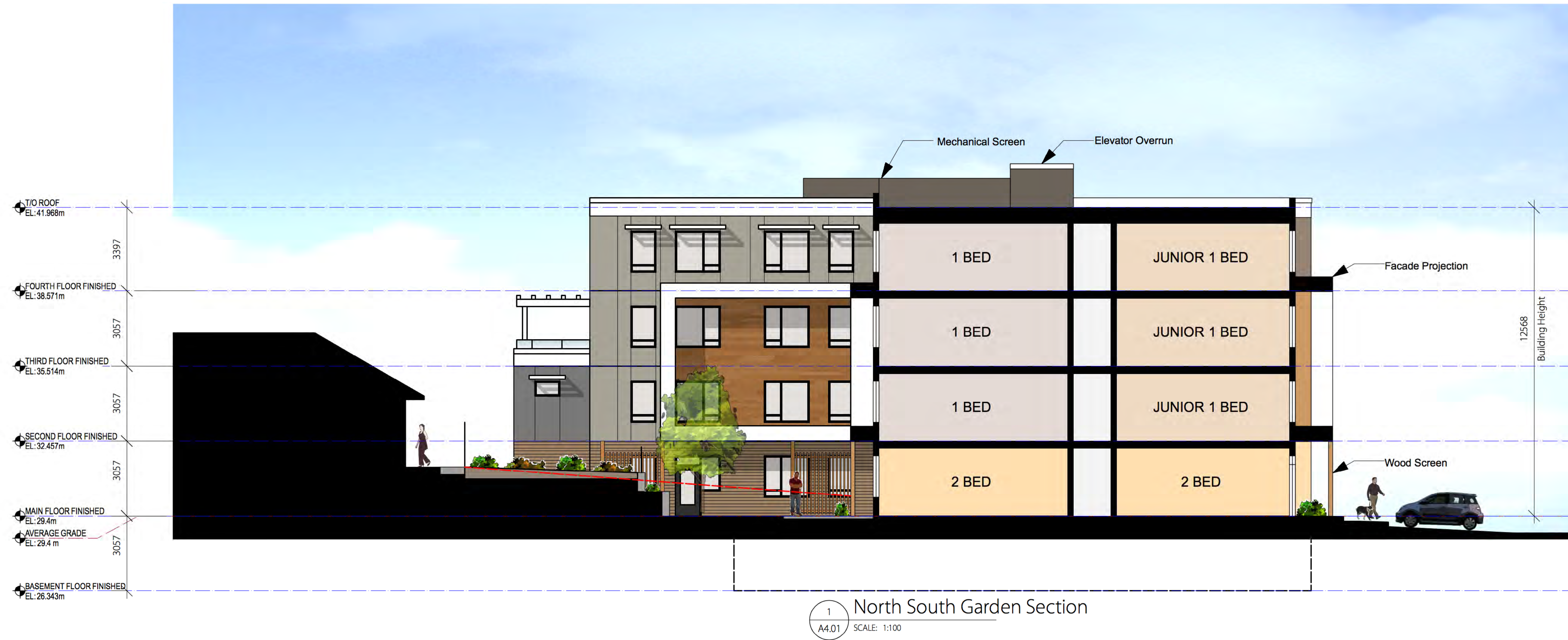
SHEET TITLE

DRAWN BY DS, CHECKED BY BC

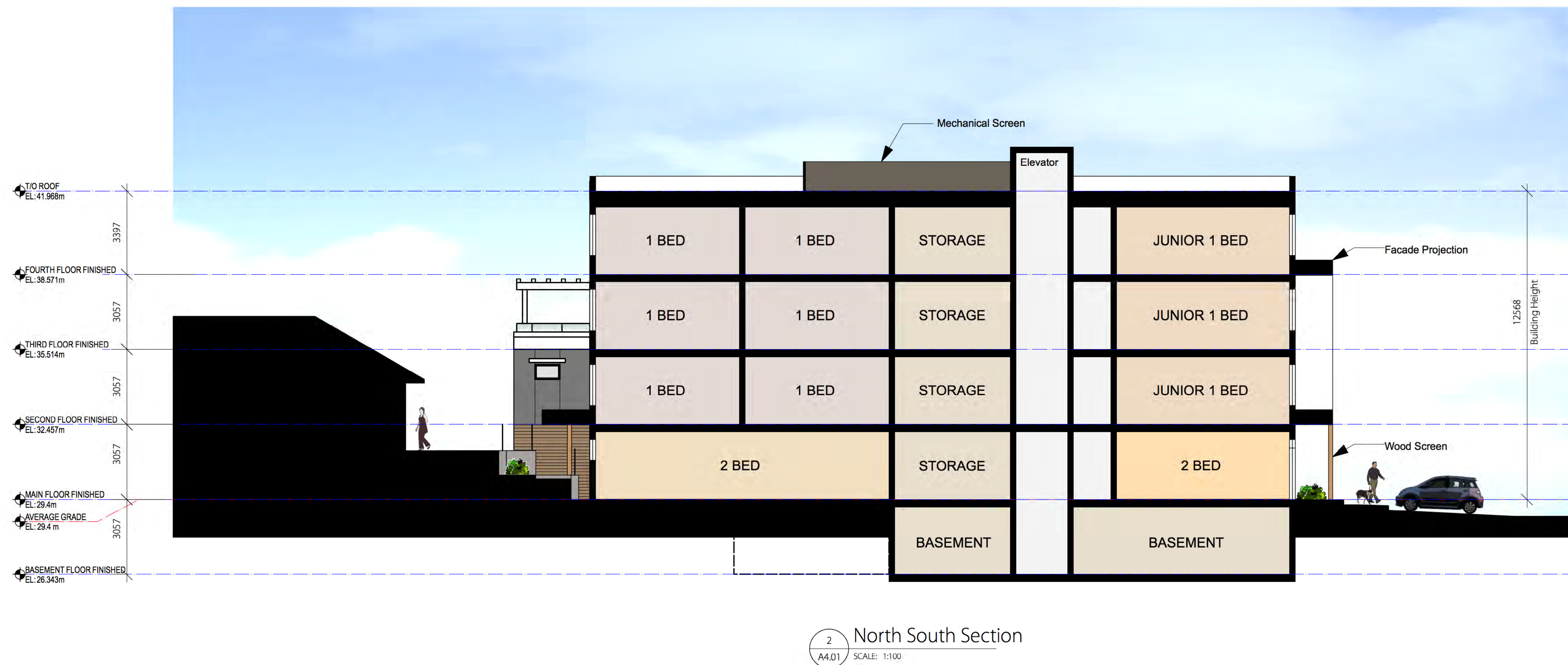
CLIENT PROJECT NO. 2018532

NTAG PROJECT NO. SHEET NO. A-3.02





1 North South Garden Section  
A4.01 SCALE: 1:100



2 North South Section  
A4.01 SCALE: 1:100

CLIENT  
GENERAL NOTES

01 DEVELOPMENT PERMIT WITH VARIANCES APPLICATION 2019-11-05  
No. REVISED/ ISSUED/ PLOTTED DATE

numberTEN architectural group  
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ARCHITECTURAL

CONSULTANTS

SCALE 1:100  
DATE 2019-11-05

11 Chown Place

South and East Elevations

SHEET TITLE  
DRAWN BY DS, BC  
CLIENT PROJECT NO. 2018532  
SHEET NO. A-4.01





1 View From Harriet Rd Looking East  
A5.01 SCALE: NTS



Existing View From Harriet Rd Looking East



2 View From Irma St Looking South  
A5.01 SCALE: NTS



Existing View From Irma St Looking South



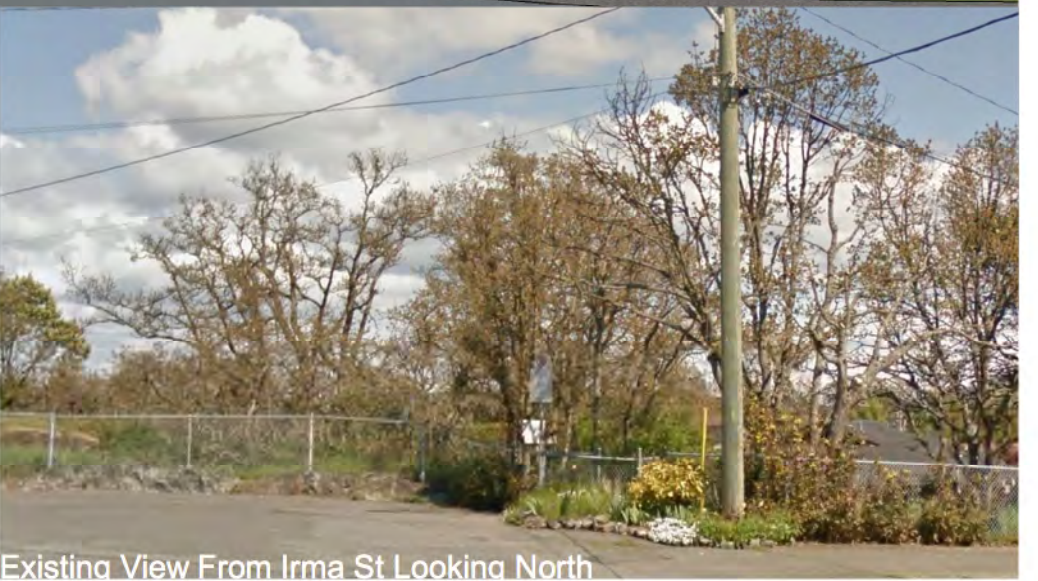
3 View From Balfour Park Looking South  
A5.01 SCALE: NTS



Existing View From Balfour Ave Looking South



4 View From Irma St Looking North  
A5.01 SCALE: NTS



Existing View From Irma St Looking North

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GENERAL NOTES

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SEAL

NTS

2019-11-05

SCALE

DATE

11 Chown Place

PROJECT

Images

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CLIENT PROJECT NO.

2018532

NTAG PROJECT NO.

SHEET NO.

A-5.01





1 3d Image Looking East  
A5.02 SCALE: NTS



2 3d Image Looking South  
A5.02 SCALE: NTS



3 3d Image Looking North West  
A5.02 SCALE: NTS

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GENERAL NOTES

01	DEVELOPMENT PERMIT WITH VARIANCES APPLICATION	2019-11-05
No.	REVISED/ ISSUED/ PLOTTED	DATE

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SCALE	DATE
NTS	2019-11-05

11 Chown Place

PROJECT

Images

SHEET TITLE

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CLIENT PROJECT NO.			
NTAG PROJECT NO.	2018532		

A-5.02





9:00 AM



9:00 AM



9:00 AM



12:00 PM



12:00 PM



12:00 PM



3:00 PM



3:00 PM



3:00 PM

**Summer Solstice**  
June 21st, 2019

**Fall Equinox**  
September 22nd, 2019

**Winter Solstice**  
December 21st, 2019

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GENERAL NOTES

01 DEVELOPMENT PERMIT WITH VARIANCES APPLICATION 2019-11-05

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ARCHITECTURAL

CIRCULANTS

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2019-11-05

SCALE

DATE

11 Chown Place

Sun study

SHEET TITLE

DRAWN BY DS, CHECKED BY BC

CLIENT PROJECT NO. 2018532

NTAG PROJECT NO. SHEET NO. A-6.01





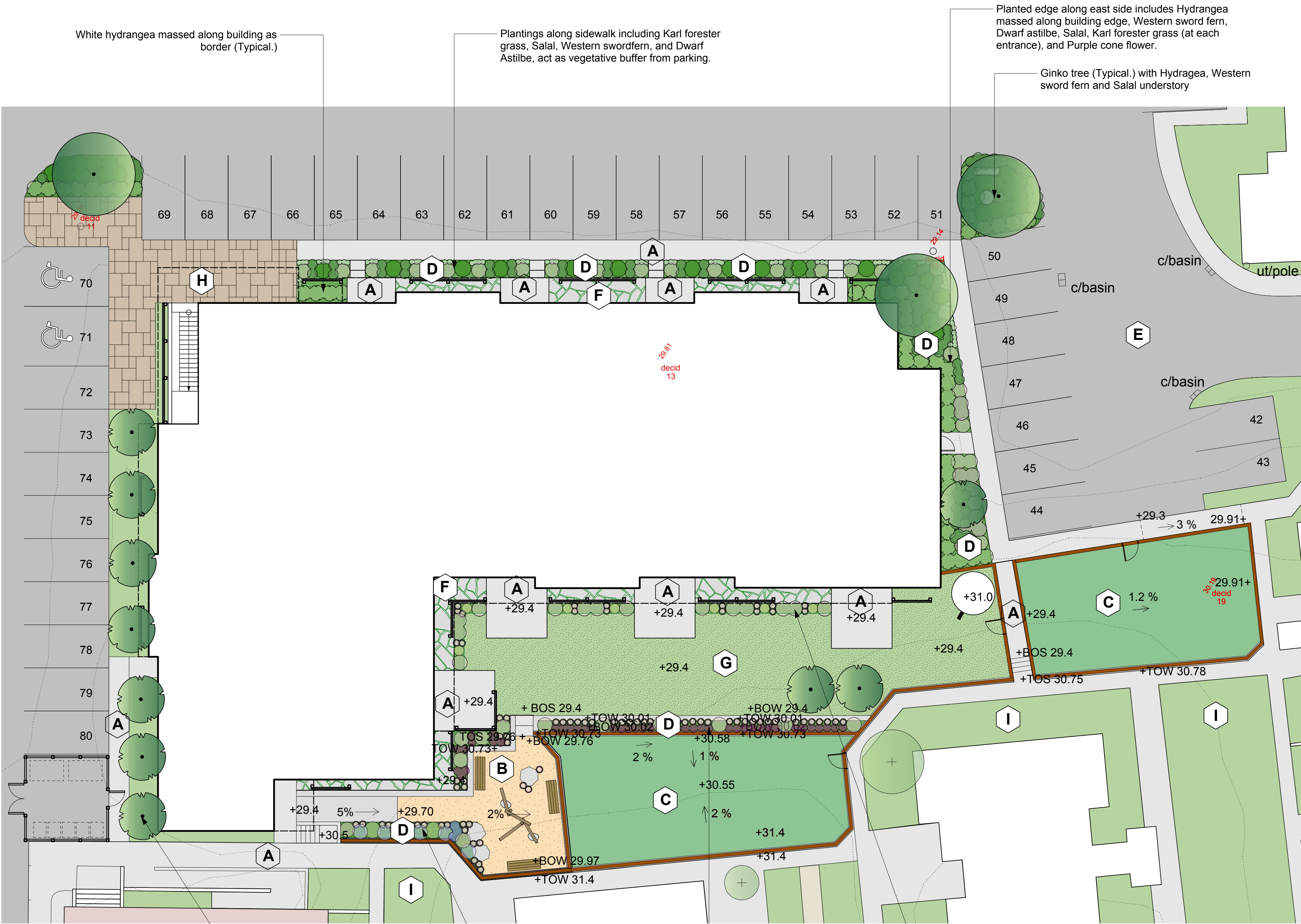
1 Site Context Plan  
Scale: 1:400

# Landscape Concept - Chown Place

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A. Nov 1, '19 DP Submission		
REVISIONS		
<div><div></div><div>LADR LANDSCAPE ARCHITECTS</div></div> <div>#3-864 Queens Ave. Victoria B.C. V8T 1M5 Phone: (250) 598-0105 Fax: (250) 412-0696</div>		
PROJECT		
Chown Place Victoria B.C.		
TITLE		
Site Context Plan		
SCALE		
As shown		
DRAWN OL CHECKED BW		
PROJECT No. 1925		
DATE		
Nov 1, 2019		
1 of 3 SHEET		





White hydrangea massed along building as border (Typical.)

Plantings along sidewalk including Karl forester grass, Salal, Western swordfern, and Dwarf Astilbe, act as vegetative buffer from parking.

Planted edge along east side includes Hydrangea massed along building edge, Western sword fern, Dwarf astilbe, Salal, Karl forester grass (at each entrance), and Purple cone flower.

Ginkgo tree (Typical.) with Hydragea, Western sword fern and Salal understory

Row of Columnar hornbeam trees (Typical.) screens parking area

Feature planting in play area includes, Karl Forester grass, Russian sage, Meadow sage, Rosemary, and Mexican feather grass

Perennial border along terraced 600 mm high concrete block retaining wall, planted with Karl Forester grass, Tall verbena, and Mexican feather grass

Perennial border between private patios planted with Karl Forester grass, Black eyed susan and Mexican feather grass

Recommended Nursery Stock

Trees

ID	Quantity	Botanical Name	Common Name	Size
CaBe	10	Carpinus betulus 'Frans Fontaine'	Columnar Hornbeam	6 cm cal.
GiBi	4	Ginkgo biloba	Ginkgo	6 cm cal.

Medium Shrubs

ID	Quantity	Botanical Name	Common Name	Size
HyMa	48	Hydrangea macrophylla 'Lanarth White'	Lanarth White Hydrangea	# 5 pot

Small Shrubs

ID	Quantity	Botanical Name	Common Name	Size
GaSh	96	Gaultheria shallon	Salal	# 1 pot
RoOf	2	Rosmarinus officinalis	Rosemary	# 1 pot

Perennials, Annuals and Ferns

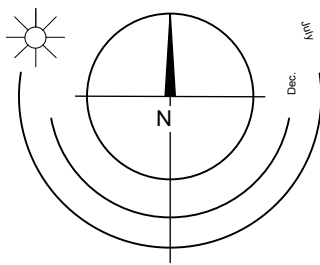
ID	Quantity	Botanical Name	Common Name	Size
AsCh	82	Astilbe chinensis 'Pumila'	Dwarf Astilbe	# 1 pot
CaAc	53	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	# 1 pot
EcPu	9	Echinacea purpurea	Purple Coneflower	# 1 pot
NaTe	78	Nassella tenuissima (Stipa tenuissima)	Mexican Feather Grass	# 1 pot
PeAt	5	Perovskia atriplicifolia	Russian Sage	# 1 pot
PoMu	40	Polystichum munitum	Sword Fern	# 1 pot
RuFu	7	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	# 1 pot
SaNe	5	Salvia nemorosa 'East Friesland'	East Friesland Meadow Sage	# 1 pot
VeBo	42	Verbena bonariensis	Tall Verbena	# 1 pot

Notes:

1. All work to be completed to current BCSLA Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system
3. No protected trees removed

MATERIALS LEGEND

<b>A</b> Concrete	<b>D</b> Planted area	<b>G</b> Sod lawn
<b>B</b> Wood chips	<b>E</b> Asphalt	<b>H</b> Unit paver
<b>C</b> Growing medium, plants provided by residents	<b>F</b> Flagstone paver	<b>I</b> Existing lawn retained



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A. Nov 1, '19 DP Submission

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PROJECT

Chown Place  
Victoria B.C.

TITLE

Landscape Concept Plan

SCALE

As shown

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OL  
CHECKED BW

PROJECT No. 1925

DATE

Nov 1, 2019

2

of 3

SHEET

1 Landscape Concept Plan  
Scale: 1:150



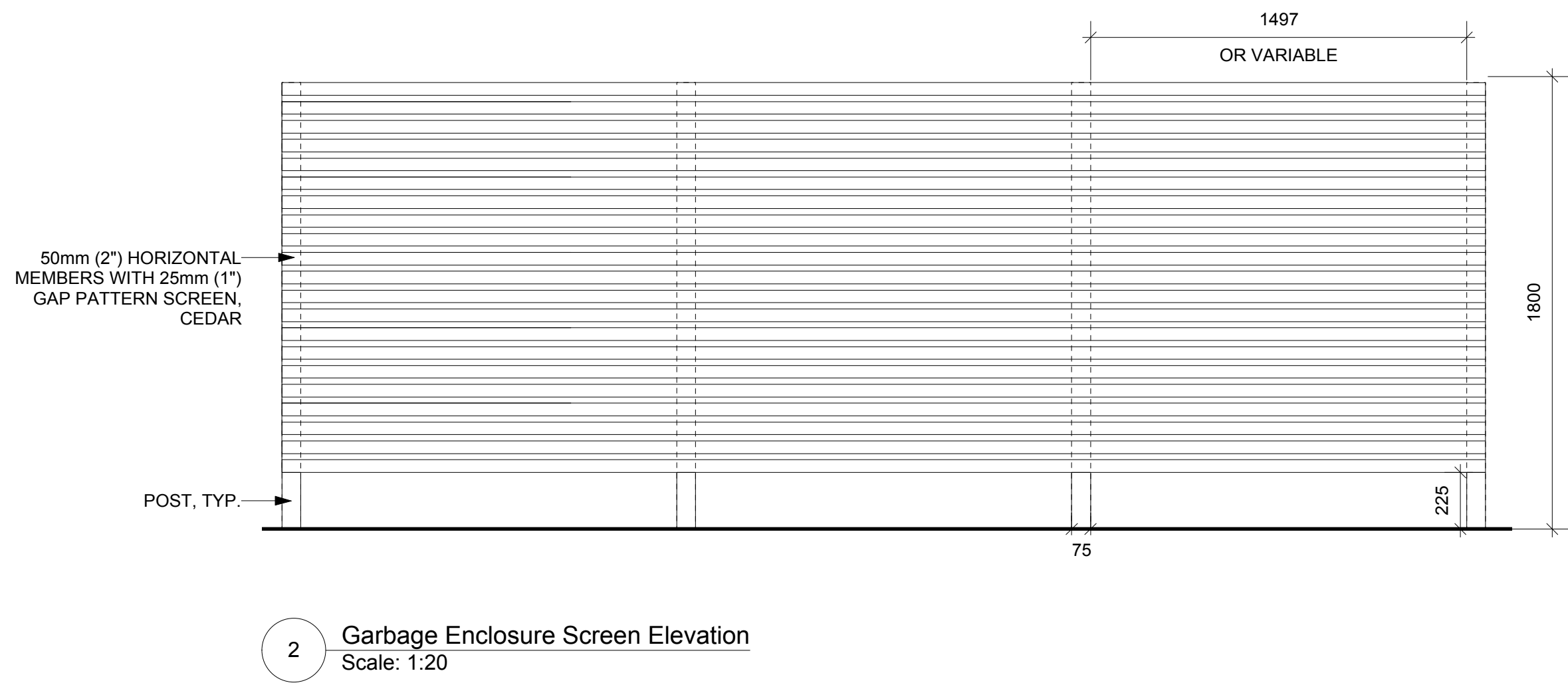
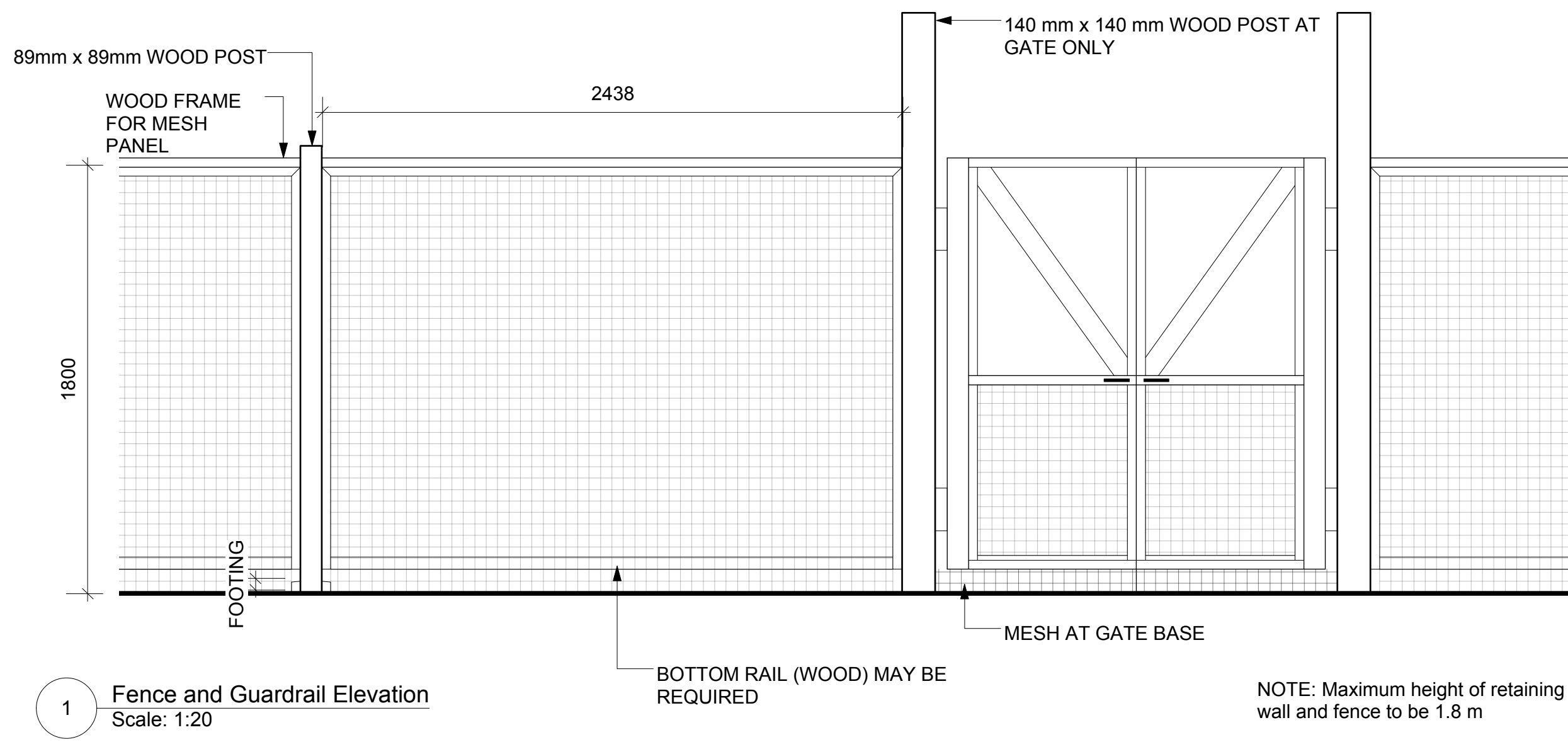


Image: Wood Bench Seating




Image: Decorative Concrete Block Retaining Wall



Image: Fence and guard rail with mesh



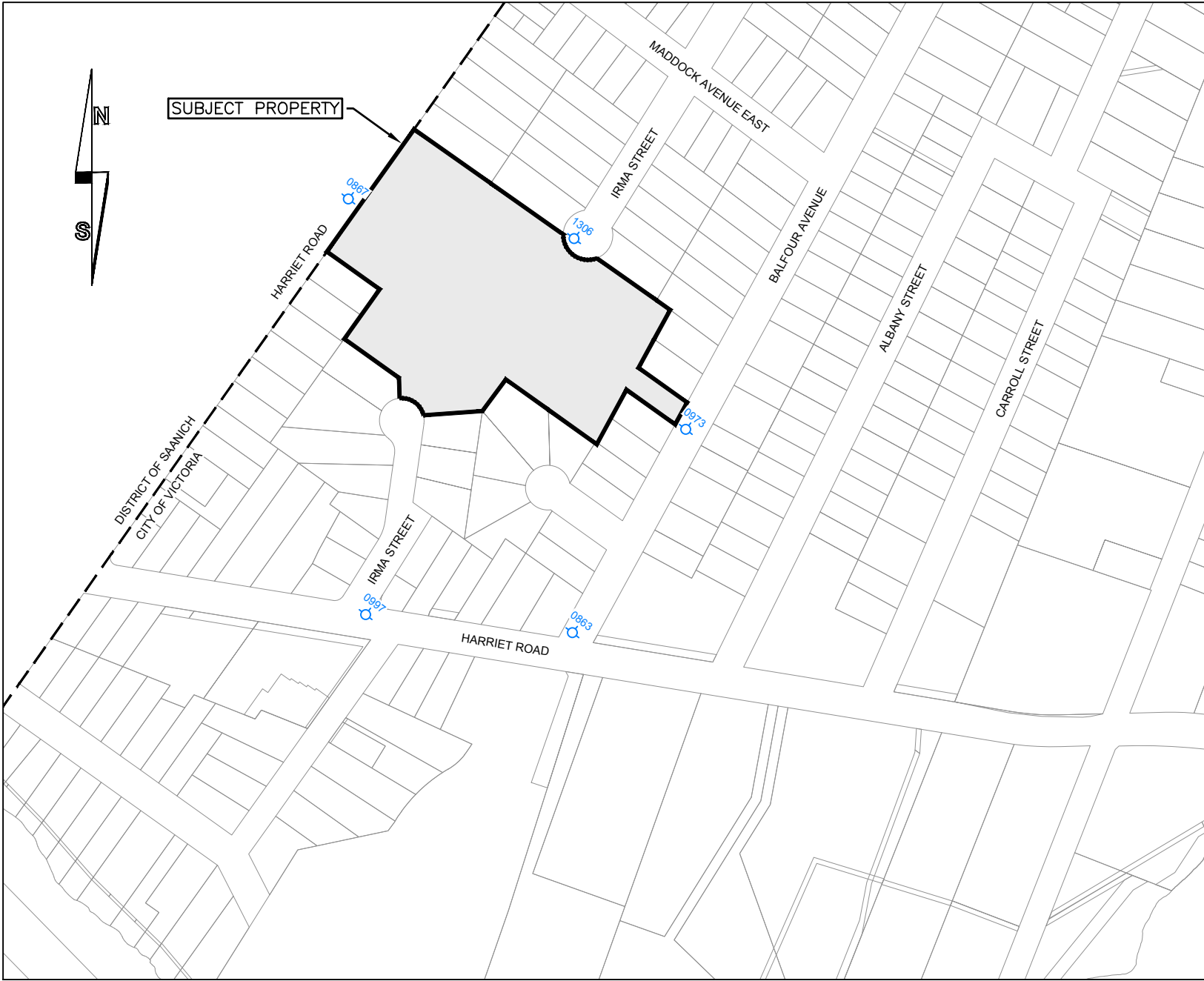
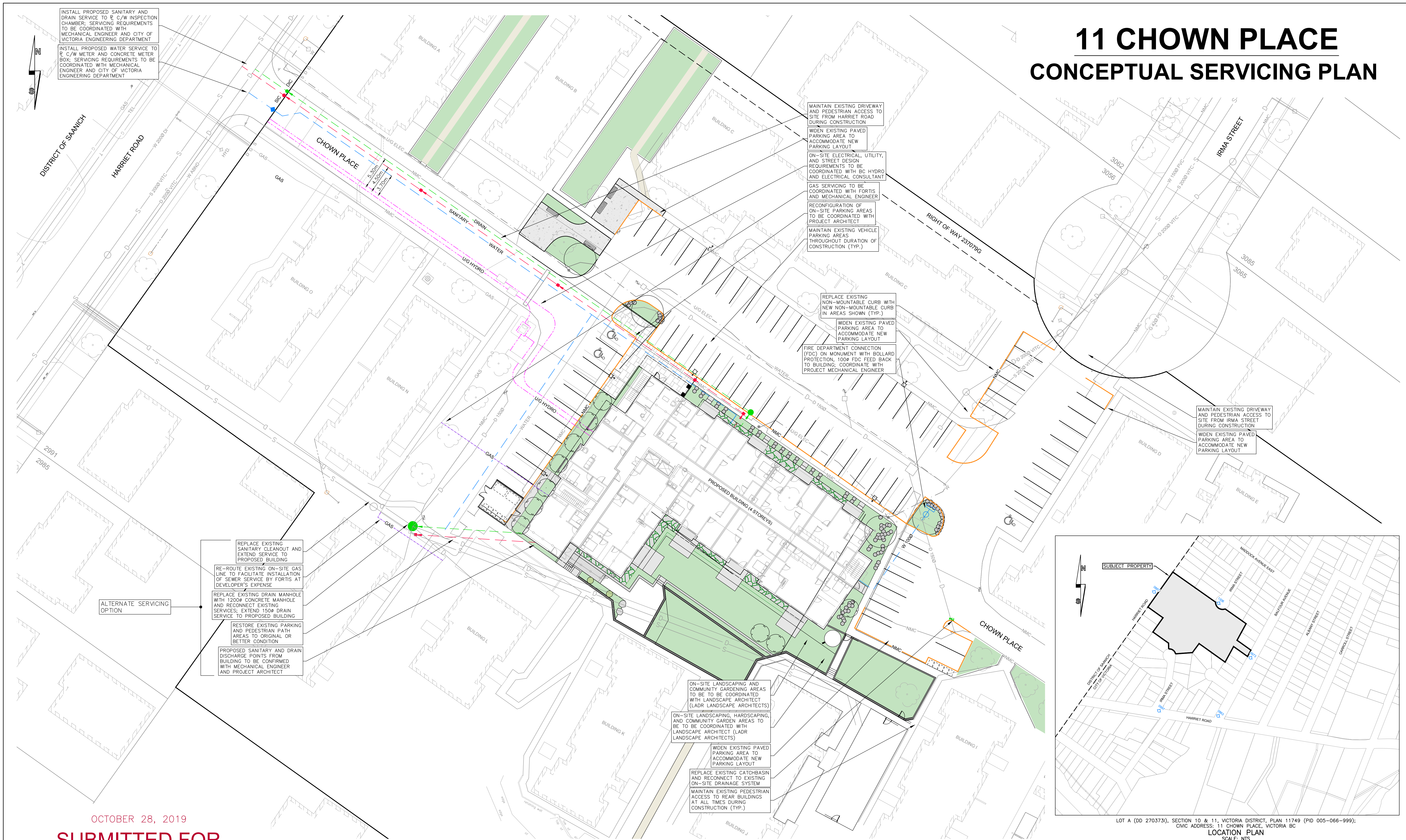
Image: Natural play area with logs and boulders on woodchips

A.	Nov 1, '19	DP Submission
REVISIONS		
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PROJECT		
Chown Place Victoria B.C.		
TITLE		
Landscape Details		
SCALE	DRAWN OL As shown CHECKED BW	
PROJECT No.	1925	
DATE	3 of 3 Nov 1, 2019 SHEET	



# 11 CHOWN PLACE

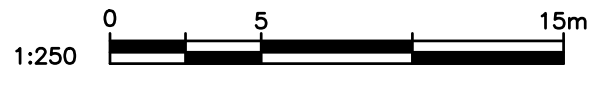
## CONCEPTUAL SERVICING PLAN



LOT A (PD 2703731), SECTION 10 & 11, VICTORIA DISTRICT, PLAN 11749 (PID 005-066-999);  
CIVIC ADDRESS: 11 CHOWN PLACE, VICTORIA BC  
LOCATION PLAN  
SCALE: NTS

OCTOBER 28, 2019  
**SUBMITTED FOR  
DEVELOPMENT PERMIT**

CONCEPTUAL SITE PLAN: 11 CHOWN PLACE  
SCALE: 1:250



11 CHOWN PLACE  
DEVELOPMENT

ISLANDER PROJECT No.  
2254  
SHEET 1 OF 2 REV. -

CITY OF VICTORIA  
CONCEPTUAL SERVICING PLAN

DWG No. C01  
Sooke DWG No.  
Sooke FILE No.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE TO THE START OF ANY EXCAVATIONS

LEGEND – PROPOSED SERVICES SHOWN DASHED											
WATER		CURB		EXISTING U/G UTL.		MANHOLE		HYDRANT		REDUCER	
DRAIN		SIDEWALK		PROPOSED U/G UTL.		CLEANOUT		VALVE		CAP	
DITCH		EDGE PAVE.		LIGHT STANDARD		CATCHBASIN		FLUSH VALVE		CULVERT	
SEWER		BUSHLINE		POWER POLE		SILTRAP		AIR VALVE		HEADWALL	
GAS		TREE		ANCHOR		CONC.BOX		METER		ROAD SIGN	

REVISIONS				DESIGN APPROVED			
DESCRIPTION	DATE	DATE	DATE	EXCEPTIONS	DATE	SIGN	
4		8		APPROVED BY			
3		7		DESIGN ENG.			
2		6		ASSIST. ENG.			
1		5		MUNICIPAL ENG.			

B.M. DESIGN CBB  
ELEV. CHECKED  
DATE OCT 2019  
SCALES Hor. 1:250 Vertical -

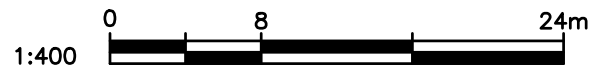





OCTOBER 28, 2019  
**SUBMITTED FOR  
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SITE PLAN: 11 CHOWN PLACE  
SCALE 1:400



 <b>ISLANDER</b> ENGINEERING <small>www.islanderengineering.com</small>	<b>11 CHOWN PLACE DEVELOPMENT</b>		ISLANDER PROJECT No. <b>2254</b>	
			SHEET	2 OF 2
			REV.	—
			DWG No.	C02
<b>CITY OF VICTORIA</b> CONCEPTUAL SITE PLAN		DWG No.		
DRAIN, SEWER, WATER AND ROADS		DWG No.		
B.M.	DESIGN CBB	ELEV.		
DESIGN CBB	DRAWN CBB	CHECKED		
SCALES Hor. 1:500	Vertical —	DATE OCT 2019		

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE TO THE START OF ANY EXCAVATIONS

LEGEND — PROPOSED SERVICES SHOWN DASHED									
WATER — W —	CURB — C —	EXISTING U/G UTIL —	MANHOLE — O —	HYDRANT — H —	REDUCER — R —	MONUMENT — M —	LOT PIN — P —	LEAD PLUG — L —	ROAD SIGN — S —
DRAIN — D —	SIDEWALK — S/W —	PROPOSED U/G UTIL —	CLEANOUT — CO —	VALVE — V —	CAP — CAP —	CULVERT — CUL —	HEADWALL — HW —		
DITCH — D —	EDGE PAVE. — EP —	LIGHT STANDARD — LS —	CATCHBASIN — CB —	FLUSH VALVE — FV —	AIR VALVE — AV —	METER — M —			
SEWER — S —	BUSHLINE — BL —	POWER POLE — PP —	SILTTRAP — ST —	CONC.BOX — CBX —					
GAS — G —	TREE — T —	ANCHOR — A —							

REVISIONS				DESIGN APPROVED			
DESCRIPTION	DATE			EXCEPTIONS	DATE	SIGN	
4				APPROVED BY			
3				DESIGN ENG.			
2				ASSIST. ENG.			
1				MUNICIPAL ENG.			