



## Development Permit Resubmission 26.05.06

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- DP1.02 PROPOSED SITE PLAN
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### SURVEY

- PLOT PLAN



Revisions

Received Date:  
May 14, 2026

## Douglas Street Apartments

350 & 360 DOUGLAS ST

VICTORIA, BC

### Architecture

METAFOR ARCHITECTURE INC  
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t: 780.490.5330

### Structural

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### Mechanical

m3 Mechanical Engineering  
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501-1803 Douglas St  
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### Electrical

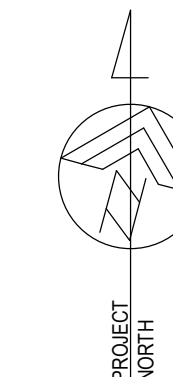
AES Engineering  
500-3795 Carey  
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JE Anderson &  
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4212 Glanford Ave  
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### Landscape

LADR  
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Douglas Street  
Apartments  
350 & 360 DOUGLAS ST  
VICTORIA, BC

**SITE LEGEND**

PROPERTY LINE	---
SETBACK LINE	- - - -
(SRW) SERVICE RIGHT OF AWAY	- - - -
STORM LINE	---
GAS LINE	---
WATER LINE	---
PATH OF TRAVEL	---
PARKADE OUTLINE	---
UTILITY POLE	○
TRAFFIC SIGN	⊞
CATCH BASIN	⊞

**Issued/ Revision Schedule**

no.	description	date
1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20
3	Rezoning & Development Permit Revision	24.07.05
4	Rezoning & Development Permit Revision	24.11.15
5	Development Permit Resubmission	26.05.06

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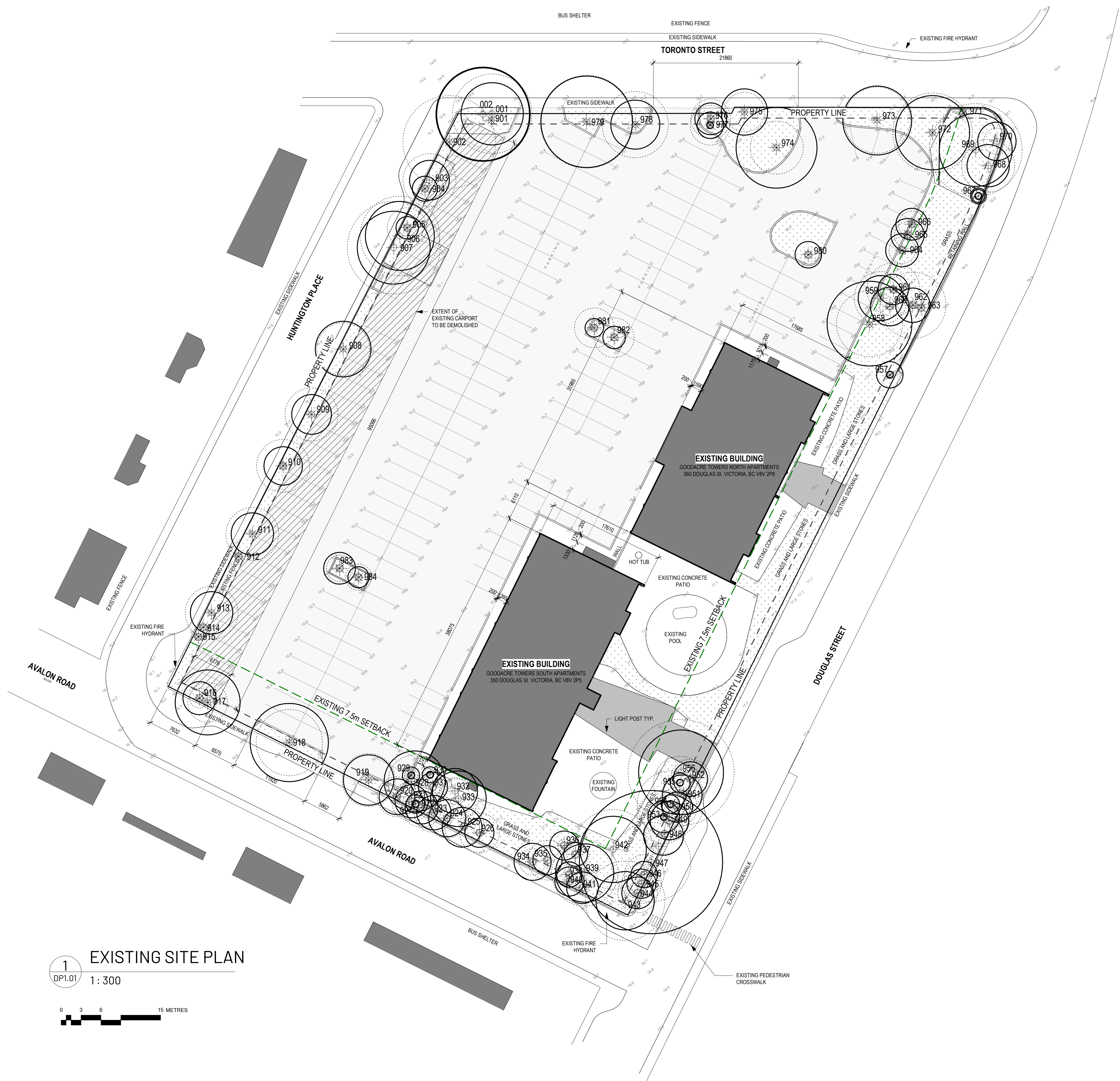
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Drawing Title  
**EXISTING SITE PLAN**

Sheet  
**DPI.01**

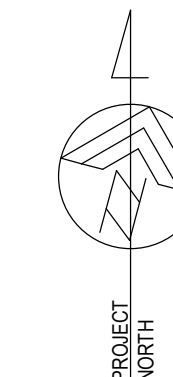
Scale  
As indicated

Project No.  
22.703



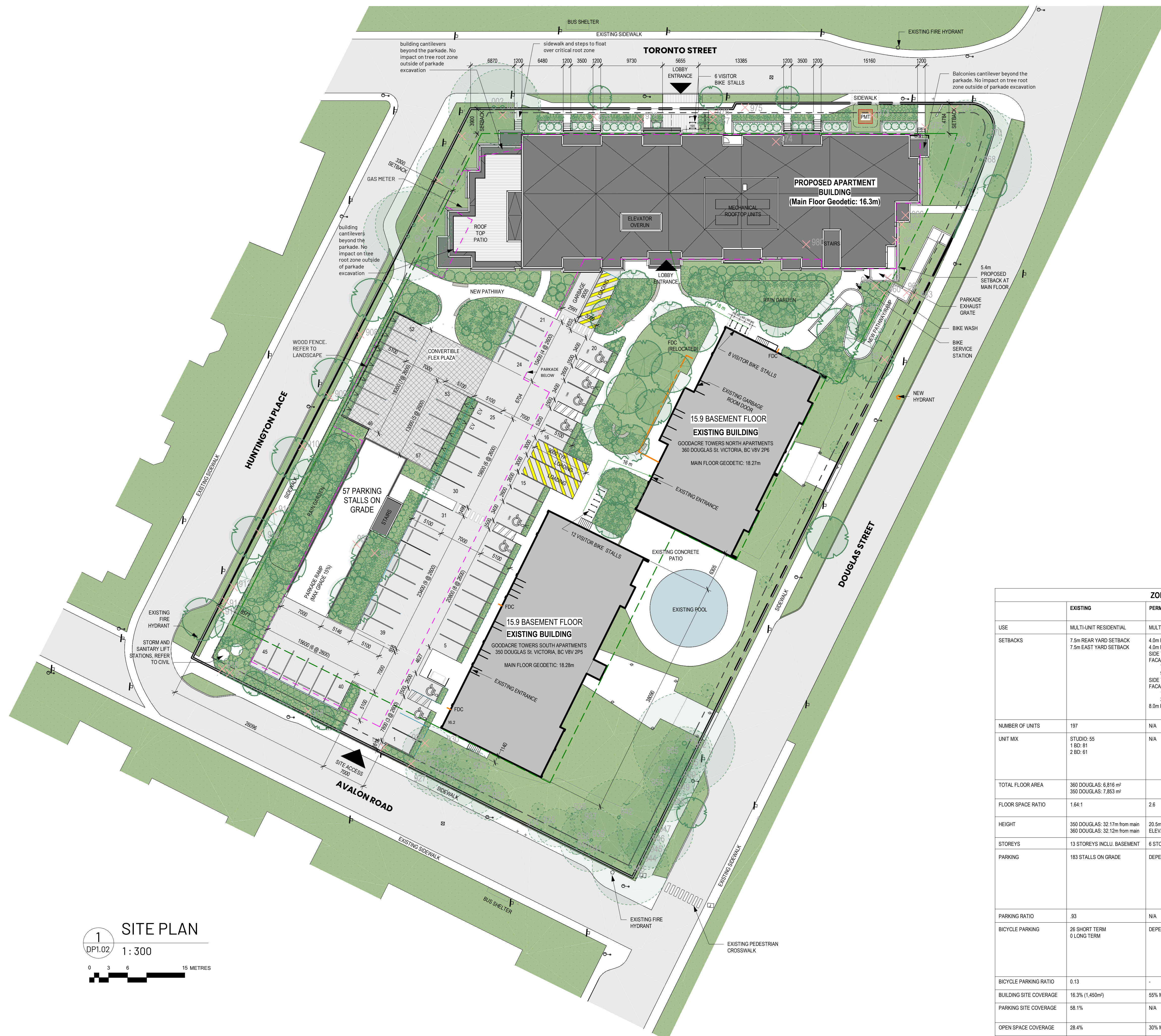
**1**  
DP1.01  
**EXISTING SITE PLAN**  
1: 300

0 3 6 15 METRES



# Douglas Street Apartments

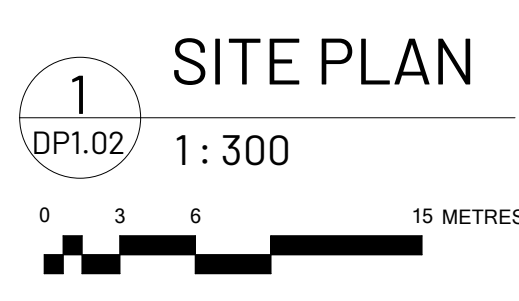
## 350 & 360 DOUGLAS ST VICTORIA, BC



SITE LEGEND	
PROPERTY LINE	---
SETBACK LINE	---
(SRW) SERVICE RIGHT OF AWAY	---
STORM LINE	---
GAS LINE	---
WATER LINE	---
PATH OF TRAVEL	---
PARKADE OUTLINE	---
UTILITY POLE	○
TRAFFIC SIGN	□
CATCH BASIN	□

PROJECT INFORMATION TABLE	
ADDRESS:	350 & 360 Douglas St, Victoria
LEGAL ADDRESS:	LOT 1, BECKLEY FARM, VICTORIA CITY, PLAN 18452
ZONING:	GRD-1 GENERAL RESIDENTIAL DISTRICT 1
SITE AREA:	8933m <sup>2</sup>
TOTAL FLOOR AREA:	21,897m <sup>2</sup>
COMMERCIAL FLOOR AREA:	0m <sup>2</sup>
FLOOR SPACE RATIO:	2.45:1
SITE COVERAGE:	33.6%
OPEN SITE SPACE:	34.6%
HEIGHT OF BUILDING (NEW):	20.5m
# OF STOREYS (NEW):	6
# OF PARKING STALLS:	195
# OF BIKE STALLS:	380
FRONT YARD SETBACK:	3.9m NORTH SIDE
REAR YARD SETBACK:	7.5m SOUTH SIDE
SIDE YARD SETBACK:	3.3m WEST SIDE
SIDE YARD SETBACK:	5.4m EAST SIDE
PROJECTIONS INTO SETBACKS:	BALCONIES: 0.5m
(MAXIMUM)	CANOPIES: 1.0m
	STEPS: 2.2m
TOTAL NUMBER OF NEW UNITS:	90 UNITS
UNIT TYPE:	1 BEDROOM: 34
	1 BEDROOM + DEN: 20
	2 BEDROOM: 23
	2 BEDROOM + DEN: 5
	3 BEDROOM: 8
GROUND-ORIENTATED UNITS:	11 UNITS
MINIMUM UNIT FLOOR AREA:	50.4 m <sup>2</sup>
PARKING STALL SIZE:	2600 X 5100
LOADING STALL SIZE:	3000 X 9000

	ZONING COMPARISON			
	EXISTING	PERMITTED (GRD-1 ZONE)	PROPOSED (NEW BLDG ONLY)	PROPOSED (ENTIRE SITE)
USE	MULTI-UNIT RESIDENTIAL	MULTI-UNIT RESIDENTIAL	MULTI-UNIT RESIDENTIAL	MULTI-UNIT RESIDENTIAL
SETBACKS	7.5m REAR YARD SETBACK 7.5m EAST YARD SETBACK	4.0m FRONT YARD SETBACK 4.0m FLANKING YARD SETBACK SIDE YARD SETBACK (PRIMARY FACADE): 7.5m UP TO 4 STOREYS SIDE YARD SETBACK (OTHER FACADE): 1.5m UP TO 4 STOREYS 3.0m ABOVE 4 STOREYS 8.0m REAR YARD SETBACK	3.9m FRONT YARD SETBACK (TORONTO) 7.5m REAR YARD SETBACK (AVALON) 5.4m SIDE YARD SETBACK (DOUGLAS) 3.3m WEST YARD SETBACK (HUNTINGTON)	3.9m FRONT YARD SETBACK 7.5m REAR YARD SETBACK 5.4m EAST YARD SETBACK 3.3m WEST YARD SETBACK
NUMBER OF UNITS	197	N/A	90	287
UNIT MIX	STUDIO: 55 1 BD: 81 2 BD: 61	N/A	1 BD: 34 1 BD+DEN: 20 2 BD: 23 2 BD+DEN: 5 3 BD: 8	STUDIO: 55 1 BD: 115 1 BD+DEN: 20 2 BD: 84 2 BD+DEN: 5 3 BD: 8
TOTAL FLOOR AREA	360 DOUGLAS: 6,816 m <sup>2</sup> 350 DOUGLAS: 7,853 m <sup>2</sup>		7,227m <sup>2</sup>	21,897 m <sup>2</sup>
FLOOR SPACE RATIO	1.64:1	2.6	0.81:1	2.45:1
HEIGHT	350 DOUGLAS: 32.17m from main 360 DOUGLAS: 32.12m from main	20.5m + 3.0M FOR STAIR AND ELEVATOR OVRERRUN	20.5m FROM AVE GRADE	34m
STOREYS	13 STOREYS INCLU. BASEMENT	6 STOREYS	6 STOREYS	13 STOREYS
PARKING	183 STALLS ON GRADE	DEPENDENT ON UNIT SIZE	-	138 UNDERGROUND, 57 SURFACE INCLUDING: - 16 VISITOR - 10 ACCESSIBLE (INCLUDING 3 ACCESSIBLE VAN) TOTAL: 195 STALLS
PARKING RATIO	93	N/A	-	0.68
BICYCLE PARKING	26 SHORT TERM 0 LONG TERM	DEPENDENT ON UNIT SIZE	287 LONG TERM 153 IN PARKADE (P1) 134 IN MAIN FLOOR BIKE ROOM  (144 with electrical receptacles) (123 vertical bike racks)	26 SHORT TERM 287 LONG TERM (TO BE PROVIDED IN EXISTING BUILDINGS AS PART OF EXISTING PROJECT, 40 TO BE OVERSIZED) TOTAL: 300 TOTAL STALLS
BICYCLE PARKING RATIO	0.13	-	3.2	1.32
BUILDING SITE COVERAGE	16.3% (1,450m <sup>2</sup> )	5% MAXIMUM	32.4% (1,554m <sup>2</sup> )	33.6% (3,004m <sup>2</sup> ) See OP1.05
PARKING SITE COVERAGE	58.1%	N/A	-	21.8% (1,950m <sup>2</sup> ) Outside of Building Site Coverage
OPEN SPACE COVERAGE	28.4%	30% MINIMUM	-	34.6%



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6	Parking Update	26.01.26
7	Development Permit Resubmission	26.05.06

Seal

Permit

Consultant

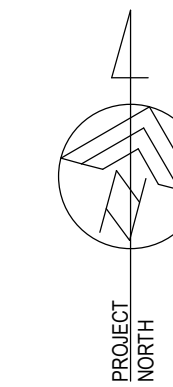


Drawing Title  
**PROPOSED SITE PLAN**

Sheet  
**DPI.02**

Scale  
As indicated

Project No.  
22.703



Douglas Street  
Apartments  
350 & 360 DOUGLAS ST  
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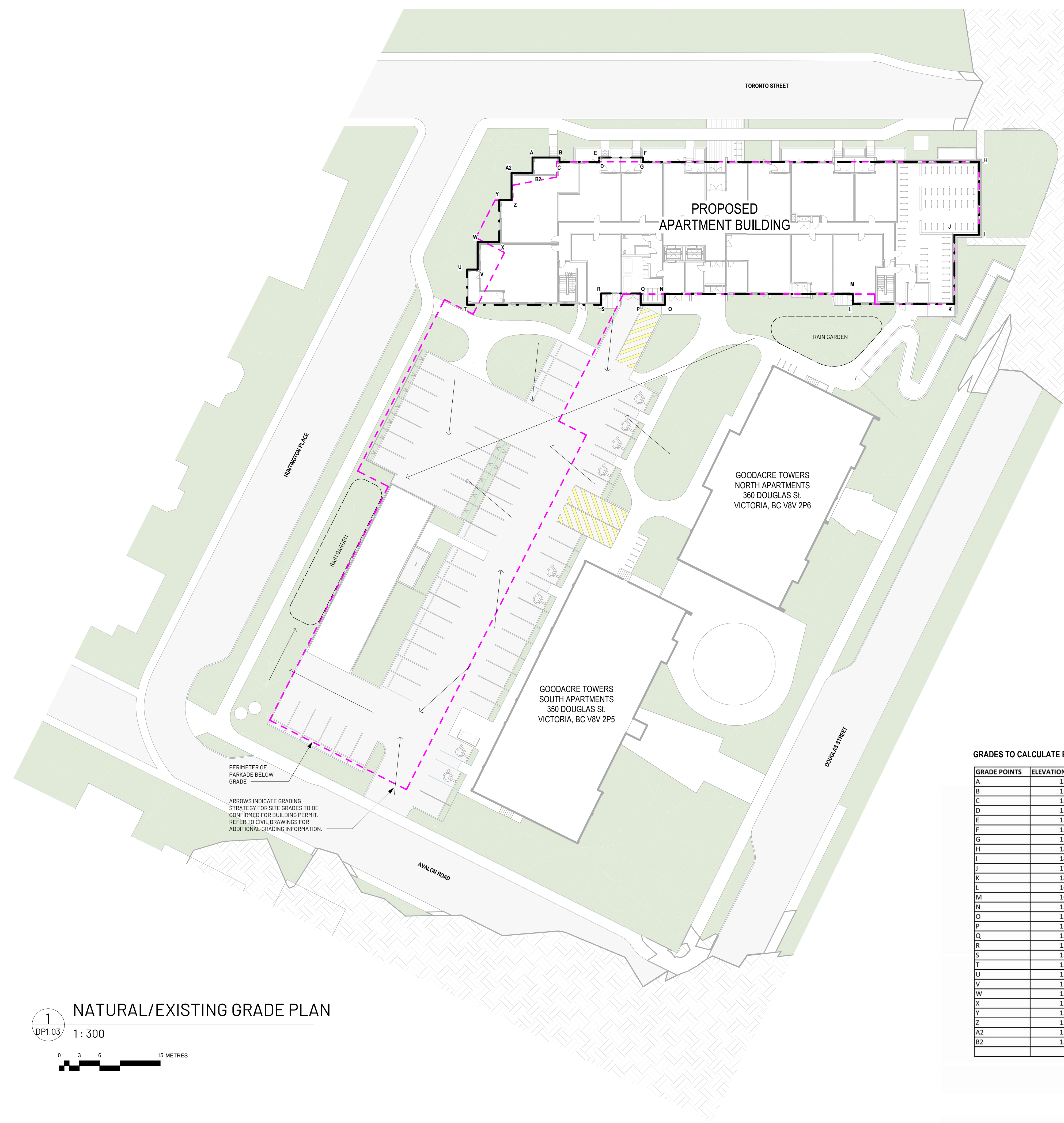
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Drawing Title  
**AVERAGE GRADE  
CALCULATION**

DPI.03

Sheet

Scale	Project No.
1 : 300	22.703



GRADES TO CALCULATE BUILDING HEIGHT

GRADE POINTS	ELEVATION	FROM	TO	AVERAGE ELEVATION	X	DISTANCE	=	TOTALS
A	15.3	A	B	15.3	4.0			61.2
B	15.3	B	C	15.3	0.6			9.2
C	15.3	C	D	15.4	5.9			90.6
D	15.4	D	E	15.4	0.6			9.2
E	15.4	E	F	15.5	6.5			100.8
F	15.6	F	G	15.6	0.6			9.4
G	15.6	G	H	17.2	49.9			855.8
H	18.7	H	I	18.7	10.8			202.0
I	18.7	I	J	18.3	3.7			67.7
J	17.9	J	K	18.1	10.3			186.4
K	18.3	K	L	17.3	15.1			261.2
L	16.3	L	M	16.4	1.5			24.5
M	16.4	M	N	16.1	27.9			447.8
N	15.7	N	O	15.7	1.6			25.1
O	15.7	O	P	15.7	3.6			56.3
P	15.6	P	Q	15.6	1.7			26.5
Q	15.6	Q	R	15.6	5.8			90.2
R	15.5	R	S	15.5	1.7			26.4
S	15.5	S	T	15.4	19.9			305.5
T	15.2	T	U	15.2	5.2			78.8
U	15.1	U	V	15.1	1.6			24.2
V	15.1	V	W	15.1	4.1			61.7
W	15.0	W	X	15.1	3.2			48.2
X	15.1	X	Y	15.1	6.2			93.6
Y	15.1	Y	Z	15.1	1.8			27.2
Z	15.1	Z	A2	15.1	4.0			60.4
A2	15.1	A2	B2	15.2	3.1			47.1
B2	15.3	B2	A	15.3	2.3			35.2
				<b>203.2</b>				<b>3332.0</b>

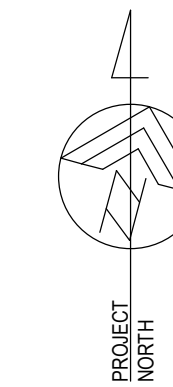
Average Grade: 16.40

1 NATURAL/EXISTING GRADE PLAN

DPI.03 1 : 300

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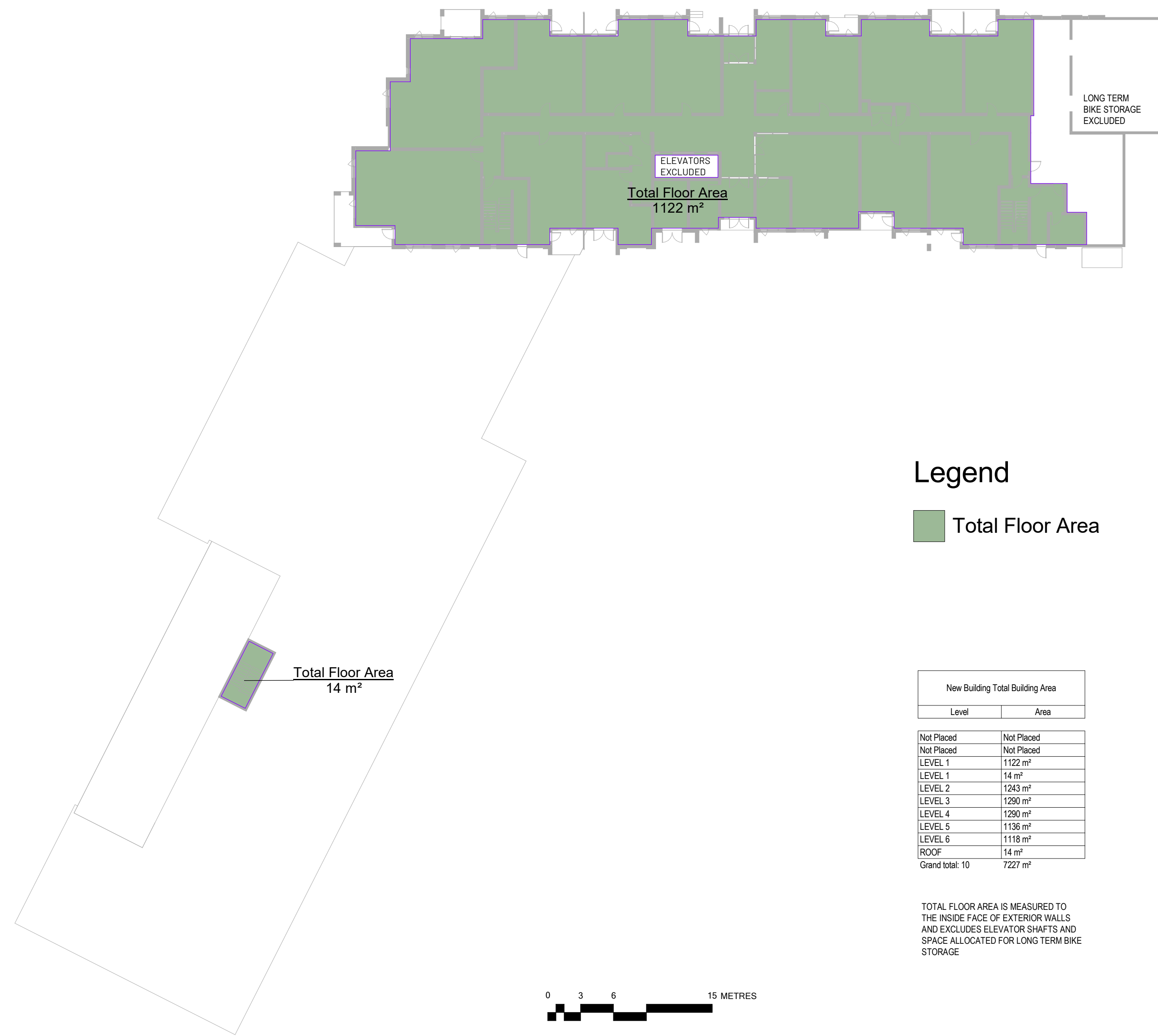


# Douglas Street Apartments

## 350 & 360 DOUGLAS ST VICTORIA, BC

Unit Type	1BD A	1BD B	1BD+D A	1BD+D B	1BD+D C	1BD+D D	2BD A	2BD C	2BD D	2BD F	2BD G	2BD+D	3BD A	3BD B	TOTALS BY LEVEL
Unit Configuration	1 bed	1 bed	1 bed + den	1 bed + den	1 bed + den	1 bed + den	2 bed	2 bed	2 bed	2 bed	2 bed	2 bed	3 bed	3 bed	
Unit Size (sf)	650	545	725	643	681	708	789	883	900	832	779	823	874	982	1016
Unit Size (sm)	60.433	50.6	67.4	59.8	63.3	65.8	73.3	82.1	83.6	77.3	72.4	76.4	81.2	91.2	94.4
Level 1	1	5	0	0	1	1	1	0	0	0	0	1	0	1	12
Level 2	0	5	1	1	1	1	1	1	1	1	0	0	1	1	16
Level 3	0	6	1	1	1	1	1	1	1	1	0	0	1	1	17
Level 4	0	6	1	1	1	1	1	1	1	1	0	0	1	1	17
Level 5	0	5	1	1	0	1	1	1	1	1	1	0	1	0	14
Level 6	0	6	1	1	0	1	1	1	1	1	0	0	1	0	14
TOTALS	1	33	5	5	4	6	6	5	5	5	1	1	5	4	4
% by Type	1%	37%	6%	6%	4%	7%	7%	6%	6%	6%	1%	1%	6%	4%	100%
UNIT MIX	1 bed		1 bed + den		2 bed		2 bed + den		3 bed						
%	38%		22%		26%		6%		9%						
#	34		20		23		5		8						

Gross unit sizes are measured from: centre of demising walls, inside finish of exterior wall, and outside finish of corridor wall. Based on ANS/BOMA Z65.4-2010.

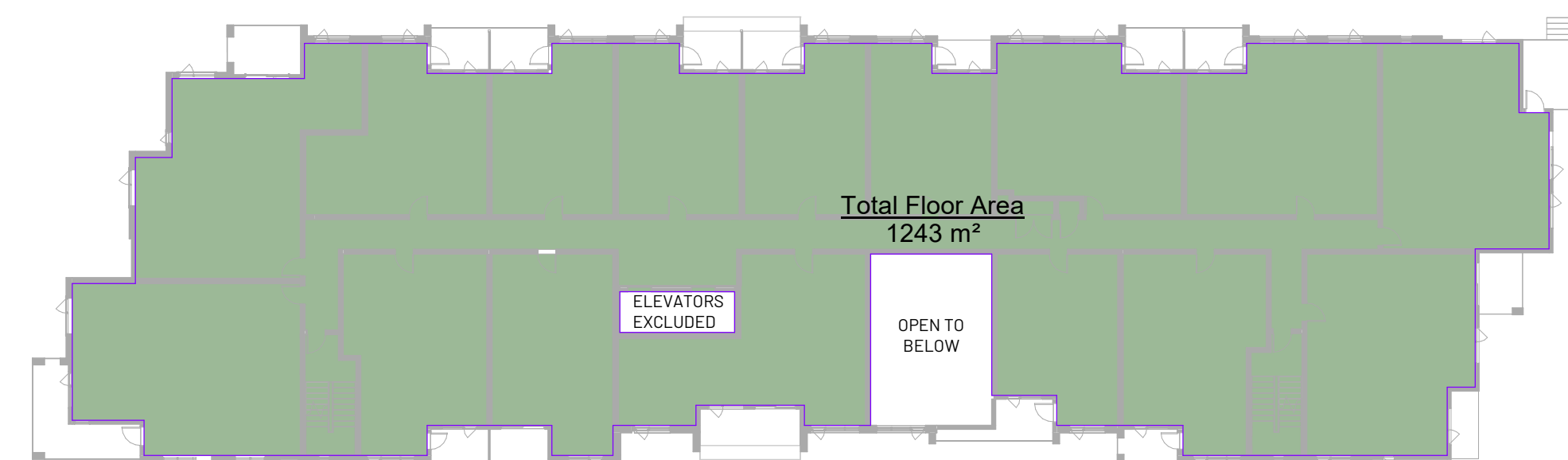


**Legend**  
 Total Floor Area

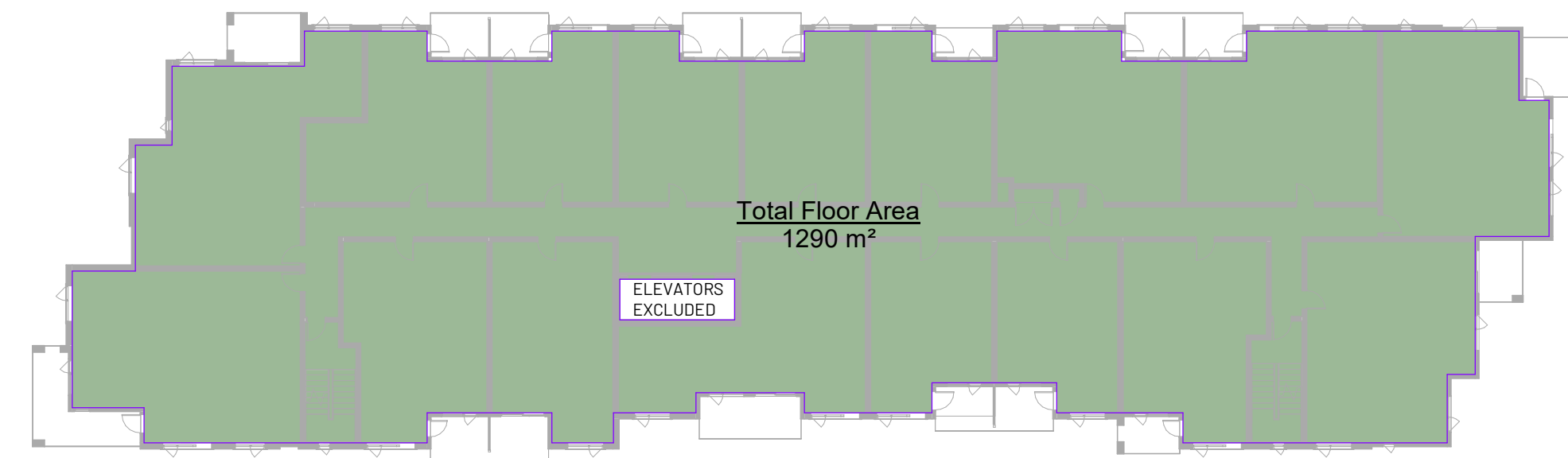
New Building Total Building Area	
Level	Area
Not Placed	Not Placed
Not Placed	Not Placed
LEVEL 1	1122 m²
LEVEL 1	14 m²
LEVEL 2	1243 m²
LEVEL 3	1290 m²
LEVEL 4	1290 m²
LEVEL 5	1136 m²
LEVEL 6	1118 m²
ROOF	14 m²
Grand total: 10	7227 m²

TOTAL FLOOR AREA IS MEASURED TO THE INSIDE FACE OF EXTERIOR WALLS AND EXCLUDES ELEVATOR SHAFTS AND SPACE ALLOCATED FOR LONG TERM BIKE STORAGE

**1**  
LEVEL 1  
1: 300

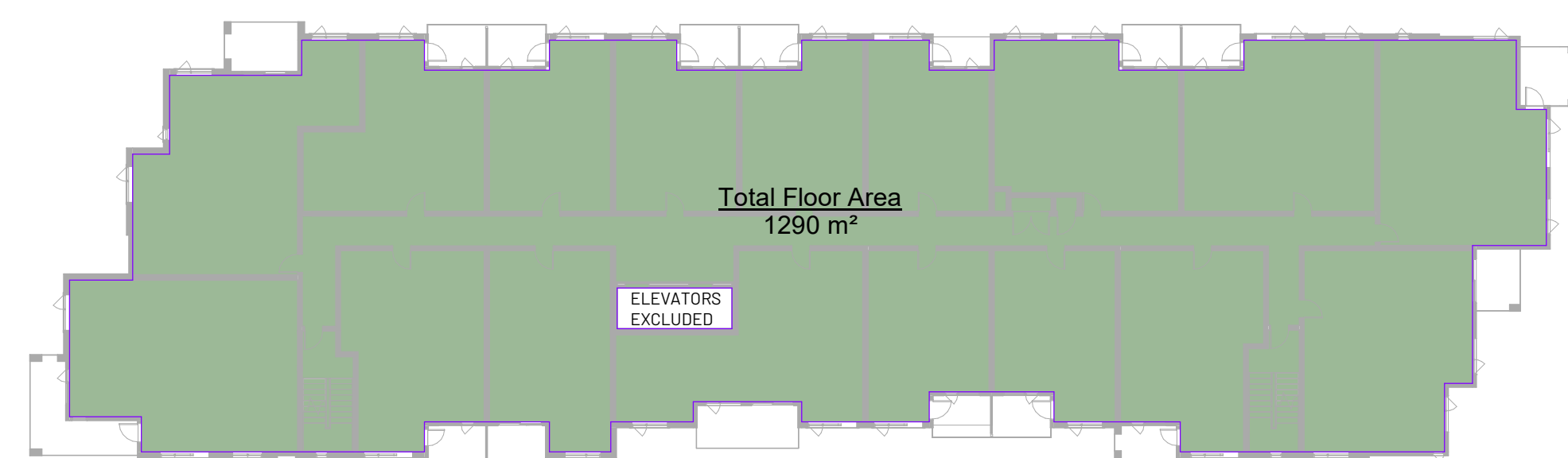


**2**  
LEVEL 2  
1: 300

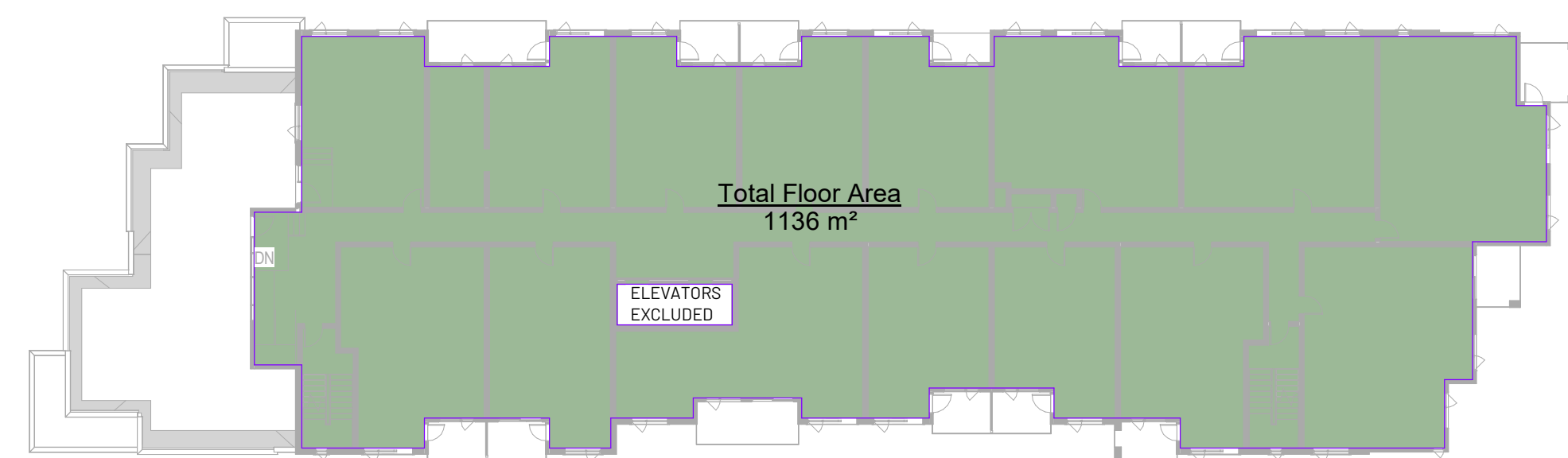


**3**  
LEVEL 3  
1: 300

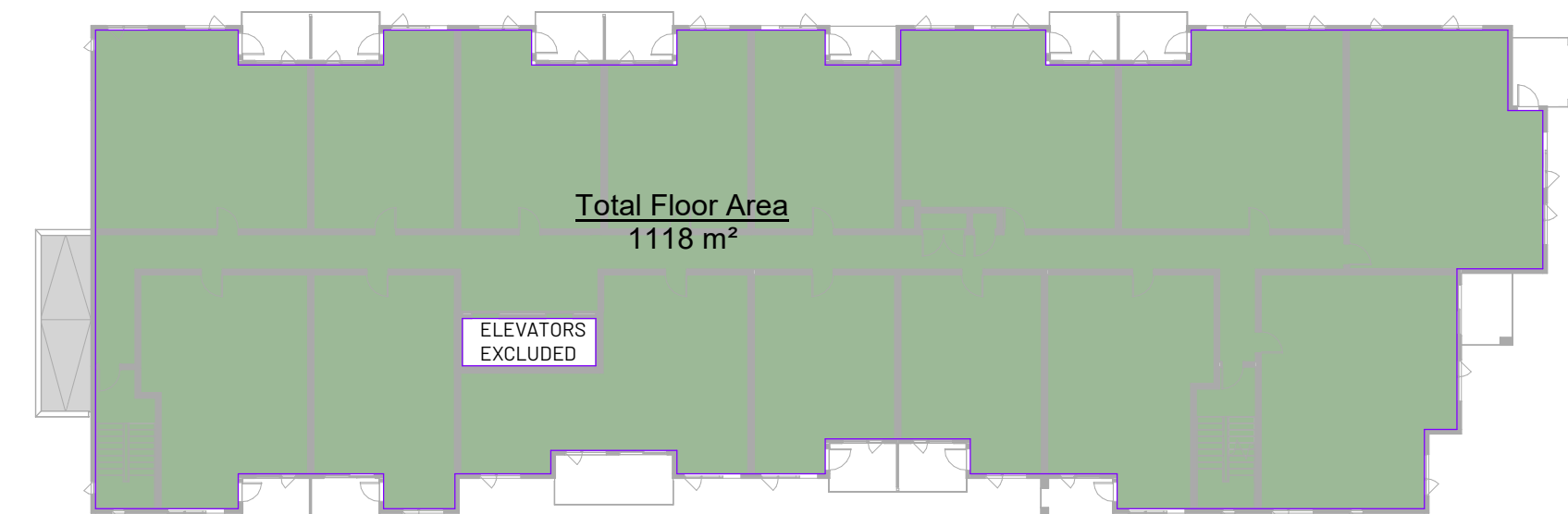
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LEVEL 4  
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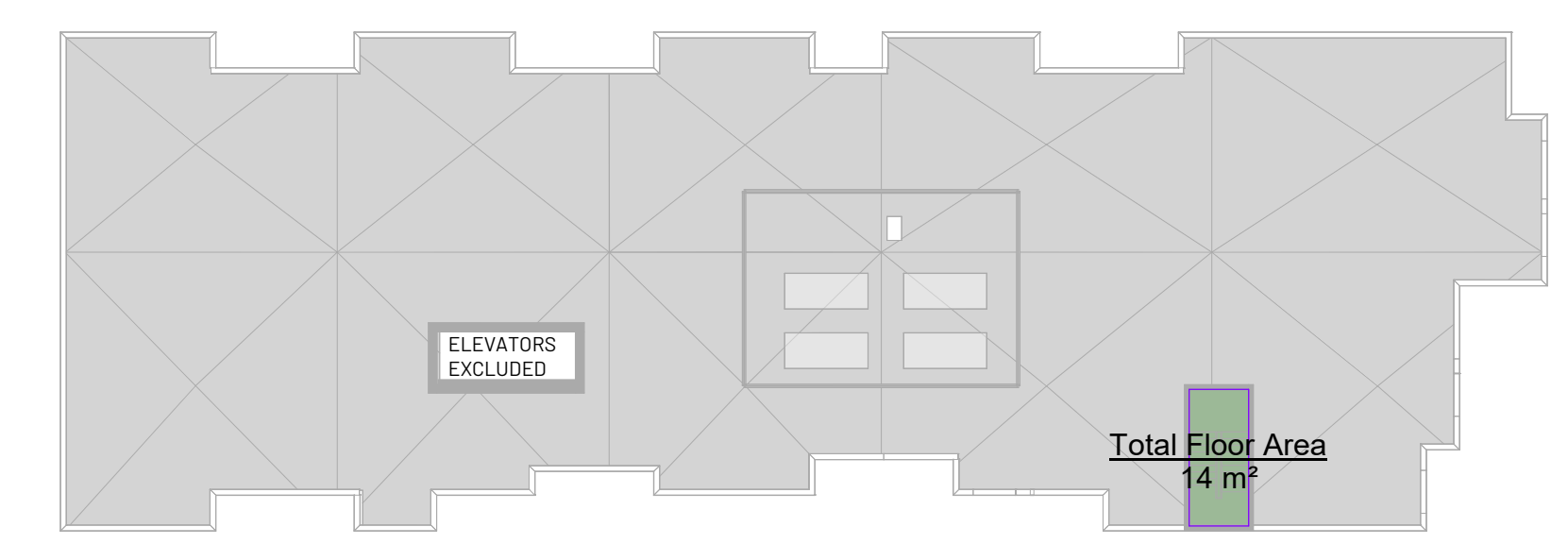
**5**  
LEVEL 5  
1: 300



**6**  
LEVEL 6  
1: 300



**7**  
ROOF  
1: 300



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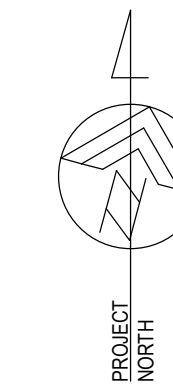
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Drawing Title  
**TOTAL FLOOR AREA PLANS**

Sheet  
**DPI.04**

Scale  
**1: 300**

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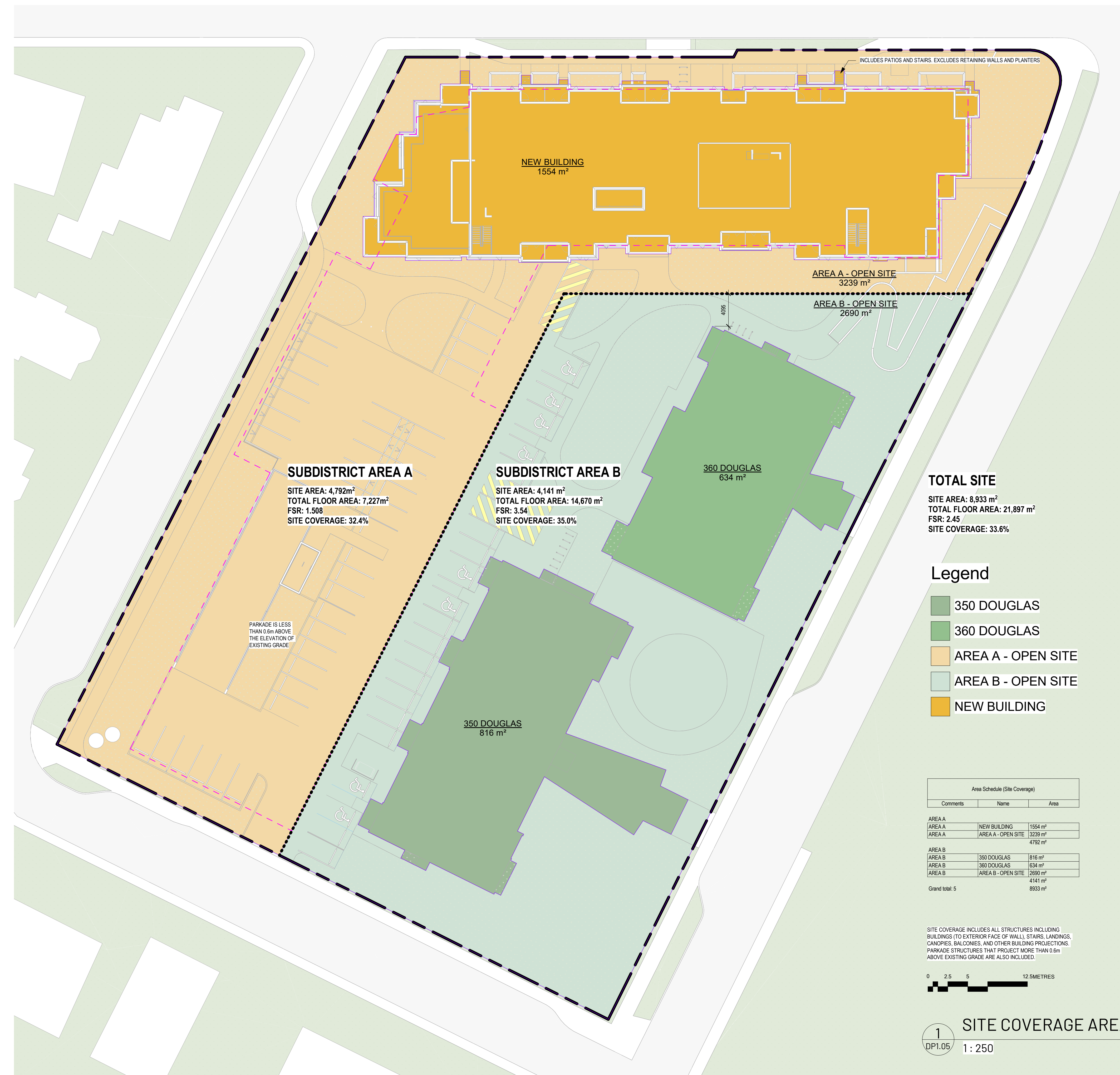
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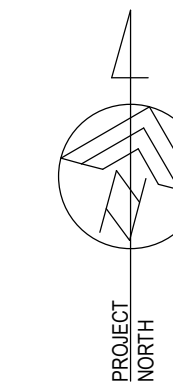
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SITE COVERAGE PLAN & BYLAW  
FRAMEWORK

Sheet  
DPI.05

Scale  
1 : 250

Project No.  
22.703





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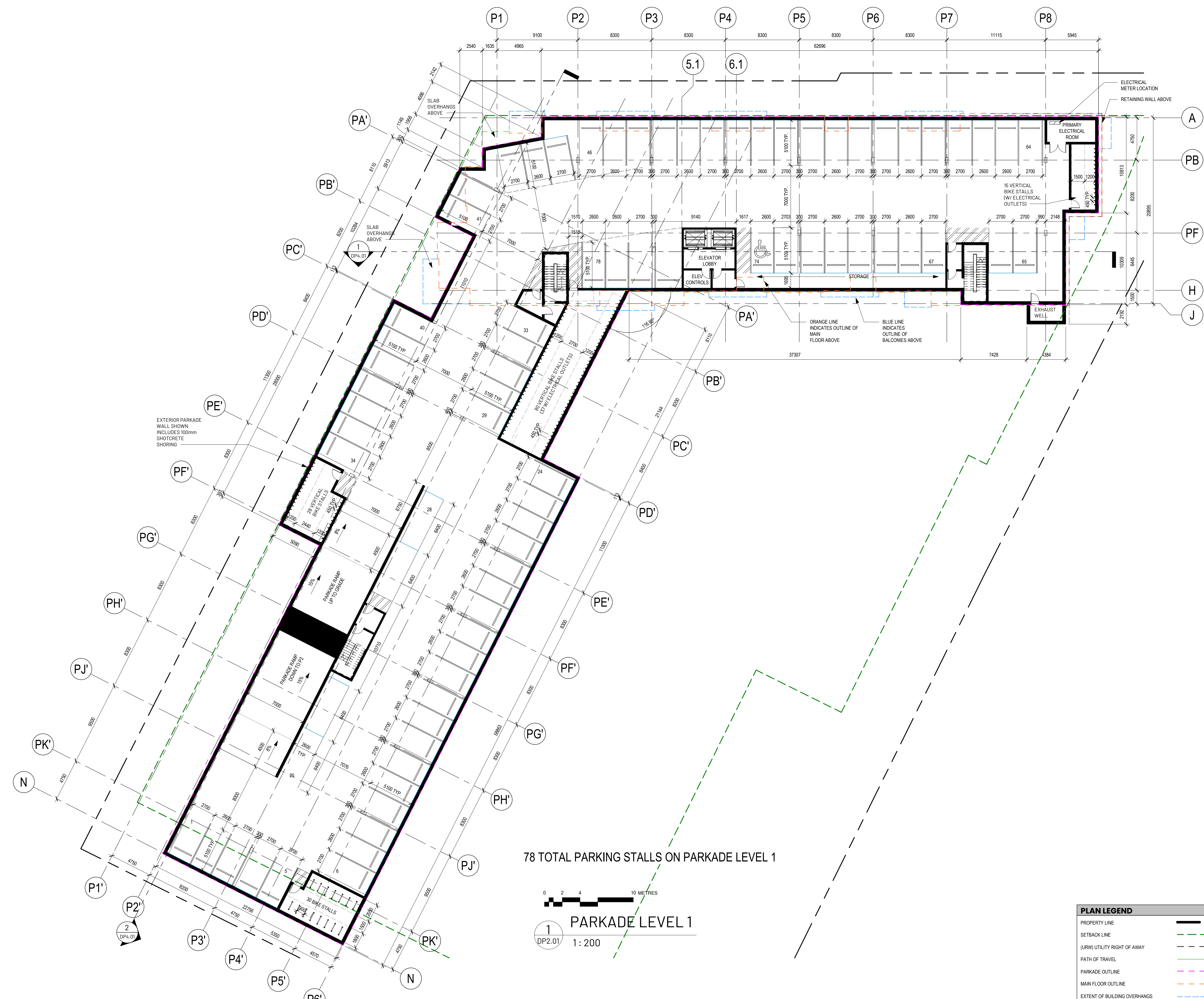


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Drawing Title  
PARKADE LEVEL 1

DP2.01 Sheet

Scale 1:200 Project No. 22.703

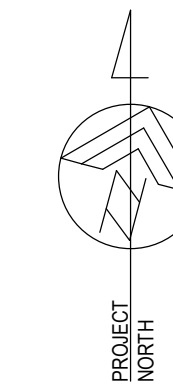


78 TOTAL PARKING STALLS ON PARKADE LEVEL 1



1  
DP2.01  
1:200  
PARKADE LEVEL 1

PLAN LEGEND	
PROPERTY LINE	---
SETBACK LINE	---
(URV) UTILITY RIGHT OF WAY	---
PATH OF TRAVEL	---
PARKADE OUTLINE	---
MAIN FLOOR OUTLINE	---
EXTENT OF BUILDING OVERHANGS	---



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6	Parking Update	26.01.26
7	Development Permit Resubmission	26.05.06

Seal

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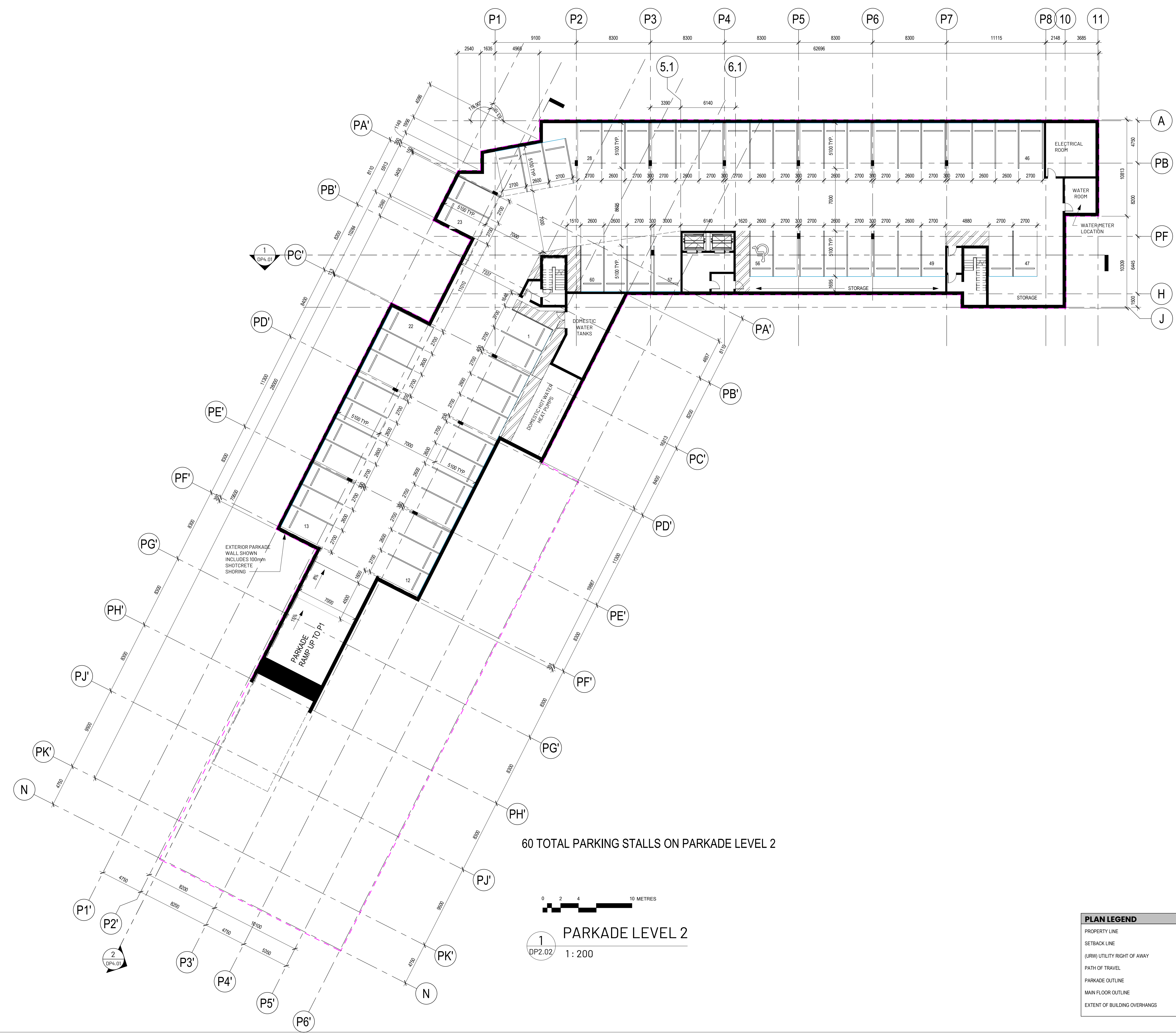
METAFOR ARCHITECTURE INC.

Drawing Title  
PARKADE LEVEL 2

DP2.02

Sheet

Scale 1: 200 Project No. 22.703



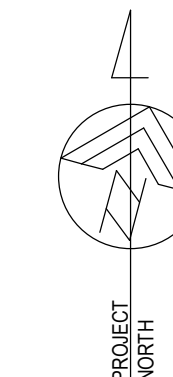
60 TOTAL PARKING STALLS ON PARKADE LEVEL 2



1 PARKADE LEVEL 2  
DP2.02 1: 200

**PLAN LEGEND**

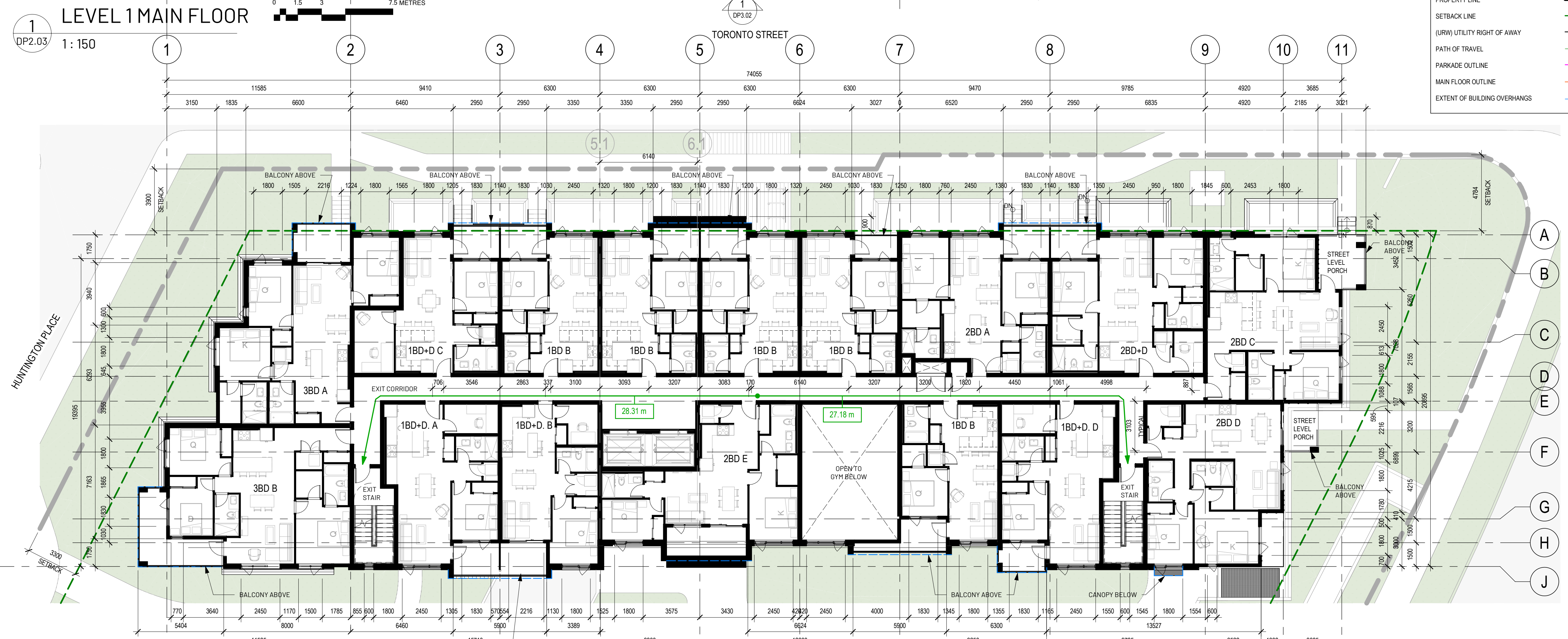
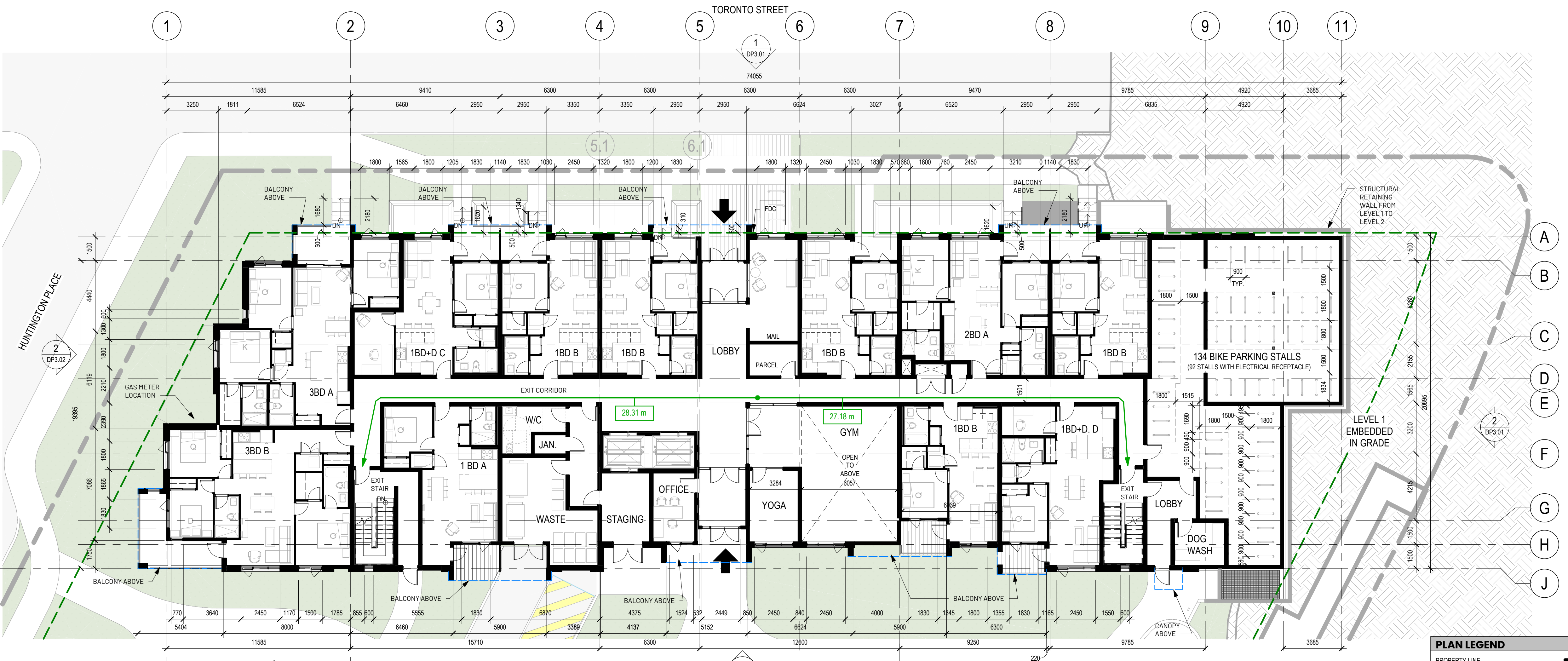
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SETBACK LINE	- - - - -
(URW) UTILITY RIGHT OF AWAY	- - - - -
PATH OF TRAVEL	— — — — —
PARKADE OUTLINE	- - - - -
MAIN FLOOR OUTLINE	- - - - -
EXTENT OF BUILDING OVERHANGS	- - - - -



# Douglas Street Apartments

350 & 360 DOUGLAS ST  
VICTORIA, BC

Issued/ Revision Schedule		
no.	description	date
1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20
3	Rezoning & Development Permit Revision	24.05.03
4	Rezoning & Development Permit Revision	24.07.05
5	Rezoning & Development Permit Revision	24.11.15
6	Development Permit Resubmission	26.05.06



PLAN LEGEND	
PROPERTY LINE	—
SETBACK LINE	- - - - -
(URW) UTILITY RIGHT OF AWAY	- - - - -
PATH OF TRAVEL	—
PARKADE OUTLINE	- - - - -
MAIN FLOOR OUTLINE	- - - - -
EXTENT OF BUILDING OVERHANGS	- - - - -

Seal

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Drawing Title  
**LEVEL 1 & 2 FLOOR PLANS**

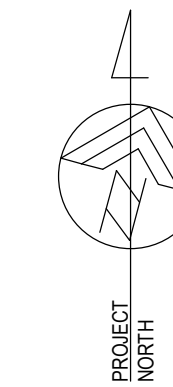
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Scale  
As indicated

Project No.  
22.703

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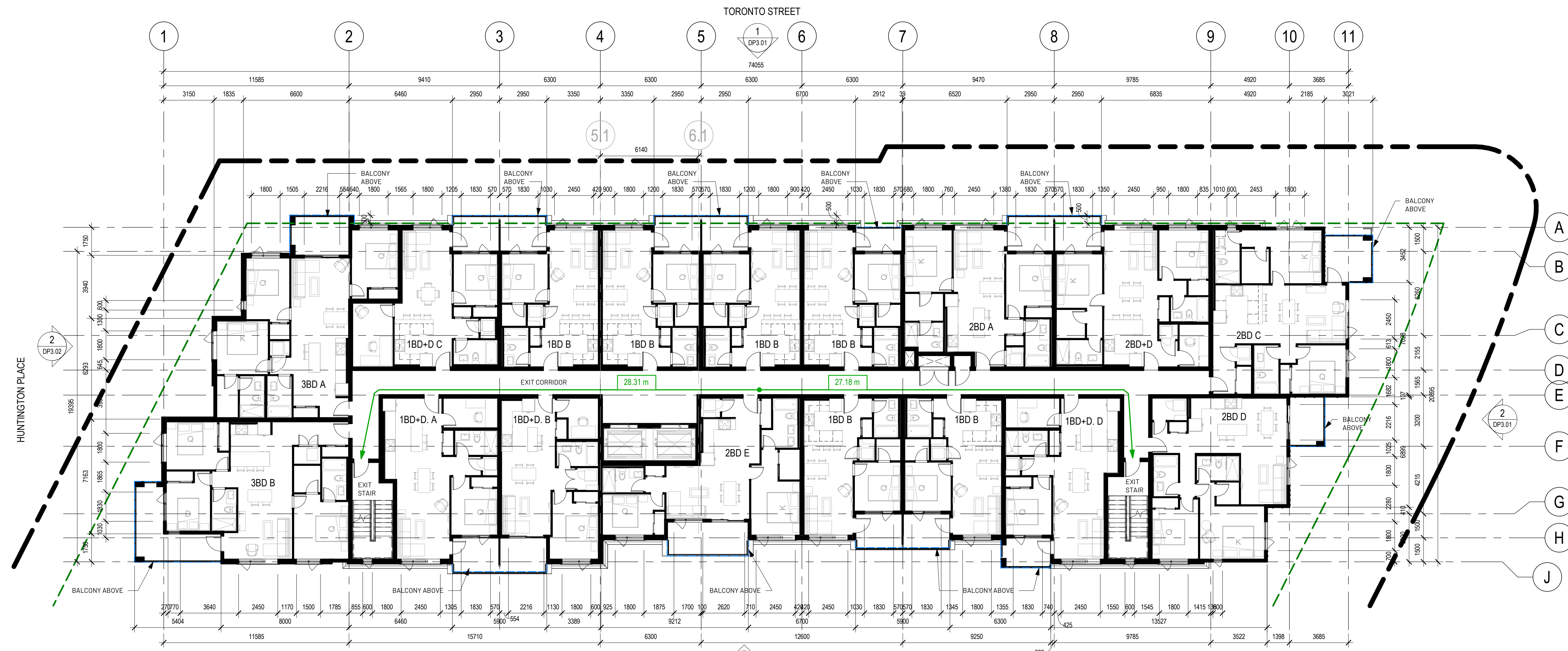
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Douglas Street  
Apartments  
350 & 360 DOUGLAS ST  
VICTORIA, BC

Issued/ Revision Schedule

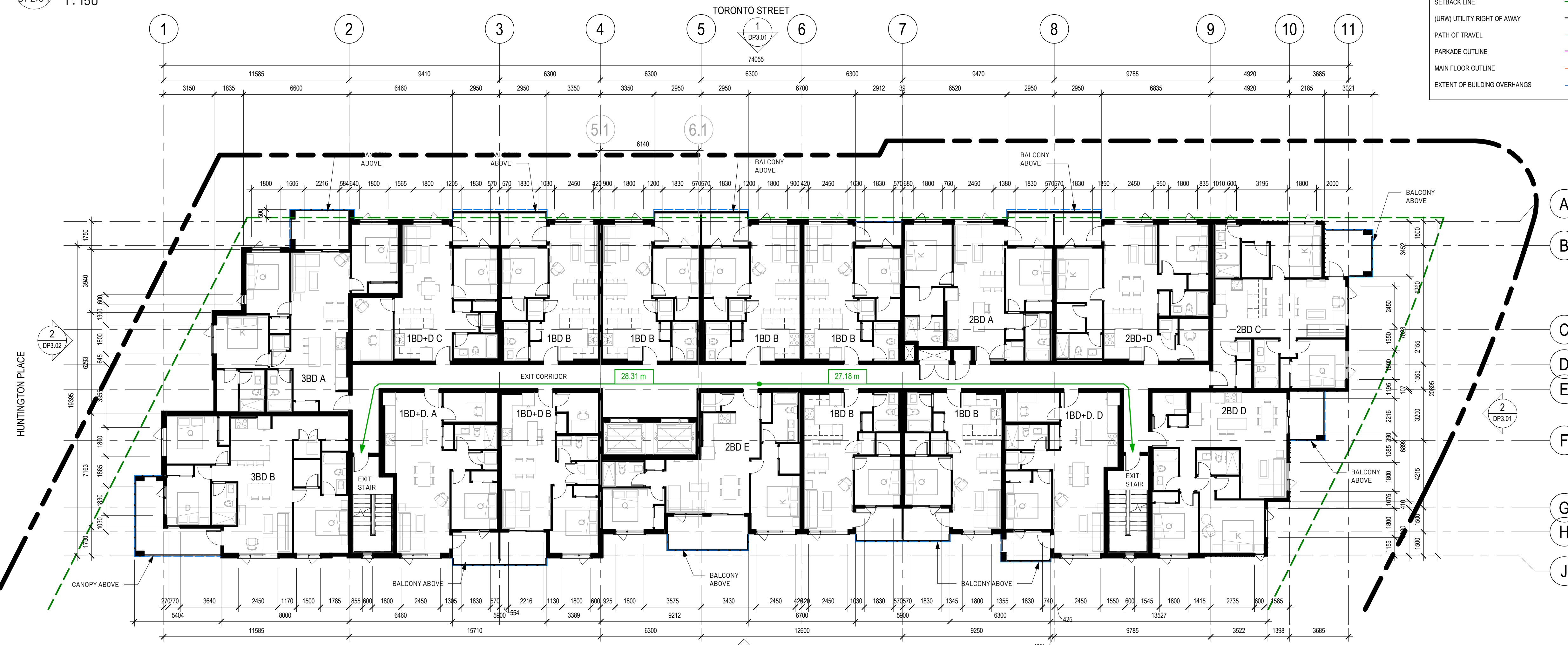
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1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20
3	Rezoning & Development Permit Revision	24.05.03
4	Rezoning & Development Permit Revision	24.07.05
5	Rezoning & Development Permit Revision	24.11.15
6	Development Permit Resubmission	26.05.06



1 Level 3 FLOOR PLAN  
1: 150

**PLAN LEGEND**

- PROPERTY LINE
- SETBACK LINE
- (URW) UTILITY RIGHT OF AWAY
- PATH OF TRAVEL
- PARKADE OUTLINE
- MAIN FLOOR OUTLINE
- EXTENT OF BUILDING OVERHANGS



2 LEVEL 4 FLOOR PLAN  
1: 150

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Drawing Title  
**LEVEL 3 & 4 FLOOR PLANS**

Sheet  
**DP2.04**

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# Douglas Street Apartments

350 & 360 DOUGLAS ST  
VICTORIA, BC

Issued/ Revision Schedule

no.	description	date
1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20
3	Rezoning & Development Permit Revision	24.05.03
4	Rezoning & Development Permit Revision	24.07.05
5	Rezoning & Development Permit Revision	24.11.15
6	Development Permit Resubmission	26.05.06

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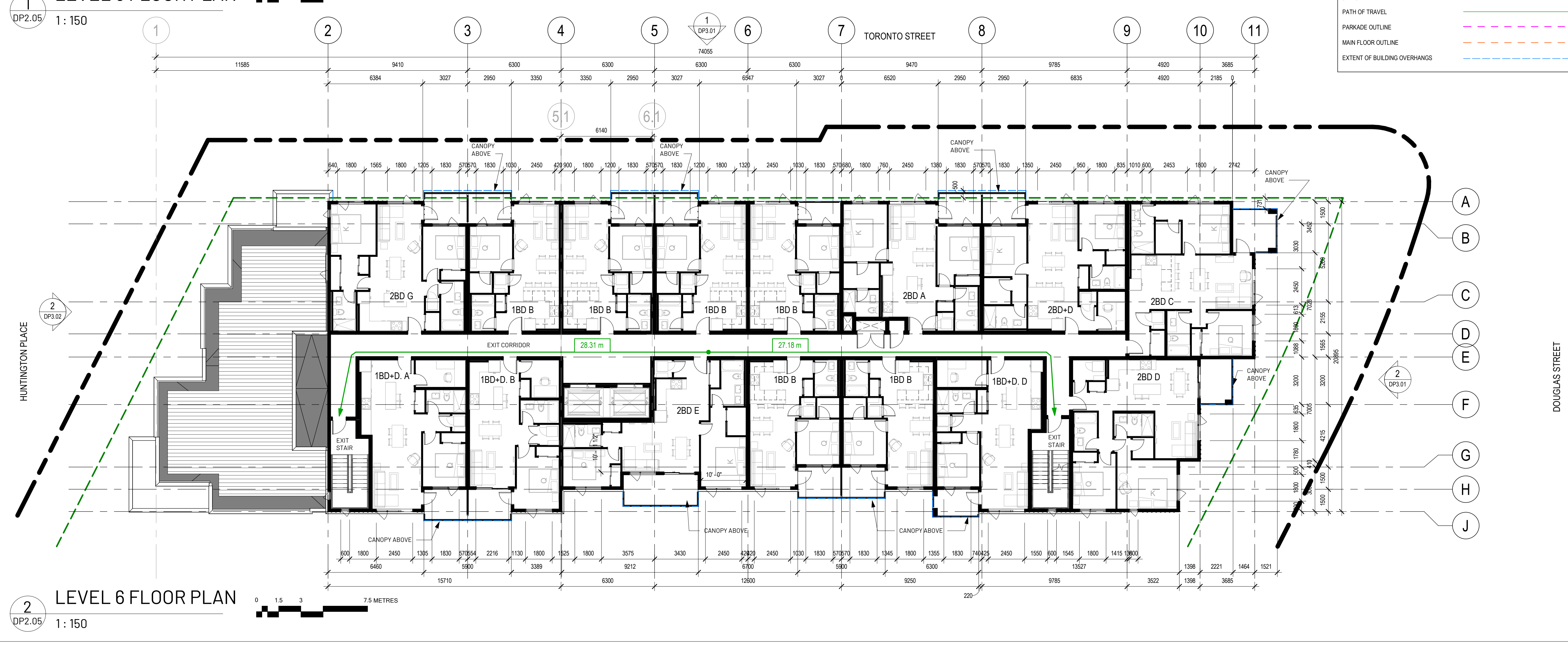
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Drawing Title  
**LEVEL 5 & 6 FLOOR PLANS**

Sheet  
**DP2.05**

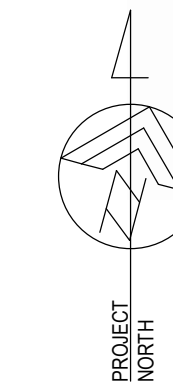
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Project No.  
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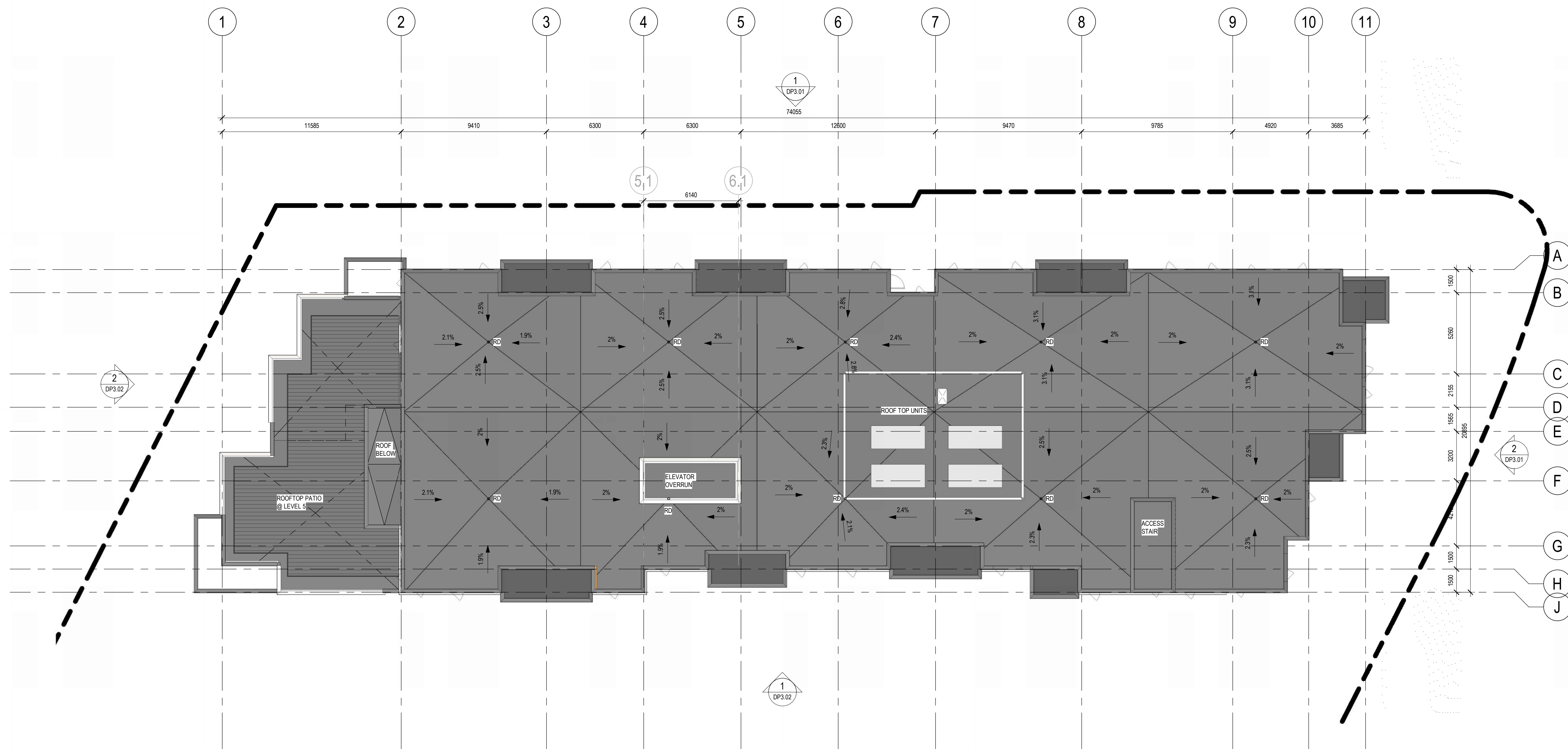
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Douglas Street  
Apartments  
350 & 360 DOUGLAS ST  
VICTORIA, BC

Issued/ Revision Schedule

no.	description	date
1	Rezoning & Development Permit Revision	23.12.20
2	Rezoning & Development Permit Revision	24.05.03
3	Rezoning & Development Permit Revision	24.07.05
4	Rezoning & Development Permit Revision	24.11.15
5	Development Permit Resubmission	26.05.06



1 ROOF PLAN  
DP2.06 1:150



**PLAN LEGEND**

PROPERTY LINE	---
SETBACK LINE	---
(URV) UTILITY RIGHT OF AWAY	---
PATH OF TRAVEL	---
PARKADE OUTLINE	---
MAIN FLOOR OUTLINE	---
EXTENT OF BUILDING OVERHANGS	---

Seal

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Drawing Title  
ROOF/ AMENITY PLAN

DP2.06

Scale Project No.  
As indicated 22.703

Sheet

Douglas Street  
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350 & 360 DOUGLAS ST  
VICTORIA, BC

Issued/ Revision Schedule

no.	description	date
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6	Development Permit Resubmission	26.05.06

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Drawing Title  
**BUILDING ELEVATIONS**

Sheet  
**DP3.01**

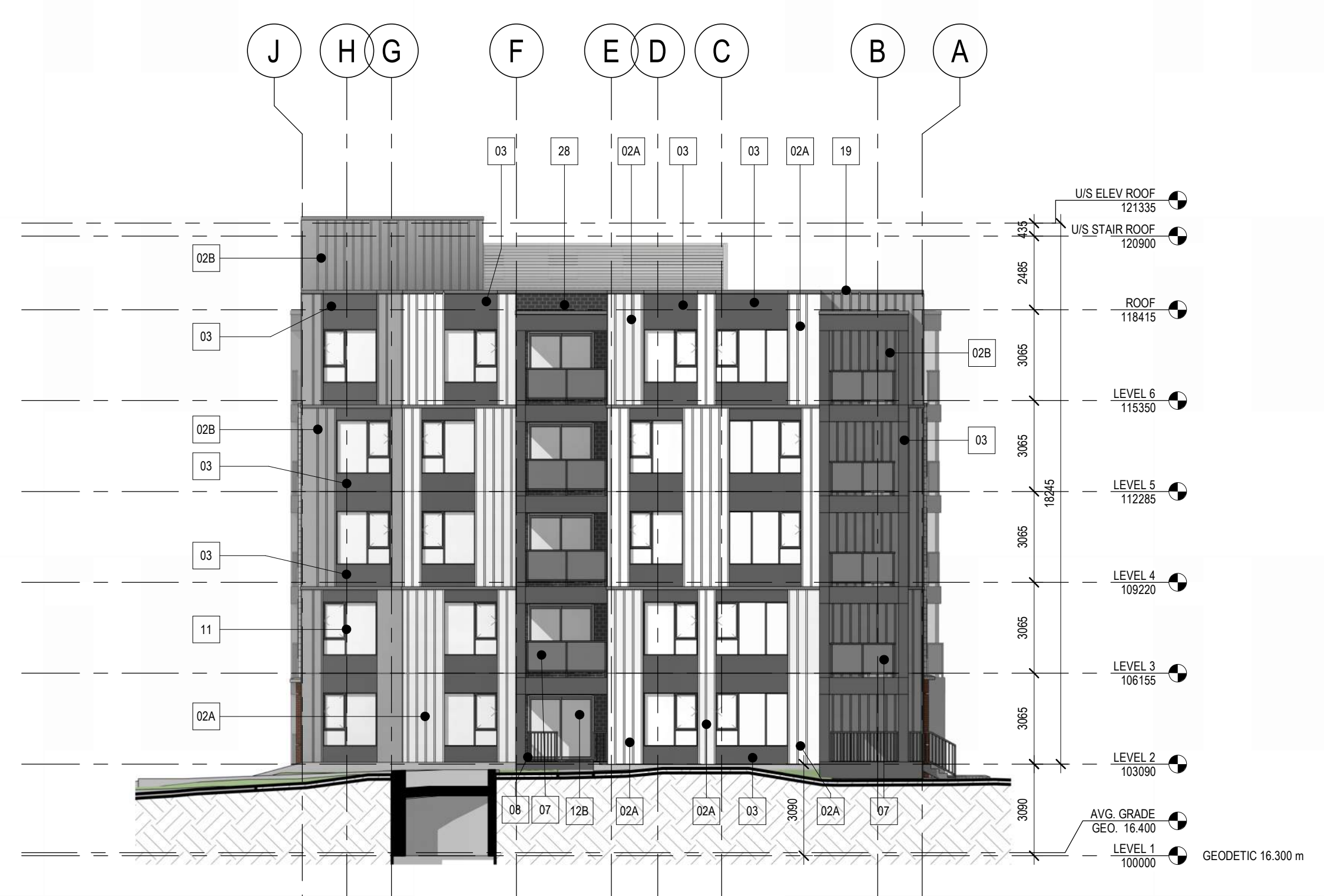
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**1**  
NORTH ELEVATION  
1:150

EXTERIOR ELEVATION LEGEND

Key Value	Keynote Text
01	FIBRE CEMENT PLANK SIDING - COLOUR WHITE
02A	BOARD AND BATTEN, COLOUR WHITE
02B	BOARD AND BATTEN, COLOUR LIGHT GREY
03	CHARCOAL PANEL (FIBRE CEMENT OR SIM.)
04	BRICK
05	CHARCOAL METAL CANOPY
06	ENTRANCE WOOD ACCENT AND METAL CANOPY
07	FROSTED GLASS RAILING
08	BLACK METAL RAILING
09	INSULATED METAL DOOR
10	FROSTED GLASS SCREEN
11	CHARCOAL FRAME WINDOWS
12	CHARCOAL FRAME DOORS
12B	CHARCOAL FRAME SLIDING DOORS
13	CHARCOAL FRAME STOREFRONT
14	LIGHT GRAY PANEL (FIBRE CEMENT OR SIM.)
15	CONCRETE FOUNDATION WALL
16	CONCRETE RETAINING WALL
19	METAL FLASHING - COLOUR TO MATCH ADJACENT
21	WOOD-GRAIN FINISH SOFFIT (FORMED METAL PANEL)
22	RETAINING WALL/PLANTER WITH BRICK CLADDING
24	ROOF TOP MECHANICAL SCREEN, EXTRUDED ALUMINUM LOUVRE PROFILE BETWEEN VERTICAL SUPPORTS
28	FIBRE CEMENT SHAKE, COLOUR DARK GREY



**2**  
EAST ELEVATION  
1:150

Douglas Street  
Apartments  
350 & 360 DOUGLAS ST  
VICTORIA, BC

Issued/ Revision Schedule

no.	description	date
1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20
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5	Rezoning & Development Permit Revision	24.11.15
6	Development Permit Resubmission	26.05.06

EXTERIOR ELEVATION LEGEND

Key Value	Keynote Text
01	FIBRE CEMENT PLANK SIDING - COLOUR WHITE
02A	BOARD AND BATTEN, COLOUR WHITE
02B	BOARD AND BATTEN, COLOUR LIGHT GREY
03	CHARCOAL PANEL (FIBRE CEMENT OR SIM.)
04	BRICK
05	CHARCOAL METAL CANOPY
06	ENTRANCE WOOD ACCENT AND METAL CANOPY
07	FROSTED GLASS RAILING
08	BLACK METAL RAILING
09	INSULATED METAL DOOR
10	FROSTED GLASS SCREEN
11	CHARCOAL FRAME WINDOWS
12	CHARCOAL FRAME DOORS
12B	CHARCOAL FRAME SLIDING DOORS
13	CHARCOAL FRAME STOREFRONT
14	LIGHT GRAY PANEL (FIBRE CEMENT OR SIM.)
15	CONCRETE FOUNDATION WALL
16	CONCRETE RETAINING WALL
19	METAL FLASHING - COLOUR TO MATCH ADJACENT
21	WOOD-GRAIN FINISH SOFFIT (FORMED METAL PANEL)
22	RETAINING WALL/PLANTER WITH BRICK CLADDING
24	ROOF TOP MECHANICAL SCREEN, EXTRUDED ALUMINUM LOUVER PROFILE BETWEEN VERTICAL SUPPORTS
28	FIBRE CEMENT SHAKE, COLOUR DARK GREY



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Drawing Title  
BUILDING ELEVATIONS

DP3.02

Scale 1:150  
Project No. 22.703



1 SOUTH ELEVATION  
DP3.02 1:150



2 WEST ELEVATION  
DP3.02 1:150



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

Douglas Street  
Apartments  
350 & 360 DOUGLAS ST  
VICTORIA, BC

Issued/ Revision Schedule

no.	description	date
1	Issue #1 for Development Permit	23.05.17
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5	Rezoning & Development Permit Revision	24.11.15
6	Development Permit Resubmission	26.05.06

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Drawing Title  
BUILDING CONTEXT  
ELEVATIONS

DP3.03

Sheet

Scale

1 : 1

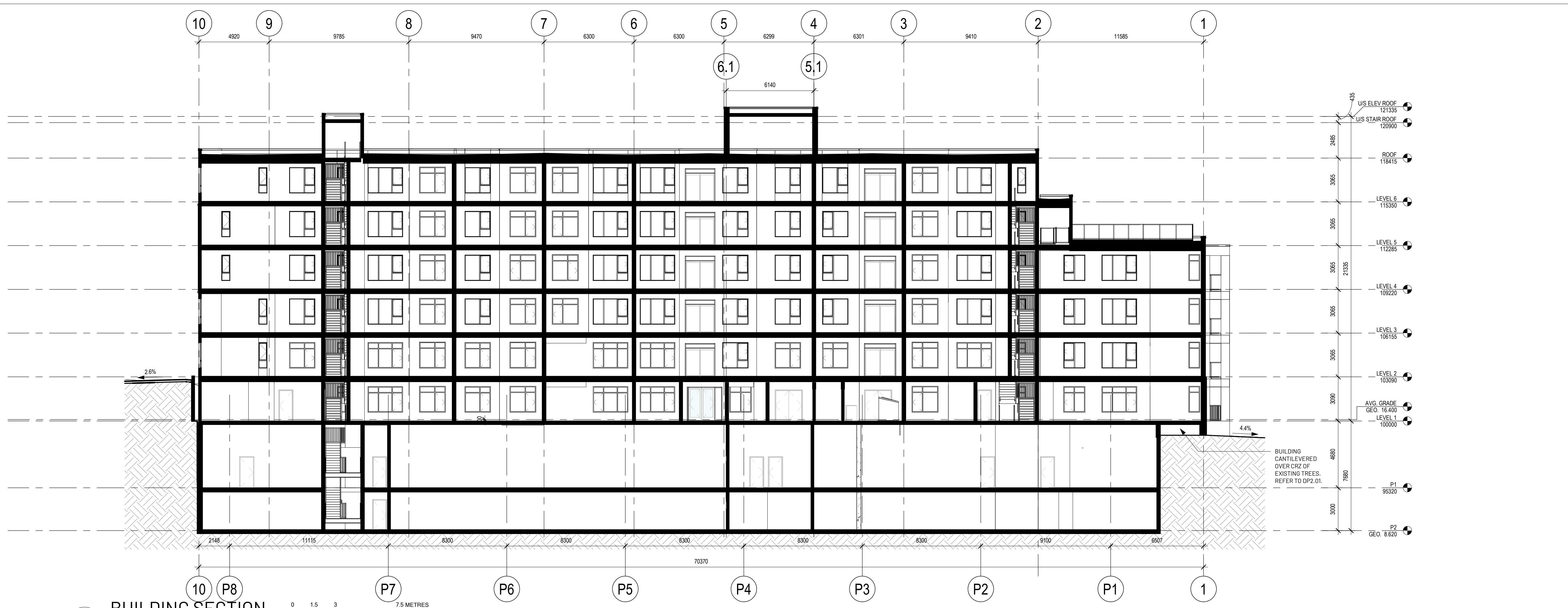
Project No.

22.703

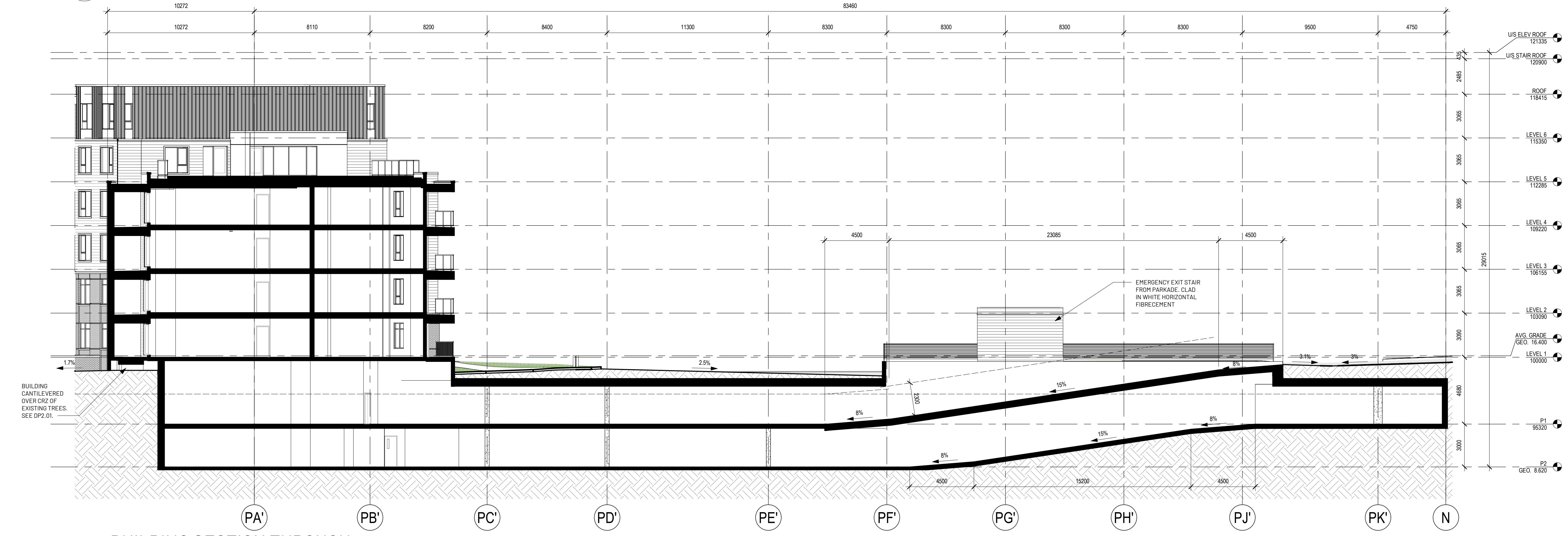
Douglas Street  
Apartments  
350 & 360 DOUGLAS ST  
VICTORIA, BC

Issued/ Revision Schedule

no.	description	date
1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20
3	Rezoning & Development Permit Revision	24.07.05
4	Rezoning & Development Permit Revision	24.11.15
5	Development Permit Resubmission	26.05.06



1 BUILDING SECTION  
1 : 150



2 BUILDING SECTION THROUGH  
PARKADE RAMP  
1 : 150

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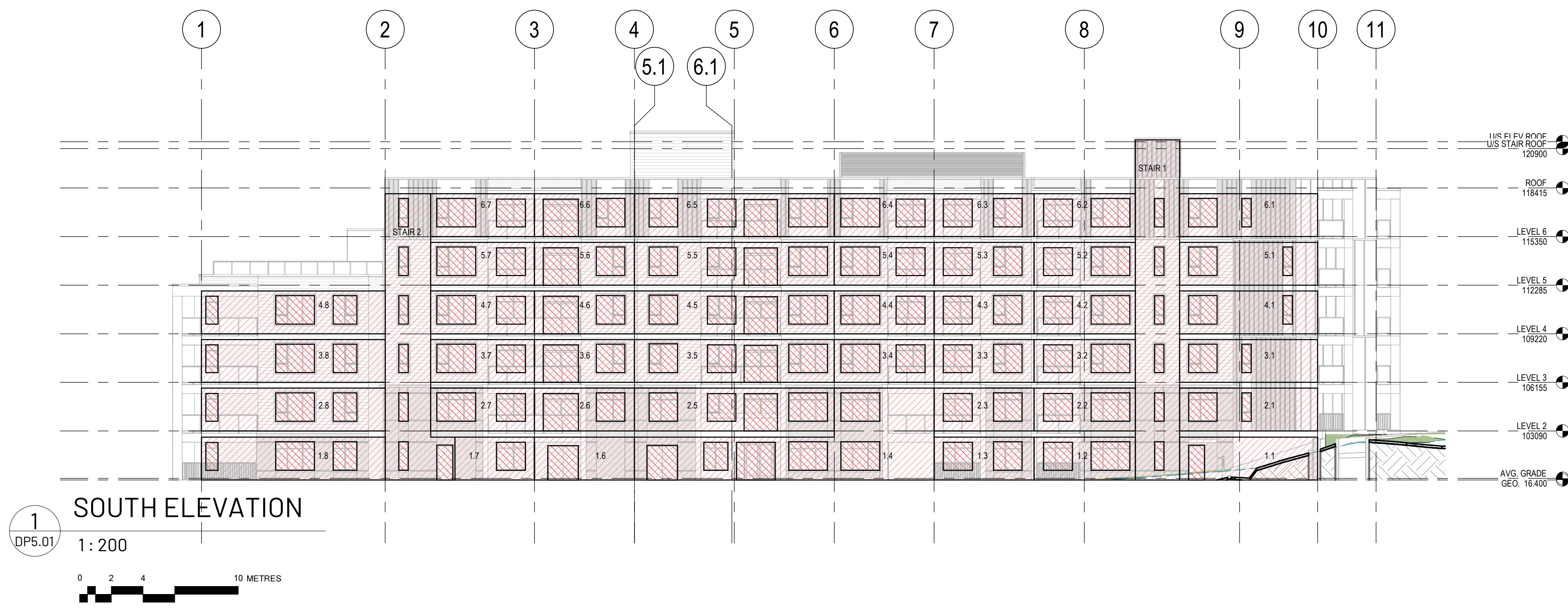
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Drawing Title  
BUILDING SECTIONS

DP4.01

Scale 1 : 150  
Project No. 22.703

Douglas Street  
Apartments  
350 & 360 DOUGLAS ST  
VICTORIA, BC



**SOUTH ELEVATION LIMITING DISTANCE CALCS (TABLE 3.2.3.1.-D)**

FIRE COMPARTMENT	LIMITING DISTANCE (m)	EXPOSING FACE (m <sup>2</sup> )	ALLOWABLE OPENINGS (%)	PROPOSED OPENINGS (m <sup>2</sup> )	PROPOSED OPENINGS (%)	REQ'D RATING	REQ'D CONSTRUCTION	REQ'D CLADDING
6.1	10.2 (D1)	23.5	100%	4.3	18%	-	-	-
6.2	5.5 (D3)	17.2	100%	7.6	44%	-	-	-
6.3	4.0 (D4)	17.0	100%	6.5	38%	-	-	-
6.4	3.5 (D5)	17.0	80%	7.6	45%	45 minute	combustible or non-combustible	combustible or non-combustible
6.5	4.6 (D6)	34.0	80%	15.7	46%	45 minute	combustible or non-combustible	combustible or non-combustible
6.6	9+	17.0	100%	8.5	50%	-	-	-
6.7	9+	17.7	100%	7.6	43%	-	-	-
STAIR 1	8.7 (D2)	59.8	100%	6.5	11%	-	-	-
STAIR 2	9+	55.9	100%	8.7	16%	-	-	-
5.1	10.2 (D1)	23.5	100%	4.3	18%	-	-	-
5.2	5.5 (D3)	17.2	100%	7.6	44%	-	-	-
5.3	4.0 (D4)	17.0	100%	6.5	38%	-	-	-
5.4	3.5 (D5)	17.0	80%	7.6	45%	45 minute	combustible or non-combustible	combustible or non-combustible
5.5	4.6 (D6)	34.0	80%	15.7	46%	45 minute	combustible or non-combustible	combustible or non-combustible
5.6	9+	17.0	100%	8.5	50%	-	-	-
5.7	9+	17.7	100%	7.6	43%	-	-	-
4.1	10.2 (D1)	23.5	100%	4.3	18%	-	-	-
4.2	5.5 (D3)	17.2	100%	7.6	44%	-	-	-
4.3	4.0 (D4)	17.0	100%	6.5	38%	-	-	-
4.4	3.5 (D5)	17.0	80%	7.6	45%	45 minute	combustible or non-combustible	combustible or non-combustible
4.5	4.6 (D6)	34.0	80%	15.7	46%	45 minute	combustible or non-combustible	combustible or non-combustible
4.6	9+	17.0	100%	8.5	50%	-	-	-
4.7	9+	17.7	100%	7.6	43%	-	-	-
4.8	9+	31.3	100%	8.5	27%	-	-	-
3.1	10.2 (D1)	23.5	100%	4.3	18%	-	-	-
3.2	5.5 (D3)	17.2	100%	7.6	44%	-	-	-
3.3	4.0 (D4)	17.0	100%	6.5	38%	-	-	-
3.4	3.5 (D5)	17.0	80%	7.6	45%	45 minute	combustible or non-combustible	combustible or non-combustible
3.5	4.6 (D6)	34.0	80%	15.7	46%	45 minute	combustible or non-combustible	combustible or non-combustible
3.6	9+	17.0	100%	8.5	50%	-	-	-
3.7	9+	17.7	100%	7.6	43%	-	-	-
3.8	9+	31.3	100%	8.5	27%	-	-	-
2.1	10.2 (D1)	23.5	100%	4.3	18%	-	-	-
2.2	5.5 (D3)	17.2	100%	7.6	44%	-	-	-
2.3	4.0 (D4)	17.0	100%	6.5	38%	-	-	-
2.5	4.6 (D6)	34.0	80%	15.7	46%	45 minute	combustible or non-combustible	combustible or non-combustible
2.6	9+	17.0	100%	8.5	50%	-	-	-
2.7	9+	17.7	100%	7.6	43%	-	-	-
2.8	9+	31.3	100%	8.5	27%	-	-	-
1.1	10.2 (D1)	23.5	100%	2.2	9%	-	-	-
1.2	5.5 (D3)	17.2	100%	7.6	44%	-	-	-
1.3	4.0 (D4)	17.0	100%	6.5	38%	-	-	-
1.4	3.5 (D5)	70.5	37%	26.0	37%	45 minute	combustible or non-combustible	combustible or non-combustible
1.5	9+	17.0	100%	4.2	25%	-	-	-
1.7	9+	13.5	100%	3.2	24%	-	-	-
1.8	9+	31.3	100%	8.5	27%	-	-	-
Existing building (table 3.2.3.1.-B; Less than 3:1 ratio)	7.0	21.0	100%	3.4	16%	-	-	-

**Issued/ Revision Schedule**

no.	description	date
1	Rezoning & Development Permit Revision	23.12.20
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Drawing Title  
**BUILDING CODE**

Sheet  
**DP5.01**

Scale  
As indicated

Project No.  
22.703

Douglas Street  
Apartments  
350 & 360 DOUGLAS ST  
VICTORIA, BC



1  
DP5.02  
Shadow Study - Summer Solstice 1000  
1: 1200



2  
DP5.02  
Shadow Study - Summer Solstice 1200  
1: 1200



3  
DP5.02  
Shadow Study - Summer Solstice 1500  
1: 1200



4  
DP5.02  
Shadow Study - Summer Solstice 1900  
1: 1200



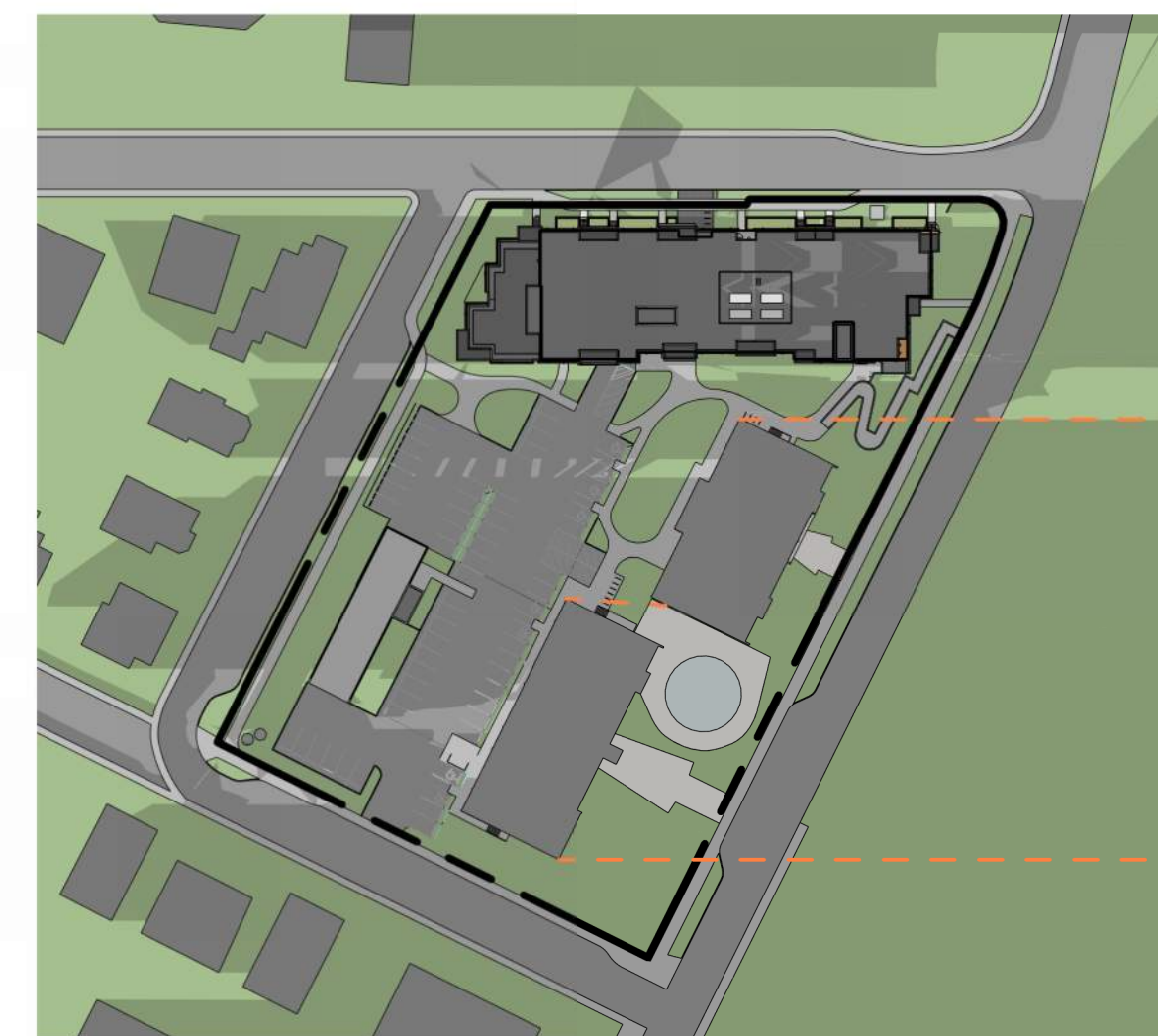
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Shadow Study - Equinox 1000  
1: 1200



6  
DP5.02  
Shadow Study - Equinox 1200  
1: 1200



7  
DP5.02  
Shadow Study - Equinox 1500  
1: 1200



8  
DP5.02  
Shadow Study - Equinox 1900  
1: 1200



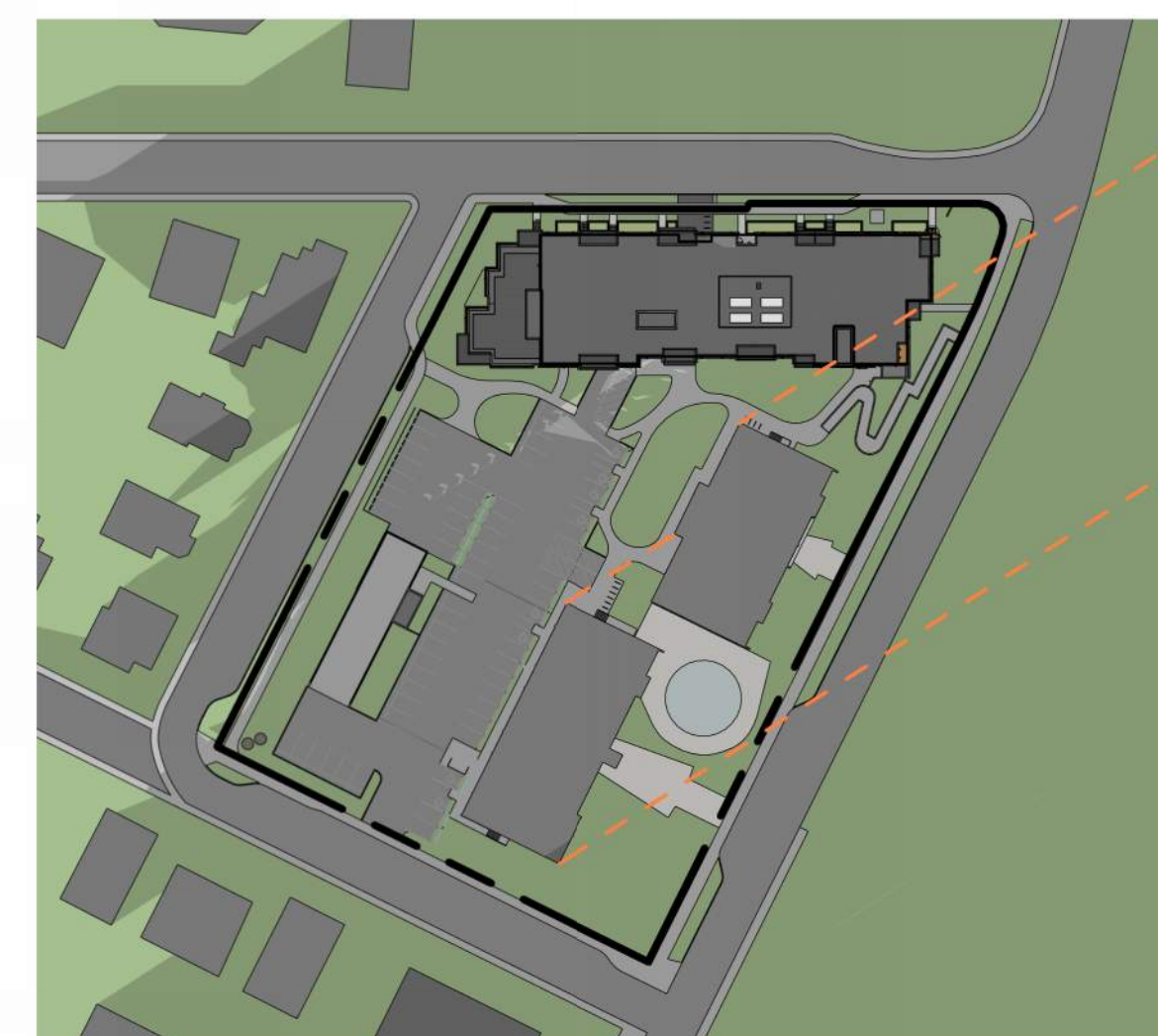
9  
DP5.02  
Shadow Study - Winter Solstice 1000  
1: 1200



10  
DP5.02  
Shadow Study - Winter Solstice 1200  
1: 1200



11  
DP5.02  
Shadow Study - Winter Solstice 1500  
1: 1200



12  
DP5.02  
Shadow Study - Winter Solstice 1900  
1: 1200

--- INDICATES OUTLINE OF SHADOWS FROM EXISTING BUILDINGS ON SITE

Issued/ Revision Schedule

no.	description	date
1	Development Permit Resubmission	26.05.06

Seal

Permit

Consultant



610, 1100 - 1st Street SE  
Calgary, AB T2G 1B1  
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200, 11450 Jasper Ave NW  
Edmonton, AB T5K 0M1  
T: 780.490.5330  
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Architecture  
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Drawing Title  
SHADOW STUDY

Sheet  
DP5.02

Scale  
1: 1200  
Project No.  
22.703



VIEW FROM THE NORTH EAST CORNER AT DOUGLAS STREET AND TORONTO STREET.



VIEW FROM THE NORTH WEST CORNER AT TORONTO STREET AND HUNTINGTON PLACE.



ACTIVE STREET FRONTAGE WITH GROUND LEVEL UNITS ALONG TORONTO STREET. LOOKING WEST.



VIEW LOOKING EAST ACROSS THE HUNTINGTON PLACE FROM ADJACENT RESIDENCE.



ACTIVE STREET FRONTAGE WITH GROUND LEVEL UNITS ALONG TORONTO STREET. LOOKING EAST.



VIEW LOOKING NORTH ON HUNTINGTON PLACE.

# Douglas Street Apartments

350 & 360 DOUGLAS ST  
VICTORIA, BC

### Issued/ Revision Schedule

no.	description	date
1	Development Permit Resubmission	26.05.06

Seal

Permit

Consultant



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Calgary, AB T2G 1B1  
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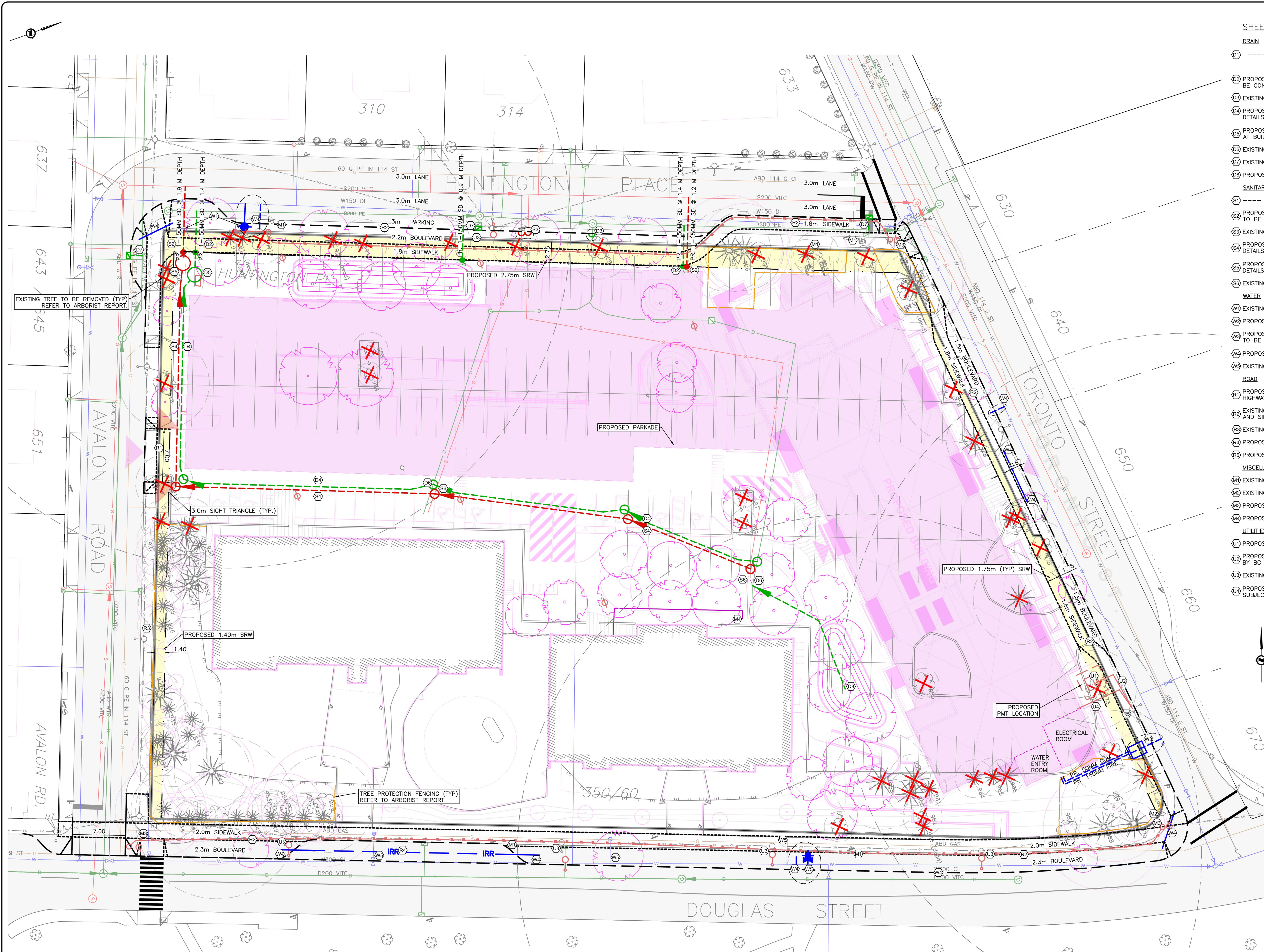
Architecture  
Building Envelope  
Commissioning  
Interior Design  
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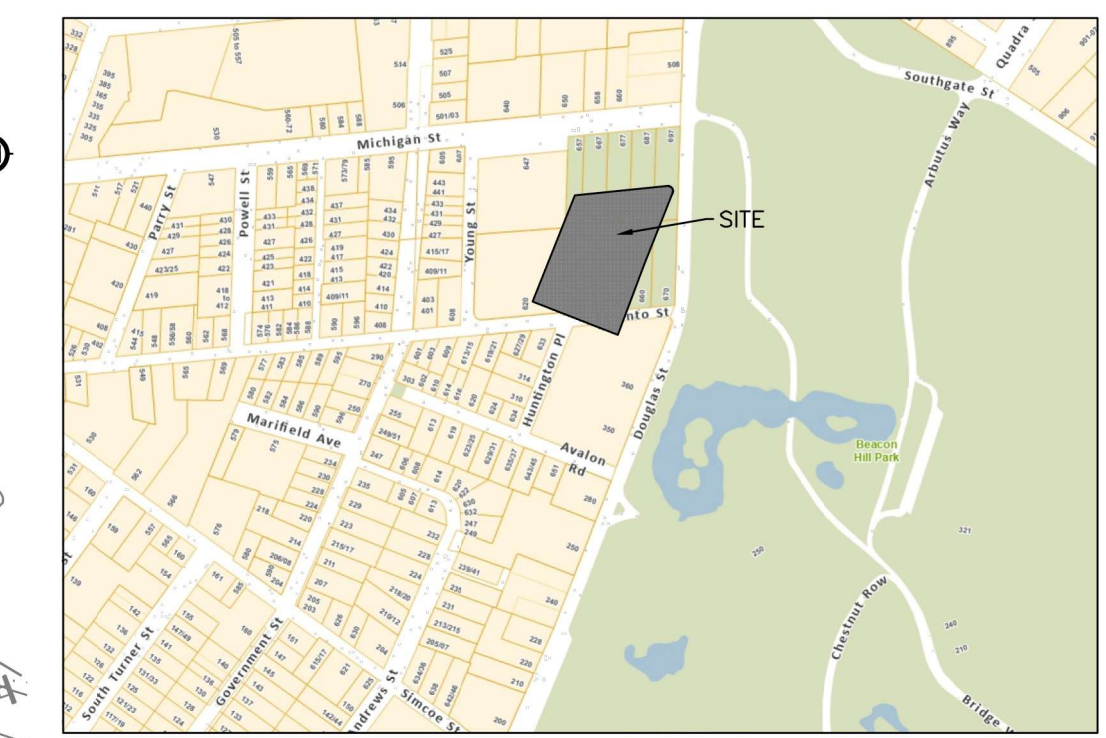
Drawing Title  
**PERSPECTIVES**

Sheet  
**DP5.03**

Scale Project No.  
**22.703**



- SHEET NOTES:**
- DRAIN**
- 01 -----
  - 02 PROPOSED DRAIN SERVICE COMPLETE WITH INSPECTION CHAMBER AT PROPERTY LINE. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
  - 03 EXISTING DRAIN SERVICE TO BE CAPPED AND ABANDONED AS REQUIRED.
  - 04 PROPOSED ON SITE DRAIN SERVICE COMPLETE WITH MANHOLES AND CLEANOUTS AS REQUIRED. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
  - 05 PROPOSED ONSITE DRAIN PUMPSTATION (PRIVATE). PROPOSED 1800 MM BARREL SHOWN. DETAILS AT BUILDING PERMIT STAGE.
  - 06 EXISTING ONSITE DRAIN SERVICES TO BE REDIRECTED AS REQUIRED.
  - 07 EXISTING CATCH BASIN TO BE REMOVED AND REPLACED AS REQUIRED.
  - 08 PROPOSED OVERFLOW DRAIN FROM RAIN GARDEN. DETAILS AT BUILDING PERMIT.
- SANITARY**
- 09 -----
  - 10 PROPOSED SANITARY SERVICE COMPLETE WITH INSPECTION CHAMBER AT PROPERTY LINE. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
  - 11 EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED AS REQUIRED.
  - 12 PROPOSED ONSITE SANITARY SERVICE COMPLETE WITH MANHOLES AND CLEANOUTS AS REQUIRED. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
  - 13 PROPOSED ONSITE SANITARY PUMPSTATION (PRIVATE). PROPOSED 1800 MM BARREL SHOWN. DETAILS AT BUILDING PERMIT STAGE.
  - 14 EXISTING ONSITE SANITARY SERVICES TO BE REDIRECTED AS REQUIRED.
- WATER**
- 15 EXISTING FIRE HYDRANT TO BE RELOCATED AS REQUIRED.
  - 16 PROPOSED FIRE HYDRANT AS PER CITY OF VICTORIA STANDARDS.
  - 17 PROPOSED WATER SERVICE COMPLETE WITH SD W2g METER AND VAULT AT PROPERTY LINE. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
  - 18 PROPOSED IRRIGATION METER/SLEEVE.
  - 19 EXISTING WATER SERVICES TO EXISTING BUILDING TO REMAIN.
- ROAD**
- 20 PROPOSED DRIVEWAY COMPLETE WITH FULL PANEL DROPS AS PER CITY OF VICTORIA SDD C7b AND HIGHWAY ACCESS BYLAW.
  - 21 EXISTING ROAD TO BE REMOVED AND REPLACED COMPLETE WITH NEW CURB, GUTTER, BOULEVARD AND SIDEWALK.
  - 22 EXISTING CURB, GUTTER AND SIDEWALK TO REMAIN ON AVALON ROAD.
  - 23 PROPOSED LOADING ZONE.
  - 24 PROPOSED SIDEWALK TO BE 1.2 M CLEAR BEHIND EXISTING POLE. DETAILS AT BUILDING PERMIT.
- MISCELLANEOUS**
- 25 EXISTING SIGN TO BE RELOCATED AS REQUIRED.
  - 26 EXISTING RETAINING WALL TO BE RETAINED.
  - 27 PROPOSED PEDESTRIAN LIGHTING. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
  - 28 PROPOSED FDC RELOCATION. DETAILS BY MECHANICAL ENGINEER AT BUILDING PERMIT STAGE.
- UTILITIES**
- 29 PROPOSED PMT LOCATION.
  - 30 PROPOSED HYDRO SERVICING SHOWN CONCEPTUALLY. PROPOSED ALIGNMENT SUBJECT TO CHANGE BY BC HYDRO. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
  - 31 EXISTING POLE TO BE RELOCATED AS REQUIRED.
  - 32 PROPOSED TELUS/COMMUNICATIONS SERVICING SHOWN CONCEPTUALLY. PROPOSED ALIGNMENT SUBJECT TO CHANGE BY UTILITIES. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.



**KEY PLAN**  
NTS

LEGAL DESCRIPTIONS: LOT 1, BECKLEY FARM, VICTORIA CITY, PLAN 18452.  
BENCHMARK: MONUMENT 8-67  
ELEV. 19.317m

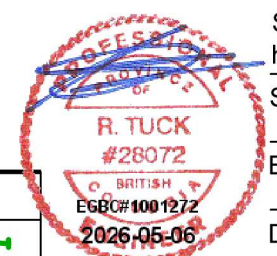
**350-360 DOUGLAS STREET  
PRELIMINARY CIVIL  
SERVICING DRAWING**

Scale  
horiz. 1:250 Scale  
vert. N/A

Sheet 1 of 2

Eng. Project No. 33265

Drafted by RT



**JEA** J E ANDERSON & ASSOCIATES  
SURVEYORS - ENGINEERS  
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER  
PHONE: 250-727-2214 info@jeanderson.com

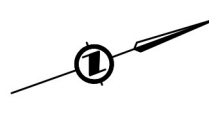
**SITE SERVICING PLAN**  
H 1:250



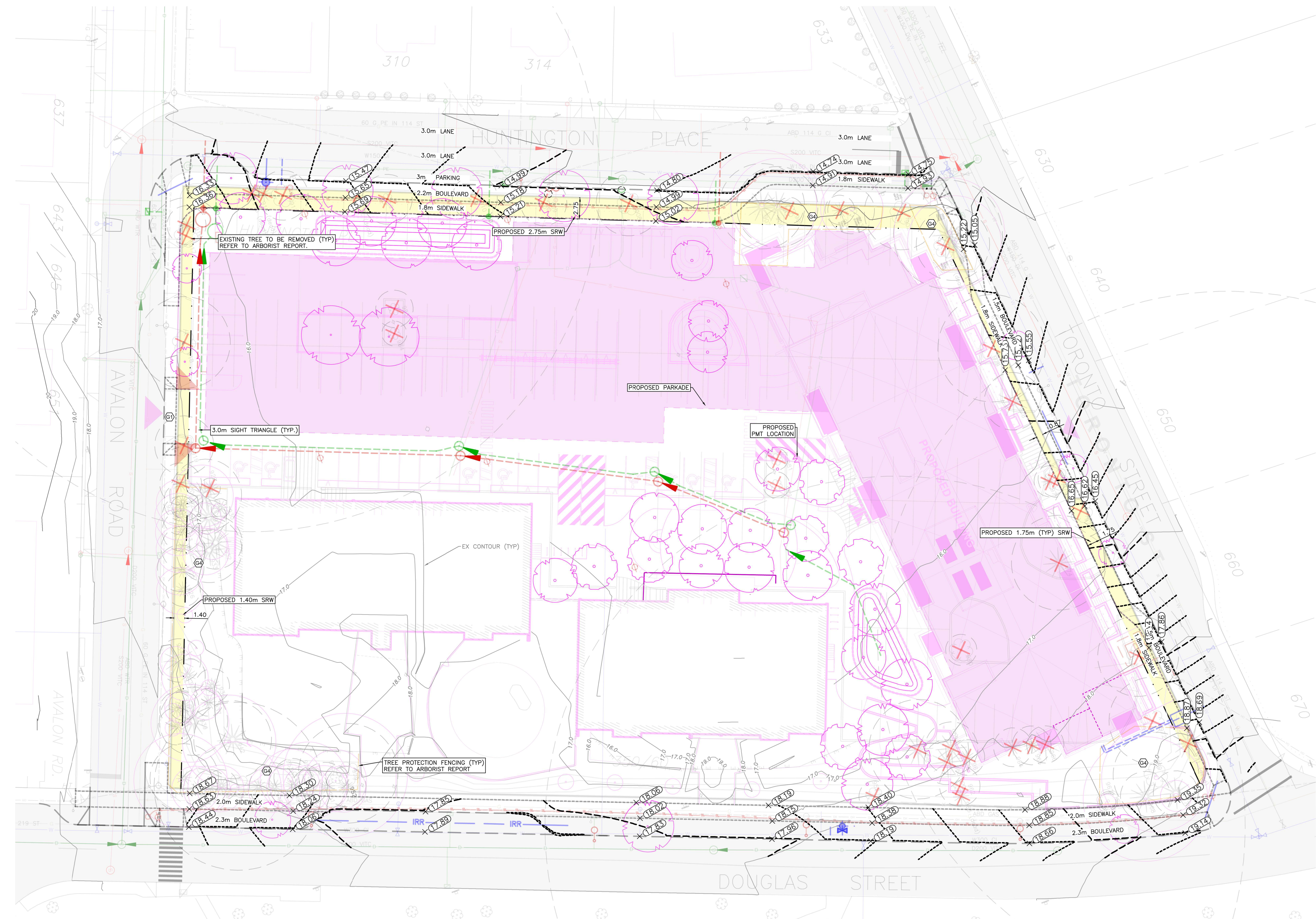
- IRRIGATION NOTES:**
- ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
  - IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
- GENERAL NOTES:**
- ALL SEWER, DRAIN, WATER LOCATIONS AND ELEVATIONS DERIVED FROM CITY OF VICTORIA RECORD DRAWINGS.

LEGEND		
LAMP STANDARD	← LS	LS
POLE (Hydro, Tel.)	⊕ PP	PP
U/G WIRING	---	---
GAS	---	---
WATER	---	---
SEWER	---	---
DRAIN	---	---
CLEANOUT	□	□
CATCHBASIN	□	□
MANHOLE	⊙	⊙
SERVICE RISER	⊙	⊙
MOUNTABLE CURB	MC	MC
NON-MOUNT. CURB	NMC	NMC
EDGE ASPHALT	---	---
DITCH	---	---
METER	⊙	⊙
FLUSH VALVE	⊙	⊙
VALVE	⊙	⊙
REDUCER	⊙	⊙
HYDRANT	⊙	⊙
AIR VALVE	⊙	⊙

**PRELIMINARY SERVICING PLAN**



- SHEET NOTES:**
- GRADING**
- Ⓜ RESIDENTIAL DRIVEWAY TO SLOPE AT 8% MAX FOR 6m AS PER CITY OF VICTORIA HIGHWAY ACCESS BYLAW.
  - Ⓝ -----
  - Ⓟ PROPOSED DRIVEWAY TO HAVE FULL PANEL DROPS AS PER CITY OF VICTORIA SDD C7b
  - Ⓠ NO GRADE CHANGES TO OCCUR WITHIN TREE PROTECTION ZONES.



PRELIMINARY GRADING PLAN  
H 1:250

350-360 DOUGLAS STREET  
PRELIMINARY GRADING  
PLAN



Scale  
horiz. 1:250 Scale N/A  
vert.  
Sheet 2 of 2  
Eng. Project No. 33265  
Drafted by: RT

**PRELIMINARY GRADING PLAN**

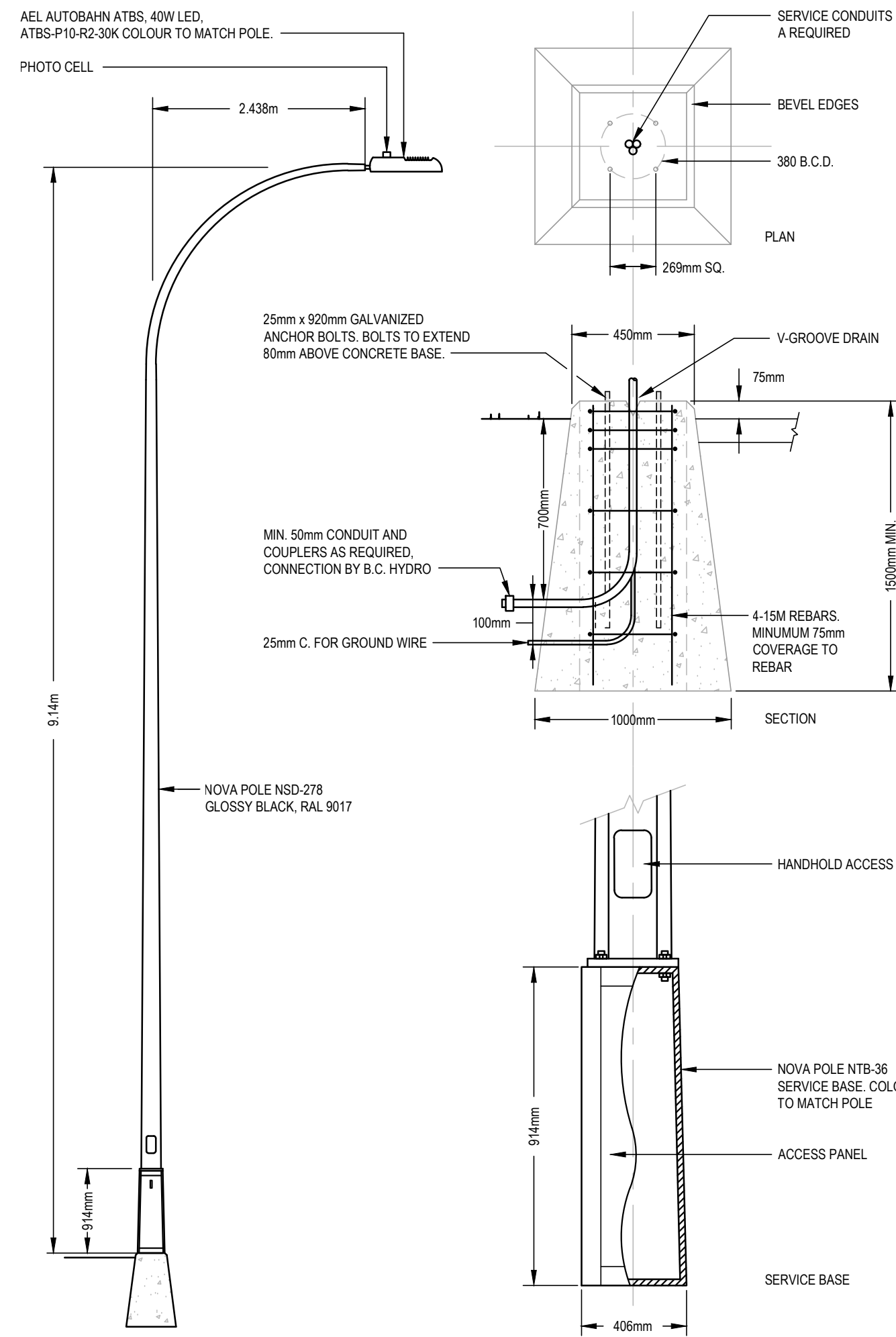


LEGEND						
LAMP STANDARD	⊕ LS	⊕ LS	CLEANOUT	■	DITCH	—
POLE (Hydro, Tel.)	⊕ PP	⊕ PP	CATCHBASIN	□	METER	⊕ W
U/G WIRING	— UE	— UE	MANHOLE	⊕	FLUSH VALVE	⊕
GAS	— G	— G	SERVICE RISER	⊕	VALVE	⊕
WATER	— W	— W	MOUNTABLE CURB	MC	REDUCER	⊕
SEWER	— S	— S	NON-MOUNT. CURB	NMC	HYDRANT	⊕
DRAIN	— D	— D	EDGE ASPHALT	—	AIR VALVE	⊕

**JEA** J E ANDERSON & ASSOCIATES  
SURVEYORS - ENGINEERS  
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER  
PHONE: 250-727-2214 info@jeanderson.com

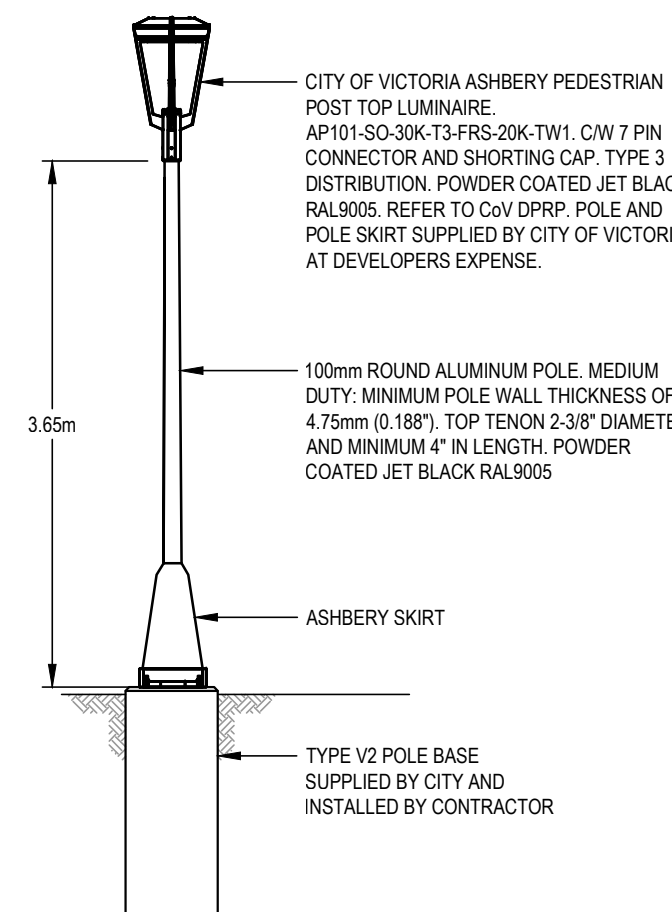




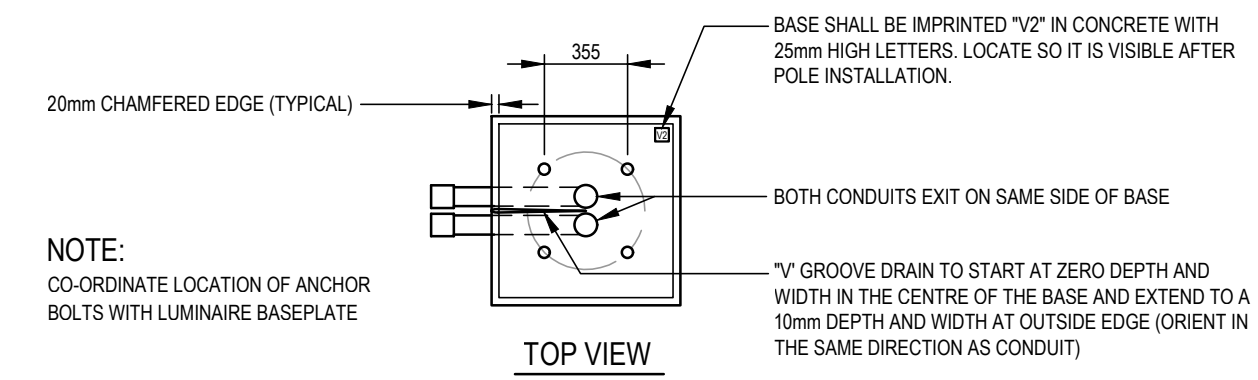


**1** TYPE 'AA' POLE DETAIL  
E2.1 NOT TO SCALE

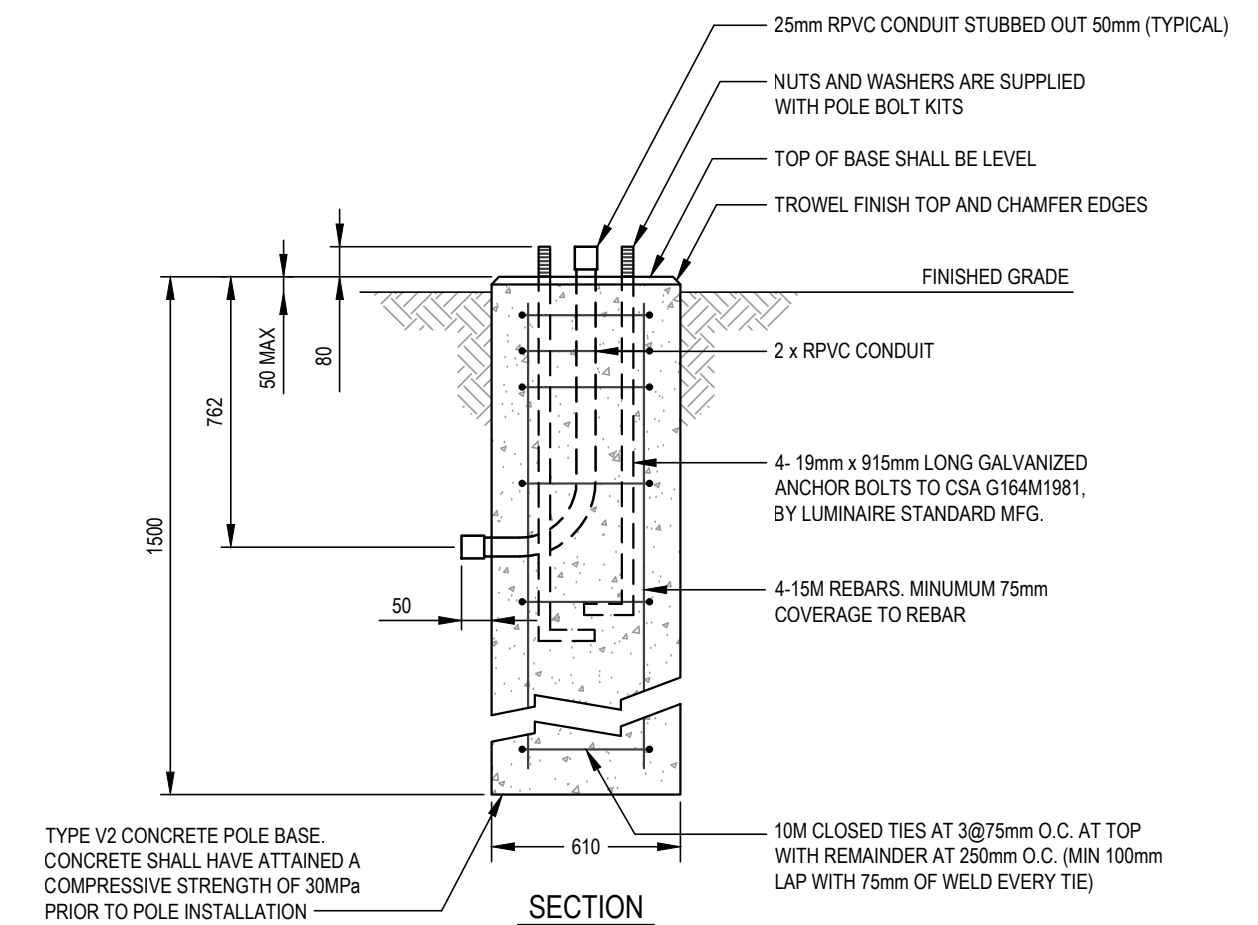
- NOTES:**
- POLE BASE BACK-FILL TO CONFORM TO MMCD SPECIFICATIONS, LATEST EDITION.
  - ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
  - PROVIDE AND INSTALL A GROUND PLATE MIN 600mm DEEP CHEMICALLY CHARGED GROUND ROD OR TWO GROUND RODS MIN 3m APART ADJACENT TO POLE BASE. GROUND ROD TO EXTEND 0.8m PAST BOTTOM OF CONCRETE AND MINIMUM 3.0m LONG. REFER TO CEC 10-102.2.
  - CONFIRM BOLT CIRCLE RADIUS REQUIREMENTS WITH POLE MANUFACTURER PRIOR TO INSTALLATION OF CONCRETE BASES. CONCRETE POLE BASE TO MEET MMCD STANDARDS. TYPE 'C1' CONCRETE POLE BASE SUITABLE FOR SERVICE BASE. NANAIMO PRECAST LTD., FRASER PRECAST LTD. OR APPROVED EQUAL. ANY CAST IN PLACE POLE BASES MUST BE REVIEWED AND SIGNED OFF BY A BC REGISTERED STRUCTURAL ENGINEER PRIOR TO AND AFTER POURING OF CONCRETE. ALL ASSOCIATED COST FOR THE SERVICES OF A STRUCTURAL ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR.



**2** PEDESTRIAN LUMINAIRE DETAIL  
E2.1 NOT TO SCALE

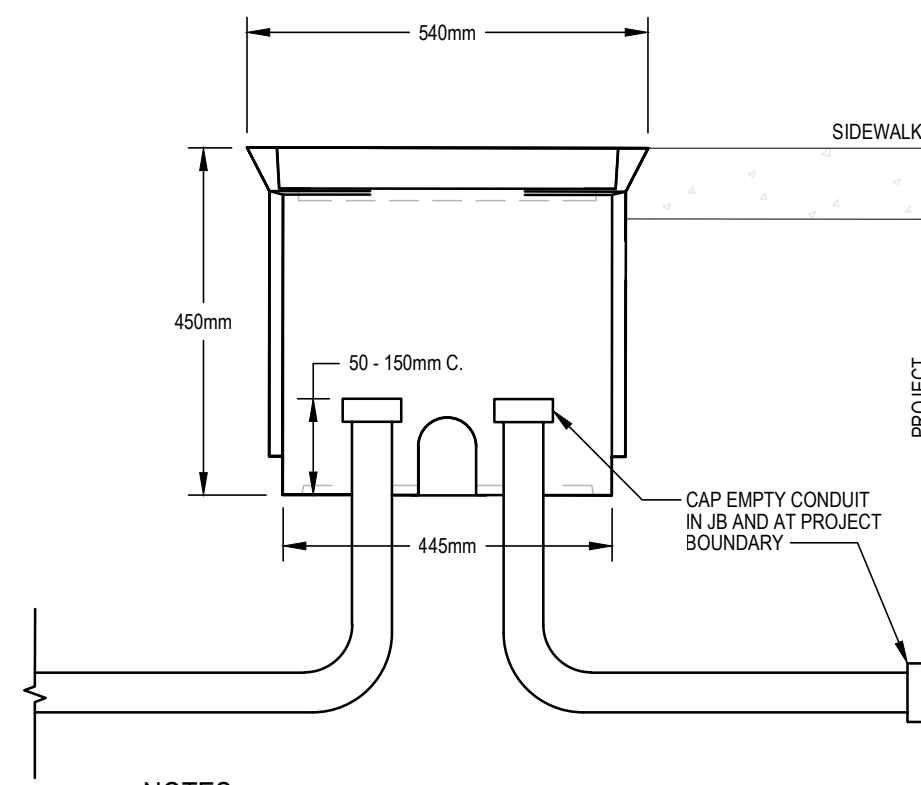


**NOTE:**  
CO-ORDINATE LOCATION OF ANCHOR BOLTS WITH LUMINAIRE BASE PLATE



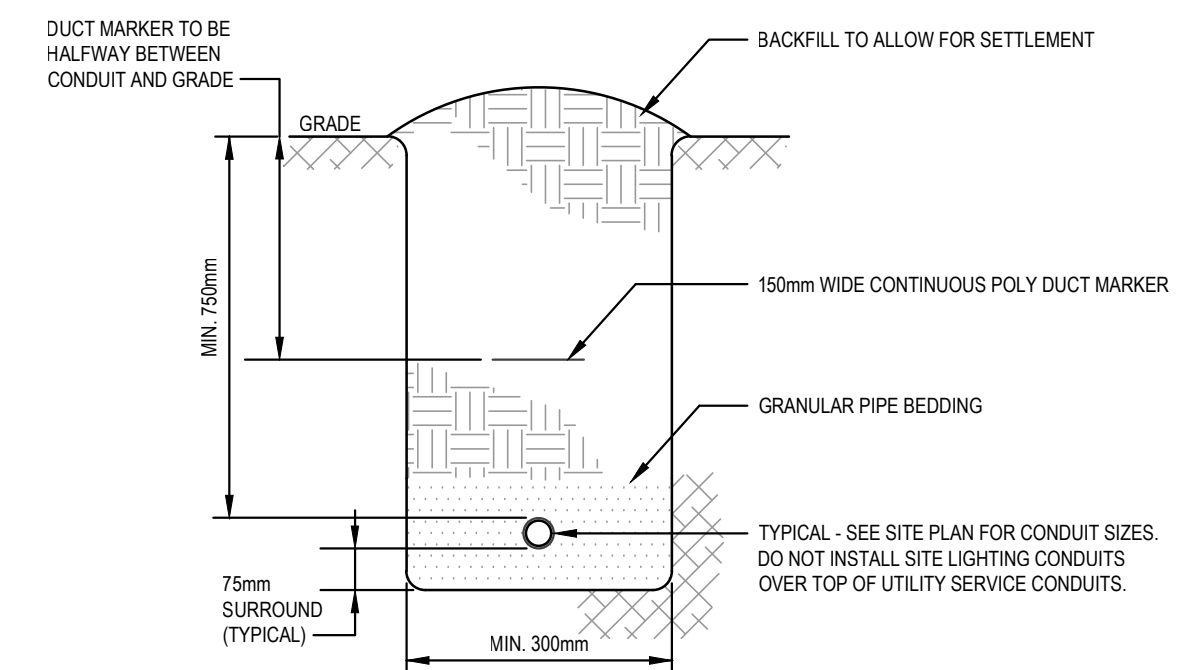
- NOTES:**
- POLE BASE BACK-FILL TO CONFORM TO MMCD SPECIFICATIONS, LATEST EDITION.
  - ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
  - CONFIRM BOLT CIRCLE RADIUS PRIOR TO INSTALLATION OF CONCRETE BASES.
  - CONCRETE POLE BASE TO MEET MMCD STANDARDS. TYPE V2 CONCRETE POLE BASE REFER TO CITY OF VICTORIA DRAWING SD CE1.2b. FRASER PRECAST LTD OR APPROVED EQUAL.

**3** TYPE V2 POLE BASE DETAIL  
E2.1 NOT TO SCALE



- NOTES:**
- STREET LIGHTING JUNCTION BOX - DFW PLASTICS INC. DFW37C4-18-4DP BLANK C/W MANUFACTURERS BOLT DOWN LID.

**4** JUNCTION BOX DETAIL  
E2.1 NOT TO SCALE



**5** TYPICAL TRENCH SECTION  
E2.1 NOT TO SCALE

# DOUGLAS STREET APARTMENTS

350 & 360 Douglas St.  
Victoria, BC V8V 2P5

## Issued/ Revision Schedule

no.	description	date
1	Issued for Development Permit	DEC. 20, 2023
2	Re-Issued for Development Permit	NOV. 15, 2024
3	Re-Issued for Development Permit	MAY 01, 2026

Seal

Permit

Consultant



500 - 3795 Carey Road, Victoria, BC V8Z 6T8  
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CALGARY | KELLOWNA | VANCOUVER | VICTORIA



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200, 1460 Jasper Ave NW  
Edmonton, AB T5K 0M1  
T. 780.490.5330

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METAFOR ARCHITECTURE INC.

Drawing Title

OFFSITE STREET  
LIGHTING DETAILS

Sheet

E2.1

Scale  
AS NOTED

Project No.  
0122.0232

(5) Medium Boulevard Trees - Species TBD by Victoria Parks Dept.  
 Rain garden to have sun / shade, native & adaptive trees, shrubs and perennials. (typ.) Dura Heat Birch, Redtwig Dogwood, Yellowtwig Dogwood, Douglas Spirea, Slough Sedge, Goatsbeard, Salal, Sword Fern

915mm Ht. Wood Fence mounted to parkade wall. See L6 Detail 6  
 Groundcover planting under car overhangs (Typ.)  
 Trellis with Orange Honeysuckle trained upwards onto trellis posts creates separate area for proposed flex plaza. See L6 Detail 7  
 Flex plaza to have decorative concrete unit pavers.  
 915mm Ht. Wood Fence, See L6 Detail 5

Building cantilevers beyond the parkade. No impact on tree root zone outside of parkade excavation. See Arch.

Dripline of existing trees to be free of plantings and covered with approved bark mulch to protect CRZ and promote tree health.

Common rooftop deck. Furniture to be supplied by the owner

Proposed concrete planter walls by others - See Architectural plans for details

Planting along northern property line features partial-sun native and adaptive shrubs, perennials and ornamental grasses (Typ.)

Planting bed to have mounded soil to achieve proper soil volume for trees (typ.)

Underground parking limit

Entrance feature banding paving pattern

(3) Bike Racks - (6) Spots

(3) Small Boulevard Trees underneath overhead utility - Species TBD by Victoria Parks Dept.

Pump access, See Civil

Parkade access ramp, See Arch

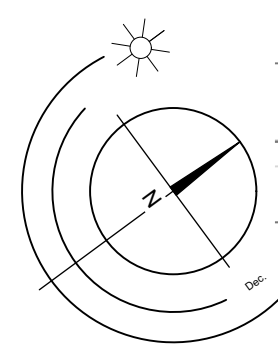
(6) Bike Racks - (12) Spots

Groundcover planting under car overhangs & stepping stones (Typ.)

Entrance feature banding paving pattern

Tree protection fencing by others - See Arborist report and Tree protection plan by Talmack urban forestry for details.

(1) Medium Boulevard Trees - Species TBD by Victoria Parks Dept.



**350/360 Douglas St. | Landscape Concept Plan**

Scale: 1:225  
 0 5 15 25 M

**MATERIALS LEGEND**

[Green Swatch]	Planting Bed
[Light Green Swatch]	Grass Lawn
[Grey Swatch]	Decorative Concrete
[Patterned Swatch]	Decorative Concrete Unit Pavers
[Brown Swatch]	Roof Deck
[Light Grey Swatch]	Sidewalk
[Dark Grey Swatch]	River Rock Maintenance Pathways
[Green Swatch]	Existing Landscape Treatment
[Brown Swatch]	Bark Mulch

**LIGHTING LEGEND**

[Yellow Cone]	Bollard Lighting (Refer to Electrical)
[Yellow Circle]	Wall Recessed Lighting (Refer to Electrical)
[Yellow Square]	Column Lighting (Refer to Electrical)

**Required Parks inspections for street tree planting:**  
 Street trees must have one dominant central leader or single straight trunk, 6-8 cm diameter caliper measured 15 cm above ground, a well-balanced crown with branching starting at 1.8 m - 2.5 m above ground and be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) or SD P5 (Tree Planting in Sidewalk with Tree Guard) and the Canadian Landscape Standard.

1. Inspection of soil and planting area prior to planting.
2. Inspection of tree stock prior to planting.
3. Inspection of installed tree. Trees must be in good health and condition with no visible signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.

**Required Parks inspections for seed and sod boulevard:**  
 The details for the seed and sod boulevard can be found in Schedule B3-4. (Please ensure that adequate soil volumes for the proposed street trees are installed in grass boulevards). Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.

1. Inspection of excavated and scarified subgrade prior to backfill.
2. Inspection of installed, rolled and prepared growing media prior to sodding.
3. Inspection when the installed turfgrass meets the conditions for total performance as required in the Current Edition of the Canadian Landscape Standard.

**Required Soil Testing**  
 A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.

**Schedule B3-4 and Schedule C Notes**  
 The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.



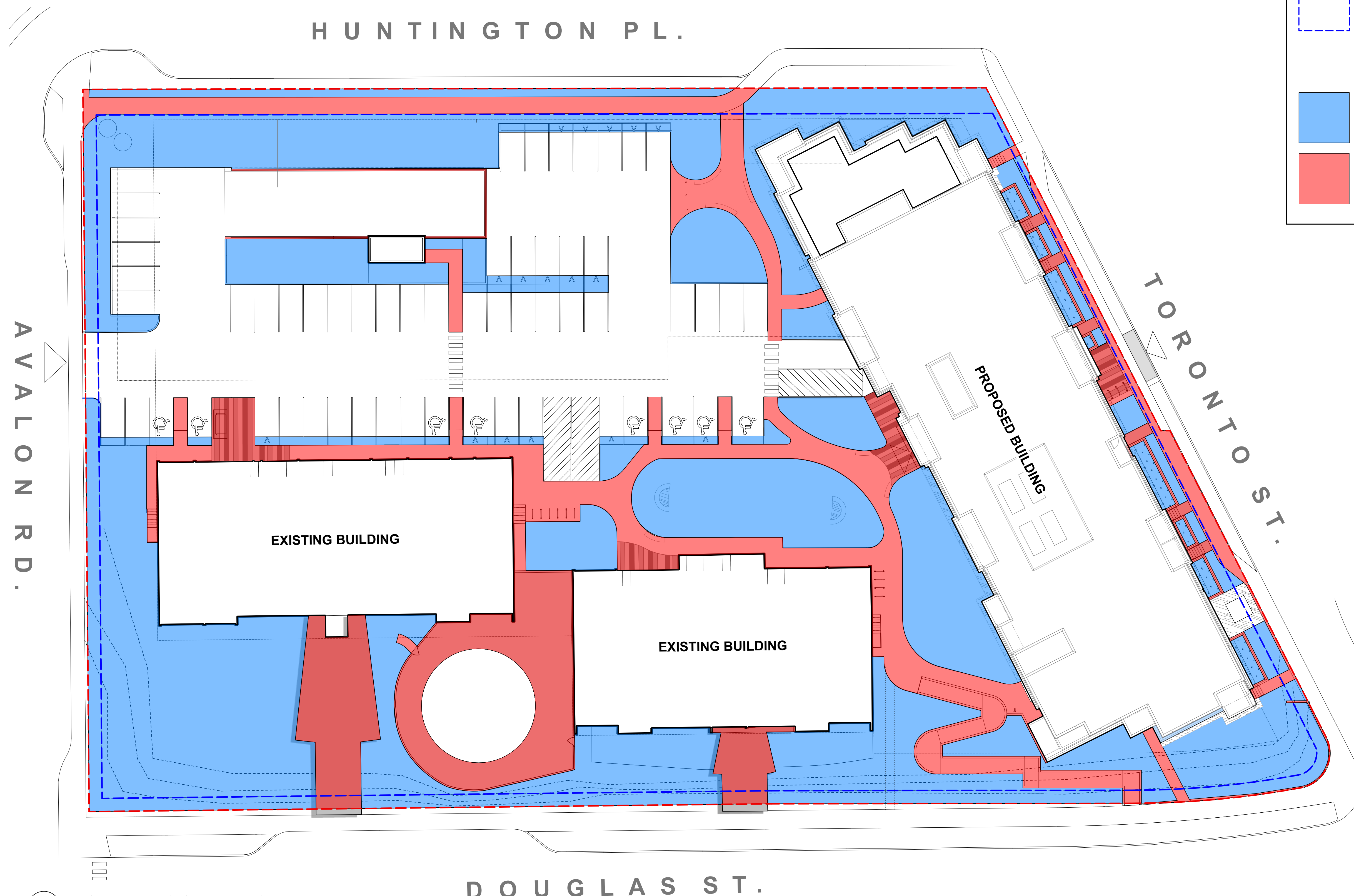
**TREE MANAGEMENT LEGEND**

[Green Circle with #]	RETAINED TREES	[Dashed Circle]	PLANTING AREA
[Green Circle with #]	Crown Spread	[Dashed Circle]	TREE PROTECTION FENCING
[Green Circle with #]	Tree Tag #. See Tree Inventory for assessment.	[Dashed Circle]	PLANTING AREA ID TAG
[Green Circle with #]	Critical Root Zone	[Red X]	REMOVED TREES
[Green Circle with #]	Removed Trees	[Red X]	Critical Root Zone
[Green Circle with #]	Tree Tag #. See Tree Inventory for assessment.	[Red X]	Tree Tag #. See Tree Inventory for assessment.



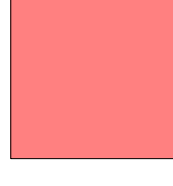

**REVISIONS**

May 7 - 26
Nov 14 - 24
Jun 05 - 24
Dec 20 - 23
Jun 05 - 23
Oct 10 - 22


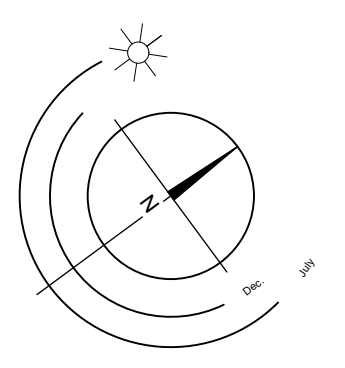
# 350/360 Douglas St. Starlight | Landscape Concept Plan



**OPEN LOT SPACE TAKE OFFS**

	<b>Lot Area: 8928.56 sq m</b>
	<b>Open Lot Space Total: 4189.76 sq m</b> <i>Softscape Area + Hardscape Area   46.92% of Lot Area - 30% Minimum</i>
	<b>Softscape Area: 2850.22 sq m</b> <i>68.02% of Open Lot Space - 50% Minimum</i>
	<b>Hardscape Area: 1339.55 sq m</b> <i>31.97% of Open Lot Space - 50% Maximum</i>

1 350/360 Douglas St. | Landscape Concept Plan  
Scale: 1:225

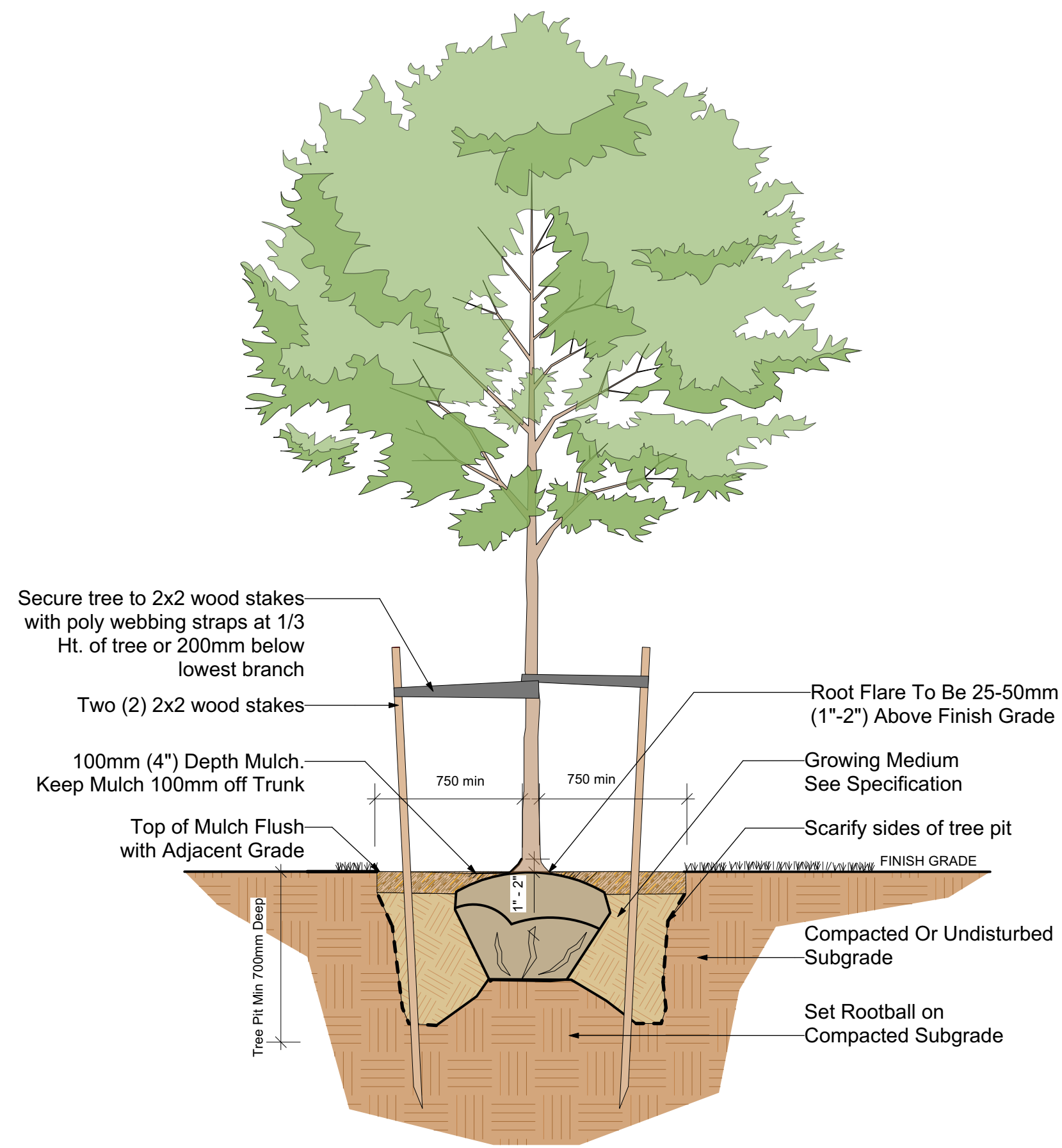



**REVISIONS**

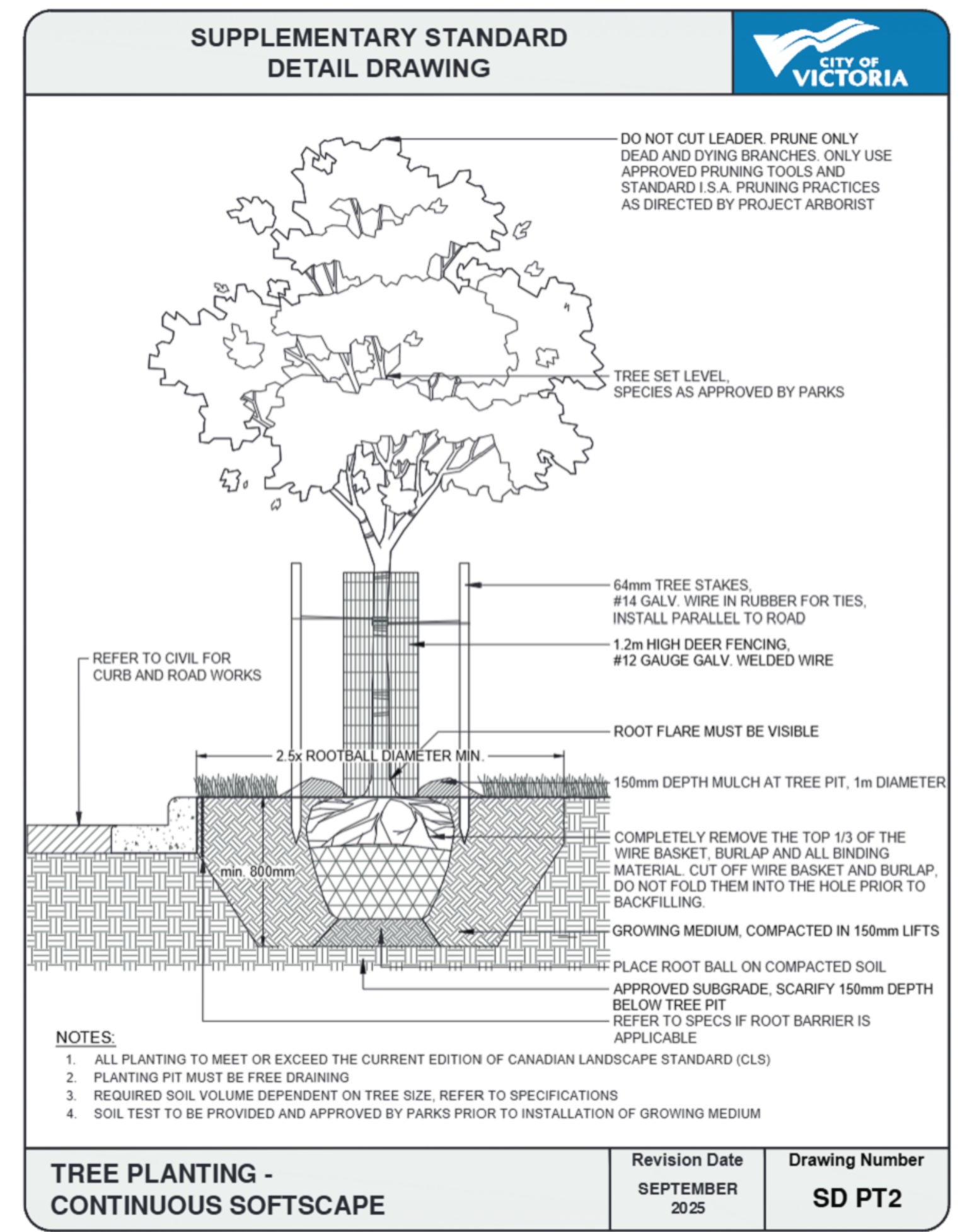
May 7 - 26
Nov 14 - 24
Jun 05 - 24
Dec 20 - 23
Jun 05 - 23
Oct 10 - 22

L4/9

# 350/360 Douglas St. | Open Lot Space

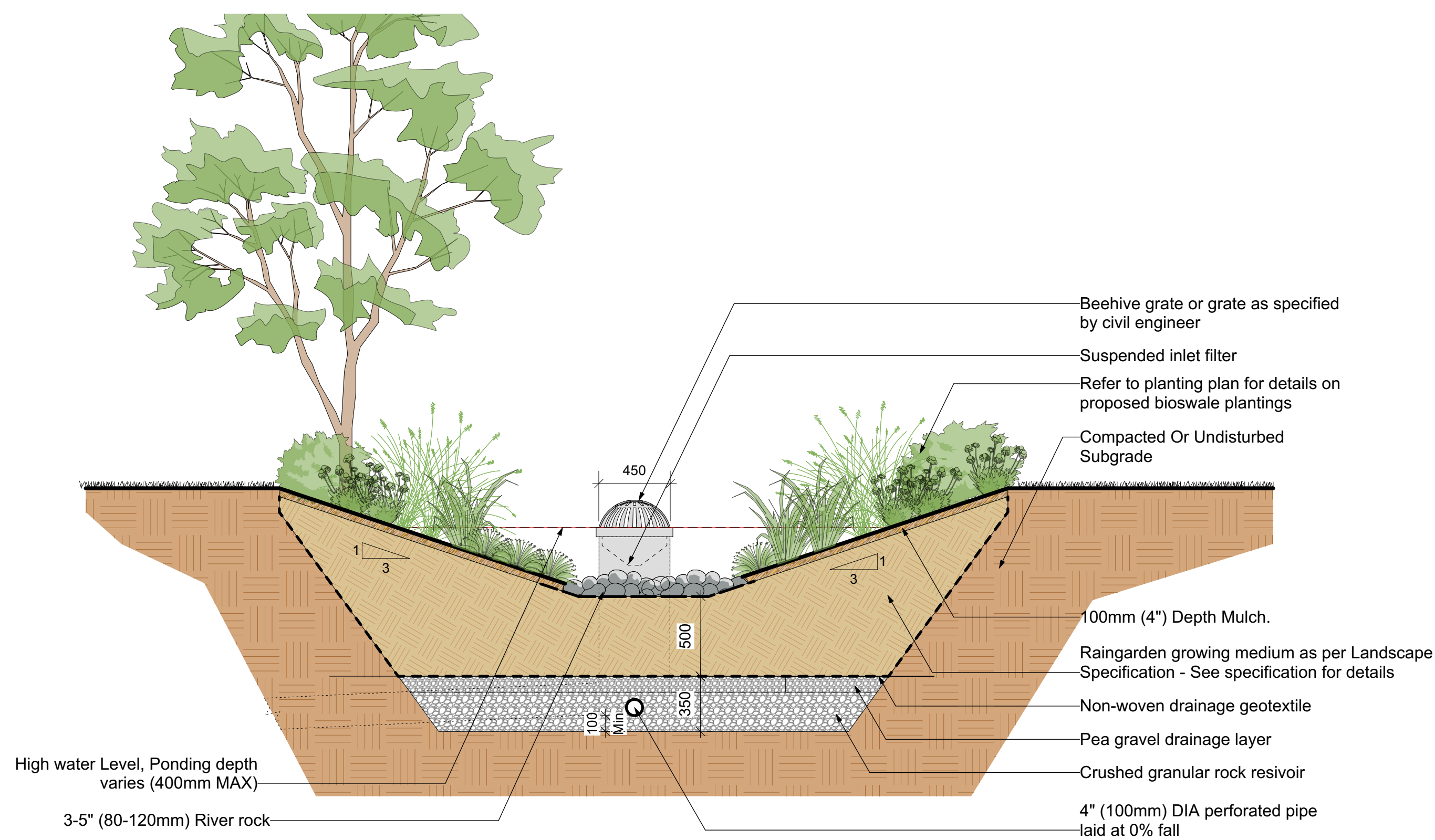


1 Typical Deciduous Tree Planting Detail  
Scale: 1:25

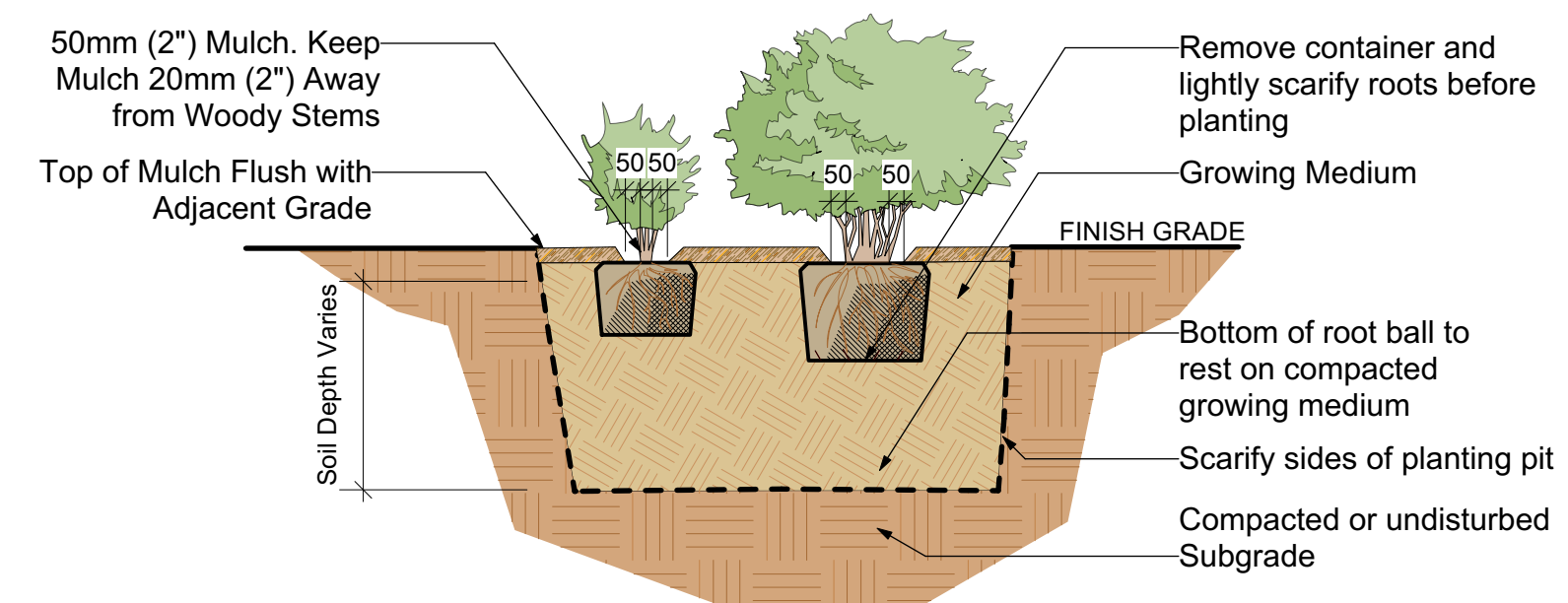


TREE PLANTING - CONTINUOUS SOFTSCAPE  
Revision Date: SEPTEMBER 2025  
Drawing Number: SD PT2  
City of Victoria - Engineering Standards and Specifications | 2025 Edition

2 City of Victoria - Tree Planting - Continuous Landscape Detail  
Scale: 1:25



3 Typical Bioswale With Overflow Grate and Sewer Tie In Detail  
Scale: 1:25

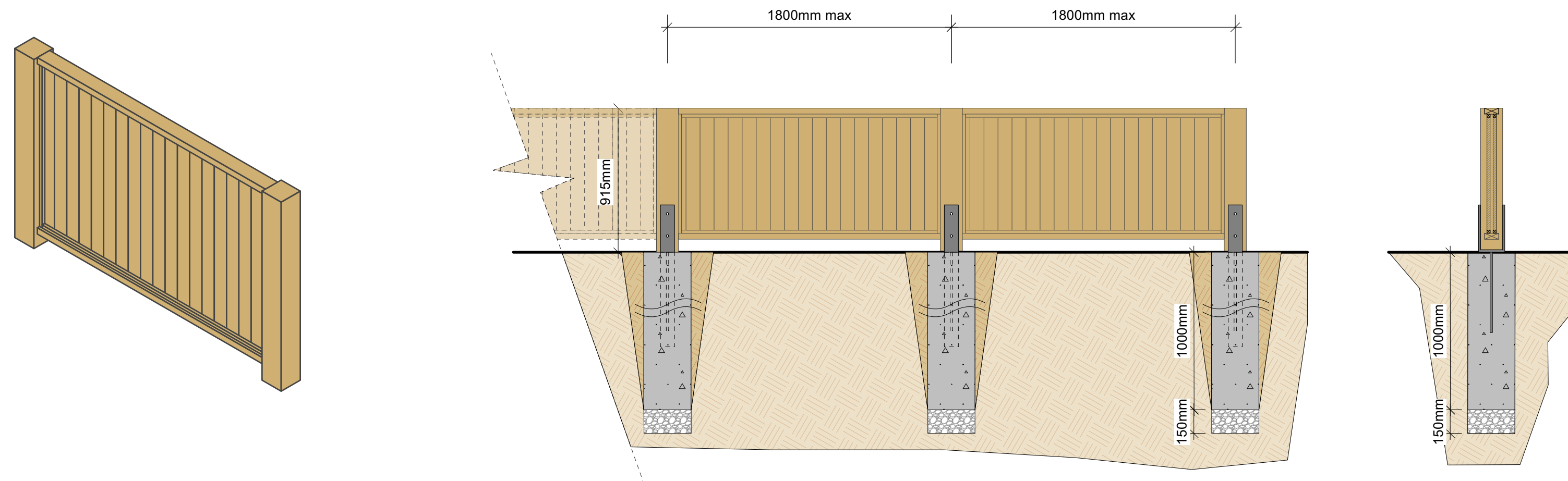


4 Typical Shrub Planting Detail  
Scale: 1:25

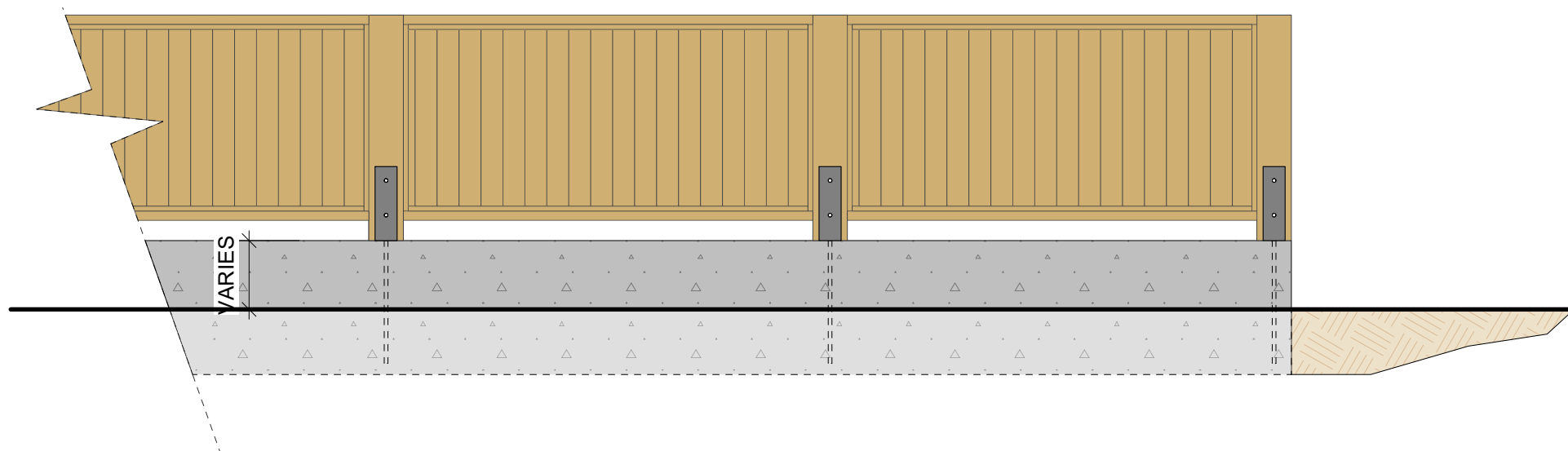
REVISIONS

May 7- 26
Nov 14- 24
Jun 05 - 24
Dec 20 - 23
Jun 05 - 23
Oct 10 - 22

# 350/360 Douglas St. | Details

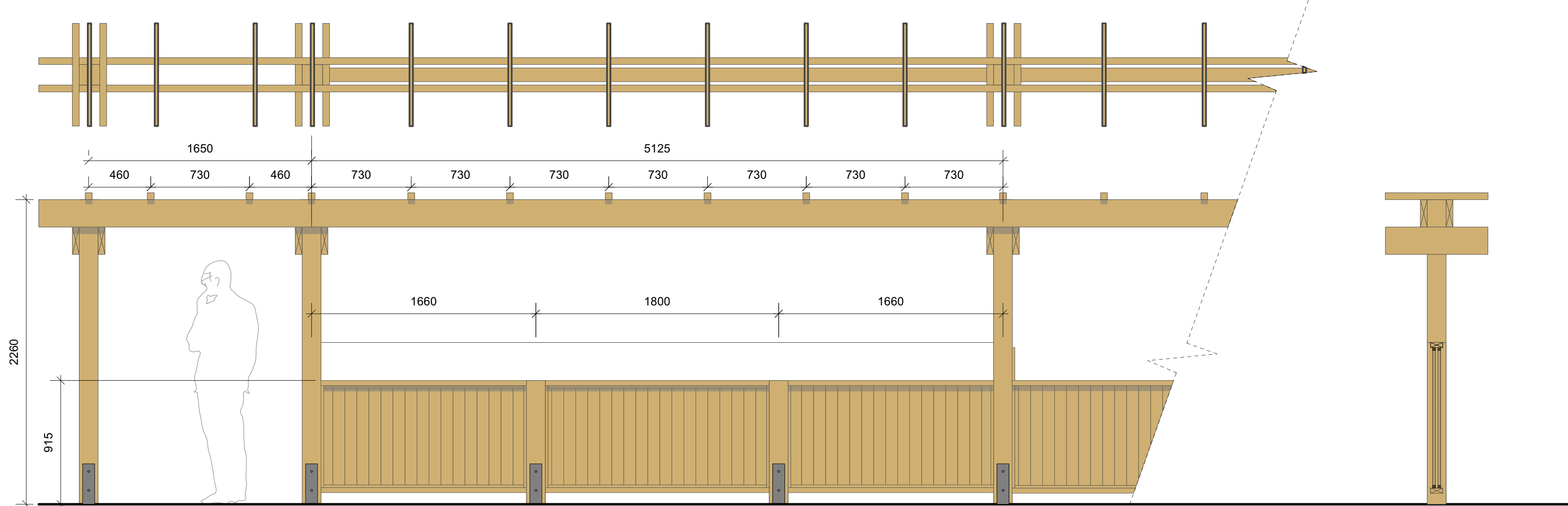


5 915mm Ht Wood Privacy fence with 6x6 post  
Scale: 1:25



6 915mm Ht Wood Privacy fence with 6x6 post mounted on retaining wall  
Scale: 1:25

PLAN VIEW



ELEVATION VIEW

7 915mm Ht Wood Privacy Fence with Trellis  
Scale: 1:25

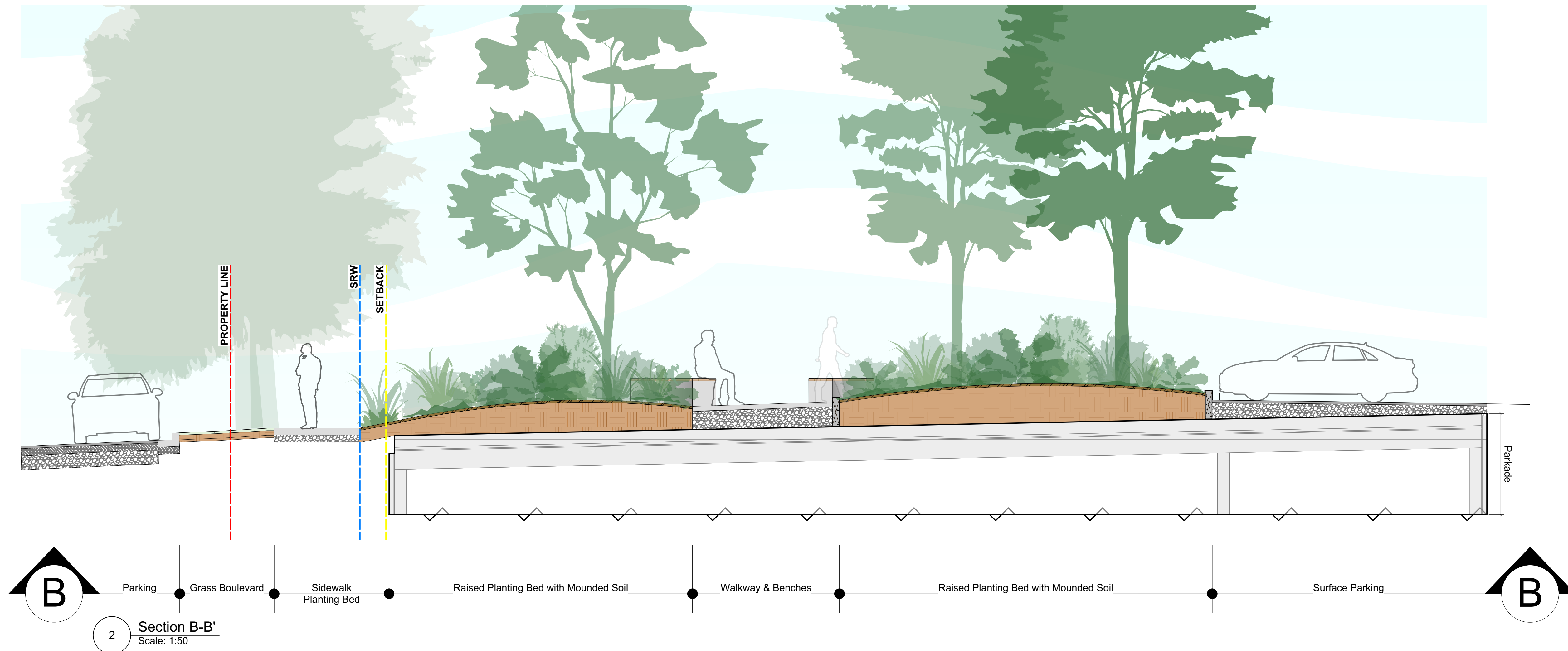
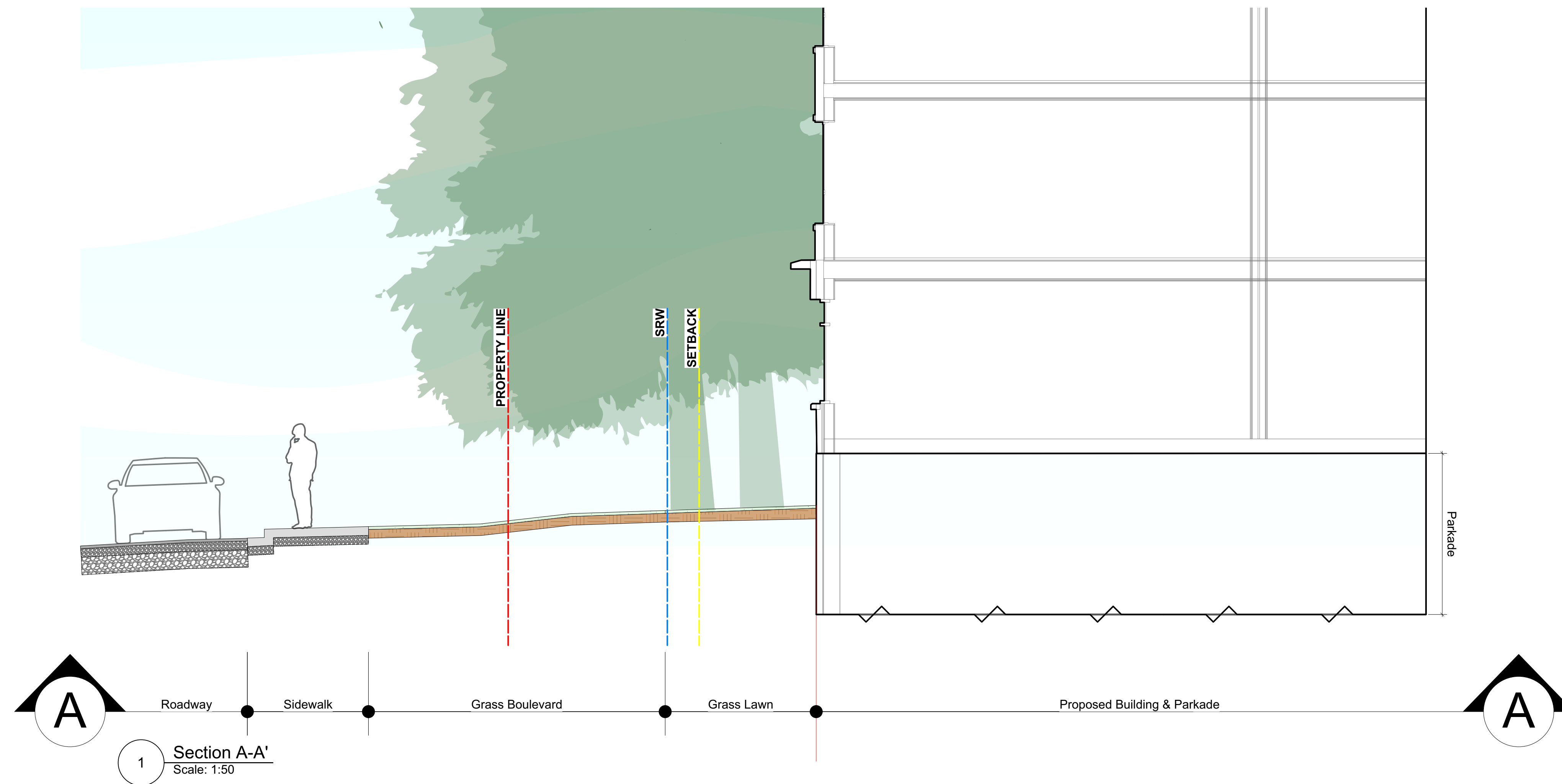
# 350/360 Douglas St. | Details

REVISIONS

May 7 - 26
Nov 14 - 24
Jun 05 - 24
Dec 20 - 23
Jun 05 - 23
Oct 10 - 22

L6/9



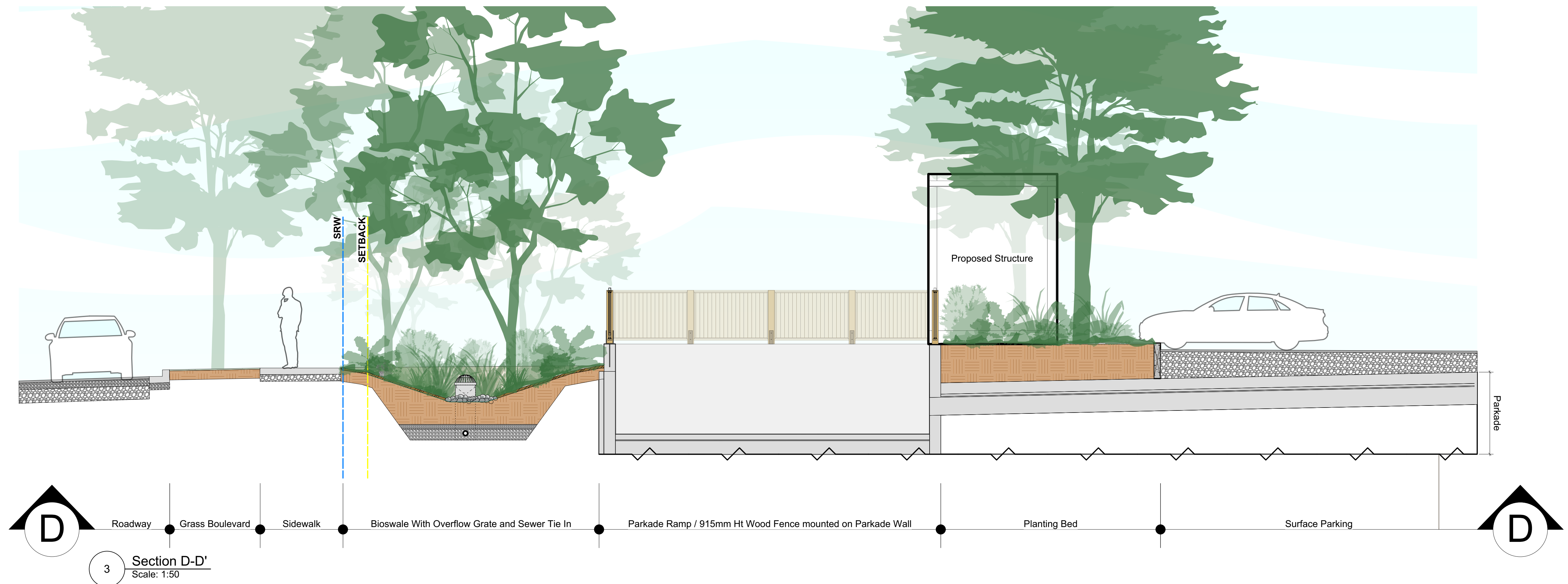


REVISIONS

May 7 - 26
Nov 14 - 24
Jun 05 - 24
Dec 20 - 23
Jun 05 - 23
Oct 10 - 22

L7/9

# 350/360 Douglas St. | Sections

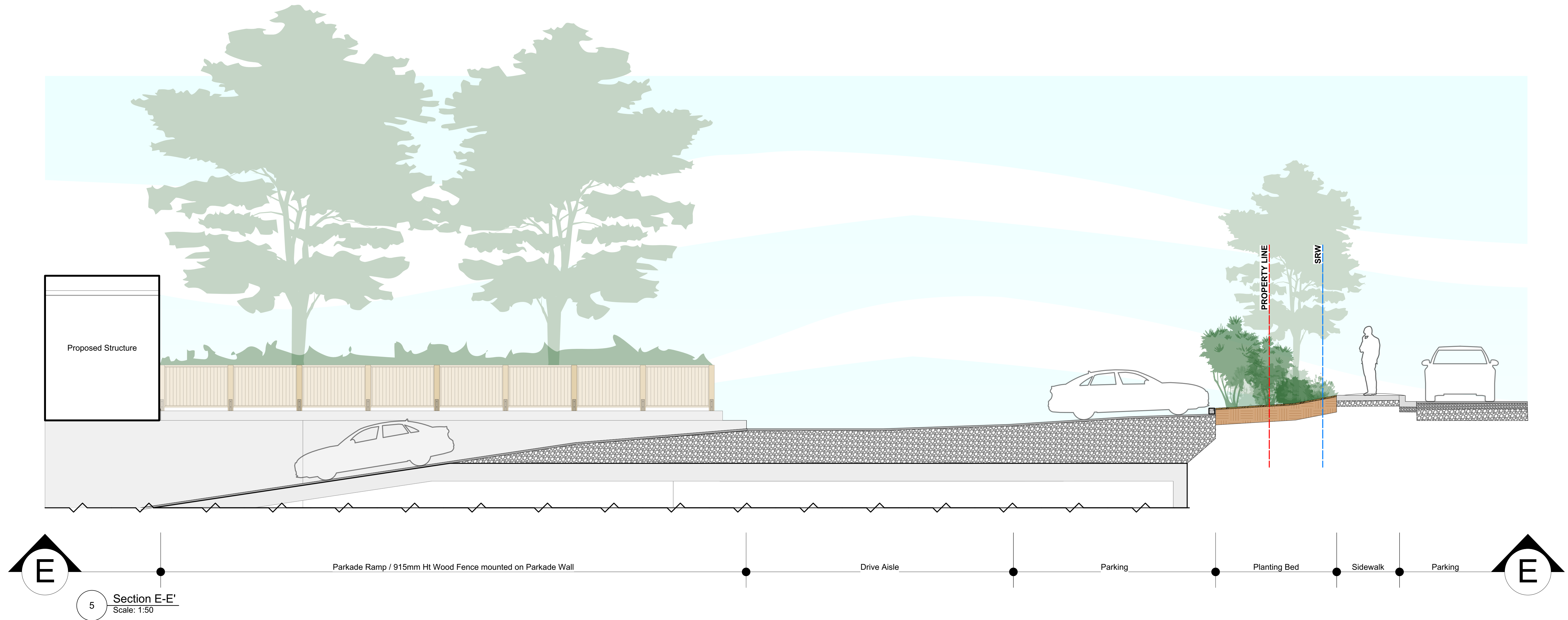


REVISIONS

May 7 - 26
Nov 14 - 24
Jun 05 - 24
Dec 20 - 23
Jun 05 - 23
Oct 10 - 22

L8/9

# 350/360 Douglas St. | Sections



# 350/360 Douglas St. | Sections

REVISIONS

May 7 - 26
Nov 14 - 24
Jun 05 - 24
Dec 20 - 23
Jun 05 - 23
Oct 10 - 22

L9/9