

1961 DOUGLAS ST

RESPONSE TO REZONING AND DEVELOPMENT PERMIT APPLICATION - DECEMBER 9, 2022



**Musson
Cattell
Mackey
Partnership**

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PROJECT INFORMATION

PROJECT ADDRESS	1961 DOUGLAS STREET, VICTORIA BC	710 CALEDONIA AVE, VICTORIA BC	
LEGAL DESCRIPTION	LOT A OF LOTS 736, 747, 748, 749 & 752 VIP 24557	LOT 1 OF LOTS 732, 633, 634 & 735 VIP 23509	
EXISTING ZONING	ZONING: T-1	ZONING: C-1	
PROPOSED ZONING	CD		
SITE AREA	72,357.5 sf (6,722.2 m ²)		
TOTAL FLOOR AREA	491,227 sf (45,636.5 m ²)		
COMMERCIAL FLOOR AREA	99,852 sf (9,276.5 m ²)		
FLOOR SPACE RATIO	6.79 FSR <i>(1.38 FSR COMMERCIAL + 5.41 FSR RESIDENTIAL)</i>		
HEIGHT OF BUILDINGS	BUILDING A = 54.785 m BUILDING B = 71.955 m BUILDING C = 64.843 m		
NUMBER OF STOREYS	BUILDING A = 16 STOREYS BUILDING B = 21 STOREYS BUILDING C = 20 STOREYS		
PARKING STALLS	420 PARKING STALLS <i>(164 COMMERCIAL + 256 RESIDENTIAL)</i>		
BICYCLE PARKING	605 CLASS 1 BICYCLE SPACES 84 CLASS 2 BICYCLE SPACES		
BUILDING SETBACKS	BUILDING B FROM SOUTH PL = 0 m BUILDING A FROM NORTH PL = 0 m BUILDING C FROM NORTH PL = 0 m BUILDING A FROM EAST PL = 0 m BUILDING C FROM WEST PL = 0 m		
TOTAL NUMBER OF RESIDENTIAL UNITS	BUILDING A = 133 UNITS BUILDING B = 147 UNITS BUILDING C = 171 UNITS		
UNIT TYPES	BUILDING A STUDIO = 40.6% 1 BED = 25.5% 2 BED = 22.6% 3 BED = 11.3%	BUILDING B STUDIO = 0% 1 BED = 59.9% 2 BED = 30.6% 3 BED = 9.5%	BUILDING C STUDIO = 11.1% 1 BED = 53.8% 2 BED = 30.4% 3 BED = 4.7%
MINIMUM UNIT FLOOR AREA	BUILDING A = 334 sf (31 m ²) BUILDING B = 480 sf (45 m ²) BUILDING C = 420 sf (39 m ²)		
RESIDENTIAL FLOOR PLATE SIZE	BUILDING A = 6,275 sf (582.97 m ²) BUILDING B = 7,175 sf (666.58 m ²) BUILDING C = 7,100 sf (658.61 m ²)		
TOTAL RESIDENTIAL FLOOR AREA	BUILDING A = 107,016 sf (9,942.11 m ²) BUILDING B = 142,853 sf (13,271.50 m ²) BUILDING C = 141,506 sf (13,146.30 m ²)		

DRAWING LIST

24"X36" SHEETS

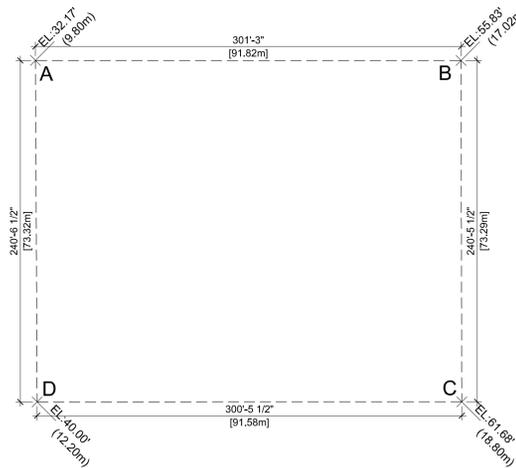
11"X17" SHEETS

A000	PROJECT STATISTICS	N.T.S	N.T.S
A001	CONTEXT PLAN	N.T.S	N.T.S
A002	CIVIL PLAN	N.T.S	N.T.S
A003	SITE PLAN EXISTING	1/16" = 1'-0"	1/32" = 1'-0"
A004	SITE PLAN PROPOSED	1/16" = 1'-0"	1/32" = 1'-0"
A005	FIRE DEPT. ACCESS PLAN	1/16" = 1'-0"	1/32" = 1'-0"
A101	FLOOR PLAN P2	1/16" = 1'-0"	1/32" = 1'-0"
A102	FLOOR PLAN P1	1/16" = 1'-0"	1/32" = 1'-0"
A103	FLOOR PLAN LOWER GROUND	1/16" = 1'-0"	1/32" = 1'-0"
A104	FLOOR PLAN UPPER GROUND	1/16" = 1'-0"	1/32" = 1'-0"
A105	FLOOR PLAN GROCERY LEVEL	1/16" = 1'-0"	1/32" = 1'-0"
A106	FLOOR PLAN OFFICE + DAYCARE LEVEL	1/16" = 1'-0"	1/32" = 1'-0"
A107	FLOOR PLAN OFFICE LEVELS	1/16" = 1'-0"	1/32" = 1'-0"
A108	FLOOR PLAN RESIDENTIAL LEVEL 05	1/16" = 1'-0"	1/32" = 1'-0"
A109	FLOOR PLAN RESIDENTIAL LEVELS 06-14	1/16" = 1'-0"	1/32" = 1'-0"
A110	FLOOR PLAN RESIDENTIAL LEVELS 15-18	1/16" = 1'-0"	1/32" = 1'-0"
A111	FLOOR PLAN RESIDENTIAL LEVELS 19	1/16" = 1'-0"	1/32" = 1'-0"
A112	FLOOR PLAN RESIDENTIAL LEVELS 20	1/16" = 1'-0"	1/32" = 1'-0"
A113	FLOOR PLAN RESIDENTIAL LEVEL 21	1/16" = 1'-0"	1/32" = 1'-0"
A114	FLOOR PLAN ROOF LEVELS	1/16" = 1'-0"	1/32" = 1'-0"
A200	BUILDING SECTION A	1/16" = 1'-0"	1/32" = 1'-0"
A201	BUILDING SECTION B	1/16" = 1'-0"	1/32" = 1'-0"
A202	BUILDING SECTION C	1/16" = 1'-0"	1/32" = 1'-0"
A203	BUILDING SECTION D	1/16" = 1'-0"	1/32" = 1'-0"
A204	BUILDING SECTION E	1/16" = 1'-0"	1/32" = 1'-0"
A205	BUILDING SECTION F	1/16" = 1'-0"	1/32" = 1'-0"
A300	BUILDING ELEVATION SOUTH	1/16" = 1'-0"	1/32" = 1'-0"
A301	BUILDING ELEVATION WEST	1/16" = 1'-0"	1/32" = 1'-0"
A302	BUILDING ELEVATION EAST	1/16" = 1'-0"	1/32" = 1'-0"
A303	BUILDING ELEVATION NORTH	1/16" = 1'-0"	1/32" = 1'-0"
A304	BUILDING A ELEVATION WEST	1/16" = 1'-0"	1/32" = 1'-0"
A305	BUILDING C ELEVATION EAST	1/16" = 1'-0"	1/32" = 1'-0"
A306	BUILDING B ELEVATION NORTH	1/16" = 1'-0"	1/32" = 1'-0"
A500	SHADOW / SUN STUDY	N.T.S	N.T.S
A501	3D VIEWS	N.T.S	N.T.S
A502	MATERIALS	N.T.S	N.T.S

AVERAGE GRADE CALCULATION

A-B [(9.80m + 17.02m)/2] X 91.82m = 1,231.31
 B-C [(17.02m + 18.80m)/2] X 73.29m = 1,312.62
 C-D [(18.80m + 12.20m)/2] X 91.58m = 1,419.49
 D-A [(12.20m + 9.80m)/2] X 73.32m = 806.52

AV. GRADE CALCULATION:
 4,769.94 / 330.10m = 14.45m



09 DECEMBER 2022	ISSUED FOR DP RESPONSE
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Revisions	YYYY-MM-DD

Seal
Douglas St

Victoria, BC
 Project

COVER & PROJECT INFO

Drawing
 Scale
 Project 221023
 Sheet **A000**

Revisions
 Bubbled areas indicate revisions compared to the previously submitted plans

Received Date
 December 15, 2022



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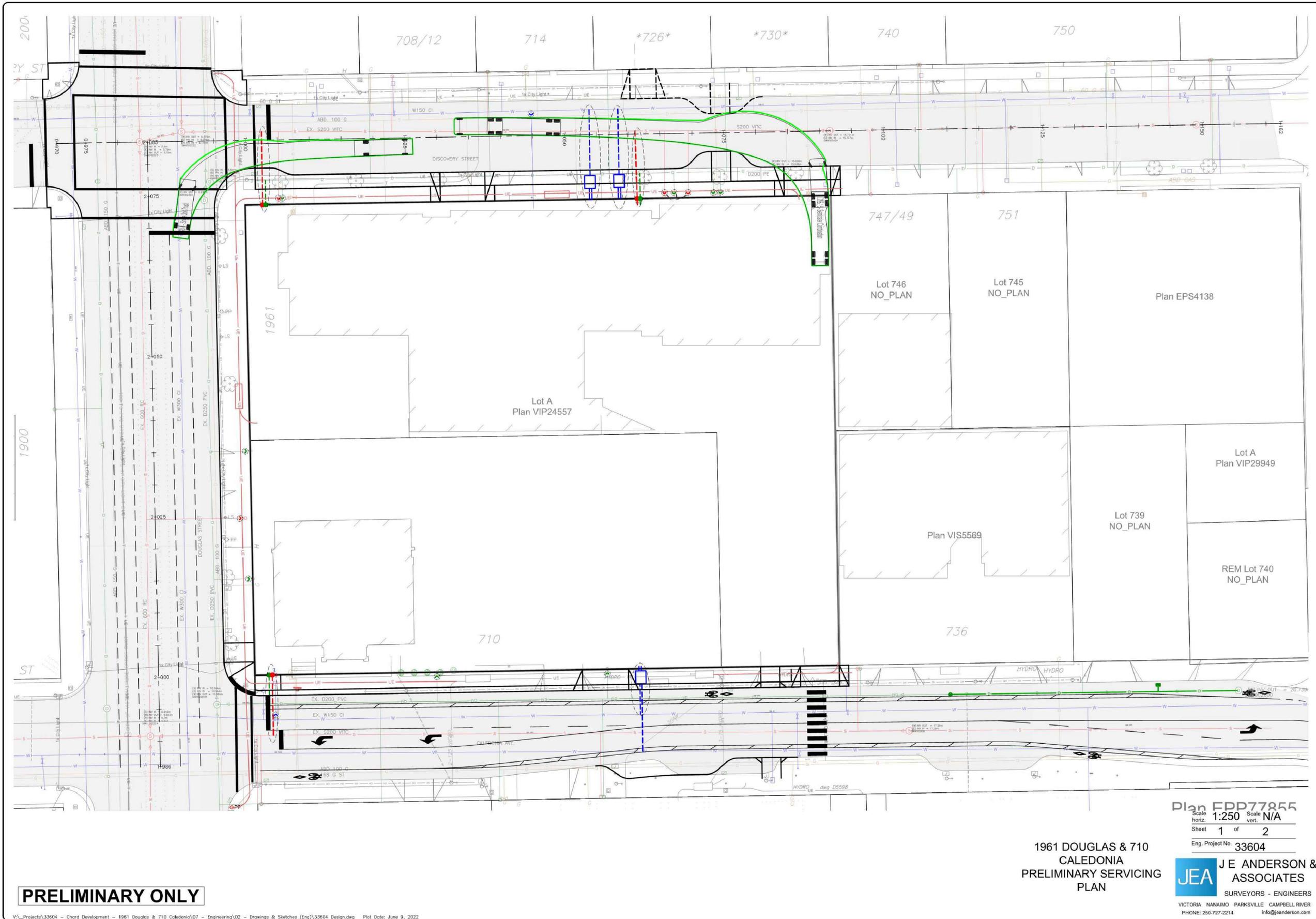
CONTEXT

Drawing

Scale

Project 221023

Sheet **A001**



PRELIMINARY ONLY

V:\Projects\33604 - Chard Development - 1961 Douglas & 710 Caledonia\07 - Engineering\02 - Drawings & Sketches (Eng)\33604 Design.dwg Plot Date: June 9, 2022

Plan EDP77855
 Scale: 1:250
 Sheet 1 of 2
 Eng. Project No. 33604

**1961 DOUGLAS & 710
 CALEDONIA
 PRELIMINARY SERVICING
 PLAN**

**JEA J E ANDERSON &
 ASSOCIATES**
 SURVEYORS - ENGINEERS
 VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
 PHONE: 250-727-2214 info@jeanderson.com

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 Project

CIVIL

Drawing
 Scale
 Project 221023

Sheet **A002**



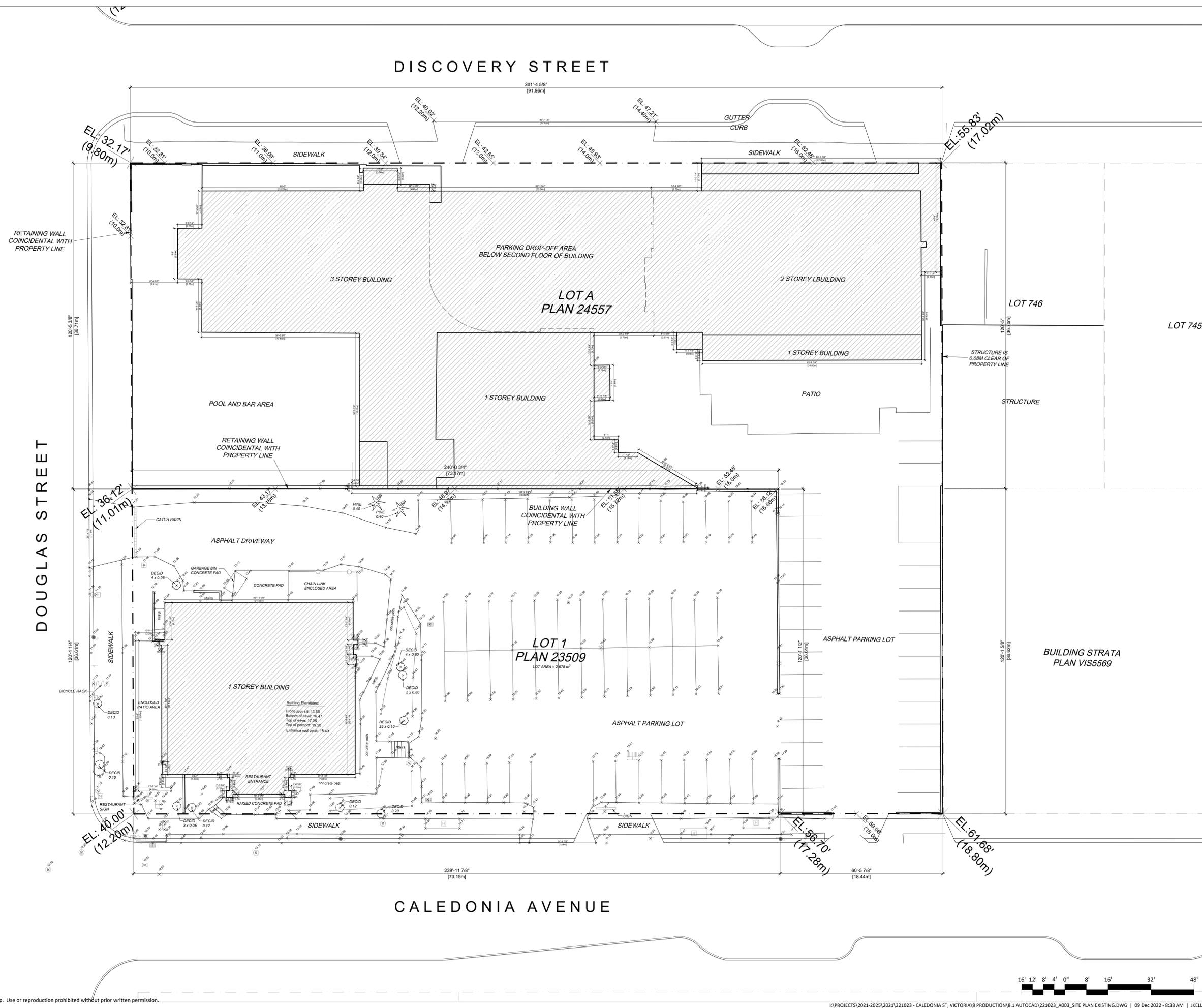
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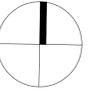
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SITE PLAN
EXISTING

Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet A003





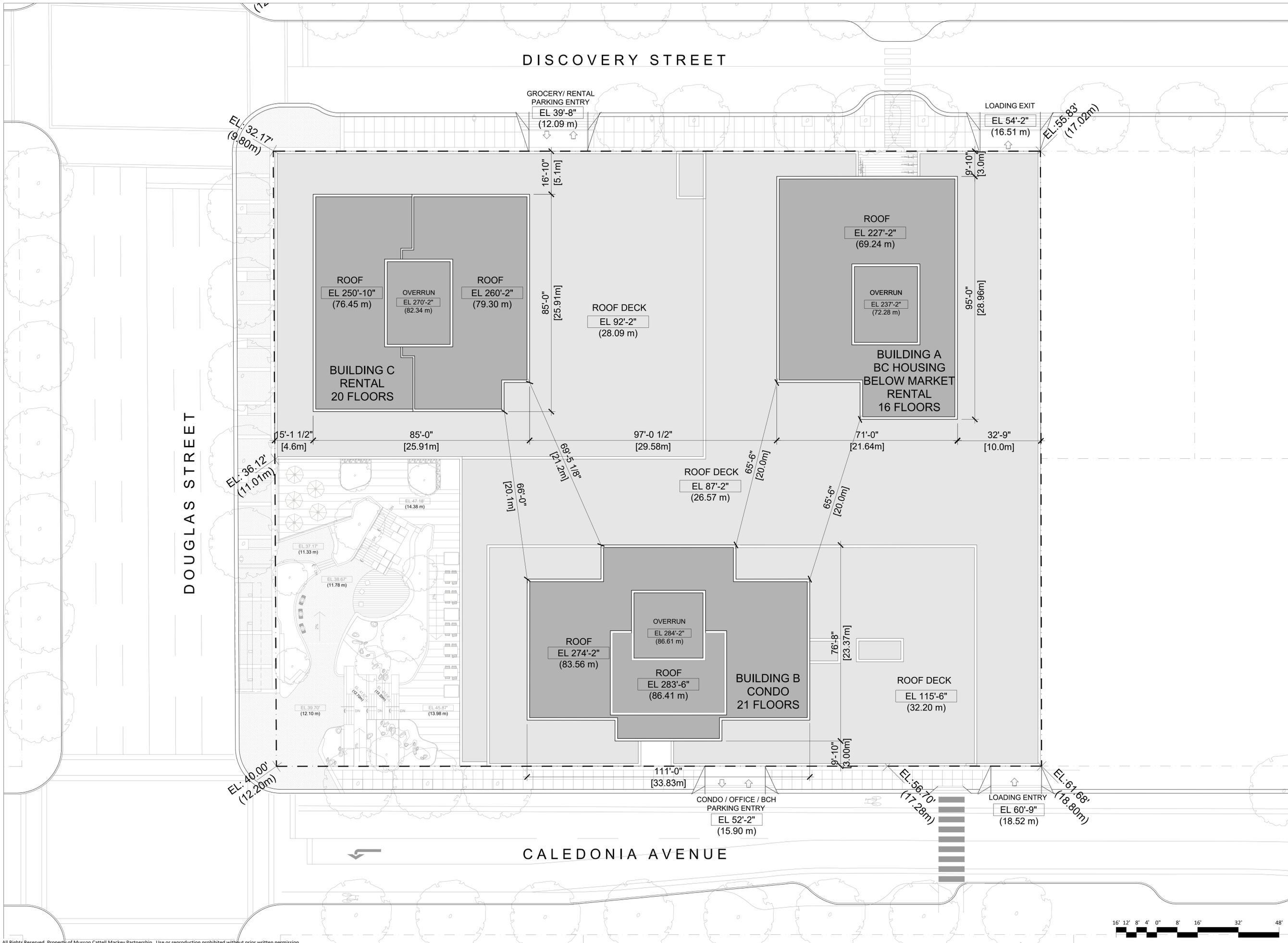
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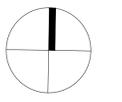
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Project

SITE PLAN
PROPOSED

Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet A004





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PARKING
LEVEL P2

Drawing
Scale 1/16" = 1'-0"

Project 221023

Sheet A101

DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE

EL: 32.17'
(9.80m)

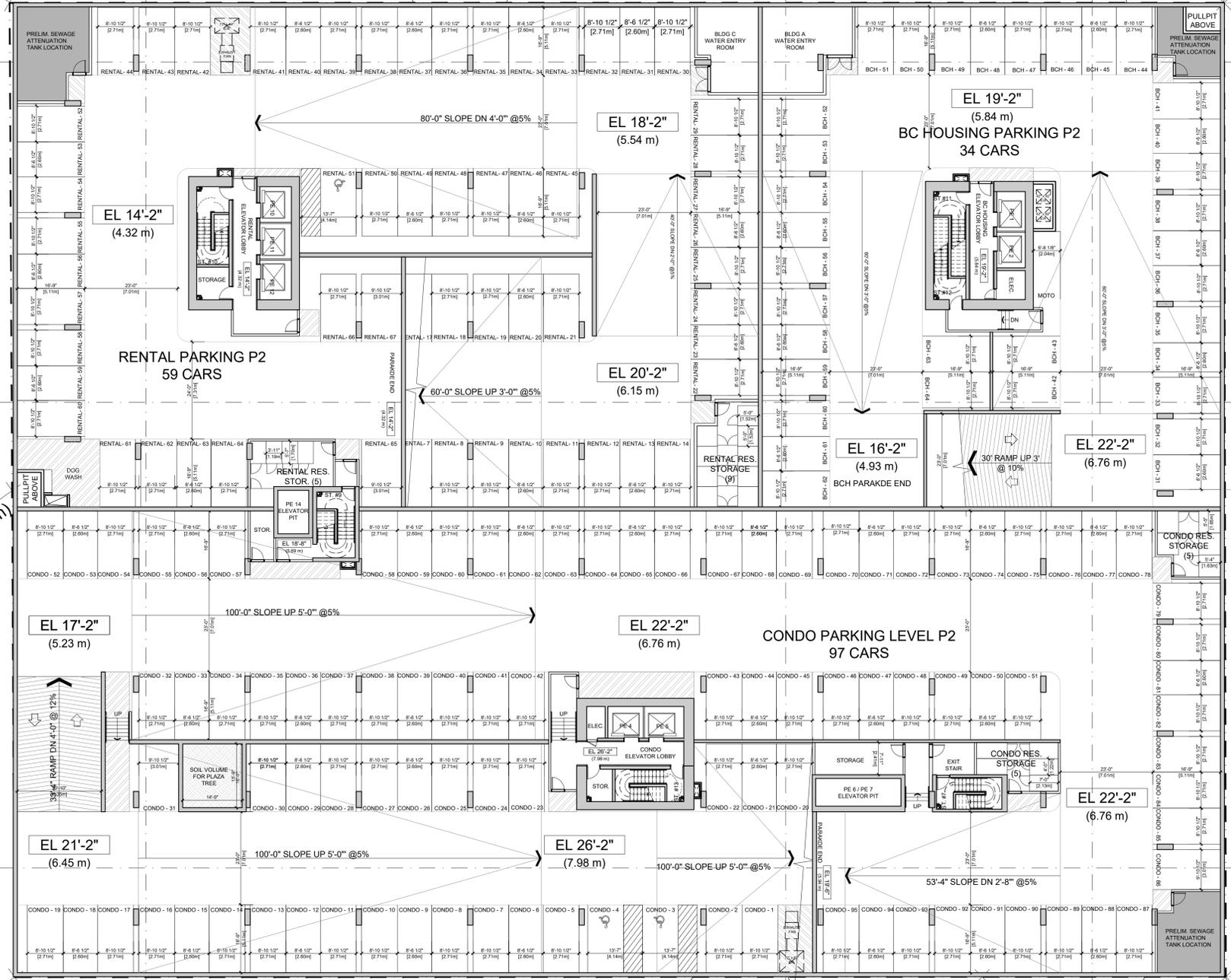
EL: 55.83'
(17.02m)

EL: 36.12'
(11.01m)

EL: 40.00'
(12.20m)

EL: 56.70'
(17.29m)

EL: 61.68'
(18.80m)



B A201

E A204

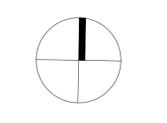
C A202

D A203

F A205

A A200





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Project

**PARKING
LEVEL P1**

Drawing
Scale 1/16" = 1'-0"

Project 221023

Sheet **A102**

DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE

EL: 32.17'
(9.80m)

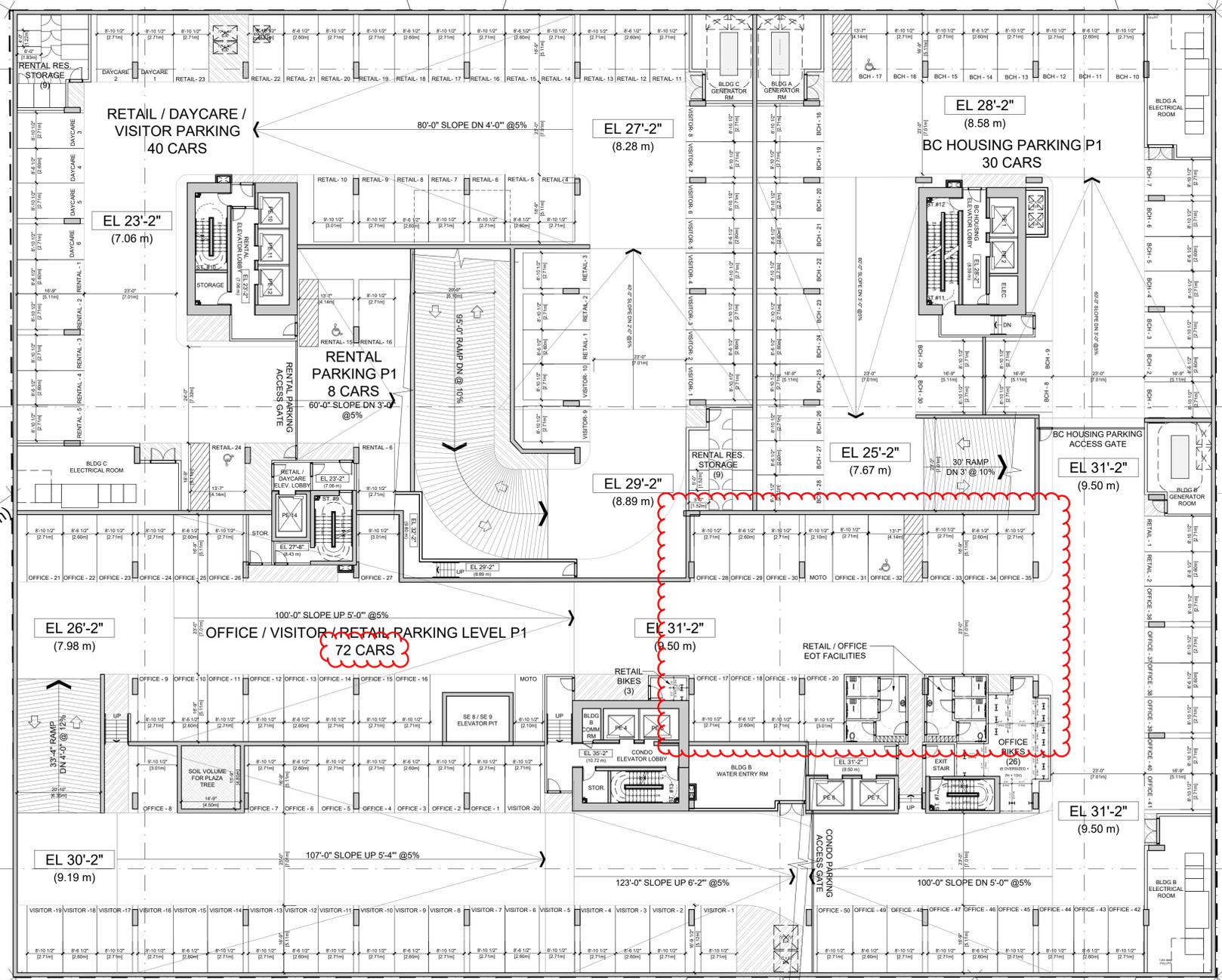
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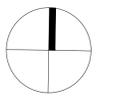
EL: 36.12'
(11.01m)

EL: 40.00'
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EL: 56.70'
(17.29m)

EL: 61.68'
(18.80m)





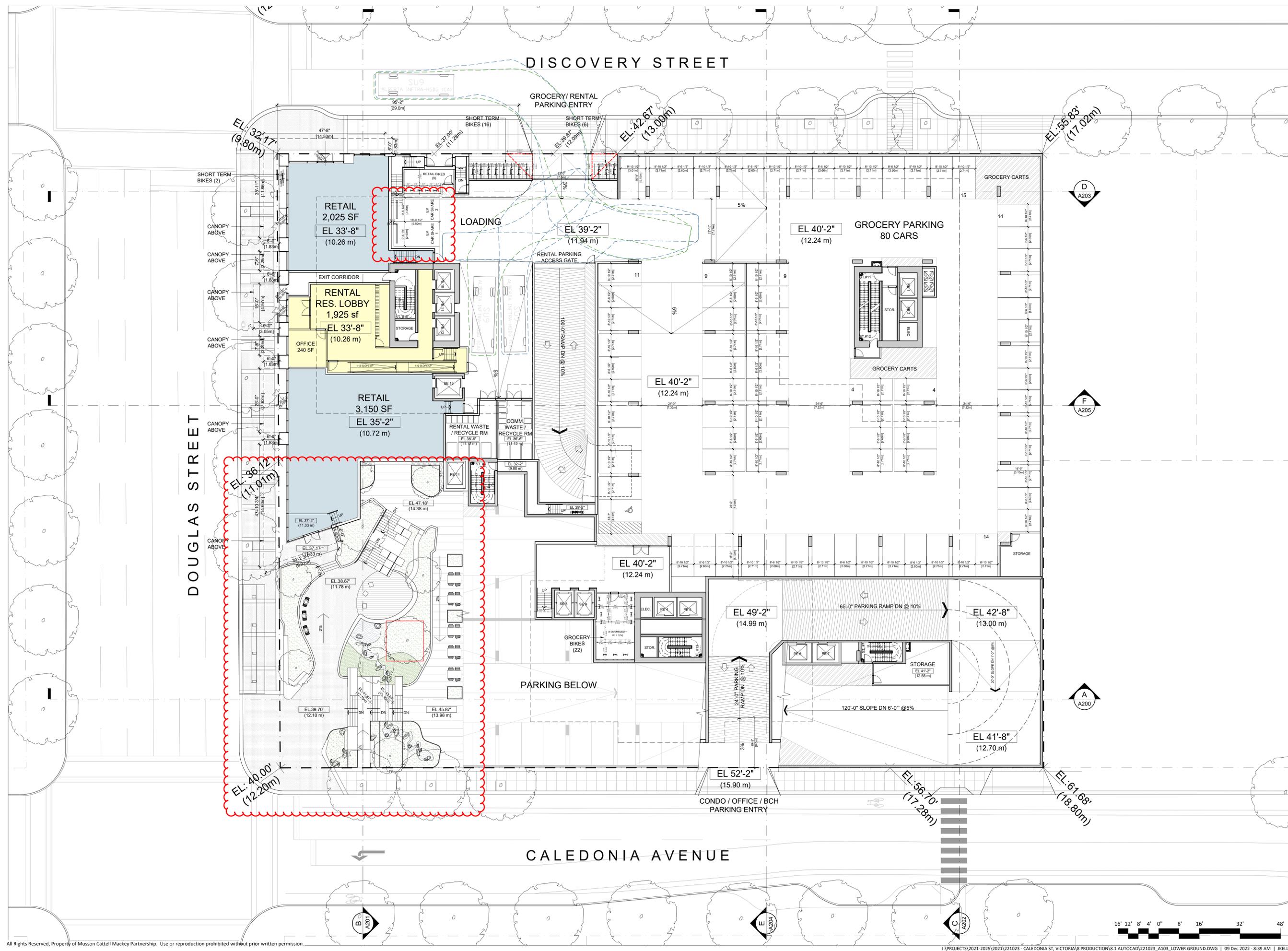
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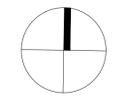
Seal
Douglas St

Victoria, BC
Project

LOWER
GROUND

Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet A103





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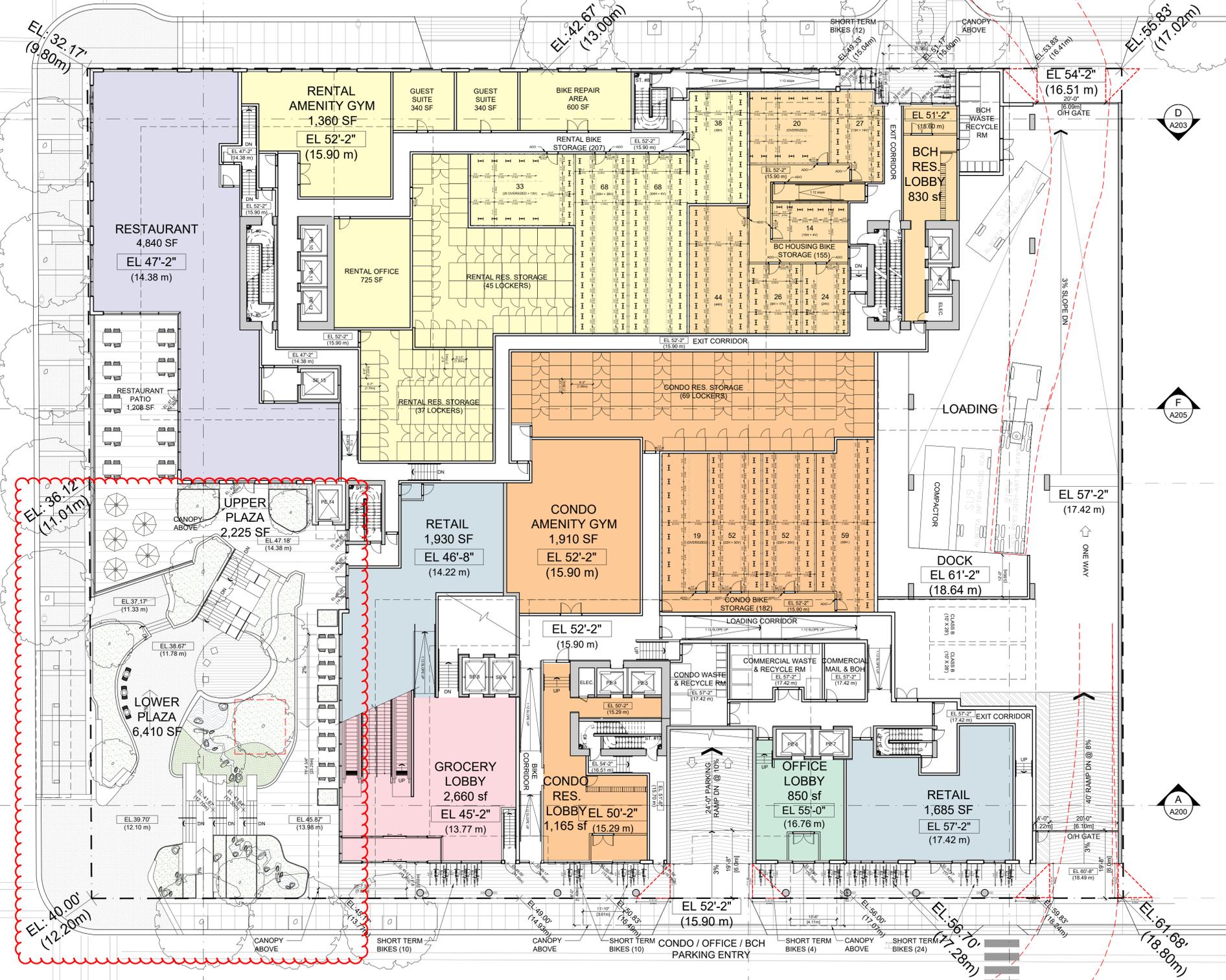
**UPPER
GROUND**

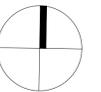
Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet **A104**

DISCOVERY STREET

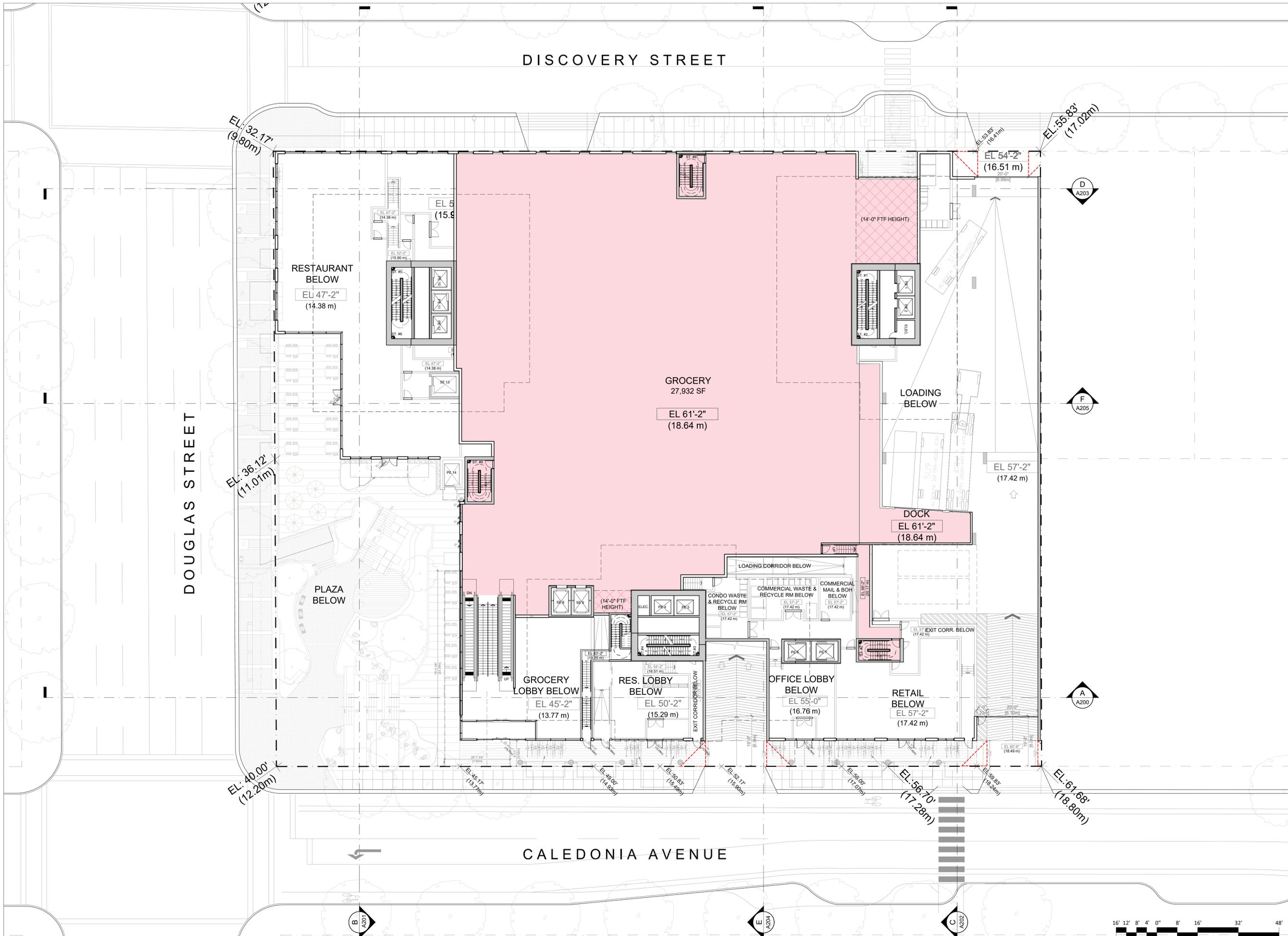
DOUGLAS STREET

CALEDONIA AVENUE





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 Project

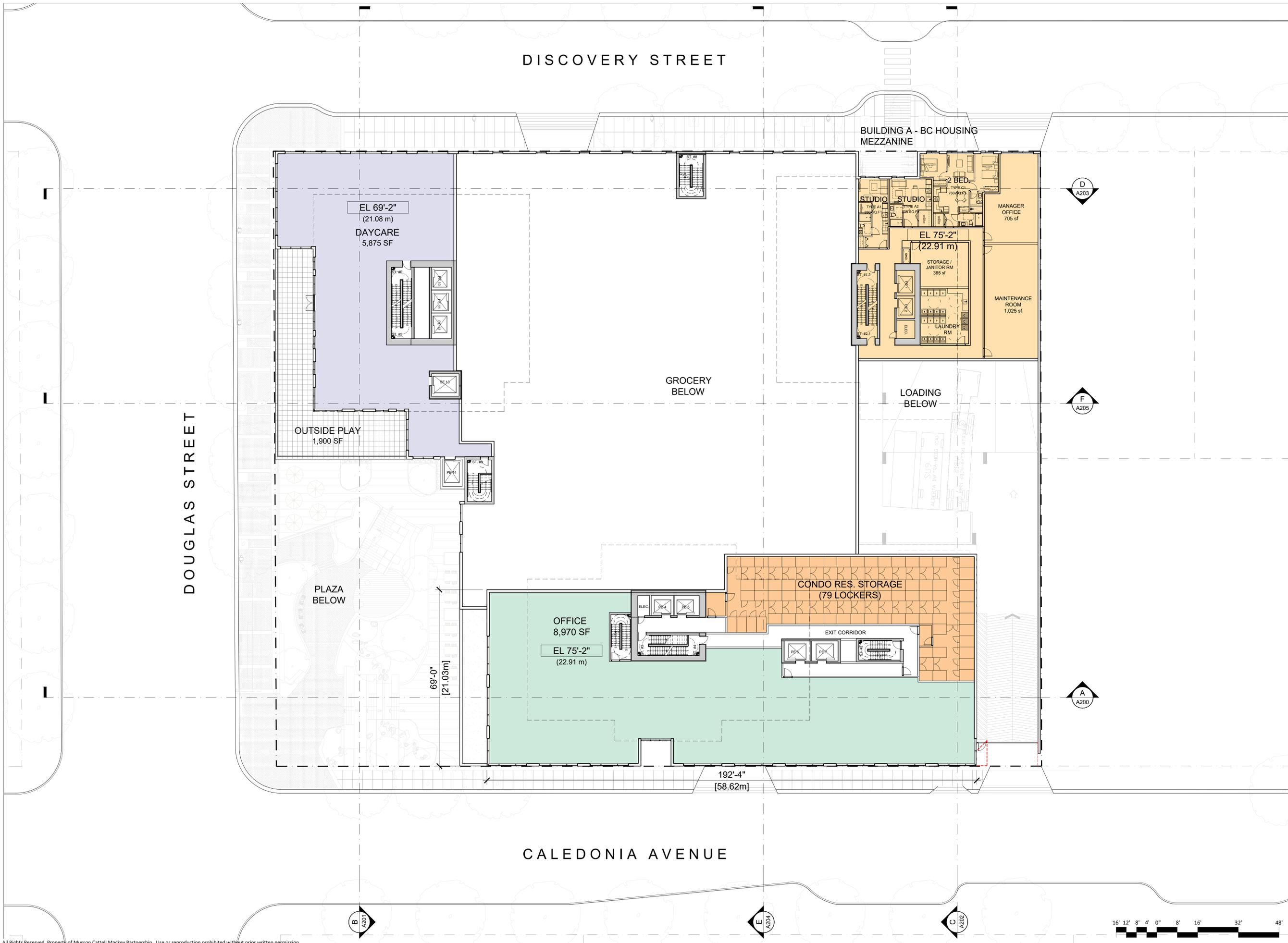
GROCERY LEVEL

Drawing
 Scale 1/16" = 1'-0"
 Project 221023
 Sheet **A105**



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Seal

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Victoria, BC

Project

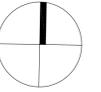
**OFFICE &
DAYCARE
LEVEL**

Drawing

Scale 1/16" = 1'-0"

Project 221023

Sheet **A106**



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**OFFICE
LEVELS**

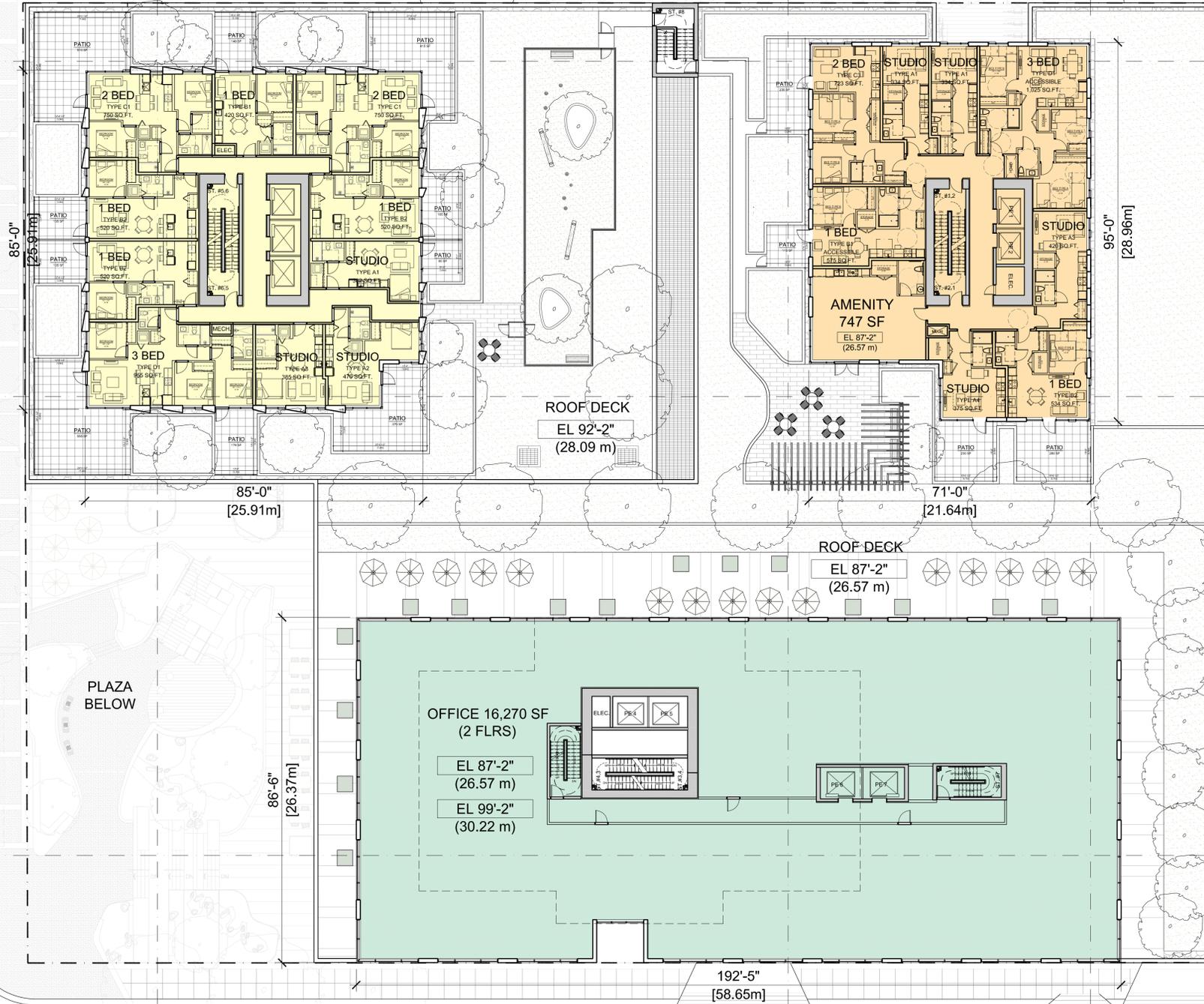
Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet **A107**

DISCOVERY STREET

BUILDING C - RENTAL
L04

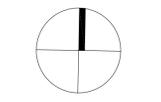
BUILDING A - BC HOUSING
L02

DOUGLAS STREET



CALEDONIA AVENUE





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Seal
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Victoria, BC
 Project
**RESIDENTIAL
 LEVEL 05**

Drawing
 Scale 1/16" = 1'-0"
 Project 221023
 Sheet **A108**

DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE

BUILDING C - RENTAL
 L05 - L11 (7 FLRS)

BUILDING A - BC HOUSING
 L03 - L12 (10 FLRS)

BUILDING B - CONDO
 L05

ROOF DECK BELOW

ROOF DECK BELOW

PLAZA BELOW

AMENITY
 789 SF
 EL 115'-6"
 (32.20 m)

EL: 32.17'
 (9.80m)

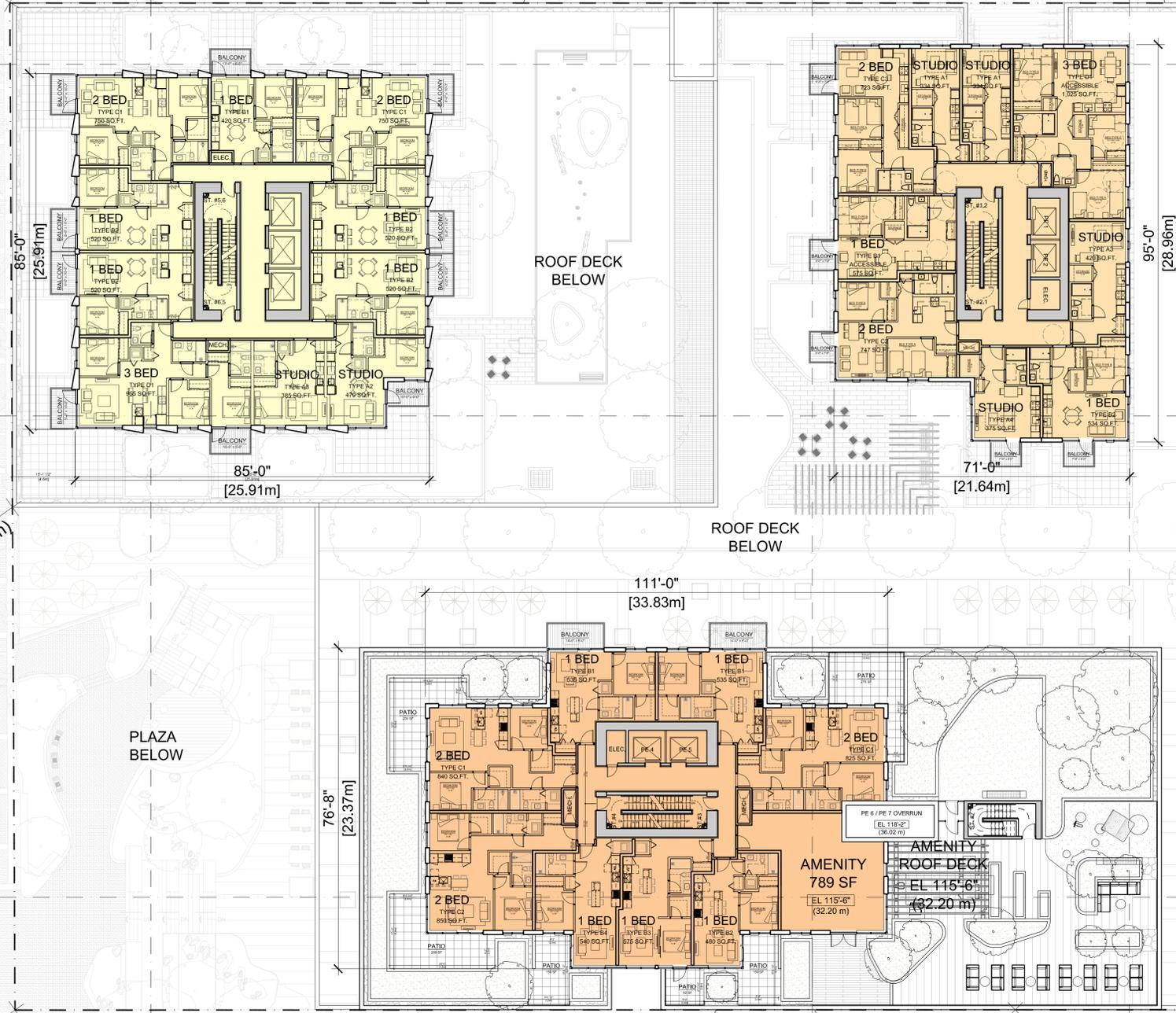
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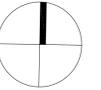
EL: 36.12'
 (11.01m)

EL: 40.00'
 (12.20m)

EL: 56.70'
 (17.29m)

EL: 61.68'
 (18.80m)





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Victoria, BC
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**RESIDENTIAL
 LEVELS 06-14**

Drawing
 Scale 1/16" = 1'-0"
 Project 221023
 Sheet **A109**

DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE

BUILDING C - RENTAL
 L05 - L11 (7 FLRS)

BUILDING A - BC HOUSING
 L03 - L12 (10 FLRS)

BUILDING B - CONDO
 L06 - L14 (9 FLRS)

ROOF DECK BELOW

ROOF DECK BELOW

ROOF DECK BELOW

PLAZA BELOW

EL: 32.17'
 (9.80m)

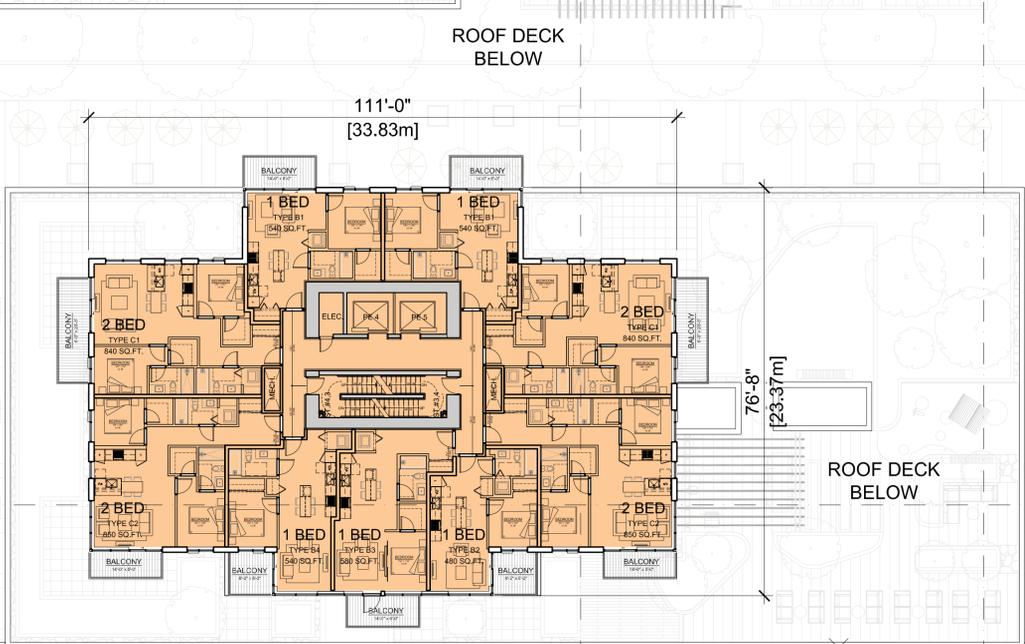
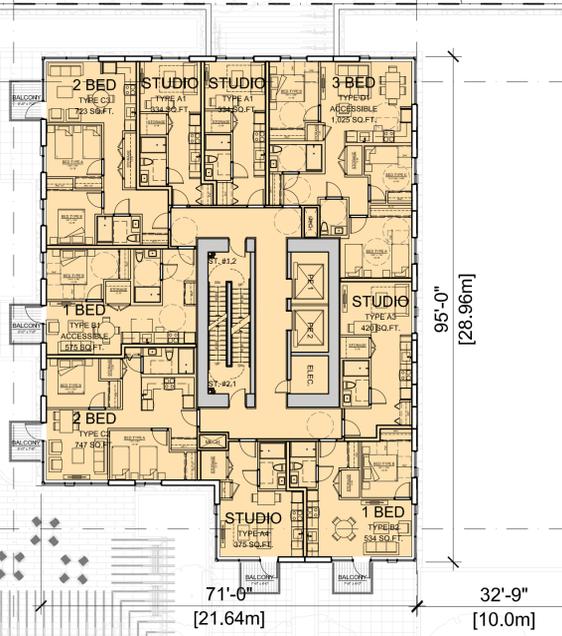
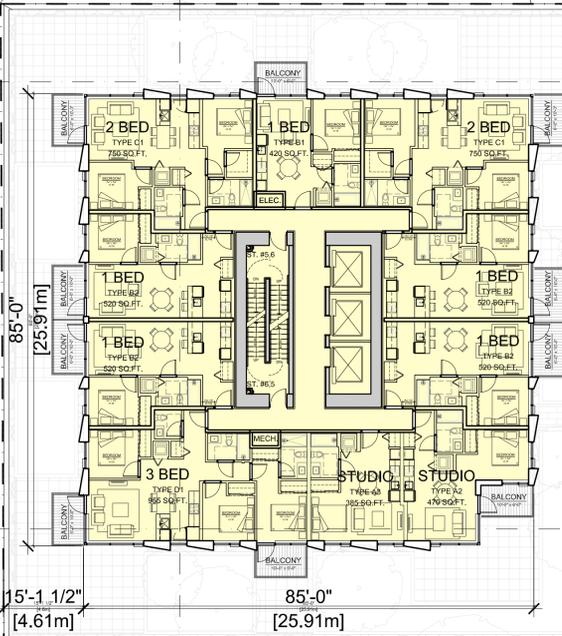
EL: 55.83'
 (17.02m)

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 (11.01m)

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 (18.80m)



B A201

E A204

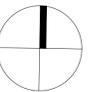
C A202

A A200

F A205

D A203





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Victoria, BC
Project

**RESIDENTIAL
LEVELS 15-18**

Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet **A110**

DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE

BUILDING C - RENTAL
L12 - L18 (7 FLRS)

BUILDING A - BC HOUSING
L13 - L16 (4 FLRS)

BUILDING B - CONDO
L15 - L18 (4 FLRS)

ROOF DECK BELOW

ROOF DECK BELOW

ROOF DECK BELOW

B
A201

E
A204

C
A202

A
A200

F
A205

D
A203

EL: 32.17'
(9.80m)

EL: 36.12'
(11.01m)

EL: 40.00'
(12.20m)

EL: 55.83'
(17.02m)

EL: 56.70'
(17.29m)

EL: 61.68'
(18.80m)

85'-0"
[25.91m]

85'-0"
[25.91m]

111'-0"
[33.83m]

95'-0"
[28.96m]

71'-0"
[21.64m]

76'-8"
[23.37m]

32'-9"
[10.0m]

2 BED
TYPE C1
750 SQ.FT.

1 BED
TYPE B1
420 SQ.FT.

2 BED
TYPE C1
750 SQ.FT.

1 BED
TYPE B2
920 SQ.FT.

1 BED
TYPE B3
920 SQ.FT.

1 BED
TYPE B3
920 SQ.FT.

1 BED
TYPE B3
920 SQ.FT.

2 BED
TYPE C2
750 SQ.FT.

1 BED
TYPE G1
420 SQ.FT.

2 BED
TYPE C2
636 SQ.FT.

2 BED
TYPE C4
778 SQ.FT.

3 BED
TYPE E2
1083 SQ.FT.

1 BED
TYPE B3
920 SQ.FT.

1 BED
TYPE B7
ACCESSIBLE
1374 SQ.FT.

STUDIO
TYPE A3
428 SQ.FT.

2 BED
TYPE C7
747 SQ.FT.

STUDIO
TYPE A4
516 SQ.FT.

1 BED
TYPE B4
636 SQ.FT.

1 BED
TYPE B5
529 SQ.FT.

1 BED
TYPE B1
544 SQ.FT.

1 BED
TYPE B5
553 SQ.FT.

1 BED
TYPE B5
593 SQ.FT.

3 BED
TYPE D1
1160 SQ.FT.

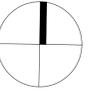
1 BED
TYPE B4
540 SQ.FT.

1 BED
TYPE B4
580 SQ.FT.

1 BED
TYPE B4
480 SQ.FT.

3 BED
TYPE D1
1160 SQ.FT.





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Seal

Douglas St

Victoria, BC

Project

RESIDENTIAL
LEVEL 19

Drawing

Scale 1/16" = 1'-0"

Project 221023

Sheet **A111**

DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE

BUILDING C - RENTAL
L19 - L20 (2 FLRS)

BUILDING A - BC HOUSING
ROOF

BUILDING A - BC HOUSING
ROOF

EL 227'-2"
(69.24 m)

OVERRUN
EL 237.17'
(72.28 m)

ROOF DECK
BELOW

ROOF DECK
BELOW

ROOF DECK
BELOW

PLAZA
BELOW

BUILDING B - CONDO
L19

EL: 32.17'
(9.80m)

EL: 55.83'
(17.02m)

EL: 36.12'
(11.01m)

EL: 40.00'
(12.20m)

EL: 56.70'
(17.29m)

EL: 61.68'
(18.80m)

85'-0"
[25.91m]

85'-0"
[25.91m]

111'-0"
[33.83m]

95'-0"
[28.96m]

71'-0"
[21.64m]

32'-9"
[10.0m]

76'-8"
[23.37m]

B
A201

E
A204

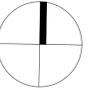
C
A202

A
A200

D
A203

F
A205





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Victoria, BC
 Project

**RESIDENTIAL
 LEVEL 20**

Drawing
 Scale 1/16" = 1'-0"
 Project 221023
 Sheet **A112**

DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE

BUILDING C - RENTAL
 L19 - L20 (2 FLRS)

BUILDING A - BC HOUSING
 ROOF

BUILDING A - BC HOUSING
 ROOF

ROOF DECK
 BELOW

ROOF DECK
 BELOW

ROOF DECK
 BELOW

PLAZA
 BELOW

BUILDING B - CONDO
 L20

EL: 32.17'
 (9.80m)

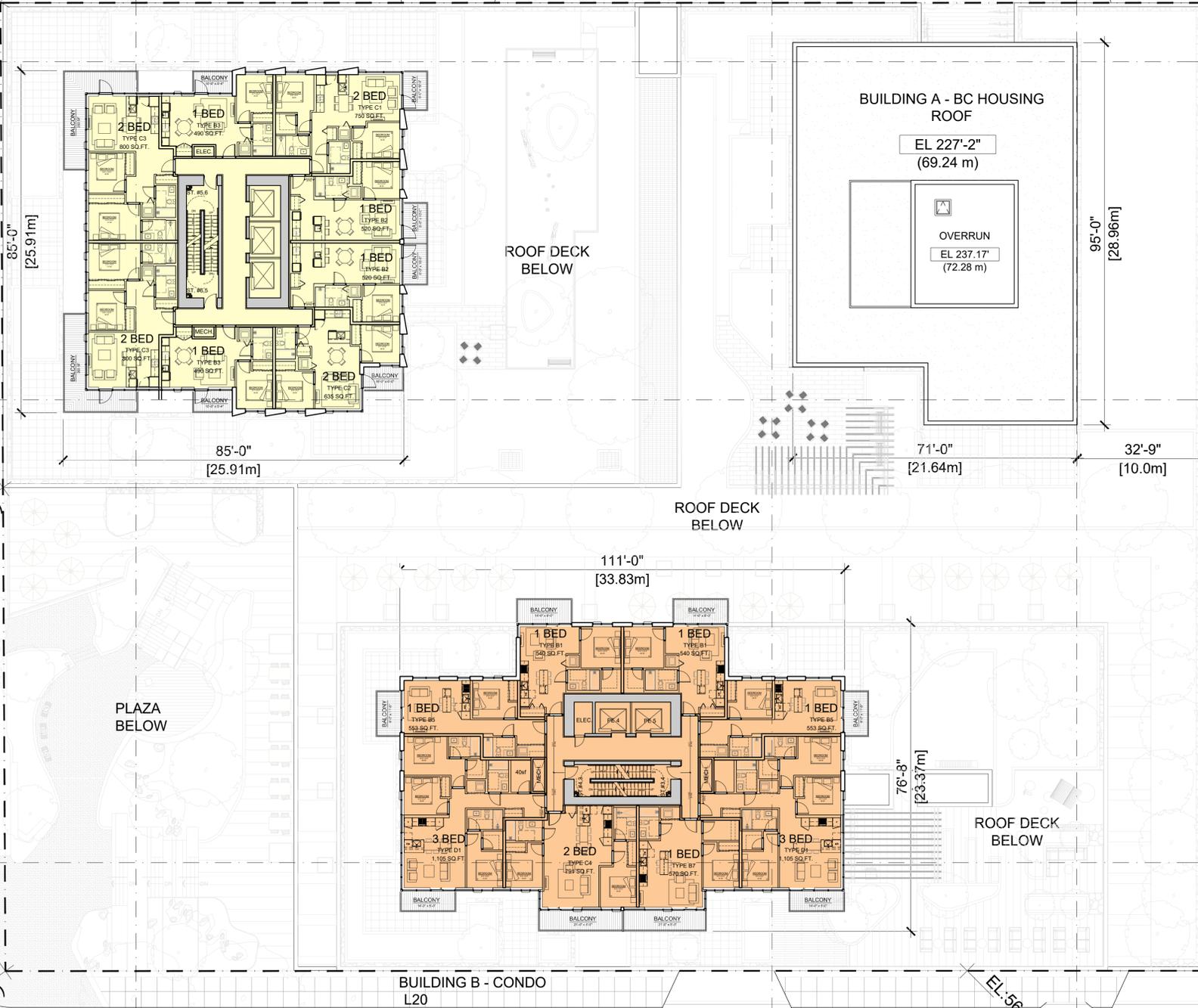
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 (17.02m)

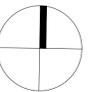
EL: 36.12'
 (11.01m)

EL: 40.00'
 (12.20m)

EL: 56.70'
 (17.29m)

EL: 61.68'
 (18.80m)





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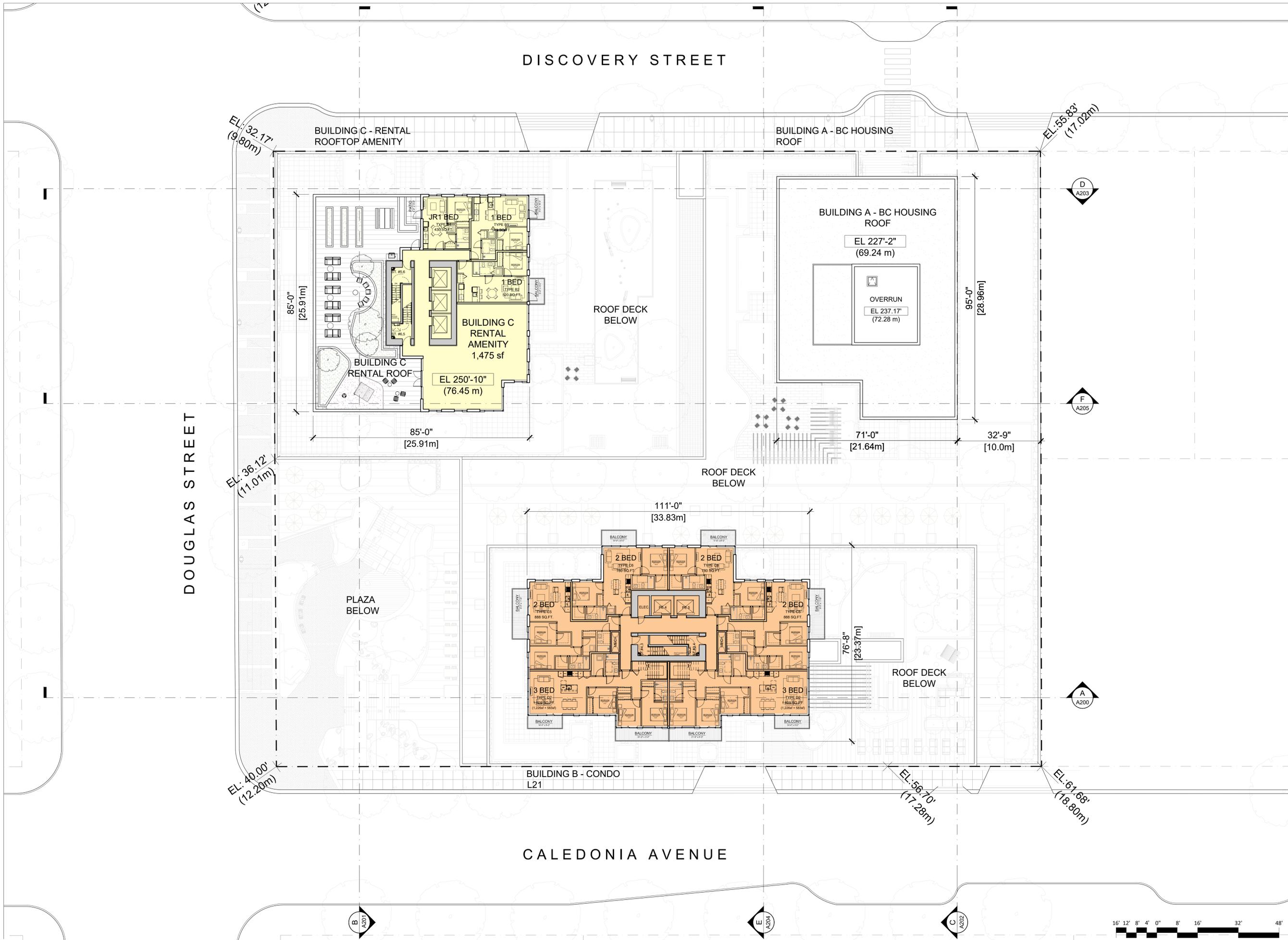
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LEVEL 21**

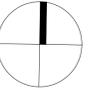
Drawing

Scale 1/16" = 1'-0"

Project 221023

Sheet **A113**





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ROOF LEVEL

Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet **A114**

DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE

EL: 32.17'
(9.80m)

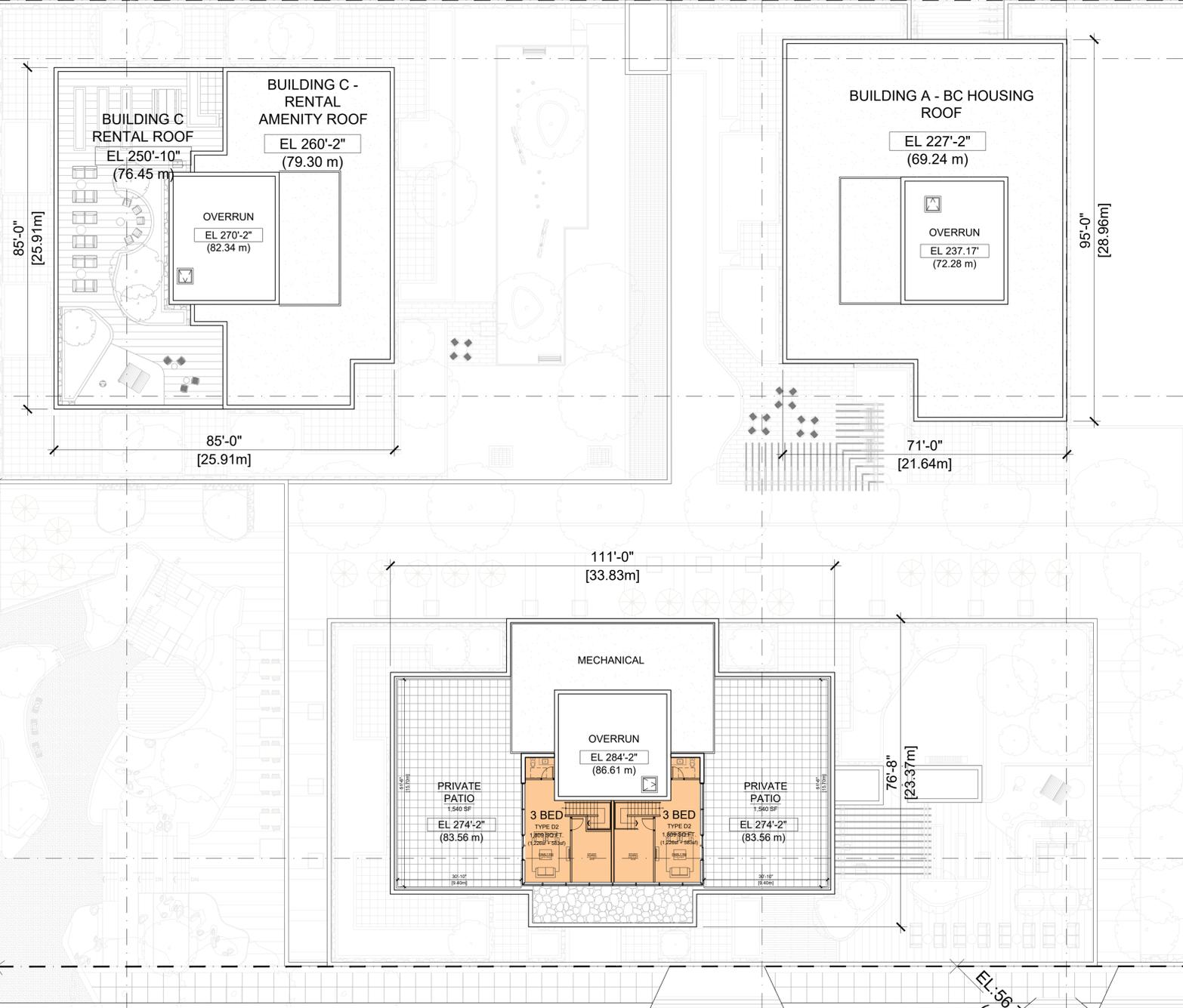
EL: 55.83'
(17.02m)

EL: 36.12'
(11.01m)

EL: 40.00'
(12.20m)

EL: 56.70'
(17.29m)

EL: 61.68'
(18.80m)



B A201

E A204

C A202



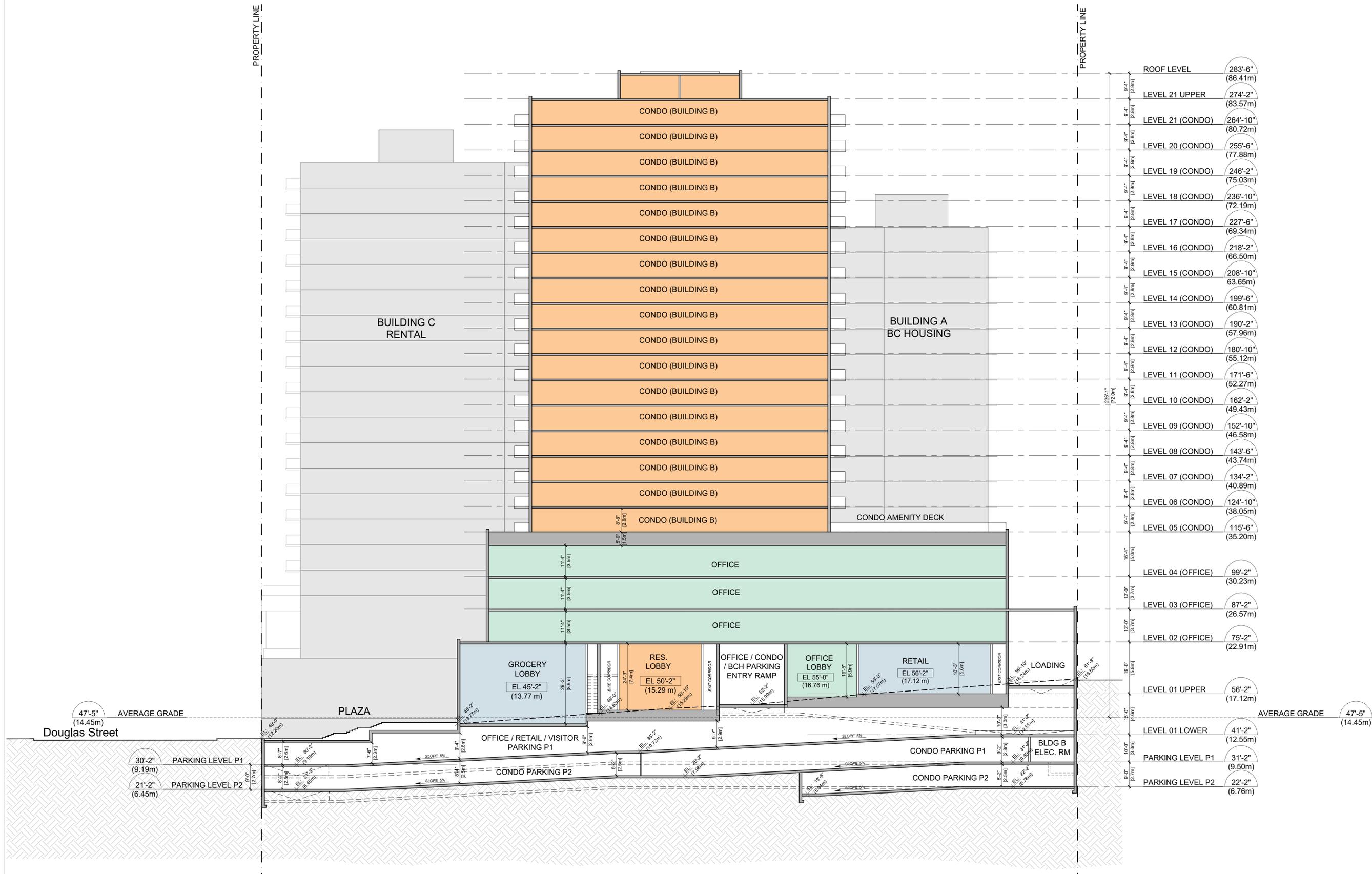
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Douglas St

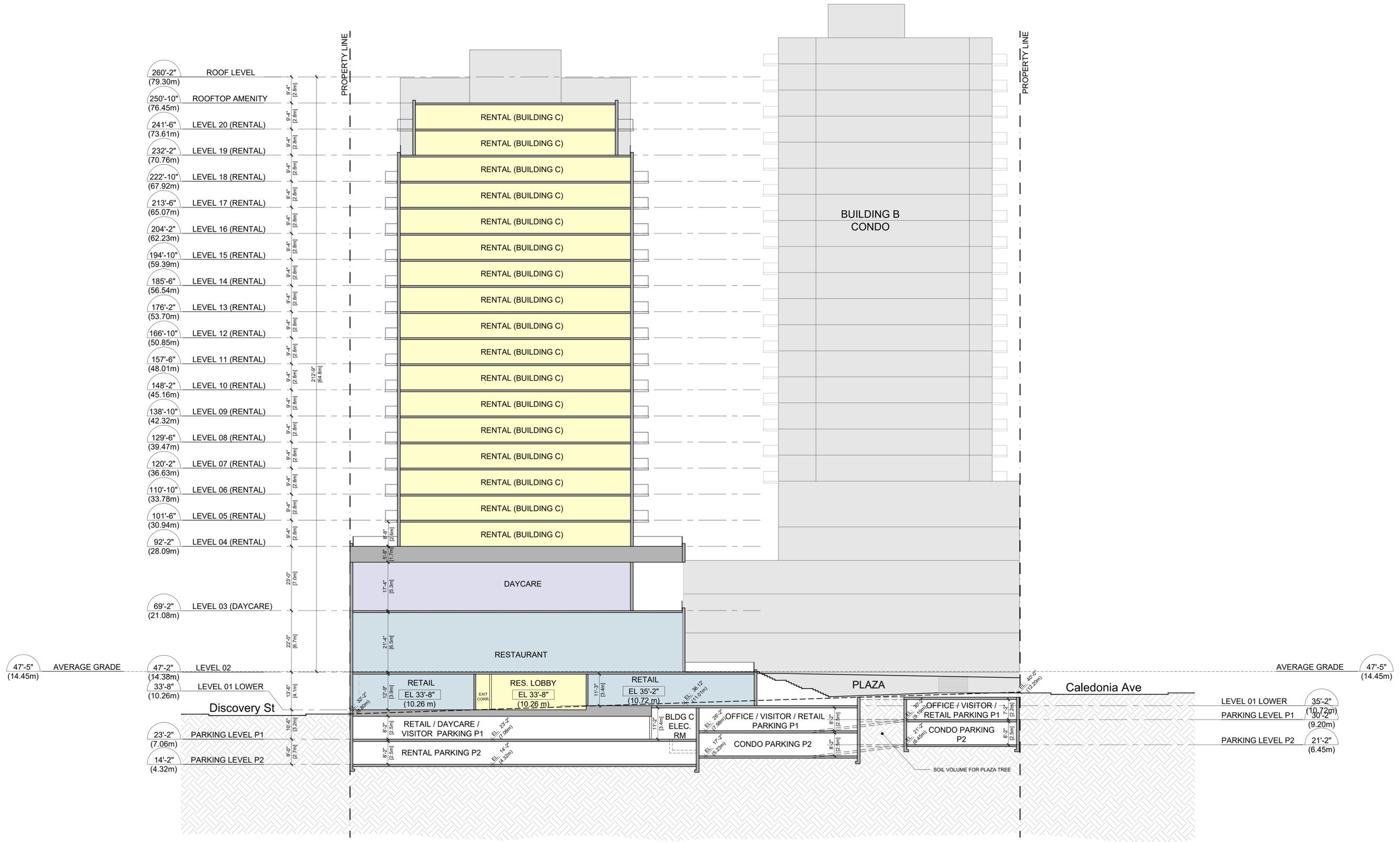
Victoria, BC
Project

BUILDING SECTION A

Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet **A200**



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**BUILDING
SECTION B**

Drawing

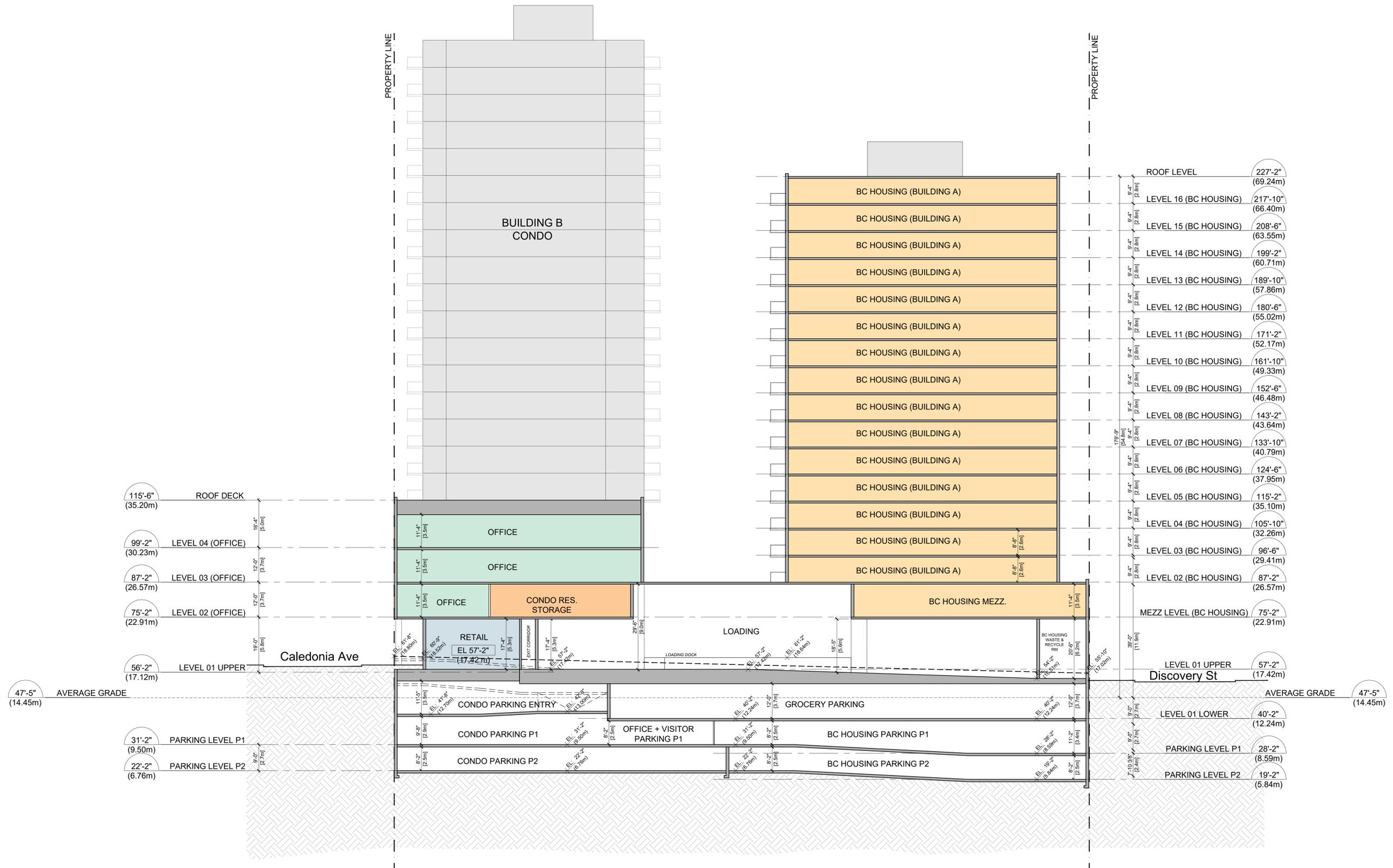
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Project 221023

Sheet **A201**



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**BUILDING
SECTION C**

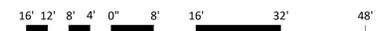
Drawing

Scale 1/16" = 1'-0"

Project 221023

Sheet

A202



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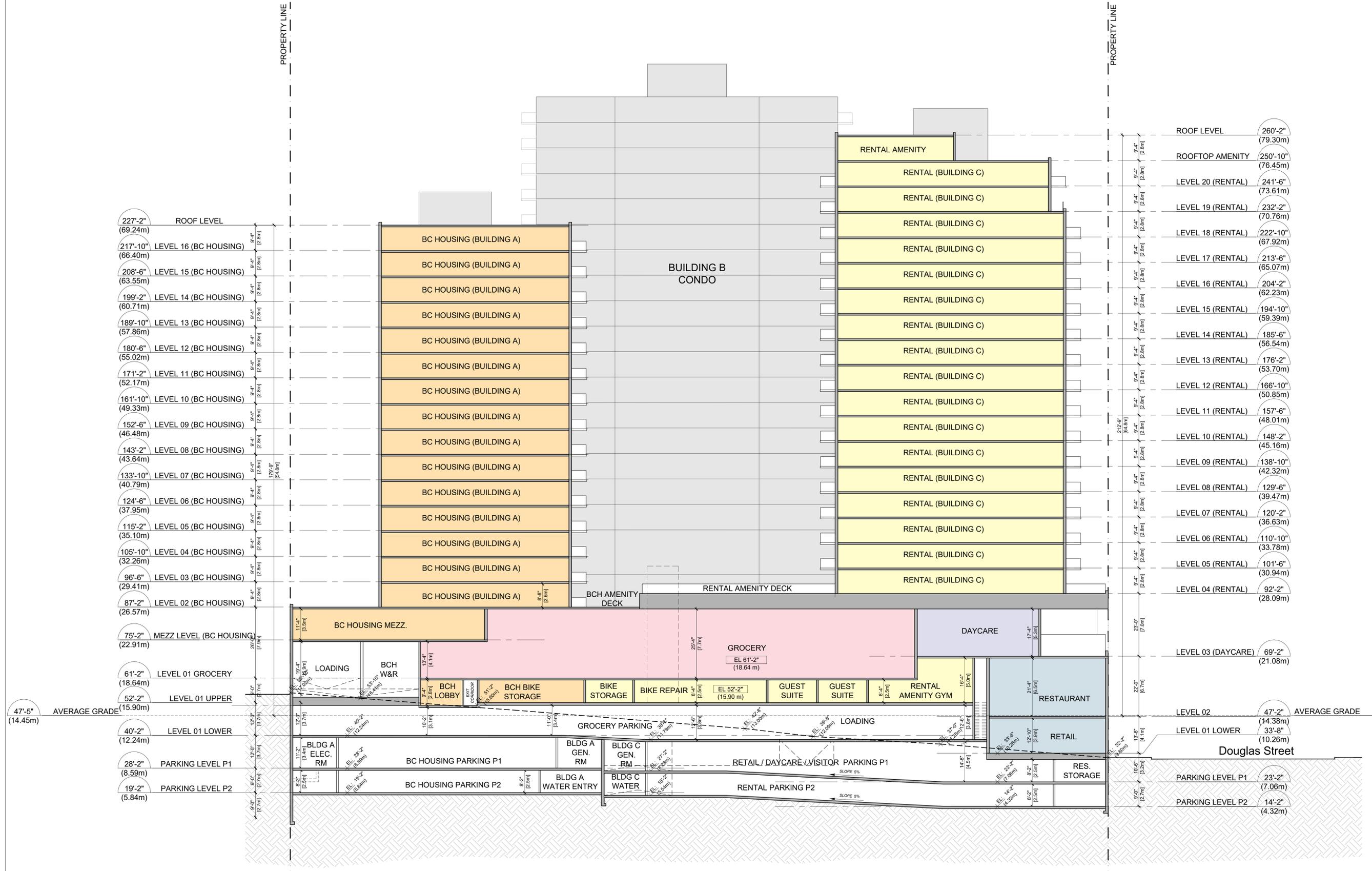
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SECTION D**

Drawing

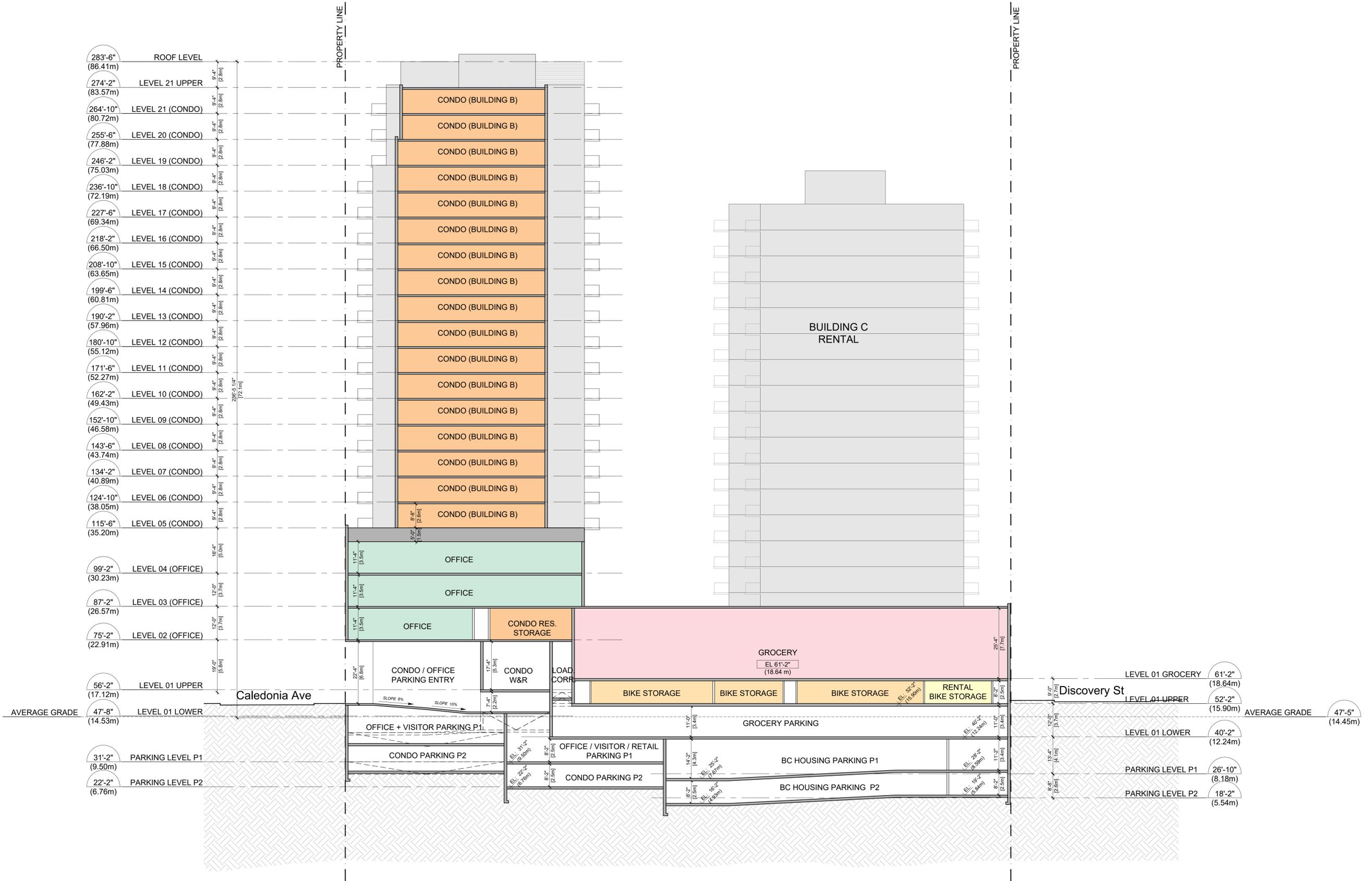
Scale 1/16" = 1'-0"

Project 221023

Sheet **A203**



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BUILDING SECTION E

Drawing

Scale 1/16" = 1'-0"

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Sheet **A204**



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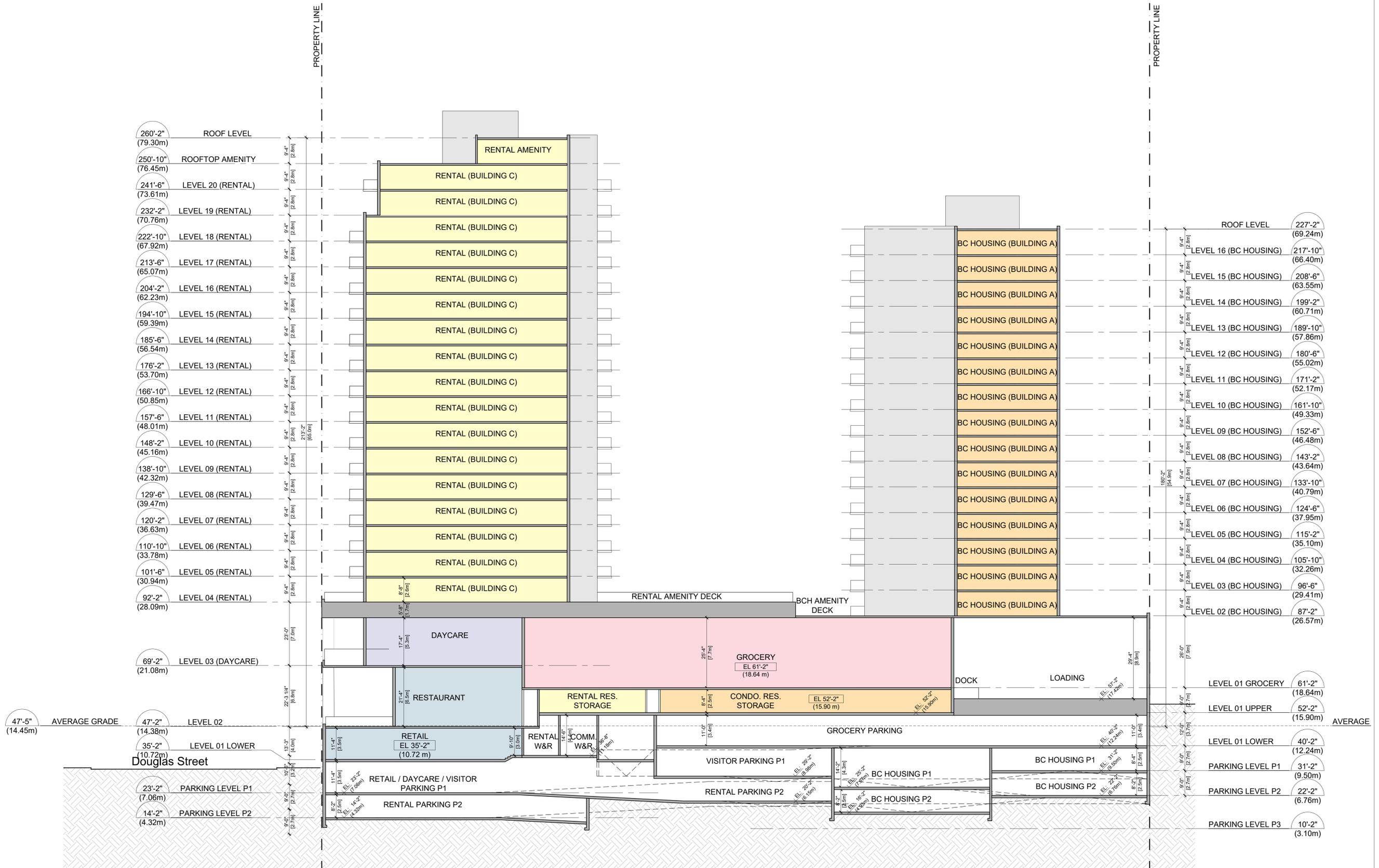
**BUILDING
SECTION F**

Drawing

Scale 1/16" = 1'-0"

Project 221023

Sheet **A205**



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Seal
Douglas St

Victoria, BC
Project

**BUILDING
ELEVATION
SOUTH**

Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet **A300**



MATERIAL LEGEND

(B1) LIGHT BRICK - CANYON MIST	(C1) ARCHITECTURAL EXPOSED CONCRETE	(M3) COMPOSITE METAL PANEL - CHAMPAGNE	(G1) RESIDENTIAL GLAZING - GREY GLASS	(G4) OFFICE CURTAIN WALL - 4-SIDED SILICON	(F1) WINDOW - BLACK FRAME	(CP1) CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
(B2) DARK GREY BRICK	(M1) COMPOSITE METAL PANEL - CHARCOAL	(M4) COMPOSITE METAL PANEL - DARK BLUE	(G2) RESIDENTIAL GLAZING - SPANDREL GLASS	(G5) STOREFRONT GLAZED CURTAIN WALL	(F2) WINDOW - WHITE FRAME	(CP2) CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
(B3) LIGHT GREY BRICK	(M2) COMPOSITE METAL PANEL - WHITE	(M5) COMPOSITE METAL PANEL - WOOD	(G3) ALUMINUM & GLASS GUARDRAIL	(G6) PRIVACY SCREEN - FROSTED GLASS	(F3) WINDOW - CHARCOAL GREY FRAME	(CP3) CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY

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**BUILDING
ELEVATION
WEST**

Drawing

Scale 1/16" = 1'-0"

Project 221023

Sheet **A301**



MATERIAL LEGEND

(B1) LIGHT BRICK - CANYON MIST	(C1) ARCHITECTURAL EXPOSED CONCRETE	(M3) COMPOSITE METAL PANEL - CHAMPAGNE	(G1) RESIDENTIAL GLAZING - GREY GLASS	(G4) OFFICE CURTAIN WALL - 4-SIDED SILICON	(F1) WINDOW - BLACK FRAME	(CP1) CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
(B2) DARK GREY BRICK	(M1) COMPOSITE METAL PANEL - CHARCOAL	(M4) COMPOSITE METAL PANEL - DARK BLUE	(G2) RESIDENTIAL GLAZING - SPANDREL GLASS	(G5) STOREFRONT GLAZED CURTAIN WALL	(F2) WINDOW - WHITE FRAME	(CP2) CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
(B3) LIGHT GREY BRICK	(M2) COMPOSITE METAL PANEL - WHITE	(M5) COMPOSITE METAL PANEL - WOOD	(G3) ALUMINUM & GLASS GUARDRAIL	(G6) PRIVACY SCREEN - FROSTED GLASS	(F3) WINDOW - CHARCOAL GREY FRAME	(CP3) CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY



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**BUILDING
ELEVATION
EAST**

Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet **A302**



MATERIAL LEGEND

(B1) LIGHT BRICK - CANYON MIST	(C1) ARCHITECTURAL EXPOSED CONCRETE	(M3) COMPOSITE METAL PANEL - CHAMPAGNE	(G1) RESIDENTIAL GLAZING - GREY GLASS	(G4) OFFICE CURTAIN WALL - 4-SIDED SILICON	(F1) WINDOW - BLACK FRAME	(CP1) CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
(B2) DARK GREY BRICK	(M1) COMPOSITE METAL PANEL - CHARCOAL	(M4) COMPOSITE METAL PANEL - DARK BLUE	(G2) RESIDENTIAL GLAZING - SPANDREL GLASS	(G5) STOREFRONT GLAZED CURTAIN WALL	(F2) WINDOW - WHITE FRAME	(CP2) CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
(B3) LIGHT GREY BRICK	(M2) COMPOSITE METAL PANEL - WHITE	(M5) COMPOSITE METAL PANEL - WOOD	(G3) ALUMINUM & GLASS GUARDRAIL	(G6) PRIVACY SCREEN - FROSTED GLASS	(F3) WINDOW - CHARCOAL GREY FRAME	(CP3) CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY



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**BUILDING
ELEVATION
NORTH**

Drawing

Scale 1/16" = 1'-0"

Project 221023

Sheet **A303**



MATERIAL LEGEND

(B1) LIGHT BRICK - CANYON MIST	(C1) ARCHITECTURAL EXPOSED CONCRETE	(M3) COMPOSITE METAL PANEL - CHAMPAGNE	(G1) RESIDENTIAL GLAZING - GREY GLASS	(G4) OFFICE CURTAIN WALL - 4-SIDED SILICON	(F1) WINDOW - BLACK FRAME	(CP1) CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
(B2) DARK GREY BRICK	(M1) COMPOSITE METAL PANEL - CHARCOAL	(M4) COMPOSITE METAL PANEL - DARK BLUE	(G2) RESIDENTIAL GLAZING - SPANDREL GLASS	(G5) STOREFRONT GLAZED CURTAIN WALL	(F2) WINDOW - WHITE FRAME	(CP2) CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
(B3) LIGHT GREY BRICK	(M2) COMPOSITE METAL PANEL - WHITE	(M5) COMPOSITE METAL PANEL - WOOD	(G3) ALUMINUM & GLASS GUARDRAIL	(G6) PRIVACY SCREEN - FROSTED GLASS	(F3) WINDOW - CHARCOAL GREY FRAME	(CP3) CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY



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**BUILDING A
ELEVATION
WEST**

Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet **A304**

MATERIAL LEGEND

(B1) LIGHT BRICK - CANYON MIST	(C1) ARCHITECTURAL EXPOSED CONCRETE	(M3) COMPOSITE METAL PANEL - CHAMPAGNE	(G1) RESIDENTIAL GLAZING - GREY GLASS	(G4) OFFICE CURTAIN WALL - 4-SIDED SILICON	(F1) WINDOW - BLACK FRAME	(CP1) CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
(B2) DARK GREY BRICK	(M1) COMPOSITE METAL PANEL - CHARCOAL	(M4) COMPOSITE METAL PANEL - DARK BLUE	(G2) RESIDENTIAL GLAZING - SPANDREL GLASS	(G5) STOREFRONT GLAZED CURTAIN WALL	(F2) WINDOW - WHITE FRAME	(CP2) CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
(B3) LIGHT GREY BRICK	(M2) COMPOSITE METAL PANEL - WHITE	(M5) COMPOSITE METAL PANEL - WOOD	(G3) ALUMINUM & GLASS GUARDRAIL	(G6) PRIVACY SCREEN - FROSTED GLASS	(F3) WINDOW - CHARCOAL GREY FRAME	(CP3) CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY





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**BUILDING C
ELEVATION
EAST**

Drawing
Scale 1/16" = 1'-0"
Project 221023
Sheet **A305**

MATERIAL LEGEND

(B1) LIGHT BRICK - CANYON MIST	(C1) ARCHITECTURAL EXPOSED CONCRETE	(M3) COMPOSITE METAL PANEL - CHAMPAGNE	(G1) RESIDENTIAL GLAZING - GREY GLASS	(G4) OFFICE CURTAIN WALL - 4-SIDED SILICON	(F1) WINDOW - BLACK FRAME	(CP1) CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
(B2) DARK GREY BRICK	(M1) COMPOSITE METAL PANEL - CHARCOAL	(M4) COMPOSITE METAL PANEL - DARK BLUE	(G2) RESIDENTIAL GLAZING - SPANDREL GLASS	(G5) STOREFRONT GLAZED CURTAIN WALL	(F2) WINDOW - WHITE FRAME	(CP2) CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
(B3) LIGHT GREY BRICK	(M2) COMPOSITE METAL PANEL - WHITE	(M5) COMPOSITE METAL PANEL - WOOD	(G3) ALUMINUM & GLASS GUARDRAIL	(G6) PRIVACY SCREEN - FROSTED GLASS	(F3) WINDOW - CHARCOAL GREY FRAME	(CP3) CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY

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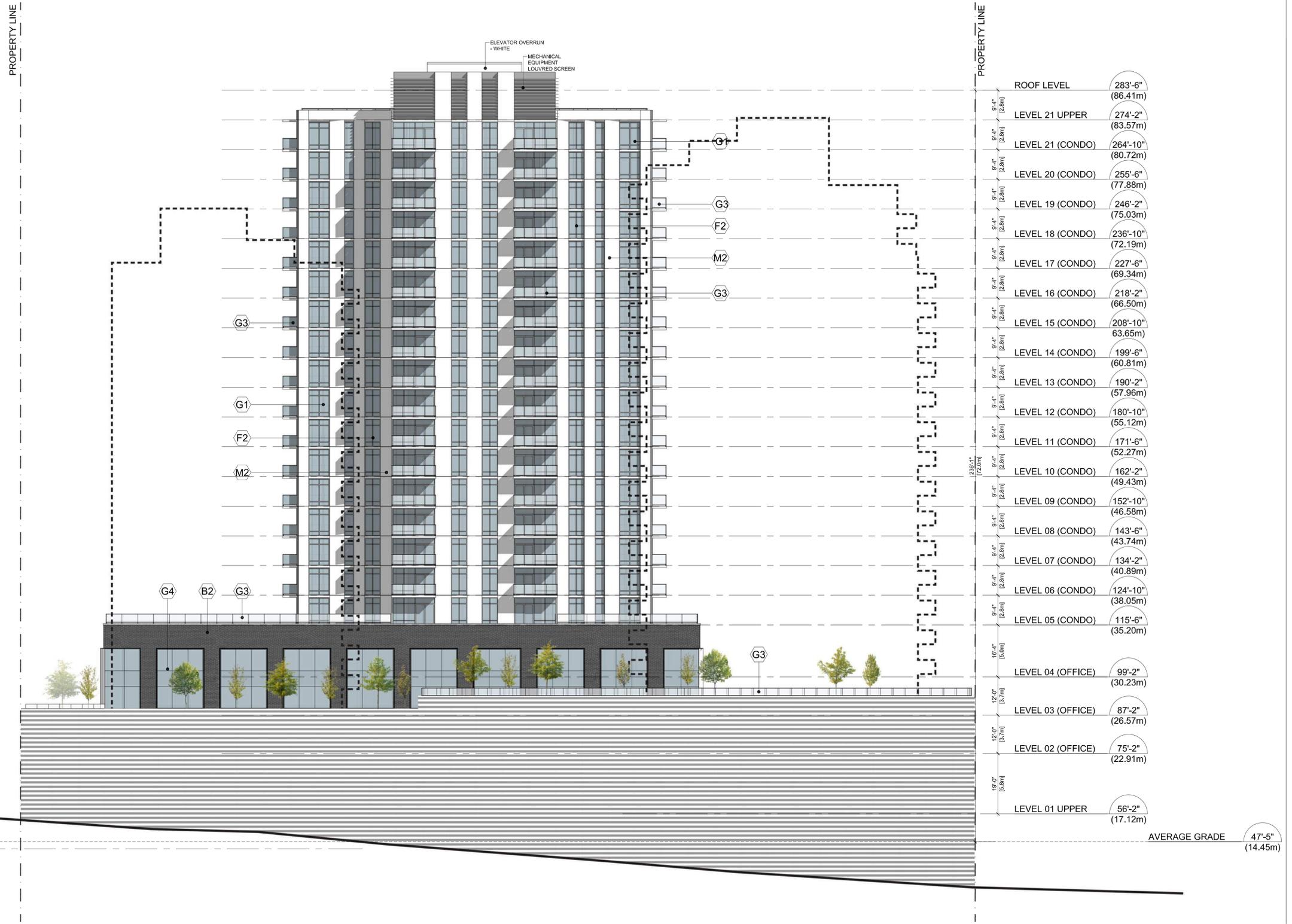
**BUILDING B
ELEVATION
NORTH**

Drawing

Scale 1/16" = 1'-0"

Project 221023

Sheet **A306**



MATERIAL LEGEND

(B1) LIGHT BRICK - CANYON MIST	(C1) ARCHITECTURAL EXPOSED CONCRETE	(M3) COMPOSITE METAL PANEL - CHAMPAGNE	(G1) RESIDENTIAL GLAZING - GREY GLASS	(G4) OFFICE CURTAIN WALL - 4-SIDED SILICON	(F1) WINDOW - BLACK FRAME	(CP1) CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
(B2) DARK GREY BRICK	(M1) COMPOSITE METAL PANEL - CHARCOAL	(M4) COMPOSITE METAL PANEL - DARK BLUE	(G2) RESIDENTIAL GLAZING - SPANDREL GLASS	(G5) STOREFRONT GLAZED CURTAIN WALL	(F2) WINDOW - WHITE FRAME	(CP2) CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
(B3) LIGHT GREY BRICK	(M2) COMPOSITE METAL PANEL - WHITE	(M5) COMPOSITE METAL PANEL - WOOD	(G3) ALUMINUM & GLASS GUARDRAIL	(G6) PRIVACY SCREEN - FROSTED GLASS	(F3) WINDOW - CHARCOAL GREY FRAME	(CP3) CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY





1 SPRING/FALL EQUINOX - March 20 /Sept 22 10AM



2 SPRING/FALL EQUINOX - March 20 /Sept 22 12PM



3 SPRING/FALL EQUINOX - March 20 /Sept 22 2PM



4 SUMMER SOLSTICE - June 21 10AM



5 SUMMER SOLSTICE - June 21 12PM



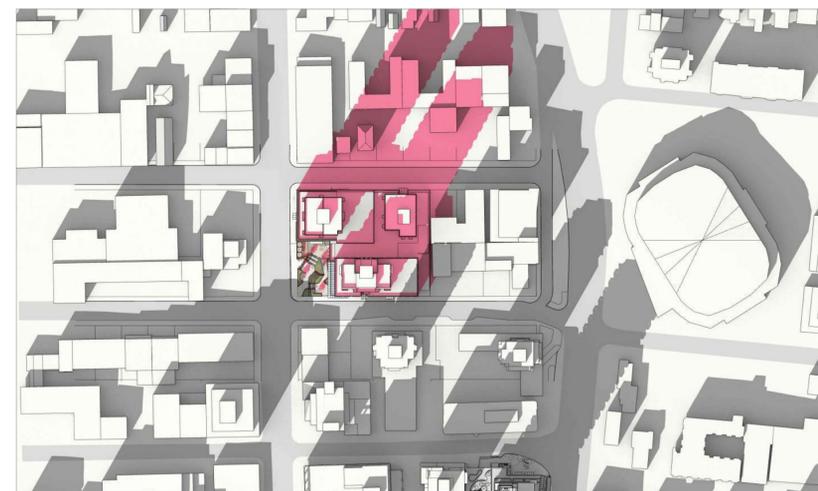
6 SUMMER SOLSTICE - June 21 2PM



4 WINTER SOLSTICE - Dec 21 10AM



5 WINTER SOLSTICE - Dec 21 12PM



6 WINTER SOLSTICE - Dec 21 2PM

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SHADOW / SUN
STUDY

Drawing
Scale
Project 221023

Sheet **A500**



1 CALEDONIA AVE. SETBACK - NORTH EAST VIEW
 N.T.S.



2 CONDO & PARKING ENTRANCE - NORTH VIEW
 N.T.S.



3 PLAZA - EAST VIEW
 N.T.S.



4 DAYCARE DECK - NORTH EAST VIEW
 N.T.S.

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3D VIEWS

Drawing
 Scale N.T.S.
 Project 221023

Sheet **A501 A**



1 DISCOVERY STREET - EAST VIEW
N.T.S.

2 DISCOVERY STREET - EAST VIEW
N.T.S.



3 DISCOVERY STREET - EAST VIEW
N.T.S.

4 DISCOVERY STREET - BC HOUSING RESIDENTIAL ENTRY
N.T.S.

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3D VIEWS

Drawing
Scale
Project 221023

Sheet A501 B



1 **LOADING GATE - CALEDONIA AVE**
N.T.S.



2 **LOADING GATE - DISCOVERY ST**
N.T.S.

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3D VIEWS

Drawing
Scale
Project 221023
Sheet A501 C



1 OVERALL BUILDING TOPS
- N.T.S.



2 BUILDING C RENTAL - TOWER TOP
- N.T.S.



3 BUILDING B CONDO - TOWER TOP
- N.T.S.

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3D VIEWS

Drawing

Scale

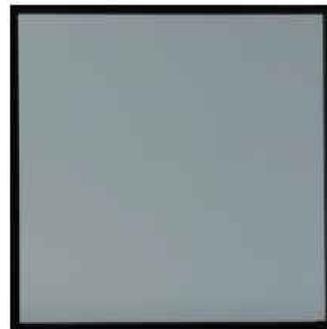
Project 221023

Sheet **A501 D**

Building A



Black Mullions



Grey Glass (Residential)



Metal Panel- Dusty Charcoal

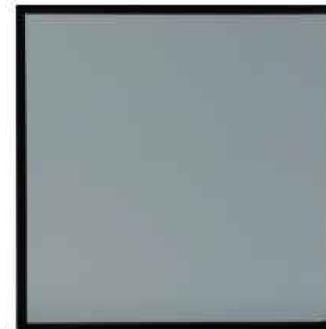


Metal Panel- Greyhound

Building C



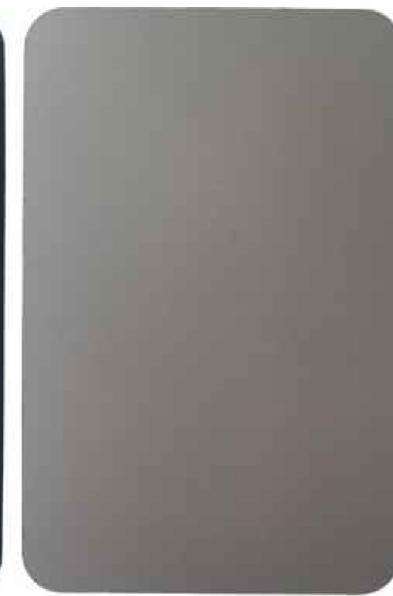
Charcoal Mullions



Grey Glass (Residential)



Metal Panel- Dusty Charcoal



Metal Panel- Champagne Metallic

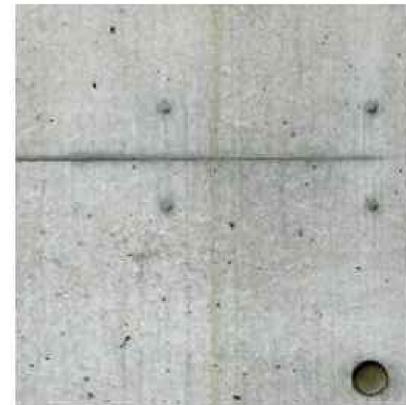
09 DECEMBER 2022	ISSUED FOR DP RESPONSE
13 JUNE 2022	ISSUED FOR DP RESPONSE
30 MARCH 2022	ISSUED FOR REZONING & DP

Revisions	YYYY-MM-DD

Restaurant & Market Podium



Light Brick - Canyon Mist



Architectural Concrete



Metal Panel-
Natural Chestnut



Flat Top Metal Mesh



Glulam & Steel Canopies

Seal

Douglas St

Victoria, BC

Project

MATERIALS

Drawing

Scale

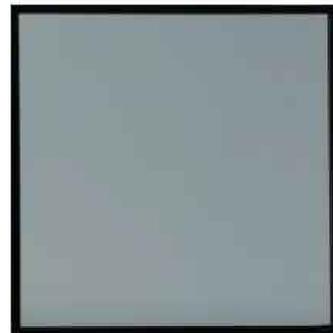
Project 221023

Sheet **A502A**

Building B



White Mullions



Grey Glass (Residential)

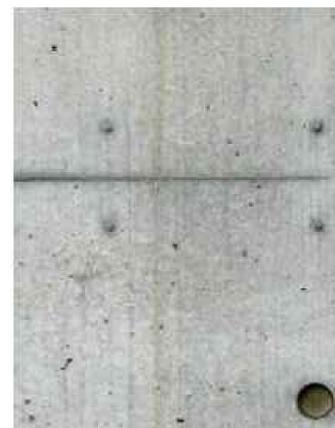


Metal Panel- Bone White

Office Podium



Dark Brick- Coal Creek



Architectural Concrete



Stainless Steel
Window Surrounds



Metal Panel-
Azure Blue



4 Sided Silicon Curtain Wall



Glulam & Steel Canopies

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ISSUED FOR REZONING & DP

Revisions	YYYY-MM-DD

Seal

Douglas St

Victoria, BC

Project

MATERIALS

Drawing

Scale

Project 221023

Sheet A502B

DRAWING CONTENT

- L0.00 COVER
- L0.01 PRECEDENT IMAGES
- L0.02 TREE MANAGEMENT PLAN
- L1.00 LAYOUT MATERIALS PLAN - PLAZA/GROUND LEVEL PLAZA & UPPER GROUND
- L1.01 LAYOUT MATERIALS PLAN - OFFICE/ ROOF AMENITY LEVEL
- L1.02 LAYOUT MATERIALS PLAN - ROOF TOP AMENITY
- L1.03 LAYOUT MATERIALS PLAN - DAYCARE & PENTHOUSE
- L2.01 GRADING PLAN
- L2.02 PROPOSED TREES AS REPLACEMENT TREES
- L2.03 SOIL DEPTH COORDINATION PLAN
- L2.04 SCHEMATIC LIGHTING PLAN
- L3.01 PLANTING PLAN
- L4.01 SECTIONS
- L4.02 SECTIONS
- L4.03 SECTIONS



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PROJECT
710 CALEDONIA

ADDRESS

710 CALEDONIA

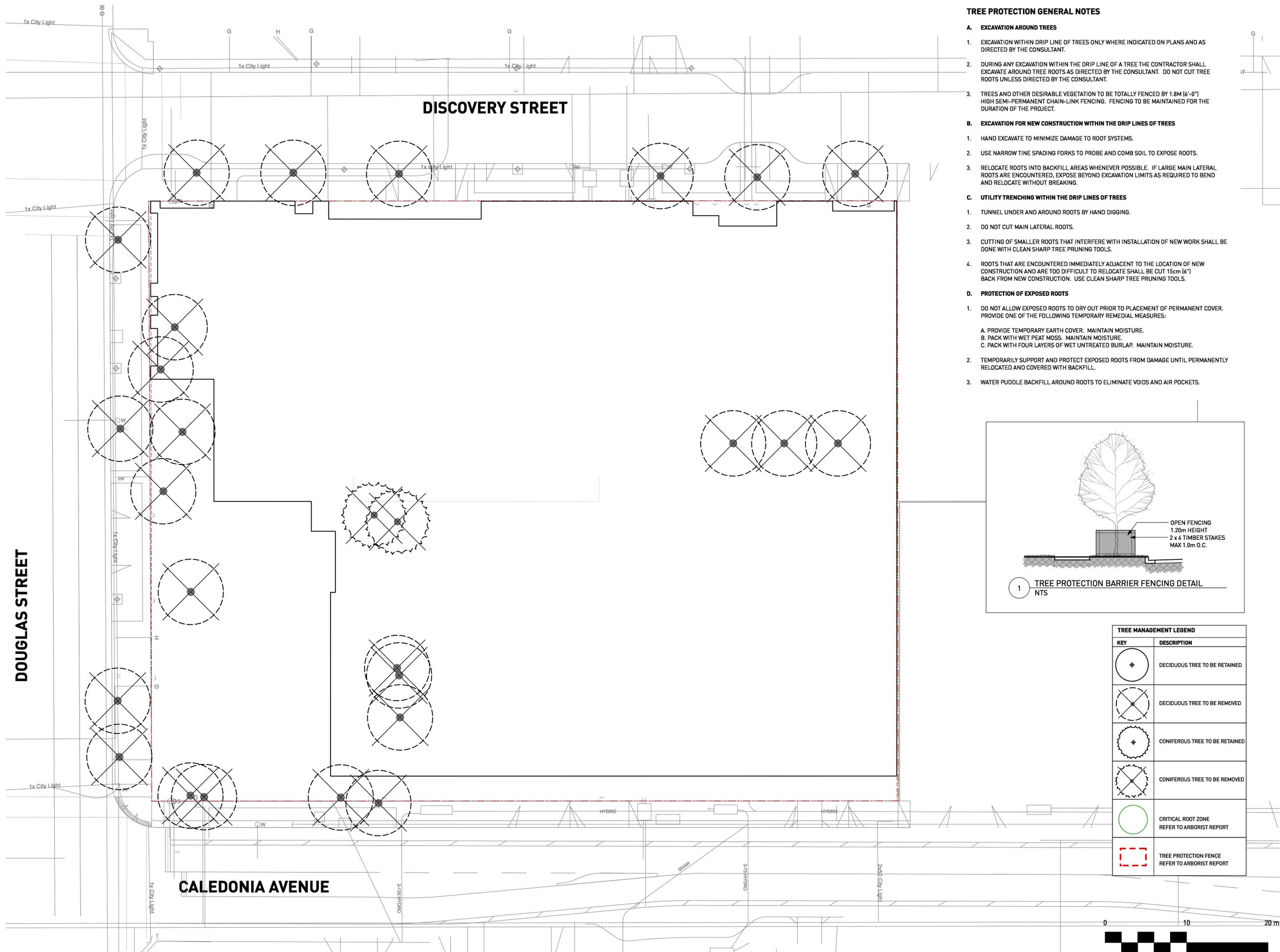
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COVER

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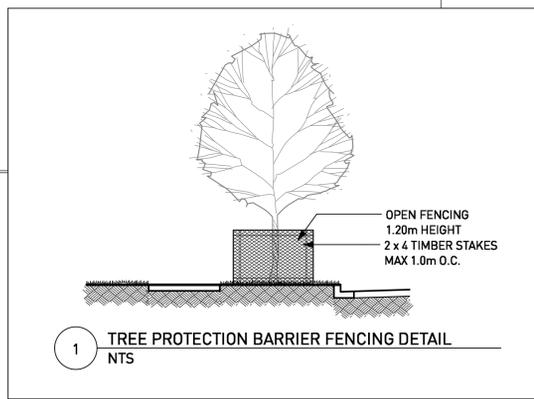
PROJECT NO.	21061
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PLOTTED	2022-12-08
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L0.00



TREE PROTECTION GENERAL NOTES

- A. EXCAVATION AROUND TREES**
 1. EXCAVATION WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
 2. DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
 3. TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED BY 1.8M (6'-0") HIGH SEMI-PERMANENT CHAIN-LINK FENCING. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES**
 1. HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
 2. USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
 3. RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
- C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES**
 1. TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
 2. DO NOT CUT MAIN LATERAL ROOTS.
 3. CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
 4. ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 15cm (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.
- D. PROTECTION OF EXPOSED ROOTS**
 1. DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
 - A. PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
 - B. PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.
 - C. PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
 2. TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
 3. WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.



TREE MANAGEMENT LEGEND	
KEY	DESCRIPTION
	DECIDUOUS TREE TO BE RETAINED
	DECIDUOUS TREE TO BE REMOVED
	CONIFEROUS TREE TO BE RETAINED
	CONIFEROUS TREE TO BE REMOVED
	CRITICAL ROOT ZONE REFER TO ARBORIST REPORT
	TREE PROTECTION FENCE REFER TO ARBORIST REPORT

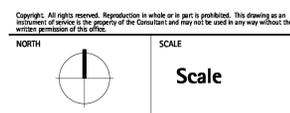
REVISIONS AND ISSUES

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710 CALEDONIA

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DRAWING TITLE
TREE MANAGEMENT PLAN



PROJECT NO.	21061
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DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE



- LAYOUT AND MATERIALS GENERAL NOTES**
- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
 - LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
 - LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
 - VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
 - EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
 - REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

HARDSCAPE MATERIALS LEGEND

KEY	DESCRIPTION
H1	C.I.P Concrete Planter Wall N/A Light Sand Blasting
H2	C.I.P Concrete Stairs N/A Colour: Natural; Finish: Light Sandblasting
H3	Water Feature N/A Refer to Plan and Details
H4	C.I.P Concrete Seat Wall/ Timber Seat Top N/A Refer to Plan and Details

SITE FURNISHING MATERIALS LEGEND

KEY	DESCRIPTION
F1	Picnic Table TBD
F2	Outdoor Tables and Chairs TBD
F3	Bench TBD
F4	Timber Seat TBD
F5	BBQ Counter TBD
F6	Bike Rack TBD
F7	Metal Planter TBD
F8	Trellis TBD
F9	Outdoor Lounge with Fire Table TBD
F10	Play Equipment TBD
F11	Dog Play Equipment TBD
F12	Outdoor Sofa Set TBD
F13	Graden Pot TBD
F14	Potting Table TBD
F15	Fence TBD
F16	Gate TBD
F17	Guardrail Type 1 by Arch
F18	Guardrail Type 2 TBD

PAVING MATERIALS LEGEND

KEY	DESCRIPTION
P1	CIP Concrete Paving Colour: Natural; Finish: Broom Finish
P2	CIP Concrete Banding Colour: Natural; Finish: Broom Finish
P3	Concrete Unit Paver Type 1 TBD
P4	Concrete Unit Paver Type 2 TBD
P5	Concrete Unit Paver Type 3 TBD
P6	Concrete Unit Paver Type 4 TBD
P7	Concrete Unit Paver Type 5 TBD
P8	Gravel Strip TBD
P9	Resilient Surface Type 1 TBD
P10	Resilient Surface Type 2 TBD

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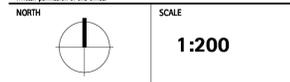
PROJECT
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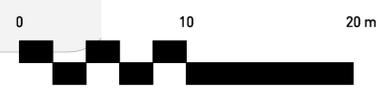
DRAWING TITLE
**LAYOUT AND MATERIALS
 PLAN-ROOF TOP
 AMENITY**

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NOTE: REFER TO CIVIL AND OFFSITE PACKAGE FOR ALL OFFSITE INFORMATION

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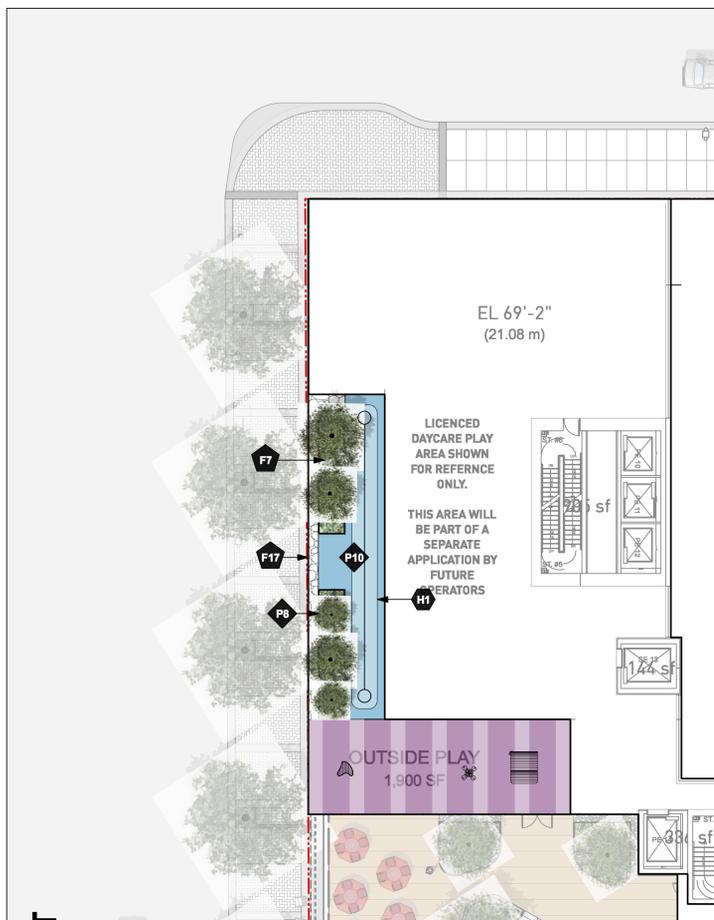


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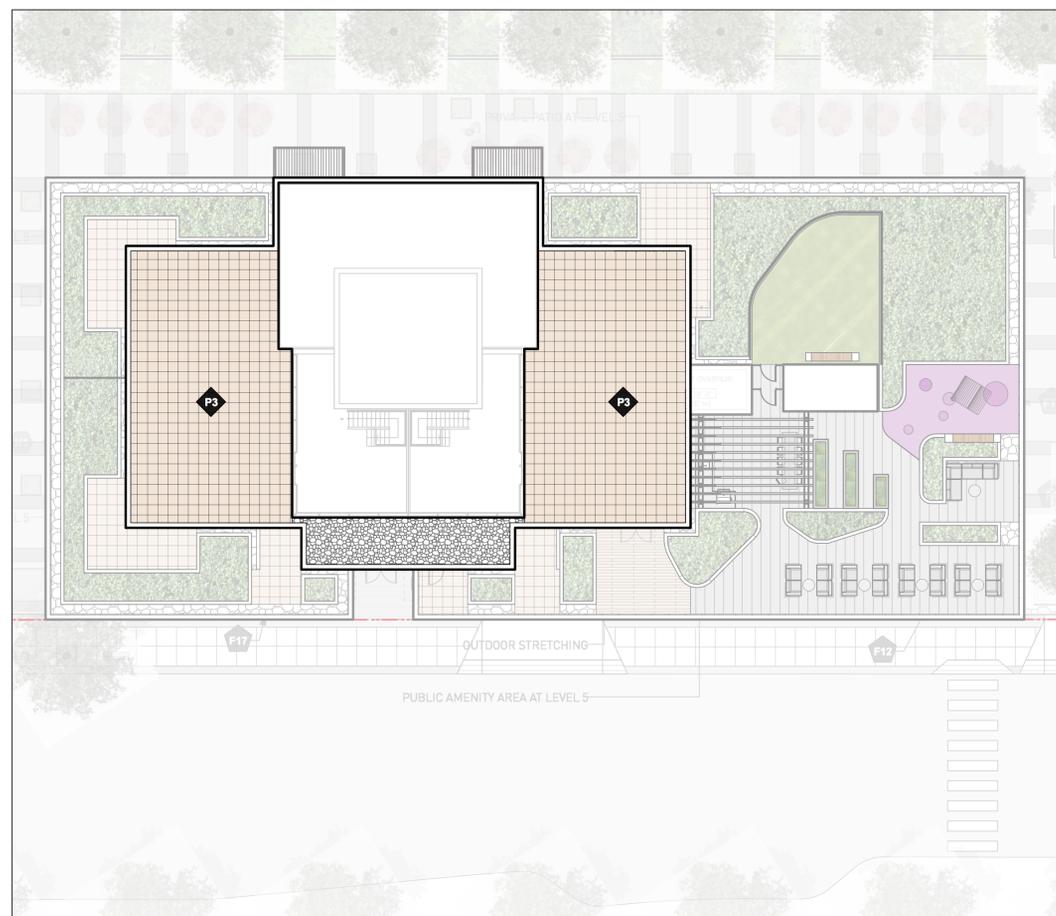
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LAYOUT AND MATERIALS GENERAL NOTES

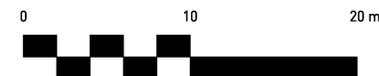
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LAYOUT PLAN - DAYCARE LEVEL



LAYOUT PLAN - PENTHOUSE LEVEL AT CONDO BUILDING



HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
H1	C.I.P Concrete Planter Wall N/A Light Sand Blasting
H2	C.I.P Concrete Stairs N/A Colour: Natural; Finish: Light Sandblasting
H3	Water Feature N/A Refer to Plan and Details
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F8	Trellis TBD
F9	Outdoor Lounge with Fire Table TBD
F10	Play Equipment TBD
F11	Dog Play Equipment TBD
F12	Outdoor Sofa Set TBD
F13	Graden Pot TBD
F14	Potting Table TBD
F15	Fence TBD
F16	Gate TBD
F17	Guardrail Type 1 by Arch
F18	Guardrail Type 2 TBD

NOTE: REFER TO CIVIL AND OFFSITE PACKAGE FOR ALL OFFSITE INFORMATION

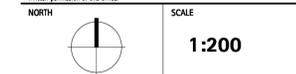
PROJECT
710 CALEDONIA

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DRAWING TITLE
**LAYOUT AND MATERIALS
PLAN-DAYCARE &
PENTHOUSE**

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GRADING GENERAL NOTES

1. REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
3. GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5. UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE DRAWINGS.
6. UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
7. UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
8. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
9. TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
10. TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

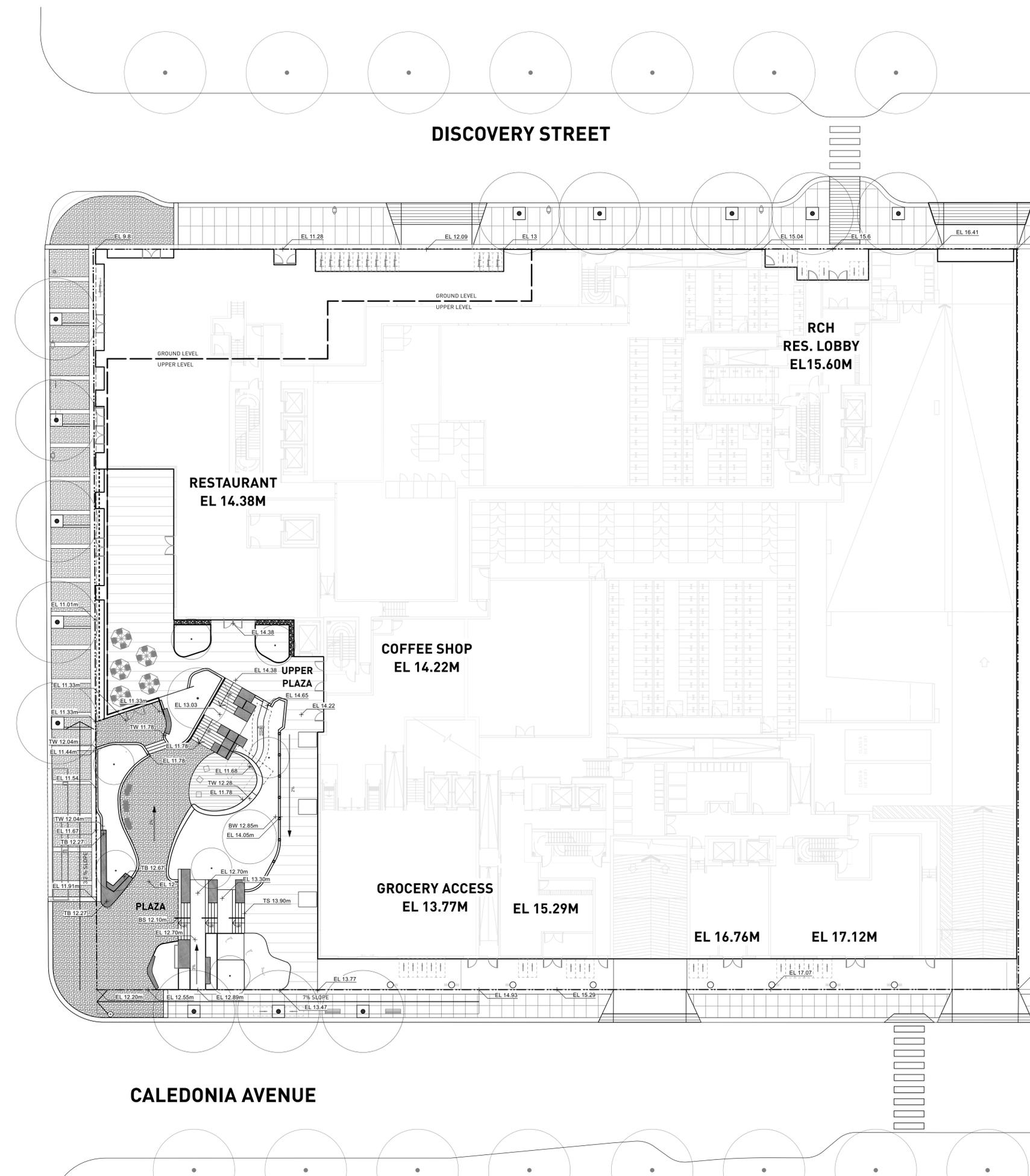
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GRADING LEGEND	
	Existing Elevation
	Proposed Elevation
	Finished Floor Elevation
	Proposed Top of Wall Elevation
	Proposed Bottom of Wall Elevation
	Proposed Top of Stair Elevation
	Proposed Bottom of Stair Elevation
	Proposed Top of Curb Elevation
	Proposed Bottom of Curb Elevation
	Proposed Top of Ramp Elevation
	Proposed Bottom of Ramp Elevation
	Swale Elevation
	Existing Contour
	Proposed Contour
	Trench Drain
	Perforated Pipe
	Area Drain
	Lawn Basin
	Planter Drain
	Catch Basin
	Roof Drain, shown for reference only, see mechanical and architectural drawings

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

DOUGLAS STREET



PROJECT
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DRAWING TITLE
GRADING PLAN

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DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE

TREES PROPOSED FOR THE REPLACEMENT TREES

LEGEND	QUANTITY	LOCATION
	6	PLAZA/UPPER GROUND LEVEL
	22	OFFICE/ROOF AMENITY LEVEL
	15	ROOF TOP AMENITY LEVEL
	43	ENTIRE ON SITE AREA

- TOTAL 64 TREES ARE PROPOSED AT ON SITE AREA
 - 44 TREES ARE PROVIDED AS REPLACEMENT TREES AT ON SITE AREA AS PER SCHEDULE E
 - 42 REPLACEMENT TREES ARE REQUIRED PER THE ARBORIST REPORT
 - ALL ONSITE TREES (INCLUDING TREES ARE NOT COUNTED AS REPLACEMENT TREE) MEET MINIMUM SOIL VOLUME REQUIREMENT

UPDATED QUANTITY OF REPLACEMENT TREES PER CURRENT PLAN

PROJECT
710 CALEDONIA

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DRAWING TITLE
PROPOSED TREES AS REPLACEMENT TREES

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△ ADJUSTED PLANTING BED 28, 53, 55, 56, 60 TO ACHIEVE THE REQUIRED OFFSET BETWEEN TREES AND SUFFICIENT SOIL VOLUME

PROJECT
710 CALEDONIA

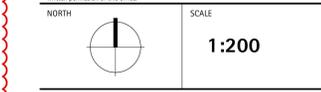
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SOIL DEPTH COORDINATION PLAN

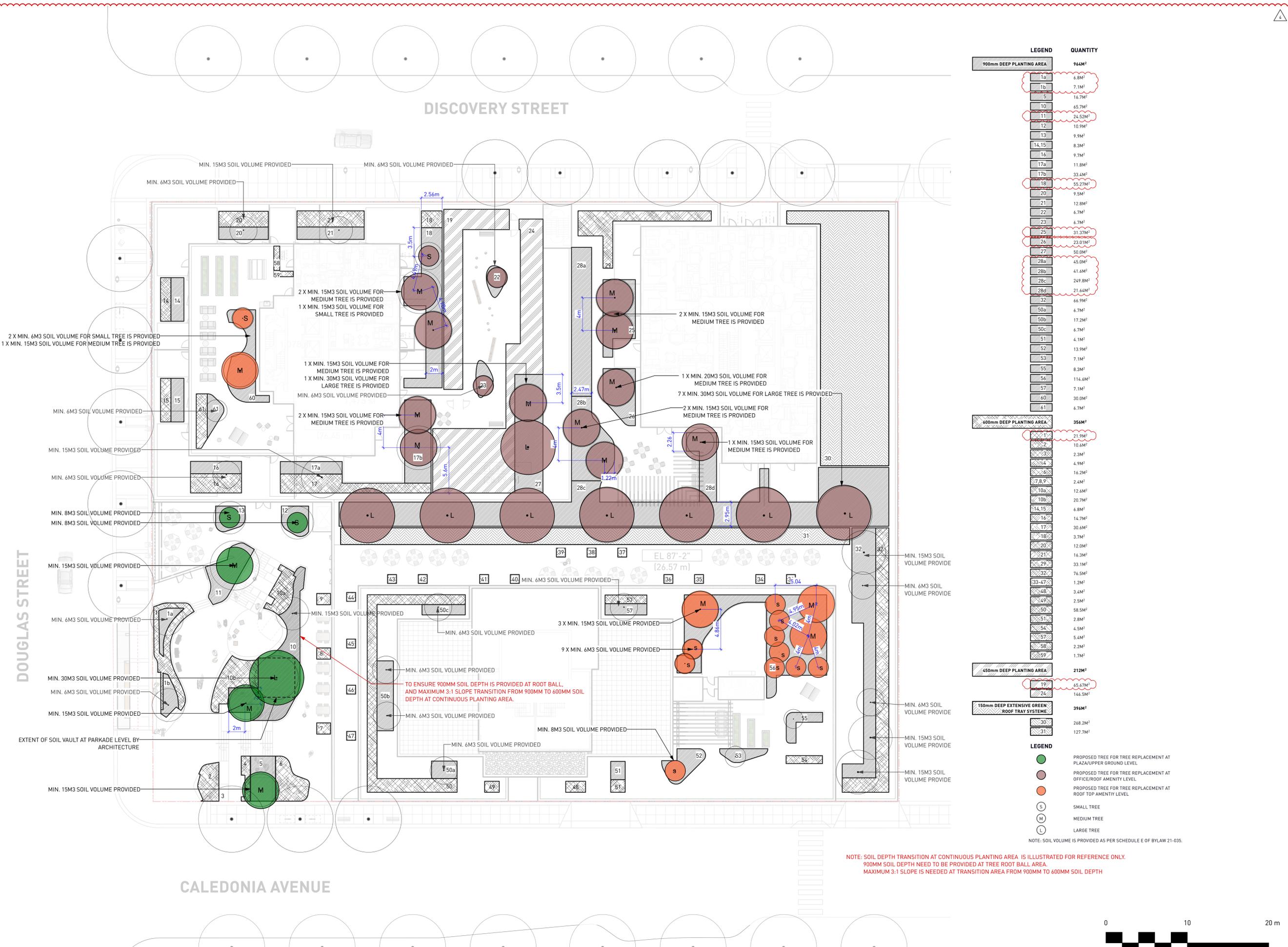
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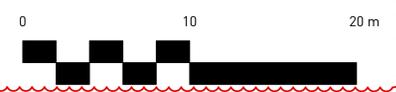
LEGEND	QUANTITY
900mm DEEP PLANTING AREA	964M²
1a	6.8M ²
1b	7.1M ²
5	16.7M ²
10	45.7M ²
11	26.52M ²
12	10.9M ²
13	9.9M ²
14,15	8.3M ²
16	9.7M ²
17a	11.8M ²
17b	33.4M ²
18	55.27M ²
20	9.5M ²
21	12.8M ²
22	6.7M ²
23	6.7M ²
25	31.37M ²
26	23.01M ²
27	50.0M ²
28a	45.0M ²
28b	41.6M ²
28c	249.8M ²
28d	21.64M ²
32	64.9M ²
50a	6.7M ²
50b	17.2M ²
50c	6.7M ²
51	4.1M ²
52	13.9M ²
53	7.1M ²
55	8.3M ²
56	114.6M ²
57	7.1M ²
60	30.0M ²
61	6.7M ²
600mm DEEP PLANTING AREA	356M²
2	21.9M ²
3	10.6M ²
4	2.3M ²
4	4.9M ²
16,2M	16.2M ²
7,8,9	2.4M ²
10a	12.6M ²
10b	20.7M ²
14,15	6.8M ²
16	14.7M ²
17	30.6M ²
18	3.7M ²
20	12.0M ²
21	16.3M ²
22	33.1M ²
32	76.5M ²
33-47	1.2M ²
48	3.4M ²
47	2.5M ²
50	58.5M ²
51	2.8M ²
54	4.5M ²
57	5.4M ²
58	2.2M ²
59	1.7M ²
450mm DEEP PLANTING AREA	212M²
19	65.67M ²
24	146.5M ²
150mm DEEP EXTENSIVE GREEN ROOF TRAY SYSTEM	396M²
30	268.3M ²
31	127.7M ²

LEGEND

- PROPOSED TREE FOR TREE REPLACEMENT AT PLAZA/UPPER GROUND LEVEL
- PROPOSED TREE FOR TREE REPLACEMENT AT OFFICE/ROOF AMENITY LEVEL
- PROPOSED TREE FOR TREE REPLACEMENT AT ROOF TOP AMENITY LEVEL
- S SMALL TREE
- M MEDIUM TREE
- L LARGE TREE

NOTE: SOIL VOLUME IS PROVIDED AS PER SCHEDULE E OF BYLAW 21-035.

NOTE: SOIL DEPTH TRANSITION AT CONTINUOUS PLANTING AREA IS ILLUSTRATED FOR REFERENCE ONLY. 900MM SOIL DEPTH NEED TO BE PROVIDED AT TREE ROOT BALL AREA. MAXIMUM 3:1 SLOPE IS NEEDED AT TRANSITION AREA FROM 900MM TO 600MM SOIL DEPTH



DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE

LIGHTING LEGEND

- LED Strip Light
- Catenary Light
- ⊙ Bollard Light
- ▧ Wall Light
- ⊙ UL Up Light in Planter
- ⊙ PL Light in Water feature
- ⊙ DL Down Lighting at Trellis

NOTE: DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION BETWEEN CONTRACTORS.

REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR FIXTURE TYPES AND LAYOUT, CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONSULTANT FOR COMMENTS.

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-03-26	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
4	2022-12-07	REVISED AND REISSUED PER CITY COMMENTS

PROJECT
710 CALEDONIA

ADDRESS
 710 CALEDONIA

DRAWING TITLE
SCHEMATIC LIGHTING PLAN

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NORTH SCALE
1:200

PROJECT NO.	21061
DATE	2021-11-26
FILE NAME	21061 PLAN 3.vwx
PLOTTED	2022-12-08
DRAWN	TT
REVIEWED	JZ/GB



L2.04

Urban Forest



NO.	DATE	DESCRIPTION
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
2	2022-06-13	ISSUED FOR DP RESPONSE
1	2022-03-25	ISSUED FOR DP

ID	Native/Pollinator/ Food Bearing	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
ACR	N	Acer circinatum	Vine Maple	2.4 m ht. [8'-0" ht.]	As Shown	B&B, Nursery grown, minimum 3 stems
AGR		Acer griseum	Paper Bark Maple	5 cm cal. [2" cal.]	As Shown	B&B, Uniform branching, dense tree, 6' [1.8m] std.
APL		Acer palmatum 'Green'	Green Japanese Maple	2.4 m ht. x 1.8 m w. [8'ht. x 6'w.]	As Shown	B&B, Specimen and densely branched, no included bark
ARJ		Acer rubrum 'Frank Jr.'	Redpointe Red Maple	8 cm cal. [3" cal.]	As Shown	B&B, Uniform branching, dense tree, 7' [2.1 m] std.
AXA	P	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4 cm cal. [1 1/2" cal.]	As Shown	B&B, Multi-stemmed, dense tree
CCD	P	Cercis canadensis 'Appalachian Red'	Appalachian Red Eastern Redbud	2.4 m ht. [8'-0" ht.]	As Shown	B&B, Multi-stem, nursery grown
PMZ 1.8m	N	Pseudotsuga menziesii	Douglas Fir	1.8 m ht. [6'-0" ht.]	As Shown	B&B, Uniform, dense branching, nursery growth
QCC	P	Quercus coccinea	Scarlet Oak	3.0 m ht. [9'-0" ht.]	As Shown	B&B, Uniform branching, dense tree, 7' [2.1 m] std.
SPS		Stewartia pseudocamellia	Japanese Stewartia	5 cm cal. [2" cal.]	As Shown	B&B, Well branched, dense tree
Shrubs						
AOL	P	Azalea 'Orchid Lights'	Orchid Lights Azalea	#2 pot	75cm [30"]	Well established
AJC	P	Azalea japonica 'Hino Crimson'	Hino Crimson Japanese Azalea	#2 pot	60cm [24"]	Well established
CSK		Cornus sericea 'Kelseyii'	Kelseyii Dogwood	#2 pot	60cm [24"]	Well established, nursery grown
GSH	N, F, P	Gaultheria shallon	Salal	#2 pot	45cm [18"]	Well established, nursery grown
LPL		Lonicera pileata	Privet Honeysuckle	#1 pot	45cm [18"]	30 cm [12"] spread
RSA	N, P	Ribes sanguineum	Flowering Currant	#2 pot	100cm [39"]	Well established, nursery grown
RWM	P	Rosa 'White Meidiland'	White Meidiland Rose	#2 pot	45cm [18"]	Well established
SRJ		Skimmia japonica 'Rubella'	Red Flowered Japanese Skimmia	#2 pot	60cm [24"]	Well established
SBA	P	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	#2 pot	60cm [24"]	Well established
TXM		Taxus x media 'H.M.Eddie'	H.M.Eddie Yew	1.2m	60cm [24"]	Well established, dense hedging plant / B & B
VCN	P, F	Vaccinium corymbosum 'Northblue'	Northblue Blueberry	#3 pot	120cm [48"]	Well established
VOT	P	Vaccinium ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	#3 pot	75cm [30"]	Well established, nursery grown
Ground Cover						
ECS		Erica carnea 'Springwood White'	Dwarf White Heath	#1 pot	38cm [15"]	15cm [6"] height
FVS	N, F	Fragaria vesca	Woodland Strawberry	#1 pot	25 cm [10"]	Well established, nursery grown
MRP	N	Mahonia nervosa	Dwarf Oregon Grape	#1 pot	40cm [16"]	Well established, nursery grown
PTM		Pachysandra terminalis	Japanese Spurge	#1 pot	38cm [15"]	10cm [4"] height
Perennials						
AHY	N, P	Anemone hybrida	Japanese Anemone	#1 pot	38 cm [15"]	Well established
EPR	P	Echinacea purpurea	Purple Cone Flower	#1 pot	45 cm [18"]	Well established
HFE	P	Hosta 'Francee'	Francee Hosta	#1 pot	60 cm [24"]	Well established
IVC	P	Iris versicolor	Blue Flag Iris	#1 pot	38 cm [15"]	Well established
NFW	P	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	#1 pot	38 cm [15"]	Well established
ORV	P, F	Origanum vulgare	Oregano	#1 pot	30cm [12"]	Well established
RBG	P	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#1 pot	45 cm [18"]	Well established
SLA	P	Stachys lanata	Lamb's Ear	#1 pot	38 cm [15"]	Well established
TGR	N	Tellima grandiflora	Fringe Cup	#1 pot	30 cm [12"]	Well established, nursery grown
Ornamental Grasses						
CAK		Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reedgrass	#1 pot	75 cm [30"]	Well established
PAH		Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	#1 pot	45 cm [18"]	Well established
Aquatic Plants						
CSA	N	Carex stipata	Saw Beak Sedge	#1 pot	40 cm [16"]	Full dense plant, nursery grown
JEF	N	Juncus effusus	Common Rush	#1 pot	30 cm [12"]	Well established
TLA	N	Typha latifolia	Cattail	#1 pot	90 cm [36"]	Well established
Ferns						
BSP	N	Blechnum spicant	Deer Fern	#1 pot	38 cm [15"]	Well established, nursery grown
PMU	N	Polystichum munitum	Western Sword Fern	#1 pot	45 cm [18"]	Well established, nursery grown

Play Area



Terraced Plaza



Rain Garden



Dog Park/BBQ/Private Patios



PROJECT
710 CALEDONIA

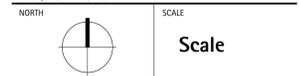
ADDRESS

710 CALEDONIA

DRAWING TITLE

PLANTING LIST + IMAGES

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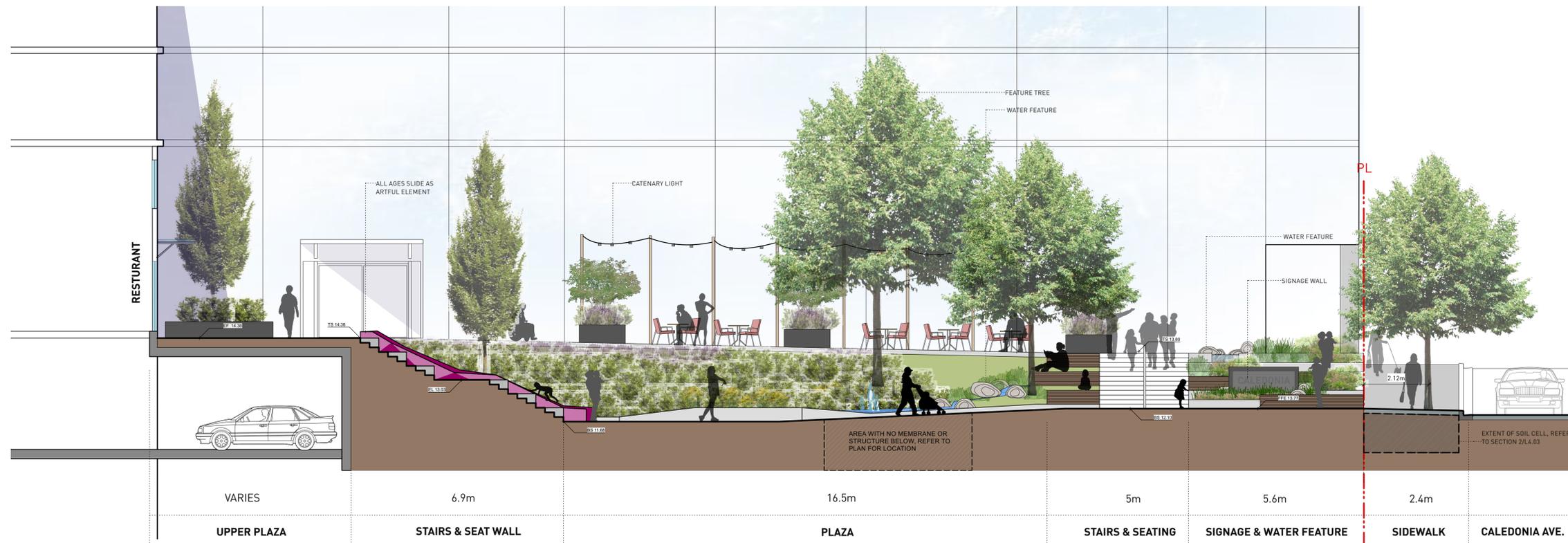


PROJECT NO.	21061
DATE	2021-11-26
FILE NAME	21061 Plant List and Images.vwx
PLOTTED	2022-12-07
DRAWN	TT
REVIEWED	JZ/GB

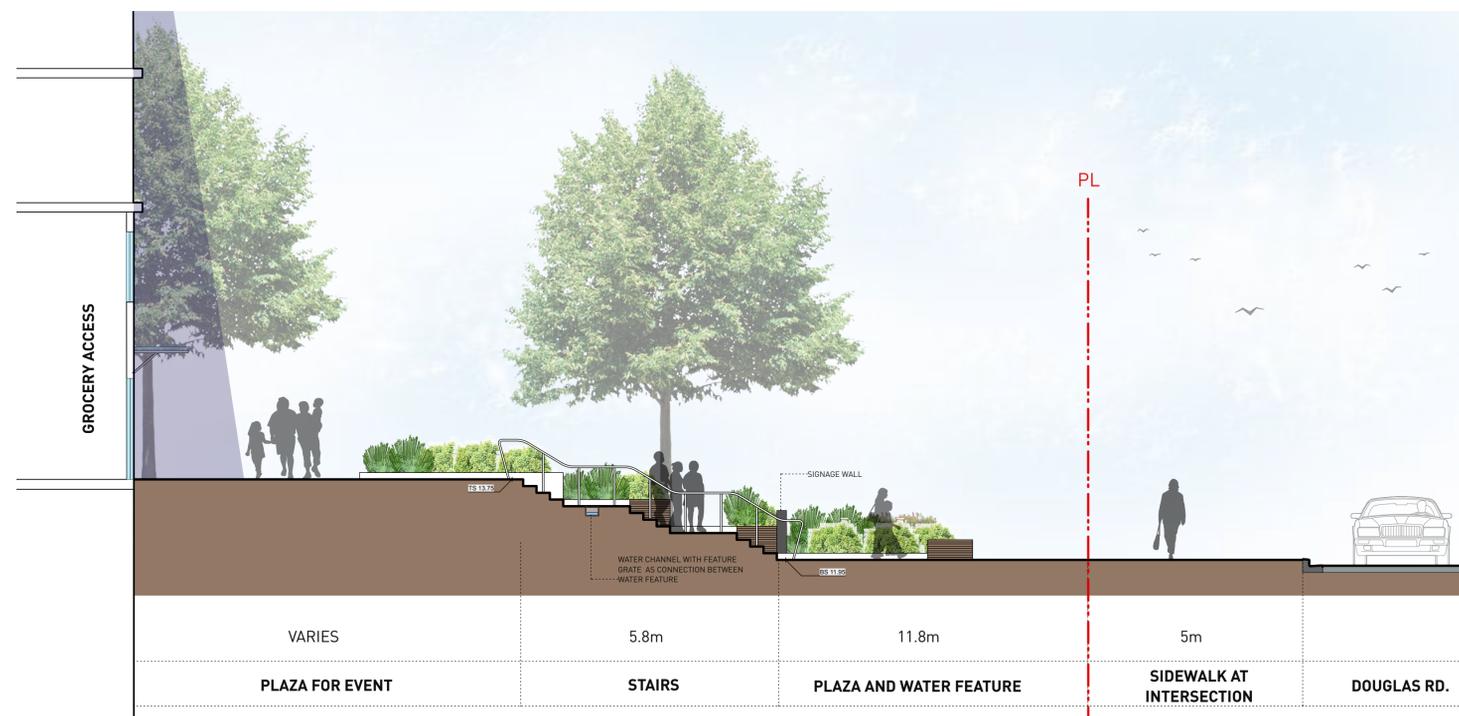
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REVISIONS AND ISSUES

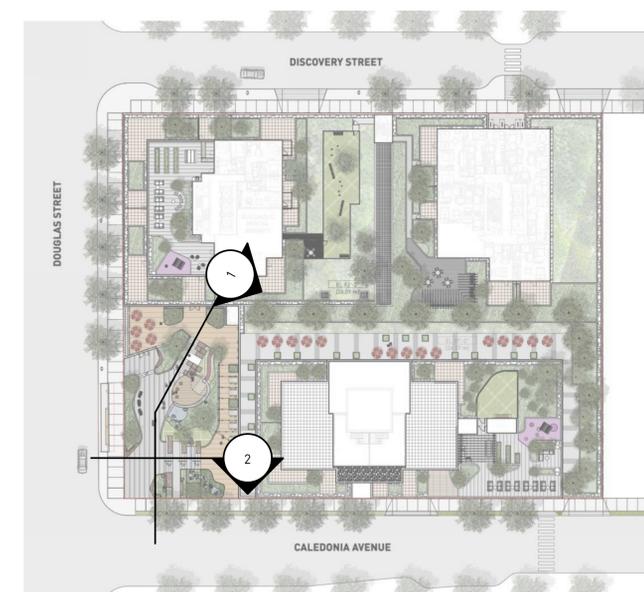
NO.	DATE	DESCRIPTION
1	2022-03-30	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS



1 GROUND LEVEL AND PLAZA AT GROCERY ACCESS
 Scale: 1:75



2 GROUND LEVEL AND UPPER PLAZA
 Scale: 1:75



KEY PLAN

PROJECT
710 CALEDONIA

ADDRESS
 710 CALEDONIA

DRAWING TITLE
SECTIONS

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PROJECT NO.	21061
DATE	2019-05-10
FILE NAME	21061 SECTIONS_20221207.vwx
PLOTTED	2022-12-08
DRAWN	TT
REVIEWED	GB

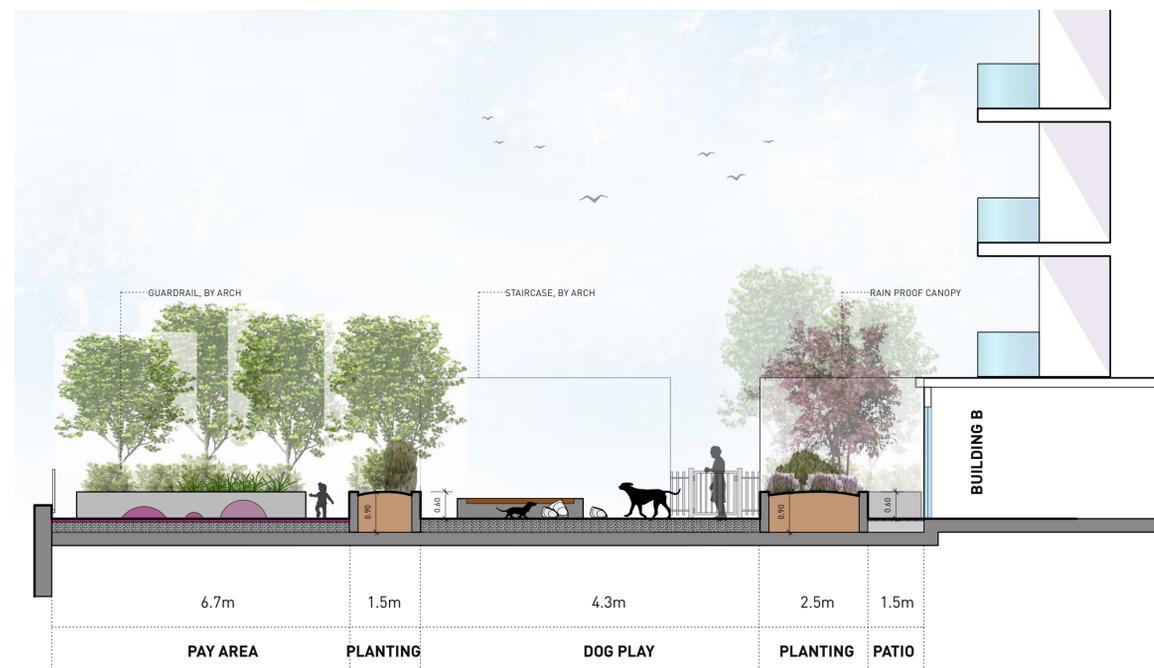
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L4.01

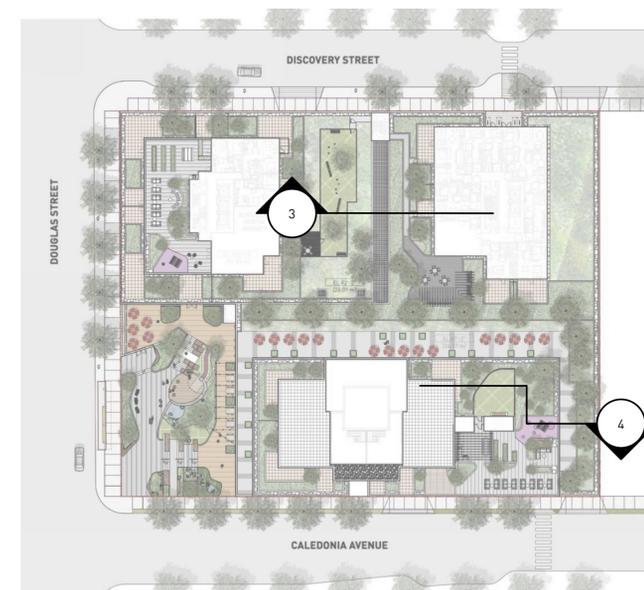
REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-30	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS



3 ROOF TOP AMENITY AT BUILDING A & C
 Scale: 1:75



4 ROOF TOP AMENITY AT BUILDING B
 Scale: 1:75



KEY PLAN

PROJECT
710 CALEDONIA

ADDRESS
 710 CALEDONIA

DRAWING TITLE
SECTIONS

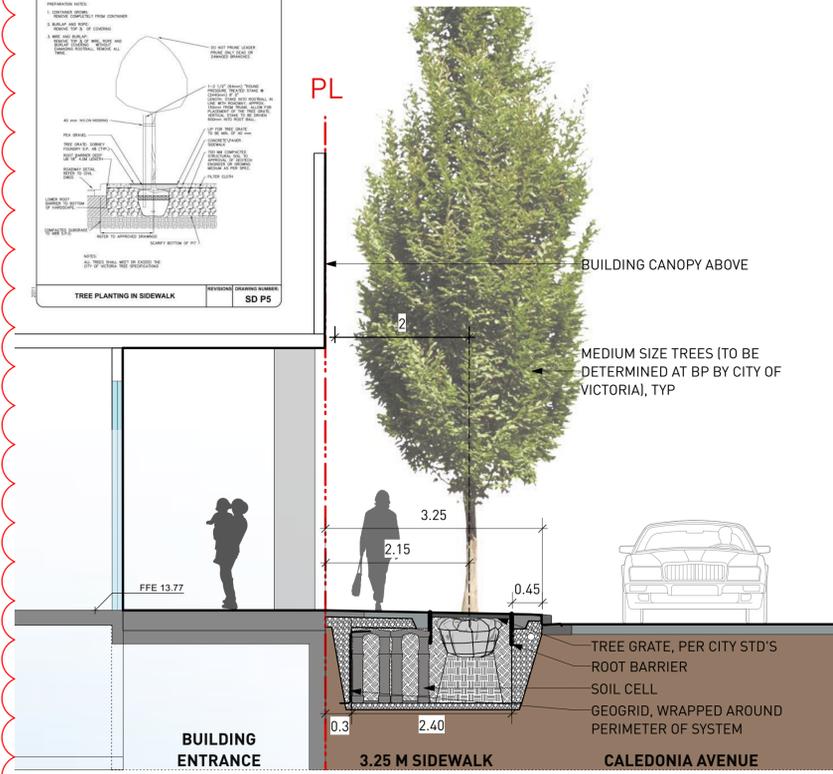
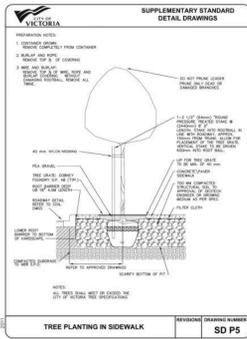
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PROJECT NO.	21061
DATE	2019-05-10
FILE NAME	21061 SECTIONS_20221207.vwx
PLOTTED	2022-12-08
DRAWN	TT
REVIEWED	GB

DRAWING

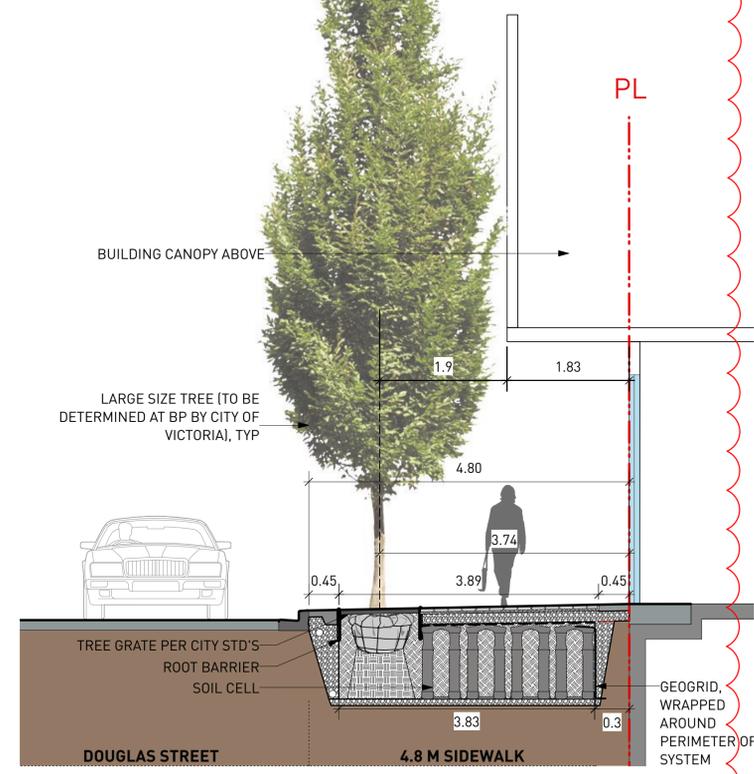
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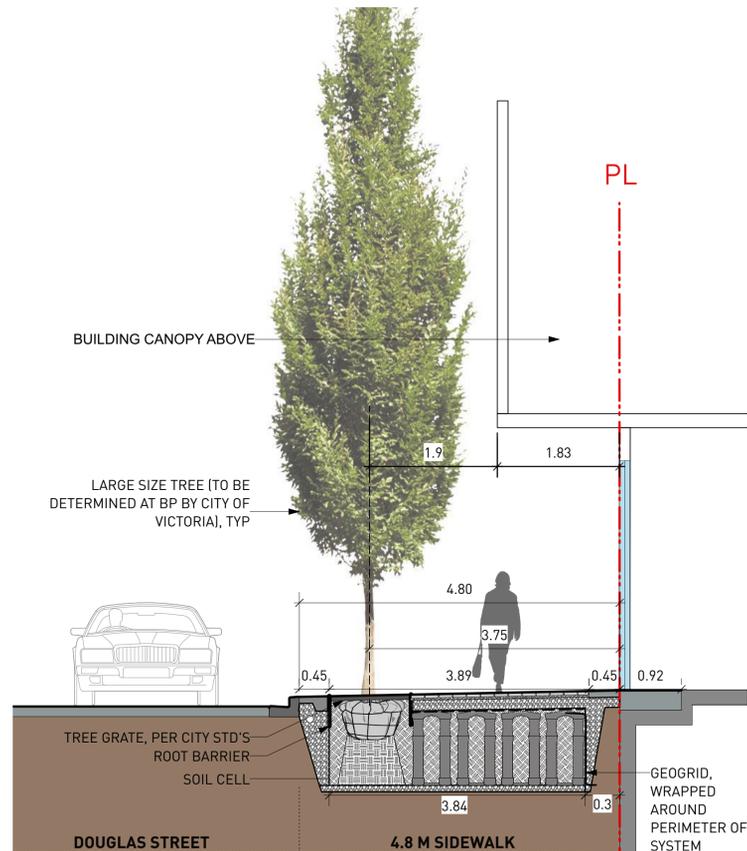
1 SECTION AT CALEDONIA AVENUE
Scale: 1:50



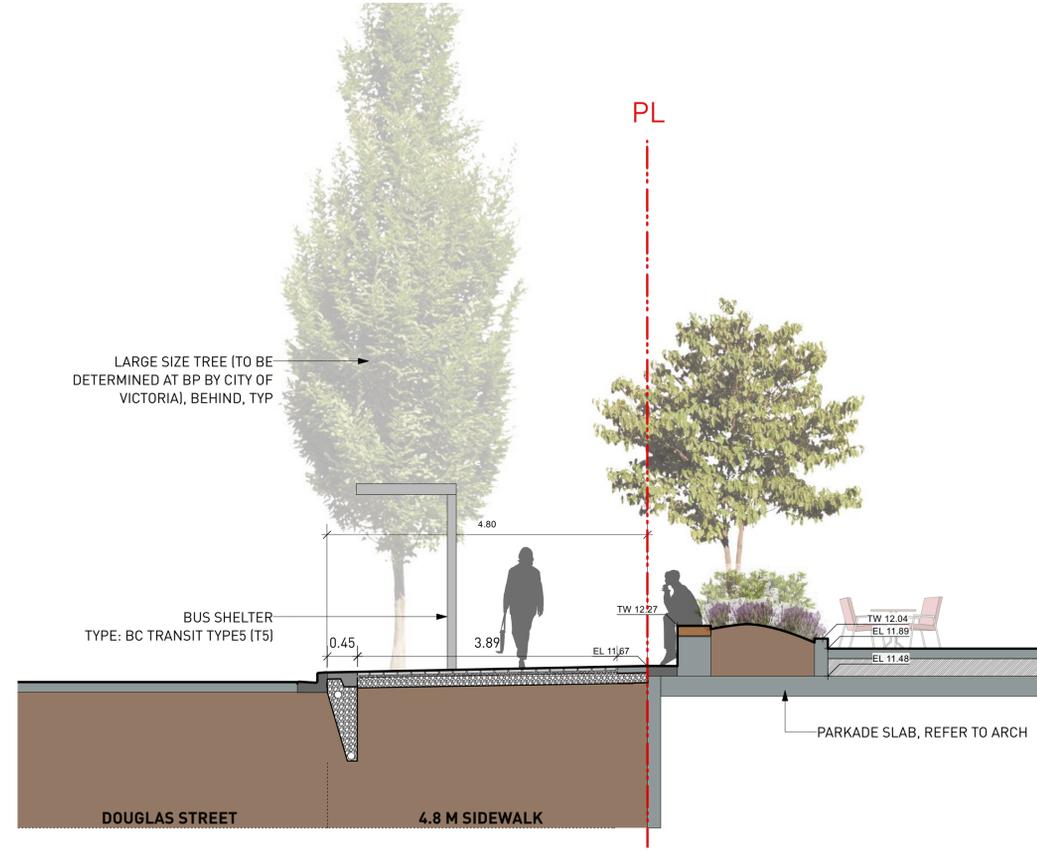
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Scale: 1:50



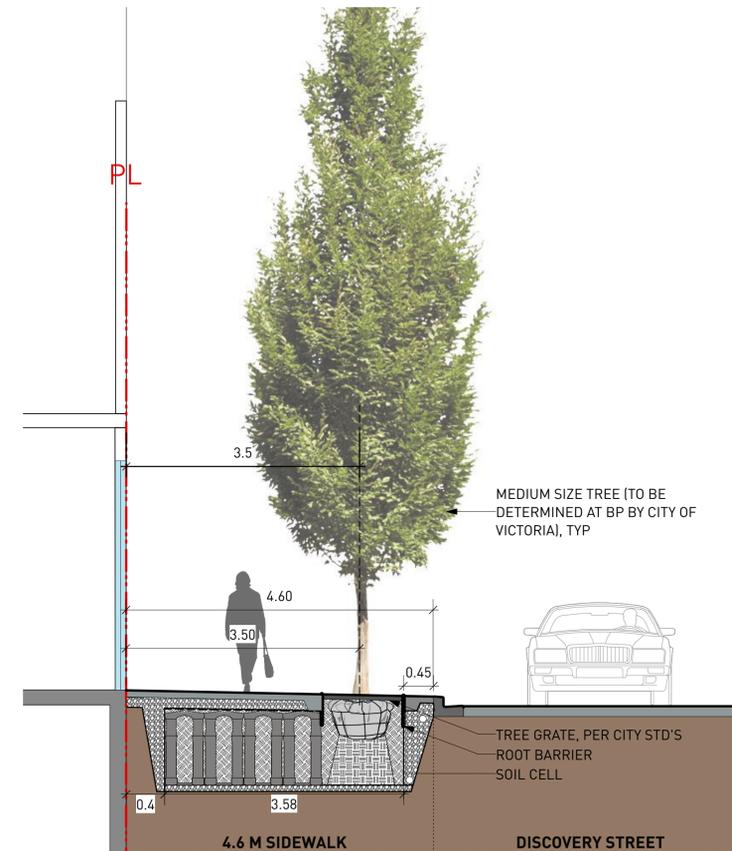
3 SECTION AT DOUGLAS STREET
Scale: 1:50



4 SECTION AT DOUGLAS STREET
Scale: 1:50



5 SECTION AT DOUGLAS STREET
Scale: 1:50

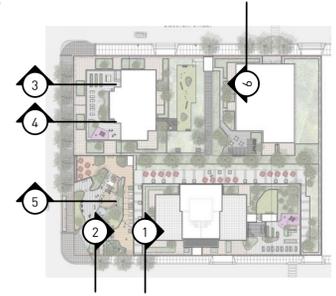


6 SECTION AT DISCOVERY STREET
Scale: 1:50

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-03-30	ISSUED FOR BP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
4	2022-12-07	REVISED AND REISSUED PER CITY COMMENTS

8 UPDATED SECTIONS TO INDICATE OFFSITE LANDSCAPE WITH ILLUSTRATIVE SOIL CELL PLACEMENT, CLEARANCE FROM CENTER OF TREES AND BUILDING/PARKADE WALL

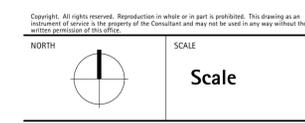


KEY PLAN

PROJECT
710 CALEDONIA

ADDRESS
710 CALEDONIA

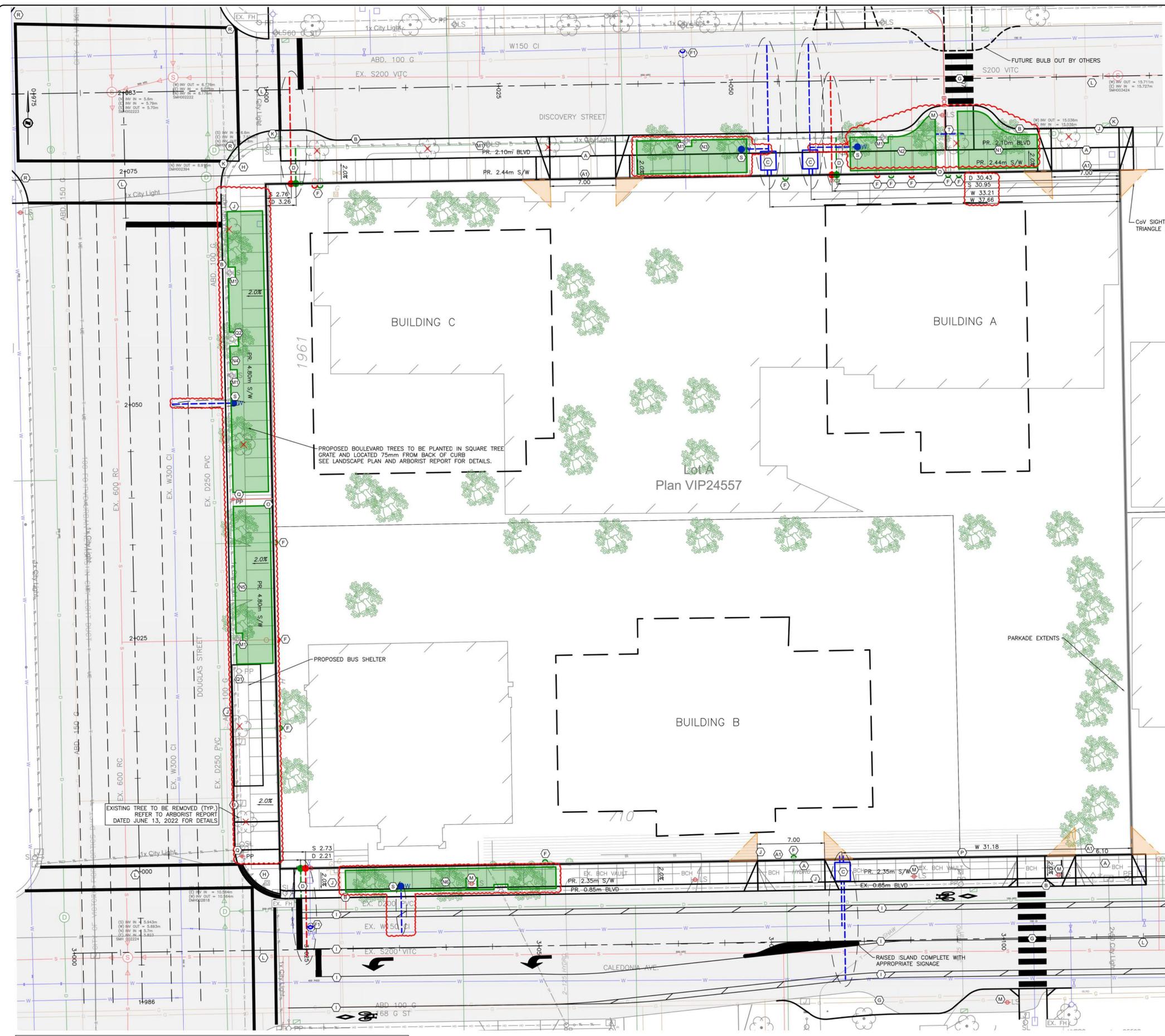
DRAWING TITLE
SECTIONS _ OFFSITE



PROJECT NO.	21061
DATE	2019-05-10
FILE NAME	21061 SECTIONS_20221207.vwx
PLOTTED	2022-12-08
DRAWN	TT
REVIEWED	GB

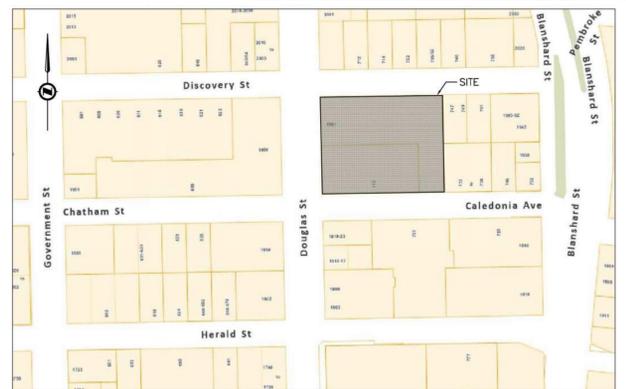
DRAWING

L4.03



SHEET NOTES

- (A) PROPOSED DRIVEWAY AS PER CoV HIGHWAY ACCESS BYLAW SCHEDULE B. PARKADE ACCESS GRADES TO BE AS PER CoV HIGHWAY ACCESS BYLAW.
- (B) CONTRACTOR TO INSTALL TRENCH DRAIN TO CONTROL PRIVATE STORMWATER RUNOFF AS REQUIRED.
- (C) REPLACE EXISTING SIDEWALK AND BOULEVARD TO CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN AND STREETSCAPE STANDARDS DATED JANUARY 2019. (DOUGLAS STREET (pg.80-82) AND NEW TOWN (pg.73-76) DISTRICTS) WHERE APPLICABLE.
- (D) PROPOSED 100mm DOMESTIC WATER AND 150mm FIRE WATER AND 75mm WATER METER AS PER CoV SD Wzh.
- (E) PROPOSED 200mm SANITARY SERVICE AND 200mm STORM SERVICE.
- (F) EXISTING SANITARY AND STORM SERVICE TO BE CAPPED BY CONTRACTOR WITHIN PRIVATE PROPERTY.
- (G) EXISTING WATER SERVICE TO BE CAPPED BY CITY OF VICTORIA AT DEVELOPERS EXPENSE.
- (H) PROPOSED CROSSWALK COMPLETE WITH LETDOWNS AND SIGNALIZATION. EXISTING GUTTER AND PARKING AREA AND ASSOCIATED ELECTRICAL TO BE RELOCATED/ESTABLISHED AS REQUIRED.
- (I) PROPOSED CROSSWALK LETDOWN COMPLETE WITH 1.5m PANEL TRANSITION.
- (J) PROPOSED LANE DESIGN STREET MARKINGS AS PER CITY OF VICTORIA.
- (K) EXISTING STREET SIGNAGE TO BE REPLACED AND RELOCATED AS REQUIRED.
- (L) CONTRACTOR TO UPGRADE/RELOCATE EXISTING CATCH BASIN AND LEADS TO CURRENT STANDARDS, WHERE PRACTICAL ROAD RUNOFF TO BE DIRECTED TO SOIL CELLS FOR TREATMENT.
- (M) CONTRACTOR TO MILL AND FILL 50mm UP TO CENTRELINE FOR ENTIRE FRONTAGE. CONTRACTOR TO REINSTATE PAINT MARKINGS AS REQUIRED. CONTRACTOR TO REPAIR PAVING SURFACE AT ALL SERVICE TRENCH LOCATIONS.
- (N) PROPOSED LUMINAIRE LOCATION. FINAL LOCATIONS TO BE CONFIRMED AT BP.
- (O) EXISTING LUMINAIRE TO BE RE/RE AS REQUIRED.
- (P) AVAILABLE AREA FOR PLANTING (BOULEVARD / SOIL CELLS). FINAL CONFIGURATION TO BE DETERMINED DURING DETAILED DESIGN AND FINAL UTILITY COORDINATION.
- (Q) PROPOSED HYDRO SERVICE.
- (R) EXISTING HYDRO SERVICE TO REMAIN.
- (S) PROPOSED UTILITY POLE.
- (T) EXISTING UTILITY POLE TO BE REMOVED FOR NEW BUS SHELTER.
- (U) EXISTING UTILITY POLE TO BE RELOCATED FOR NEW TREE.
- (V) EXISTING INTERSECTION AT DISCOVERY/DOUGLAS TO BE UPGRADED WITH FULL SIGNALIZATION. NON PROJECT RELATED CURB RETURNS TO BE RE/RE AS REQUIRED. DESIGN TO BE CONTINUED DURING BP.
- (W) PROPOSED IRRIGATION SERVICE COMPLETE WITH METER AND BACKFLOW PREVENTER.
- (X) PROPOSED IRRIGATION SLEEVING.



KEY PLAN
 NTS
 LEGAL DESCRIPTION: VIP24557 LOT A & VIP23509 LOT 1
 003-107-329 & 103-017-575
 BENCHMARK: MONUMENT 17-103
 ELEV. 9.60m

AVAILABLE SOIL CELL VOLUME

N1	- 41m ² * 1m DEPTH * 0.92 = 38m ³
N2	- 37m ² * 1m DEPTH * 0.92 = 33m ³
N3	- 41m ² * 1m DEPTH * 0.92 = 38m ³
N4	- 111m ² * 1m DEPTH * 0.92 = 102m ³
N5	- 65m ² * 1m DEPTH * 0.92 = 60m ³
N6	- 52m ² * 1m DEPTH * 0.92 = 46m ³

NOTE:
 FOR PROPOSED SEWER ATTENUATION TANK LOCATIONS, REFER TO ARCHITECT DRAWINGS.

NOTE:
 ALL SANITARY, STORM, AND WATER SERVING TO BE INSTALLED OUTSIDE OF PROPOSED SOIL CELLS.

NOTE:
 BCH SHOWN CONCEPTUALLY. HYDRO REDLINE PENDING.

NOTE:
 STREET LIGHTING SHOWN CONCEPTUALLY. TO BE DETERMINED AT DETAILED DESIGN STAGE.

1961 DOUGLAS & 710 CALEDONIA PRELIMINARY CIVIL PLAN

Scale
 horiz. 1:200 Scale N/A
 vert.
 Sheet 1 of 1
 Eng. Project No. 33604



JEA J E ANDERSON & ASSOCIATES

SURVEYORS - ENGINEERS
 VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
 PHONE: 250-727-2214 info@jeanderson.com

ISSUED FOR DEVELOPMENT PERMIT

CONCEPTUAL SERVICING PLAN
 H 1:200
 V N/A

