

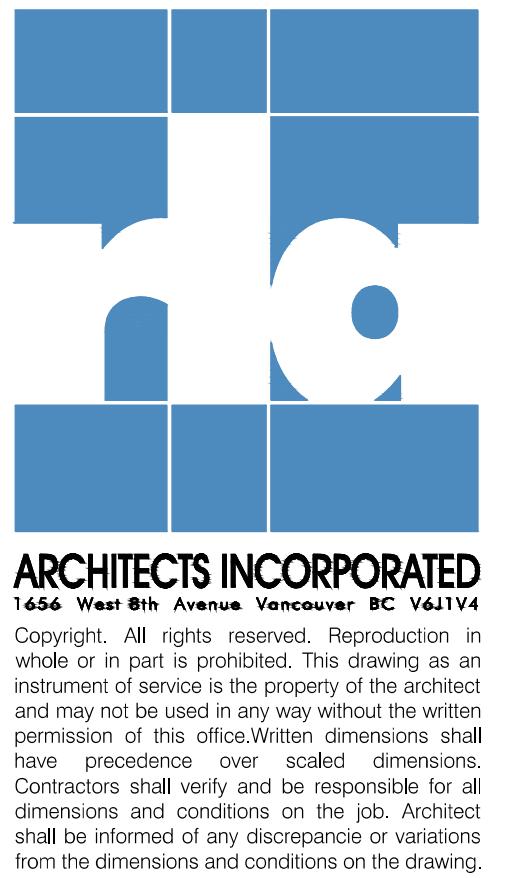
TELUS living



PROPOSED RESIDENTIAL DEVELOPMENT

1908 FOUL BAY ROAD
DEVELOPMENT PERMIT RESUBMISSION
2025-12-15 VICTORIA, B.C.





Revisions

September 11, 2024
Pre-Application City Review

September 19, 2024
City Technical Review

October 25, 2024
Issued for CALUC Review

April 28, 2025
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September 19, 2025
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December 15, 2025
Issued for DP Resubmission

For

Project
1908 FOUL BAY
Multi-Unit Residential

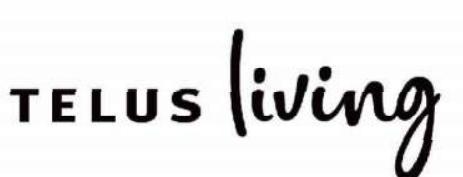
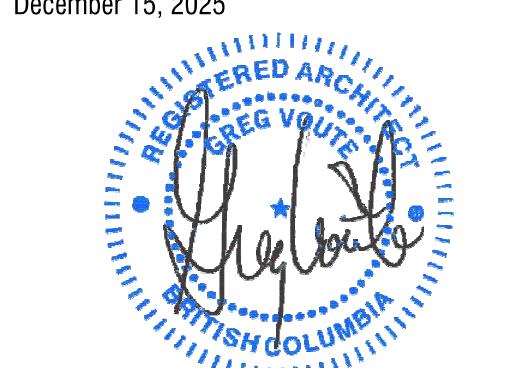


Table of Content

Scale: N/A
December 15, 2025



A-0.01

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83 MULTI FAMILY UNITS
SITE ADDRESS: 1908 FOUL BAY ROAD
LEGAL: LOT 1, SECTION 76, VICTORIA DISTRICT PLAN 26773

Code Review Summary

	L1 to L6	Basement
Occupancy	Group C	Group F- Div 3
Bldg. Area (m ²)	1,099 m ²	2,234 m ²
Bldg. Height (storeys)	6 storeys	Basement (1 level)
Sprinklered	Yes	Yes
Construction Article(s)	3.2.2.51	3.2.2.84
Max. Area Permitted (m ²)	1,500 m ²	7,200 m ²
Construction Type	Combustible	Non-combustible
Floor Fire Resistance Rating	1h	1h
Mezzanine Fire Resistance Rating	N/A	N/A
Roof Fire Resistance Rating	1h	1h

NOTES:
1. This project is designed to comply with the BC Building Code 2024 except for section 3.8.5 adaptable design and section 4.1.8 seismic which are to be designed to BCBC 2018 as directed in Ministerial Order BA 2024 04.

CONSULTANT LIST

DEVELOPER

Ledcor Property Investments Ltd.
1500 - 1067 West Cordova Street,
Vancouver, BC, V6C 1C7

ARCHITECT

RLA Architects Inc.
1656 W8th St,
Vancouver BC, V6J 1V4

LANDSCAPE

LADR Landscape Architects
3-864 Queens Ave,
Victoria BC, V8T 1M5

CIVIL

McElhanney
Suite 500, 3960 Quadra St
Victoria BC, V8X 4A3

ARBORIST

Talbot Mackenzie & Associates
3575 Douglas St
Victoria BC, V8Z 7H6

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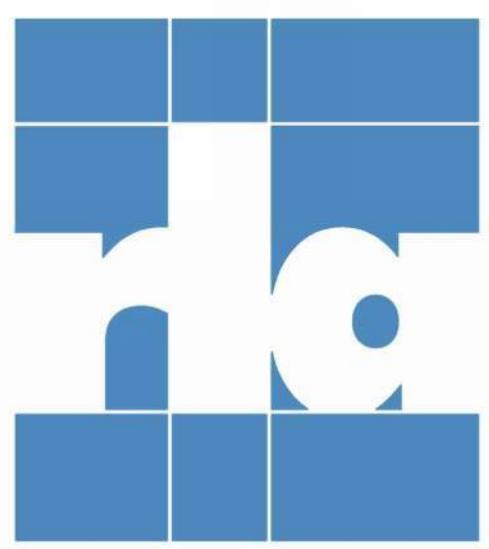
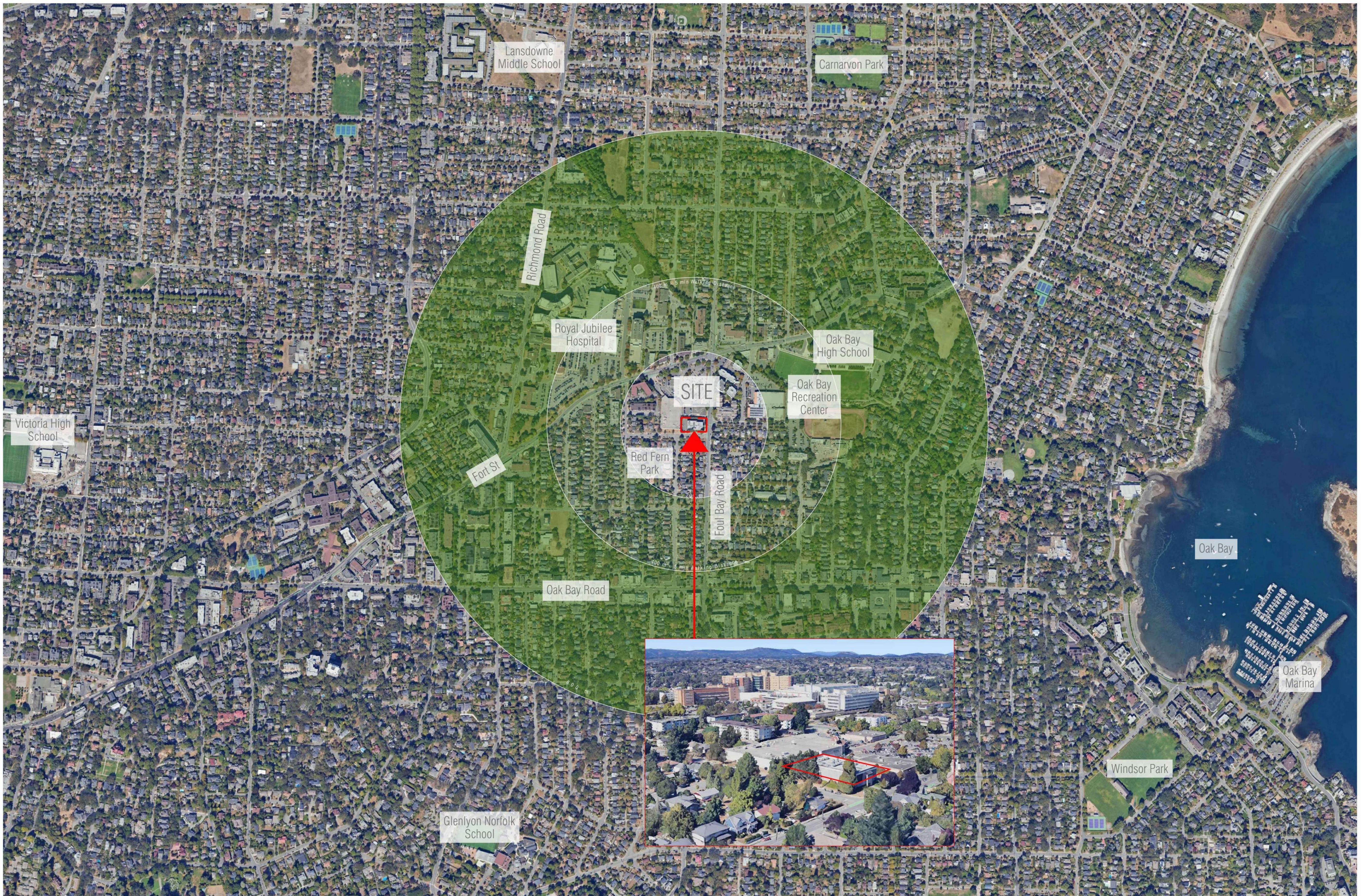
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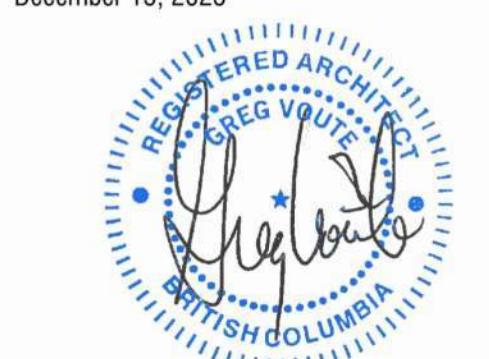
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Project
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Multi-Unit Residential

TELUS living



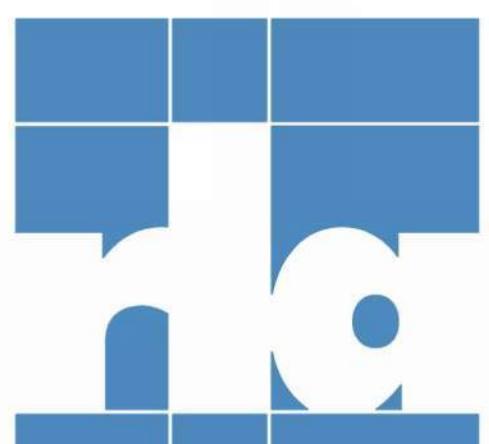
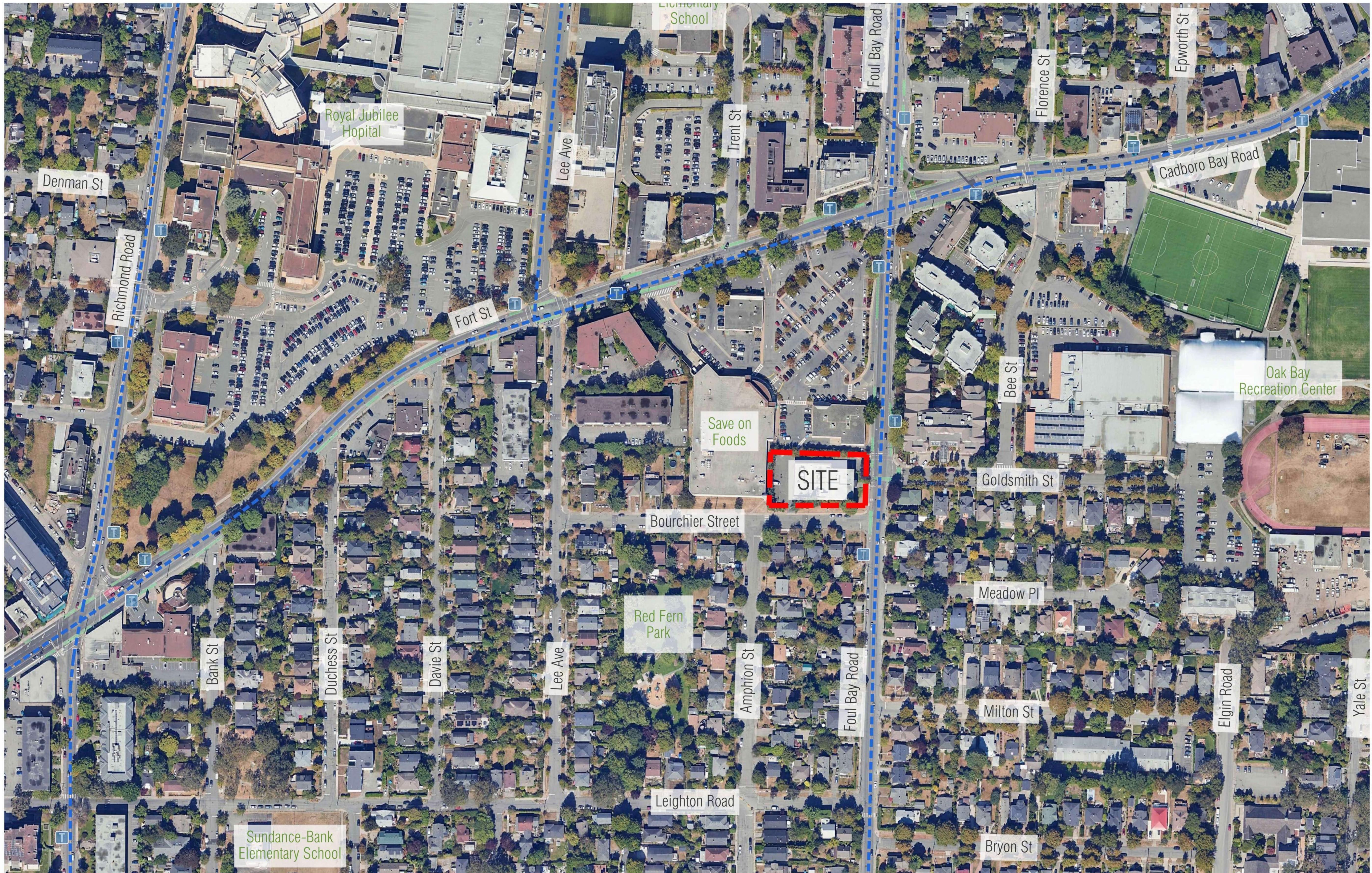
Project Location Map
Scale: 1:5000
December 15, 2025



Project Location Map



A-0.02



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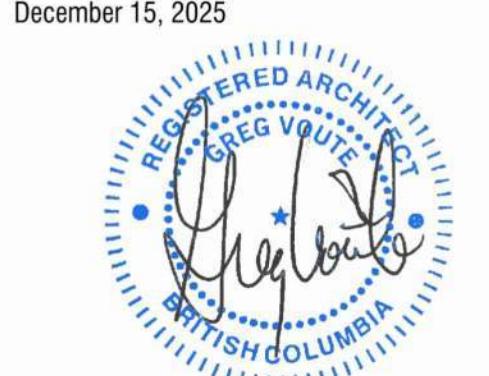
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1908 FOUL BAY
Multi-Unit Residential

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Context Plan
Scale: N/A
December 15, 2025



Context Plan



A-0.03

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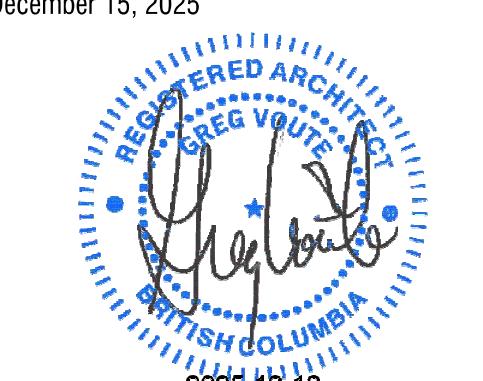
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Multi-Unit Residential

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Photos of Existing
Site Conditions
Scale: N/A
December 15, 2025



1



2



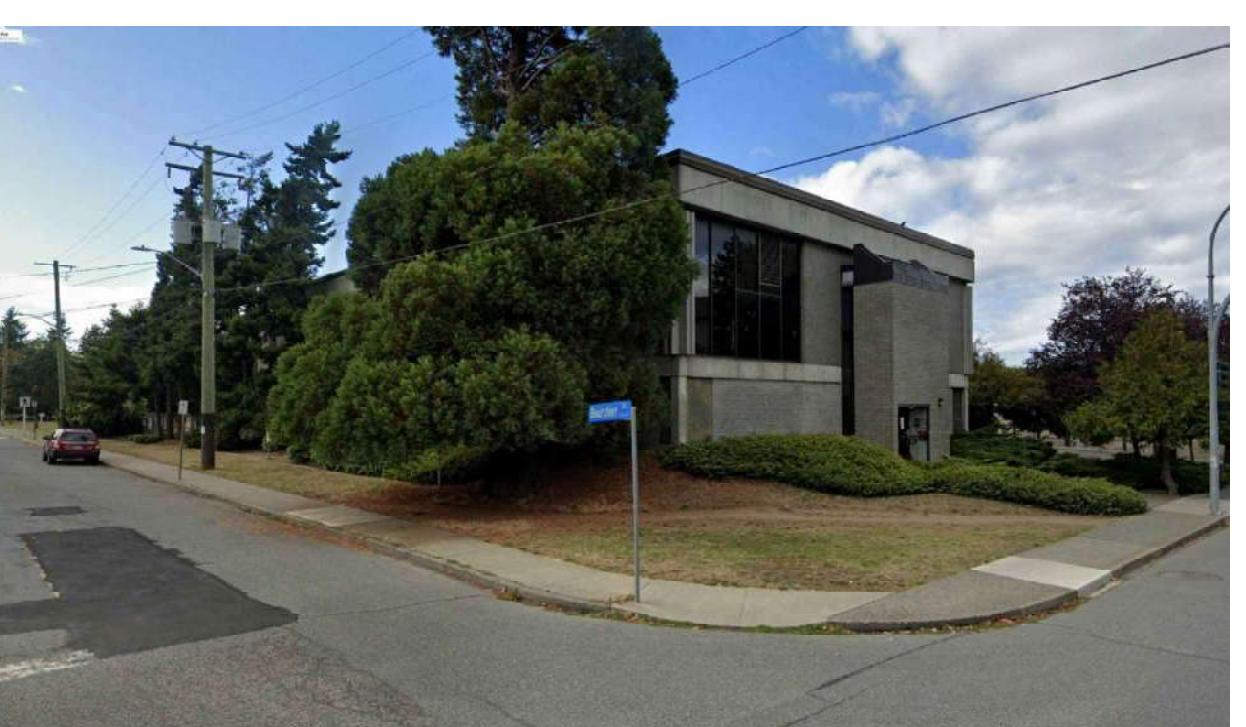
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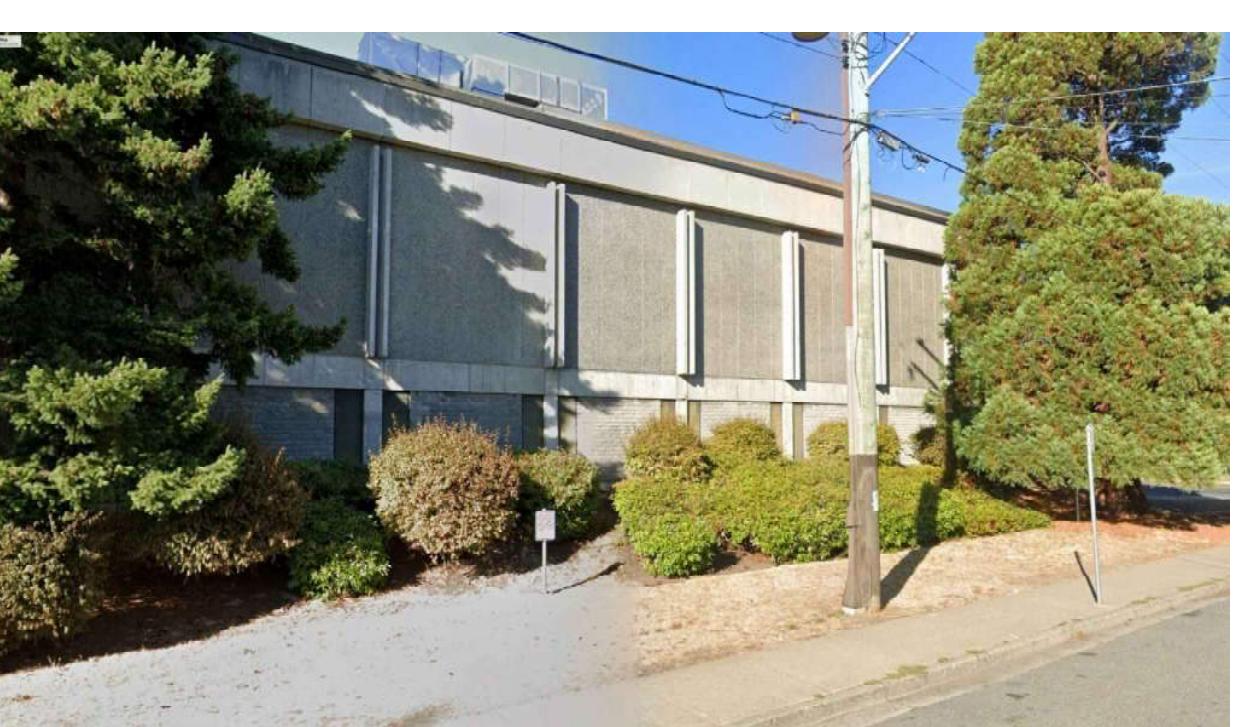
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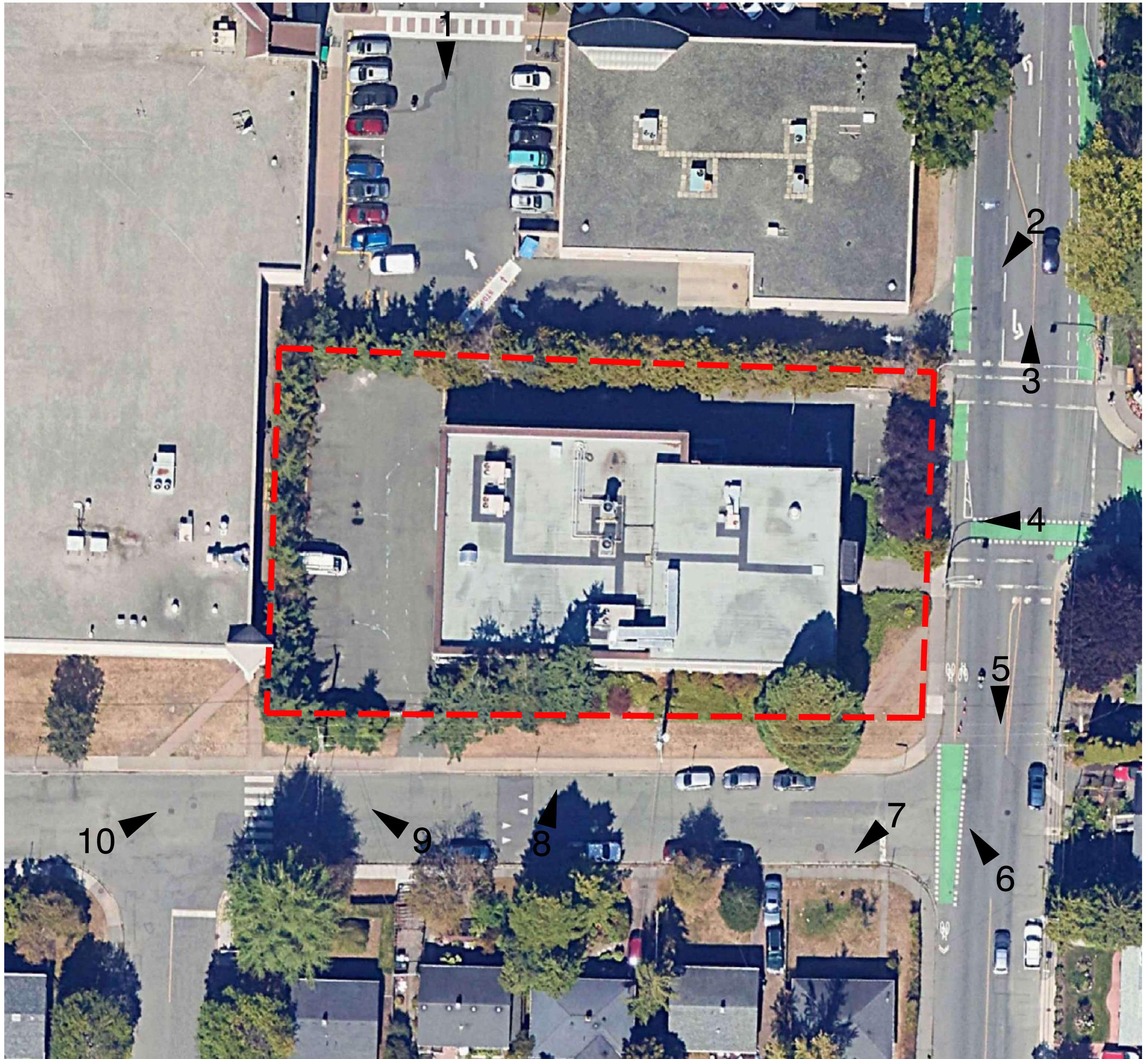
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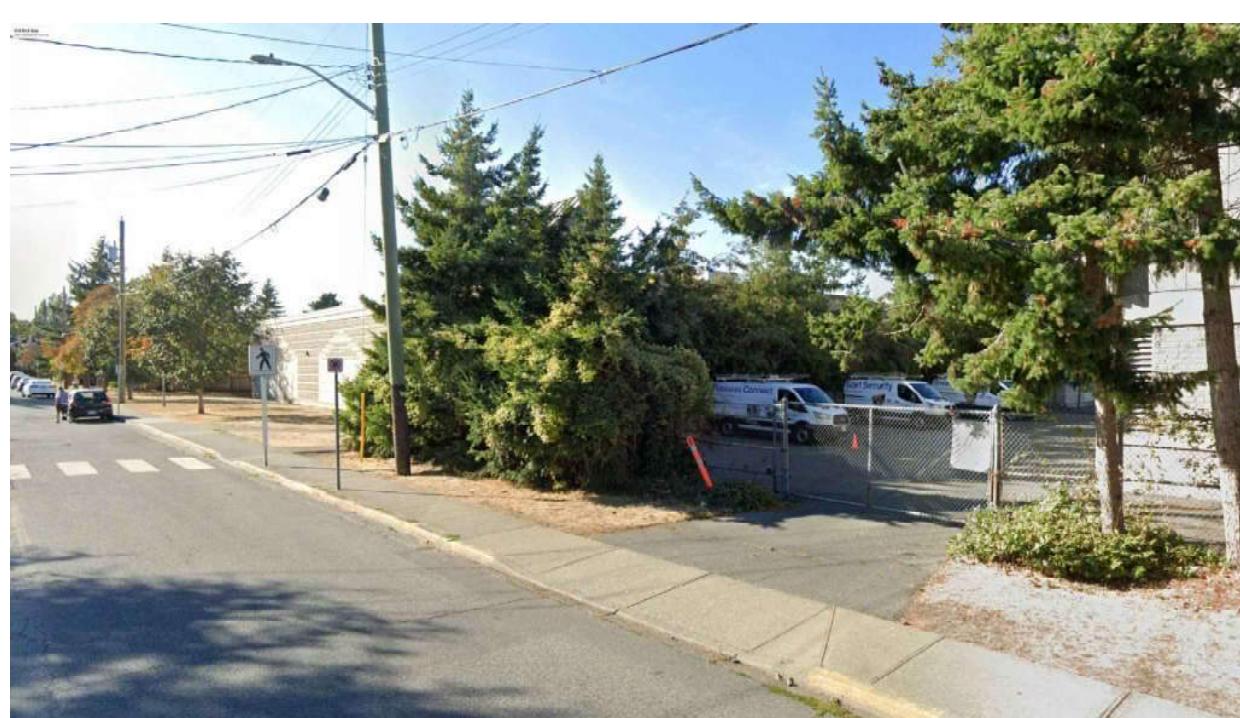
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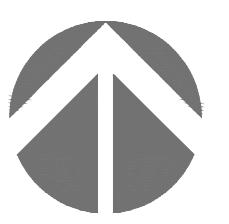


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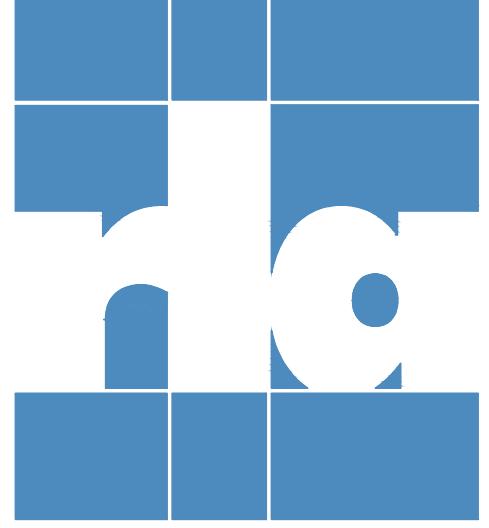


10

Photos of Existing Site Condition



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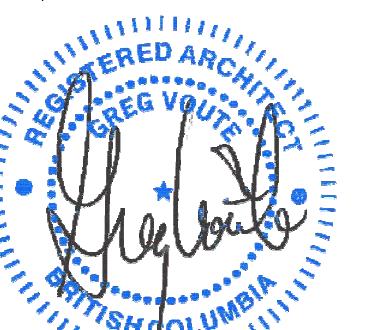
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Project 1908 FOUL BAY Multi-Unit Residential



Survey

Scale: N/A
December 15, 2025



BOURCHIER STREET

FOUL BAY ROAD

PLAN VIP55305

PLAN VIP26773

Building Peak Elevation = 26.74m

LEGEND

- denotes catchbasin
- denotes catchbasin/manhole
- denotes drain manhole
- denotes water manhole
- denotes water meter
- denotes unknown utility
- denotes communications manhole
- denotes hydro pole with light
- denotes hydro pole with transformer
- denotes pole anchor
- denotes streetlight davit
- denotes unknown utility manhole
- denotes sign
- denotes stubout
- denotes traffic signal pole
- denotes fence
- denotes overhead wire
- denotes building outline
- denotes concrete pad
- denotes sidewalk
- denotes edge of pavement
- denotes non-mountable curb
- denotes curb letdown
- denotes coniferous tree
- denotes deciduous tree
- denotes monitoring well, elevation
- denotes property line

The intended plot size of this plan is 594mm in width by 420mm in height (ISO A2 size) when plotted at a scale of 1:250

All distances are in metres and decimals thereof.

Legal Description:
LOT 1, SECTION 76, VICTORIA DISTRICT, PLAN 26773

PID: 002-426-137
Date of Field Survey: March 10th, 2023.
Vertical Datum CGVD28 (HTV2.0).

Tree symbols are diagrammatic only to show relative sizes.

Overhead lines are diagrammatic only and may not include all connections.

Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.

This plan represents the best information available at the time of survey. GeoVerra Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

Certified Correct this 27th day of April, 2023
Digitally signed by Anna
Niraz
Niraz.V9T5V
Date: 2023.04.27
11:47:58-07:00

						CLIENT:	LEDCOR PROPERTY INVESTMENTS LTD.
0	2023-04-20	ORIGINAL PLAN PREPARED		KH	MLE		
ISS/REV	YYYY-MM-DD	DESCRIPTION		DRN	CHK	CLIENT REF. NO:	



795 Market Street
Victoria, BC • V8T 0B4
t: 250-342-9767 • www.geoverra.com

PROJECT: 1908 FOUL BAY ROAD	TITLE: SITE PLAN
PROJECT NO: 23-00890-001	
SCALE: As-Noted	DRAWING NO: 23-00890-001-SK01-R0
DISCIPLINE: GEOMATICS	SHEET NO: 1 of 1

Survey

Development Statistics

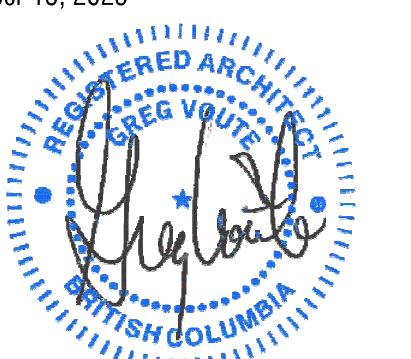
TELUS LIVING		Development Statistics:		updated	2025-12-15
Project Address:	1908 Foul Bay, Victoria, BC				
Zoning:					
Current:	City of Victoria	TCD-1 Zoning	(Single Family Dwelling District)		
Proposed:			New Zone		
Site Stats					
Site Area	28,105 sf	2,611.04 sm			
Dedication Area	1,185 sf	110.09 sm			
Post Dedication, Net Site Area	26,920 sf	2,500.95 sm			
	Max Allowable	Proposed			
Site Coverage	80%	84%			
Floor Space Ratio (FSR)	sf	2.52	67,870 sf (6 storeys)	6,305 sm	
Units Mix					
Units	Mix	Units	Size	Units	Total
S Studio	7%	434 sf	6	2,604 sf	Studio 7%
A1 1 Bedroom	30%	530 sf	26	13,780 sf	1 Bedroom 43%
A2 1 Bedroom + Flex	14%	656 sf	12	7,872 sf	
A2e 1 Bedroom	6%	581 sf	5	2,905 sf	1 Bedroom + Flex 14%
A2ap 1 Bedroom (adaptable)	7%	581 sf	6	3,486 sf	
B1 2 Bedroom 2 Bath	5%	798 sf	4	3,192 sf	2 Bedroom
B2 2 Bedroom 2 Bath	7%	852 sf	6	5,112 sf	23%
C2 2 Bedroom 2 Bath Corner	11%	797 sf	10	7,970 sf	
D1 3 Bedroom 2 Bath Corner	7%	991 sf	6	5,946 sf	3 Bedroom
D2 3 Bedroom 2 Bath Corner	7%	1090 sf	6	6,540 sf	14%
	100%				
Total GFA	Average net Unit size	683 sf	87	59,407 sf	
				71,694 sf	
			Efficiency	83%	100%
Parking					
Car Parking	Required Residential (Core Area)	Units	Required Stalls	Proposed	Parking Area
45 sm (484 sf)	< 45 sm (484 sf)	0.60 /unit	6	4	22,552 sf
	< 70 sm (753 sf)	0.70 /unit	49	34	2,095.1 m ²
	> 70 sm (753 sf)	1.10 /unit	32	35	
		87	Total	73	54
	Required Accessible	2 cars / 51-75 spaces	2 incl'd above	2 incl'd above	
	Required Van Accessible	1 car / 51-75 spaces	1 incl'd above	1 incl'd above	
	Total Residential Cars			73	54
	Required Visitor	0.10 /unit	87	9	7
	Required Visitor Accessible	0 cars / 6-25 visitor spaces	0 incl'd above	0 incl'd above	
	Required Visitor Van Accessible	1 car / 6-25 visitor spaces	1 incl'd above	1 incl'd above	
	Total Visitors Parking			9	7
		Total		82	0.94 61 0.70
Long Term Bike Parking	Required			Proposed	
	< 45 sm (484 sf)	1.00 /unit	6	6	
	> 45 sm (484 sf)	1.25 /unit	81	101	
		Total		107	108
Short Bike Parking	Required				
Greater of	6 or	0.1 /unit	87	9	8

RENTAL APARTMENT UNITS		Parking	Main Floor	2nd Floor	3rd Floor	4th Floor	5th Floor	6th Floor	Total Units	Unit Area	Total Area	Unit Mix
S Studio			1	1	1	1	1	1	6	434 SF	2,604 SF	7%
A1 1 Bedroom			5	5	4	4	4	4	26	530 SF	13,780 SF	30%
A2 1 Bedroom + Flex			2	2	2	2	2	2	12	656 SF	7,872 SF	14%
A2e 1 Bedroom			0	1	1	1	1	1	5	581 SF	2,905 SF	6%
A2ap 1 Bedroom (adaptable)			1	1	1	1	1	1	6	581 SF	3,486 SF	7%
B1 2 Bedroom 2 Bath			0	0	1	1	1	1	4	798 SF	3,192 SF	5%
B2 2 Bedroom 2 Bath			1	1	1	1	1	1	6	852 SF	5,112 SF	7%
C2 2 Bedroom 2 Bath Corner			0	2	2	2	2	2	10	797 SF	7,970 SF	11%
D1 3 Bedroom 2 Bath Corner			1	1	1	1	1	1	6	991 SF	5,946 SF	7%
D2 3 Bedroom 2 Bath Corner			1	1	1	1	1	1	6	1,090 SF	6,540 SF	7%
	#UNIT / FLOOR		12	15	15	15	15	15	87	Avg Unit		
	UNIT AREA/FLOOR		7,910 SF	10,085 SF	10,353 SF	10,353 SF	10,353 SF	10,353 SF	683 SF	59,407 SF	100%	net
	Common Area		1,242 SF	1,269 SF	1,272 SF	1,272 SF	1,272 SF	1,272 SF		7,599 SF		
	Entry Lobby (Open to 2nd Floor)		271 SF	271 SF						542 SF		
	Amenity Room		593 SF							SF		
	Bike Rooms		1,583 SF									
	Exterior Wall		415 SF	311 SF	311 SF	311 SF	311 SF	311 SF		67,870 SF		
	FLOOR AREA (Excludes Bike Room and Exterior Wall) for FSR Calculation		10,016 SF	11,354 SF	11,625 SF	11,625 SF	11,625 SF	11,625 SF				
	GROSS FLOOR AREA (excludes ground floor bike rooms)		12,014 SF	11,936 SF	11,936 SF	11,936 SF	11,936 SF	11,936 SF		71,694 SF		
	NET EFFICIENCY		66 %	84 %	87 %	87 %	87 %	87 %		83 %		
	Unit area over Gross Floor Area											
	FSR		930.5 sm	1054.8 sm	1080.0 sm	1080.0 sm	1080.0 sm	1080.0 sm		6305.3 sm		
RESIDENTIAL UNIT MIX SUMMARY		Mix %	Units									
S	Studio	7%	6									
A1 A2e A2ap	One Bedroom	49%	43									
A2	One Bedroom Flex	7%	6									
B1 B2 C2	Two Bedroom	23%	20									
D1 D2	Three Bedroom	14%	12									



Development Statistics

Scale: N/A
December 15, 2025



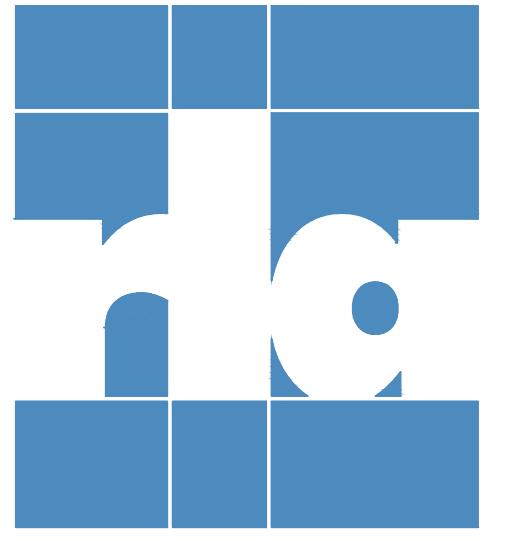
Development Statistics

A-0.06



Aerial View of Proposed Building in Relation to Flanking Buildings

A-0.07



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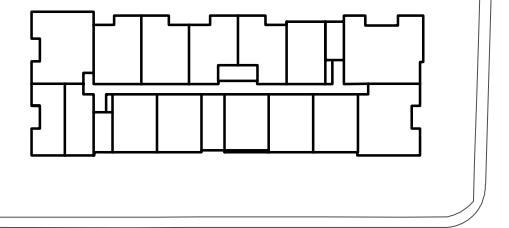
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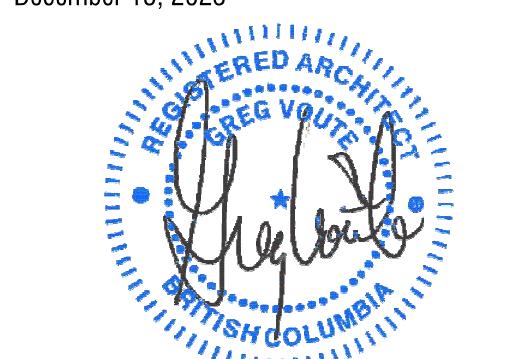
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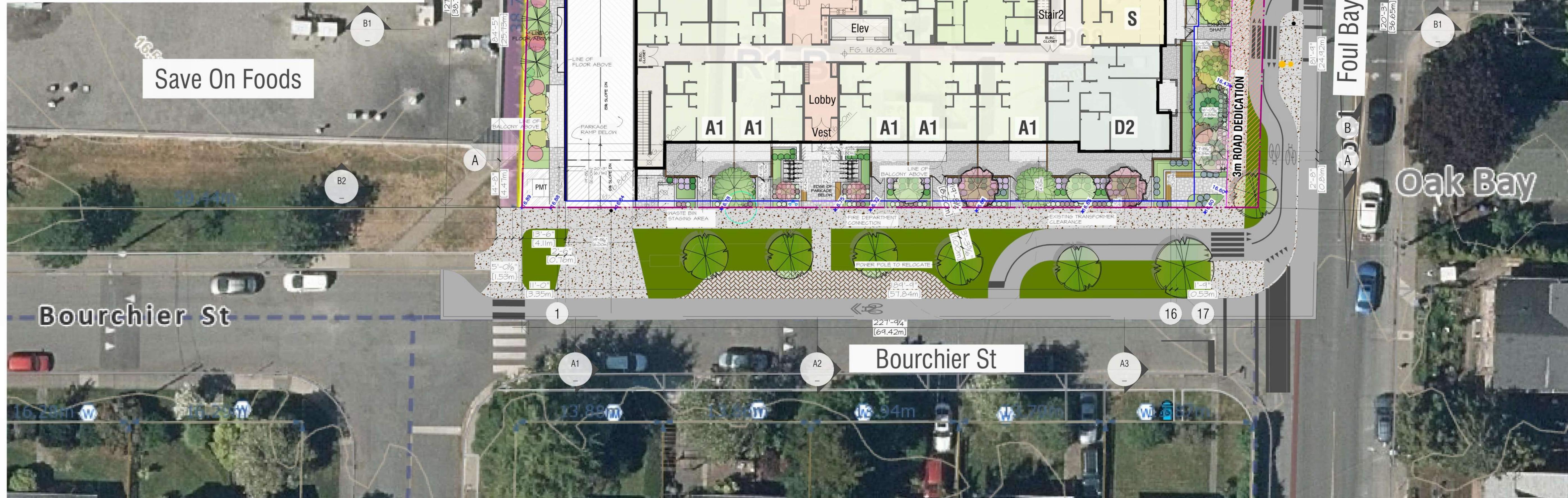


Context Aerial View

Scale:
December 15, 2025



PROJECT INFORMATION TABLE		
	Proposal	Zone Standard (TCD-1)
Site area (m ²)	2,611.04 m ²	
Site area (m ²) post dedication	2,500.95 m ²	
Total floor area (m ²)	6,305.33 m ²	
Commercial floor area (m ²)	N/A	
Floor space ratio	2.52	1.6
Site coverage (%) (includes parkade)	83.8%	80%
Open site space (%)	16.2%	6%
Height of building (m)	20.79 m	14 m
Number of storeys	6	8
Parking stalls (number) on site	61	73
Bicycle parking number (Class 1 and Class 2)	8	9
Building Setbacks (m)		
Front yard (South Side Bouchier Street)	2.77m	0 m
Rear yard (North Side)	1.98m	6 m
Side yard (East Side Foul Bay Road)	5.14m	0 m
Side yard (West Side)	1.59m	0 m
Combined side yards	N/A	
Residential Use Details		
Total number of units	87	
Unit type, e.g., 1-bedroom	Studio, 1-bedroom, 2-bedroom, 3-bedroom	
Ground-oriented units	12	
Minimum unit floor area (m ²)	40 m ²	
Total residential floor area (m ²)	5,525 m ²	



Site Plan & Project Information

A-1.01

rcg
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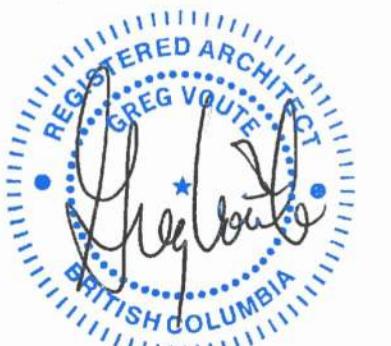
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Site Plan

Scale: 1:200
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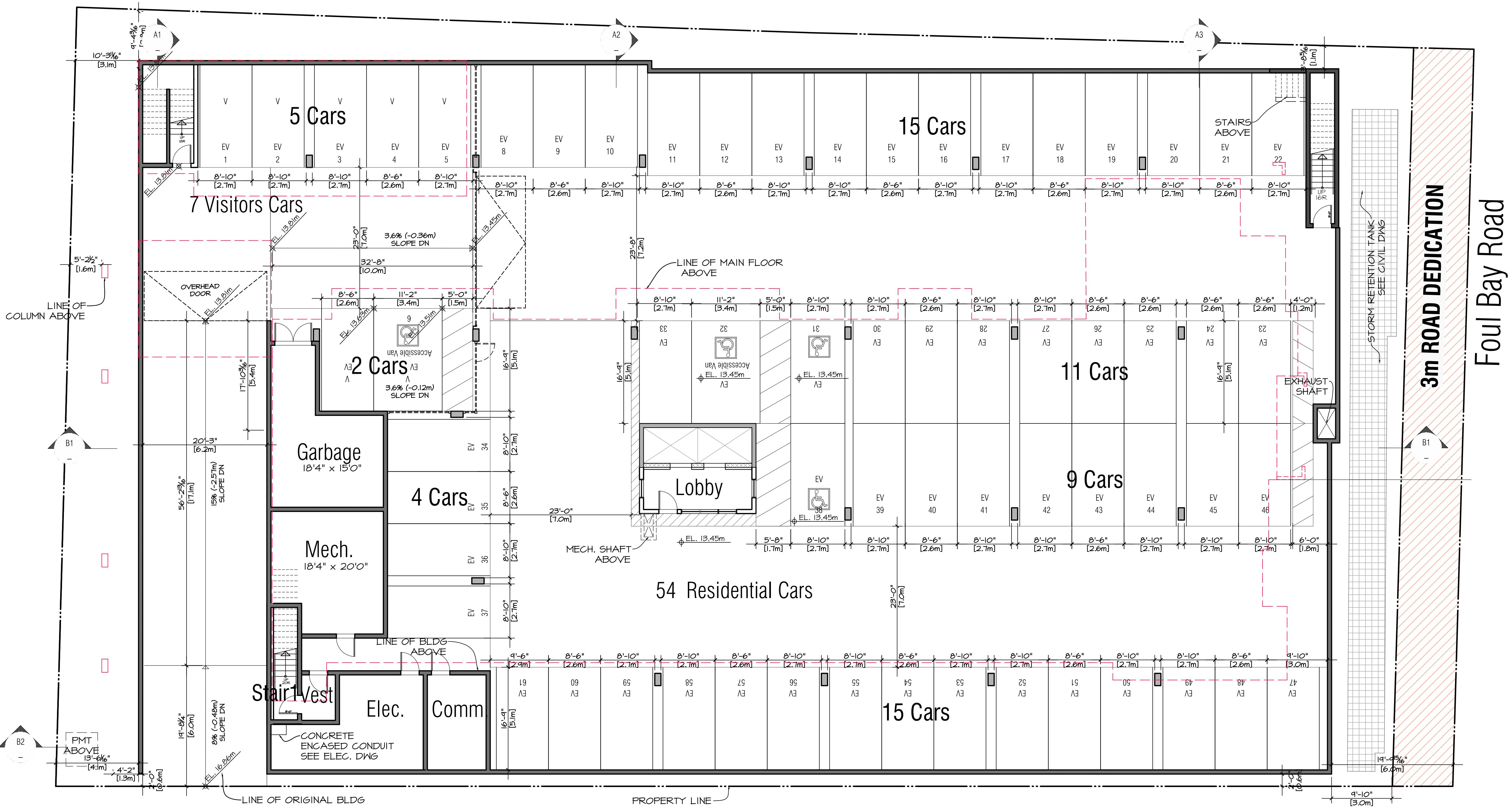


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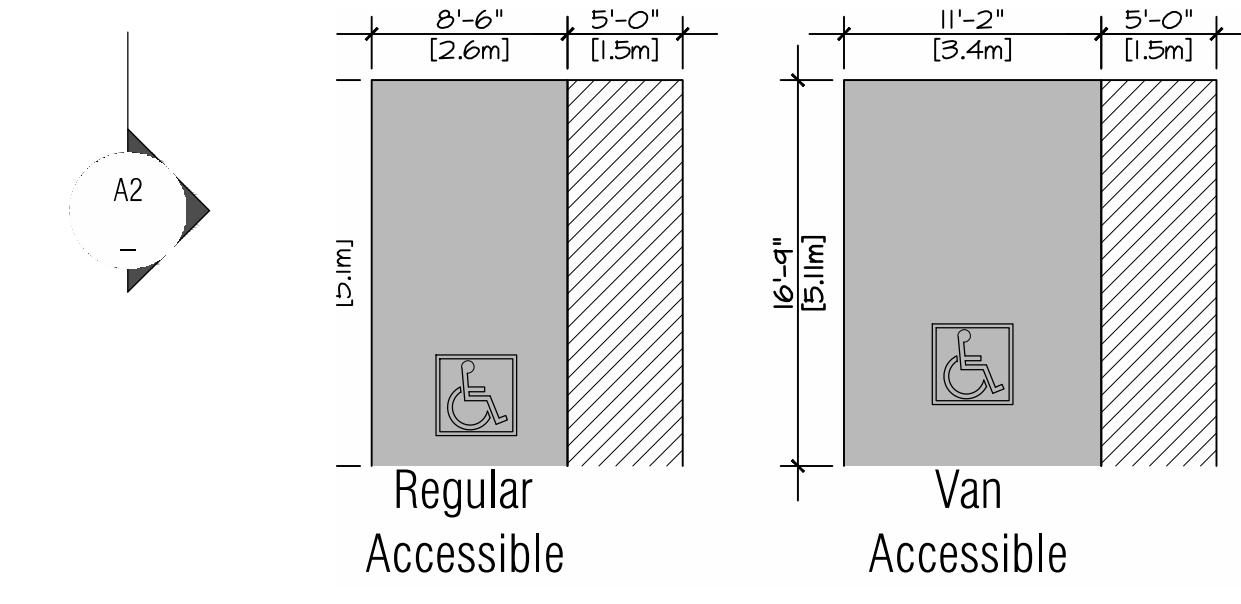
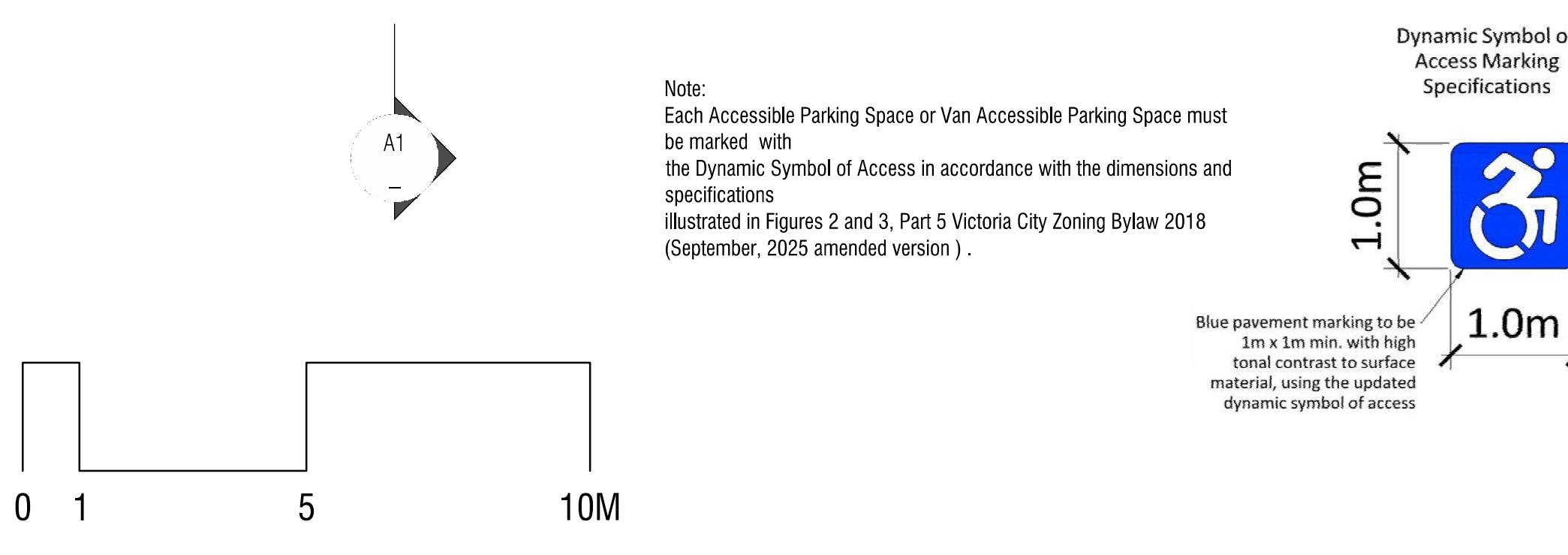
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 Multi-Unit Residential



P1 Parking Level Plan
 Scale: 1:100
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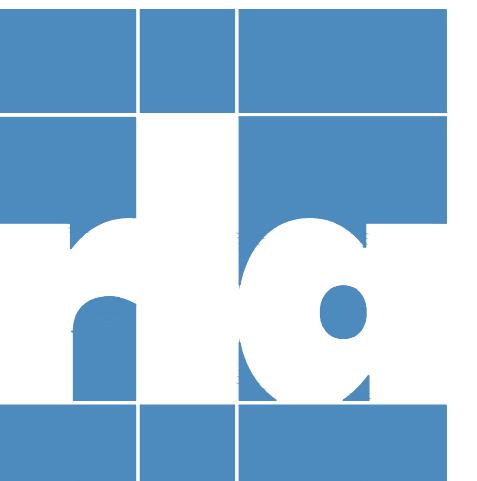


Bourchier Street



P1 Parking Level Plan

A-2.01



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3m ROAD DEDICATION

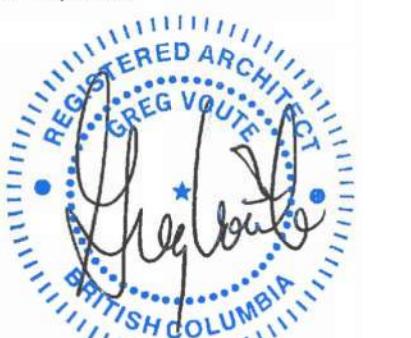
1908 FOUL BAY
Multi-Unit Residential

TELUS living



Typical Floor Plan

Scale: 1:100
December 15, 2025

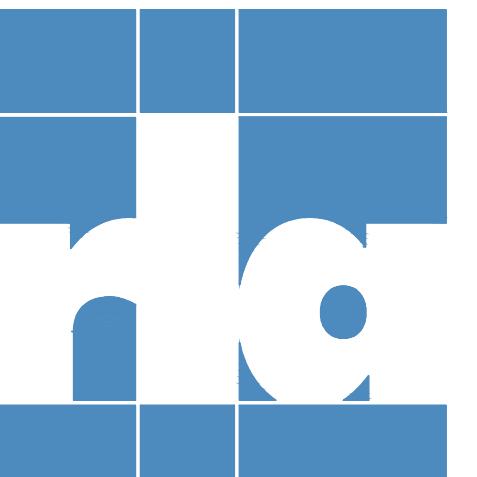


Level 2 Floor Plan



A-2.03





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1908 FOUL BAY
Multi-Unit Residential

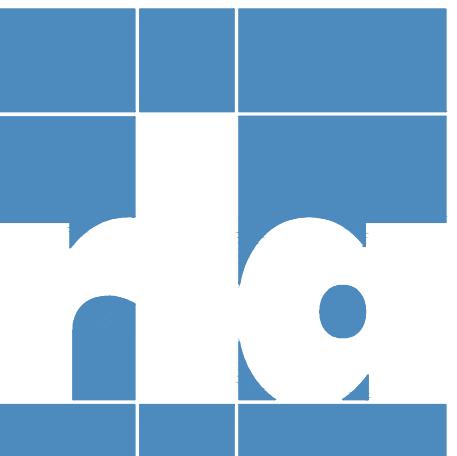
TELUS living



Scale:
December 15, 2025



A-2.04



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For

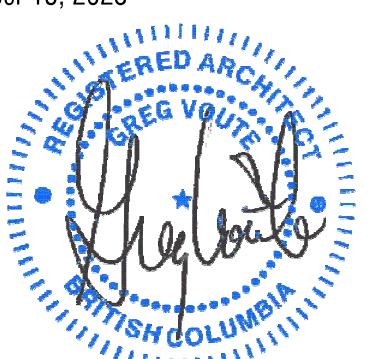
Project
1908 FOUL BAY
Multi-Unit Residential

TELUS living

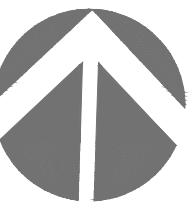


Roof Plan

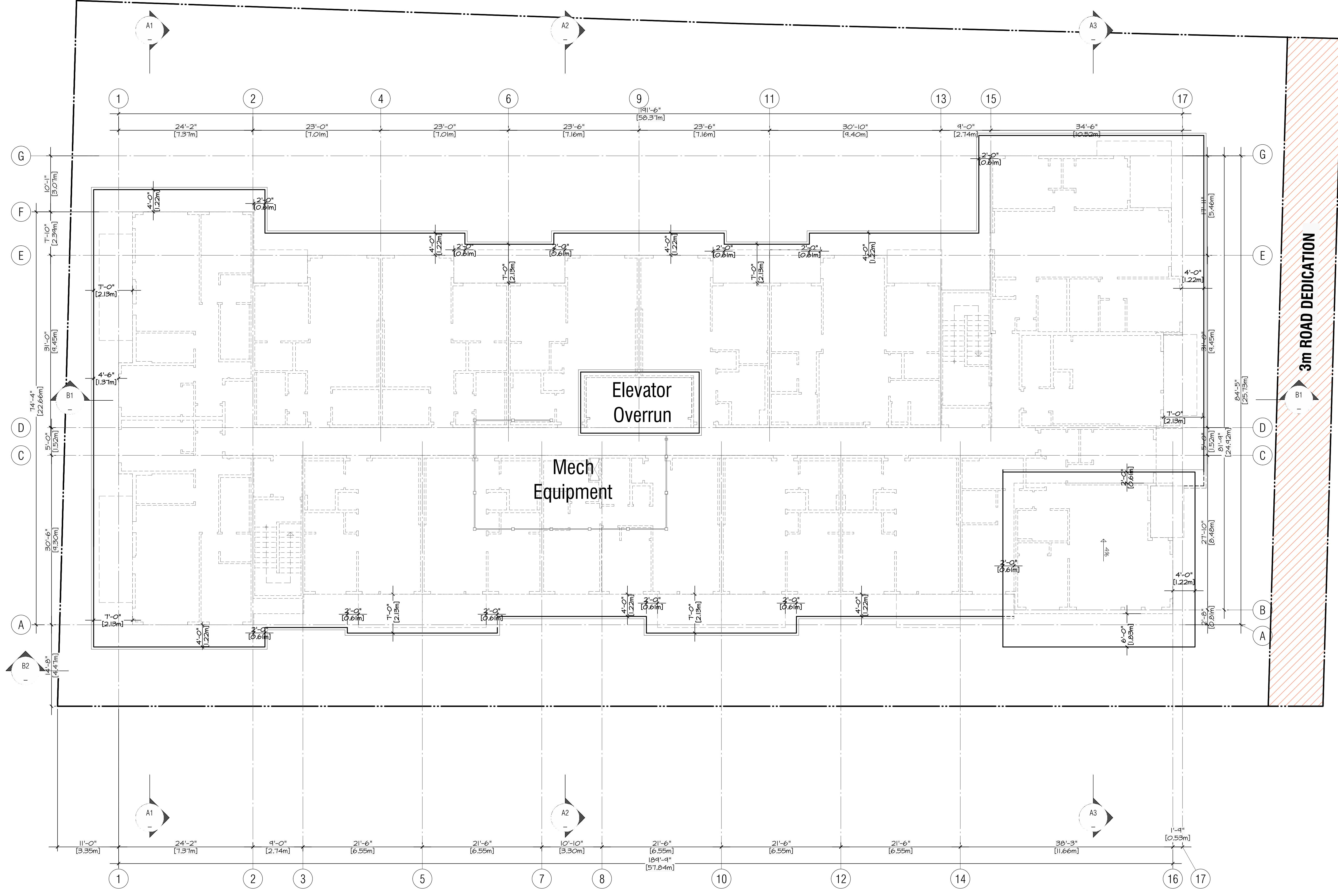
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December 15, 2025



Roof Plan



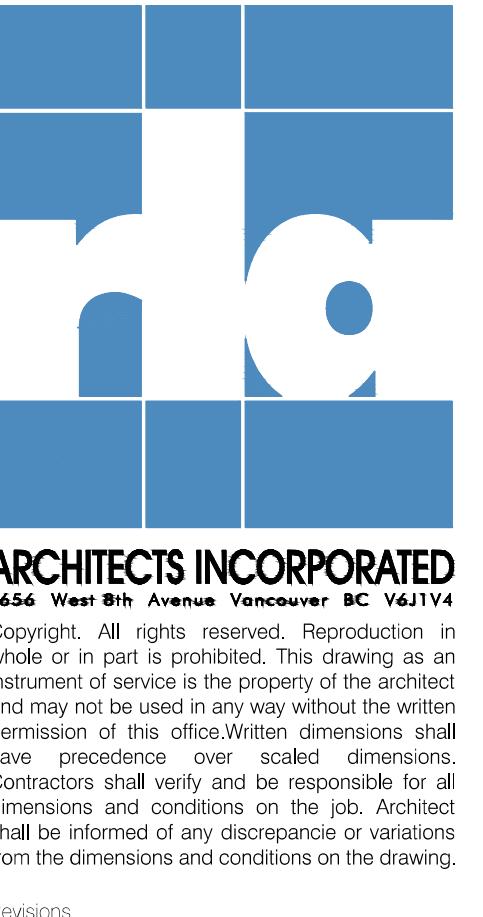
A-2.05



Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1 Roofing
2-Ply SBS Roofing, Light Grey
- 4 Soffit: Typical - Light Grey
Fibre Cement
B.M. HC-169 - Conventry Grey
- 7 Panels: Rust Red
Fibre Cement Panels
Woodtone: Rosewood
- 9b Panels: Light Gray
Fibre Cement Vertical Board & Batten
B.M. HC-169 - Conventry Gray
- 12 Metal Flashing: Feature
Match Colour to Adjacent Material
- 15 Feature beams - Charcoal Grey
Fibre Cement Cladded
B.M. 2128-20 - Abyss
- 2 Fascia: Dark
Fibre Cement
B.C. HC-154 - Hale Navy
- 5 Soffit: Typical - Dark Grey
Fibre Cement
B.M. 2128-20 - Abyss
- 8 Ledgerstone:
Providence Ledgerstone
- 10 Windows: Vinyl Dark
Vinyl Window Frames, Charcoal Colour
- 13 Privacy Screens & Guards
Aluminum Frame & Glass Panel Guards and
Privacy Screens, Charcoal Colour
- 16 Architectural Concrete
Exposed Concrete (Painted At Parts of the
Building Envelope)
- 3 Soffit: Feature Wood
Fibre Cement, Wood-like Colour
- 6 Panels: Dark Grey
Fibre Cement Panels
B.M. 2128-20 - Abyss
- 9a Panels: Off White
Fibre Cement Vertical Board & Batten
B.M. OC-17 - White Dove
- 11 Windows: Curtain Wall
Aluminum Frames, Charcoal Colour
- 14 Metal Fence - Charcoal Grey
Aluminum Fence, Charcoal Colour
- 17 Sunshades - Charcoal Grey
Aluminum Frame, Charcoal Colour
- 18 Trims: Dark Grey
B.M. HC-178 Charcoal Slate



Revisions

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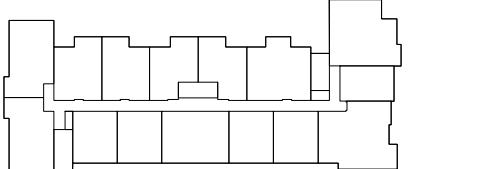
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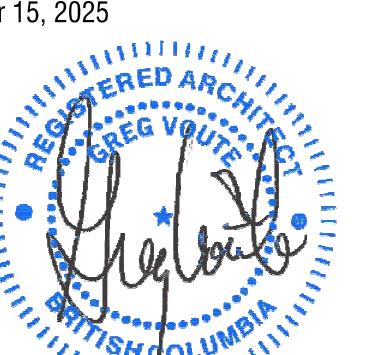
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Multi-Unit Residential

TELUS living

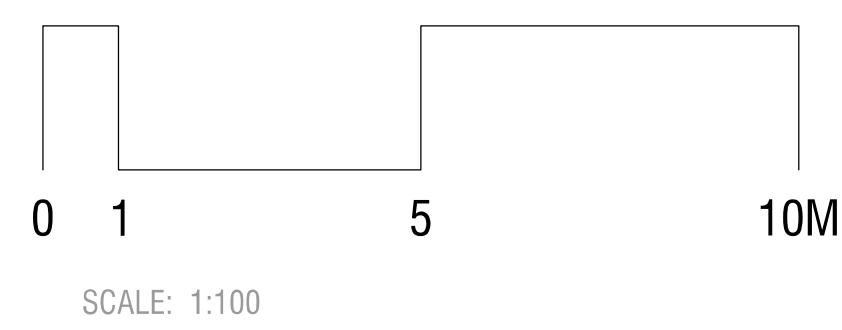


Elevations

Scale: 1:100
December 15, 2025



A-3.01



Elevation - South

Material Legend

Provide samples of all exterior colours & materials for review & approval

1 Roofing
2-PLY SBS Roofing, Light Grey

4 Soffit: Typical - Light Grey
Fibre Cement
B.M. HC-169 - Conventry Grey

7 Panels: Rust Red
Fibre Cement Panels
Woodtone: Rosewood

9b Panels: Light Gray
Fibre Cement Vertical Board & Batten
B.M. HC-169 - Conventry Gray

12 Metal Flashing: Feature
Match Colour to Adjacent Material

15 Feature beams - Charcoal Grey
Fibre Cement Cladded
B.M. 2128-20 - Abyss

18 Trims:Dark Grey
B.M. HC-178 Charcoal Slate

2 Fascia: Dark
Fibre Cement
B.C. HC-154 - Hale Navy

5 Soffit: Typical - Dark Grey
Fibre Cement
B.M. 2128-20 - Abyss

8 Ledgestone:
Providence Ledgestone

10 Windows: Vinyl Dark
Vinyl Window Frames, Charcoal Colour

13 Privacy Screens & Guards
Aluminum Frame & Glass Panel Guards and
Privacy Screens, Charcoal Colour

16 Architectural Concrete
Exposed Concrete (Painted At Parts of the
Building Envelope)

3 Soffit: Feature Wood
Fibre Cement, Wood-like Colour

6 Panels: Dark Grey
Fibre Cement Panels
B.M. 2128-20 - Abyss

9a Panels: Off White
Fibre Cement Vertical Board & Batten
B.M. OC-17 - White Dove

11 Windows: Curtain Wall
Aluminum Frames, Charcoal Colour

14 Metal Fence -Charcoal Grey
Aluminum Fence, Charcoal Colour

17 Sunshades - Charcoal Grey
Aluminum Frame, Charcoal Colour



Revisions

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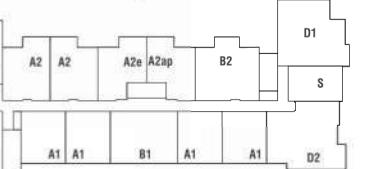
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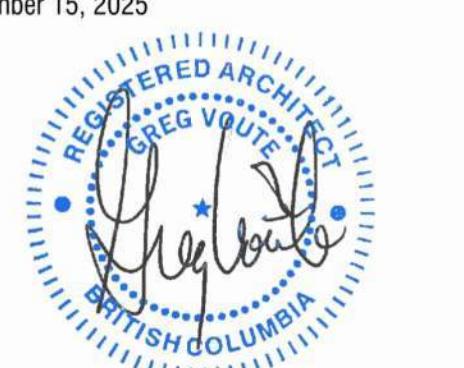
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Multi-Unit Residential

TELUS living



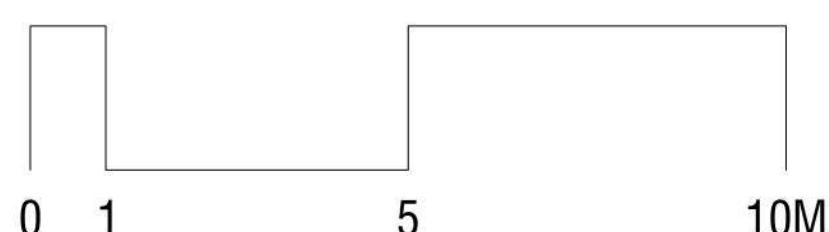
Elevations

Scale: 1:100
December 15, 2025



North Elevation

Elevation - North



SCALE: 1:100

A-3.02

Material Legend

1 Roofing
2-PLY SBS Roofing, Light Grey

2 Fascia: Dark
Fibre Cement
B.C. HC-154 - Hale Navy

3 Soffit: Feature Wood
Fibre Cement, Wood-like Colour

4 Soffit: Typical - Light Grey
Fibre Cement
B.M. HC-169 - Conventry Grey

5 Soffit: Typical - Dark Grey
Fibre Cement
B.M. 2128-20 - Abyss

6 Panels: Dark Grey
Fibre Cement Panels
B.M. 2128-20 - Abyss

7 Panels: Rust Red
Fibre Cement Panels
Woodtone: Rosewood

8 Ledgestone:
Providence Ledgestone

9a Panels: Off White
Fibre Cement Vertical Board & Batten
B.M. OC-17 - White Dove

9b Panels: Light Gray
Fibre Cement Vertical Board & Batten
B.M. HC-169 - Conventry Gray

10 Windows: Vinyl Dark
Vinyl Window Frames, Charcoal Colour

11 Windows: Curtain Wall
Aluminum Frames, Charcoal Colour

12 Metal Flashing: Feature
Match Colour to Adjacent Material

13 Privacy Screens & Guards
Aluminum Frame & Glass Panel Guards and
Privacy Screens, Charcoal Colour

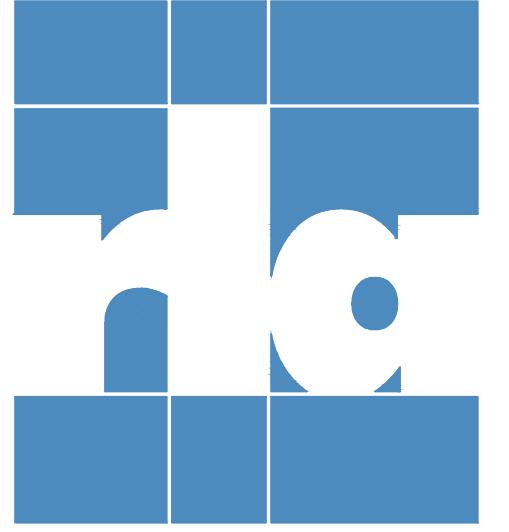
14 Metal Fence - Charcoal Grey
Aluminum Fence, Charcoal Colour

15 Feature beams - Charcoal Grey
Fibre Cement Cladded
B.M. 2128-20 - Abyss

16 Architectural Concrete
Exposed Concrete (Painted At Parts of the
Building Envelope)

17 Sunshades - Charcoal Grey
Aluminum Frame, Charcoal Colour

Provide samples of all exterior colours & materials for review & approval



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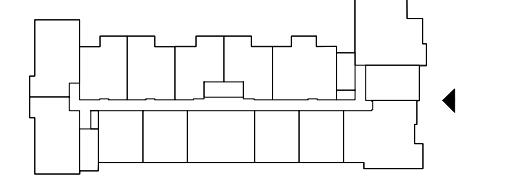
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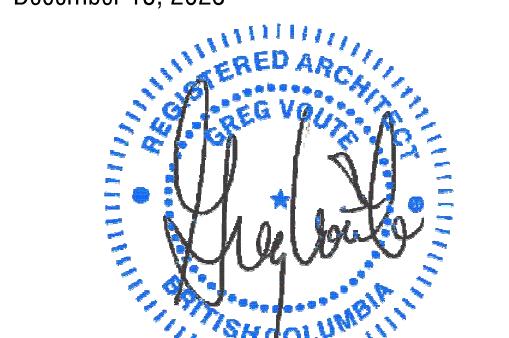
Project
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Multi-Unit Residential

TELUS living



Elevations

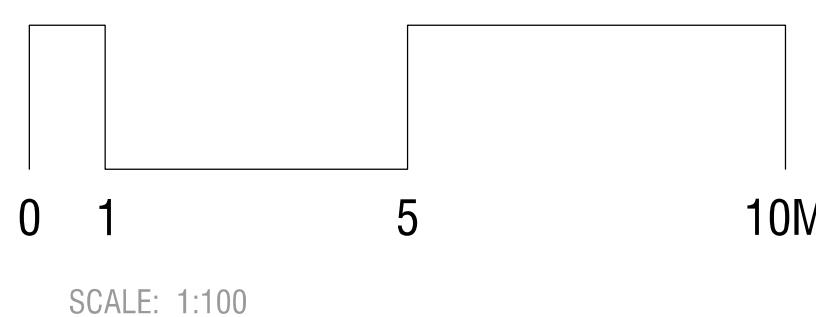
Scale: 1:100
December 15, 2025



A-3.03



East Elevation - Foul Bay Road



SCALE: 1:100

Elevation - East

Material Legend

1 Roofing
2-PLY SBS Roofing, Light Grey

2 Fascia: Dark
Fibre Cement
B.C. HC-154 - Hale Navy

3 Soffit: Feature Wood
Fibre Cement, Wood-like Colour

4 Soffit: Typical - Light Grey
Fibre Cement
B.M. HC-169 - Conventry Grey

5 Soffit: Typical - Dark Grey
Fibre Cement
B.M. 2128-20 - Abyss

6 Panels: Dark Grey
Fibre Cement Panels
B.M. 2128-20 - Abyss

7 Panels: Rust Red
Fibre Cement Panels
Woodtone: Rosewood

8 Ledgestone:
Providence Ledgestone

9a Panels: Off White
Fibre Cement Vertical Board & Batten
B.M. OC-17 - White Dove

9b Panels: Light Gray
Fibre Cement Vertical Board & Batten
B.M. HC-169 - Conventry Gray

10 Windows: Vinyl Dark
Vinyl Window Frames, Charcoal Colour

11 Windows: Curtain Wall
Aluminum Frames, Charcoal Colour

12 Metal Flashing: Feature
Match Colour to Adjacent Material

13 Privacy Screens & Guards
Aluminum Frame & Glass Panel Guards and
Privacy Screens, Charcoal Colour

14 Metal Fence - Charcoal Grey
Aluminum Fence, Charcoal Colour

15 Feature beams - Charcoal Grey
Fibre Cement Cladded
B.M. 2128-20 - Abyss

16 Architectural Concrete
Exposed Concrete (Painted At Parts of the
Building Envelope)

17 Sunshades - Charcoal Grey
Aluminum Frame, Charcoal Colour

Provide samples of all exterior colours & materials for review & approval



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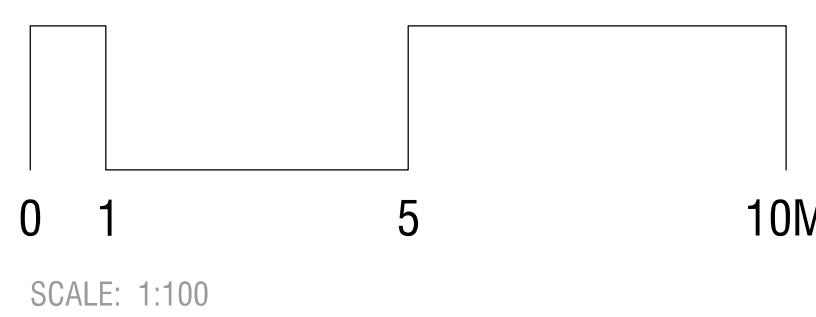
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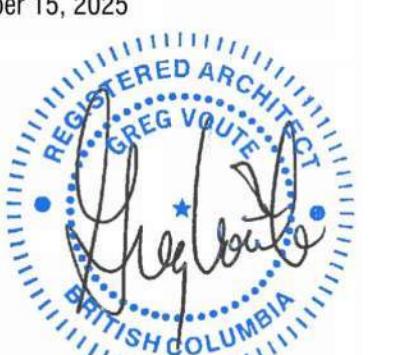


Elevation - West

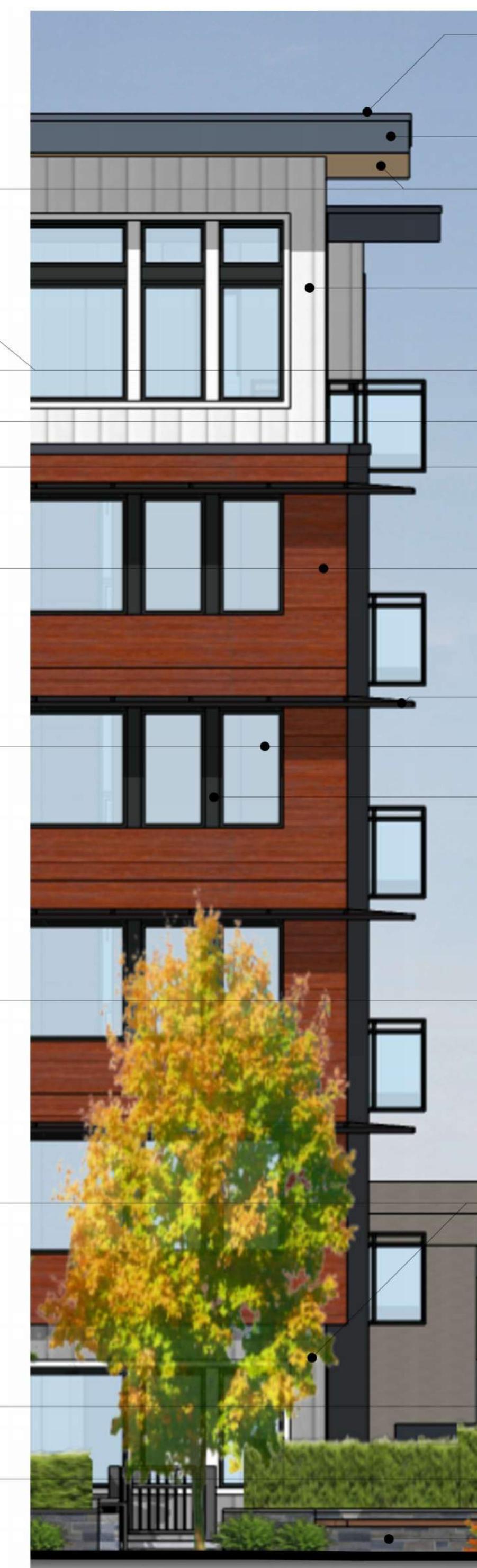


Elevations

Scale: 1:100
December 15, 2025



A-3.04



Roofing



1 Roofing
2-Ply SBS Roofing
Coloured Light Gray

Fascia - Dark Grey
Soffit - Feature Wood



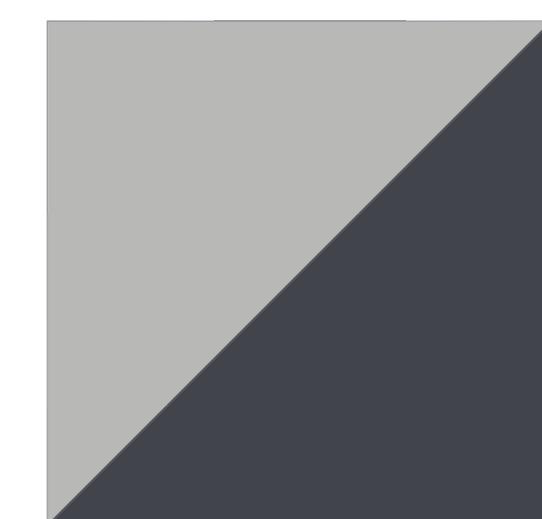
2 Fascia
Fibre Cement - Light Gray /Dark Gray
B.M. HC 154 - Hale Navy
Concealed Fasteners

Fiber Cement Vertical Board & Batten - Off White
Fiber Cement Wrapped Feature Beams



3 Soffit: Feature Wood
Wood-like Fibre Cement Board
6" Exposure, Pacific Sands Fisher Coating
Colour matched fasteners

Metal Guardrails
Panels -Dark Grey



4 Soffit
Fibre Cement -Light Gray /Dark Gray
B.M. HC-169 - Conventry Gray
B.M. 2128-20 - Abyss
Concealed Fasteners

Panels - Rust Red



6 Panels
Fibre Cement - Dark Gray
-B.M. 2128-20 - Abyss
Concealed Fasteners

Sunshades Charcoal Grey



7 Panels
Fibre Cement - Rust Red
Woodtone: Rosewood

Vinyl Windows - Dark
Trim - Dark



8 Ledgerstone
Provience Ledgerstone

Fiber Cement Panel-Wood Like



9a Panels
Fibre Cement- Off White / Light Gray
Vertical Board & Batten
B.M. OC-17 - White Dove
B.M. HC-169 - Conventry Gray

Fiber Cement Vertical Board & Batten - Conventry Gray

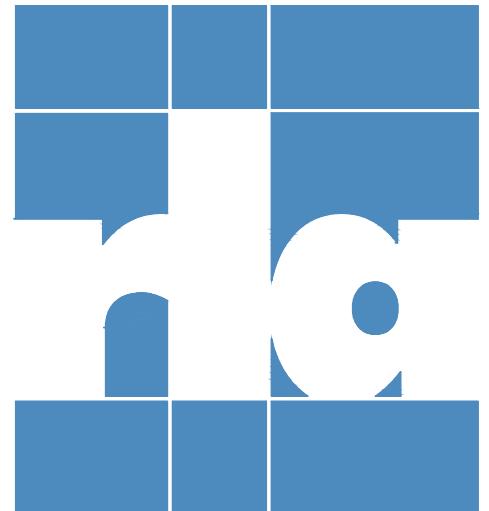


10 Vinyl Windows
High Performance Low-E
Dark Coloured - Dark Charcoal Vinyl

Windows: - Curtain Wall

Architectural Concrete

Providence Ledgerstone



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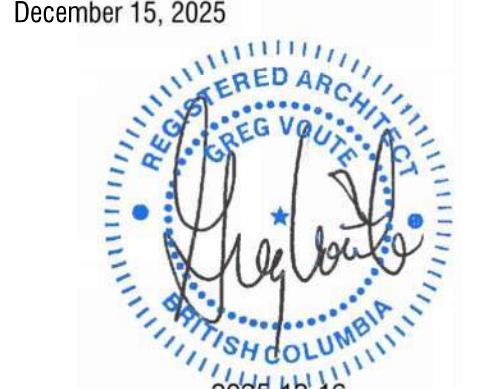
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1908 FOUL BAY
Multi-Unit Residential

TELUS living



Colour Material Board

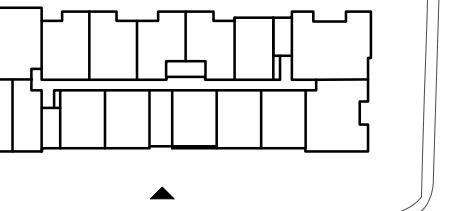
Scale: NTS
December 15, 2025



Colour Material Board

A-3.05

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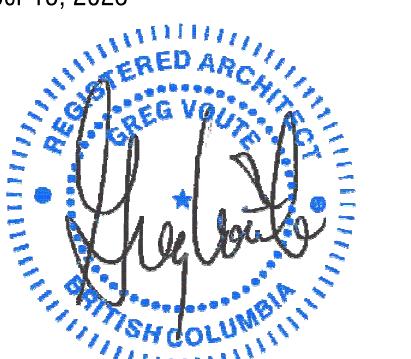


For
Project
1908 FOUL BAY
Multi-Unit Residential

TELUS living


FEDCOR
GROUP
Streetscape Elevations
South

Scale: 1:150
December 15, 2025



0 1 5 10M 15M
SCALE: 1:150

Streetscape Elevation - South

A-3.06

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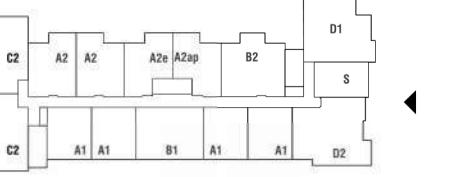
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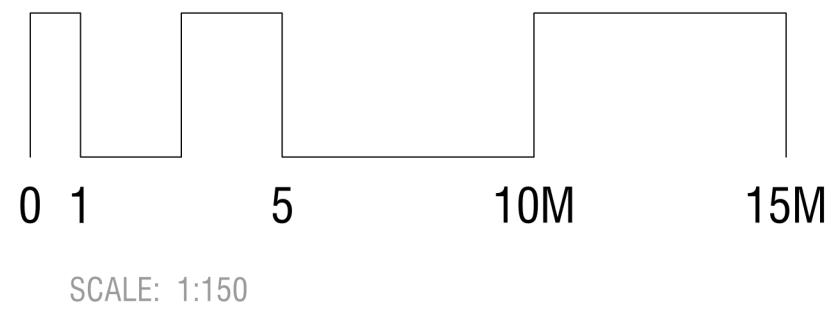
For

Project
1908 FOUL BAY
Multi-Unit Residential

TELUS living

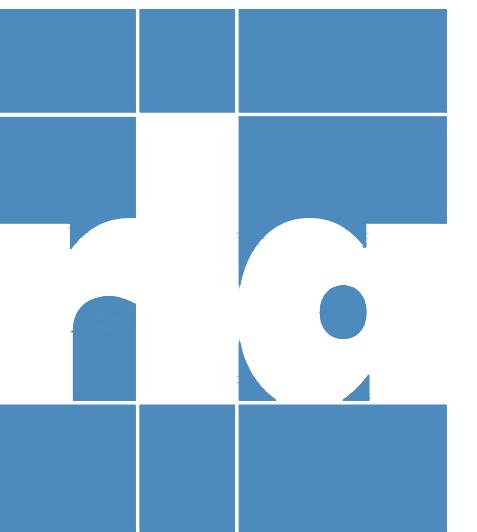

Ledcor
GROUP
Streetscape Elevations
East

Scale: 1:150
December 15, 2025



Streetscape Elevation - East

A-3.07



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A schematic diagram of a stepped surface, likely a crystal face, showing a series of horizontal steps. A horizontal arrow labeled 'B' points to the right, indicating the direction of the surface's edge or a specific measurement.

or
object
908 FOUL BAY

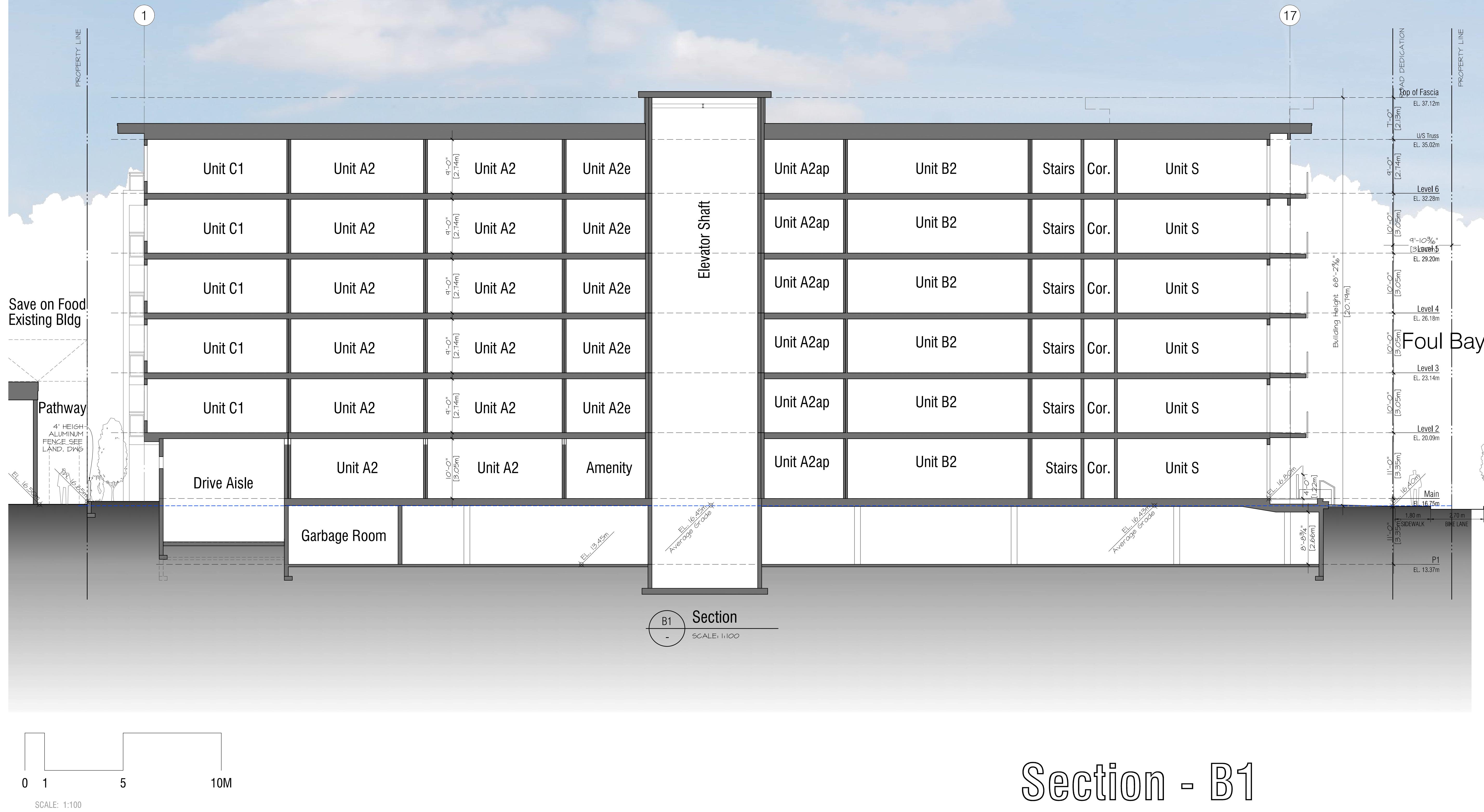
TELUS living

Sections

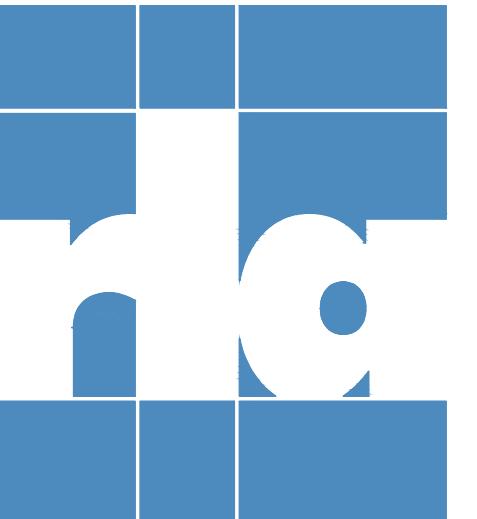
cale: 1:100
ecember 15, 2025



A-4.01
2025.12.16



Section - B1



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The diagram shows a stepped structure, likely a cross-section of a sample, with a vertical axis on the left. The structure consists of several rectangular blocks of varying heights arranged in a stepped pattern. A vertical line with a flag at the top is positioned to the left of the structure, with the label 'A1' above it. A vertical line with a flag at the bottom is also present.

908 FOUL BAY Multi-Unit Residential

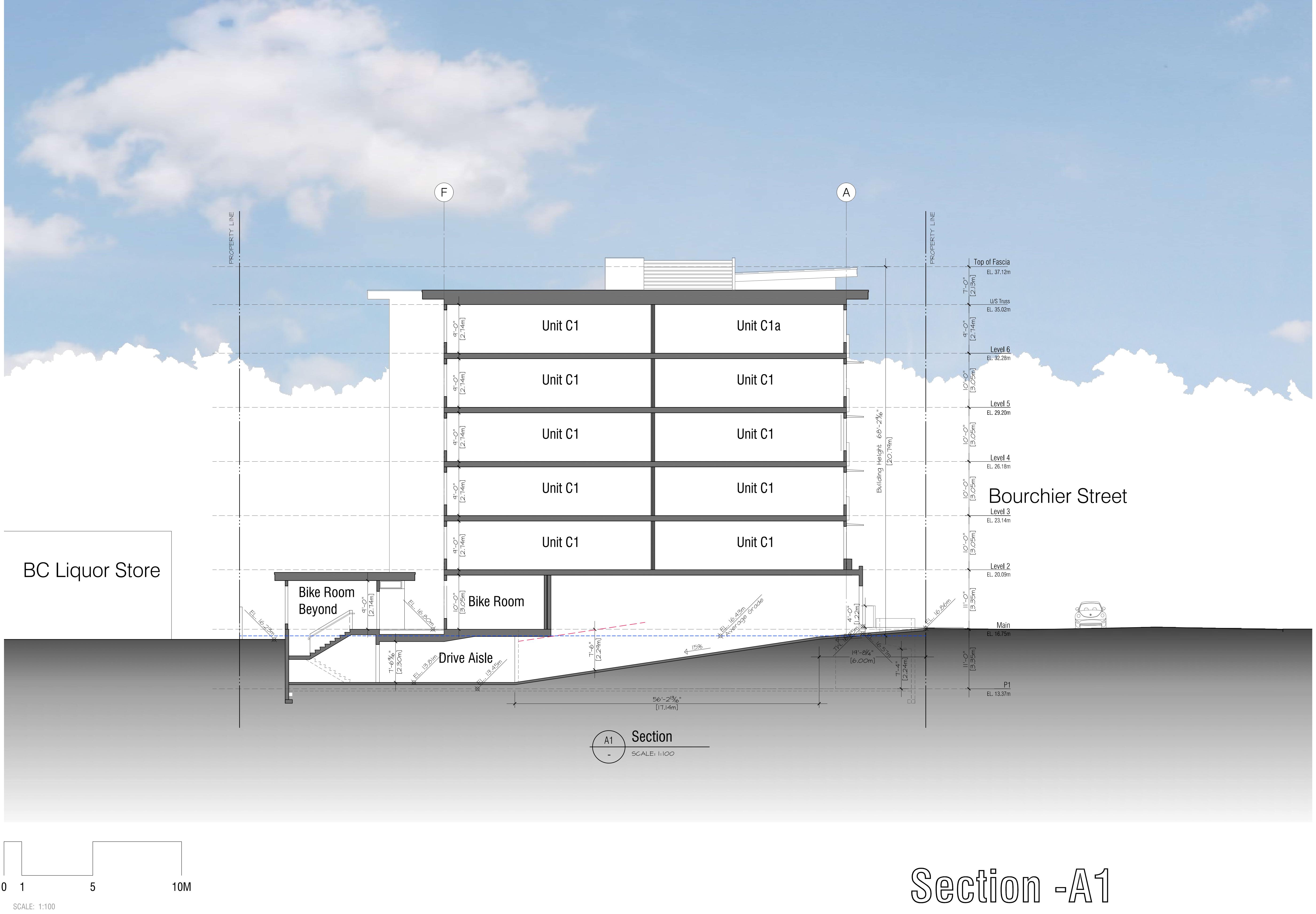
TELUS living

Sections

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ecember 15, 2025

Section -A1

A-4.02





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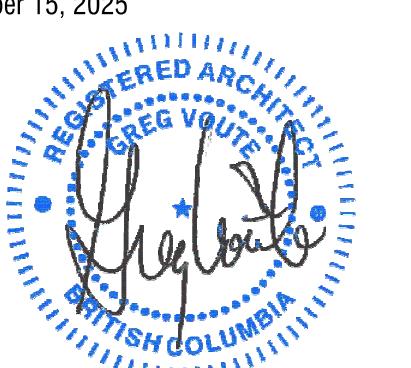
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908 FOUL BAY Multi-Unit Residential

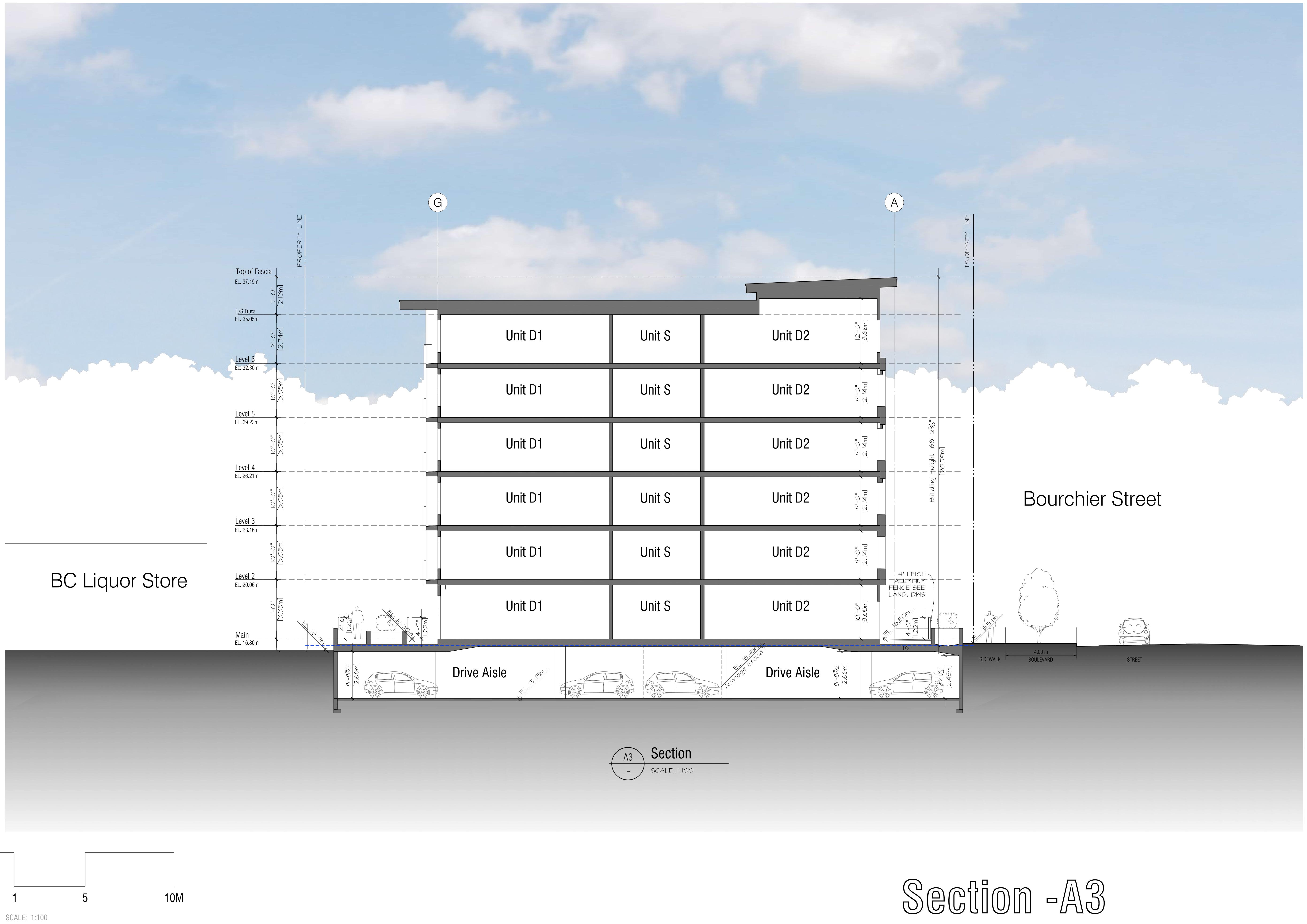


Sections

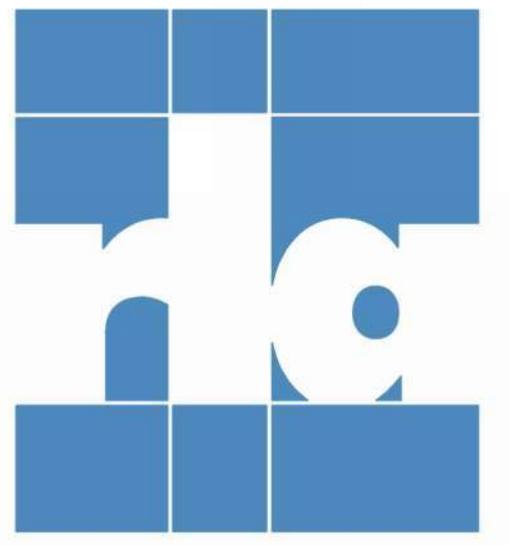
cale: 1:100
ecember 15, 2025



A-4.03



Section -A3



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Revisions

September 11, 2024
Pre-Application City Review

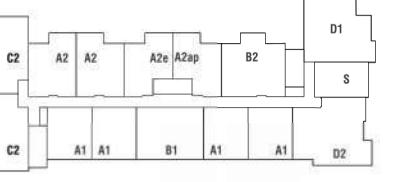
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For

Project
1908 FOUL BAY
Multi-Unit Residential

TELUS living



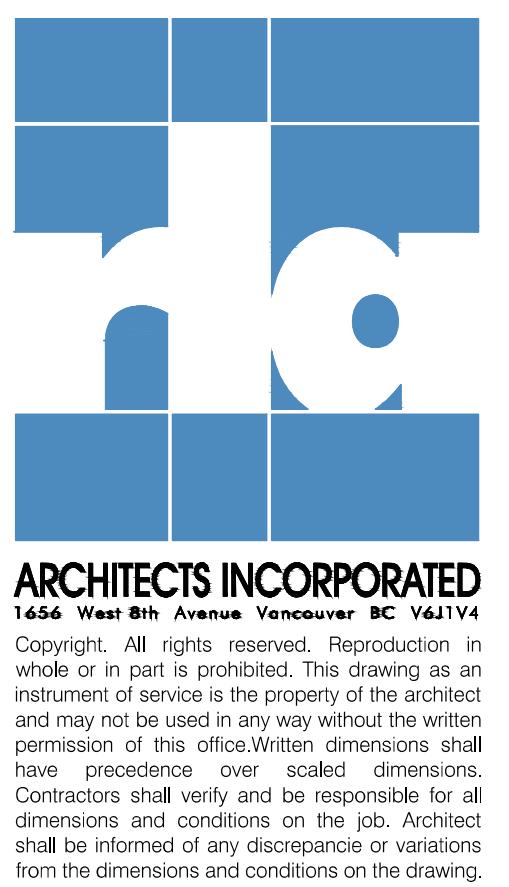
Views

Scale:
December 15, 2025



Concept Model View - SE corner-Bourchier

A-5.01



Revisions

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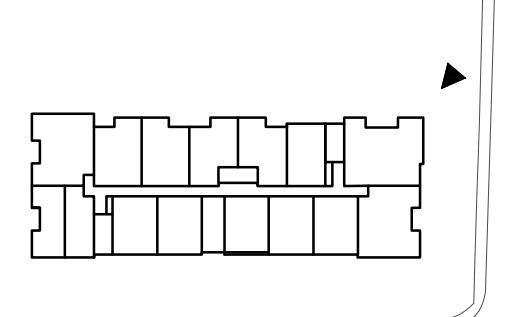
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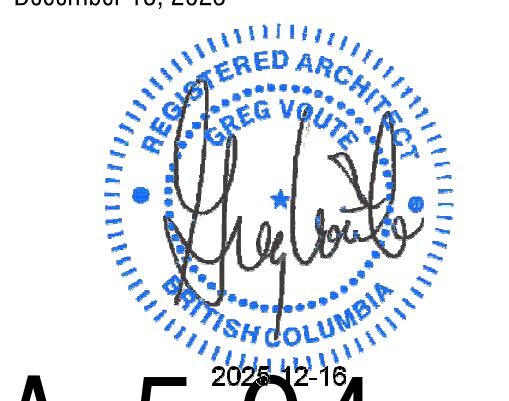
Project
1908 FOUL BAY
Multi-Unit Residential

TELUS living



Views

Scale:
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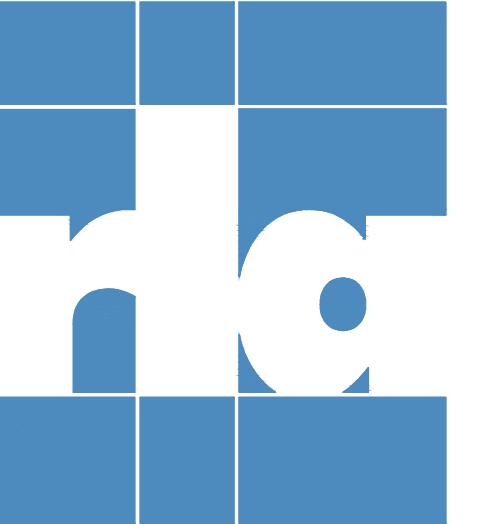


Concept Model View - NE-Foul Bay A-5.04



Concept Model View - Entry

A-5.05



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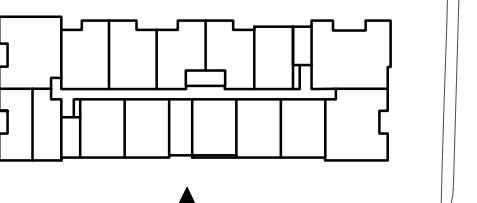
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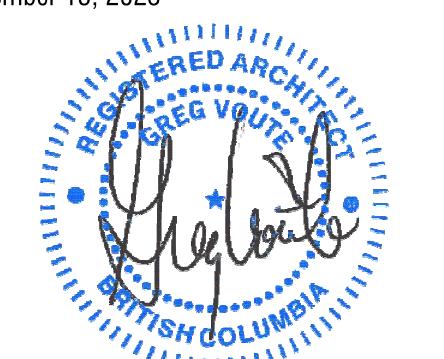
Project
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Views

Scale:
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September 11, 2024
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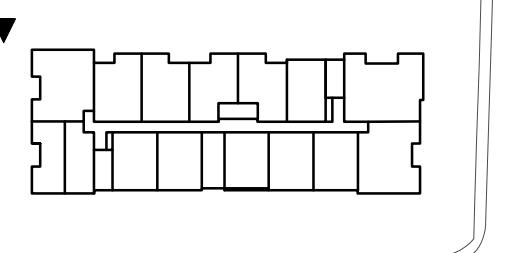
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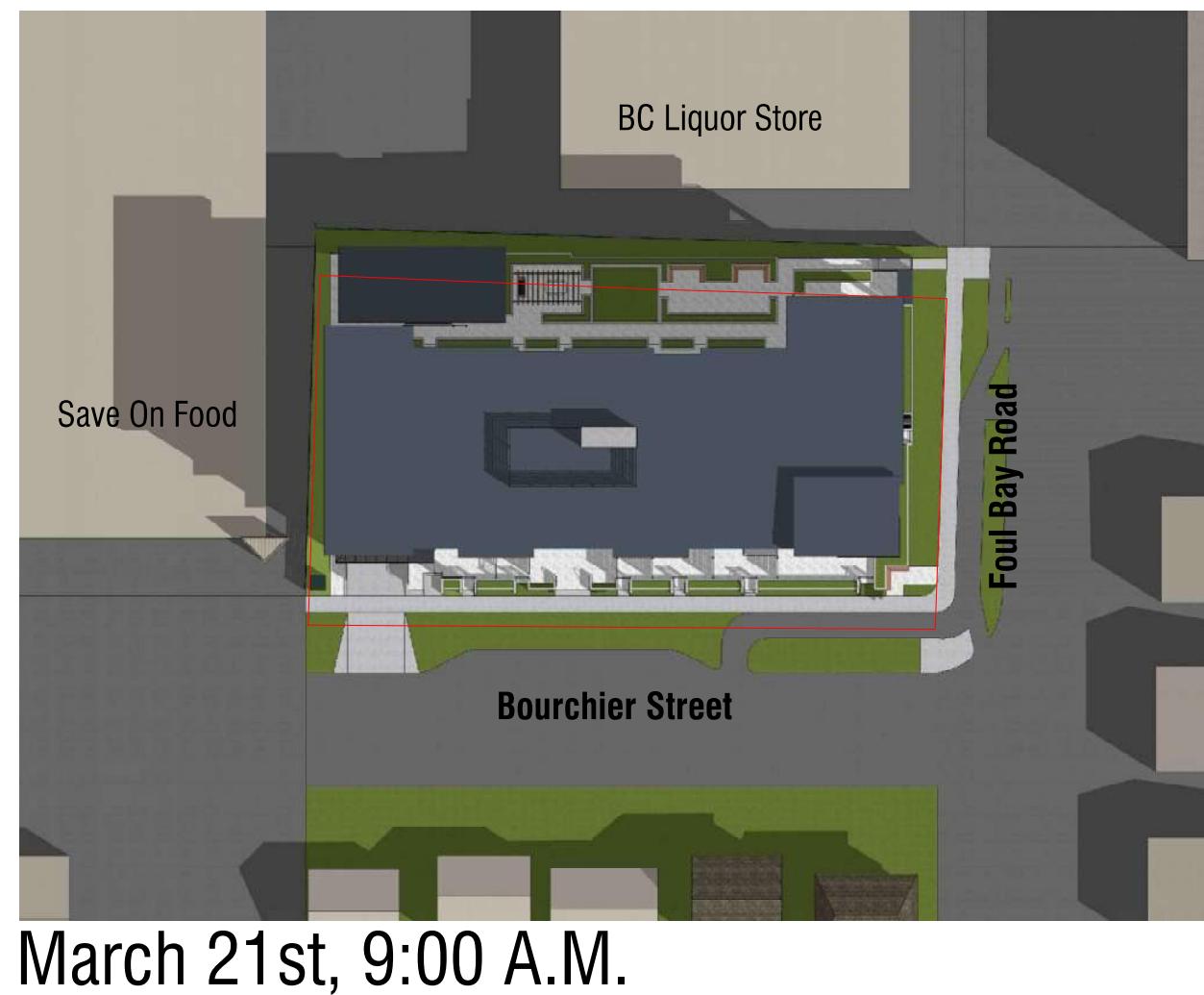
Views

Scale:
December 15, 2025



Pathway Concept Model View A-5.06

SPRING EQUINOX



March 21st, 9:00 A.M.



March 21st, 12:00 P.M.



March 21st, 3:00 P.M.

SUMMER SOLSTICE



June 21st, 9:00 A.M.



June 21st, 12:00 P.M.



June 21st, 3:00 P.M.

FALL EQUINOX



September 21st, 9:00 A.M.



September 21st, 12:00 P.M.



September 21st, 3:00 P.M.

WINTER SOLSTICE



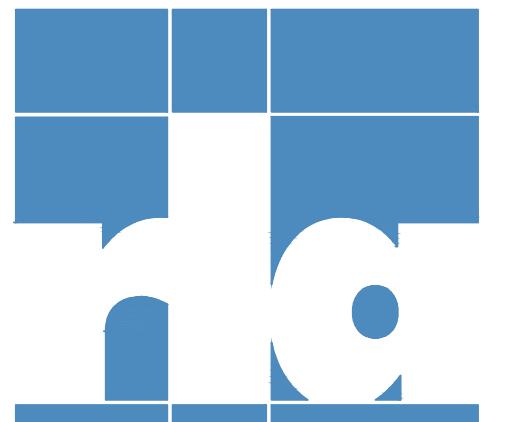
December 21st, 9:00 A.M.



December 21st, 12:00 P.M.



December 21st, 3:00 P.M.



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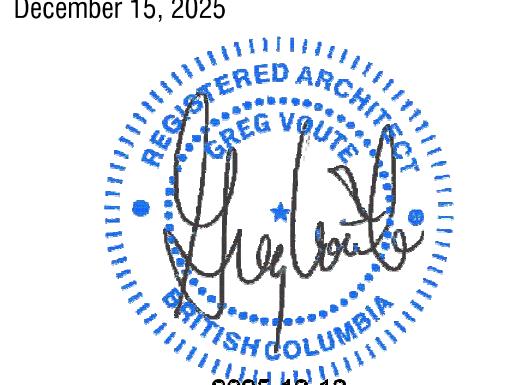
For

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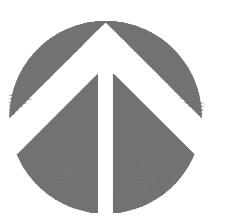
TELUS living



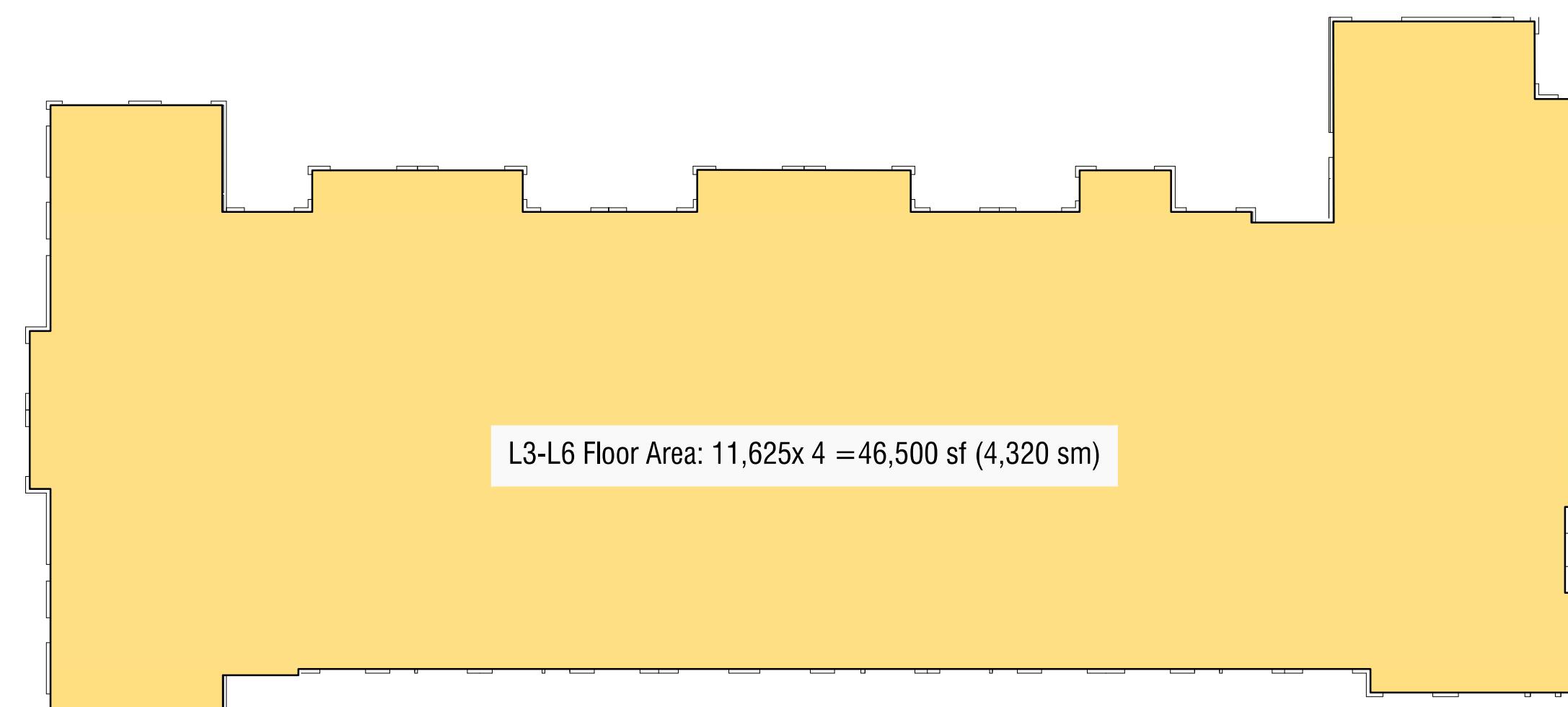
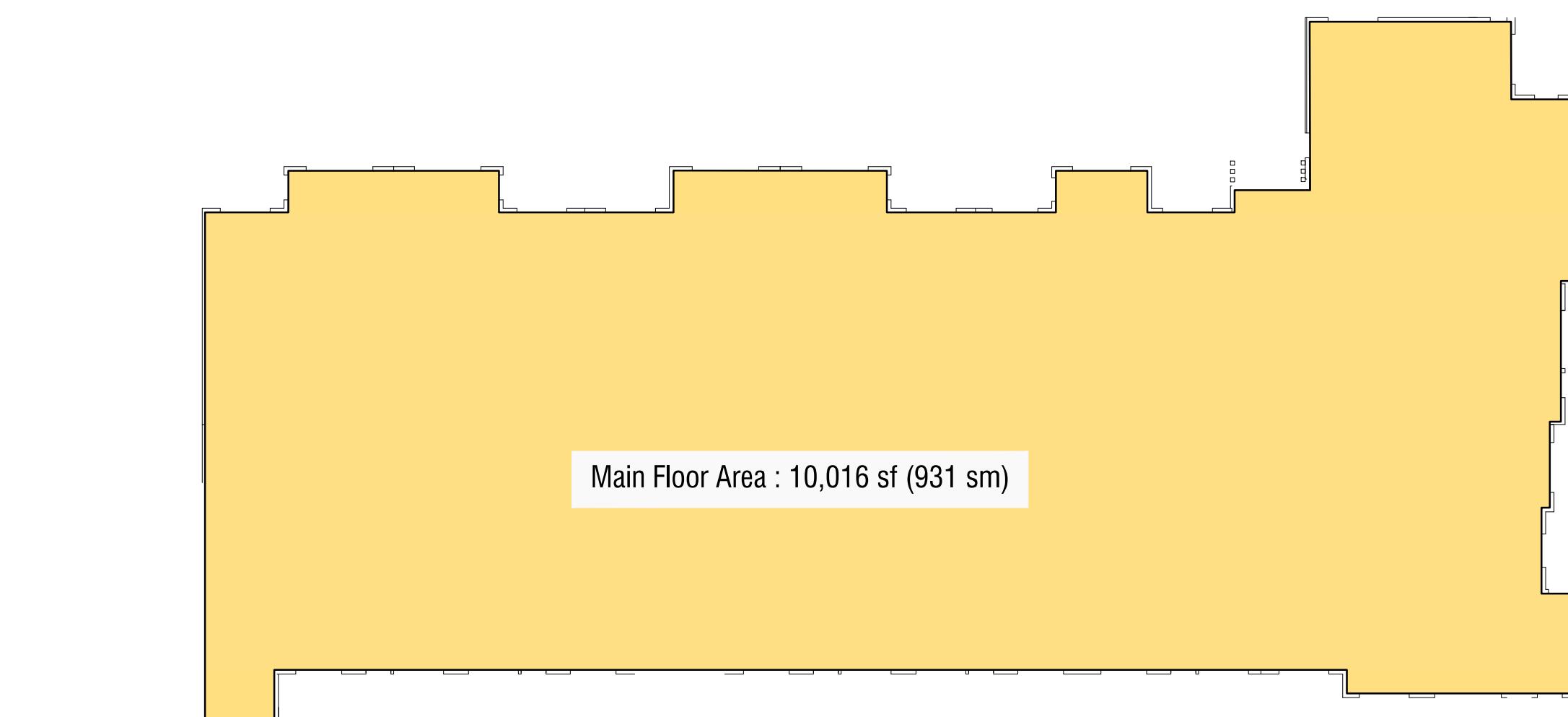
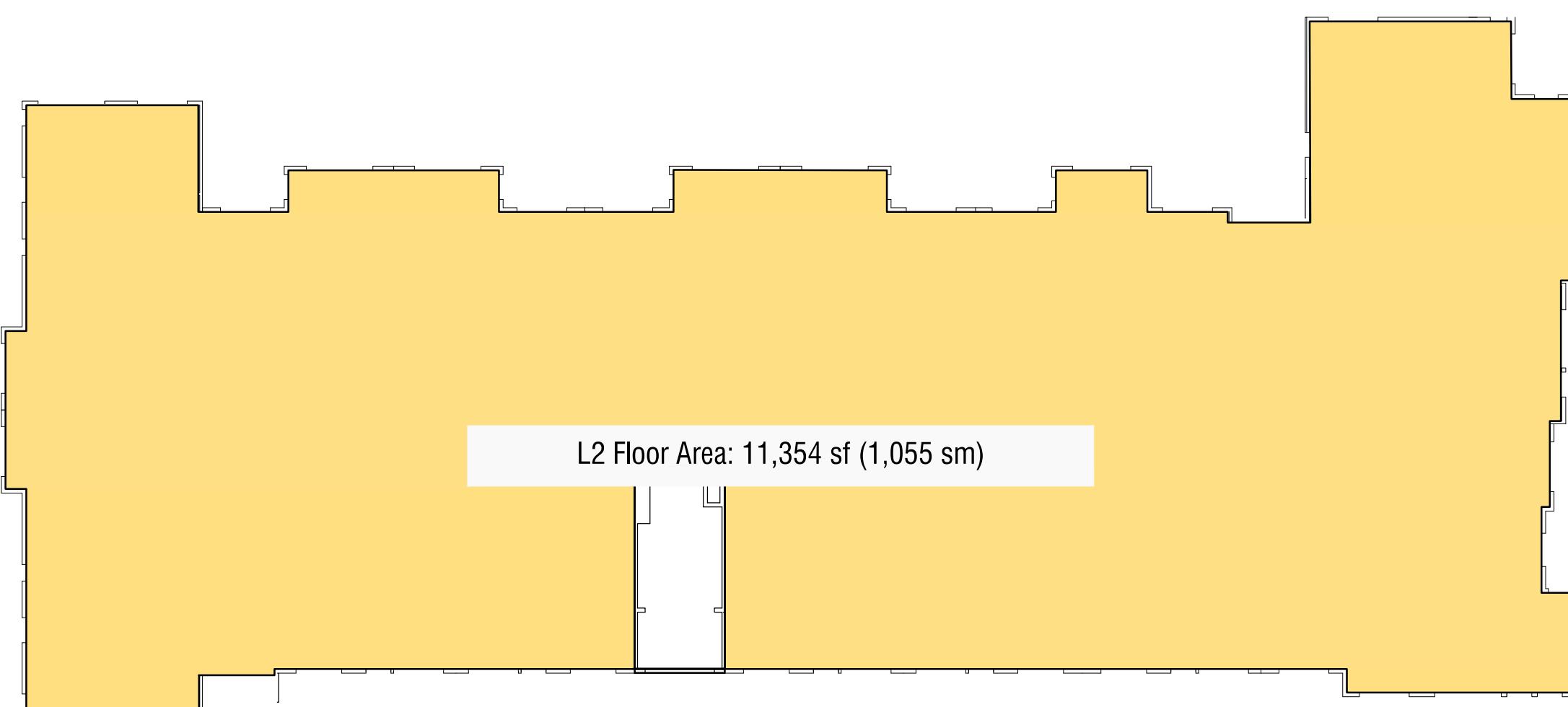
Shadow Study
Scale: N/A
December 15, 2025



Shadow Study



A-6.00


TOTAL FLOOR AREA CALCULATION

Main Floor	10,016 sf	931 sm
L2 Floor	11,354 sf	1,055 sm
L3-L6 Floor	46,500 sf	4,320 sm
Total	67,870 sf	6,305 sm

DEFINITIONS (from City of Victoria Zoning Bylaw 2018)

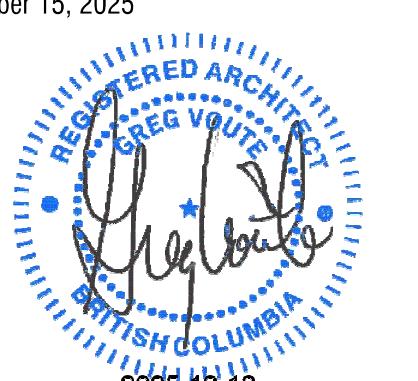
"Floor Area" is measured to the interior surface of the exterior walls of Buildings and includes the area of any mezzanine, exterior hallway, exterior staircase, loft or partial Storey, and excludes the following :

- a) the area of any Balcony, veranda, exposed deck, patio or roof;
- b) the area of any Crawlspace or Basement;
- c) the area of Rooftop Structures;
- d) the area used or intended to be used for required parking or movement of motor vehicles, which is calculated starting from the lowest level of the Building;
- e) the area that is used to provide bicycle parking required by this bylaw; and
- f) the area of any exterior hallway or exterior staircase, for Buildings existing prior to August 1, 2018

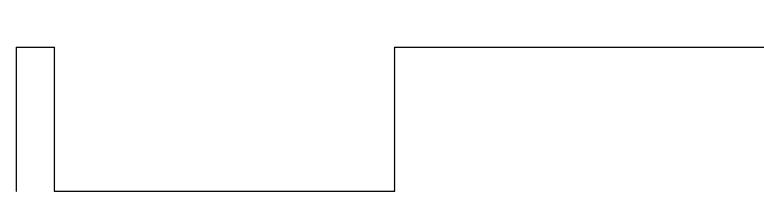
Project
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Multi-Unit Residential

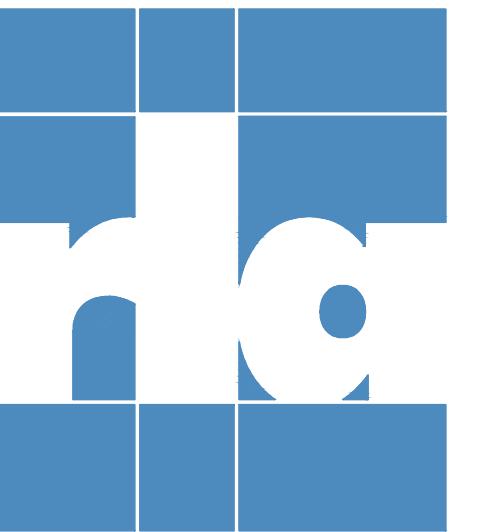
TELUS living


Key Plan - Area Calculations

Scale: 1:100
December 15, 2025


A-7.01





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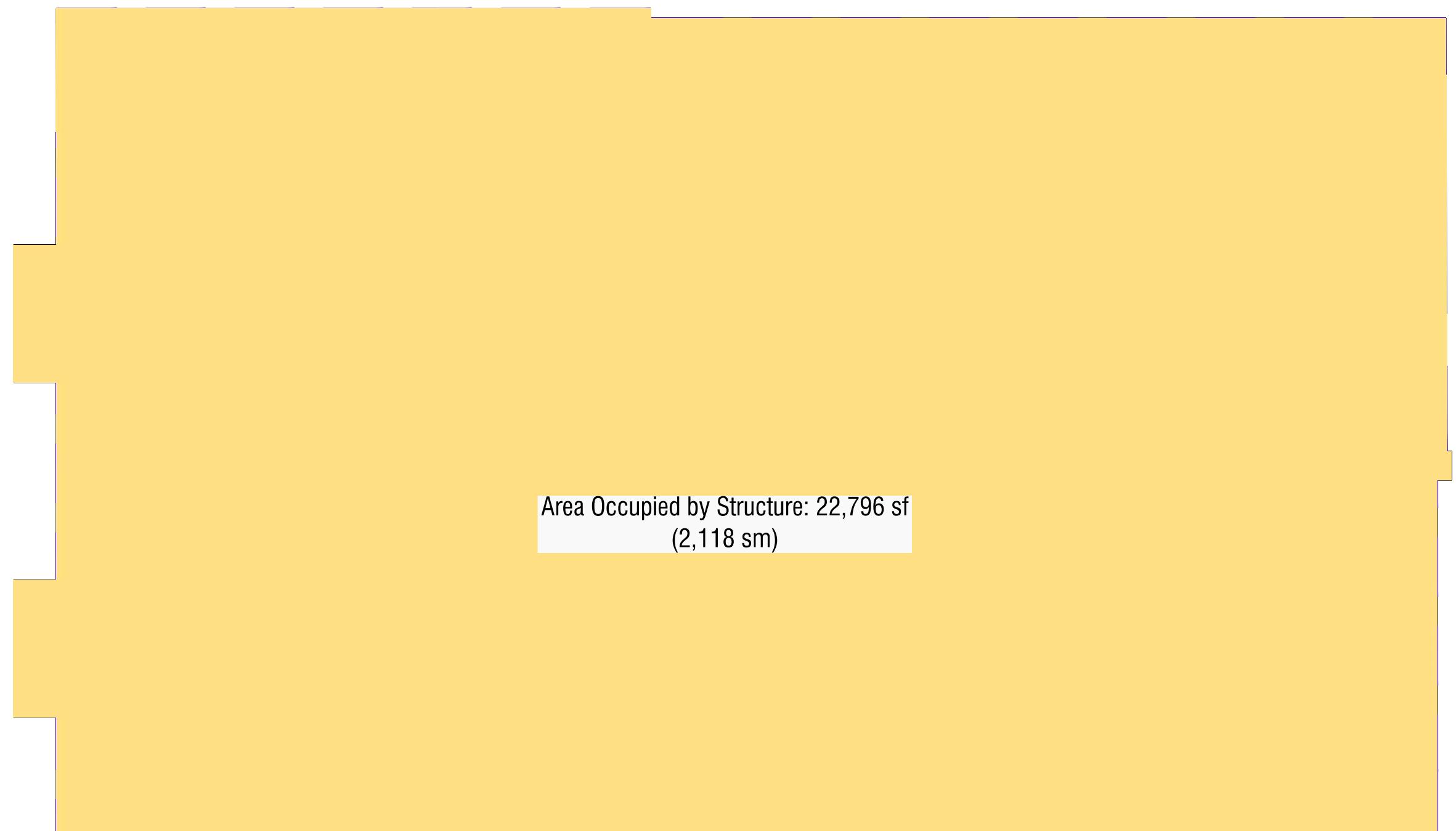
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SITE COVERAGE CALCULATION

Structure Area	Lot Area (post dedication)
22,552 sf 2,095 sm	26,920 sf 2,501 sm

DEFINITIONS (from City of Victoria Zoning Bylaw 2018)

"**Lot Coverage**" means the horizontal area of all Buildings and outdoor covered areas on a Lot, expressed as a percentage of the Lot Area.

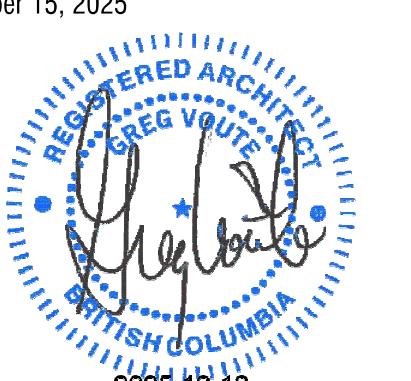
For

Project
1908 FOUL BAY
Multi-Unit Residential

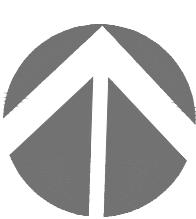
TELUS living



Key Plan - Site Coverage
Scale: 1:200
December 15, 2025



Key Plan - Site Coverage



A-7.02

Revisions

September 11, 2024
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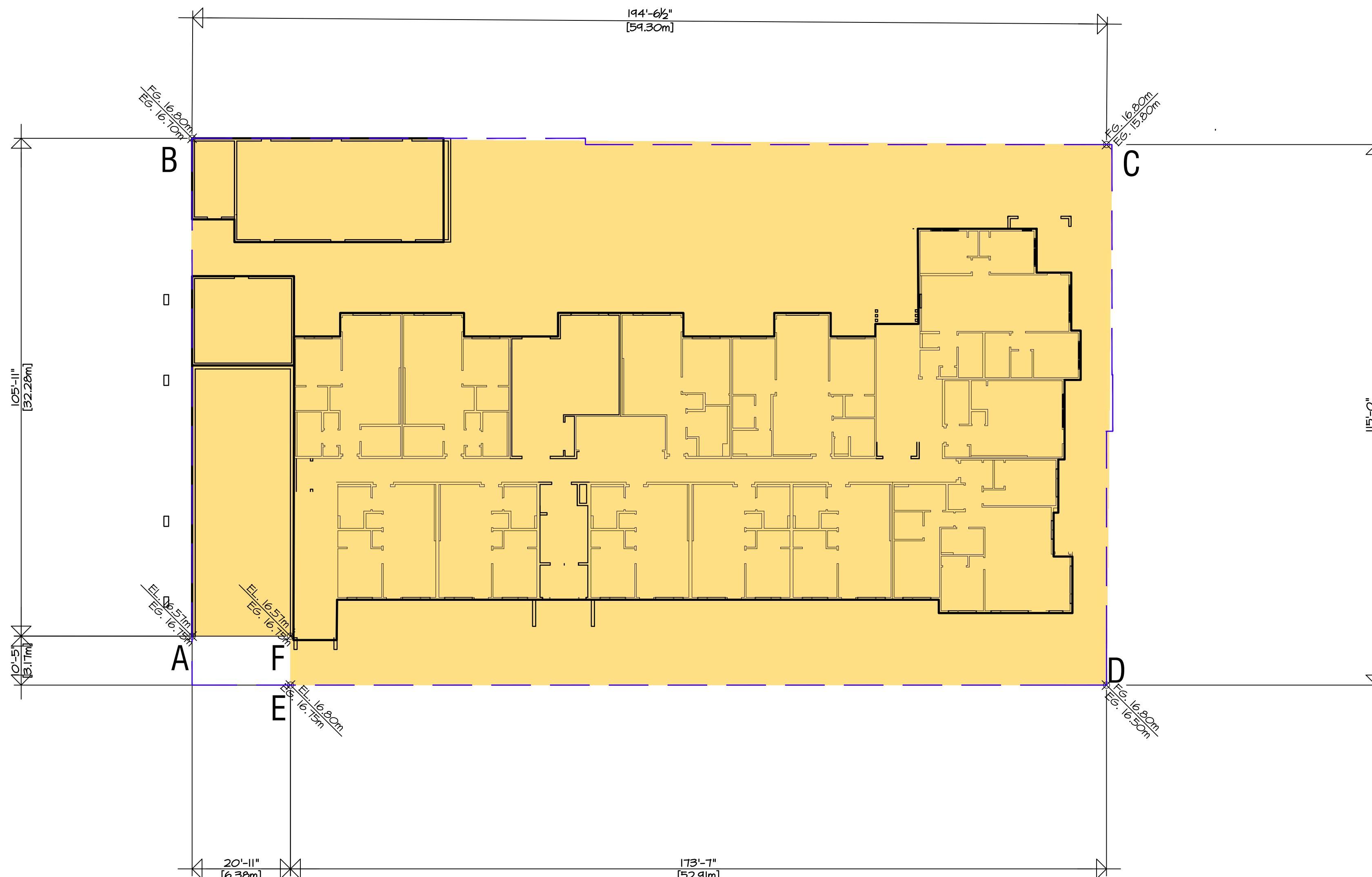
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Average Grade Calculation

Wall Section	Average Grade	Length
A-B	$(16.57 + 16.70)/2$	16.64
B-C	$(16.70 + 15.80)/2$	16.25
C-D	$(15.80 + 16.50)/2$	16.15
D-E	$(16.50 + 16.75)/2$	16.65
E-F	$(16.75 + 16.57)/2$	16.66
F-A	$(16.57 + 16.57)/2$	16.57
Total	189.09	m 3,106

Average Grade Total height / Total Perimeter length
3,106 / 189.09 = 16.43 m

DEFINITIONS (from City of Victoria Zoning Bylaw 2018)

"Grade" means the elevation calculated by averaging the elevation of natural grade or finished grade, whichever is lower at any points at which any part of a building comes into contact with the surface of a lot, excluding any artificial mounds of earth or rocks placed at or near the wall of a building

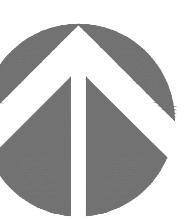
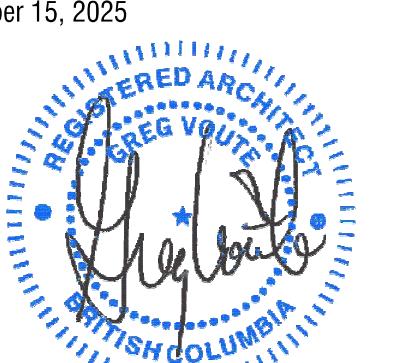
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Average Grade Overlay

Scale: 1:200
December 15, 2025



Average Grade Overlay

A-7.03

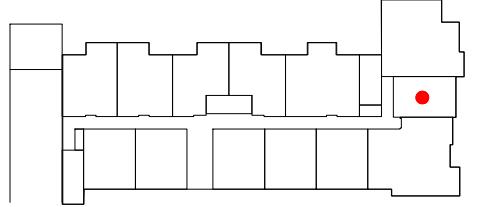
Unit S - Studio

1 Bed + 1 Bath

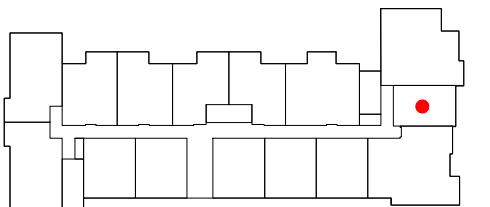
434 sf

6 Units Total (6 of 87)

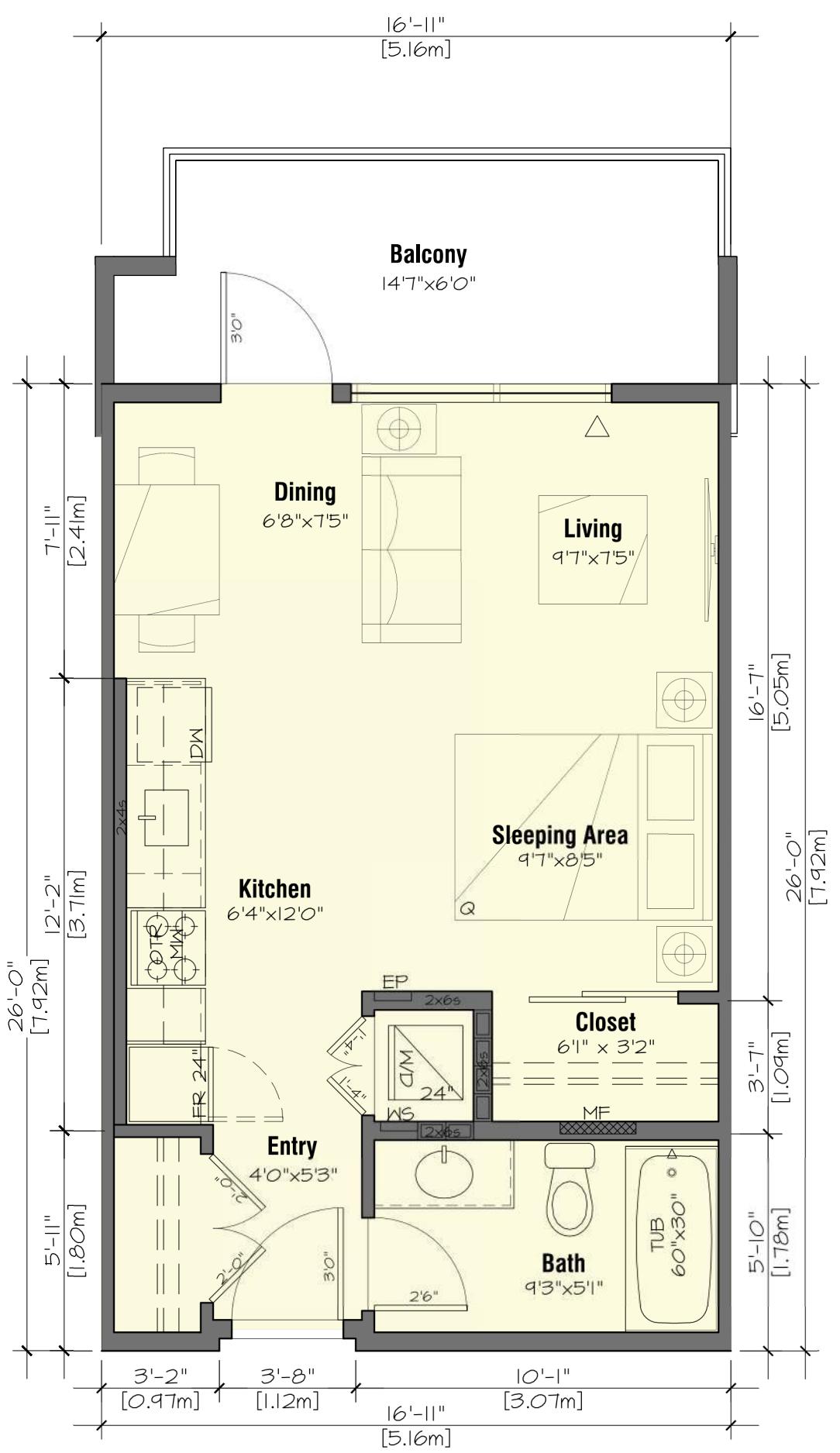
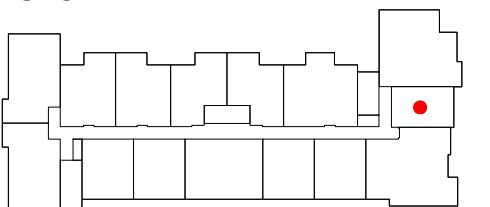
Level 1:



Level 2:



Level 3-6:



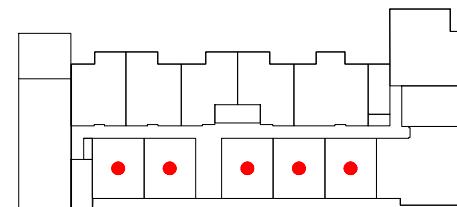
A1 - 1 Bedroom

1 Bed + 1 Bath

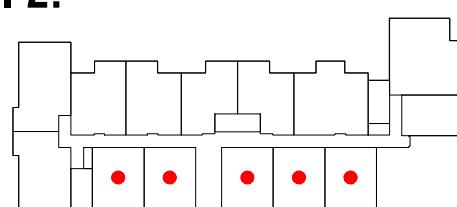
530 sf

26 Units Total (26 of 87)

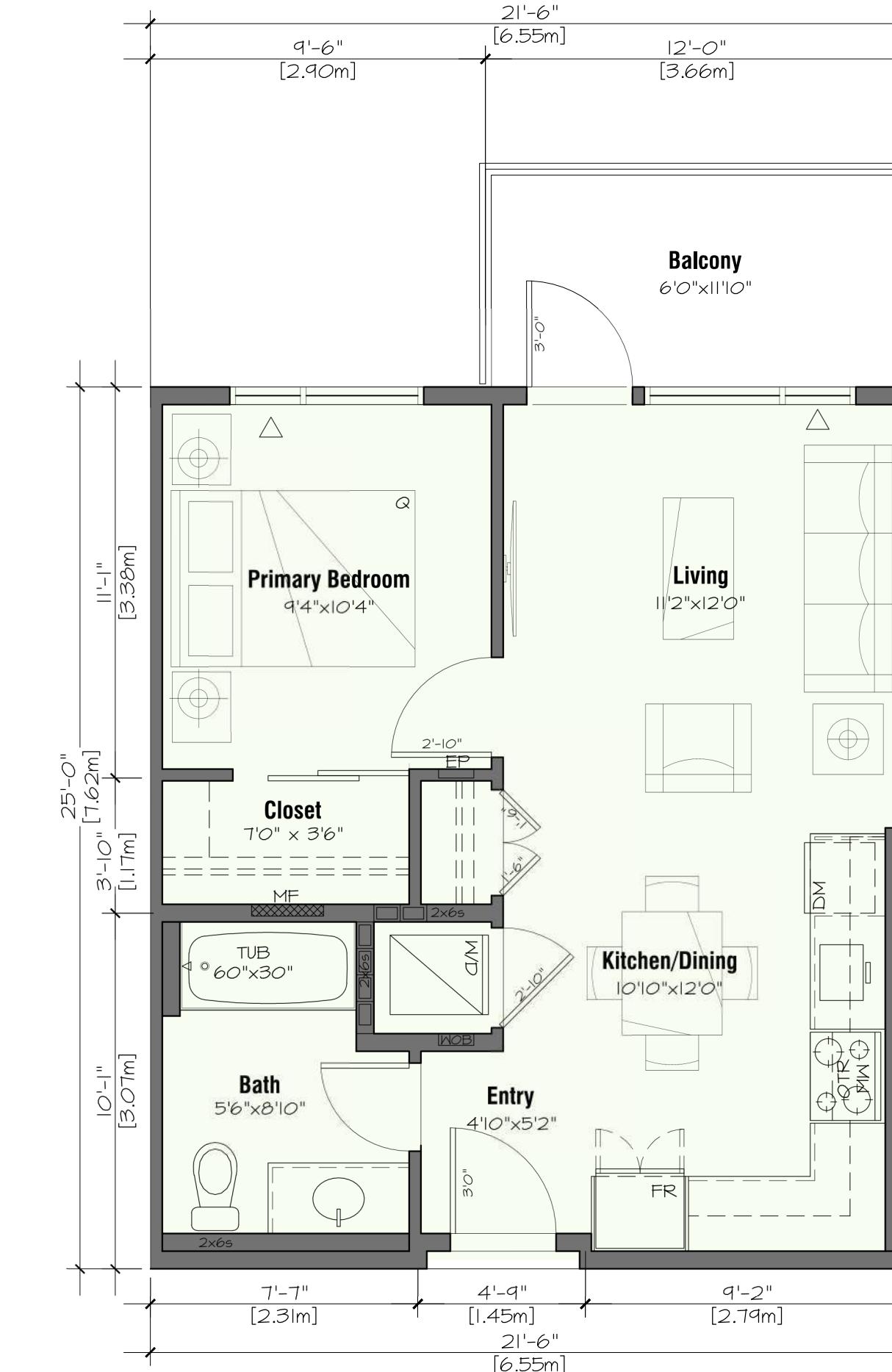
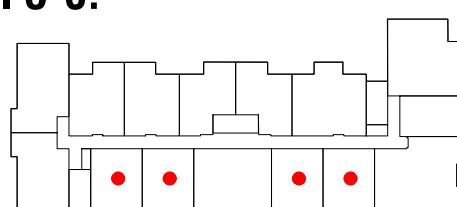
Level 1:



Level 2:



Level 3-6:



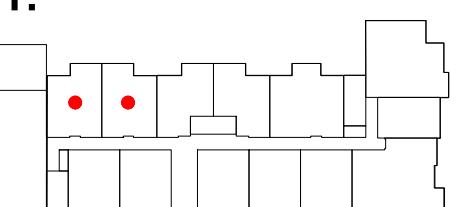
A2 - 1 Bedroom + Flex

1 Bed + 1 Bath

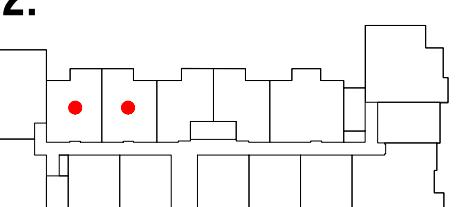
656 sf

12 Units Total (12 of 87)

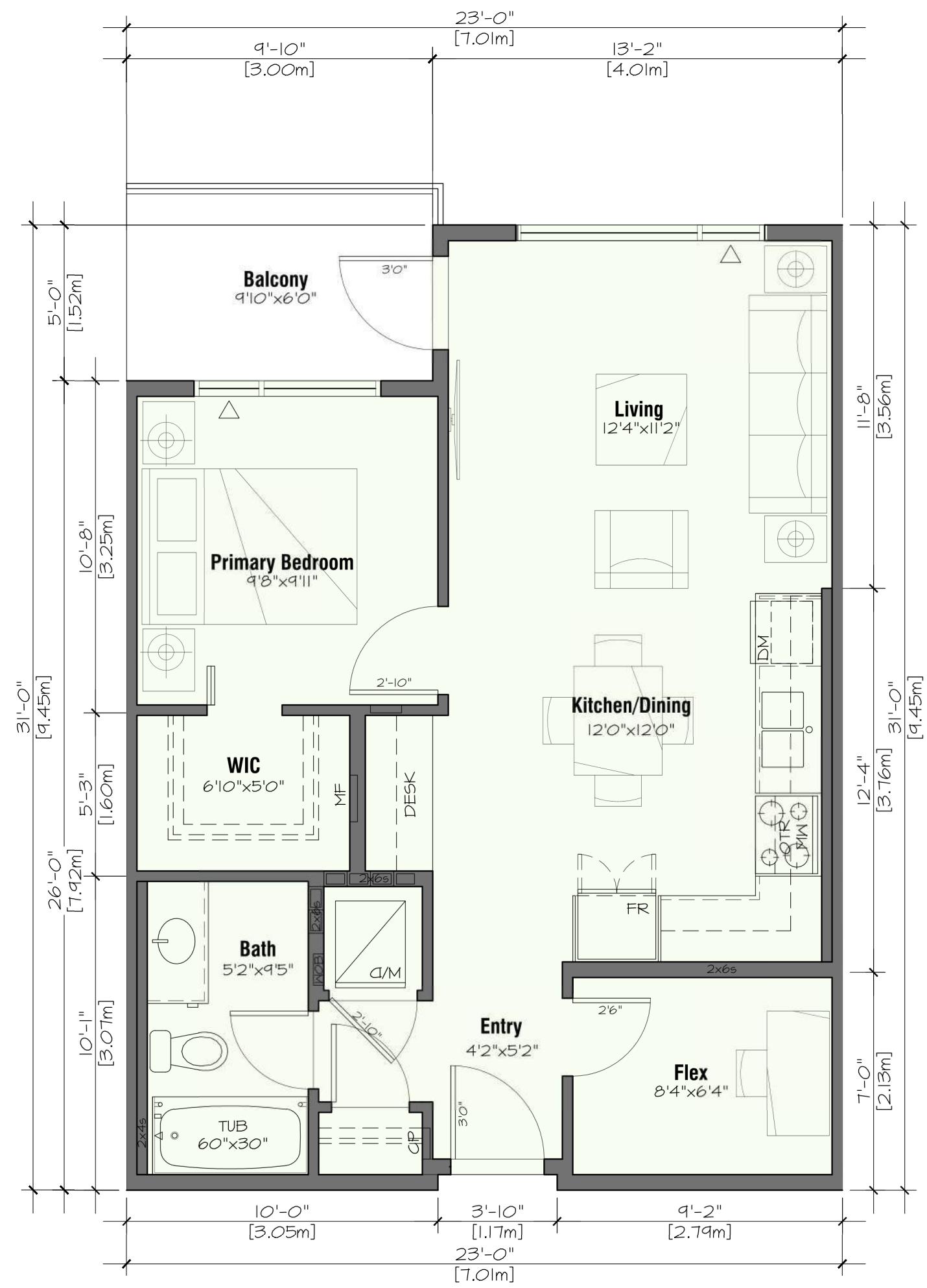
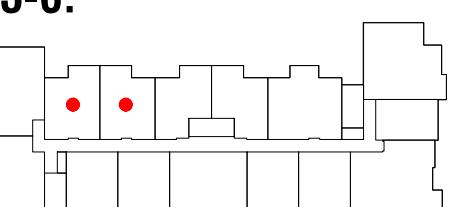
Level 1:



Level 2:



Level 3-6:



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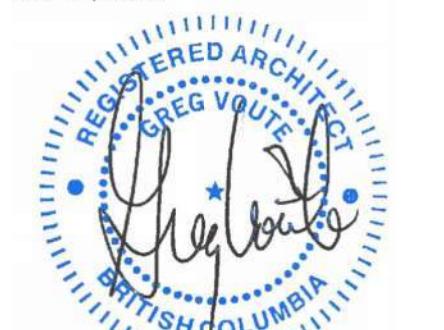
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TELUS living

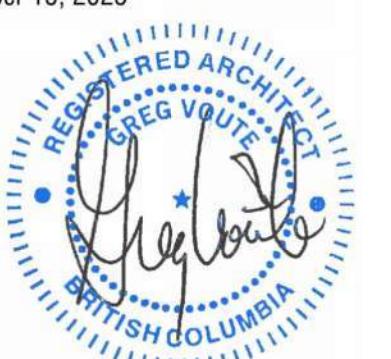


Unit Plans

Scale: 1/4" = 1'- 0"
December 15, 2025



A-8.01

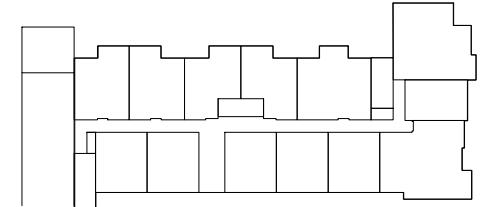

A2e - 1 Bedroom

1 Bed + 1 Bath

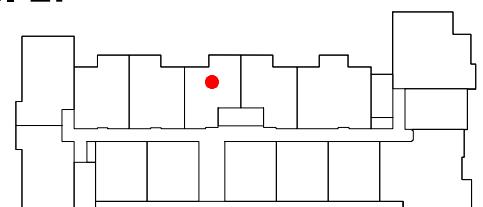
581 sf

5 Units Total (5 of 87)

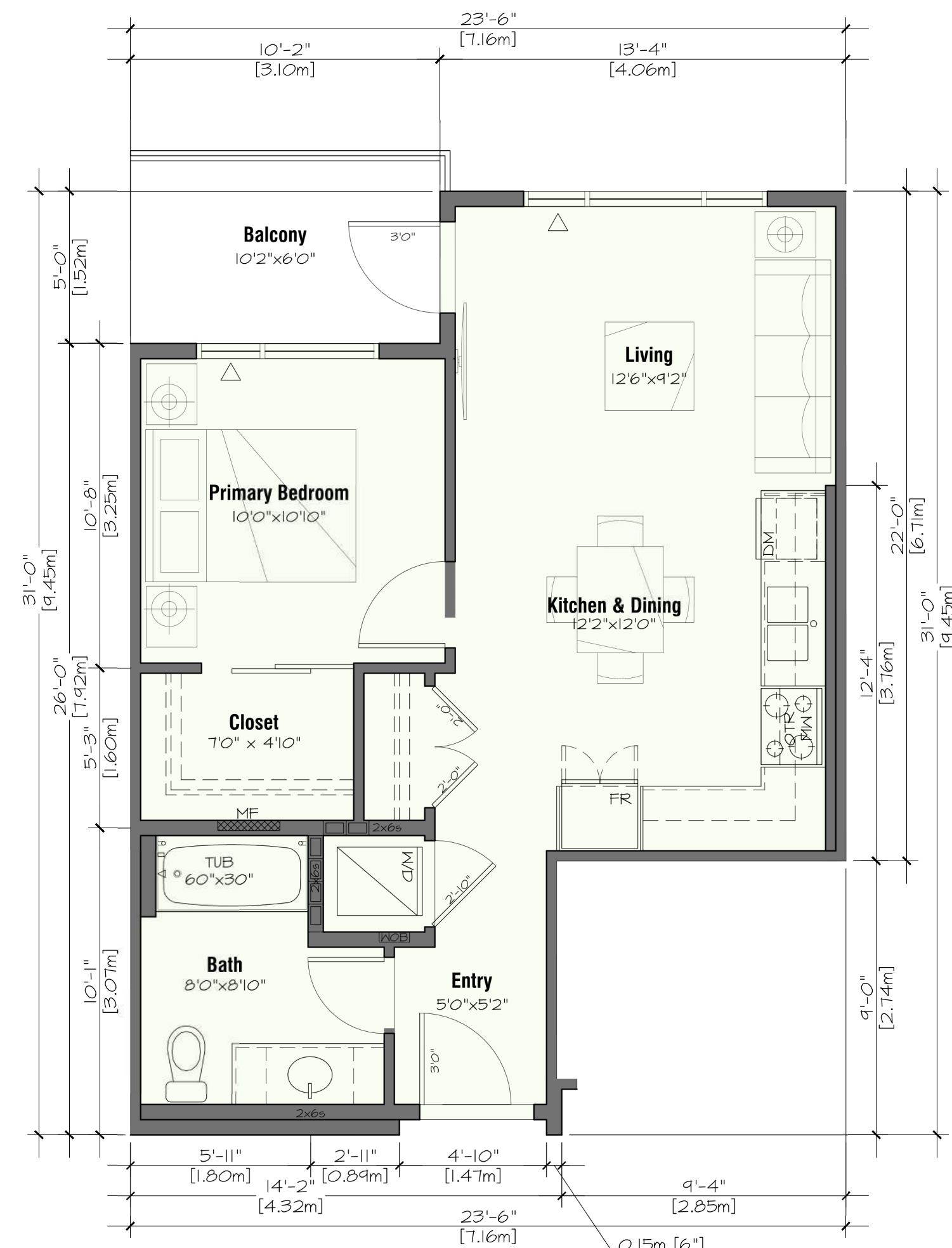
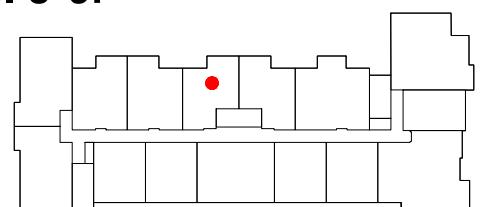
Level 1:



Level 2:



Level 3-6:


A2ap - 1 Bedroom

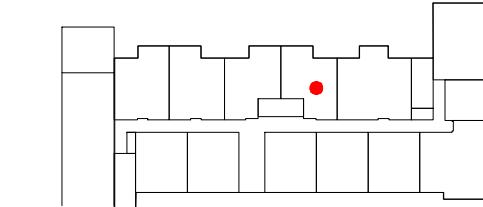
1 Bed + 1 Bath

581 sf

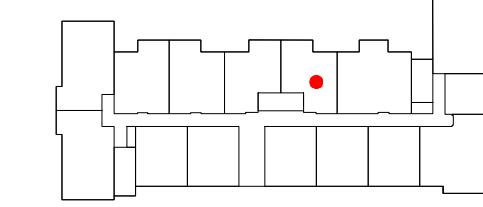
Adaptable Units (2018 Compliance)

5 Unit Total (6 of 87)

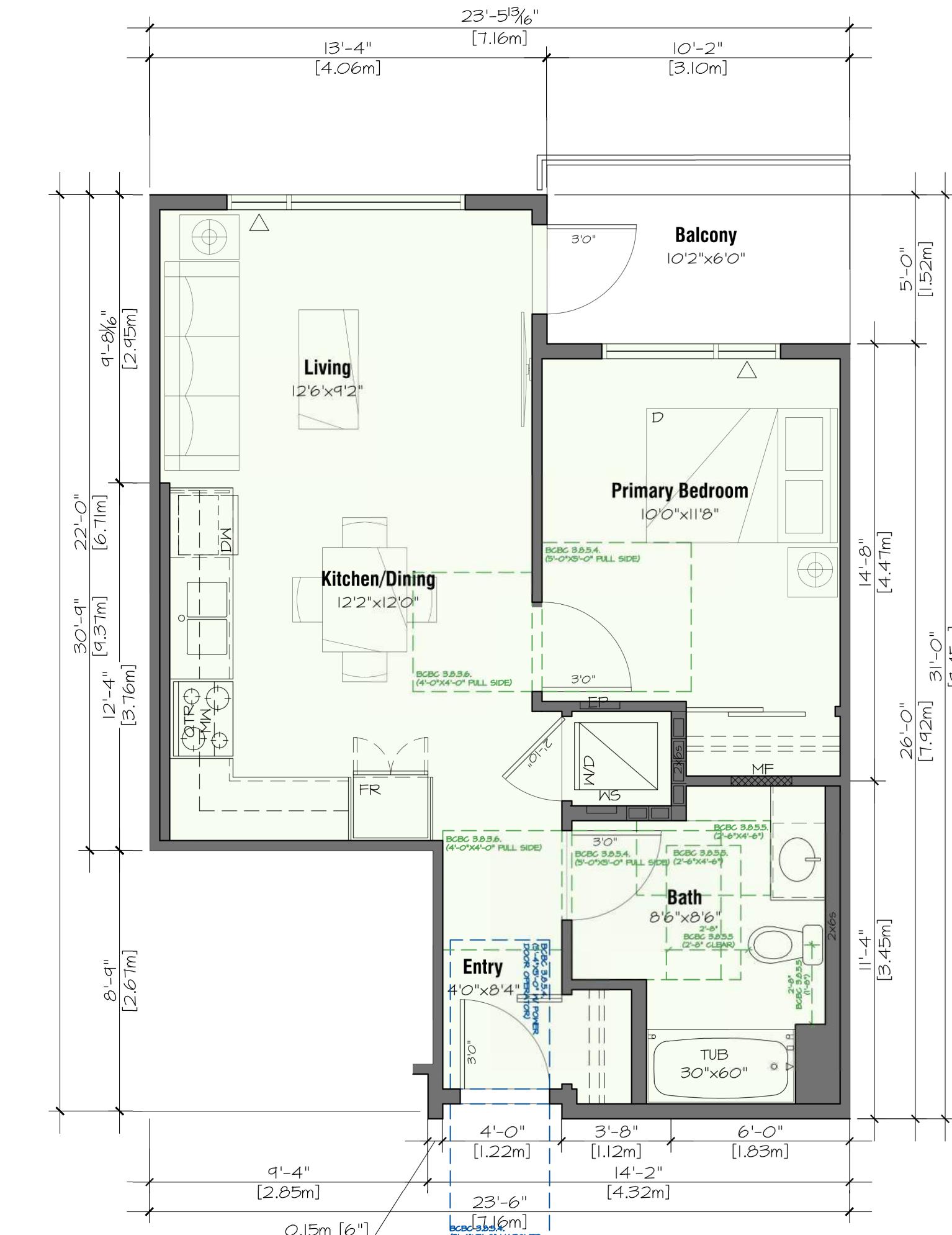
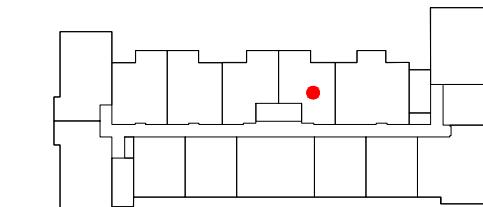
Level 1:



Level 2:



Level 3-6:



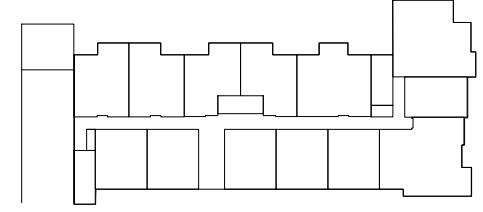
B1 - 2 Bedroom

2 Bed + 2 Bath

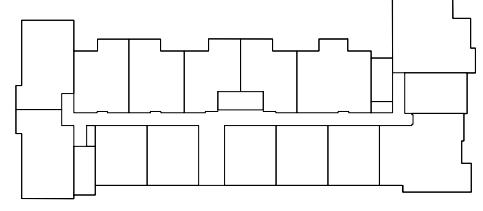
798 sf

4 Units Total (4 of 87)

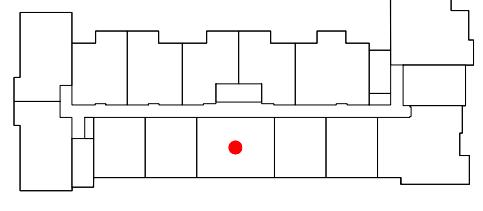
Level 1:



Level 2:



Level 3-6:



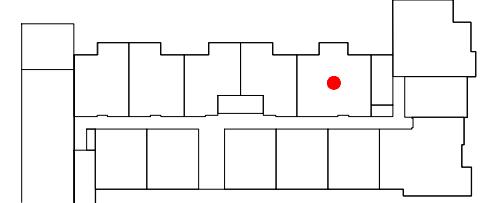
B2 - 2 Bedroom Unit

2 Bed + 2 Bath

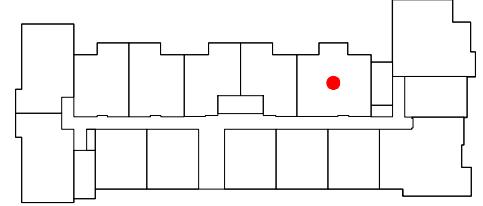
852 sf

6 Units Total (6 of 87)

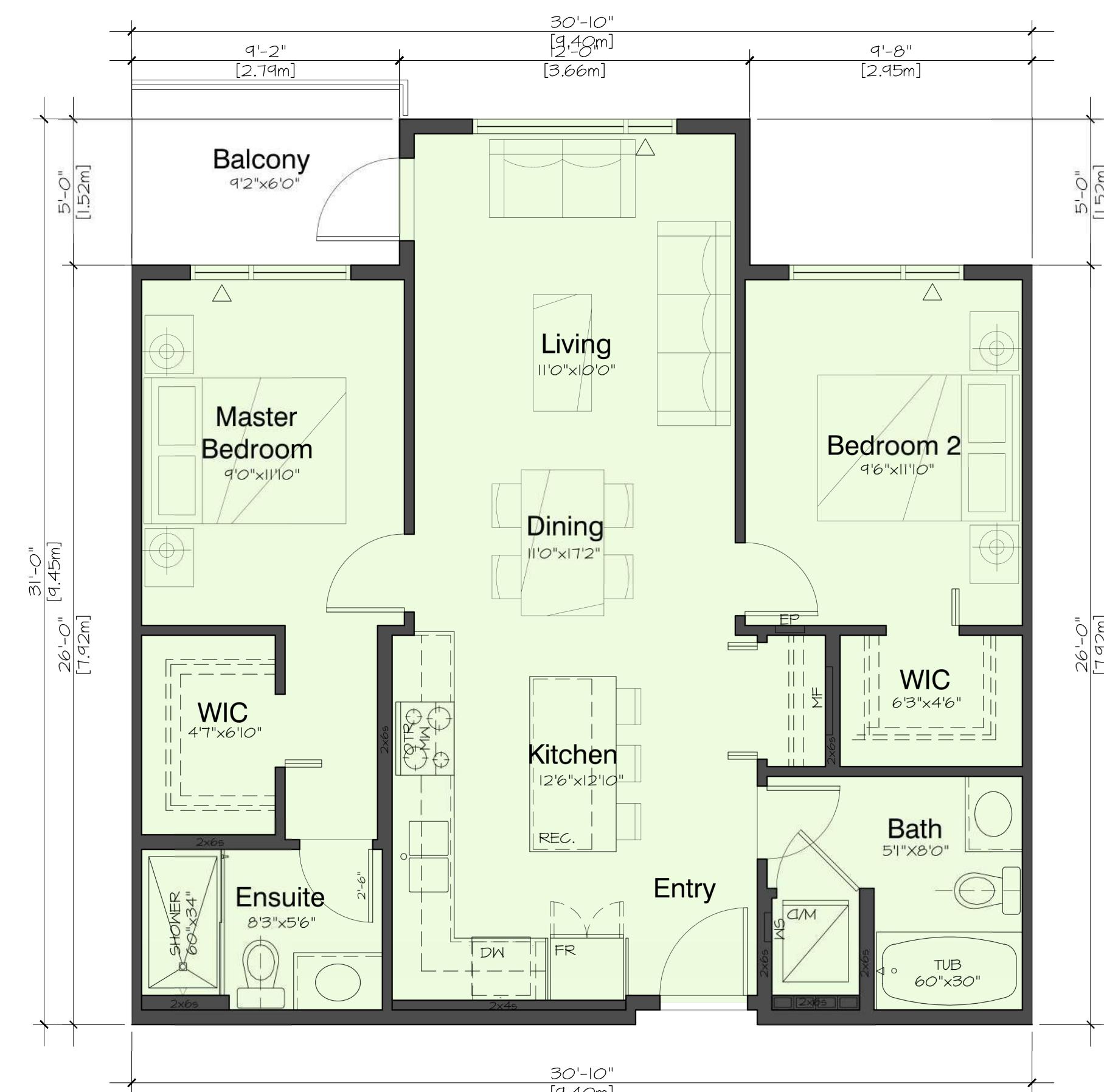
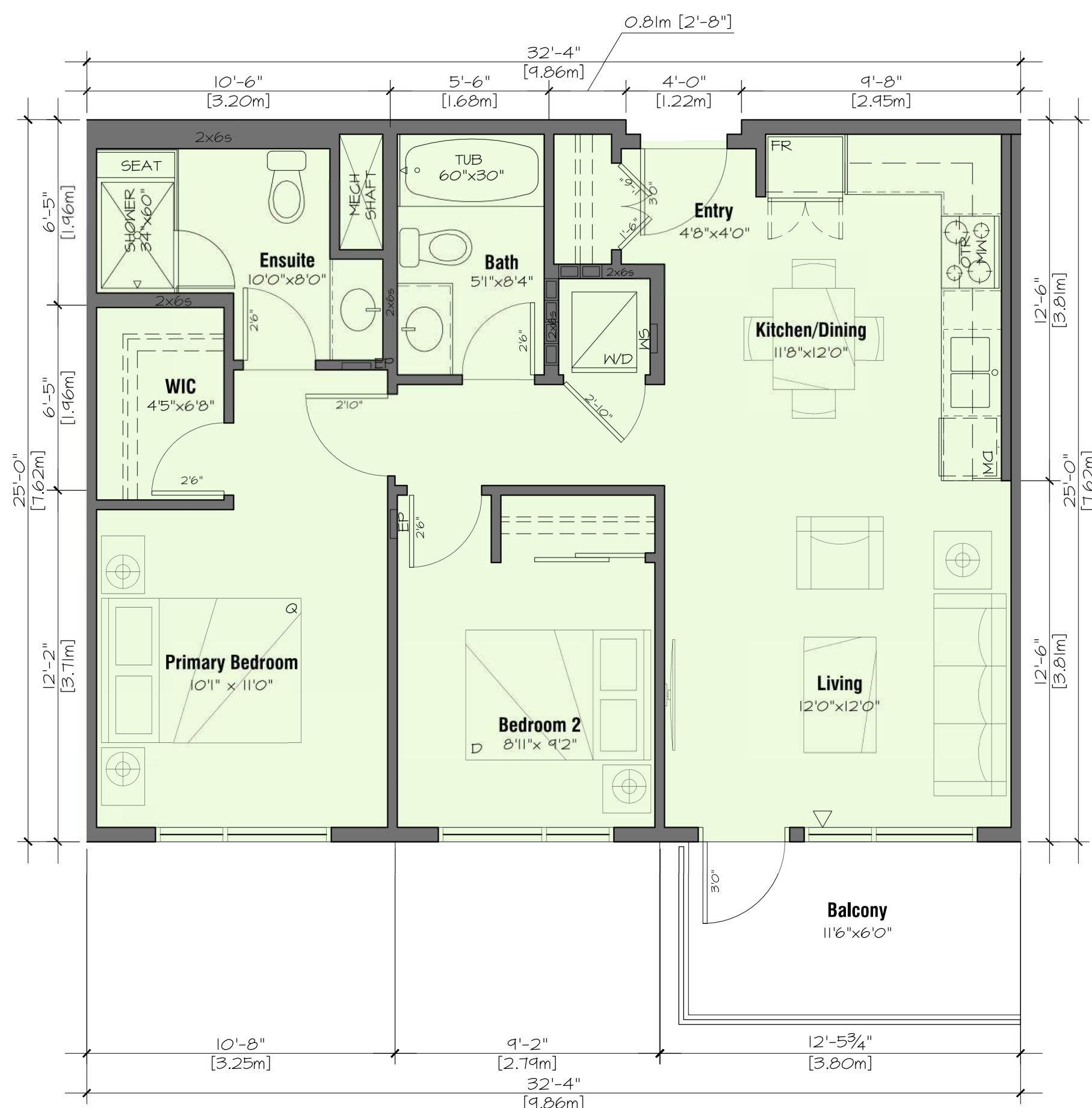
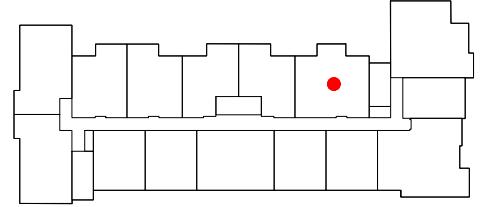
Level 1:



Level 2:



Level 3-6:



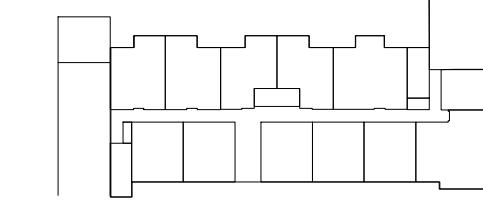
C2 - 2 Bedroom Corner Unit

2 Bed + 2 Bath

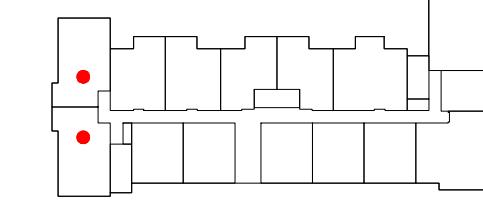
797 sf

6 Units Total (10 of 87)

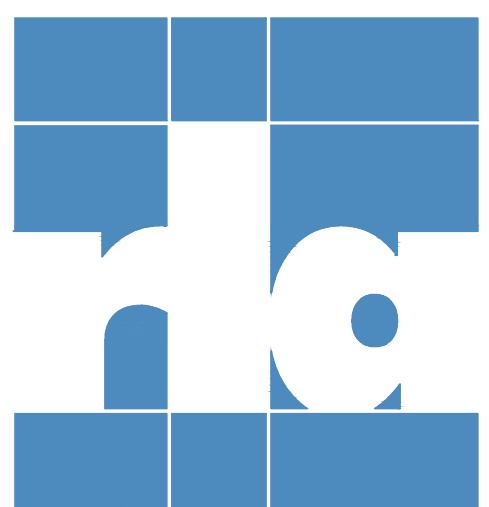
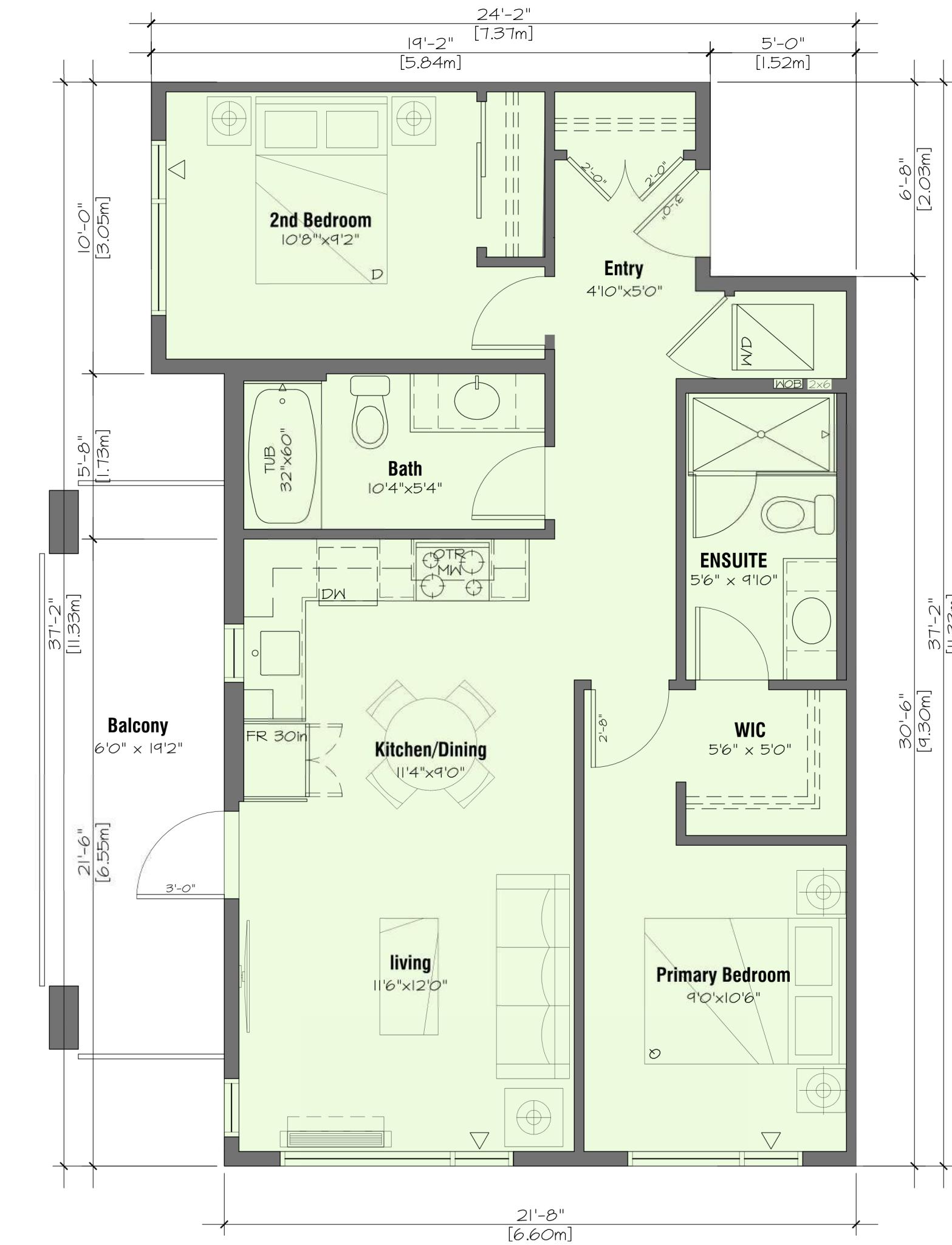
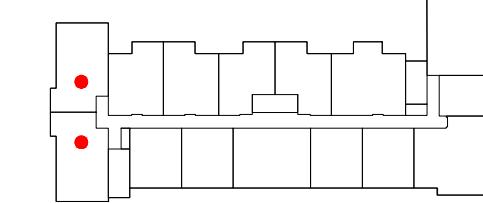
Level 1:



Level 2:



Level 3-6:



ARCHITECTS INCORPORATED

1400 W. 4th Avenue, Vancouver, BC V6E 1V4
Copyright. All rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancy or variations from the dimensions and conditions on the drawing.

Revisions

September 11, 2024
Pre-Application City Review

September 19, 2024
City Technical Review

October 25, 2024
Issued for CALUC Review

April 28, 2025
Issued for DP

September 19, 2025
Issued for DP Resubmission

December 15, 2025
Issued for DP Resubmission

For

Project
1908 FOUL BAY
Multi-Unit Residential

TELUS living



Unit Plans

Scale: 1/4" = 1'- 0"
December 15, 2025



A-8.03

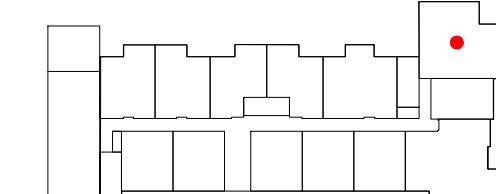


D1 - 3 Bedroom Corner Unit

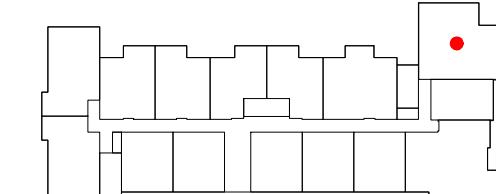
**3 Bed + 2 Bath
991 sf**

8 Units Total (6 of 87)

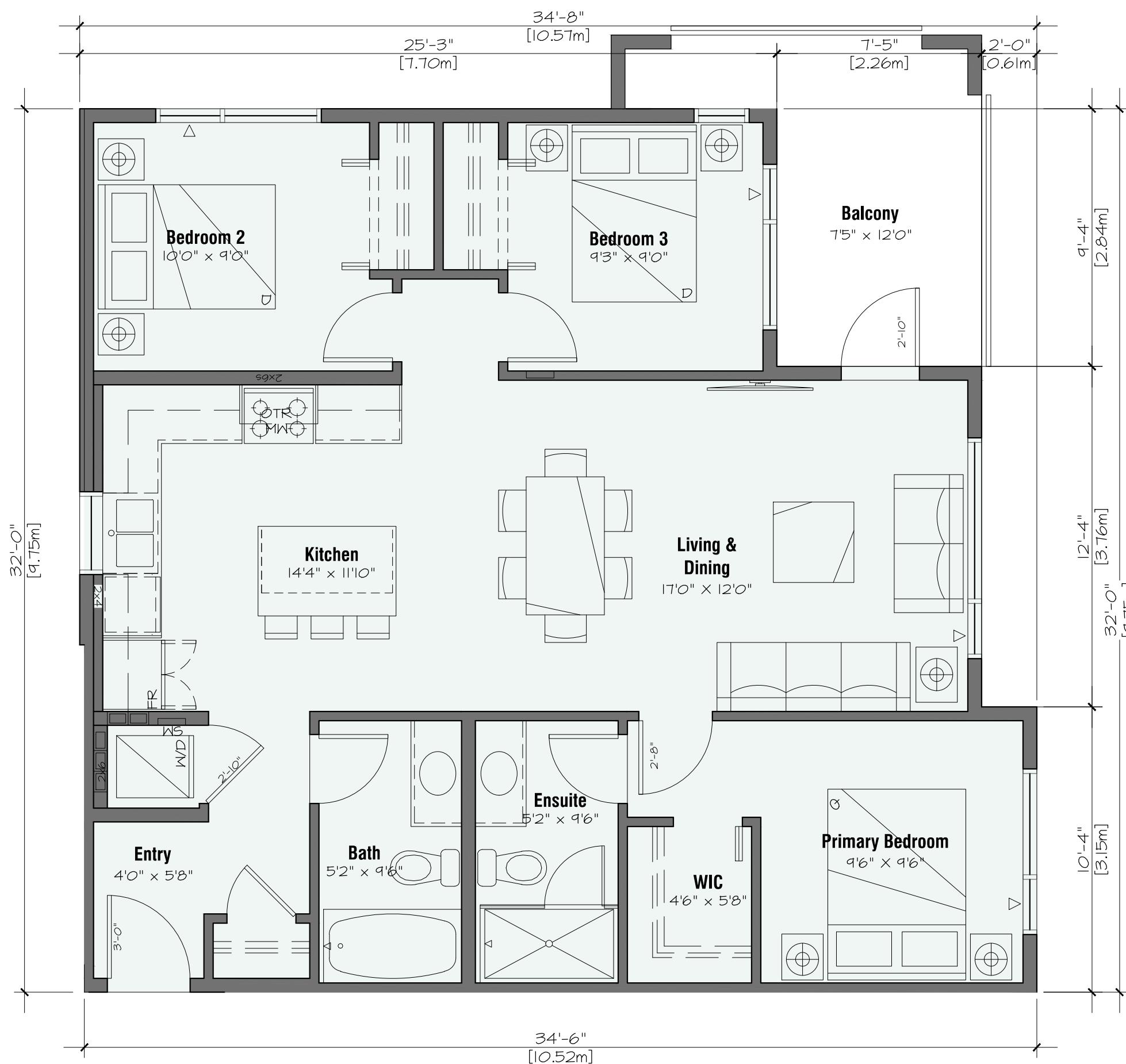
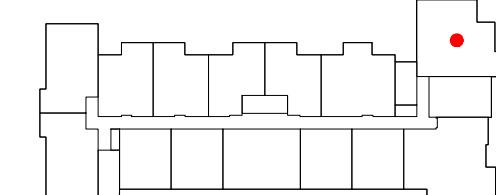
Level 1:



Level 2:



Level 3-6:

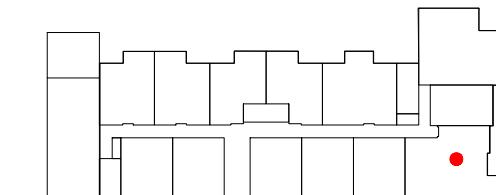


D2 - 3 Bedroom Corner Unit

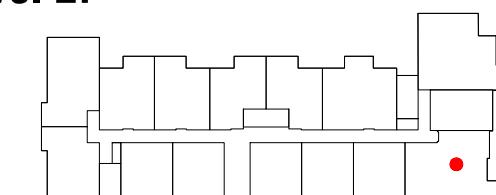
**3 Bed + 2 Bath
1090 sf**

8 Units Total (6 of 87)

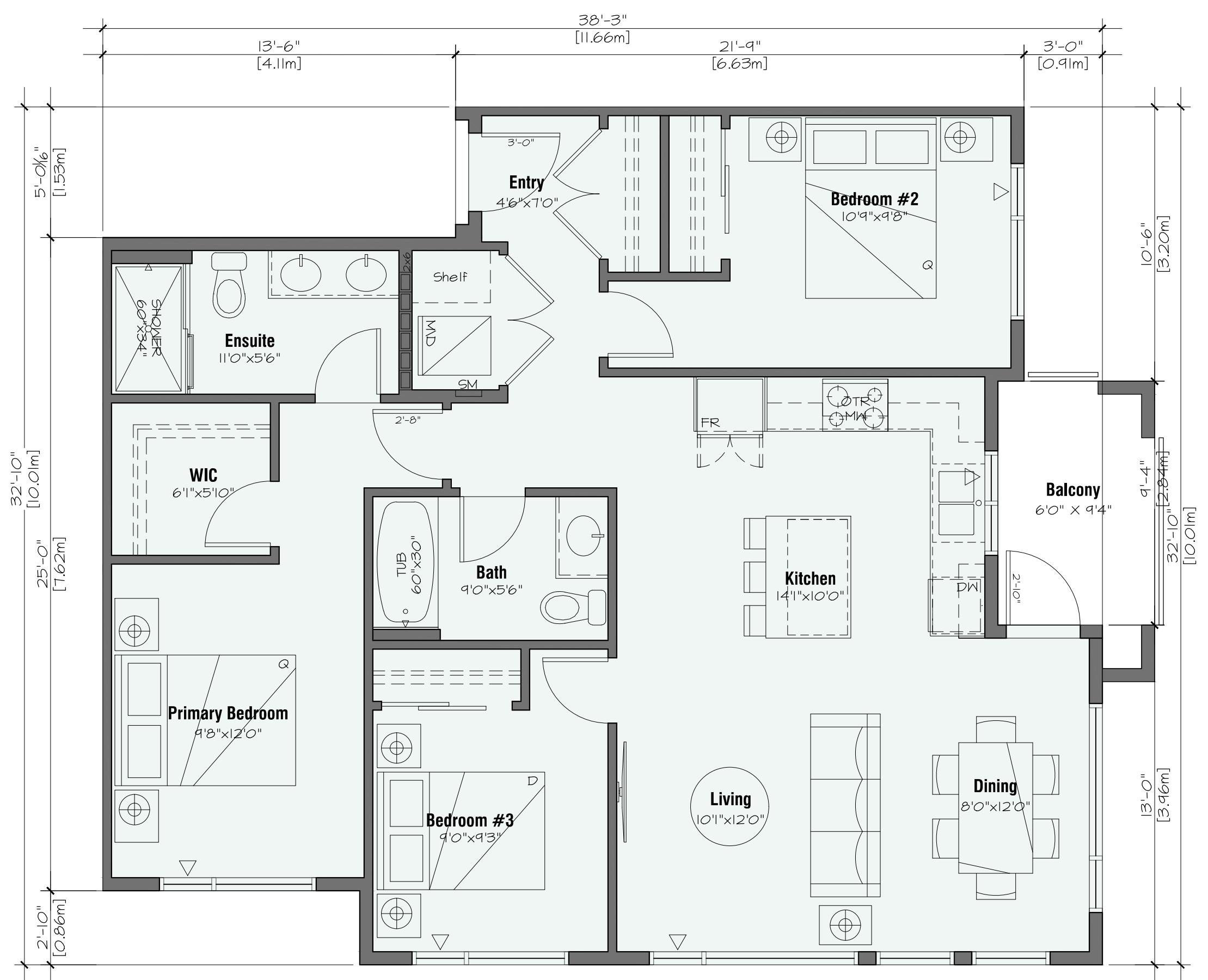
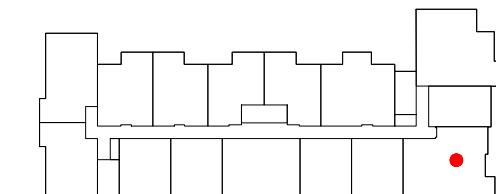
Level 1:



Level 2:



Level 3-6:



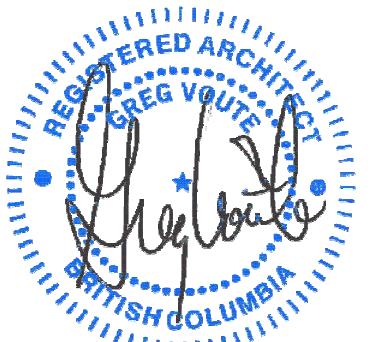
908 FOUL BAY Multi-Unit Residential

ELUS *living*

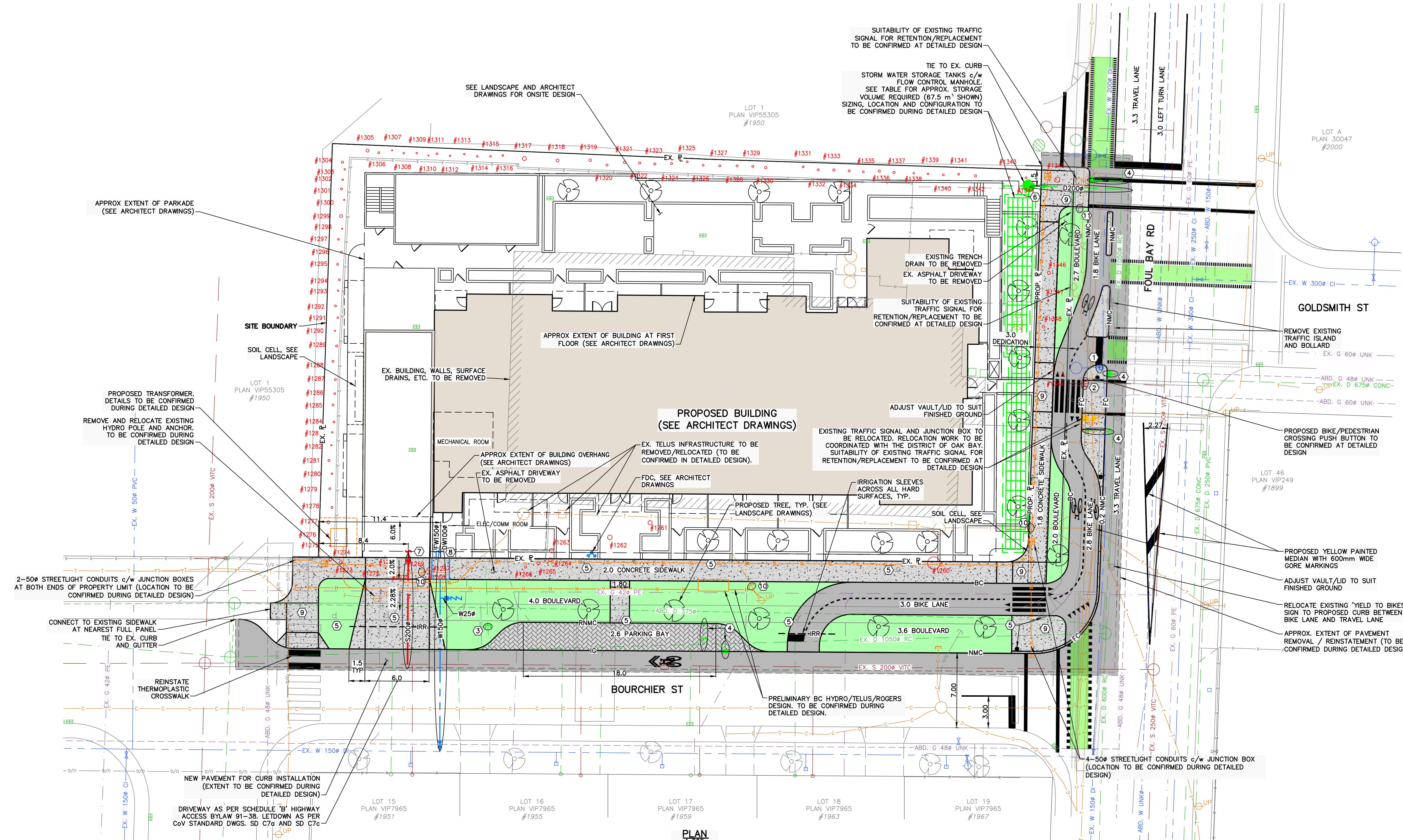
The logo for EDCOR Group, featuring the word "EDCOR" in a bold, white, sans-serif font inside a red and white stylized swoosh graphic. Below "EDCOR" is a smaller, white, sans-serif font that reads "GROUP".

Unit Plans

ale: 1/4" = 1' - 0"
ember 15, 2025



2025-12-16
-8.04



SHEET NOTES	
No.	DESCRIPTION
①	EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE.
②	EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED.
③	EXISTING STORM SERVICE TO BE CAPPED AND ABANDONED.
④	REMOVE EXISTING CATCH BASIN, REMOVE OR CAP & ABANDON EXISTING CATCH BASIN LEAD. REPLACE WITH NEW CATCH BASIN AS PER CoV STD. DWG. SD11B c/w 150Ø PVC LEAD.
⑤	EXISTING SIGN TO BE REMOVED / REINSTATED
⑥	NEW 200Ø STORM SERVICE CONNECTION c/w INSPECTION CHAMBER TO PROPERTY LINE BY CoV FORCES AT DEVELOPER'S EXPENSE.
⑦	NEW 200Ø SANITARY SERVICE CONNECTION c/w INSPECTION CHAMBER TO PROPERTY LINE BY CoV FORCES AT DEVELOPER'S EXPENSE.
⑧	NEW 100Ø DOMESTIC WATER SERVICE CONNECTION AND 150Ø FIRE WATER SERVICE CONNECTION c/w METER VAULT (PER CoV DWG. SD W2f), METER SIZE TO BE CONFIRMED AT DETAILED DESIGN AND 25Ø IRRIGATION SERVICE c/w BACKFLOW PREVENTOR BY CoV FORCES AT DEVELOPERS EXPENSE.
⑨	CROSSWALK LETDOWN CONFIGURATIONS, SIGNAGE, AND WARNING STRIPS TO BE CONFIRMED DURING DETAILED DESIGN.
⑩	EXISTING H/T/C SERVICE TO BE CAPPED AND ABANDONED BY UTILITY FORCES AT DEVELOPER'S EXPENSE (TO BE CONFIRMED DURING DETAILED DESIGN).
⑪	EXISTING GAS SERVICE TO BE CAPPED AND ABANDONED BY UTILITY FORCES AT DEVELOPER'S EXPENSE (TO BE CONFIRMED DURING DETAILED DESIGN).
#	○ EXISTING TREE TO REMAIN, SCALED TO TREE TRUNK DIAMETER (SEE ARBORIST REPORT)
#	○ EXISTING TREE TO BE REMOVED, SCALED TO TREE TRUNK DIAMETER (SEE ARBORIST REPORT)

PLAN NO.

- 1) FOR BUILDING INFORMATION, SEE DRAWINGS BY RLA ARCHITECTS.
- 2) FOR LANDSCAPING, SEE DRAWINGS BY LADR LANDSCAPE ARCHITECTS.
- 3) FOR TREE INFORMATION, SEE ARBORIST REPORT BY TALBOT MACKENZIE AND ASSOCIATES.
- 4) UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
- 5) ALL EXISTING ON-SITE BUILDINGS, DRIVEWAYS, PARKING LOTS, RETAINING WALLS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE.
- 6) ALL EXISTING SERVICES TO BE CAPPED BY CITY OF VICTORIA FORCES AT DEVELOPER'S EXPENSE UNLESS OTHERWISE NOTED.
- 7) BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).
- 8) ONSITE WALKWAYS, WALLS, BENCHES, BICYCLE STALLS AND OTHER LANDSCAPE FEATURES NOT SHOWN FOR CLARITY (SEE ARCHITECT AND LANDSCAPE DRAWINGS).

CAUTION

CAUTION: EXISTING UTILITIES KNOWN IN PROJECT VICINITY ARE SHOWN SCHEMATICALLY. THESE UTILITIES INCLUDE, BUT ARE NOT LIMITED TO: VICTORIA WATER/SANITARY/STORM DRAIN, TELUS COMMUNICATIONS. FIELD LOCATIONS OF THESE UTILITIES ARE NOT CONSTRUCTION HAND-DIG WERKS.

**LEGAL PLAN & AND SURVEY
INFORMATION PROVIDED BY
GEOVERRA**

SEE ARCHITECTURAL AND
LANDSCAPING DRAWINGS FOR
ADDITIONAL INFORMATION

PERMIT TO PRACTICE
McElhanney Ltd.



JECT:
3 FOUL BAY ROAD, VICTORIA, BC
LIMINARY CIVIL PLAN

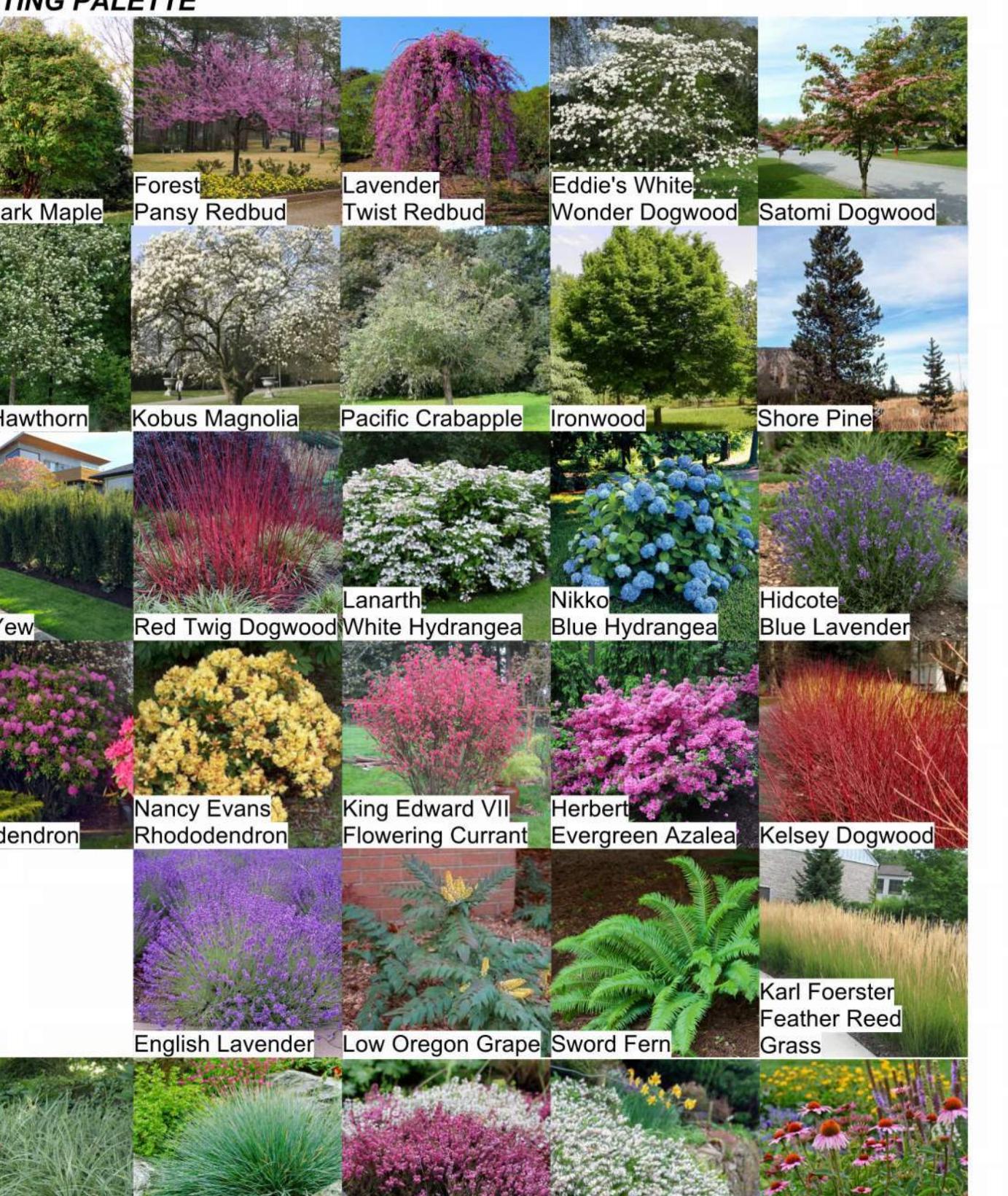
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1:200										
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PROJECT NO. 24-103	ISSUED/REVISION 5									
APPROVING AUTHORITY FILE NO.										
DRAWING NO. 24-103-CSP										

recommended Nursery Stock

	Botanical Name	Common Name	Size
0	Acer griseum	Paperbark Maple	6cm cal.
0	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	6cm cal.
0	Cercis canadensis 'Lavender Twist'	Lavender Twist Eastern Redbud	6cm cal.
0	Cornus 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	6cm cal.
0	Cornus kousa 'Satomi'	Satomi Dogwood	6cm cal.
0	Crataegus douglasii	Black Hawthorn	6cm cal.
0	Magnolia kobus	Kobus Magnolia	6cm cal.
0	Malus fusca	Pacific Crabapple	6cm cal.
0	Ostrya virginiana	Ironwood	6cm cal.
0	Pinus contorta	Shore Pine	2m ht.
0	Street Trees - Species to be determined	by the City of Victoria Parks Dept.	
0	Botanical Name	Common Name	Size
0	Cornus stolonifera	Redtwig Dogwood	#5 pot
0	Rhododendron 'Horizon Monarch'	Horizon Monarch Rhododendron	#5 pot
0	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#1 Pot
0	Taxus x media 'Hicksii'	Hicks Yew	1.2m ht.
0	Botanical Name	Common Name	Size
0	Hydrangea macrophylla 'Lanarth White'	Lanarth White Hydrangea	#5 Pot
0	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	#3 Pot
0	Lavandula angustifolia 'Hidcote Blue'	English Lavender	#3 pot
0	Rhododendron macrophyllum	Pacific Rhododendron	#3 Pot
0	Rhododendron Nancy Evans	Nancy Evans Rhododendron	#3 pot
0	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#3 pot
0	Vaccinium ovatum	Evergreen Huckleberry	#5 Pot
0	Botanical Name	Common Name	Size
0	Azalea japonica 'Herbert'	Herbert Evergreen Azalea	#1 pot
0	Cornus stolonifera 'Kelseyi'	Kelsey Dogwood	#1 Pot
0	Gaultheria shallon	Salal	#1 pot
0	Lavandula officinalis	English Lavender	#1 pot
0	Mahonia nervosa	Low Oregon Grape	#1 pot
0	Botanical Name	Common Name	Size
0	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 Pot
0	Carex 'Ice Dance'	Variegated Sedge	#1 Pot
0	Echinacea purpurea 'Magnus'	Purple Coneflower	#1 pot
0	Fetuca glauca	Common Blue Fescue	#1 pot
0	Polystichum munitum	Sword Fern	#1 Pot

191	Botanical Name	Common Name
	<i>Erica carnea</i> 'December Red'	December Red Heath
	<i>Erica carnea</i> 'Springwood White'	Springwood White

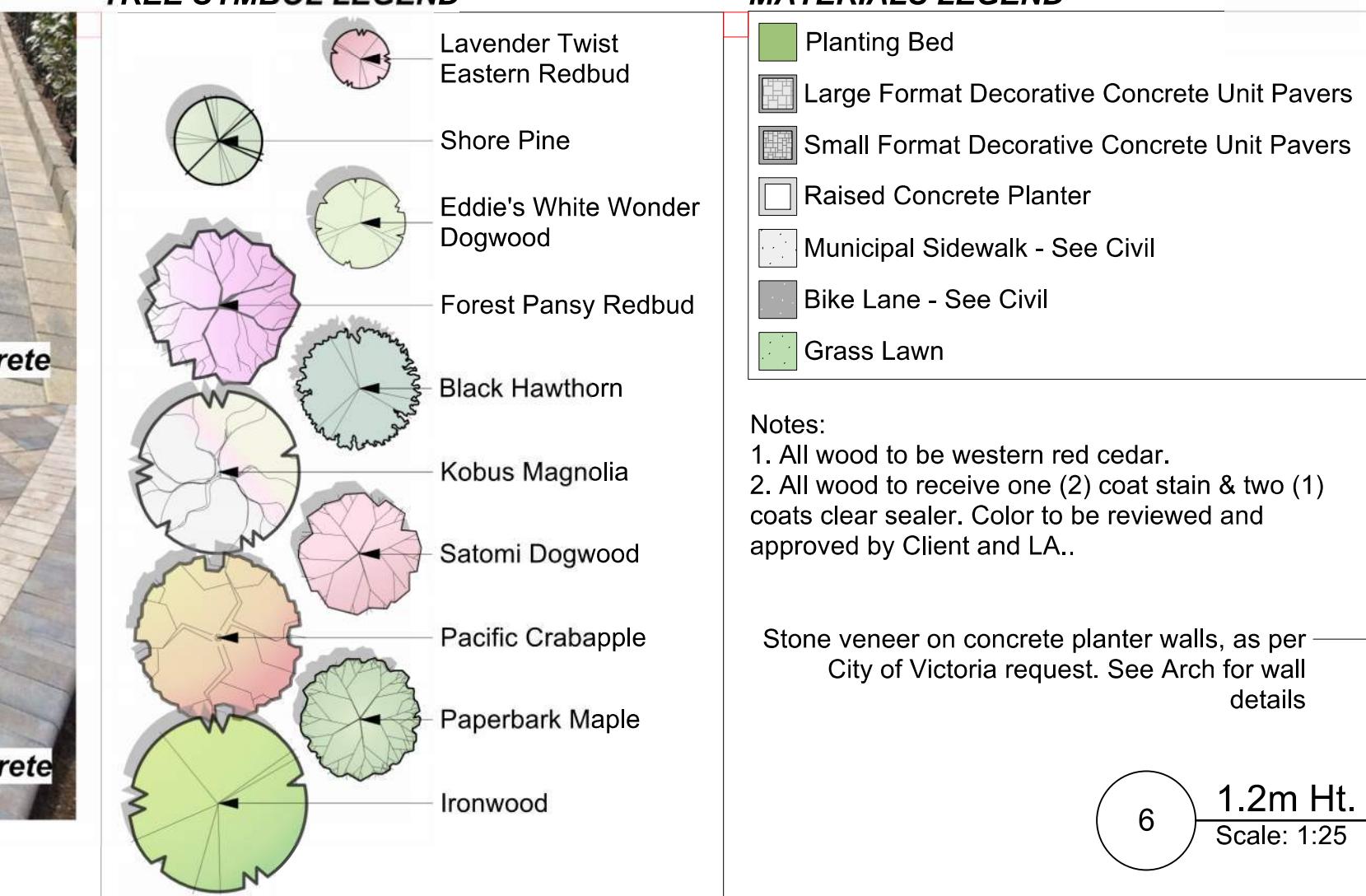
SHADING PALETTE



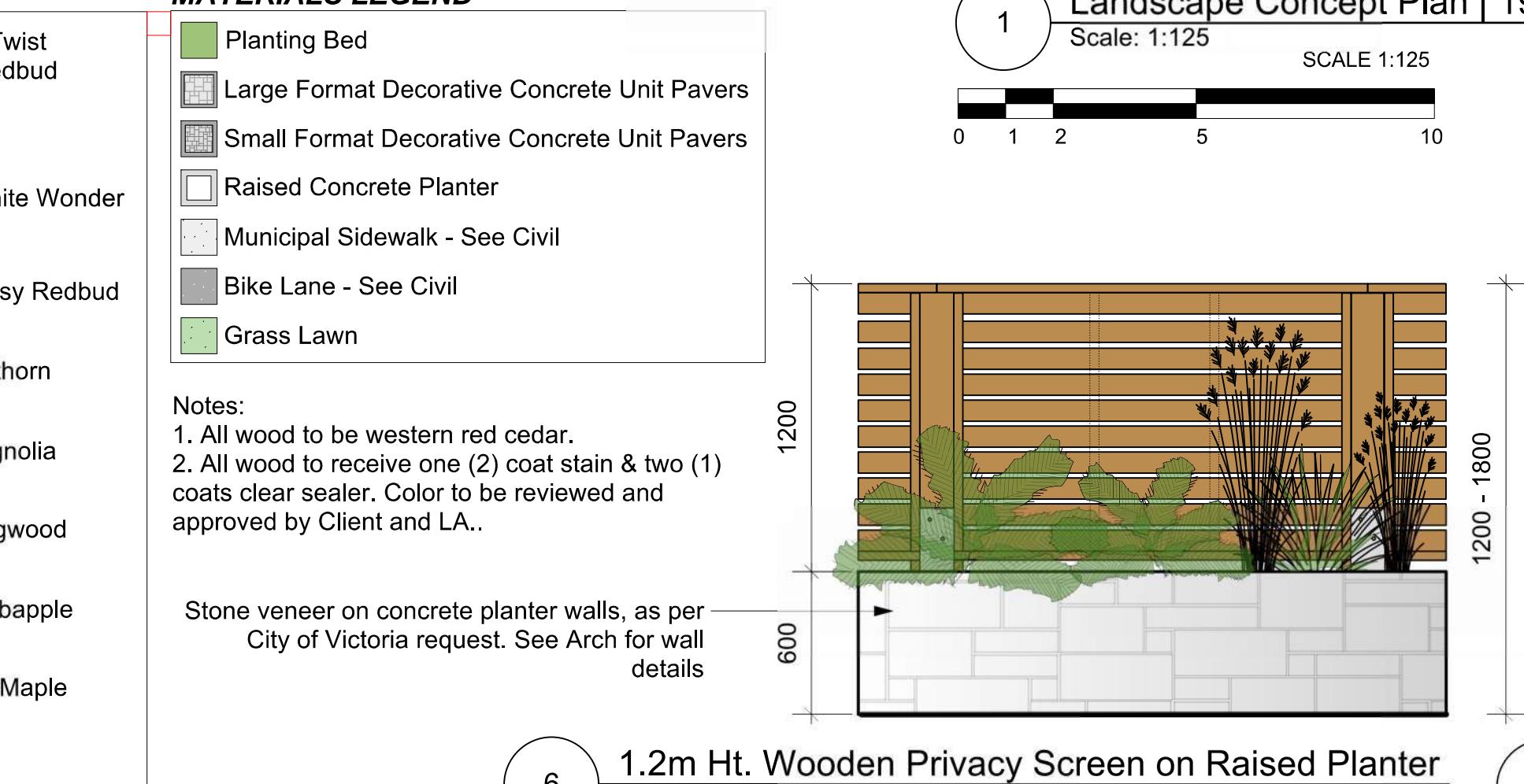
PRECEDENT IMAGE



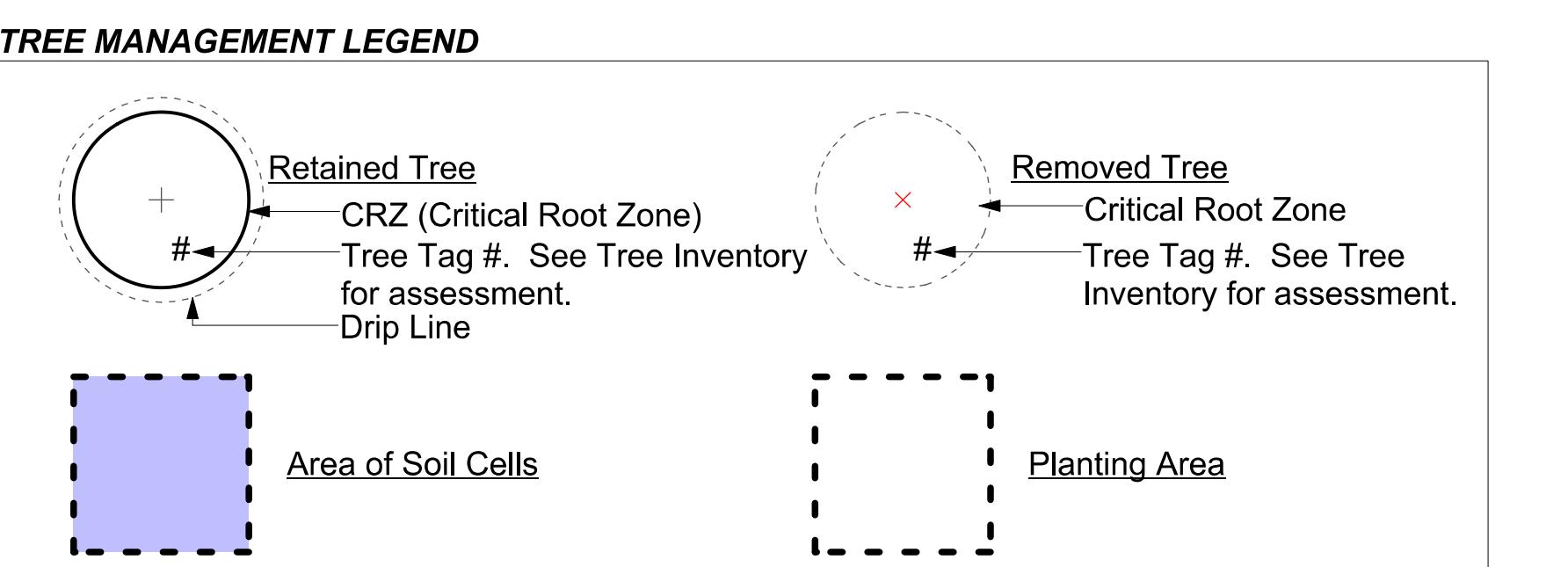
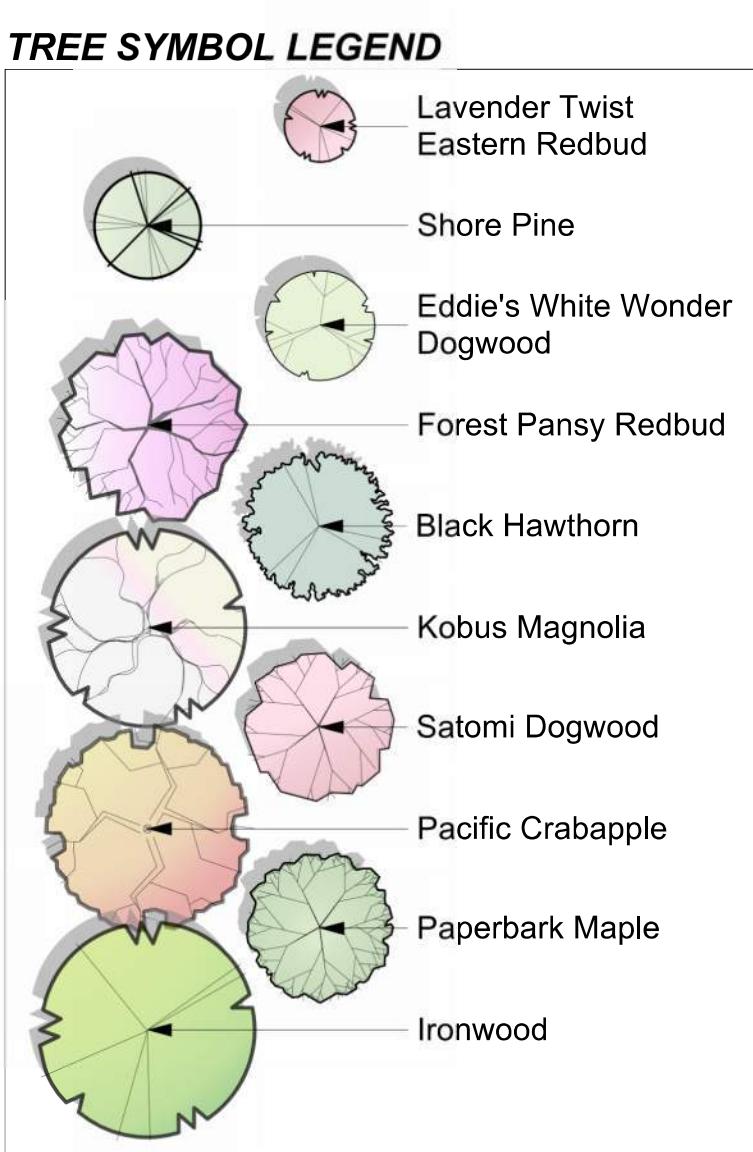
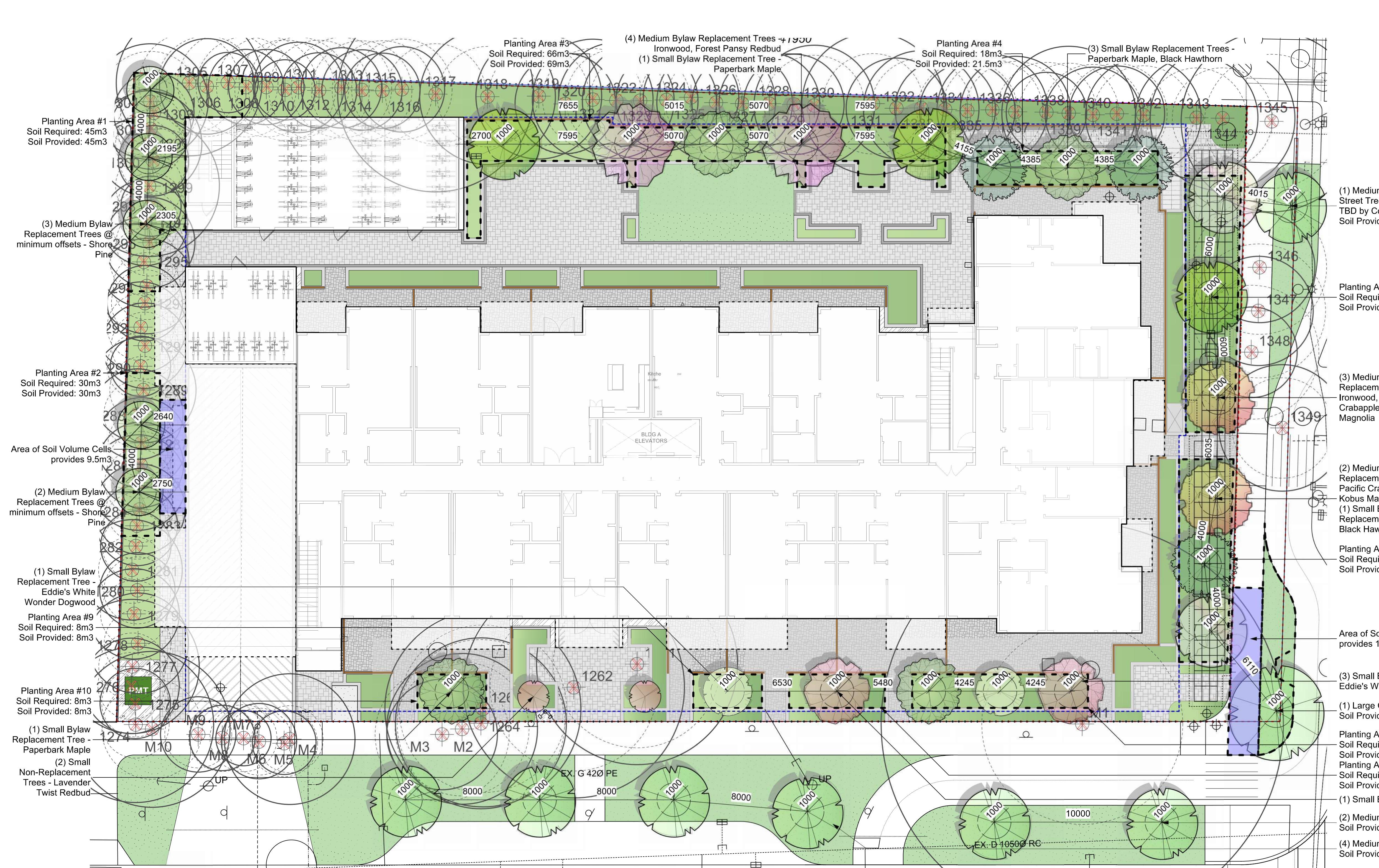
TREE SYMBOL I F



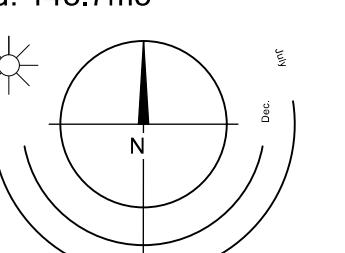
MATERIALS | LEGEND



Landscape Concept Plan | 1908 Foul Bay Rd.



1 Tree Management Plan | 1908 Foul Bay Rd.
Scale: 1:125 SCALE 1:125



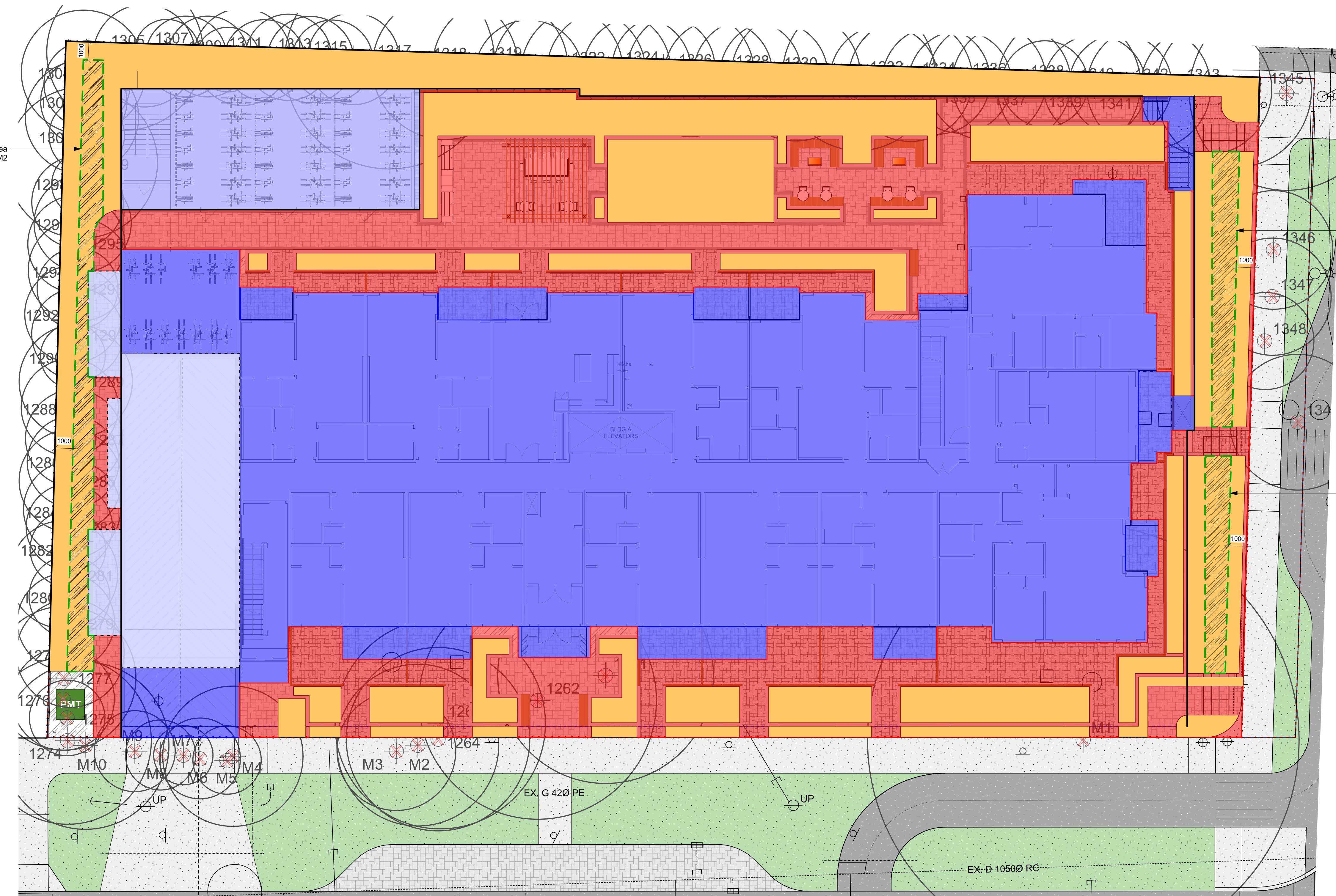
Tree Management Plan | 1908 Foul Bay Rd.



TREE PRESERVATION SUMMARY				Count	Multiplier	Total				
ONSITE Minimum replacement tree requirement										
A. Protected Trees Removed				12	x 1	A.	12			
B. Replacement Trees Proposed per Schedule "E", Part 1				14	x 1	B.	14			
C. Replacement Trees Proposed per Schedule "E", Part 2				11	x 0.5	C.	5.5			
D. Replacement Trees Proposed per Schedule "E", Part 3				0	x 1	D.	0			
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number						E.	19.5			
F. Onsite replacement tree deficit (A-E) Record 0 if negative number						F.	0			
ONSITE Minimum trees per lot requirement (onsite trees)										
G. Tree minimum on lot						G.	13			
H. Protected trees retained (other than specimen trees)					x 1	H.	0			
I. Specimen trees retained				0	x 3	I.	0			
J. Trees per lot deficit (G-(B+C+H+I)) Record 0 if negative number						J.	0			
OFFSITE Minimum replacement tree requirement (offsite trees)										
K. Protected trees Removed					x 1	K.	0			
L. Replacement trees proposed per Schedule "E" Part 1 or Part 3					x 1	L.	0			
M. Replacement trees proposed from Schedule "E" Part 2				0	x 0.5	M	0			
N. Total replacement trees proposed (L+M) Round down to nearest whole number						N.	0			
O. Offsite replacement tree deficit (K-N) Record 0 if negative number						O.	0			
Cash-in-lieu requirement										
P. Onsite trees proposed for cash-in-lieu. Enter F. or J. whichever is the greater number						P.	0			
Q. Offsite trees proposed for cash-in-lieu. Enter O						Q.				
R. Cash-in lieu proposed ((P+Q) x \$2000)						R.				
Soil Table				Replacement Tree Proposed			Soil Volume Required (M3)			
Planting Area ID	Area (M2)	Soil Volume multiplier*	A Estimated Soil Volume	#Small	#Medium	#Large	Small	F Medium	G Large	Total
Onsite										
1	45	1	45		3		0	45	0	45
2	30	1	30		2		0	30	0	30
3	69	1	69	1	4		6	60	0	66
4	21.5	1	21.5	3			18	0	0	18
5	47.8	1	47.8		3		0	45	0	45
6	37	1	37	1	2		6	30	0	36
7	21	1	21	3			18	0	0	18
8	21	1	21	3			18	0	0	18
9	8	1	8	1			8	0	0	8
10	8	1	8	1			8	0	0	8
Offsite (Excluding City Property)										
Planting Area	OSA	X								
(Excluding City Property)				E	F	G	TOTAL			
Calculation				IF B =1,BX8	IF C	IF B	E+F+G			
				IF B>1,BX6	=1,CX20 IF	=1,BX35 IF				
				C>1 CX15	B>1 BX30					

Tree Management Plan | 1908 Foul Bay Rd.



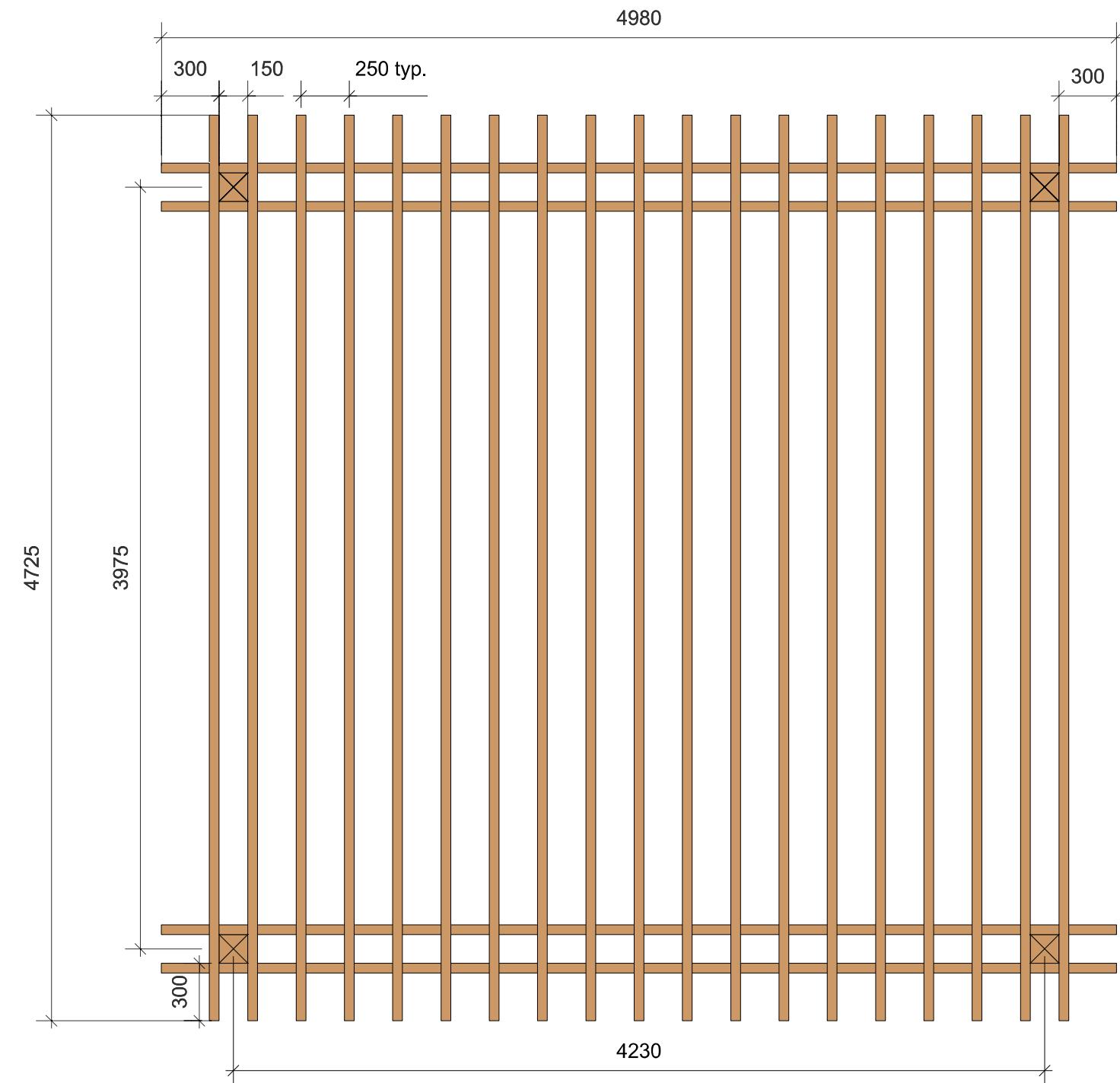


1 Landscape Concept Plan | 1908 Foul Bay Rd.
Scale: 1:125

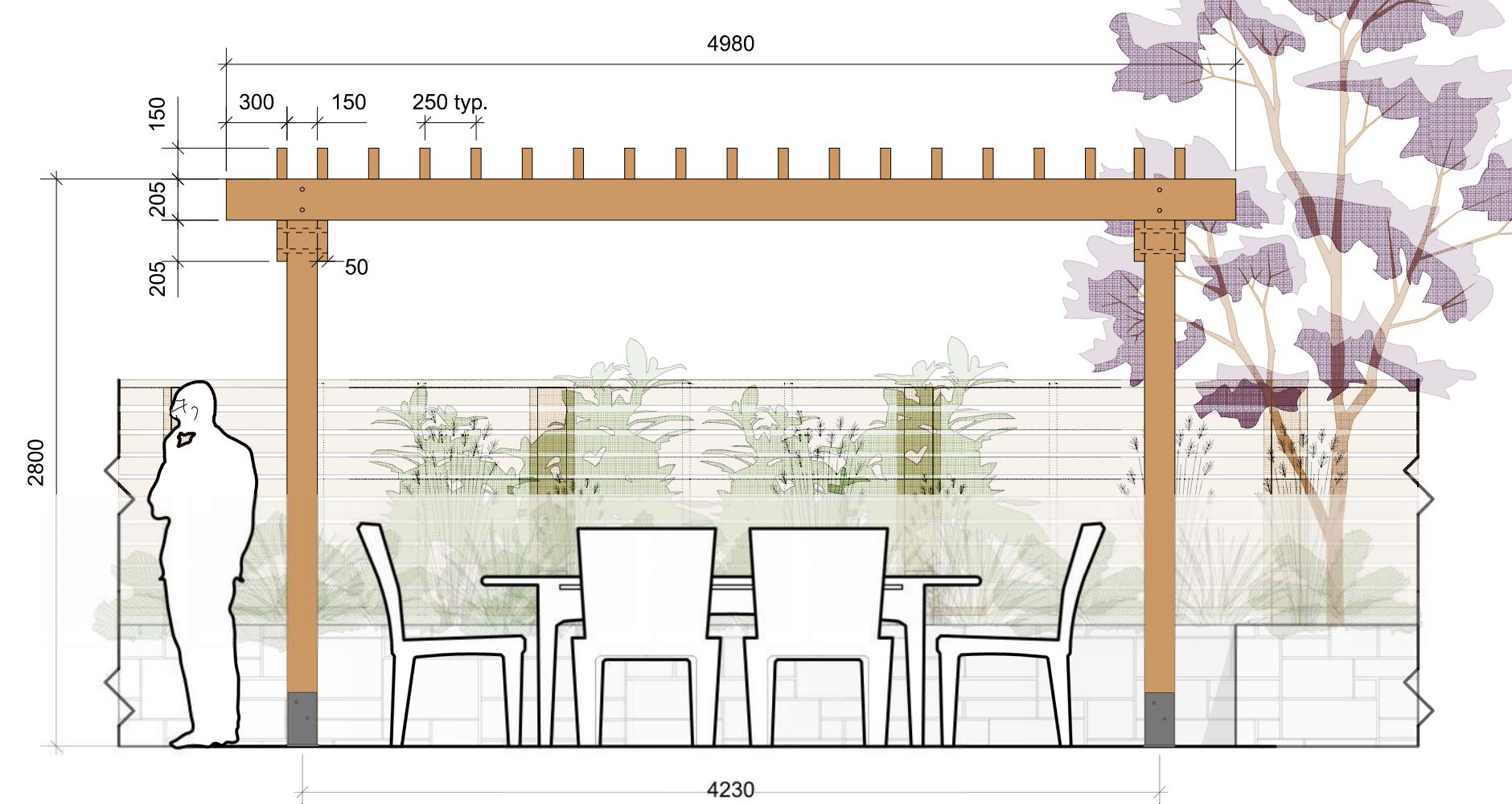
SCALE 1:125
0 1 2 5 10
N
E
S
W



4 Landscape Concept - West Elevation (View from Offsite Path)
Scale: 1:60



2 Pergola Detail | Plan View
Scale: 1:30



3 Pergola Detail | Side View
Scale: 1:30

Open Site Space Takeoffs	
Lot Area:	2506 SQM
Building, Parking, Accessory	
Buildings:	1396 sq m (56%)
Open Lot Space:	1110 sq m (44% of site)
Hardscape:	530 sq m (48% of OLS)
Soft Landscaping:	580 sq m (52% of OLS)

Landscape Concept Plan | 1908 Foul Bay Rd.