



1693 Fort Street
Victoria, B.C.



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Victoria BC Canada V8T 5K2

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Re-Zoning and Development
Permit Resubmission
November 03, 2021

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- Surveyor**

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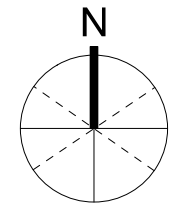
List of Drawings

Architectural		Landscape		Civil	
A0.0	Cover Sheet	L0	Tree Removal and Protection Plan	C1	Conceptual Servicing Drawing
A0.1	Code Summary	L1	Landscape Site Plan		
A0.2	Average Grade	L2	Tree Planting Plan		
A0.3	Shadow Studies	L3	Planting Plan		
A0.4	Perspective Views				
A0.5	Perspective Views				
A1.0	Survey				
A2.0	Site Plan / L1 Floorplan				
A2.1	L2 & L3 Floorplan				
A2.2	L4 & L5 Floorplan				
A2.3	L6 Floorplan & Roof Plan				
A4.1	North & West Elevations & Materials				
A4.2	South & East Elevations & Materials				
A4.3	Building Sections				
A4.4	Context Elevations				





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0 5m
1:100 scale in metres

4	Rezoning and DP	21/11/03
3	Rezoning and DP	21/05/11
2	Rezoning and DP	21/04/29
1	Rezoning and DP	21/01/22
0	Rezoning and DP	20/11/18

rev no	description	date
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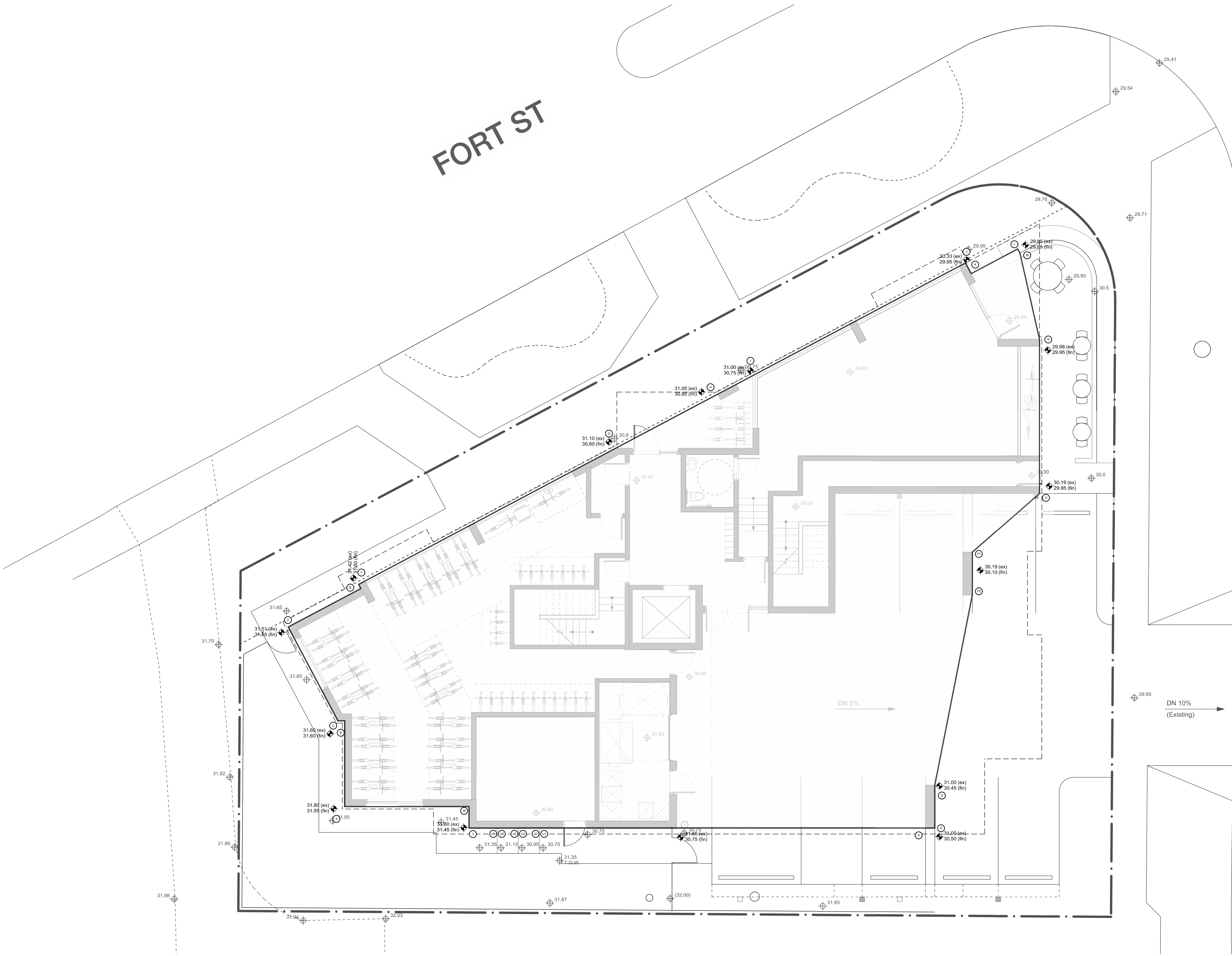
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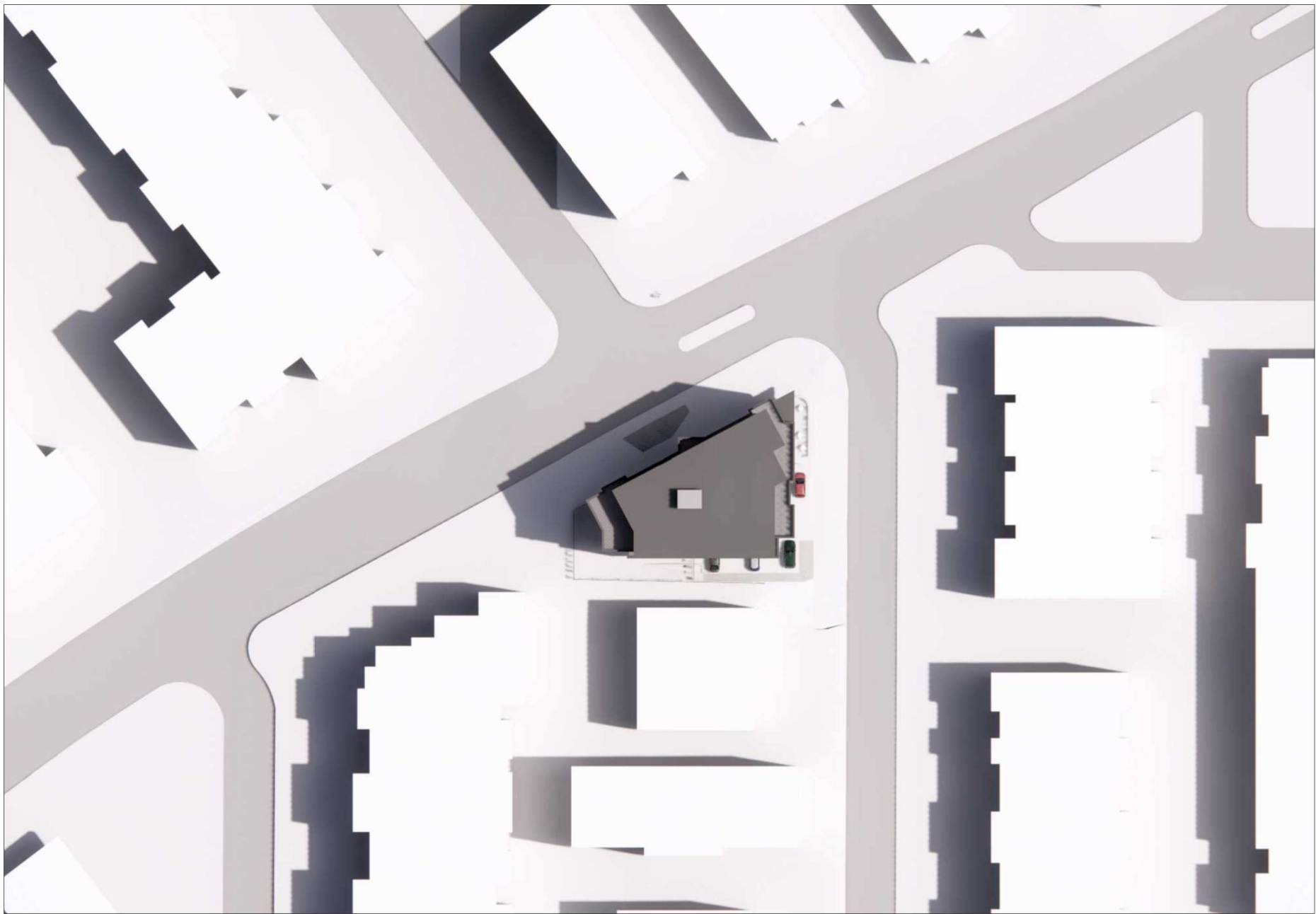
project name	
Rental Housing	
1693 Fort Street	
sheet title	
Average Grade	
project no. 20-17	
drawing file 20-17 1693 Fort Street CURRENT.vwx	
date issued November 03, 2021	
scale As Noted	
drawn by MZ	
checked by ES	
revision no.	sheet no.
4	A0.2

1693 Fort Street - Student Housing
Project Data 2020-10-24
Average Grade = 30.607

ID	Grade (m)	Interval	Average Grade	Distance (m)	Subtotal
A	30.55	A-B	30.575	3.661	111.93508
B	30.6	B-C1	30.625	0.288	8.82
C	30.65	C-D	31.08	4.524	140.60592
D	31.51	D-E	31.465	3.504	110.25336
E	31.42	E-F	31.42	0.2	6.284
F	31.42	F-G	31.11	12.4	385.764
G	30.8	G-H	30.775	4.911	151.13603
H	30.75	H-I	30.725	1.699	52.201775
I	30.7	I-J	30.325	10.262	311.19515
J	29.95	J-K	29.95	0.515	15.42425
K	29.95	K-L	29.9	2.249	67.2451
L	29.85	L-M	29.85	0.2	5.97
M	29.85	M-N	29.9	3.766	112.6034
N	29.95	M-N	29.95	6.579	197.04105
O	29.95	N-O	30.025	3.8	114.095
P1	30.1	P1-P2	30.1	1.83	55.083
P2	30.1	P2-Q	30.275	8.26	250.0715
Q	30.45	Q-R	30.475	1.83	55.76925
R	30.5	R-S	30.5	0.4	12.2
S	30.5	S-T	30.625	10.602	324.68625
T	30.75	T-U	30.75	5.852	179.949
U1	30.75	U1-U2	30.85	0	0
U2	30.95	U2-U3	30.95	0.9	27.855
U3	30.95	U3-U4	31.05	0	0
U4	31.15	U4-U5	31.15	0.9	28.035
U5	31.15	U5-U6	31.25	0	0
U6	31.35	U6-V	31.4	1.2	37.68
V	31.45	V-W	31.45	0.915	28.77675
W	31.45	V-A	31	5.3	164.3
Subtotal			96.547		2954.9799

1 Average Grade Calculation
Scale 1:100





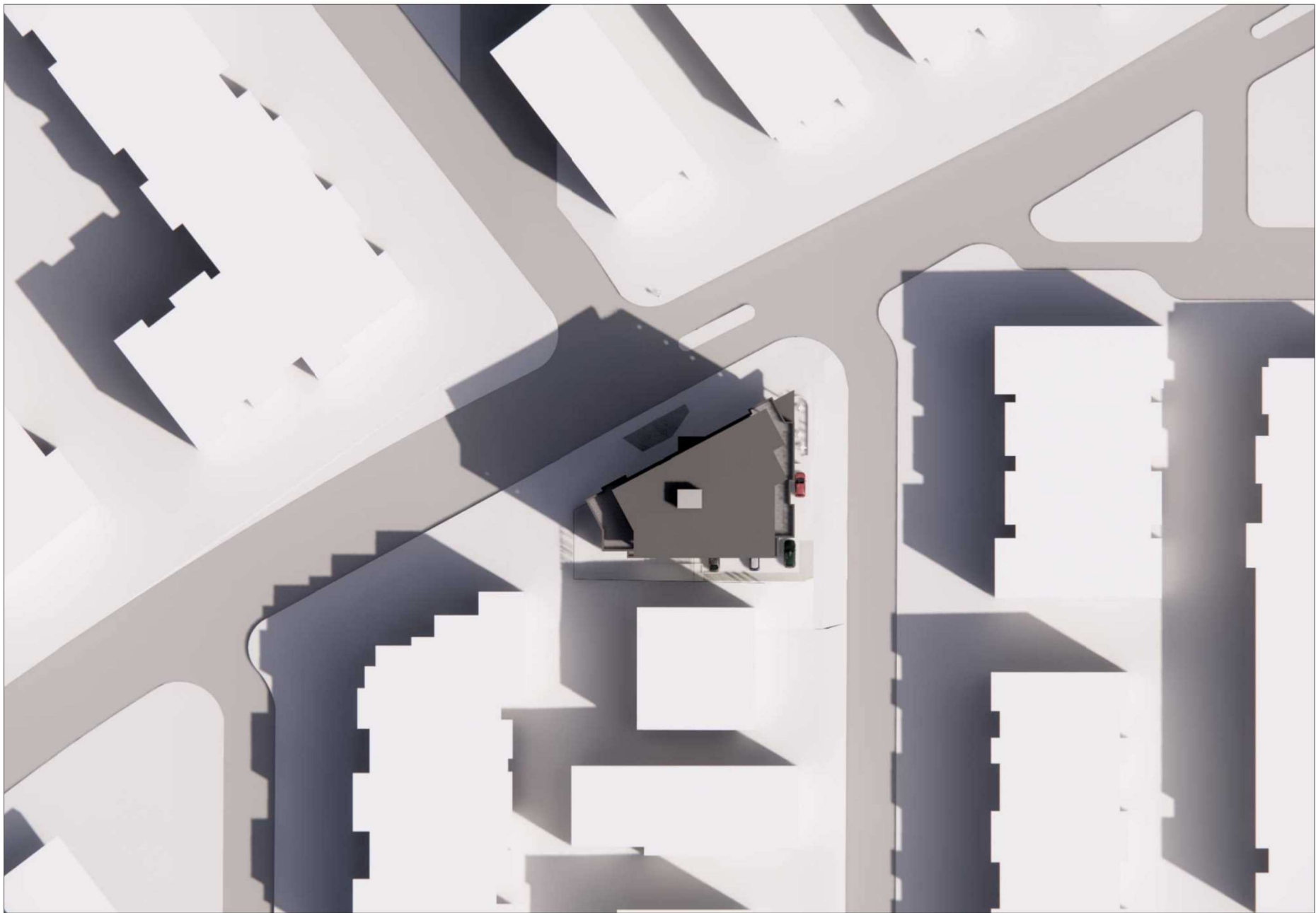
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Scale: NTS



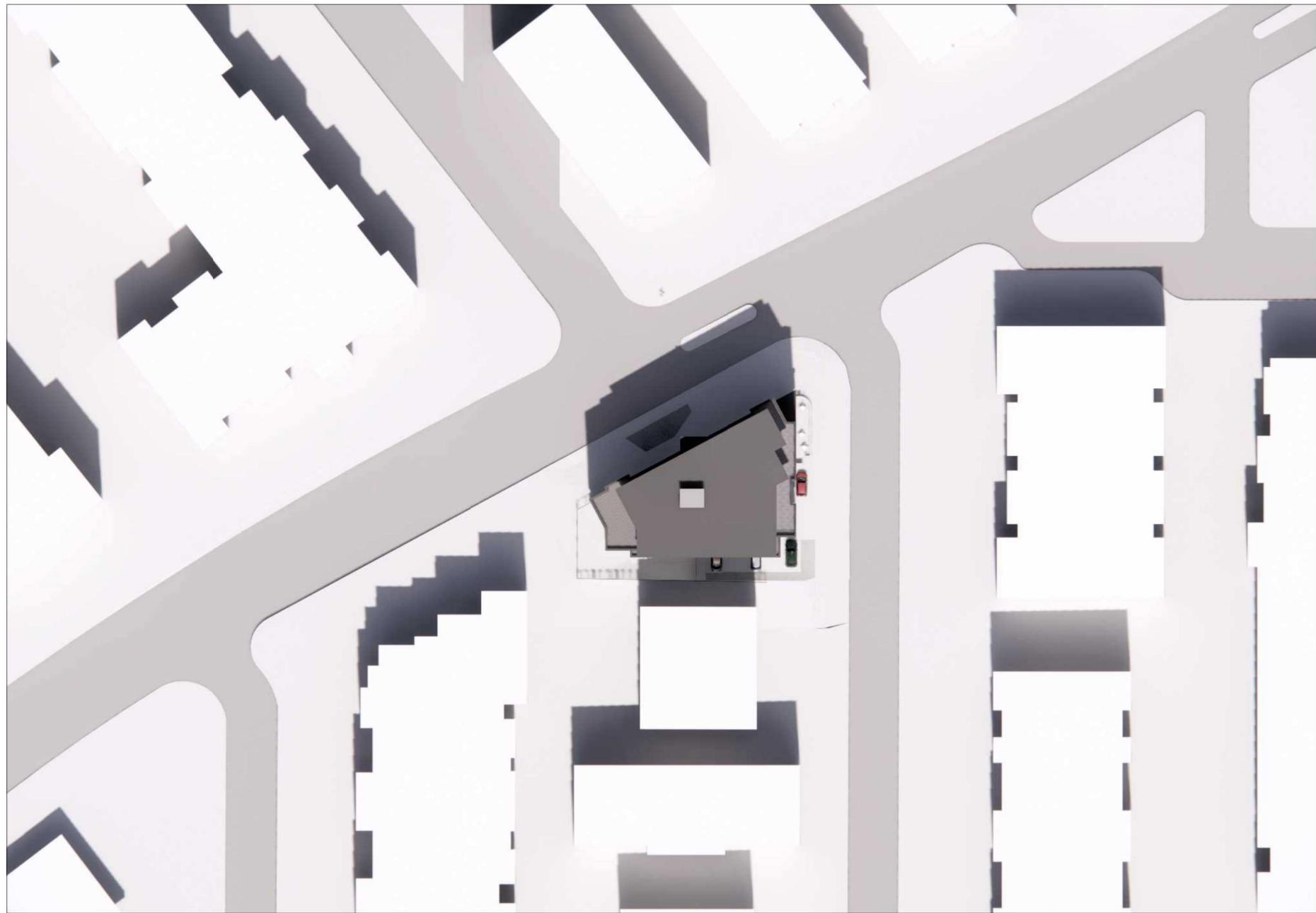
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Scale: NTS



3 June 21 - 5:00pm
Scale: NTS



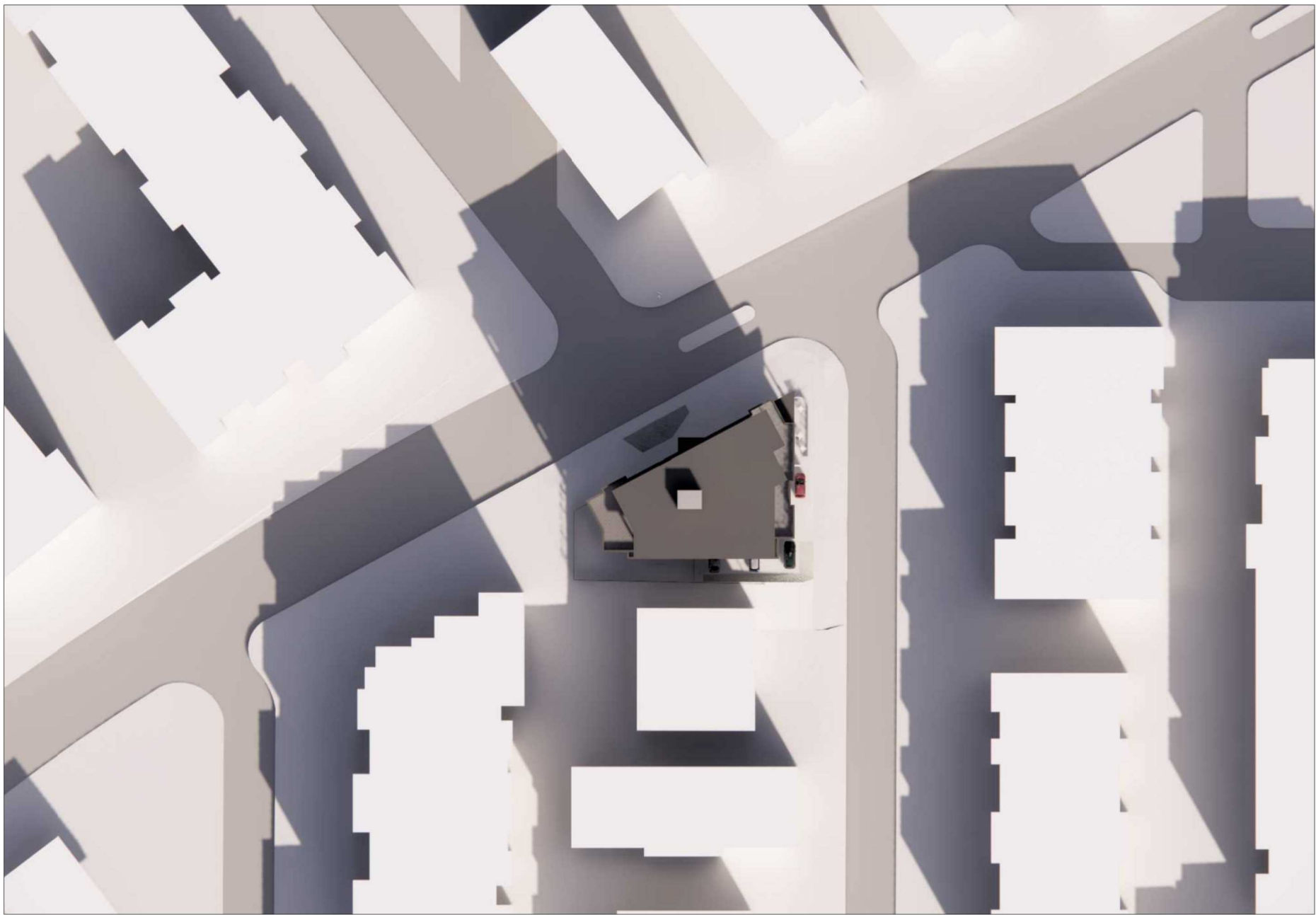
4 March/Sept 21 - 9:00am
Scale: NTS



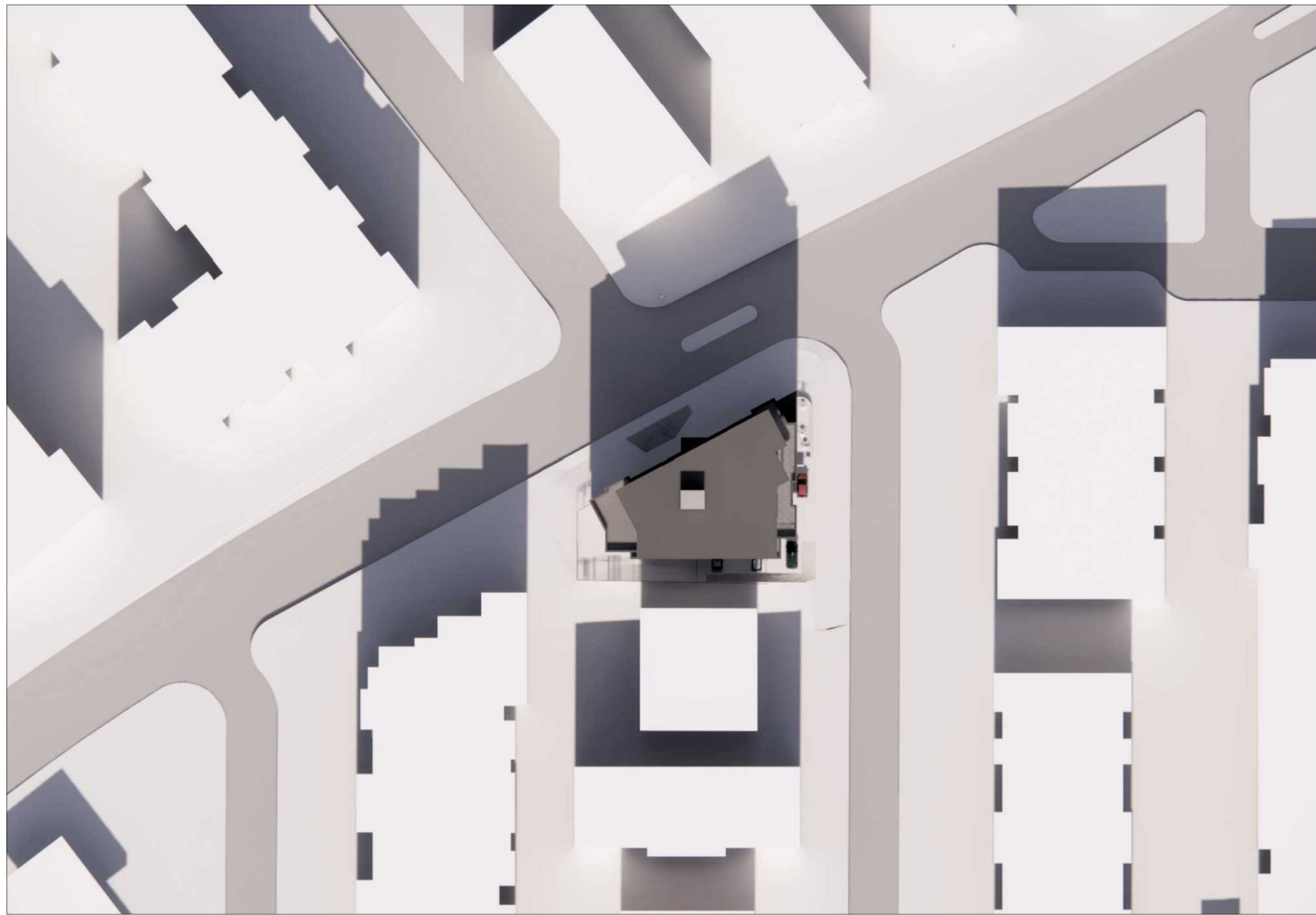
5 March/Sept 21 - 12:00pm
Scale: NTS



6 March/Sept 21 - 5:00pm
Scale: NTS



7 December 21 - 9:00am
Scale: NTS



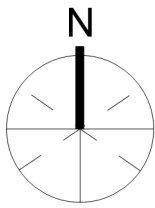
8 December 21 - 12:00pm
Scale: NTS



9 December 21 - 3:00pm
Scale: NTS



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0 5m
1:100 scale in metres

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rev no	description	date
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project name
Rental Housing
1693 Fort Street

sheet title
Shadow Studies

project no. 20-17

drawing file 20-17 1693 Fort Street CURRENT.vwx

date issued November 03, 2021

scale As Noted

drawn by MZ

checked by ES

revision no. sheet no.

4 A0.3



1 View from Northeast
Scale: NTS



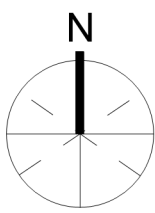
2 View from Northwest
Scale: NTS



2 View from Southeast
Scale: NTS



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rev no	description	date

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project name
Rental Housing

1693 Fort Street

sheet title
Perspective Views

project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	November 03, 2021
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

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1 View from East
Scale: NTS



2 View from Northwest
Scale: NTS



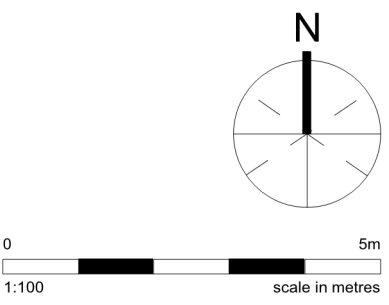
3 View from Southwest
Scale: NTS



4 View from North
Scale: NTS



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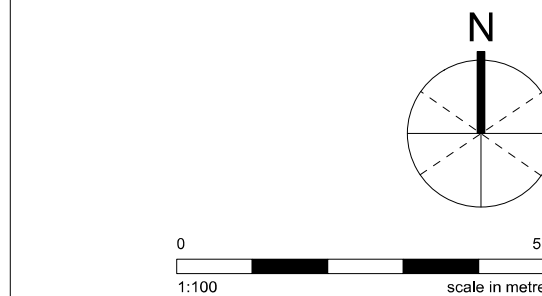
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project name
Rental Housing
1693 Fort Street

sheet title
Perspective Views

project no.	20-17
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scale	As Noted
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checked by	ES
revision no.	sheet no.

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4	Rezoning and DP	21/11/02
3	Rezoning and DP	21/05/11
2	Rezoning and DP	21/04/21
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0	Rezoning and DP	20/11/11

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project name
Rental Housing
1693 Fort Street

sheet title

Survey

project no.	20-17
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drawing file 20-17 1693 Fort Street CURRENT.vw


date issued	November 03, 2021
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scale	As Noted
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drawn by MZ

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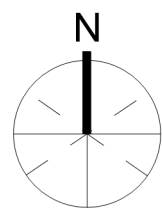
revision no.	sheet no.
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project name
Rental Housing

1693 Fort Street

sheet title
Site Plan / L1 Floorplan

project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	November 03, 2021
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

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Project Information Table	
Zone (existing)	R3-2
Proposed zone or site specific zone	Site Specific
Site area (m2)	896
Total floor area (m2)	2456.70
Commercial floor area (m2)	77.26
Floor space ratio	2.74
Site Coverage (%)	61.15%
Open site space (%)	30.54%
Height of building (m)	19.72
Number of storeys	6
Parking stalls (number) on site	9
Bicycle parking number (Class 1 & 2)	Class 1 = 63 Class 2 = 6
Building Setbacks (m)	
Front yard	0.771
Rear yard	3.36
Side yard (Flanking Street)	3.025
Side yard (Interior)	1.815
Combined side yards	4.84
Residential Use Details	
Total number of units	34
Unit type, e.g., 1 bedroom	Studio, 1-Bdrm and 2-Bdrm
Ground-oriented units	None
Minimum unit floor area (m2)	35.44
Total residential floor area (m2)	2379.44

SCHEDULE C PARKING CALCULATIONS					
Vehicle Parking Calculations (Per Unit)					
Unit Area	Pkg Rate	Qty	LT	ST	
< 45 sq.m.	0.2	12	2.4	1.2	
45 sq.m. to 70 sq.m.	0.5	17	8.5	1.7	
> 70 sq.m.	0.75	5	3.75	0.5	
Totals			14.65	3.4	
Vehicle Parking Calculations (Commercial)					
Use	Pkg Rate	Area	ST		
Restaurant	1 per 40 sq.m.	77.3 sq.m.	1.9		
Totals			1.9		
Bicycle Parking Calculations (Residential)					
Unit Area	Pkg Rate	Qty	LT	ST	
< 45 sq.m.	1.0	12	12	1.2	
> 45 sq.m.	1.25	22	27.5	2.2	
Totals			39.5	3.4	
Bicycle Parking Calculations (Commercial)					
Stall Type	Pkg Rate	Qty	LT	ST	
Long Term	1 per 400 sq.m.	77.4	0.19		
Short Term	1 per 100 sq.m.	77.4	0.8		
Totals			0.19	0.8	

34 Affordable Rentals + CRU - Urban Village



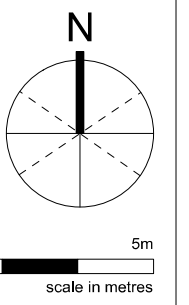
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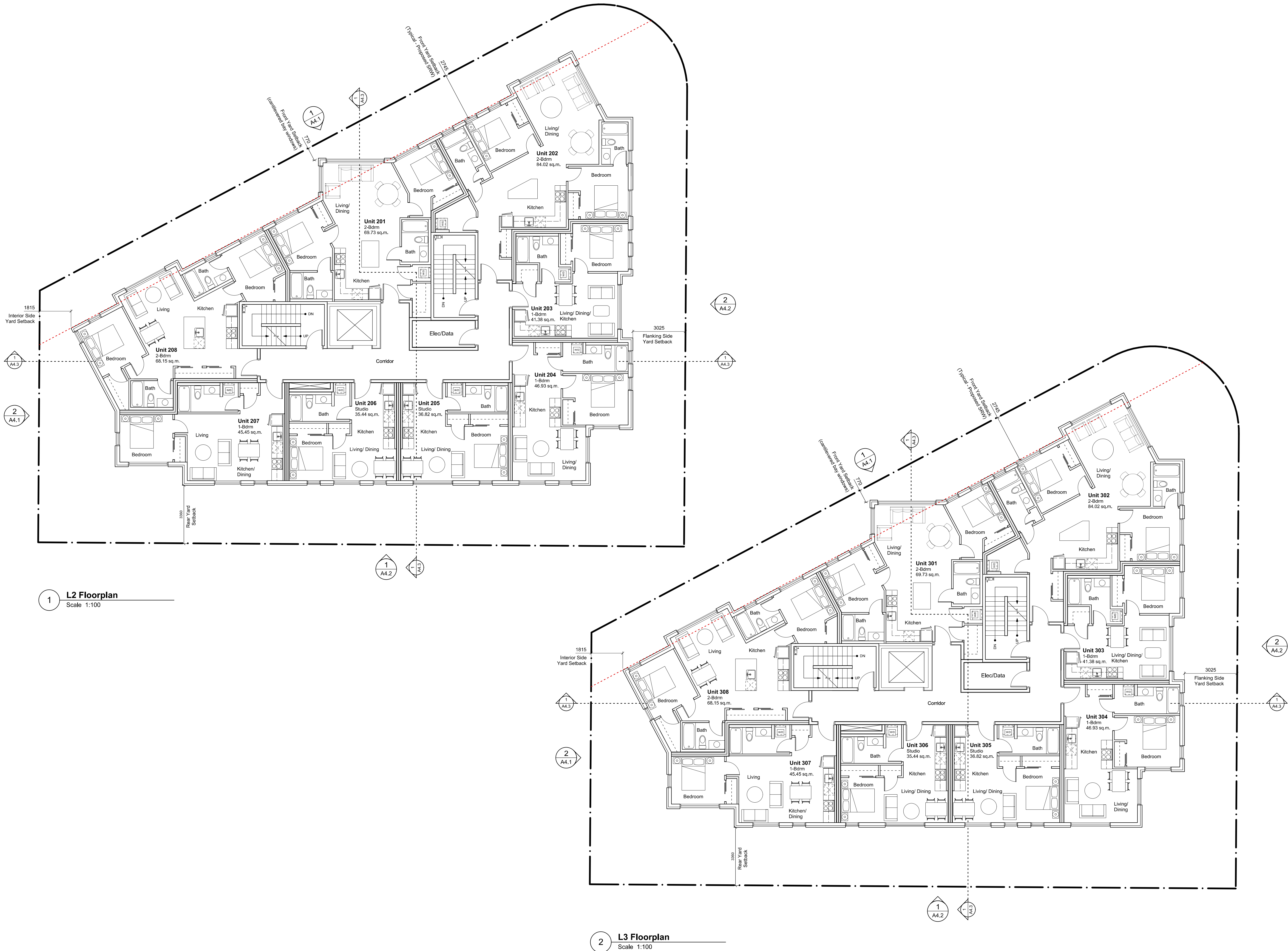
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project name
Rental Housing
1693 Fort Street

sheet title
L2 & L3 Floorplans

project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	November 03, 2021
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

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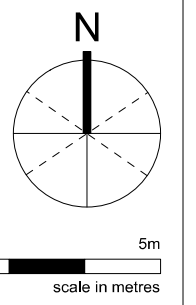




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rev no	description	date

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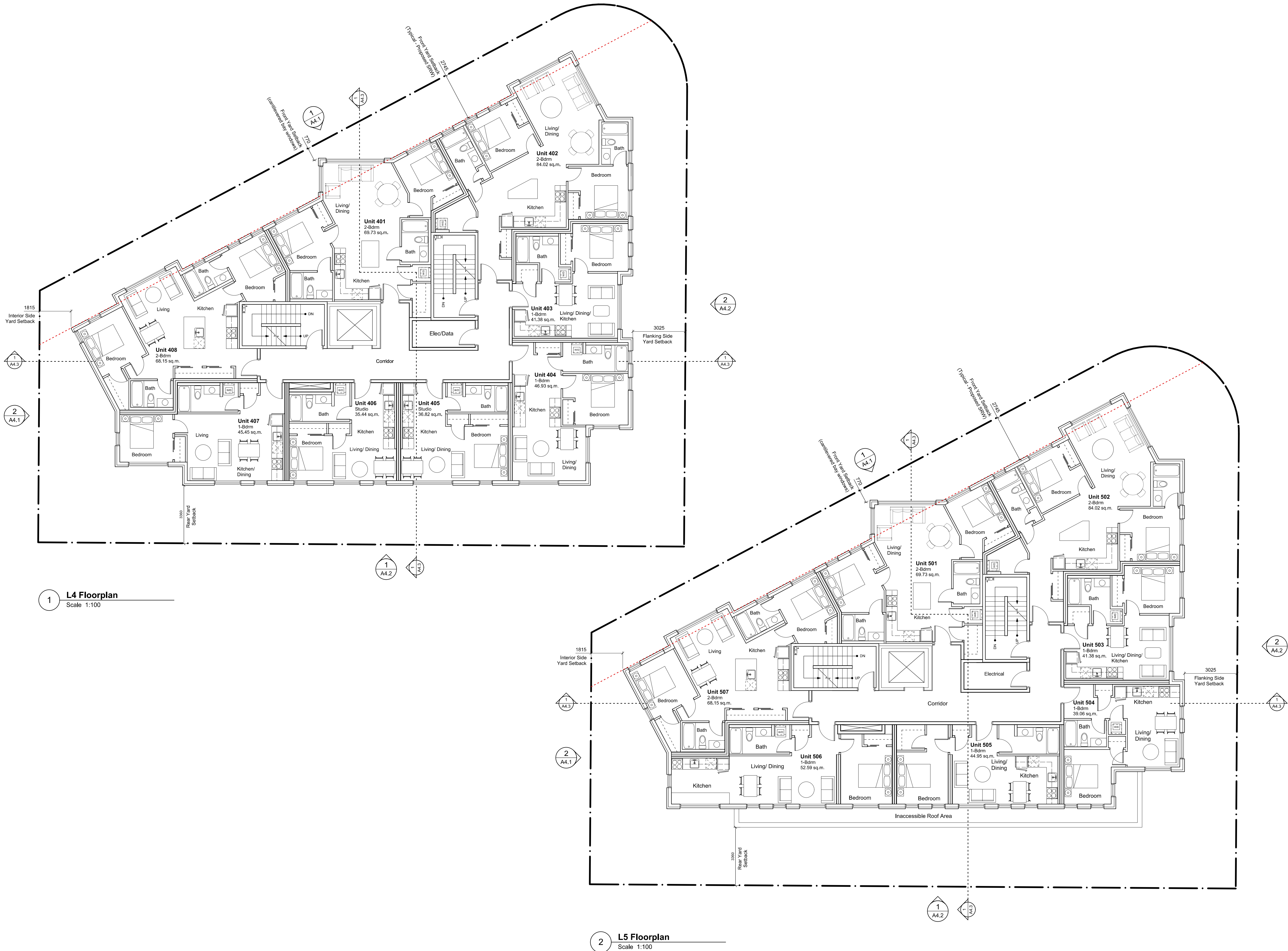
project name
Rental Housing
1693 Fort Street

sheet title
L4 & L5 Floorplans

project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	November 03, 2021
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

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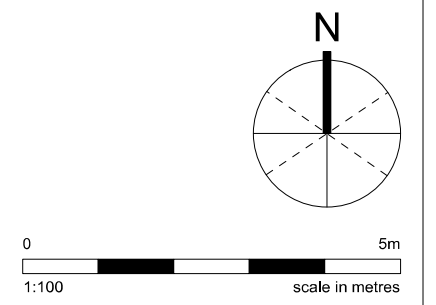
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 2. Refer to landscape architectural drawings for paving and plant materials information.
 3. Soffit-mounted exterior artwork subject to approval by the Director of Planning.



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rev no	description	date

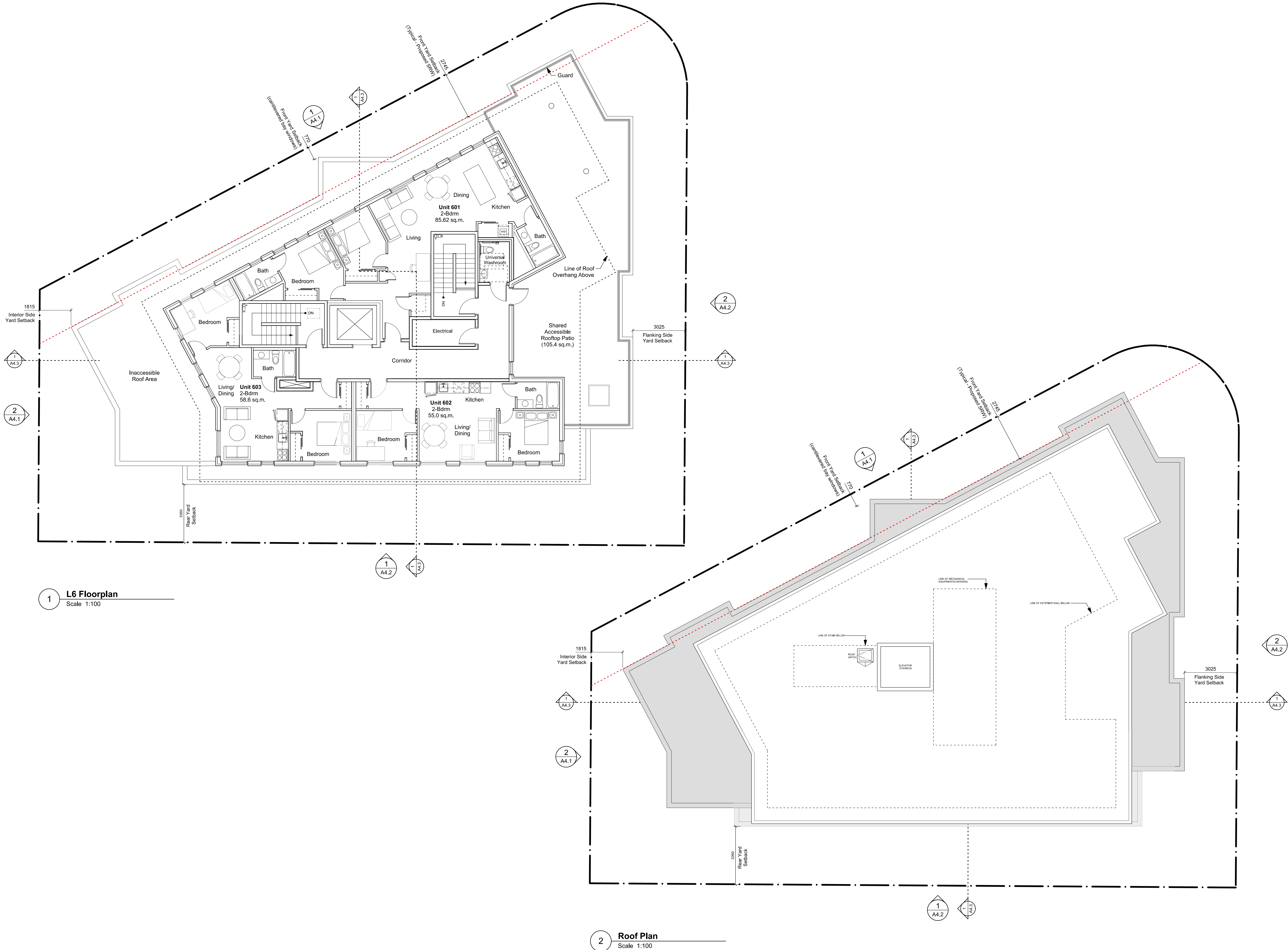
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project name
Rental Housing
1693 Fort Street

sheet title
L6 & Roof Floorplans

project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	November 03, 2021
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

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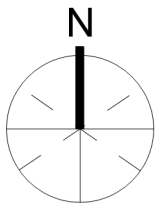




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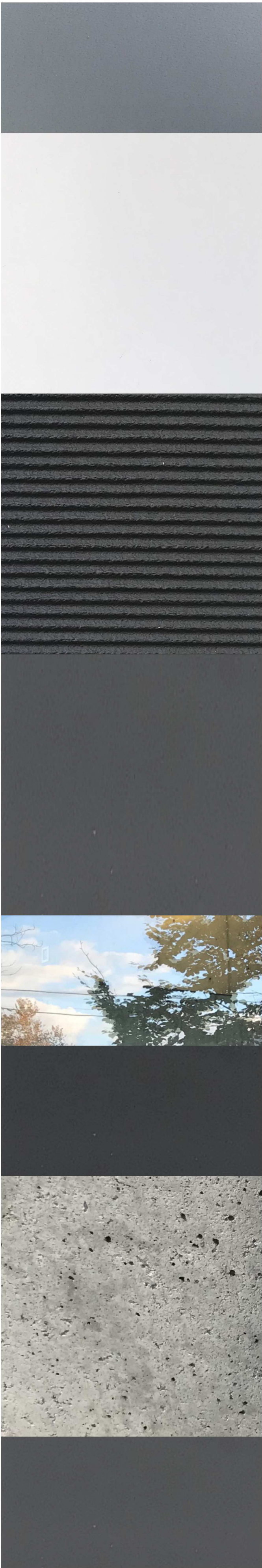
NOTES:

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0 5m
1:100 scale in metres

Material Examples

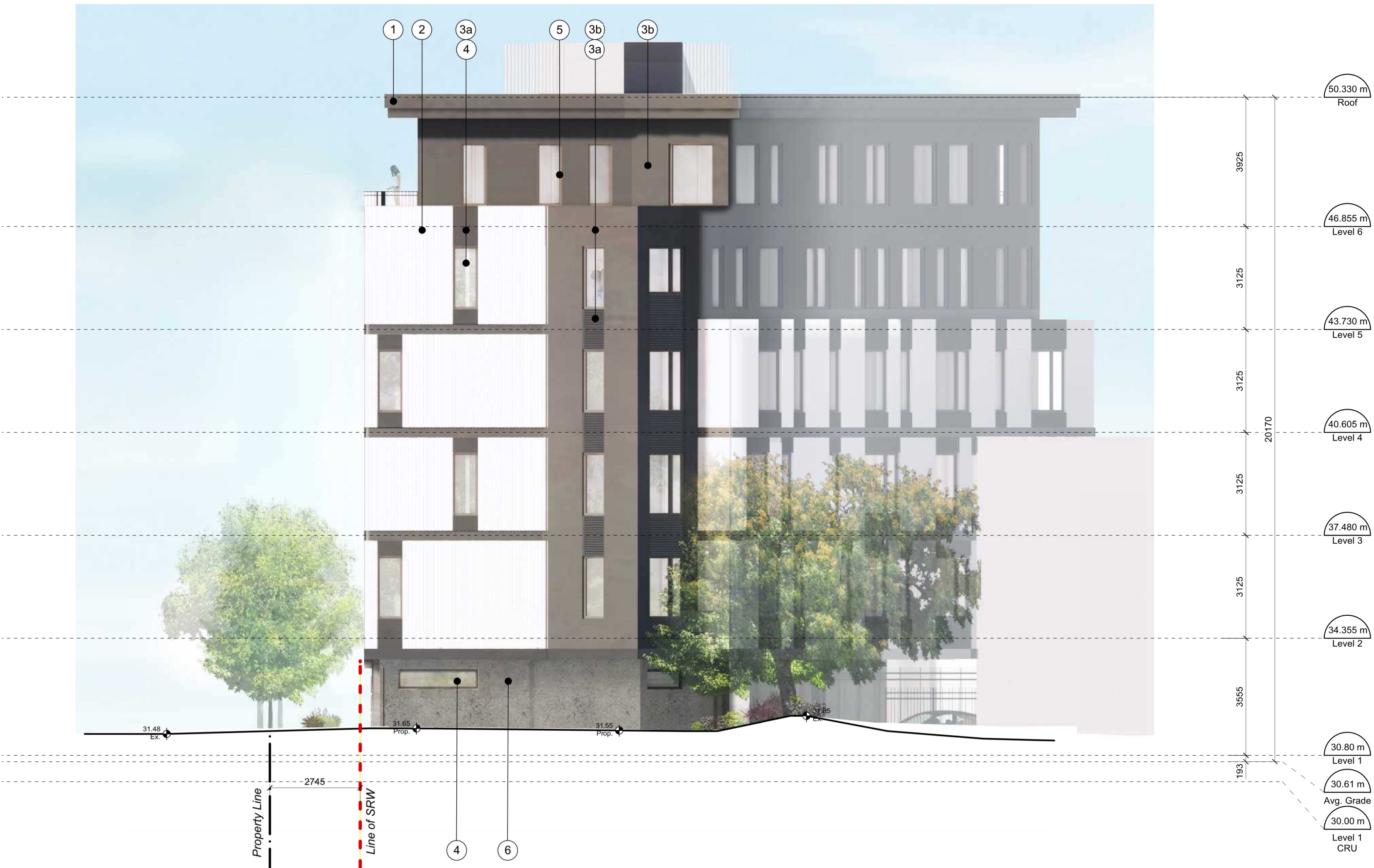


Finish Legend

- 1 Pre-finished Metal 'Weathered Zinc' (Mechanical Screen, Flashings and Parapets)
- 2 Corrugated Metal Cladding 'Surf White' (L2-L5 only)
- 3a Charcoal Ceraclad 'Zen Garden' (L2-L5 Only)
- 3b Charcoal Ceraclad 'Smooth' (L5-L6 Only)
- 4 Glazing
- 5 Black Vinyl Window Frames (L1 to L6)
- 6 Exposed Concrete (Ground Level Only)
- 7 Painted Metal Picket Guard



1 North Elevation
Scale 1:100



2 West Elevation
Scale 1:100

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1693 Fort Street

sheet title
Elevations - North and West

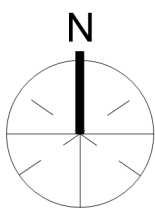
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checked by	ES
revision no.	sheet no.



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0 5m
1:100 scale in metres

4	Rezoning and DP	21/11/03
3	Rezoning and DP	21/05/11
2	Rezoning and DP	21/04/29
1	Rezoning and DP	21/01/22
0	Rezoning and DP	20/11/18

rev no	description	date
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project name
Rental Housing
1693 Fort Street

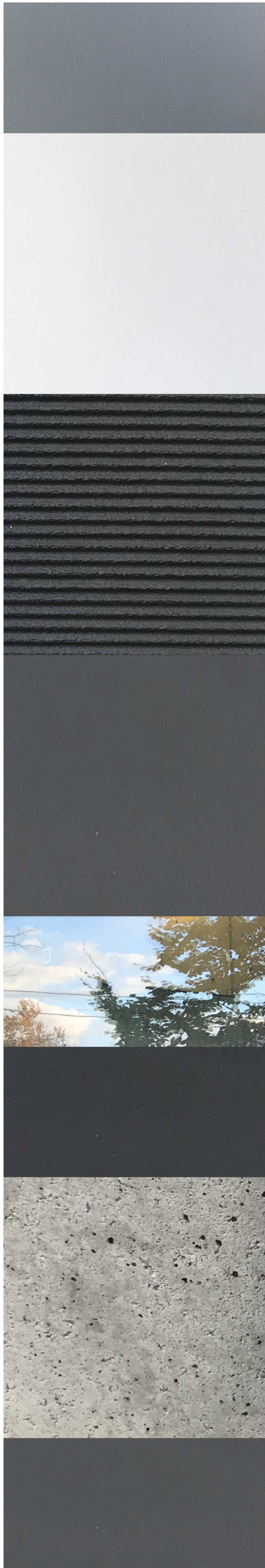
sheet title
Elevations - South and East

project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	November 03, 2021
scale	As Noted
drawn by	MZ
checked by	ES
revision no.	sheet no.

4

A4.2

Material Examples



Finish Legend

- 1 Pre-finished Metal 'Weathered Zinc' (Mechanical Screen, Flashings and Parapets)
- 2 Corrugated Metal Cladding 'Surf White' (L2-L5 only)
- 3a Charcoal Ceraclad 'Zen Garden' (L2-L5 Only)
- 3b Charcoal Ceraclad 'Smooth' (L5-L6 Only)
- 4 Glazing
- 5 Black Vinyl Window Frames (L1 to L6)
- 6 Exposed Concrete (Ground Level Only)
- 7 Painted Metal Picket Guard



1 South Elevation
Scale 1:100



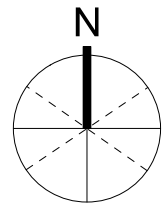
2 East Elevation
Scale 1:100



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0	Rezoning and DP	20/11/18

rev no	description	date
--------	-------------	------

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project name

Rental Housing

1693 Fort Street

sheet title

Building Sections

project no. 20-17

drawing file 20-17 1693 Fort Street CURRENT.vwx

date issued November 03, 2021

scale As Noted

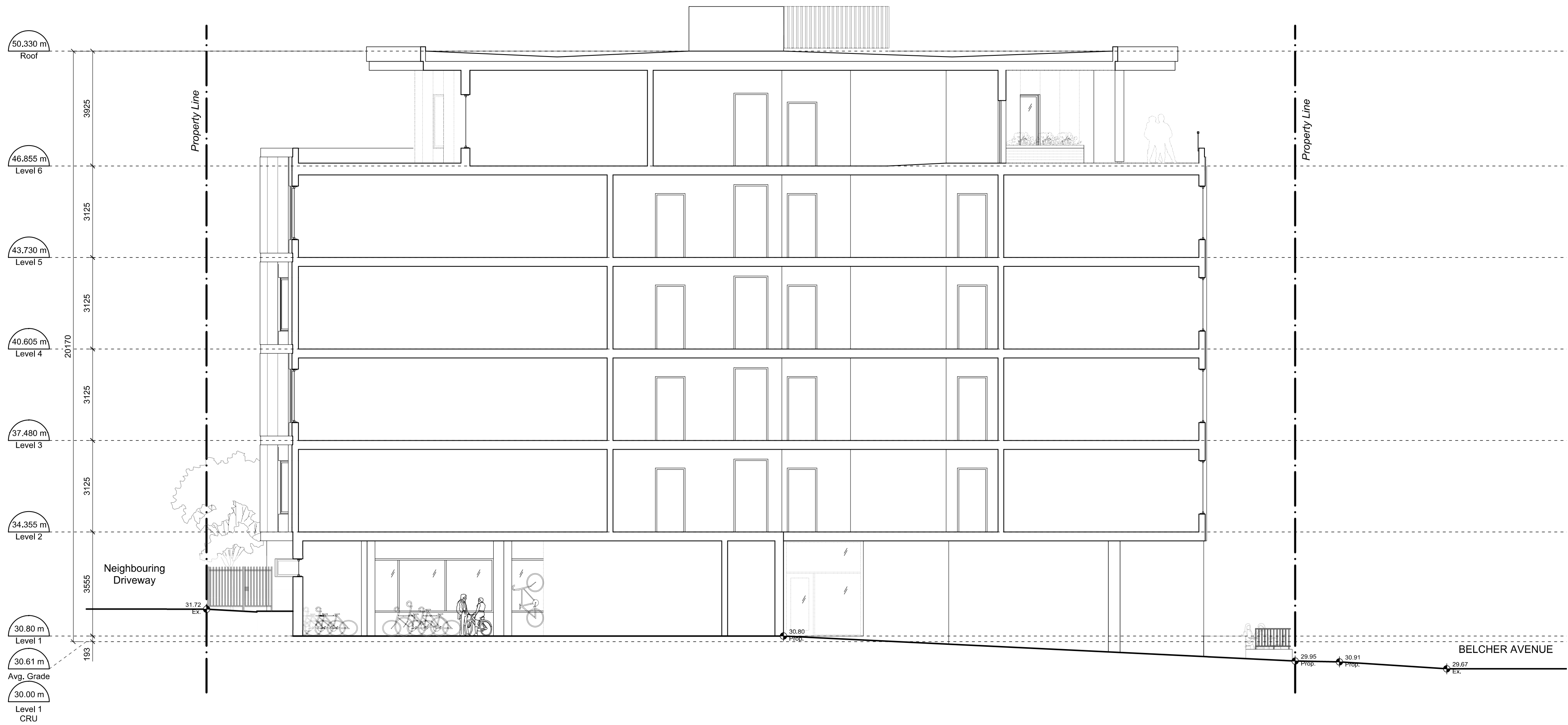
drawn by MZ

checked by ES

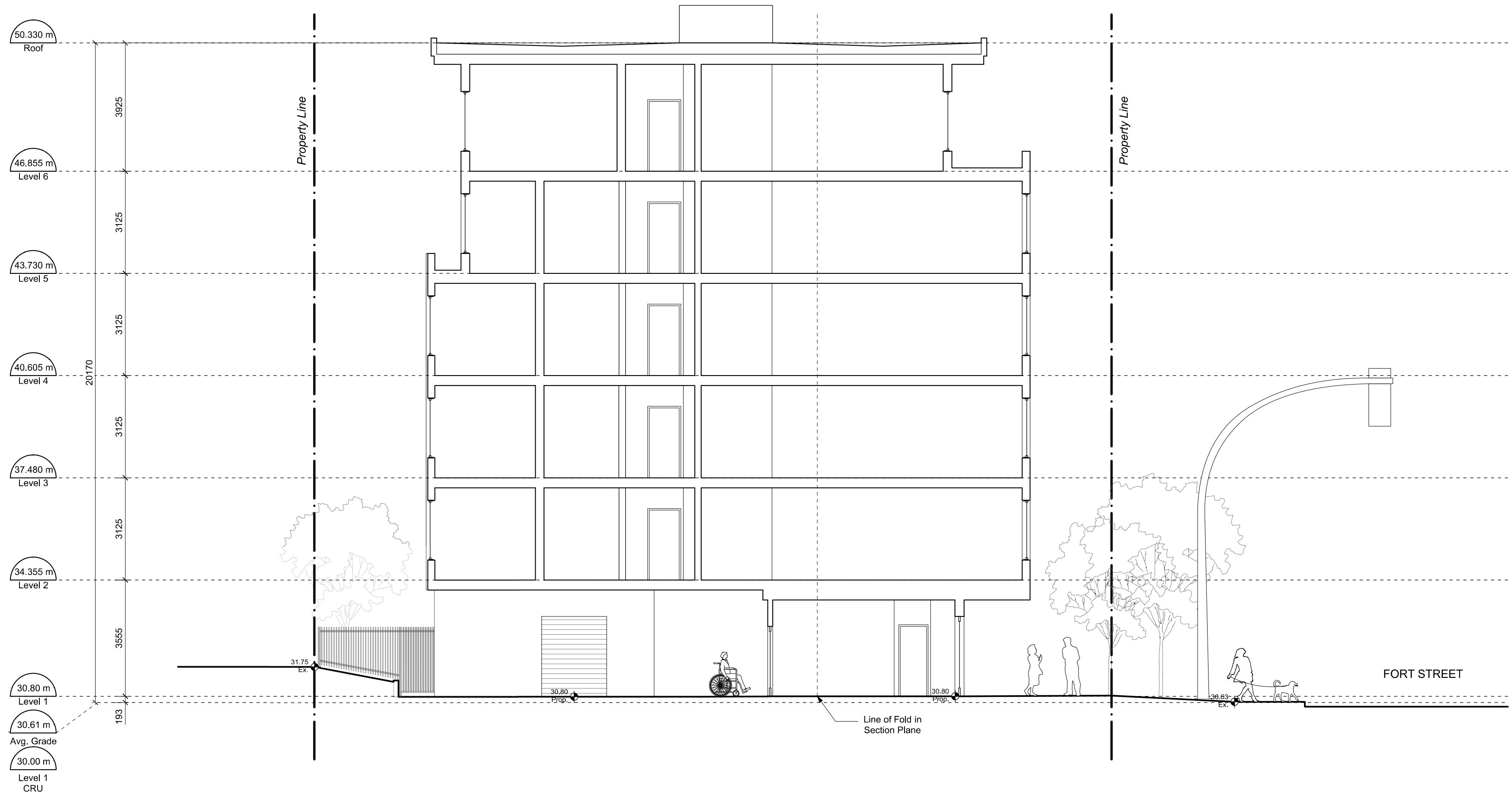
revision no. sheet no.

4

A4.3



1 Section 1
Scale 1:100



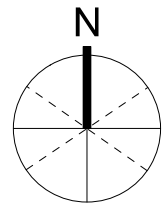
2 Section 2
Scale 1:100



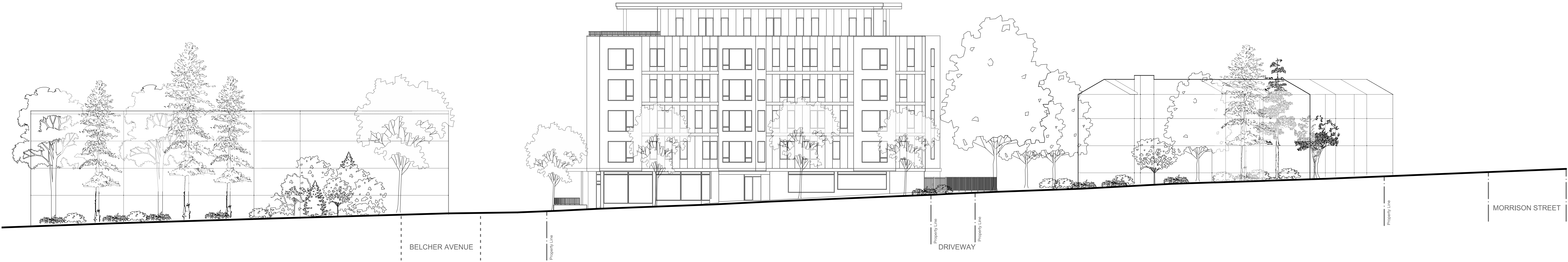
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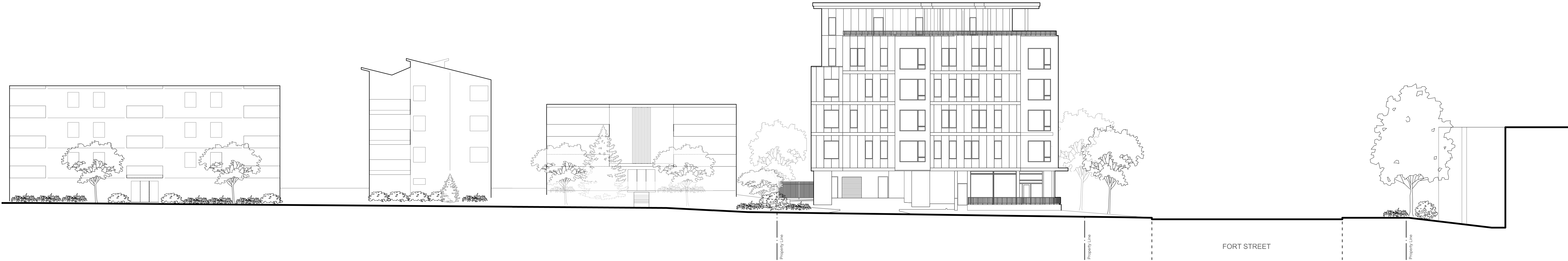


0 5m
1:100 scale in metres



1 Fort Street Context Elev.

Scale 1:100



2 Belcher Ave Context Elev.

Scale 1:100

4	Rezoning and DP	21/11/03
3	Rezoning and DP	21/05/11
2	Rezoning and DP	21/04/29
1	Rezoning and DP	21/01/22
0	Rezoning and DP	20/11/18

rev no	description	date
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project name
Rental Housing
1693 Fort Street

sheet title
Context Elevations

project no.	20-17
drawing file	20-17 1693 Fort Street CURRENT.vwx
date issued	November 03, 2021
scale	As Noted
drawn by	MZ
checked by	ES

revision no.	sheet no.
4	A4.4

Biophilia Design Collective Ltd.
250.590.1156
Info@biophiliacollective.ca

CLIENT NAME
ARYZE Developments

PROJECT
Rental Housing

ADDRESS
1693 Fort St.
Victoria BC

DESIGNED BY

Bianca Bodley

DRAWN BY

KH

REVISIONS:

1 ISSUED FOR RE-ZONING AND DEVELOPMENT PERMIT 2021-01-25

RESUBMISSION REVISIONS:
*Refer to document 1693 - 1699
Fort St TRG Responses included
with this re-submission for
revision descriptions.*



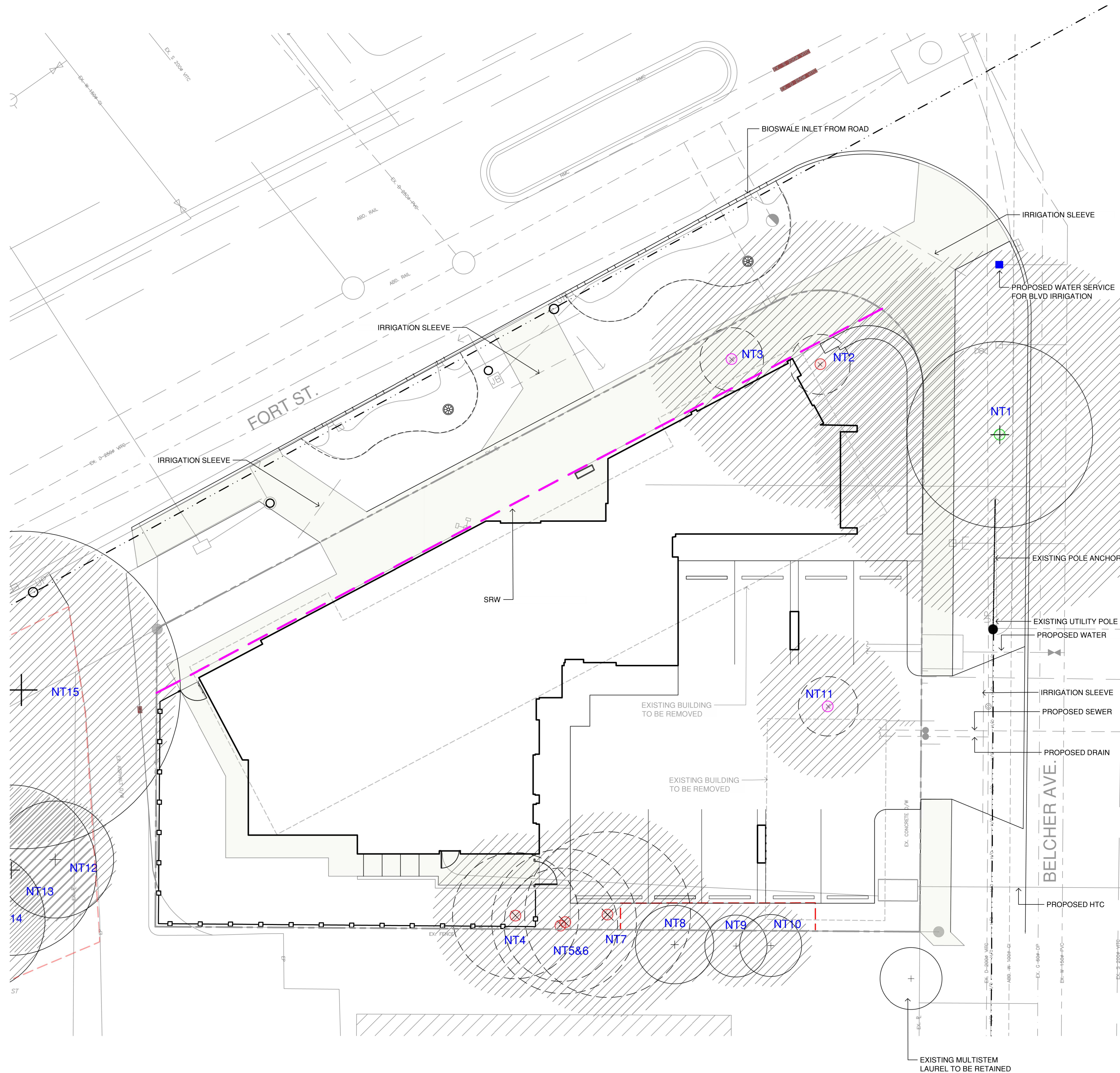
RE-ISSUED FOR
REZONING AND
DEVELOPMENT PERMIT
NOVEMBER 3, 2021

Scale: 1:100



L0 Tree Removal &
Protection Plan

DATE: NOVEMBER, 2021



TREE IMPACT SUMMARY TABLE					
TREE STATUS	TOTAL	To be RETAINED	To be REMOVED	REPLACEMENTS REQUIRED	To be PLANTED
ON-SITE TREES BYLAW PROTECTED	5		5	10	8
ON-SITE TREES, NOT BYLAW PROTECTED	2		2		
MUNICIPAL TREES	1	1		0	4
NEIGHBORING TREES, BYLAW PROTECTED	4	4			
NEIGHBORING TREES, NOT BYLAW PROTECTED	3	3			
TOTAL	15	7	8	10	14

REPLACEMENT TREES REQUIRED	10
REPLACEMENT TREES PROPOSED	8
REPLACEMENT TREE SHORTFALL	2

LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXTENT OF CRITICAL ROOT ZONE
SEE ARBORIST REPORT
PREPARED BY TALBOT
MACKENZIE & ASSOCIATES
- TREE PROTECTION FENCING
TO OUTSIDE OF DRUPLINE WHERE
POSSIBLE (AS SHOWN)
TO BE MAINTAINED UNTIL
COMPLETION OF CONSTRUCTION
TO MUNICIPAL STANDARD
- MUNICIPAL TREE TO BE RETAINED
(ARBORIST TO BE PRESENT DURING
EXCAVATION)
- PROTECTED TREE FOR REMOVAL
- TREE FOR REMOVAL

**SUPPLEMENTARY STANDARD
DETAIL DRAWINGS**

**TREE PROTECTION FENCING
AND SIGNAGE DETAIL**

REVISIONS: DRAWING NUMBER:
SD P1

Inventory date: September 9, 2020

Tree Resource Spreadsheet - 1693 Fort Street

Page 1 of 2

Common Name	Latin Name	DBH (cm) ~ approximate	Crown Spread (distance in metres)	CRZ (radius in metres)	Relative Tolerance (good, moderate, poor)	Health	Structure	Remarks and Recommendations	Bylaw Protected	Retention Status	Impacts
Cherry	<i>Prunus spp.</i>	73 below union	10.0	9.0	Moderate	Fair	Fair-poor	Municipal tree. Decay in most pruning wounds.	Yes (municipal)	Retain*	Water services, sidewalk, building footprint
Lawson Cypress	<i>Chamaecyparis lawsonia</i>	47 (25 + 60% of 20, 16)	3.0	7.0	Poor	Good	Fair	Close proximity to building foundation. Sheared and topped.	Yes (by multi stem calculation)	X	Within building footprint
Lawson Cypress	<i>Chamaecyparis lawsonia</i>	27.0	3.0	4.0	Poor	Good	Fair	Close proximity to building foundation. Sheared and topped.	No	X	Within sidewalk footprint
Elm	<i>Ulmus spp.</i>	33.0	6.0	4.0	Moderate	Fair	Fair	Leaf miner cosmetic damage. Surface roots. Appears to be 3 more in the row that were removed to the west.	Yes	X	Conflict with foundation, sidewalk
Elm	<i>Ulmus spp.</i>	34.0	7.0	4.0	Moderate	Fair	Fair	Topped previously. Leaf miner cosmetic damage. Surface roots. Appears to have been 3 more in the row that were removed (to the west).	Yes	X	Conflict with foundation, sidewalk
Elm	<i>Ulmus spp.</i>	33.0	5.0	4.0	Moderate	Fair	Fair	Leaf miner cosmetic damage. Surface roots. Appears to have been 3 more in the row that were removed (to the west).	Yes	X	Conflict with foundation, sidewalk
Elm	<i>Ulmus spp.</i>	43.0	8.0	5.0	Moderate	Fair	Fair	Leaf miner cosmetic damage. Surface roots. Appears to have been 3 more in the row that were removed (to the west).	Yes	X	Conflict with foundation, sidewalk, and parking lot
Crabapple	<i>Malus spp.</i>	~20	4.0	2.0	Good	Fair	Fair	Clearance pruned. Neighbour's trees. Ivy covered.	No	Retain	Parking lot
Crabapple	<i>Malus spp.</i>	~20	3	2.0	Good	Fair	Fair	Clearance pruned. Neighbour's trees. Ivy covered.	No	Retain	Parking lot
Crabapple	<i>Malus spp.</i>	~20	3	2.0	Good	Fair	Fair	Clearance pruned. Neighbour's trees. Ivy covered.	No	Retain	Parking lot
Beech (purple)	<i>Fagus sylvatica</i>	23	4	3.5	Poor	Good	Good	Close proximity to carport foundation. Some clearance pruning previously.	No	X	Within parking lot footprint
Austrian Pine	<i>Pinus nigra</i>	~30	7.0	3.0	Good	Fair	Good	Asymmetric crown. Elevated from subject property 45cm, protected by retaining wall. Barrier fencing due to development on neighbouring property.	Yes (if estimate is correct)	Retain	Driveway widening/resurfacing
Austrian Pine	<i>Pinus nigra</i>	~40	8	4.0	Good	Fair	Fair-poor	Codominant leaders with included bark, swelling from reaction wood. Asymmetric crown	Yes (if estimate is correct)	Retain	Driveway widening/resurfacing

Common Name	Latin Name	DBH (cm) ~ approximate	Crown Spread (distance in metres)	CRZ (radius in metres)	Relative Tolerance (good, moderate, poor)	Health	Structure	Remarks and Recommendations	Bylaw Protected	Retention Status	Impacts
Austrian Pine	<i>Pinus nigra</i>	~35	9	3.5	Good	Fair	Good	Asymmetric crown.	Yes (if estimate is correct)	Retain	Driveway widening/resurfacing
Garry Oak	<i>Quercus garryana</i>	~60	15	6.0	Good	Good	Fair	May be municipal or co-owned. Codominant leaders with included bark. Barrier fencing due to development on neighbouring property.	Yes	Retain	Driveway widening/resurfacing

Prepared by:
Talbot Mackenzie & Associates
ISA Certified and Consulting Arborists
Phone: (250) 479-8733
Fax: (250) 479-7550
email: tmtreehelp@gmail.com

CLIENT NAME
ARYZE Developments

PROJECT
Rental Housing

ADDRESS
1693 Fort St.
Victoria BC

DESIGNED BY

Bianca Bodley

DRAWN BY

KH

REVISIONS:

1 ISSUED FOR RE-ZONING AND DEVELOPMENT PERMIT 2021-01-25

RESUBMISSION REVISIONS:
Refer to document 1693 - 1699
Fort St TRG Responses included
with this re-submission for
revision descriptions.



RE-ISSUED FOR
REZONING AND
DEVELOPMENT PERMIT
NOVEMBER 3, 2021

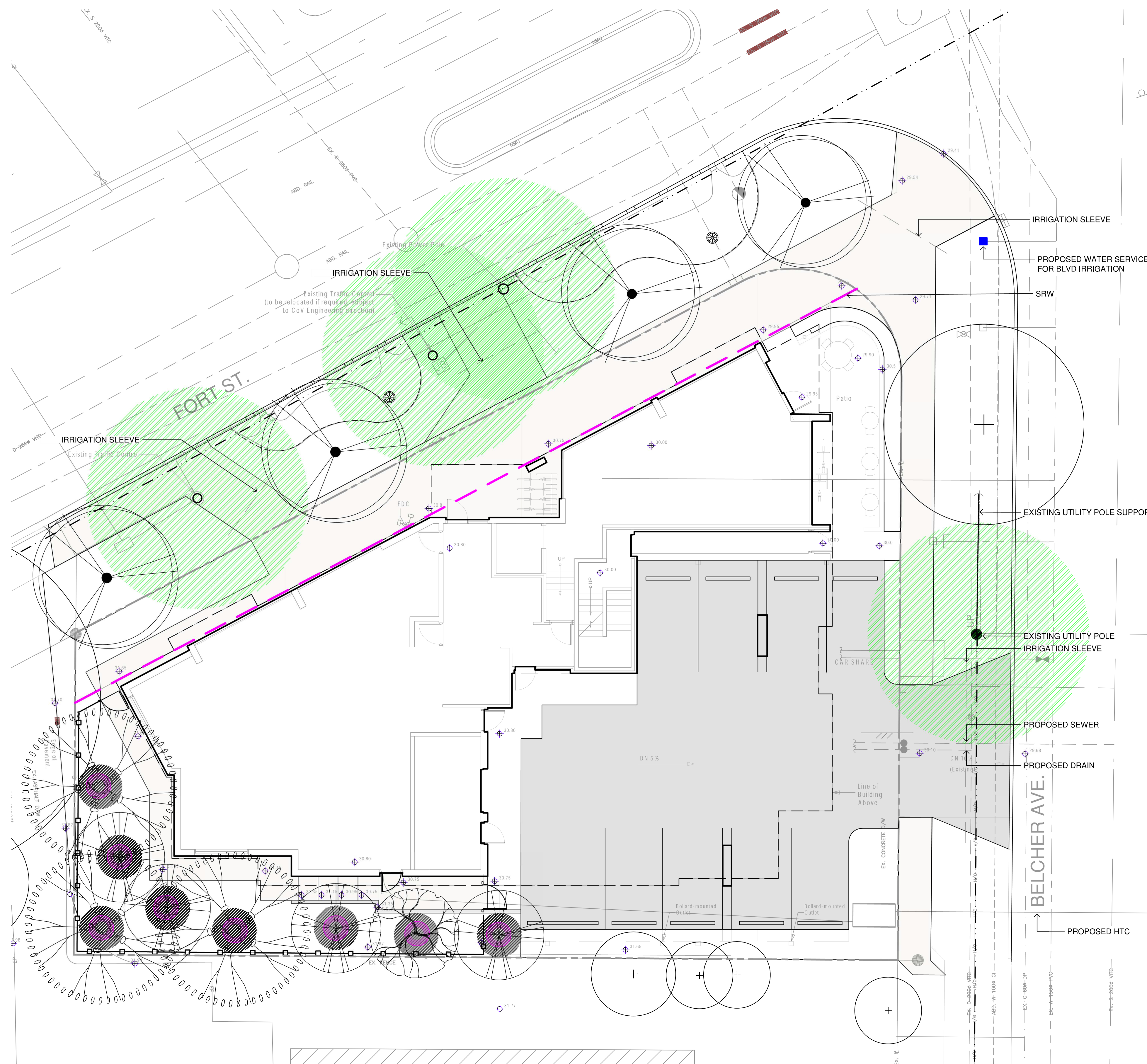
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L1 Landscape Site
Plan

DATE: NOVEMBER, 2021

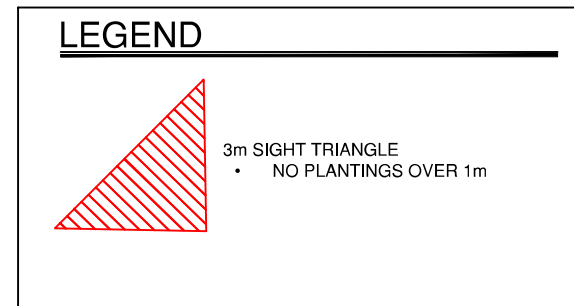
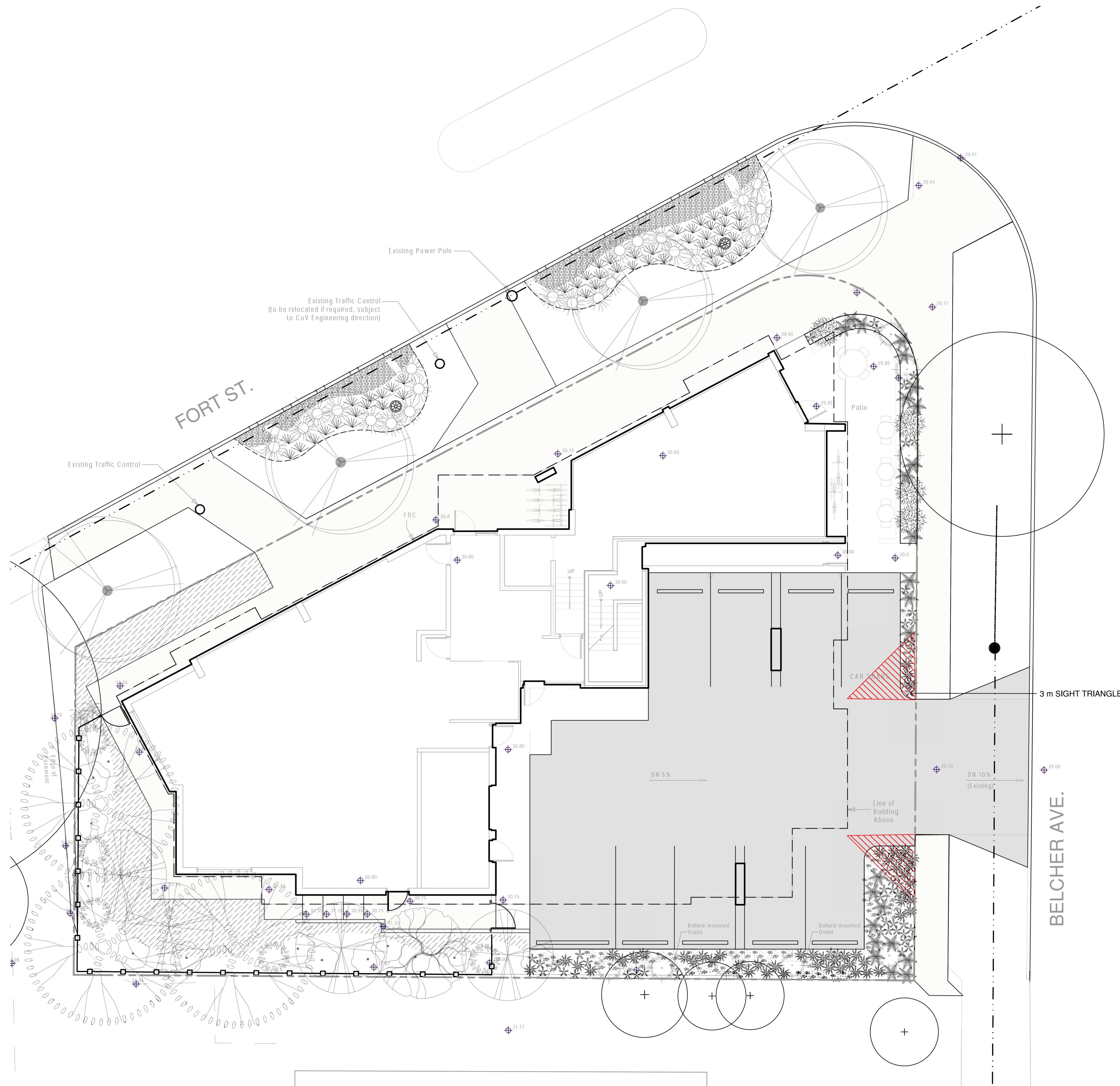




LEGEND	
	REPLACEMENT TREE
TREE PLANTING RESTRICTIONS	
	OVERHEAD POWER LINE
	5.0 m OFFSET FROM HYDRO OR LIGHT POLE
	1.0 m OFFSET FROM PAVING & UTILITIES
	EXISTING TREE TO REMAIN

TREE IMPACT SUMMARY TABLE					
TREE STATUS	TOTAL	To be RETAINED	To be REMOVED	REPLACEMENTS REQUIRED	To be PLANTED
ON-SITE TREES BYLAW PROTECTED	5		5	10	8
ON-SITE TREES, NOT BYLAW PROTECTED	2		2		
MUNICIPAL TREES	1	1		0	4
NEIGHBORING TREES, BYLAW PROTECTED	4	4			
NEIGHBORING TREES, NOT BYLAW PROTECTED	3	3			
TOTAL	15	7	8	10	14
REPLACEMENT TREES REQUIRED	10				
REPLACEMENT TREES PROPOSED	8				
REPLACEMENT TREE SHORTFALL	2				

TREE SCHEDULE						
Quantity	Symbol	Latin Name	Common Name	Container	Caliper	Native
2		Acer circinatum	Vine maple	B&B	4cm	yes
4		Cornus 'Eddie's White Wonder'	Eddie's White Wonder Flowering Dogwood	B&B	4cm	yes
3		Quercus garryana	Garry oak	B&B	4 cm	yes
MUNICIPAL						
4		BOULEVARD TREE TO BE DETERMINED BY PARKS AT BP		B&B	4cm	



PLANT SCHEDULE						
Quantity	Symbol	Latin Name	Common Name	Container	Native	Pollinator
54	✱	Blechnum spicant	Deer Fern	#1	y	
2	✱	Cornus canadensis	Creeping dogwood	tray	y	y
22	☀	Cornus sericea 'Kelseyi'	Kelseyi dogwood	#2		
7	☀	Gaultheria shallon	Salal	#2	Y	
58	✱	Juncus effusus	Common rush	#1	y	
51	✱	Mahonia nervosa	Oregon Grape	#1	y	
4	✱	Pinus Mugo	Dwarf Mugo pine	#2		
29	✱	Ploystichum munitum	Western sword fern	#1	y	
6	✱	Ribes sanguineum	Red-flowering currant	#2		y
14	✱	Symphoricarpos albus	Snowberry	#2	y	y
	✱	Native Meadow Seed Mix		hydro-seed	y	y

NOTES:
1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.

