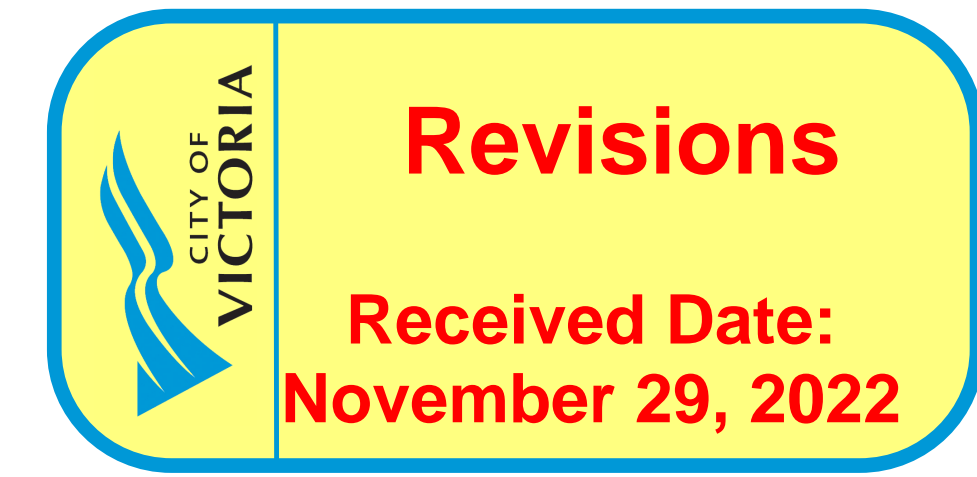


RUSSELL ST. REDEVELOPMENT

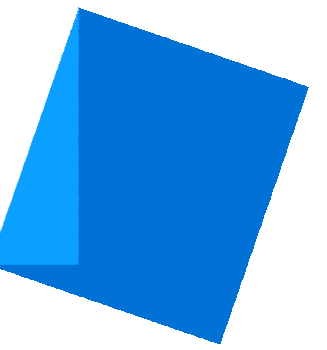
225 RUSSELL STREET, VICTORIA, B.C.

Application for Rezoning, Development Permit and OCP Ammendment

LEGAL ADDRESS: LOT A PLAN 17917 SECTION 31 VICTORIA PID: 003-846-415



Christine Lintott Architects Inc.



Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

Project Description

This is an existing office & warehouse building. The work proposed is to construct a new residential building within the warehouse space containing 40 units. create residential & office areas within the existing 3 storey office anex building.

Property Data	
CIVIC ADDRESS	225 RUSSELL STREET, VICTORIA, BC V9A 3X1
PROPERTY IDENTIFICATION NUMBER (P.I.D.)	003-846-415
LEGAL DESCRIPTION	LOT A PLAN 17917 SECTION 31 VICTORIA
AUTHORITY HAVING JURISDICTION	CITY OF VICTORIA
APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018 EDITION, INCLUDING ALL AMENDMENTS

ZONING BYLAW ANALYSIS		
	Current Zone	Proposed Zone
OCP	Employment Residential	Urban Residential
Zone	M-1 Limited Light Industrial District	Site Specific
Site Area	N/A	1,337 m ²
Total Floor Area	N/A	943 m ²
Commercial Floor Area	N/A	N/A
Floor Space Ratio	3 : 1 (Maximum)	0.75 : 1
Number Accessory Buildings	N/A	N/A
Number Multiple Dwellings	N/A	40
Site Coverage %	N/A	57.5%
Open Site Space %	N/A	11.0%
Principal Building Height	15 m	9.5 m
Storeys	N/A	3 Storeys
Vehicle Parking	N/A	6 on site parking stalls
Bicycle Parking	N/A	26 long term stalls. 6 short term stalls

Building Setbacks		
	Allowable	Proposed
Rear Yard (North)	0 (No Limit)	0.12 m (EXISTING)
Side Yard (East)	3 m	1.20 m (EXISTING)
Side Yard (West)	0 (No Limit)	6.40 m (EXISTING)
Front Yard (South)	3 m	6.00 m (EXISTING)

Residential Use Details		
Total Number Units	N/A	40
Unit Type Breakdown	N/A	40 Studio's
Ground Oriented Units	N/A	15
Minimum Floor Area	N/A	14 m ²
Total Residential Floor Area	N/A	733 m ²

AREAS SHOWN IN THIS TABLE ARE FOR ZONING PURPOSES ONLY & ARE MEASURED TO THE INSIDE FACE OF EXTERIOR WALLS.

OWNER BC Housing 1701 - 4555 Kingsway Burnaby, BC, V5H 4V8 1-778-452-5536 Contact: Marcio Teixeira da Silva	ARCHITECTURAL Christine Lintott Architects Inc. Suite 1 - 864 Queens Avenue Victoria, B.C. V8T 1M5 250-364-1969 Contact: Christine Lintott	STRUCTURAL Buepoint Consulting Ltd. 737 Goldstream Ave. Victoria, BC, V9B 2X4 1-778-400-1790 Contact: N/A	MECHANICAL Avalon Mechanical 300 - 1245 Esquimalt Road Victoria, BC V9A 3P2 250-384-4128 Contact: Kevin Jackson
ELECTRICAL Triumph Electrical Consulting Engineering Ltd. 5056 Cordova Bay Road Victoria, BC V8Y 2K4 250-385-3713 Contact: Randy Slade	ENVELOPE Read Jone Christoffersen Ltd. 645 #220 Tyee Road Victoria, BC V9A 6X5 250-386-7794 Contact: Kevin Pickwick	LANDSCAPE LADR Landscape Architects Inc. Suite 3 - 864 Queens Ave. Victoria, BC, V8T 1M5 1-250-364-1969 Contact: Chris Windjack	CIVIL JE Anderson & Associates 412 Glandford Ave. Victoria, BC, V8Z 4B7 1-250-727-2214 Contact: Ross Tuck

Sheet Number	Sheet Name
0.00 - General	
A0.00	Cover Sheet
A0.01	Code Analysis + Spatial Separation
1.00 - Site Info	
A1.01	Site Plan
A1.00	Survey Plan
A1.02	Solar Shadow Study
2.00 - Floor Plans	
A2.01	Level 1
A2.00	Demolition/Existing Plans
A2.02	Level 2
3.00 - Elevations	
A3.00	Elevations
A3.02	Context Elevations
4.00 - Building Sections	
A4.00	Building Sections
5.00 - Renders	
A5.00	Renders
A5.01	Materials
Engineering	
E1	CONCEPTUAL SERVICING
Landscape Consultant	
L1	LANDSCAPE CONCEPT - LEVEL 1 + 2
L2	LANDSCAPE CONCEPT - SECTION + ELEVATIONS



Location Plan



Street View

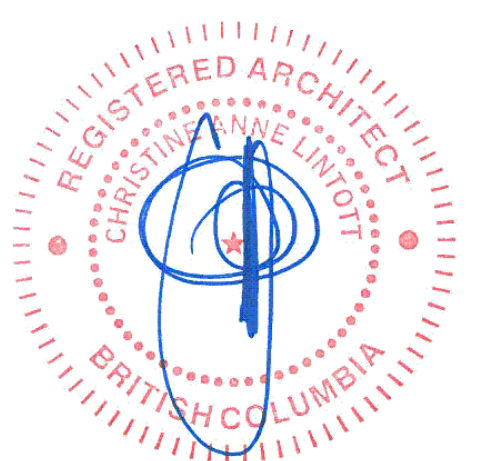
Issue Date

Community Meeting	August 19, 2021
Rezoning / DP / OCP	November 15, 2021
Rezoning / DP / OCP Resubmission	April 4, 2022
Rezoning / DP / OCP Revision	November 9, 2022

Revision

No. Description Date

Consultant



Russell St.
Redevelopment

225 Russell Street,
Victoria, BC

Cover Sheet

Date 2022-11-21 10:19:47 AM

Drawn by Author

Checked by Checker

A0.00

Scale As indicated

Building Code Analysis - Overview - Residential Building

GENERAL INFORMATION		DESCRIPTION	REFERENCES
1	PROJECT TYPE	<input type="checkbox"/> NEW CONSTRUCTION <input checked="" type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION	-
2	GOVERNING BUILDING CODE	2018 BC BUILDING CODE, INCLUDING ALL AMENDMENTS	-
3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIVISION: A <input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/> D <input checked="" type="checkbox"/> E <input checked="" type="checkbox"/> F1 <input checked="" type="checkbox"/> F2 <input checked="" type="checkbox"/> F3	DIV A - 1.3.3.
4	MAJOR OCCUPANCY(IES)	A1 A2 A3 A4 B1 B2 C D E F1 F2 F3	3.1.2.
5	MULTIPLE MAJOR OCCUPANCIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO MIN. F.R.R. (HOURS): 1hr FIRE SEPARATION	3.1.3.
6	FIREWALL(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.1.10.
7	OCCUPANT LOAD	<input type="checkbox"/> 51 TOTAL (ALL STOREYS) OFFICE / LEVEL OCCUPANCY AREA PER OCCUPANT OCCUPANTS OFFICE D 102 9.3 11 RESIDENTIAL C 938 1 per unit 40 BUILDING TOTAL 51	3.1.17.
8	BUILDING AREA (m²)	769	1.4.1.2.
9	GRADE ELEVATION (m, GEODETIC)	11.3 (AVERAGE GRADE)	1.4.1.2.
10	BUILDING HEIGHT	3 STOREYS ABOVE GRADE 0 STOREYS BELOW GRADE	1.4.1.2. & 3.2.1.2.
11	FIRE ALARM & DETECTION SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.4.1.(1)
12	AUTOMATIC SPRINKLER SYSTEM	<input type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.2.51. 3.2.5.12.
13	MEZZANINE(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.2.
14	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.2.
15	NUMBER OF STREETS FACING	1	3.2.2.10.
16	FIRE DEPARTMENT ACCESS ROUTES	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.4.1.
17	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6.
18	ROOF ACCESS	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.3.
19	STANDPIPE SYSTEM	<input type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.8.
20	LIGHTING AND EMERGENCY POWER	<input type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.7.
21	EMERGENCY GENERATOR	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.7.
22	ACCESS FOR PERSONS W/ DISABILITIES	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.8.2.
23	ALTERNATE SOLUTIONS REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Div A-1.2.1.(1)(b) Div B-3.2.3.13 Div C-2.3
CONSTRUCTION CLASSIFICATION (RESIDENTIAL)		GROUP C, UP TO 3 STOREYS, SPRINKLERED	3.2.2.54
24	CONSTRUCTION TYPE(S)	COMBUSTIBLE: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A NON-COMBUSTIBLE: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.1.4. 3.1.5.
25	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (HOURS): 3/4 FLOOR 3/4 MEZZANINE C ROOF	3.1.7.
26	BUILDING HEIGHT (IN STOREYS)	3 PERMITTED 3 PROPOSED	3.2.2.54.(1)(i)(ii)
27	BUILDING AREA (m²)	1800 MAXIMUM 769 PROPOSED	3.2.2.54.(1)(i)(ii)
CONSTRUCTION CLASSIFICATION (RESIDENTIAL)		GROUP D, UP TO 3 STOREYS, SPRINKLERED	3.2.2.61
28	CONSTRUCTION TYPE(S)	COMBUSTIBLE: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A NON-COMBUSTIBLE: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.1.4. 3.1.5.
29	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (HOURS): 3/4 FLOOR 3/4 MEZZANINE 45 ROOF	3.1.7.
30	BUILDING HEIGHT (IN STOREYS)	3 PERMITTED 3 PROPOSED	3.2.2.61.(1)(i)(ii)
31	BUILDING AREA (m²)	4800 MAXIMUM 769 PROPOSED	3.2.2.61.(1)(i)(ii)

Building Code Analysis - Fire Ratings and Separations

1 - FIRE RATINGS AND SEPARATIONS		MIN. F.R.R. OF FIRE SEPARATIONS (HOURS)	REFERENCES
1-1	BETWEEN MAJOR OCCUPANCIES	1 REQUIRED 1 PROPOSED <input type="checkbox"/> N/A	3.1.3.1.
1-2	SUITES	1 REQUIRED 1 PROPOSED <input type="checkbox"/> N/A	3.3.1.1. 3.3.4.2.
1-3	PUBLIC CORRIDORS	1 REQUIRED 1 PROPOSED <input type="checkbox"/> N/A	3.3.1.4. 3.3.4.2.
1-4	JANITORS' ROOMS	1 REQUIRED 1 PROPOSED <input type="checkbox"/> N/A	3.3.1.21.
1-5	EXIT ENCLOSURES	1 REQUIRED 1 PROPOSED <input type="checkbox"/> N/A	3.4.4.1.
1-6	ELEVATOR HOISTWAYS & MACHINE ROOMS	1 REQUIRED 1 PROPOSED <input type="checkbox"/> N/A	3.5.3.1. 3.5.3.3. 3.2.6.5.
1-7	ELECTRICAL SERVICE ROOMS	1 REQUIRED 1 PROPOSED <input type="checkbox"/> N/A	3.6.2.1.(6)
1-8	VERTICAL SERVICE SPACES	1 REQUIRED 1 PROPOSED <input type="checkbox"/> N/A	3.6.3.1.

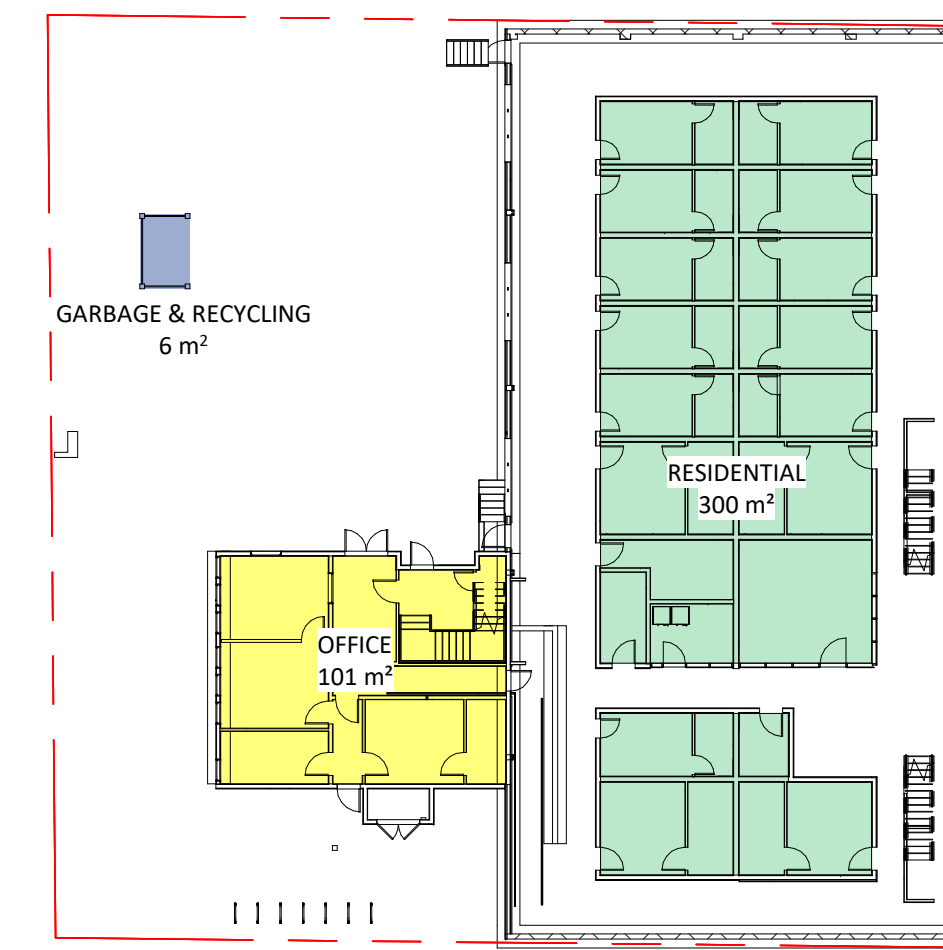
225 Russell Street

LIMITING DISTANCE & SPATIAL SEPARATIONS ANALYSIS FOR A SPRINKLERED BUILDING

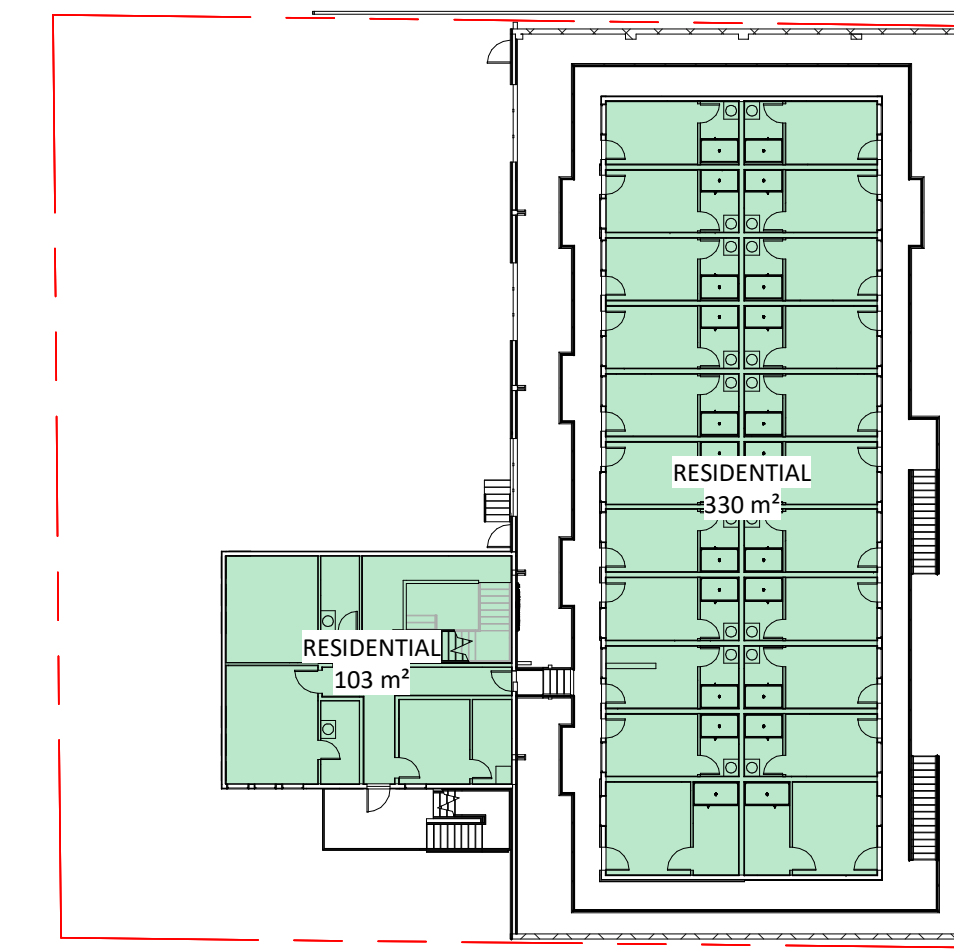
BUILDING FACE OR FIRE COMPARTMENT	LIMITING DISTANCE (m)	WALL AREA (m²)	GLAZING AREA (m²)	UNPROTECTED OPENINGS (%)		WALL F.R.R. (hr)	NON-COMBUSTIBLE REQUIREMENTS	
				MAXIMUM	PROPOSED		WALL	CLADDING
NORTH ELEVATION								
WAREHOUSE	0	118	0	0	0	1	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ANEX BUILDING	21.0	106.3	9.5	100	8.9	1	<input type="checkbox"/>	<input type="checkbox"/>
EAST ELEVATION								
WAREHOUSE	0	236	0	0	0	1	<input checked="" type="checkbox"/>	<input type="checkbox"/>
SOUTH ELEVATION								
WAREHOUSE	0	118	0	0	0	1	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ANEX BUILDING	6.0	106.3	24.3	52	22.9	1	<input type="checkbox"/>	<input type="checkbox"/>
WEST ELEVATION								
WAREHOUSE	18.6	176	43	100	24.6	1	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ANEX BUILDING	6.4	86	19	76	22	1	<input type="checkbox"/>	<input type="checkbox"/>

Building Code Analysis - Floor Safety, Exits and Stairs

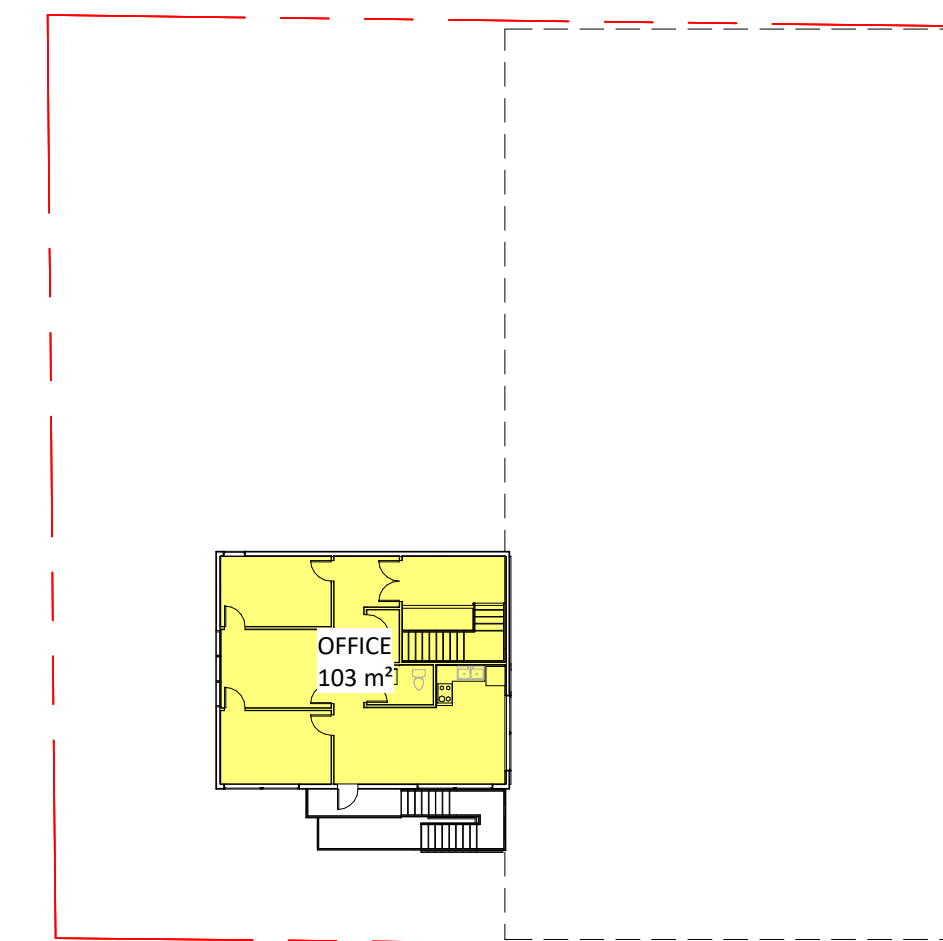
NO.	ITEM	DESCRIPTION	REFERENCES
3 - FLOOR SAFETY, EXITS AND STAIRS			
3-1	FLAME SPREAD RATING (MAX.)	150 MAXIMUM ¹ 25 EXITS ² 25 CORRIDOR WALLS ^{1,2}	1 PER CAN/ULC-S102 2 WHERE SUBJECT TO 3.1.13.6.(1), UNLESS CONFORMING TO UPPER/LOWER REQUIREMENTS OF 3.1.13.6.(2).
3-4	TRAVEL DISTANCE (m)	GROUP C 45 REQUIRED 44.5 PROPOSED	3.3.1.6. & 3.4.2.5.(1)
3-5	DOORS AND DOOR HARDWARE	DOOR CLEAR WIDTH (mm): 800 MINIMUM	3.3.1.13.
3-6	GUARDS	BOTH SIDES AT EXITS: REQUIRED <input checked="" type="checkbox"/> PROVIDED HEIGHT (mm): 1070 MINIMUM PREVENTS PASSAGE OF 100mm SPHERE, OR PERMITS PASSAGE OF 200mm SPHERE: REQUIRED <input checked="" type="checkbox"/> PROVIDED NON-CRUMBLABLE FROM 140-900mm: REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.3.1.18. & 3.4.6.6.
3-7	MINIMUM NUMBER OF EXITS (FOR EACH FLOOR AREA)	2 REQUIRED 2 PROVIDED	3.4.2.1.
3-9	EXIT WIDTH (mm)	PUBLIC CORRIDORS: 1100 MINIMUM 1100 PROPOSED STAIRS: 1100 MINIMUM 1043 PROPOSED EXISTING NON-CONFORMING	3.3.1.9. 3.3.1.17. & 3.4.3.2.
3-11	EXIT SIGNS	ABOVE/ADJACENT EVERY EXIT DOOR: REQUIRED <input checked="" type="checkbox"/> PROVIDED ILLUMINATED WHILE OCCUPIED: REQUIRED <input checked="" type="checkbox"/> PROVIDED EMERGENCY POWER SUPPLY: REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.4.5.1.
3-12	SURFACE FINISH OF STAIRS	SLIP RESISTANT FINISH & CONTRASTING LEADING EDGES: REQUIRED <input checked="" type="checkbox"/> PROVIDED TACTILE WARNING AT TOP LANDINGS: REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.4.6.1. & 3.8.2.10.(3)
3-13	DIMENSIONS OF [STAIR] LANDINGS (mm)	LANDINGS AT TOPS AND BOTTOMS OF STAIR: 1100 MINIMUM 1043 PROPOSED EXISTING NON-CONFORMING	3.4.6.4.
3-14	[STAIR] HANDRAILS	STAIR HANDRAILS: REQUIRED, BOTH SIDES HANDRAIL HEIGHT (mm): 865 - 1070 REQUIRED STAIR HANDRAIL EXTENSIONS, TOP AND BOTTOM: REQUIRED (AT ONE SIDE)	3.4.6.5.
3-15	[STAIR] TREADS AND RISERS (mm)	TREAD WIDTH: ≥ 280 REQUIRED 240 PROPOSED EXISTING NON-CONFORMING RISER HEIGHT: 125 - 180 REQUIRED 178 PROPOSED	3.4.6.8.
3-16	DOOR AND RELEASE HARDWARE	PANIC HARDWARE AT EXTERIOR EXIT DOORS: N/A REQUIRED <input type="checkbox"/> PROVIDED	3.4.6.16.
3-17	FLOOR NUMBERING	NUMERALS INDICATING FLOOR LEVEL ON STAIR SIDE OF DOORS IN EXIT STAIR SHAFTS: REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.4.6.19.



Bylaw Floor Area - Level 1
1 : 300

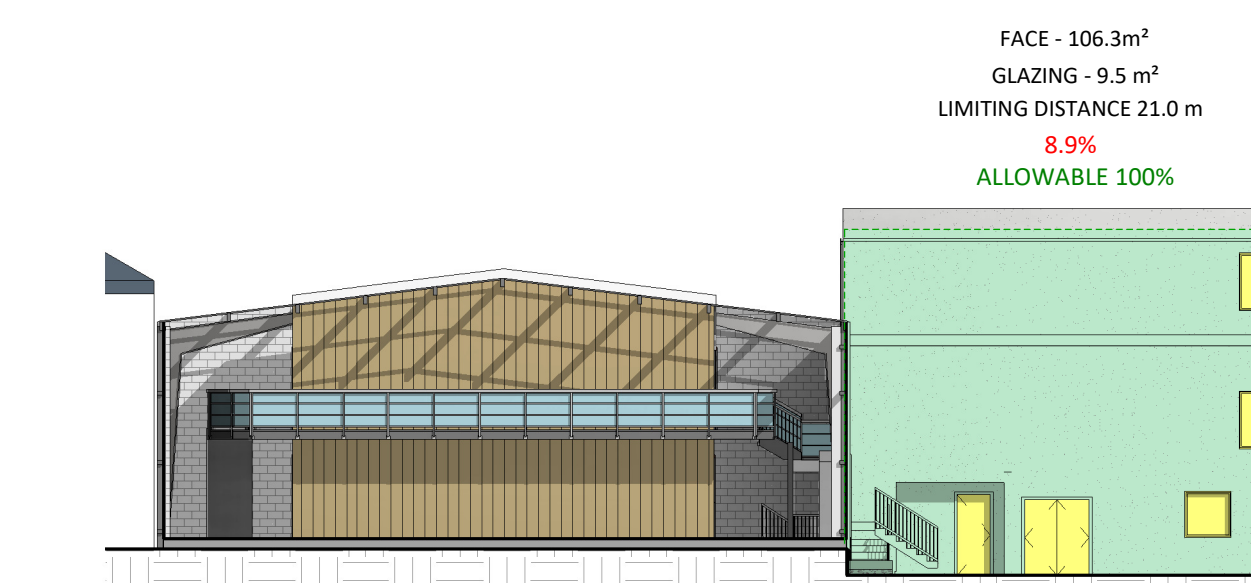


Bylaw Floor Area - Level 2
1 : 300

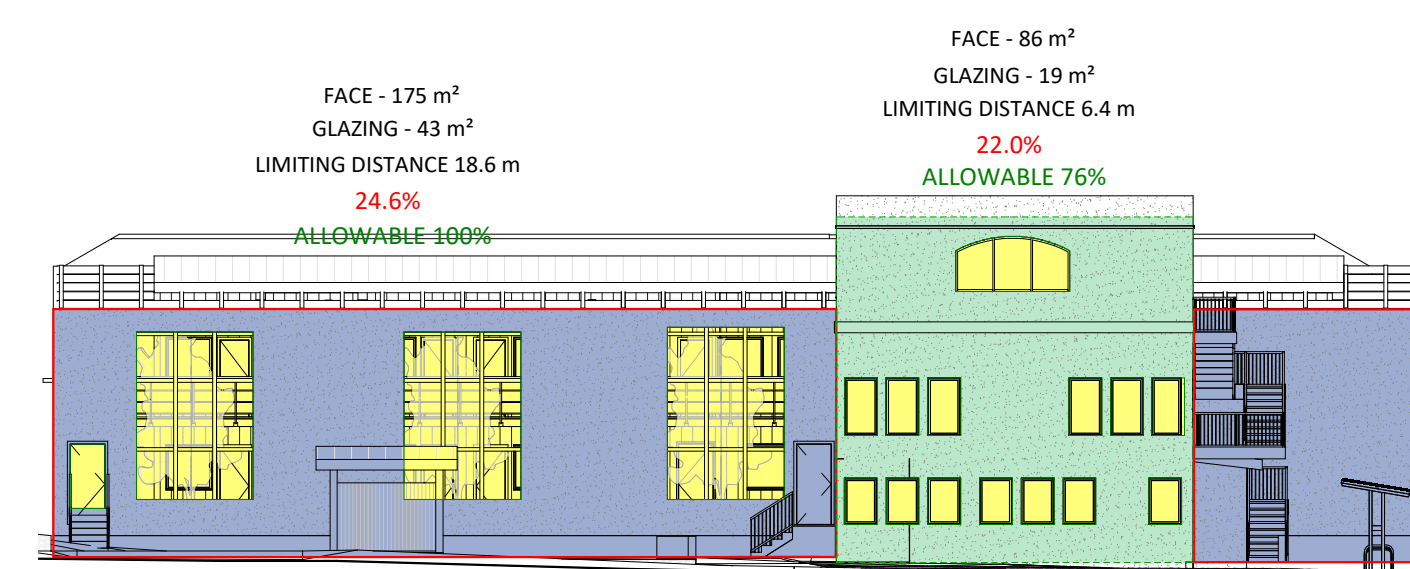


Bylaw Floor Area - Level 3
1 : 300

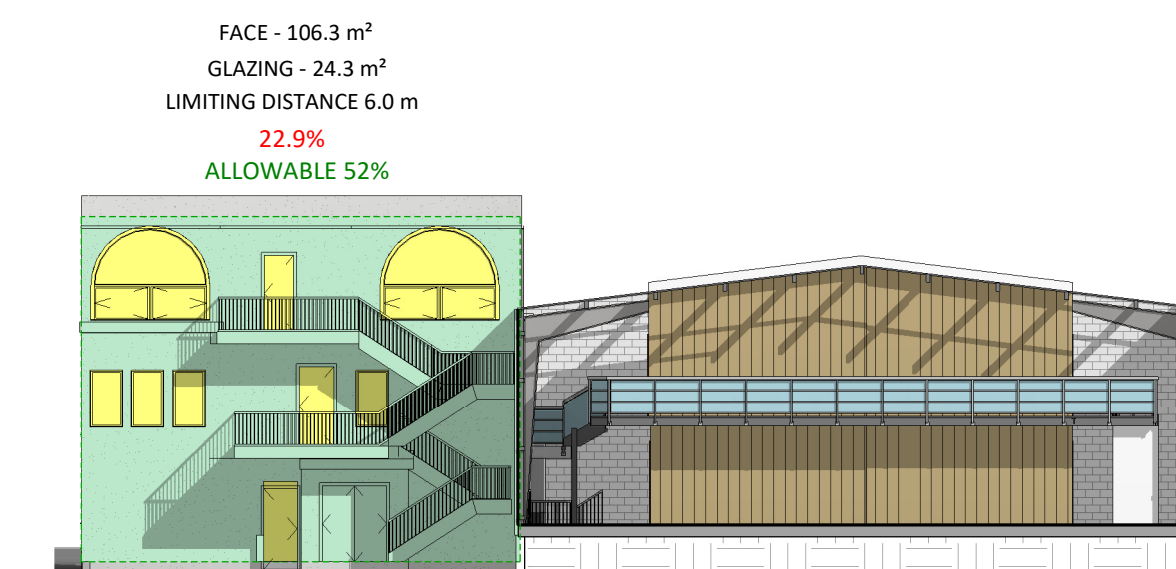
Name	Area
Garbage & Recycling	6 m²
Office - Level 1	101 m²
Office - Level 3	102 m²
Residential - Level 1	300 m²
Residential - Annex	103 m²
Residential - Level 2	330 m²
Grand total	943 m²



North Spatial Separation
1 : 200



West Spatial Separation
1 : 200



South Spatial Separation
1 : 200

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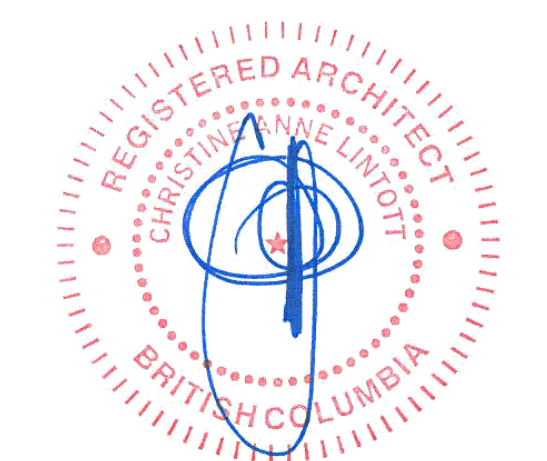
Issue Date

Community Meeting August 19, 2021
Rezoning / DP / OCP November 15, 2021
Rezoning / DP / OCP April 4, 2022
Resubmission
Rezoning / DP / OCP November 9, 2022
Revision

Revision

No. Description Date

Consultant



Russell St. Redevelopment

225 Russell Street, Victoria, BC

Code Analysis + Spatial Separation

Date 2022-11-21 10:20:05 AM

Drawn by Author

Checked by Checker

A0.01

Scale As indicated

SITE PLAN OF LOT A, SECTION 31, ESQUIMALT DISTRICT, PLAN 17917

Civic Address: 225 Russell Street, Victoria, B.C.
 PID: 003-846-415
 City of Victoria Zoning: M-1 Limited Light Industrial District



The intended plot size of this plan is 483mm in width by 610mm in height, (Arch C), when plotted at a scale of 1:125.

Client: **BC Housing**

PROJECT SURVEYOR : CWG
 DRAWN BY : SAL DATE : July 29/2021
 OUR FILE : 33576 LAYOUT: Site Plan
 FILE PATH:
 V: \Projects\33576\08\02
 ...Microsurvey\33576_Legal.dwg

JEA J.E. ANDERSON & ASSOCIATES
 SURVEYORS - ENGINEERS
 TEL: 250-787-2214 WEB: www.jeanderson.com
 VICTORIA - NANAIMO - PARKSVILLE - CAMPBELL RIVER

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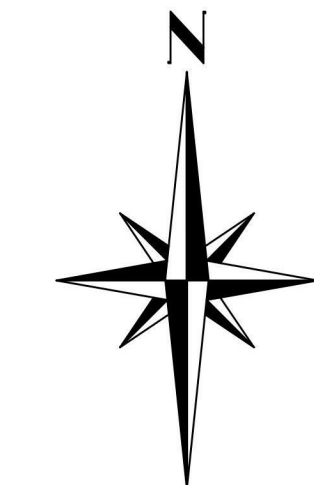
Issue	Date
Community Meeting	August 19, 2021
Rezoning / DP / OCP Resubmission	November 15, 2021
Rezoning / DP / OCP Resubmission	April 4, 2022
Rezoning / DP / OCP Revision	November 9, 2022

Revision No.	Description	Date
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Consultant

Russell St. Redevelopment
 225 Russell Street,
 Victoria, BC

Date	2022-11-21 10:20:06 AM
Drawn by	Author
Checked by	Checker
Scale	1 : 125



RUSSELL STREET

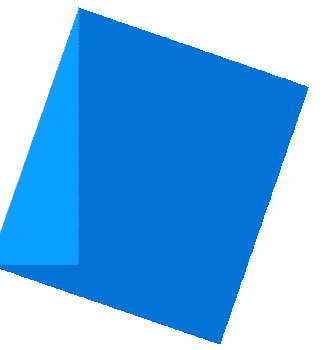


- LEGEND**
- Denotes Standard Iron Post Found
 - Denotes Lead Plug Found
 - Denotes Traverse Station Set
 - Denotes Storm Drain Manhole
 - Denotes Telus Junction Box
 - Denotes Water Service
 - Denotes Hydrant
 - Denotes Utility Pole
 - Denotes Monitoring Well
 - Denotes Catch Basin
 - Denotes Water Valve Box
 - Denotes Shaw Irrigation Box
 - Denotes Building Floor/Roof Elevation
 - Denotes Typical Spot Elevation
 - Denotes Deciduous Tree
 - Denotes Cedar Tree with trunk size to scale
 - Denotes Chainlink Fence
- Typical Tree Description
 Deciduous 700mm (Trunk Diameter)

NOTES

If this plan is used in digital form, J.E. Anderson & Associates will only assume responsibility for information content shown on original unaltered drawing.
 Lot dimensions are derived from Field Survey.
 Distances and elevations shown are in metres.
 Building measurements are to siding.
 Elevations are Geodetic (CGVD28) based on control monument 18-36.
 Elevations are at natural grade unless noted otherwise.
 Refer to City of Victoria Zoning Regulations Part 7.1-M-1 Zone for bylaw details and restrictions.
 This plan lies within the City of Victoria.
 This plan lies within the Capital Regional District.

Survey
 1 : 125



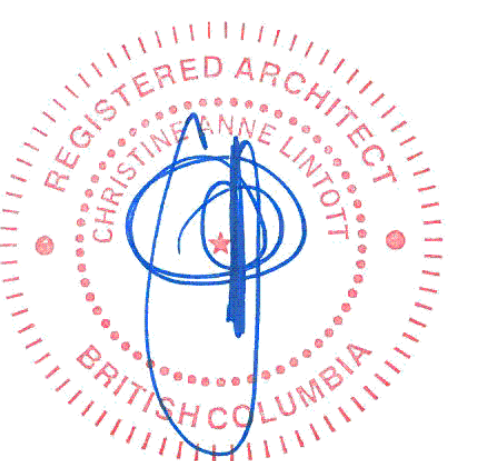
Issue **Date**

Community Meeting	August 19, 2021
Rezoning / DP / OCP	November 15, 2021
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Revision

No.	Description	Date
1	Enlarged Sidewalk	August 30, 2022
2	Revised planting at electrical pull box	August 30, 2022
3	Relocated water vault	August 30, 2022
4	Driveway entry shifted south 1m, obstructions to site triangle reduced to 1m height	August 30, 2022
5	FDC Relocated into larger concrete plinth	August 30, 2022

Consultant



Russell St. Redevelopment

225 Russell Street,
Victoria, BC

Site Plan

Date	2022-11-21 10:20:13 AM
Drawn by	Author
Checked by	Checker

A1.01

Scale As indicated

Property Data

CIVIC ADDRESS	225 RUSSELL STREET, VICTORIA, BC V9A 3X1
PROPERTY IDENTIFICATION NUMBER (P.I.D.)	003-846-415
LEGAL DESCRIPTION	LOT A PLAN 17917 SECTION 31 VICTORIA
AUTHORITY HAVING JURISDICTION	CITY OF VICTORIA
APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018 EDITION, INCLUDING ALL AMENDMENTS

ZONING BYLAW ANALYSIS

	Current Zone	Proposed Zone
OCB	Employment Residential	Urban Residential
Zone	M-1 Limited Light Industrial District	Site Specific
Site Area	N/A	1,337 m ²
Total Floor Area	N/A	943 m ²
Commercial Floor Area	N/A	N/A
Floor Space Ratio	3 : 1 (Maximum)	0.75 : 1
Number Accessory Buildings	N/A	N/A
Number Multiple Dwellings	N/A	40
Site Coverage %	N/A	57.5%
Open Site Space %	N/A	11.0%
Principal Building Height	15 m	9.5 m
Storeys	N/A	3 Storeys
Vehicle Parking	N/A	6 on site parking stalls
Bicycle Parking	N/A	26 long term stalls, 6 short term stalls

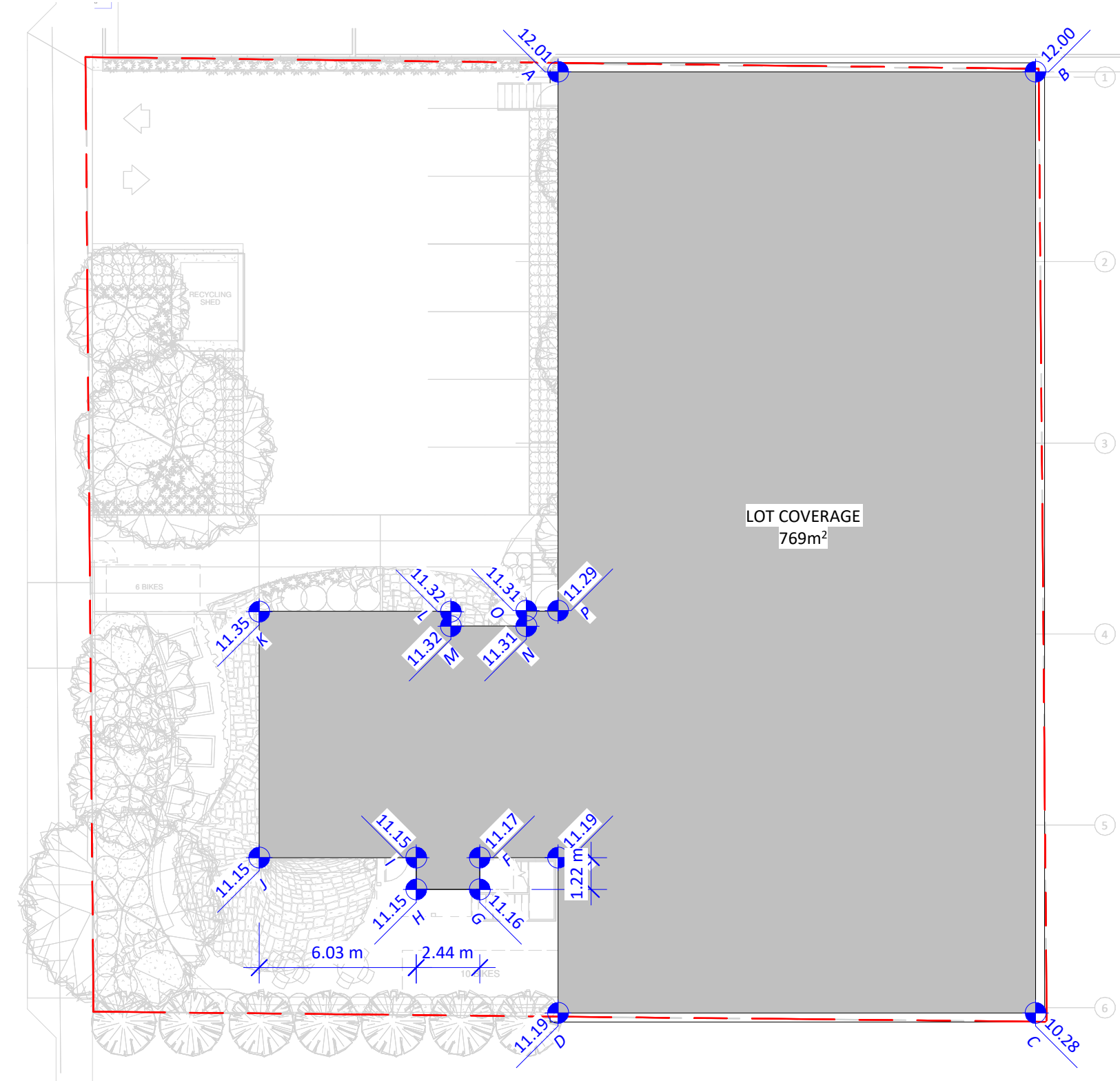
Building Setbacks

	Allowable	Proposed
Rear Yard (North)	0 (No Limit)	0.12 m (EXISTING)
Side Yard (East)	3 m	1.20 m (EXISTING)
Side Yard (West)	0 (No Limit)	6.40 m (EXISTING)
Front Yard (South)	3 m	6.00 m (EXISTING)

Residential Use Details

Total Number Units	N/A	40
Unit Type Breakdown	N/A	40 Studio's
Ground Oriented Units	N/A	15
Minimum Floor Area	N/A	14 m ²
Total Residential Floor Area	N/A	733 m ²

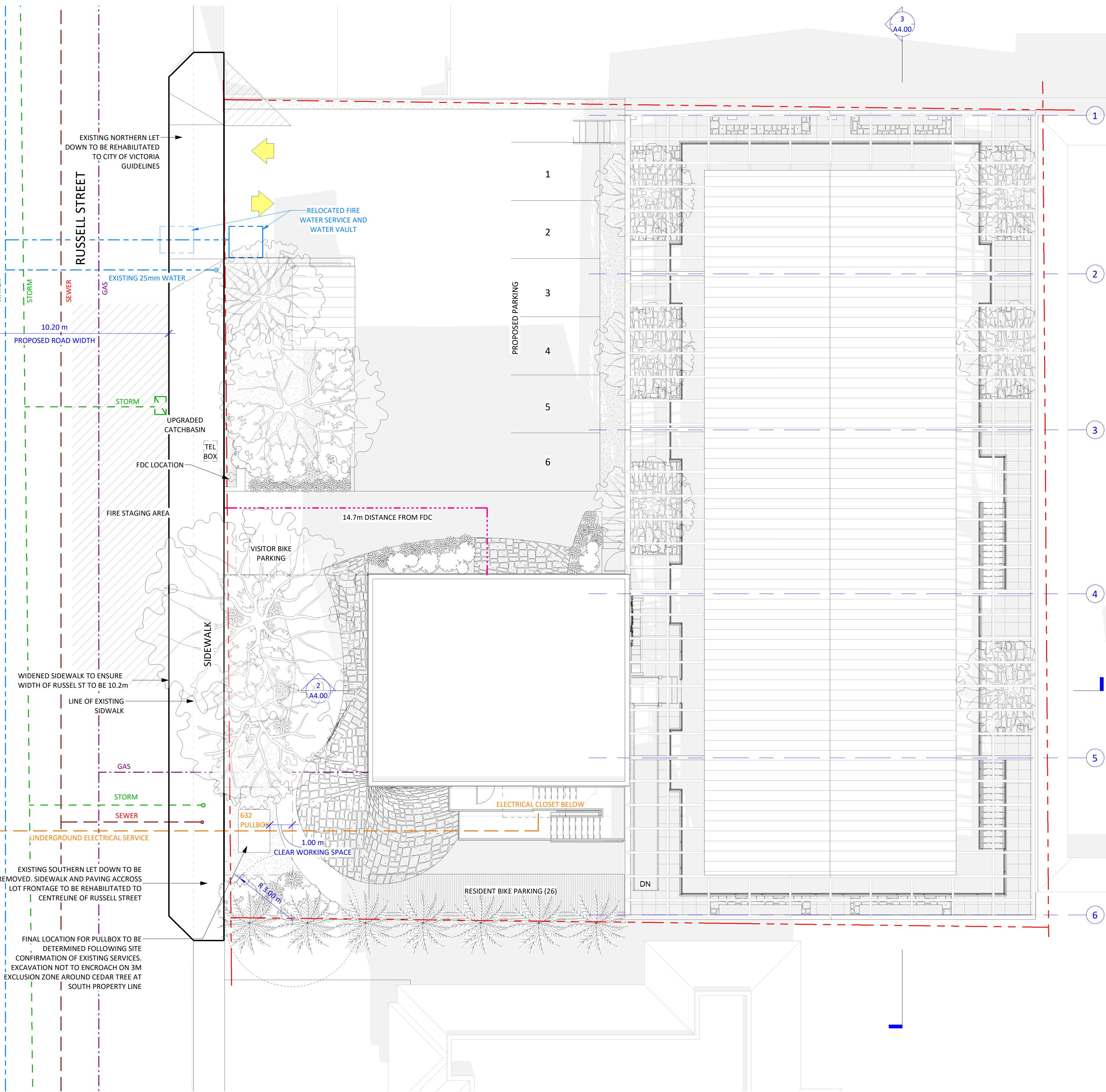
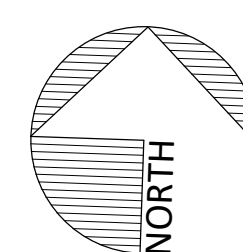
AREAS SHOWN IN THIS TABLE ARE FOR ZONING PURPOSES ONLY & ARE MEASURED TO THE INSIDE FACE OF EXTERIOR WALLS.



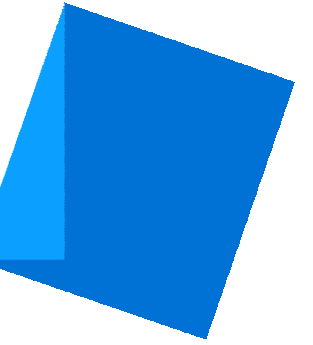
AVERAGE GRADE CALCULATION

A + B	((12.01 + 12.00) / 2) = 12.01	*18.23m = 218.9
B + C	((12.00 + 10.28) / 2) = 11.14	*36.15m = 402.7
C + D	((10.28 + 11.17) / 2) = 10.73	*18.34m = 196.8
D + E	((11.17 + 11.19) / 2) = 11.18	*5.96m = 66.6
E + F	((11.19 + 11.17) / 2) = 11.18	*3.0m = 33.54
F + G	((11.17 + 11.16) / 2) = 11.17	*1.22m = 13.6
G + H	((11.16 + 11.15) / 2) = 11.16	*2.44m = 27.2
H + I	((11.15 + 11.15) / 2) = 11.15	*1.22m = 13.6
I + J	((11.15 + 11.15) / 2) = 11.15	*6.03m = 67.2
J + K	((11.15 + 11.35) / 2) = 11.25	*9.45m = 106.3
K + L	((11.35 + 11.32) / 2) = 11.34	*11.50m = 130.6
L + M	((11.32 + 11.32) / 2) = 11.32	*0.62m = 7.0
M + N	((11.32 + 11.31) / 2) = 11.32	*2.80m = 31.7
N + O	((11.31 + 11.31) / 2) = 11.31	*0.62m = 7
O + P	((11.31 + 11.29) / 2) = 11.30	*1.29m = 14.6
P + A	((11.29 + 12.01) / 2) = 11.65	*20.61m = 240.1
		= 139.5m = 1578
		1578 / 139.5 = 11.3 m

2 Average Grade
1 : 200



1 Site - Proposed
1 : 100

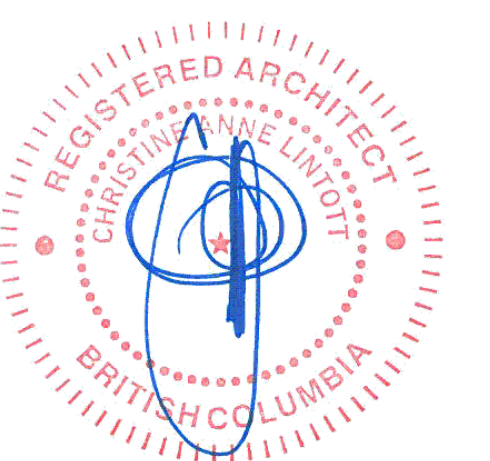


Issue	Date
Community Meeting	August 19, 2021
Rezoning / DP / OCP	November 15, 2021
Rezoning / DP / OCP Resubmission	April 4, 2022
Rezoning / DP / OCP Revision	November 9, 2022

Revision

No.	Description	Date

Consultant



Russell St. Redevelopment

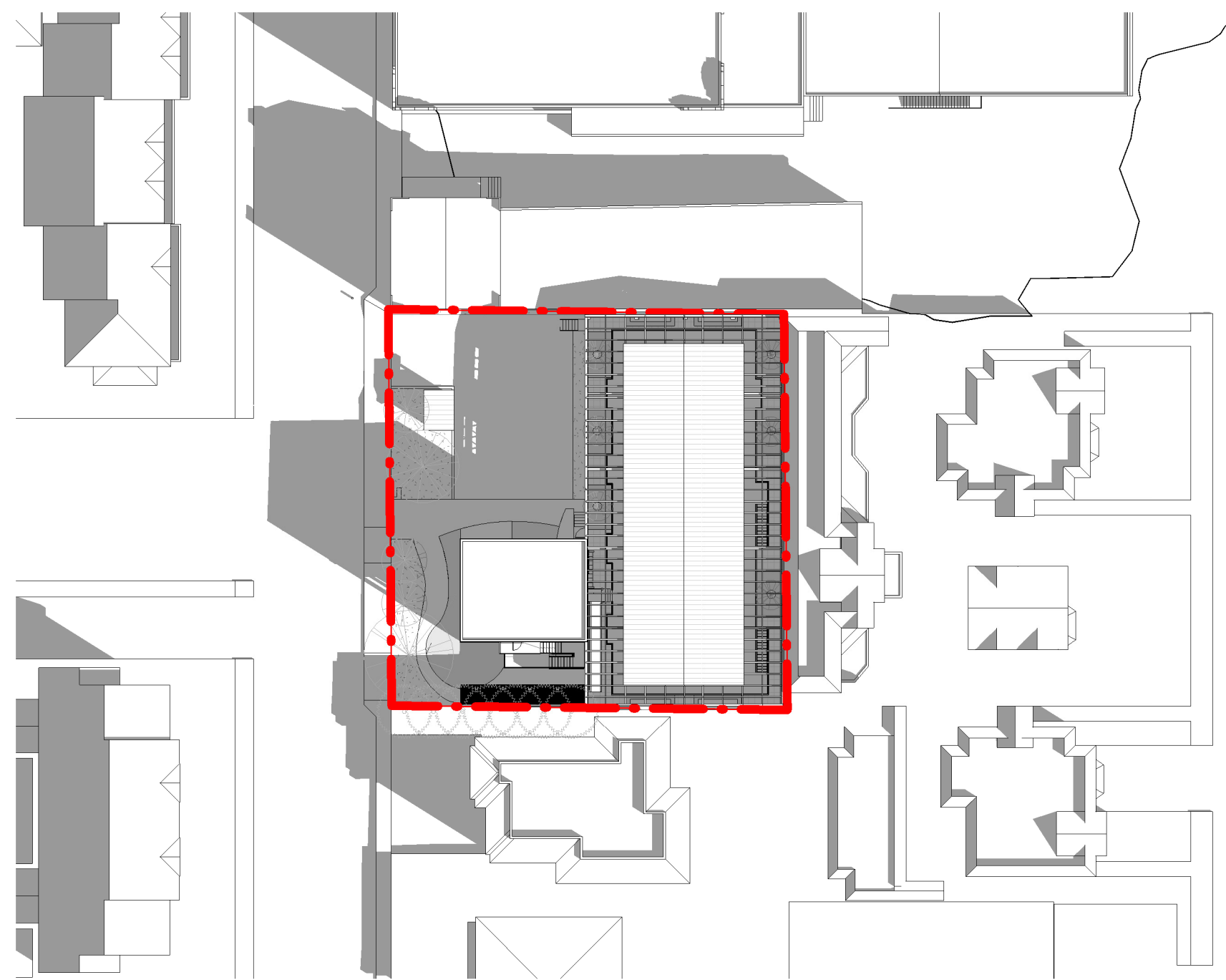
225 Russell Street,
Victoria, BC

Solar Shadow Study

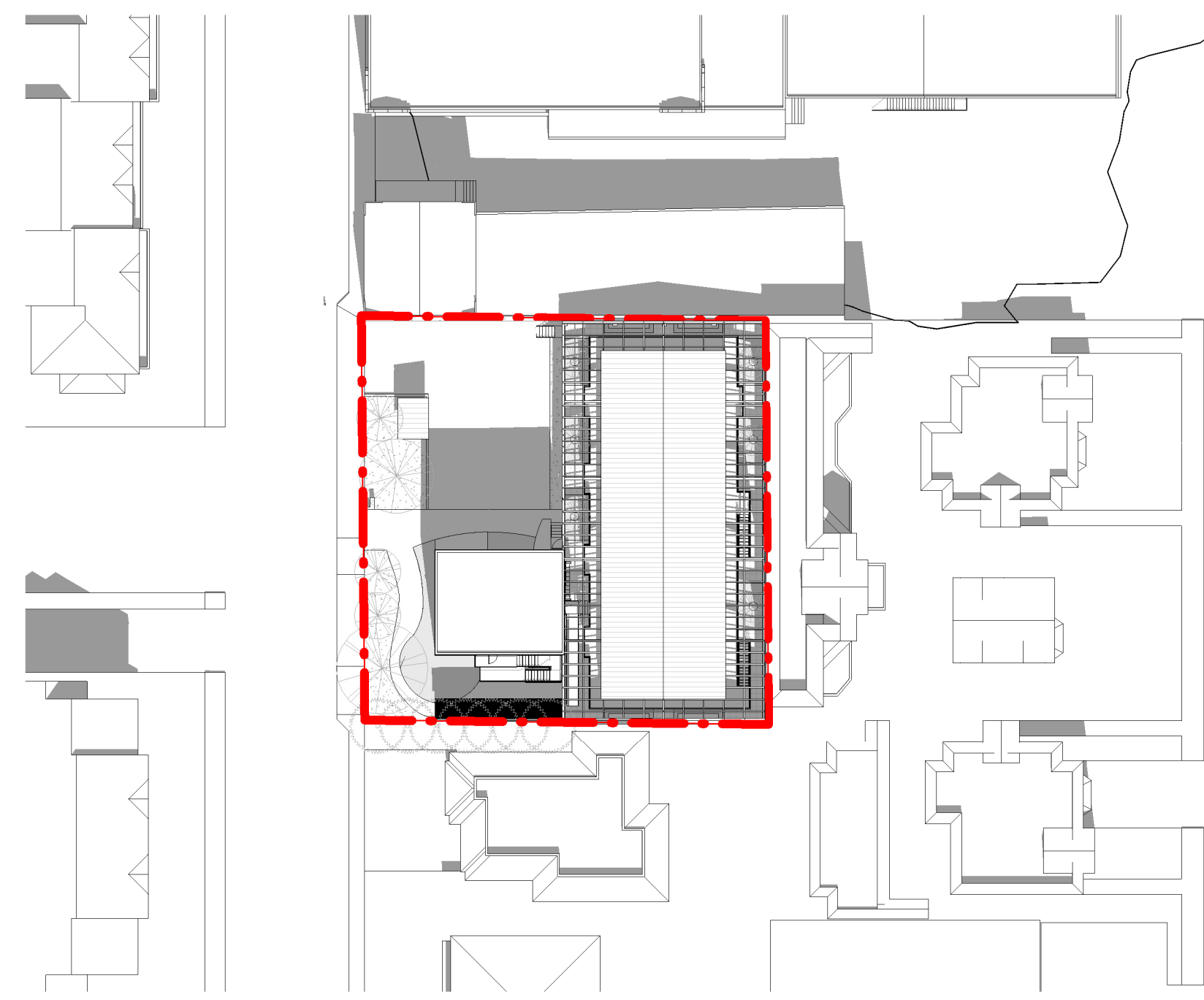
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Drawn by	Author
Checked by	Checker

A1.02

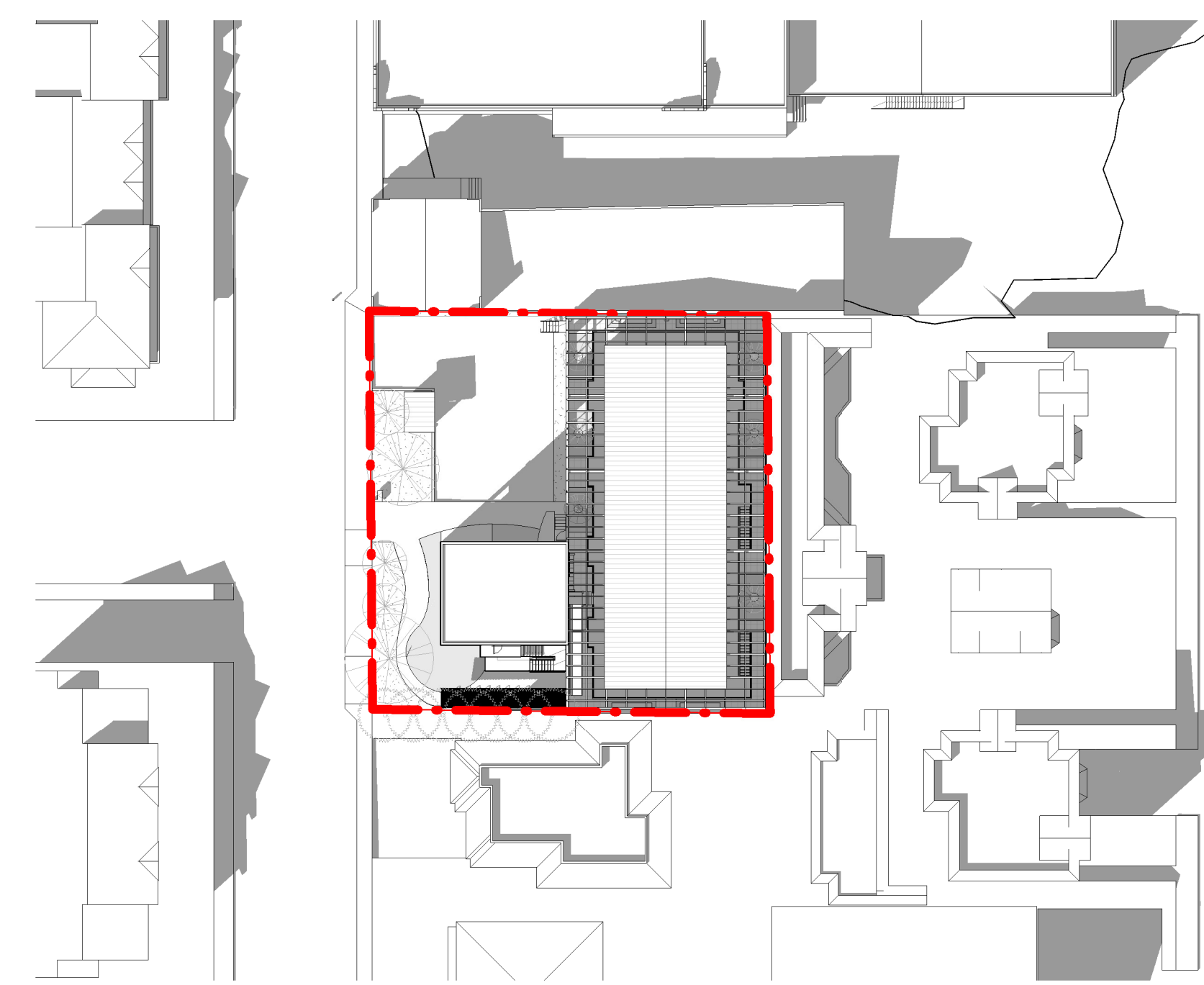
Scale	1 : 500
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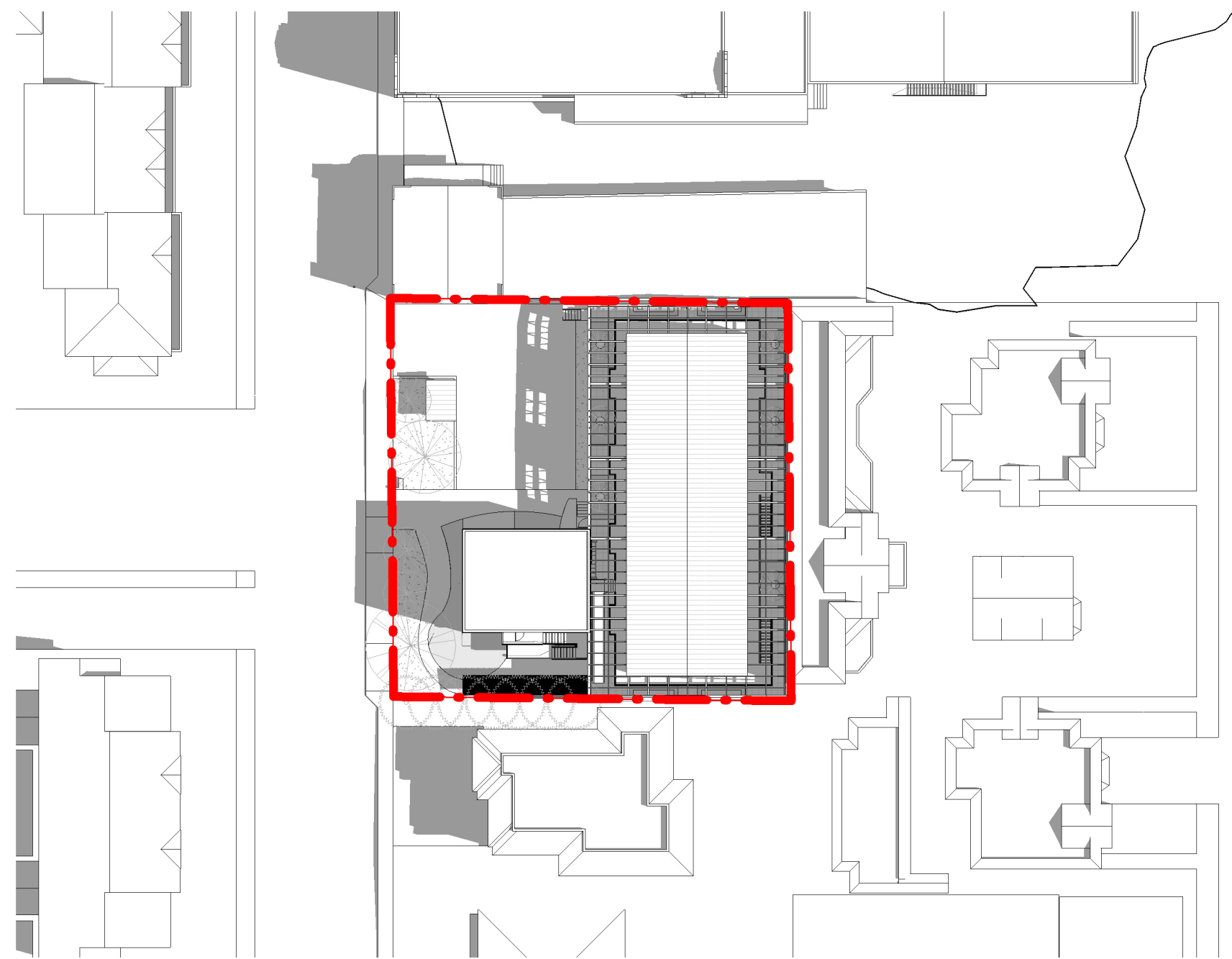
1 Solar Study Spring Equinox 9am
1 : 500



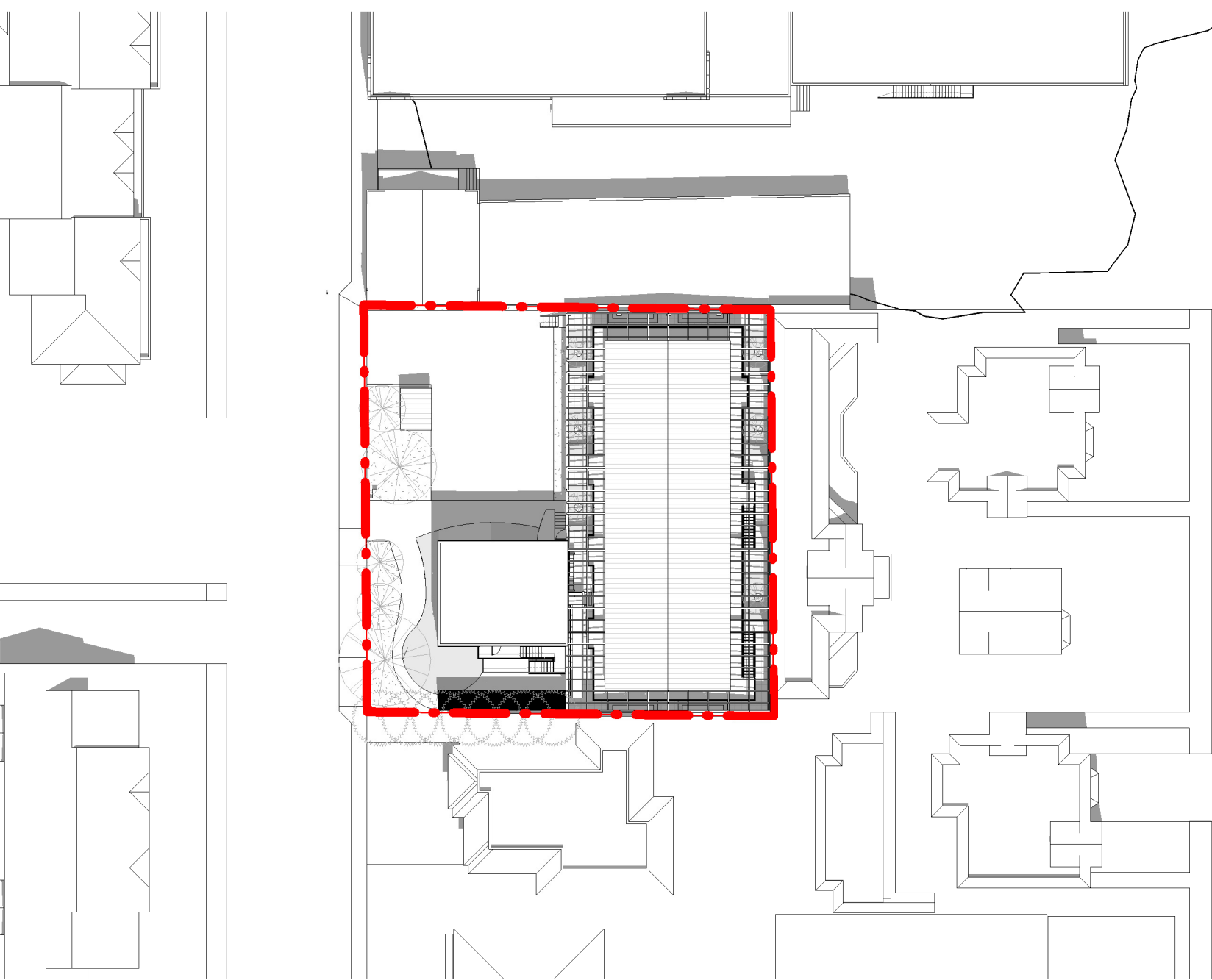
2 Solar Study Spring Equinox 12pm
1 : 500



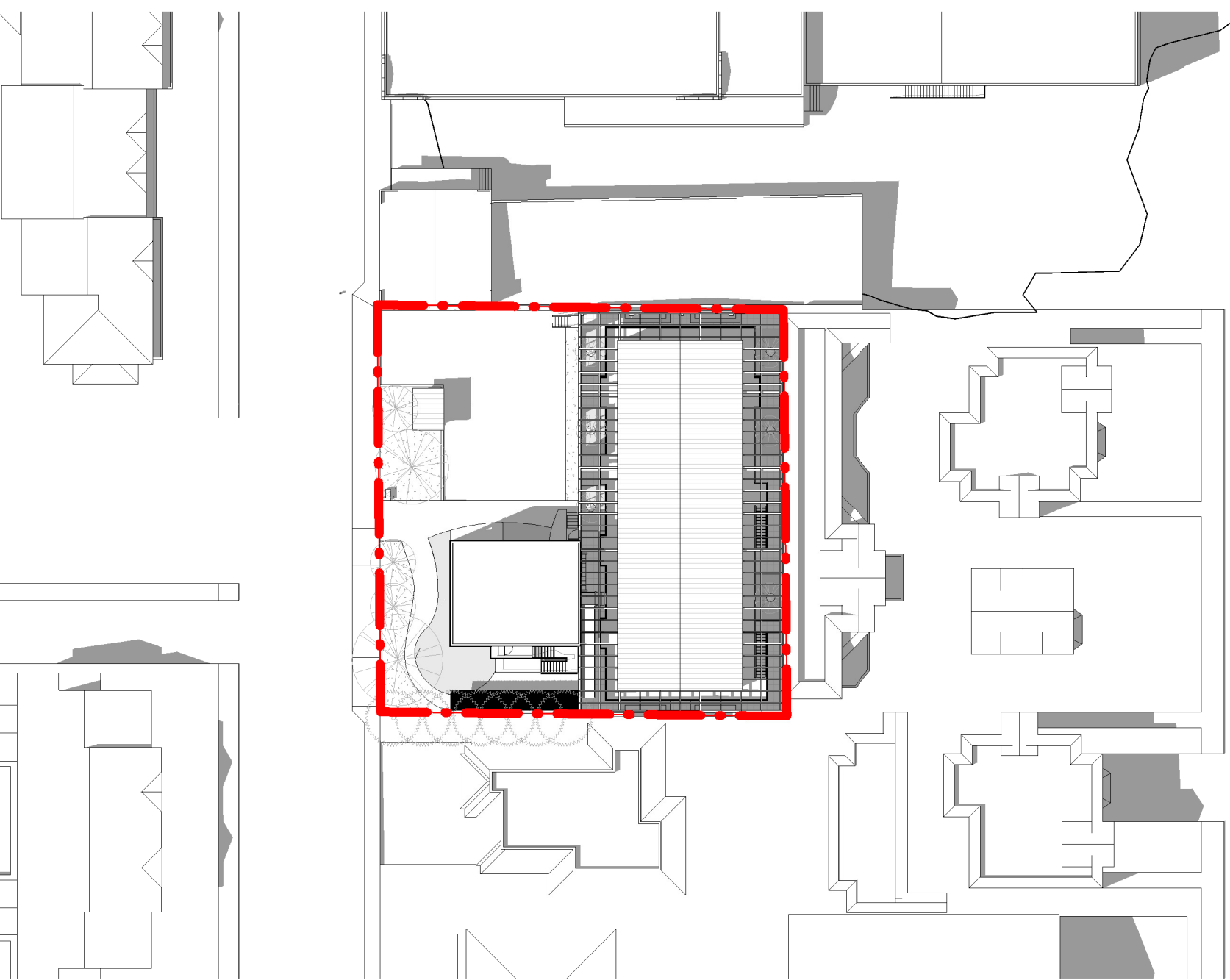
3 Solar Study Spring Equinox 3pm
1 : 500



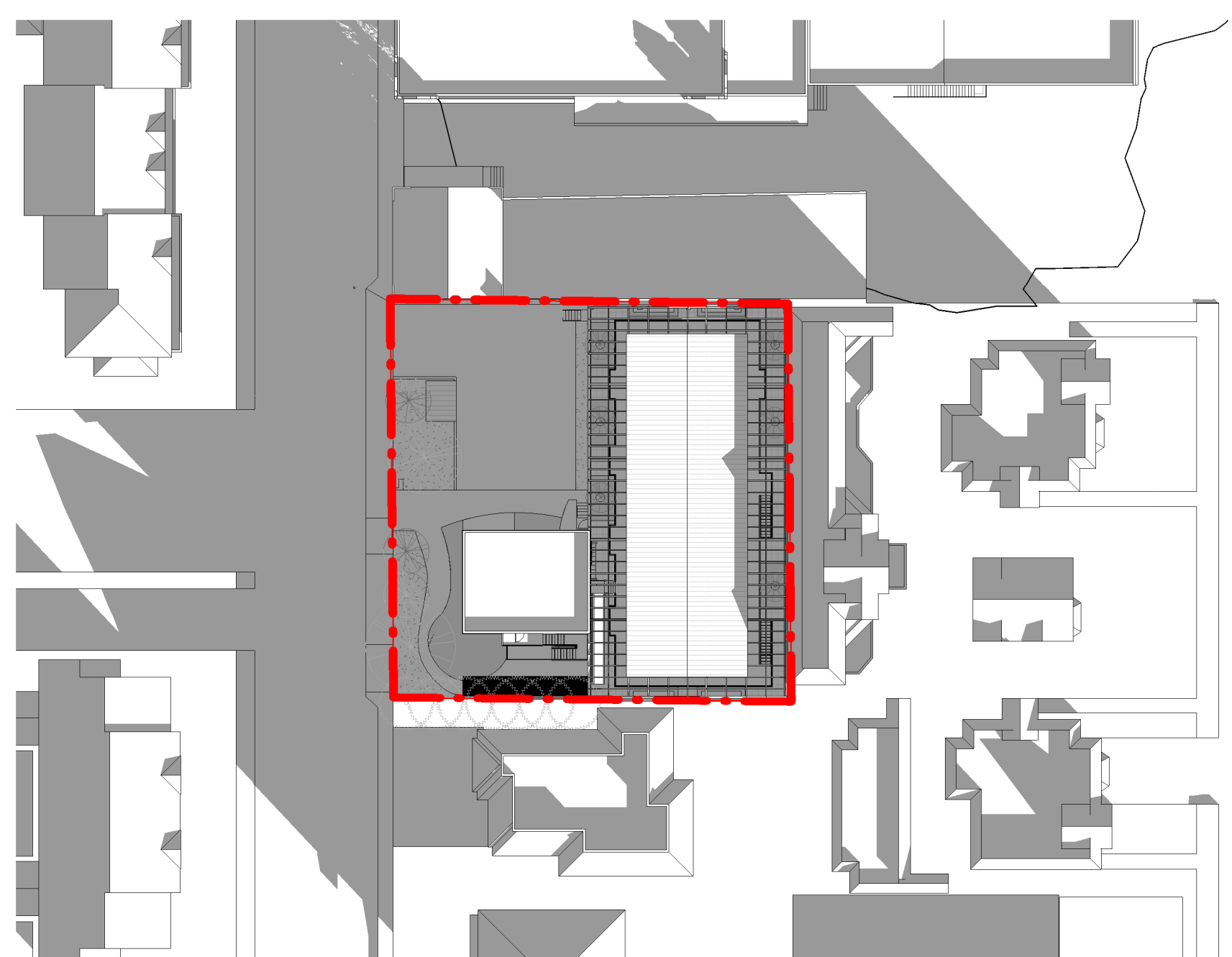
4 Solar Study Summer Equinox 9am
1 : 500



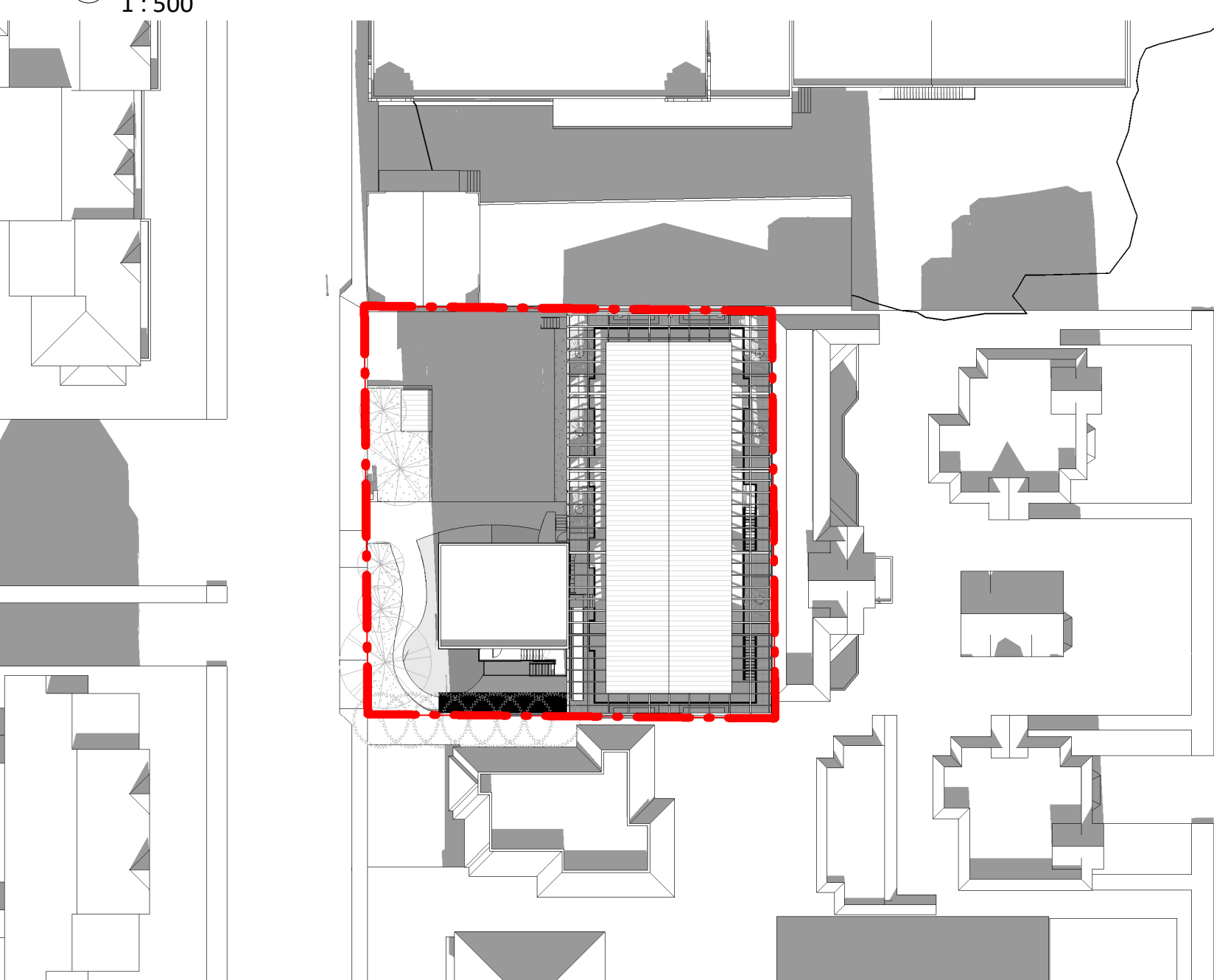
6 Solar Study Summer Equinox 12pm
1 : 500



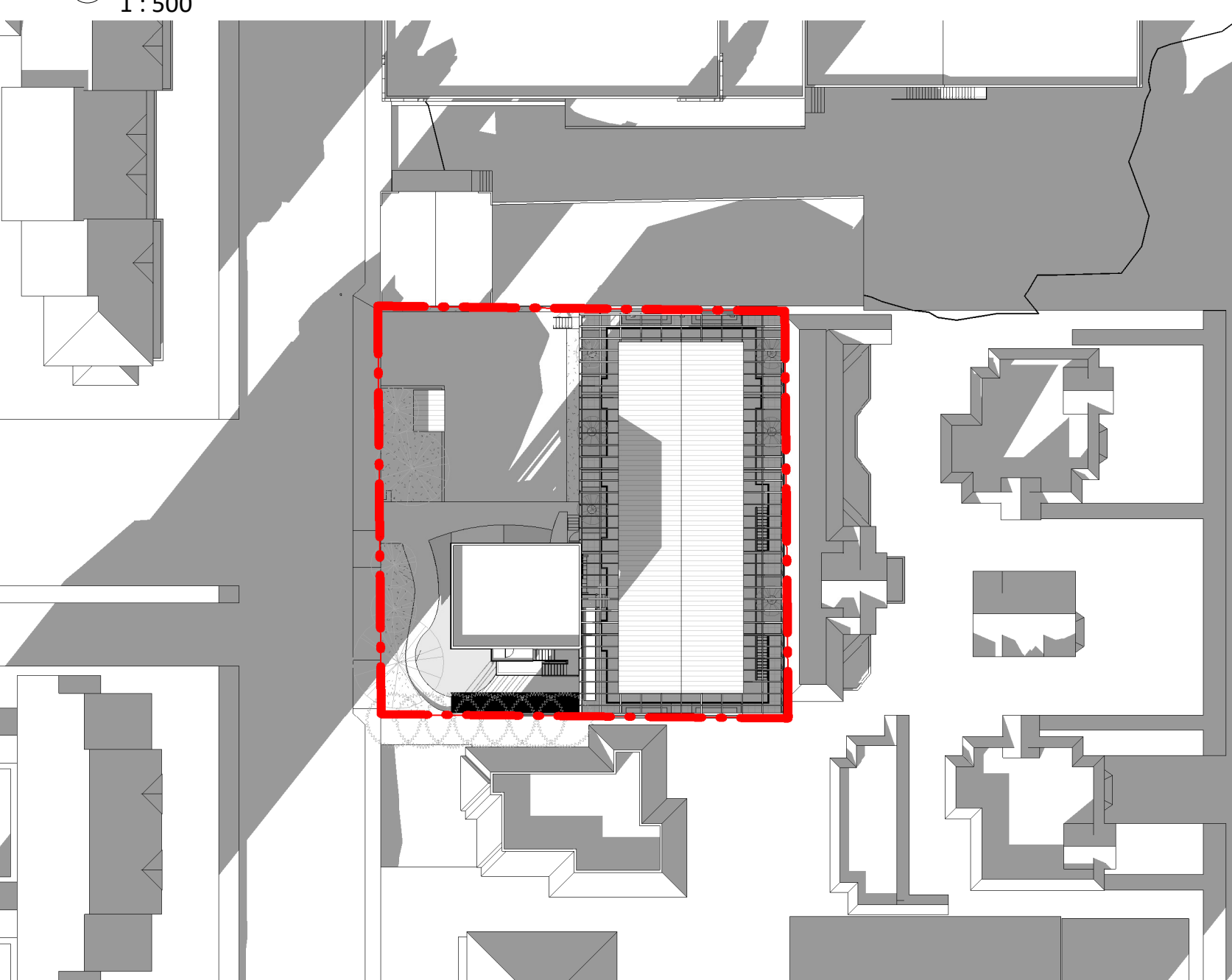
7 Solar Study Summer Equinox 3pm
1 : 500



5 Solar Study Winter Equinox 9am
1 : 500

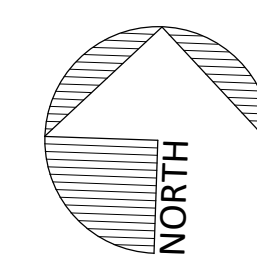


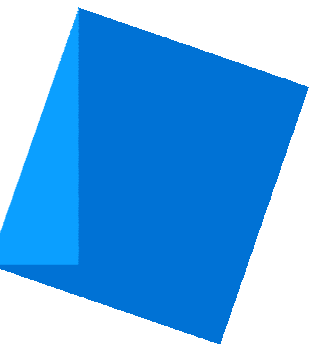
8 Solar Study Winter Equinox 12pm
1 : 500



9 Solar Study Winter Equinox 3pm
1 : 500

NOTE:
EXISTING MASSING TO
REMAIN - NO CHANGE TO
EXISTING SHADOW IMPACTS





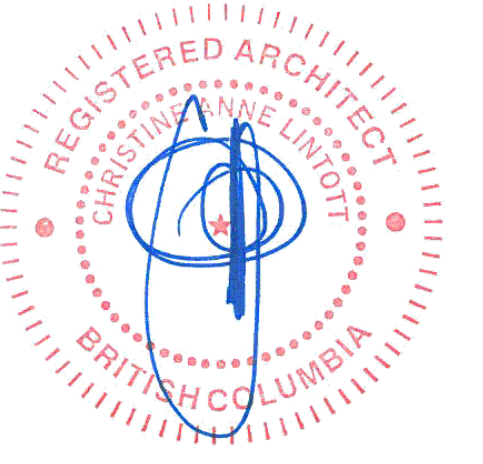
Issue **Date**

Community Meeting	August 19, 2021
Rezoning / DP / OCP	November 15, 2021
Rezoning / DP / OCP Resubmission	April 4, 2022
Rezoning / DP / OCP Revision	November 9, 2022

Revision

No.	Description	Date
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Consultant



Russell St. Redevelopment

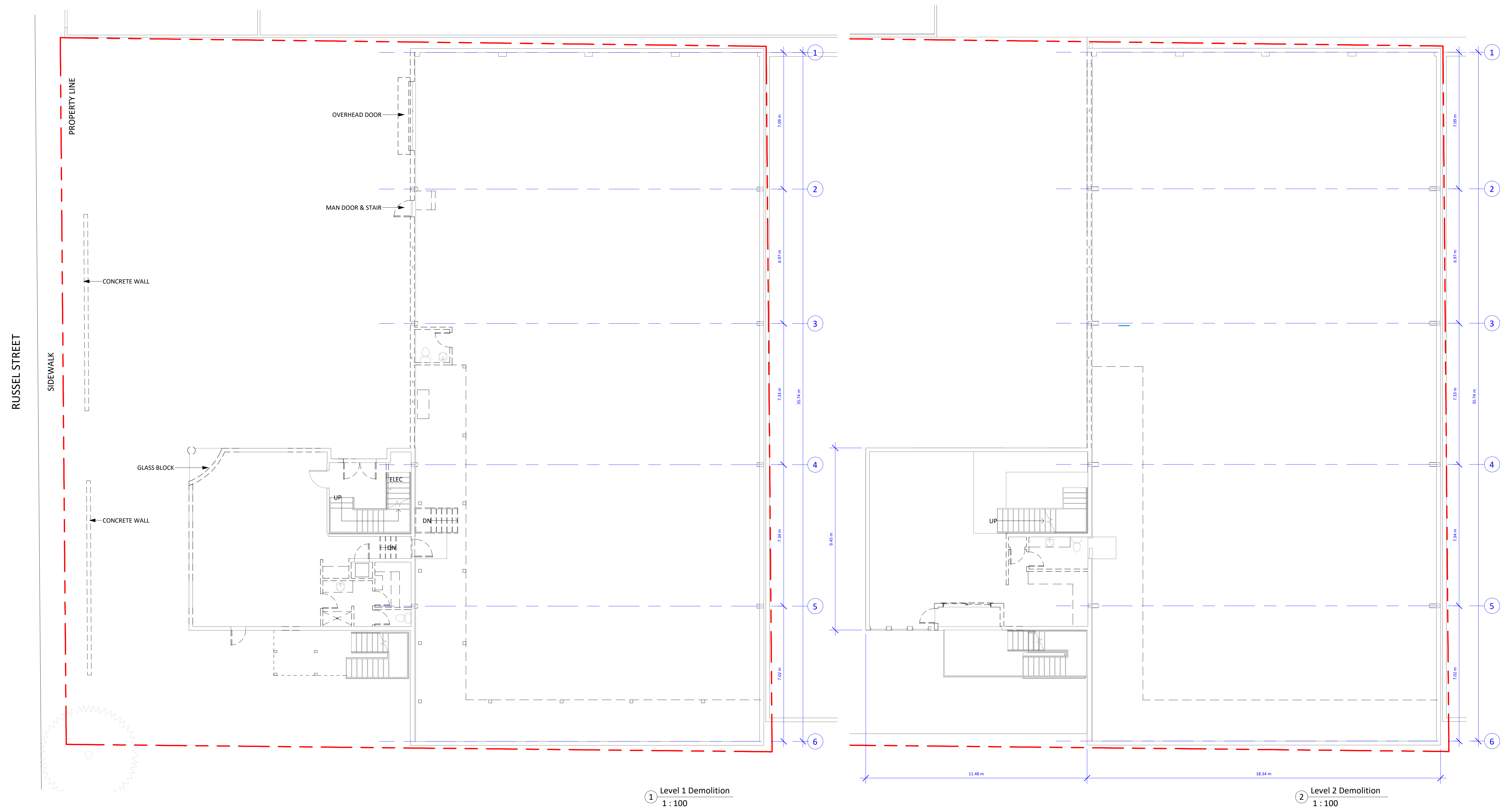
225 Russell Street,
Victoria, BC

Demolition/Existing Plans

Date	2022-11-21 10:20:29 AM
Drawn by	Author
Checked by	Checker

A2.00

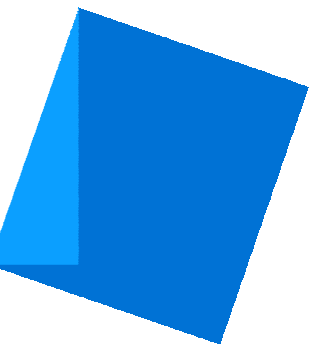
Scale 1 : 100



① Level 1 Demolition
1 : 100

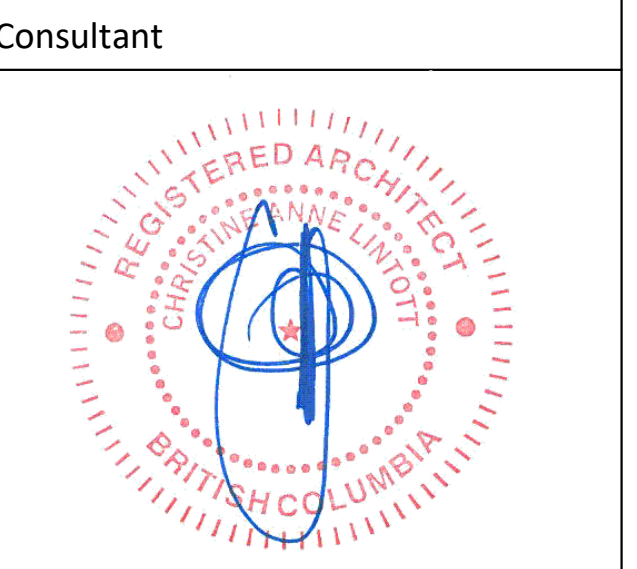
② Level 2 Demolition
1 : 100

NOTE: FOR REFERENCE ONLY, COVERED UNDER EXISTING DEMOLITION PERMIT.



Issue	Date
Community Meeting	August 19, 2021
Rezoning / DP / OCP	November 15, 2021
Rezoning / DP / OCP Resubmission	April 4, 2022
Rezoning / DP / OCP Revision	November 9, 2022

Revision		
No.	Description	Date
1	Long Term Bicycle Storage Dimensions	November 9, 2022



Russell St. Redevelopment

225 Russell Street,
Victoria, BC

Level 1

Date	2022-11-21 10:20:31 AM
Drawn by	Author
Checked by	Checker

A2.01

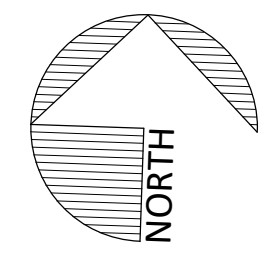
Scale	As indicated
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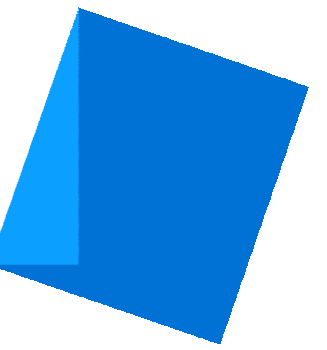


② Level 1 - Proposed
1 : 100

FRR LEGEND:

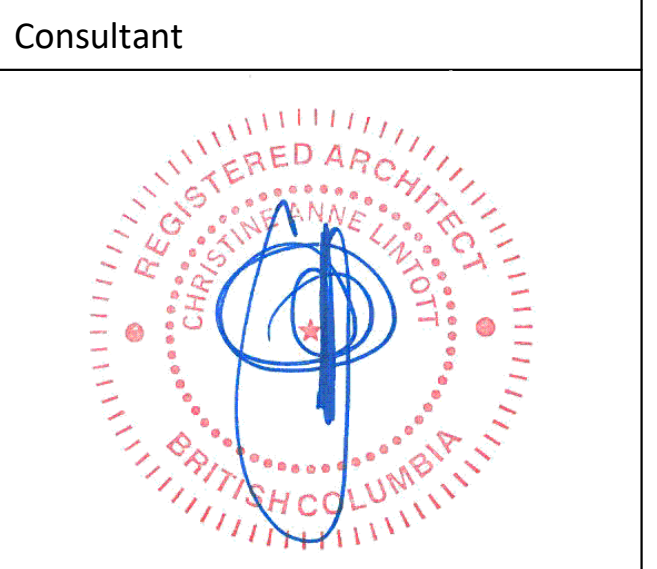
	1hr FRR WALL
	ALTERNATE SOLUTION (SPRINKLERED)





Issue	Date
Community Meeting	August 19, 2021
Rezoning / DP / OCP	November 15, 2021
Rezoning / DP / OCP Resubmission	April 4, 2022
Rezoning / DP / OCP Revision	November 9, 2022

Revision		
No.	Description	Date



Russell St. Redevelopment

225 Russell Street,
Victoria, BC

Level 2

Date	2022-11-21 10:20:34 AM
Drawn by	Author
Checked by	Checker

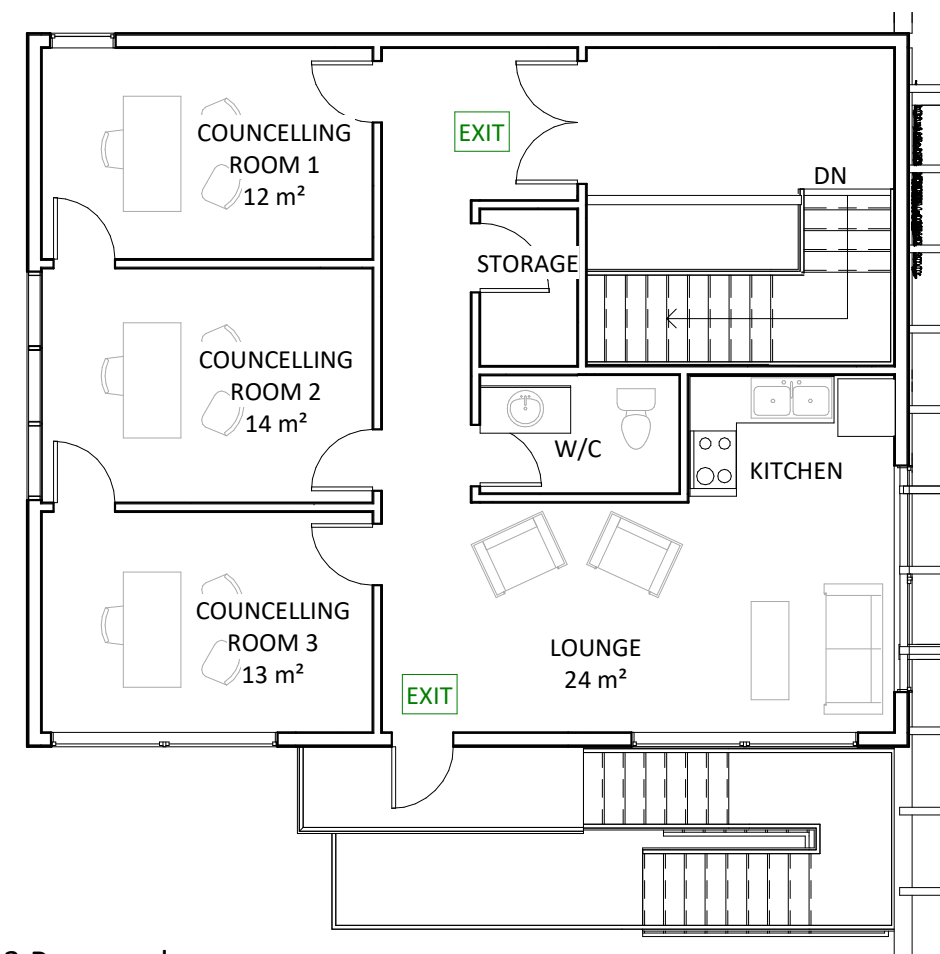
A2.02

Scale	As indicated
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3
A4.00



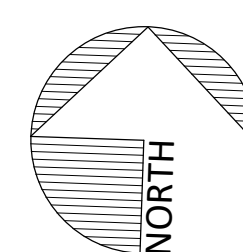
2 Level 2 Proposed
1 : 100

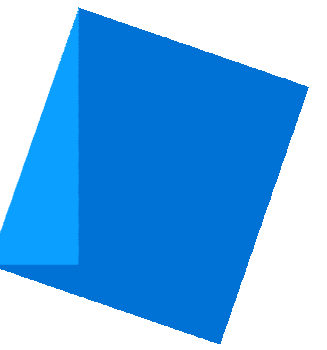


4 Level 3 Proposed
1 : 100

FRR LEGEND:

	1hr FRR WALL
	ALTERNATE SOLUTION (SPRINKLERED)





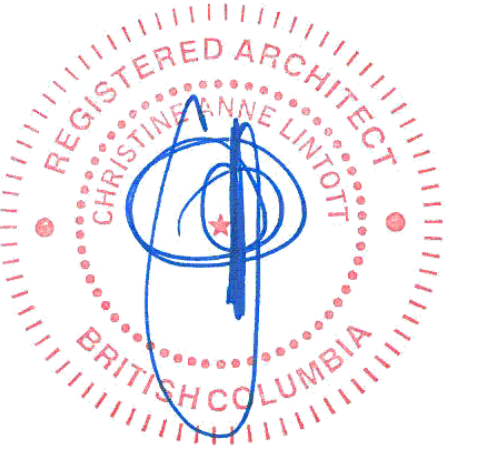
Issue **Date**

Community Meeting	August 19, 2021
Rezoning / DP / OCP	November 15, 2021
Rezoning / DP / OCP Resubmission	April 4, 2022
Rezoning / DP / OCP Revision	November 9, 2022

Revision

No.	Description	Date
1	Driveway entry shifted south 1m, obstructions 2022 to site triangle reduced to 1m height	August 30, 2022

Consultant



Russell St. Redevelopment

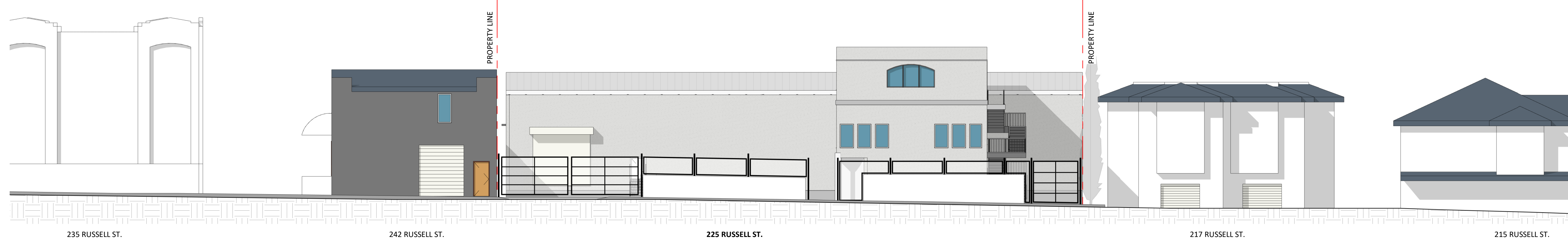
225 Russell Street,
Victoria, BC

Elevations

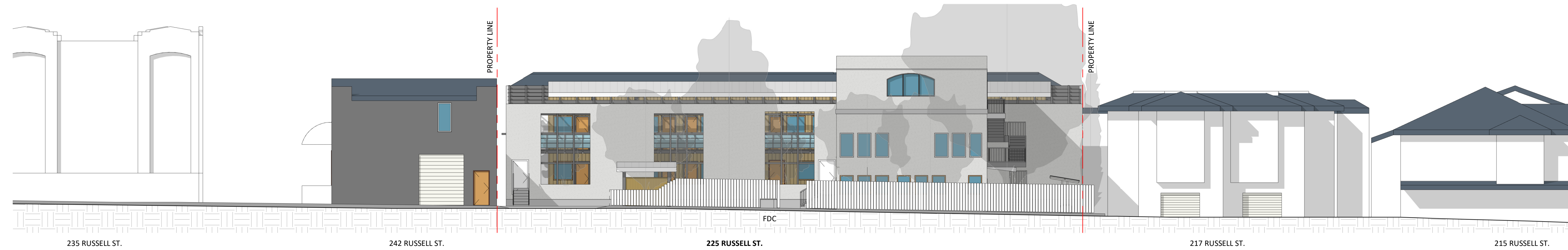
Date	2022-11-21 10:21:16 AM
Drawn by	Author
Checked by	Checker

A3.00

Scale As indicated

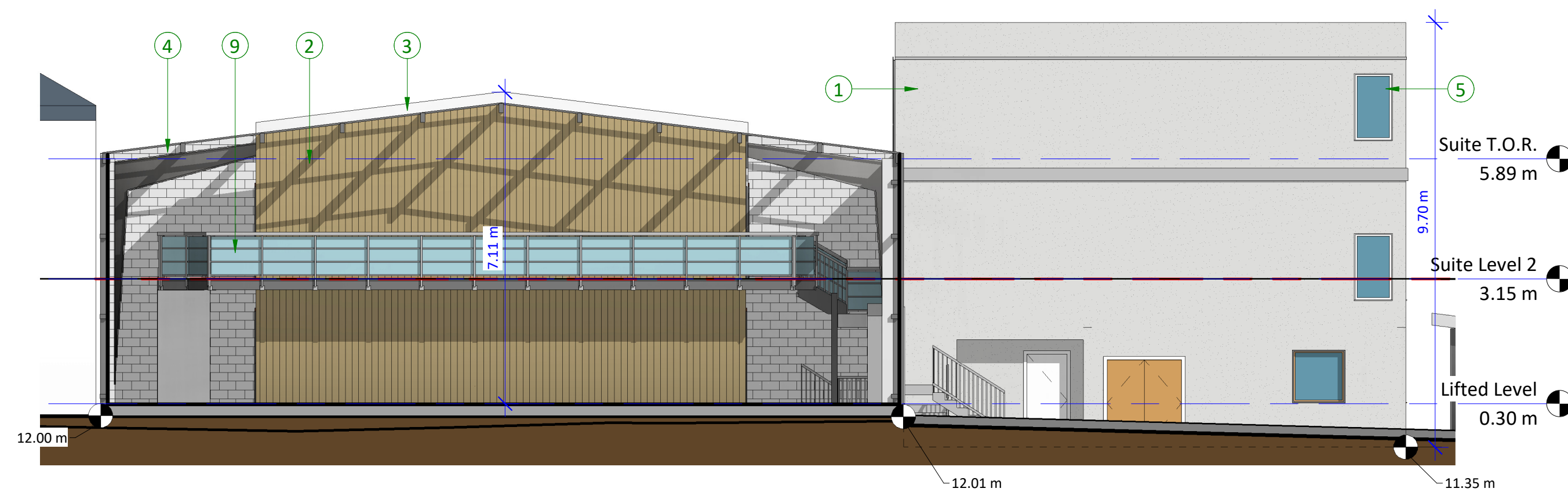


① Context Elevation - Existing
1 : 150

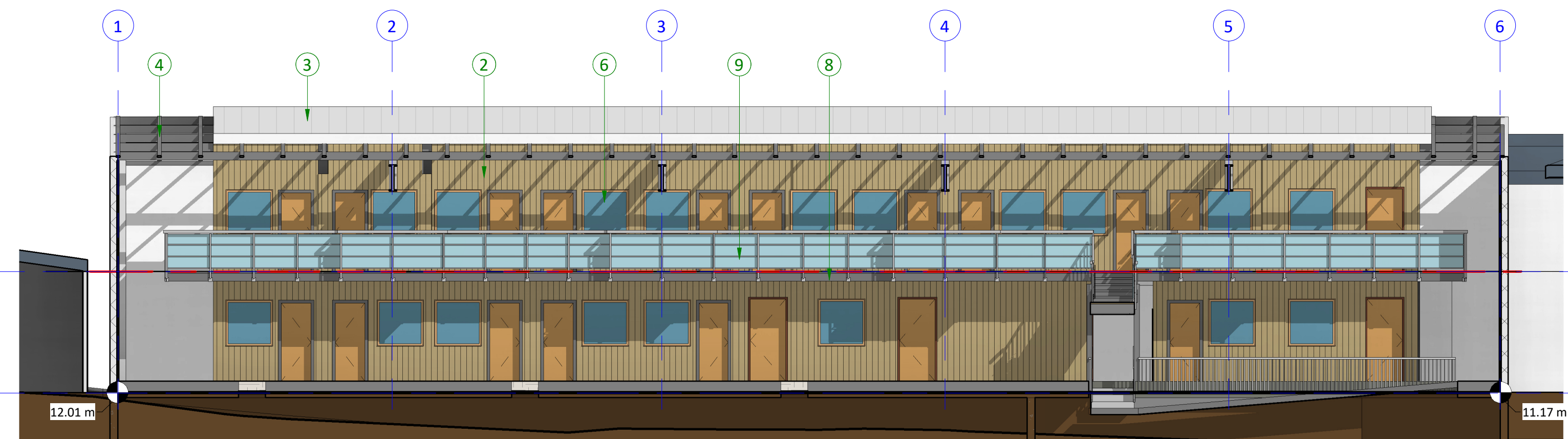


⑥ Context Elevation - Proposed
1 : 150

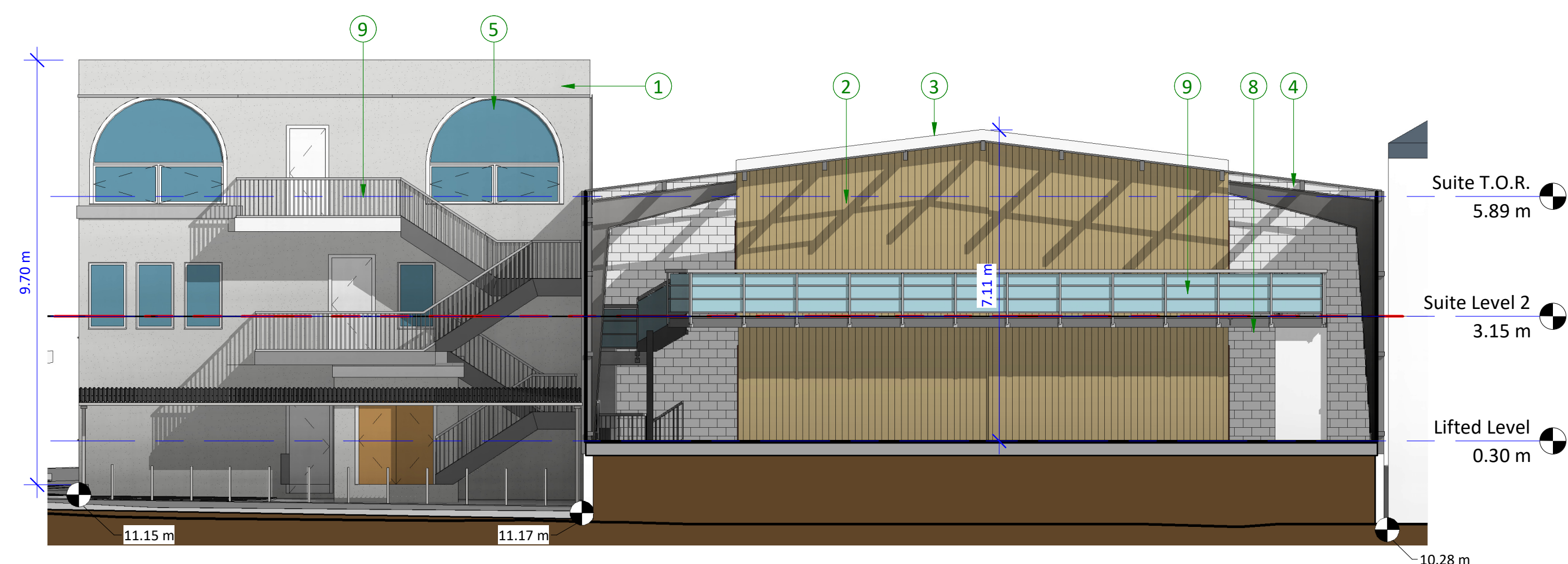
Keynote Legend	
Key Value	Keynote Text
1	EXISTING STUCCO - TO BE PAINTED
2	EXISTING CMU BLOCK WALL
3	RECLAIMED WOOD SIDING
4	PAINTED DRYWALL
5	LAMINATE FLOORING
6	2x2 CONCRETE PAVER
7	BROKEN SLAB PAVING
8	EXISTING FLAT ROOF
9	STANDING SEAM ROOF
10	STEEL STRUCTURE - PAINTED
11	EXISTING GLAZING
13	EXPANDED METAL GRATING
14	ALUMINUM RAILING WITH GLAZING
15	ALUMINUM RAILING
16	PLANTING BED



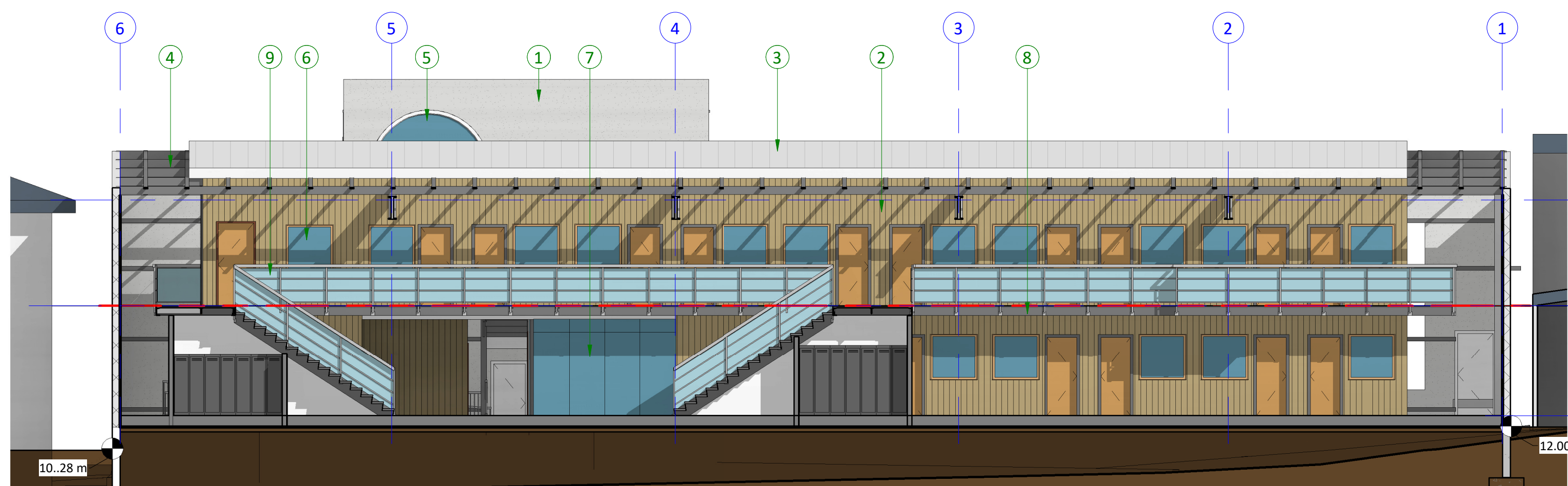
④ North
1 : 100



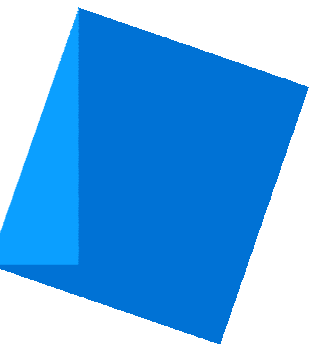
② West Elevation - Core
1 : 100



⑤ South
1 : 100



③ East Elevation - Core
1 : 100



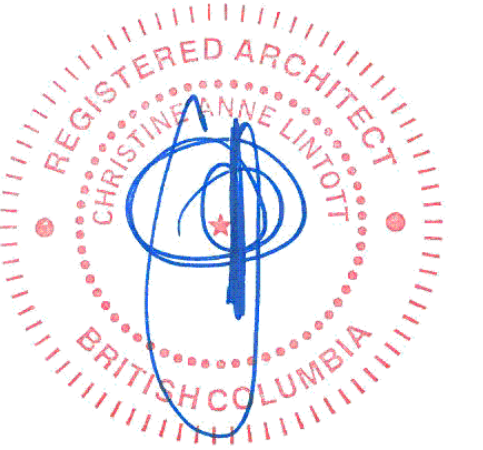
Issue Date

Community Meeting	August 19, 2021
Rezoning / DP / OCP	November 15, 2021
Rezoning / DP / OCP Resubmission	April 4, 2022
Rezoning / DP / OCP Revision	November 9, 2022

Revision

No.	Description	Date
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Consultant



Russell St. Redevelopment

225 Russell Street,
Victoria, BC

Building Sections

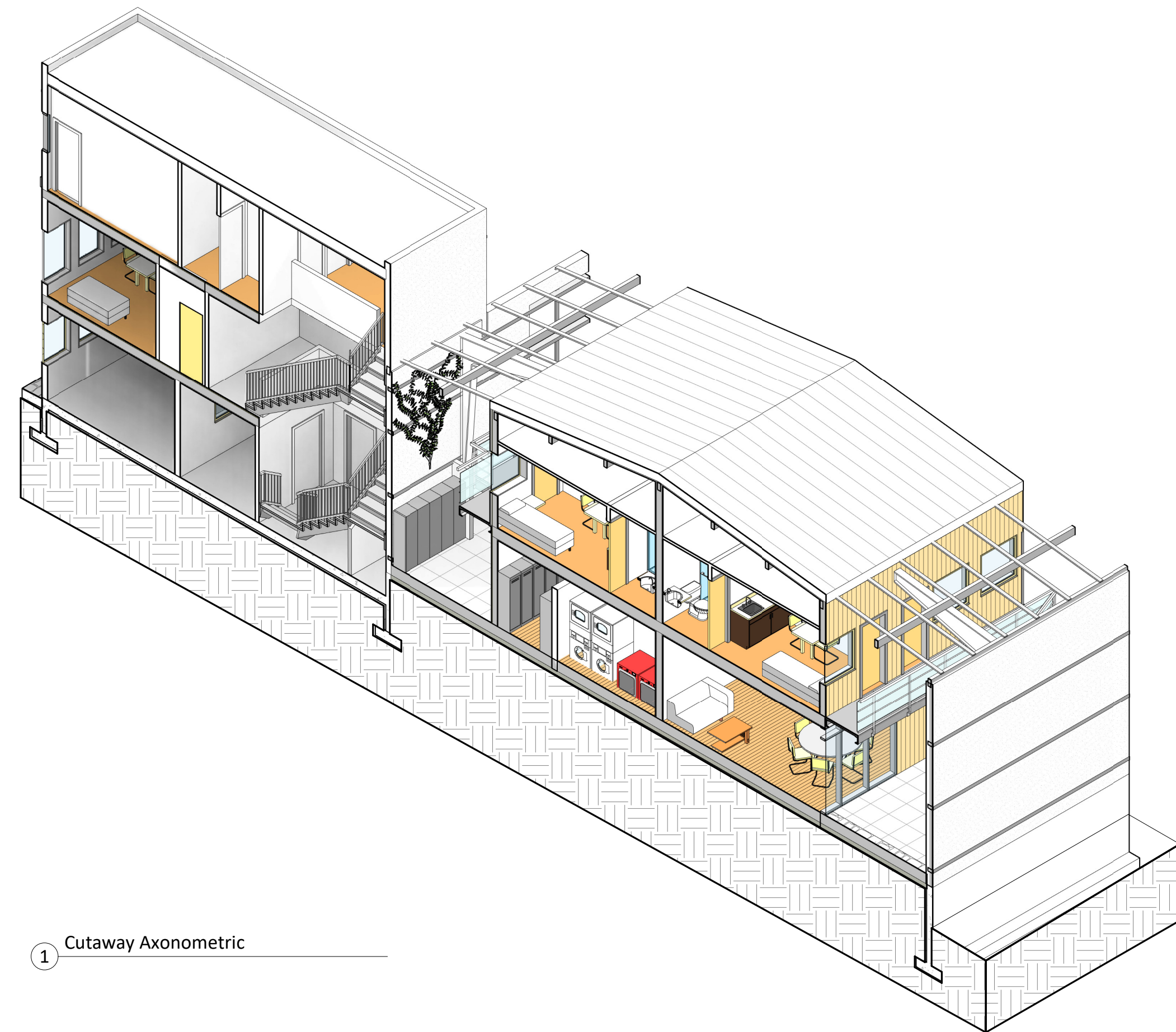
Date 2022-11-21 10:21:23 AM

Drawn by Author

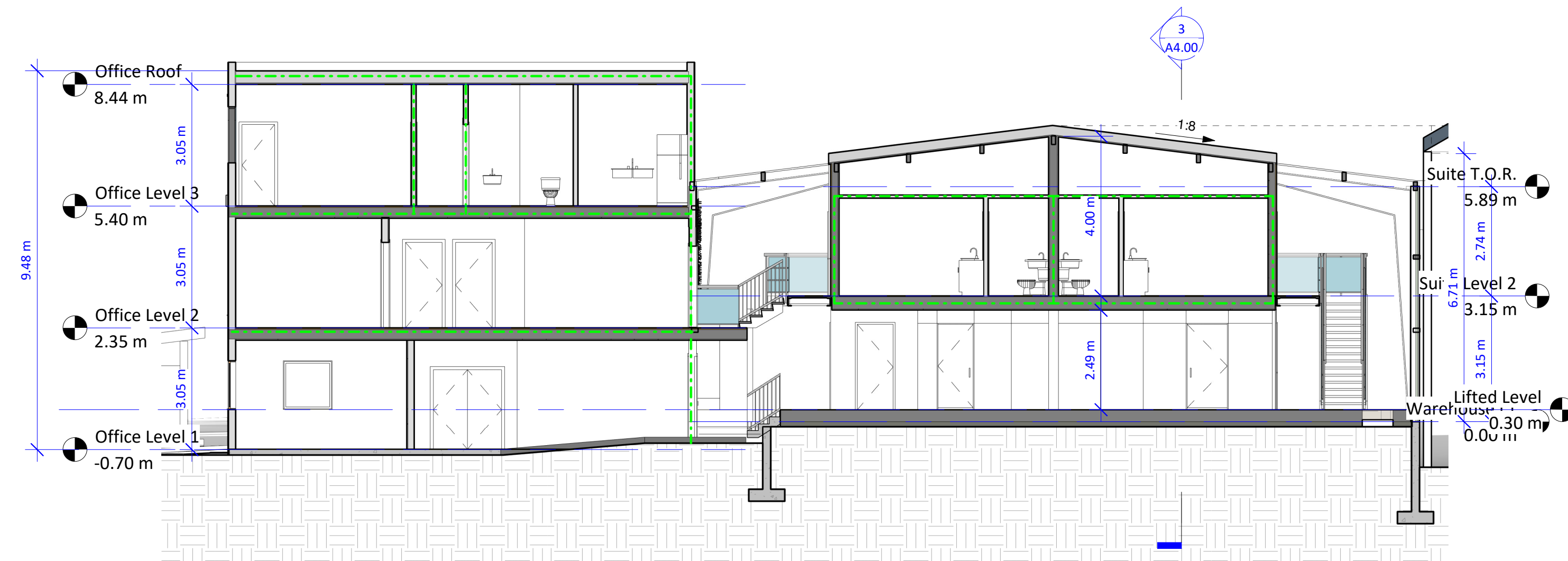
Checked by Checker

A4.00

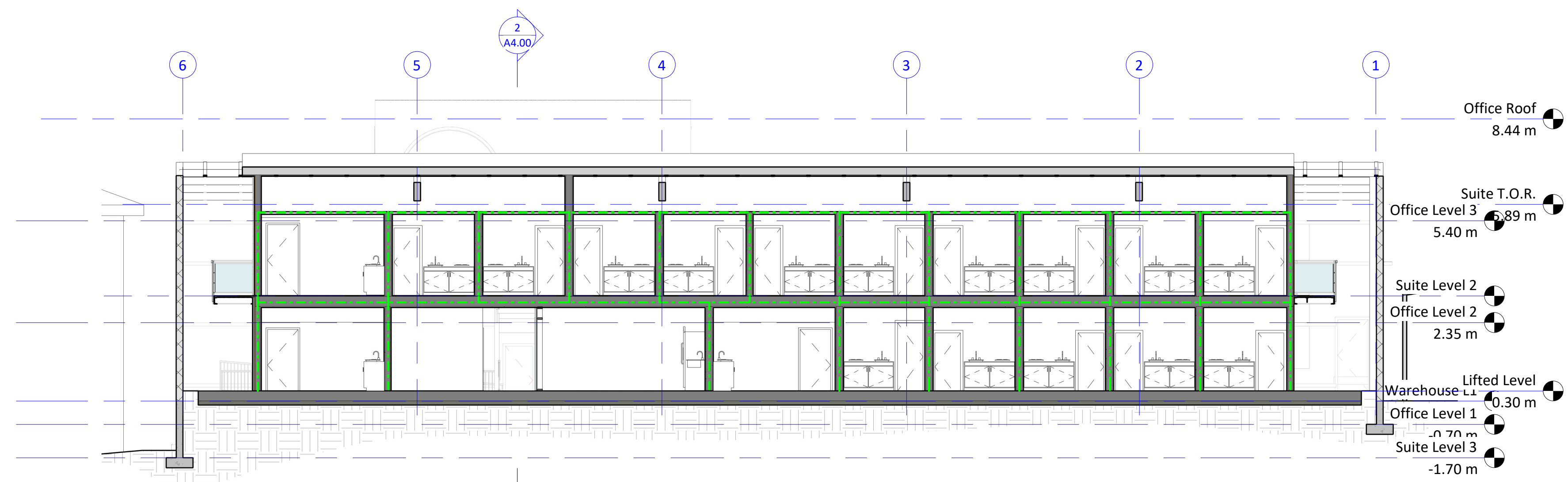
Scale As indicated



1 Cutaway Axonometric



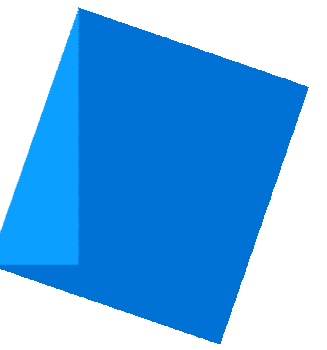
2 Section 1
1 : 100



3 Section 9
1 : 100

FRR LEGEND:

	1hr FRR WALL
	ALTERNATE SOLUTION (SPRINKLERED)



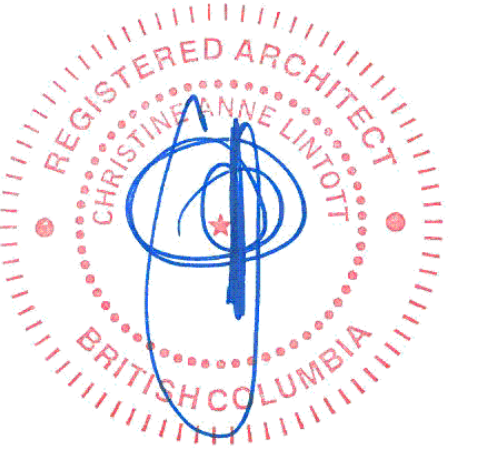
Issue **Date**

Community Meeting	August 19, 2021
Rezoning / DP / OCP	November 15, 2021
Rezoning / DP / OCP Resubmission	April 4, 2022
Rezoning / DP / OCP Revision	November 9, 2022

Revision

No.	Description	Date
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Consultant



Russell St. Redevelopment

225 Russell Street,
Victoria, BC

Renders

Date	2022-11-21 10:21:24 AM
Drawn by	Author
Checked by	Checker

A5.00

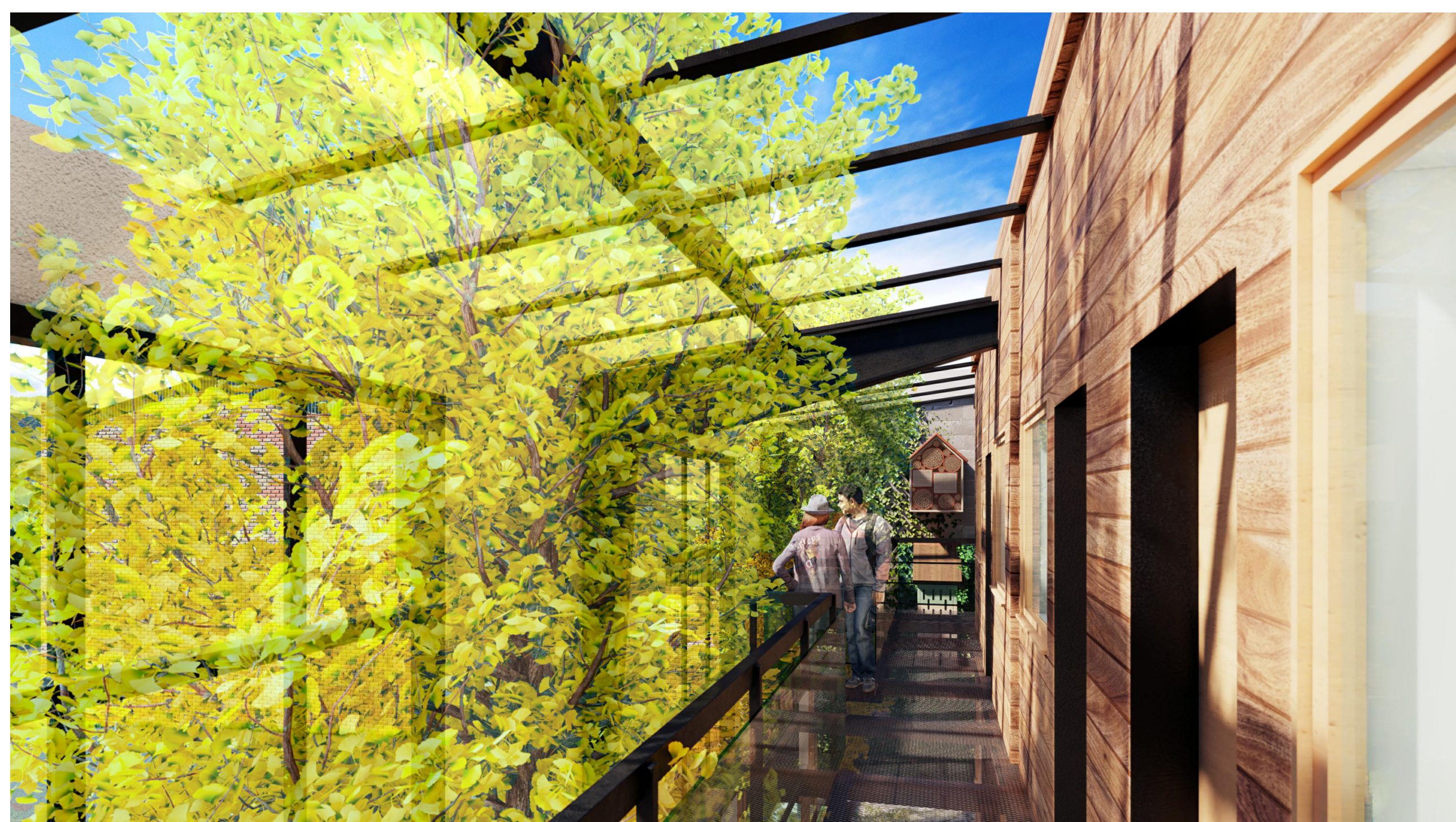
Scale



Axonometric - Existing



Axonometric - Proposed



View - Second Floor



View - Main Floor