

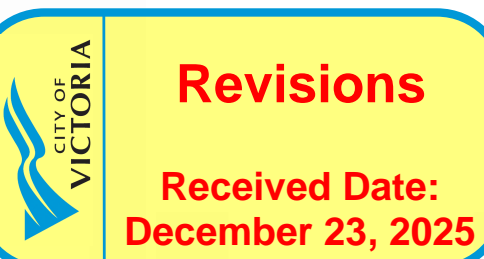


TELUS living



PROPOSED RESIDENTIAL DEVELOPMENT

1 9 0 8 F O U L B A Y R O A D
DEVELOPMENT PERMIT RESUBMISSION
2 0 2 5 - 1 2 - 1 5 V I C T O R I A , B . C .



83 MULTI FAMILY UNITS
SITE ADDRESS: 1908 FOUL BAY ROAD
LEGAL: LOT 1, SECTION 76,VICTORIA DISTRICTPLAN 26773

Code Review Summary

	L1 to L6	Basement
Occupancy	Group C	Group F- Div 3
Bldg. Area (m ²)	1,099 m ²	2,234 m ²
Bldg. Height (storeys)	6 storeys	Basement (1 level)
Sprinklered	Yes	Yes
Construction Article(s)	3.2.2.51	3.2.2.84
Max. Area Permitted (m ²)	1,500 m ²	7,200 m ²
Construction Type	Combustible	Non-combustible
Floor Fire Resistance Rating	1h	1h
Mezzanine Fire Resistance Rating	N/A	N/A
Roof Fire Resistance Rating	1h	1h

NOTES:
1. This project is designed to comply with the BC Building Code 2024 except for section 3.8.5 adaptable design and section 4.1.8 seismic which are to be designed to BCBC 2018 as directed in Ministerial Order BA 2024 04.

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CONSULTANT LIST

DEVELOPER
Ledcor Property Investments Ltd.
1500 - 1067 West Cordova Street,
Vancouver, BC, V6C 1C7

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ARBORIST
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Victoria BC, V8Z 7H6

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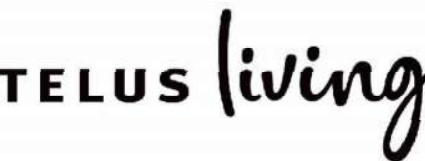
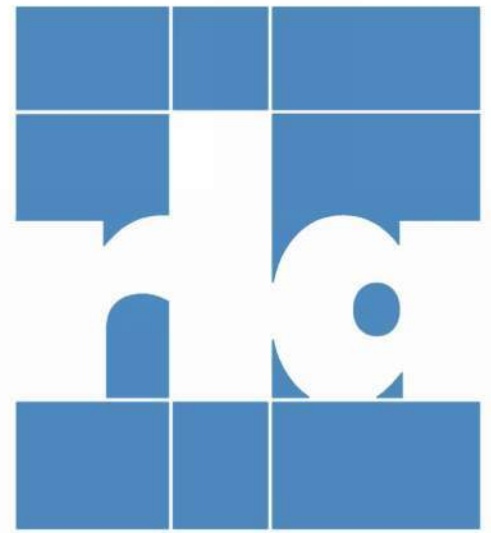
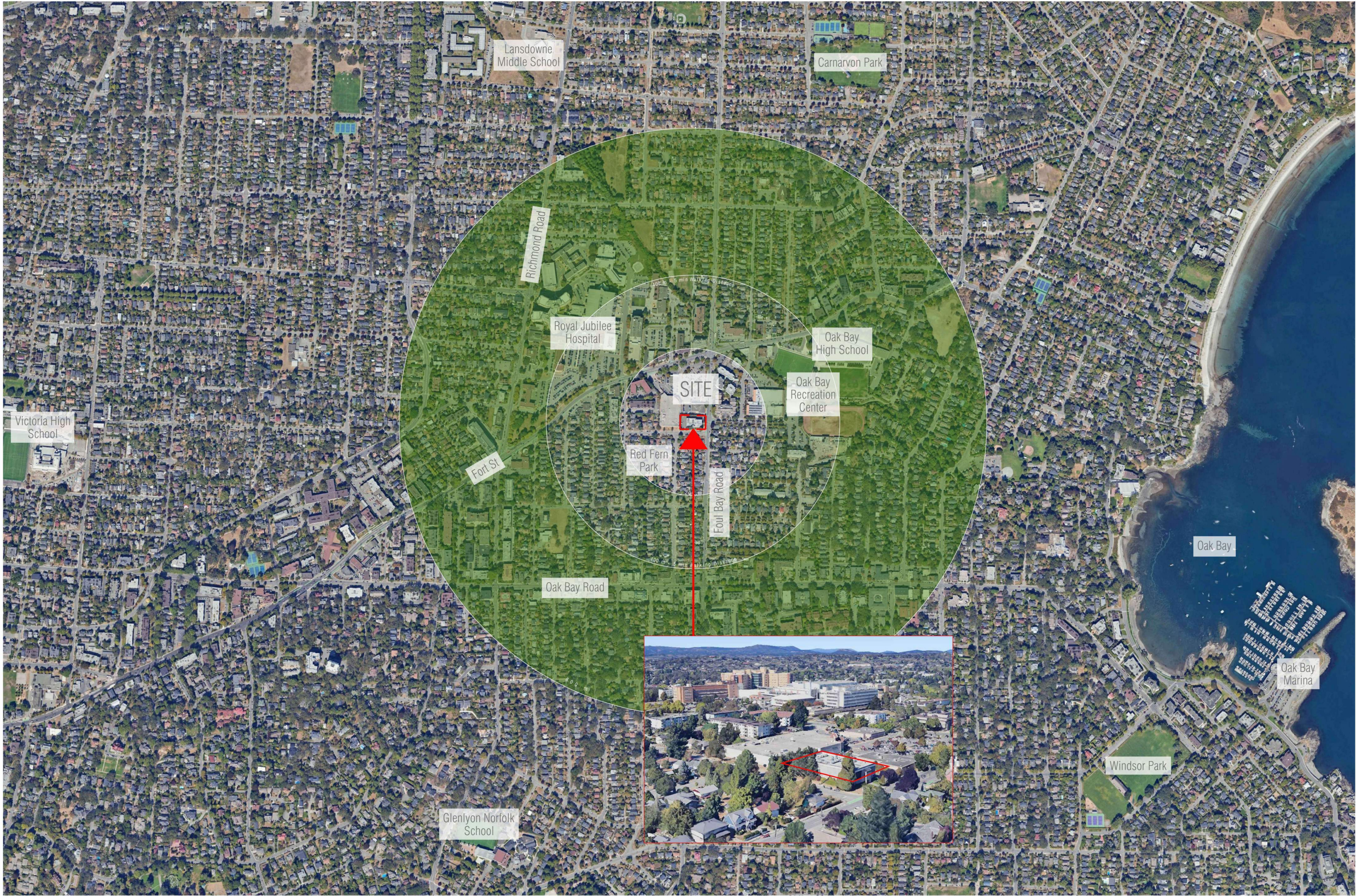


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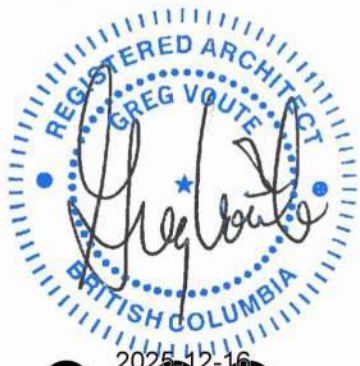
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Project Location Map

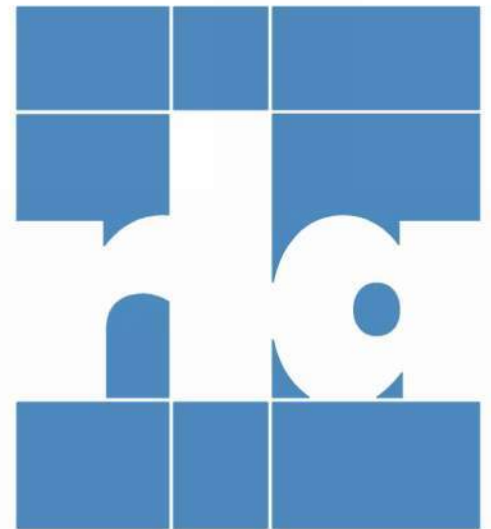
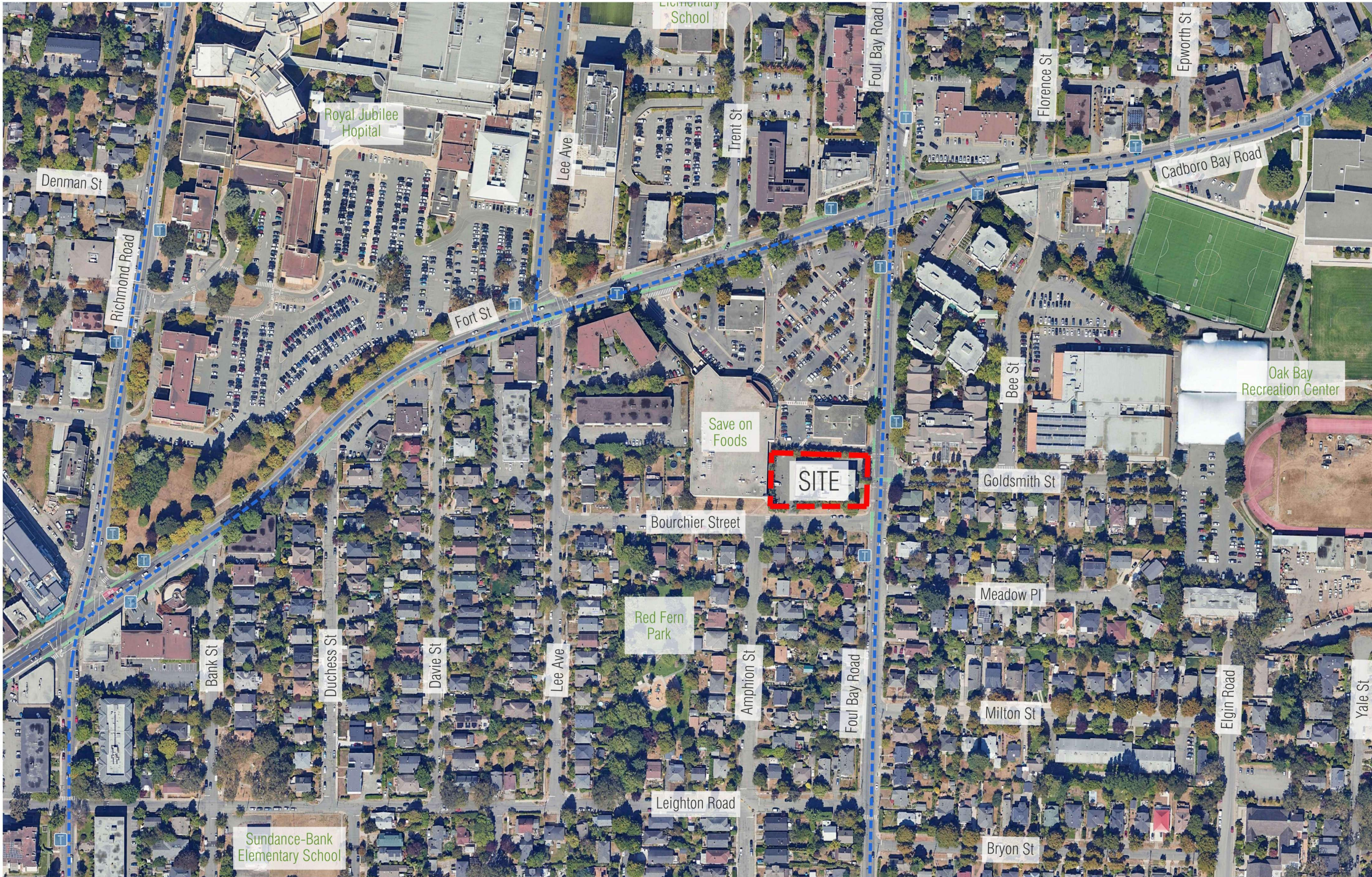
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Project Location Map



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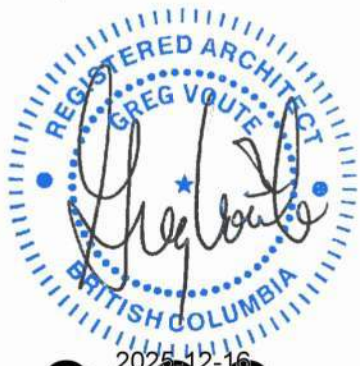
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Context Plan

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Context Plan



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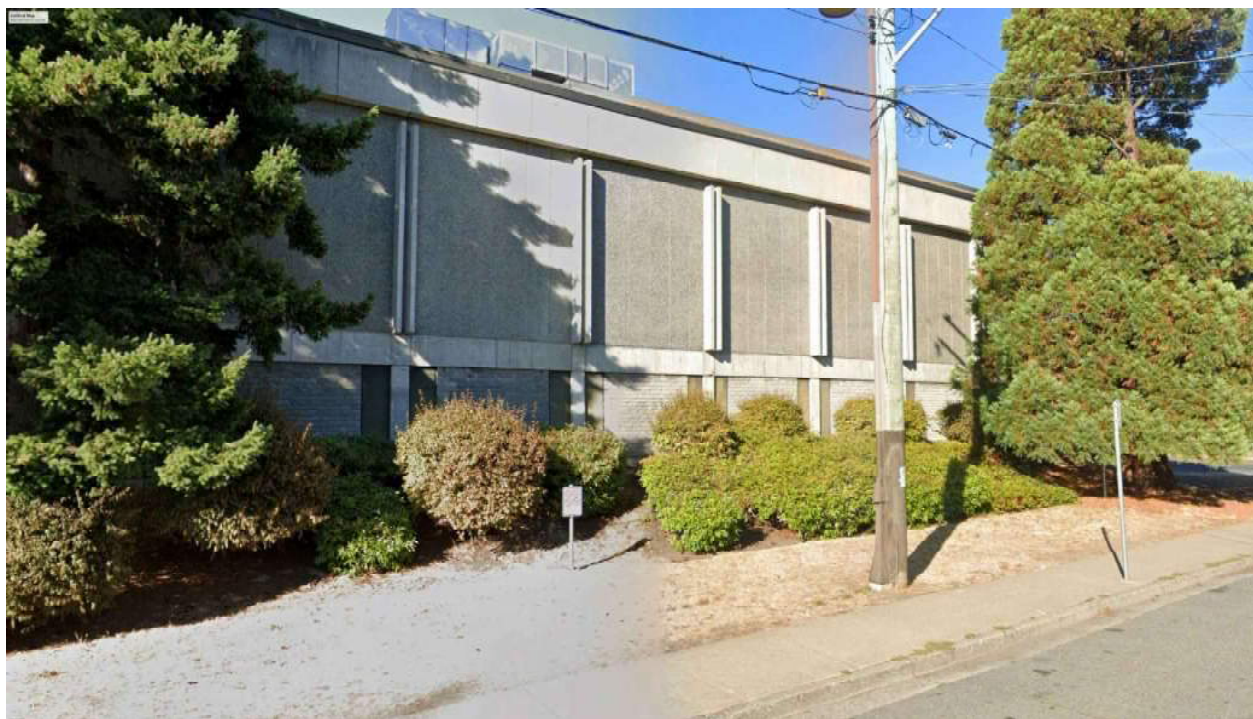
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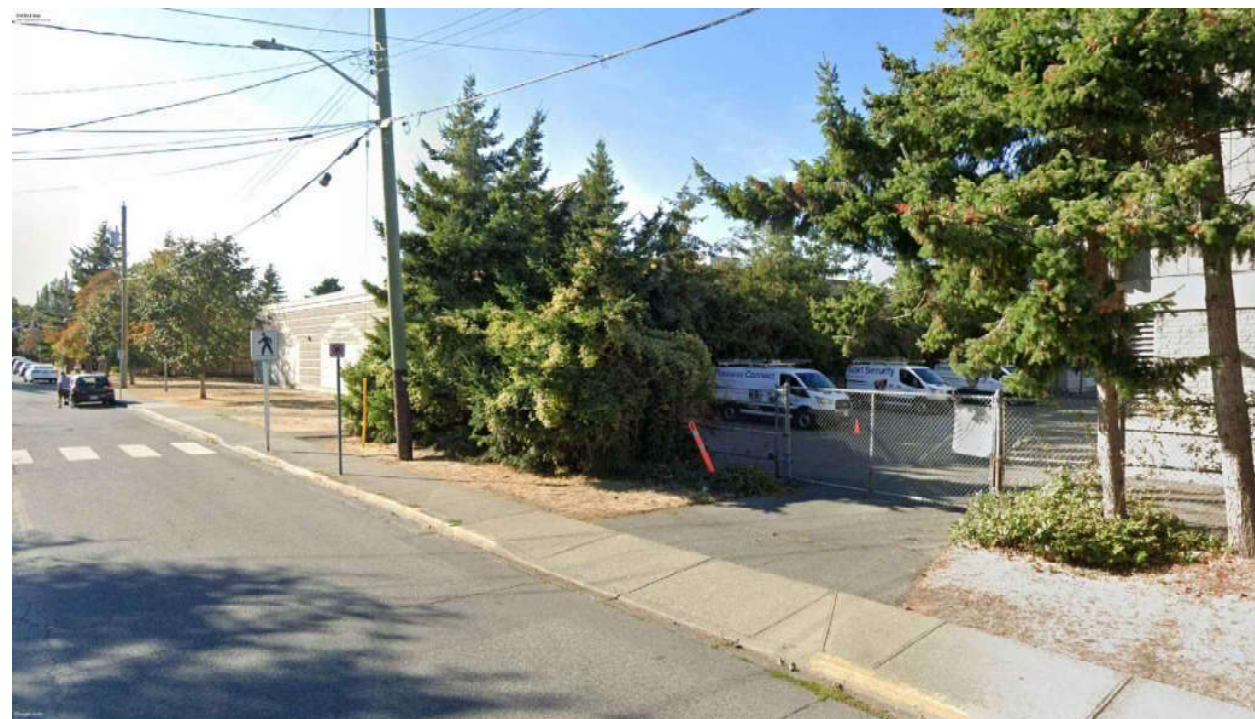
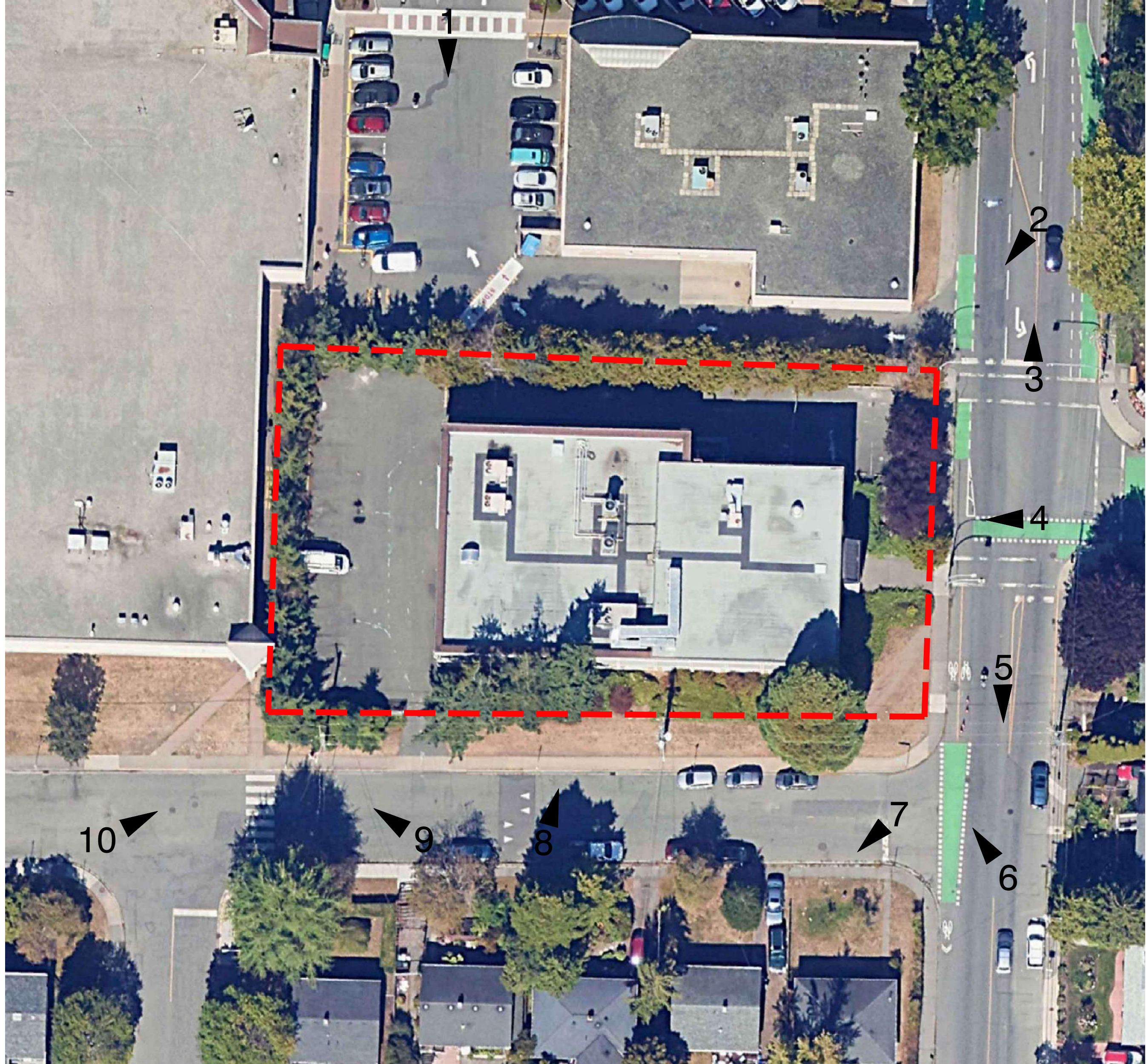
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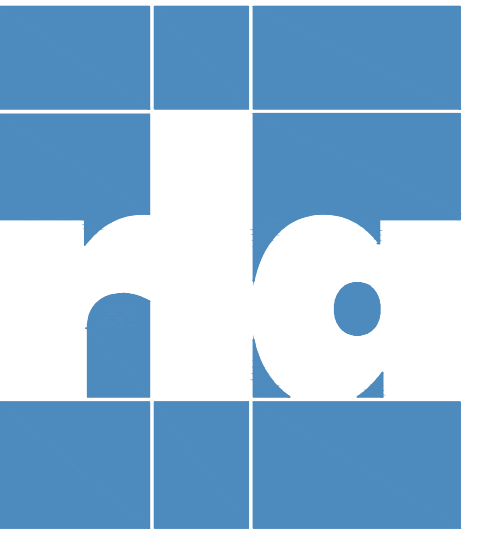
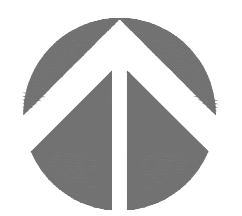


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Photos of Existing Site Condition



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Photos of Existing
Site Conditions
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Survey

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Development Statistics

TELUS LIVING	Development Statistics:				updated	2025-12-15
<u>Project Address:</u> 1908 Foul Bay, Vicotria, BC						
<u>Zoning:</u>						
Current:	City of Victoria	TCD-1 Zoning	(Single Family Dwelling District)			
Proposed:	New Zone					
Site Stats						
Site Area			28,105	sf		2,611.04 sm
Dedication Area			1,185	sf		110.09 sm
Post Dedication, Net Site Area			26,920	sf		2,500.95 sm
Site Coverage	Max Allowable		Proposed			
	80%		84%			
Floor Space Ratio (FSR)		sf	2.52	67,870	sf (6 storeys)	6,305 sm

Units Mix							
Units		Mix	Units Size	Units	Total		
S	Studio	7%	434 sf	6	2,604 sf	Studio	7%
A1	1 Bedroom	30%	530 sf	26	13,780 sf	1 Bedroom	43%
A2	1 Bedroom + Flex	14%	656 sf	12	7,872 sf		
A2e	1 Bedroom	6%	581 sf	5	2,905 sf	1 Bedroom + Flex	14%
A2ap	1 Bedroom (adaptable)	7%	581 sf	6	3,486 sf		
B1	2 Bedroom 2 Bath	5%	798 sf	4	3,192 sf	2 Bedroom	23%
B2	2 Bedroom 2 Bath	7%	852 sf	6	5,112 sf		
C2	2 Bedroom 2 Bath Corner	11%	797 sf	10	7,970 sf		
D1	3 Bedroom 2 Bath Corner	7%	991 sf	6	5,946 sf	3 Bedroom	14%
D2	3Bedroom 2 Bath Corner	7%	1090 sf	6	6,540 sf		
		100%					
	Average net Unit size	683 sf		87	59,407 sf		
Total GFA					71,694 sf		
	Efficiency				83%		100%

Parking						
Car Parking						
45 sm (484 sf)	Required Residential (Core Area)		Units	Required Stalls	Proposed	Parking Area 22,552 sf
	<	45 sm (484 sf)	0.60 /unit	6	4	2,095.1 m2
	<	70 sm (753 sf)	0.70 /unit	49	34	
	>	70 sm (753 sf)	1.10 /unit	32	35	
			87 Total	73	54	
Required Accessible		2 cars / 51-75 spaces		2 incl'd above	2 incl'd above	
Required Van Accessible		1 car / 51-75 spaces		1 incl'd above	1 incl'd above	
Total Residential Cars				73	54	
Required Visitor			0.10 /unit	87	9	7
Required Visitor Accessible			0 cars / 6-25 visitor spaces		0 incl'd above	0 incl'd above
Required Visitor Van Accessible			1 car / 6-25 visitor spaces		1 incl'd above	1 incl'd above
Total Visitors Parking				9	7	
Total				82	0.94 61	0.70
Long Term Bike Parking						
Required					Proposed	
	<	45 sm (484 sf)	1.00 /unit	6	6	
	>	45 sm (484 sf)	1.25 /unit	81	101	
Total				107	108	
Short Bike Parking						
Greater of	Required					
	6 or	0.1 /unit	87	9	8	

RENTAL APARTMENT UNITS												
	Room Type	Parking	Main Floor	2nd Floor	3rd Floor	4th Floor	5th Floor	6th Floor	Total Units	Unit Area	Total Area	Unit Mix
S	Studio		1	1	1	1	1	1	6	434 SF	2,604 SF	7%
A1	1 Bedroom		5	5	4	4	4	4	26	530 SF	13,780 SF	30%
A2	1 Bedroom + Flex		2	2	2	2	2	2	12	656 SF	7,872 SF	14%
A2e	1 Bedroom		0	1	1	1	1	1	5	581 SF	2,905 SF	6%
A2ap	1 Bedroom (adaptable)		1	1	1	1	1	1	6	581 SF	3,486 SF	7%
B1	2 Bedroom 2 Bath		0	0	1	1	1	1	4	798 SF	3,192 SF	5%
B2	2 Bedroom 2 Bath		1	1	1	1	1	1	6	852 SF	5,112 SF	7%
C2	2 Bedroom 2 Bath Corner		0	2	2	2	2	2	10	797 SF	7,970 SF	11%
D1	3 Bedroom 2 Bath Corner		1	1	1	1	1	1	6	991 SF	5,946 SF	7%
D2	3Bedroom 2 Bath Corner		1	1	1	1	1	1	6	1,090 SF	6,540 SF	7%
	#UNIT / FLOOR		12	15	15	15	15	15	87	Avg Unit		
	UNIT AREA/FLOOR		7,910 SF	10,085 SF	10,353 SF	10,353 SF	10,353 SF	10,353 SF		683 SF net	59,407 SF	100%
	Common Area		1,242 SF	1,269 SF	1,272 SF	1,272 SF	1,272 SF	1,272 SF			7,599 SF	
	Entry Lobby (Open to 2nd Floor)		271 SF	271 SF							542 SF	
	Amenity Room		593 SF								SF	
	Bike Rooms		1,583 SF									
	Exterior Wall		415 SF	311 SF	311 SF	311 SF	311 SF	311 SF				
	FLOOR AREA (Excludes Bike Room and Exterior Wall) for FSR Calculation		10,016 SF	11,354 SF	11,625 SF	11,625 SF	11,625 SF	11,625 SF			67,870 SF	
	GROSS FLOOR AREA (excludes ground floor bike rooms)		12,014 SF	11,936 SF	11,936 SF	11,936 SF	11,936 SF	11,936 SF			71,694 SF	
	NET EFFICIENCY Unit area over Gross Floor Area		66 %	84 %	87 %	87 %	87 %	87 %			83 %	

FSR			930.5 sm	1054.8 sm	1080.0 sm	1080.0 sm	1080.0 sm	1080.0 sm	6305.3 sm		
RESIDENTIAL UNIT MIX SUMMARY			Mix %	Units							
S	Studio		7%	6							
A1 A2e A2ap	One Bedroom		49%	43							
A2	One Bedroom Flex		7%	6							
B1 B2 C2	Two Bedroom		23%	20							
D1 D2	Three Bedroom		14%	12							



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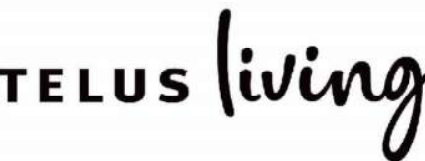
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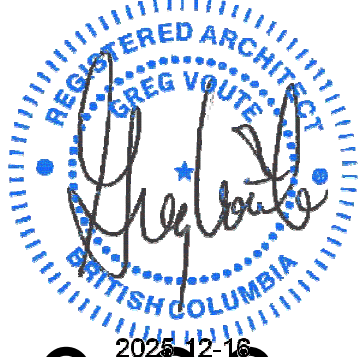
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Multi-Unit Residential



Development Statistics

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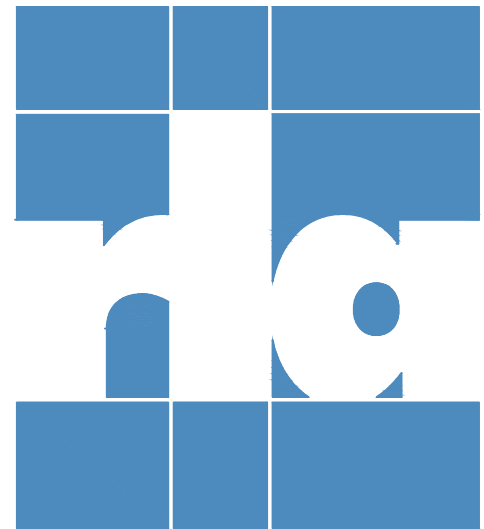


Development Statistics

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Aerial View of Proposed Building in Relation to Flanking Buildings



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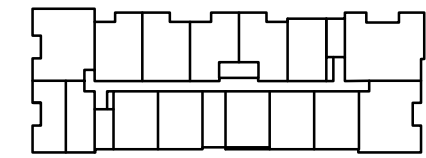
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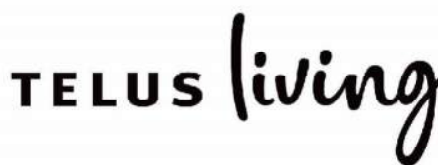
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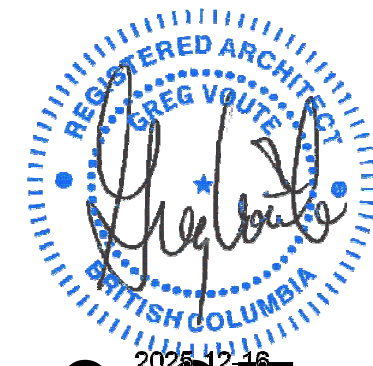
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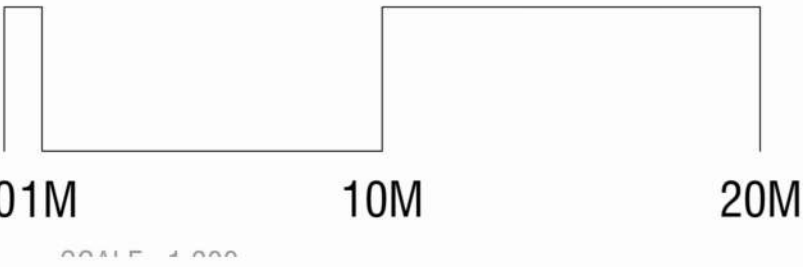
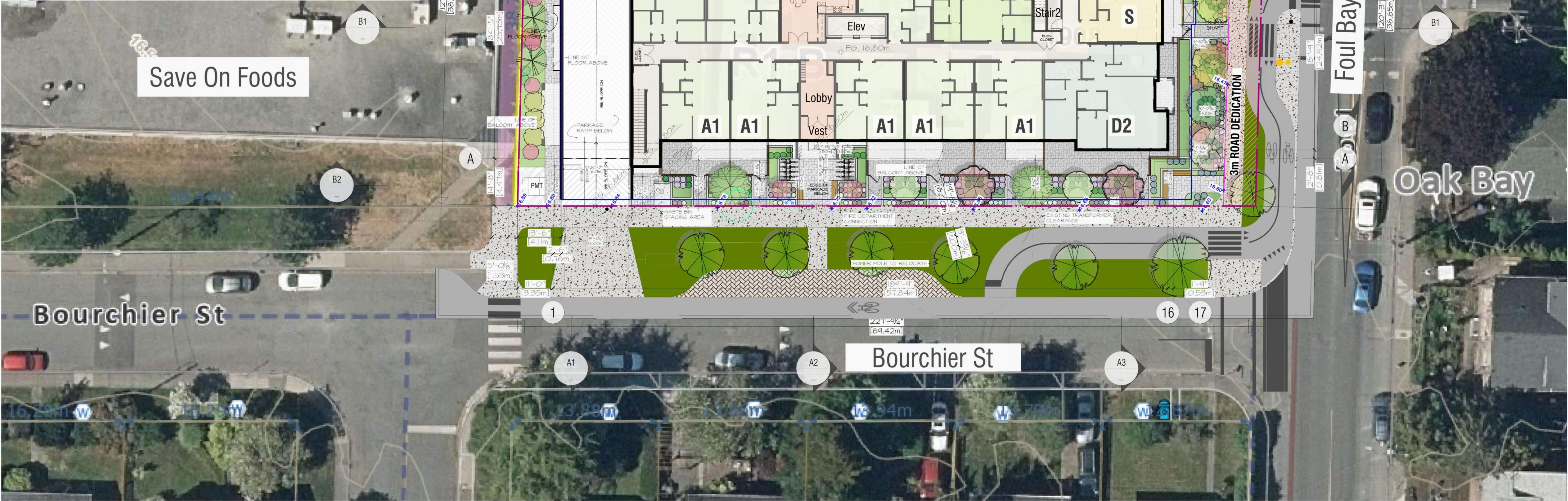
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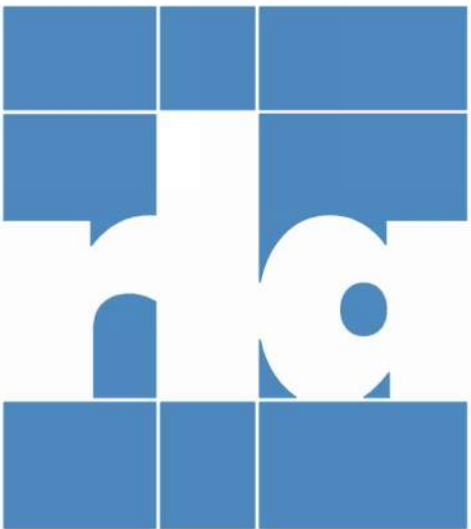


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PROJECT INFORMATION TABLE		
	Proposal	Zone Standard (TCD-1)
Site area (m²)	2,611.04 m²	
Site area (m²) post dedication	2,500.95 m²	
Total floor area (m²)	6,305.33 m²	
Commercial floor area (m²)	N/A	
Floor space ratio	2.52	1.6
Site coverage (%) (includes parkade)	83.8%	80%
Open site space (%)	16.2%	6%
Height of building (m)	20.79 m	14 m
Number of storeys	6	8
Parking stalls (number) on site	61	73
Bicycle parking number (Class 1 and Class 2)	8	9
Building Setbacks (m)		
Front yard (South Side Bouchier Street)	2.77m	0 m
Rear yard (North Side)	1.98m	6 m
Side yard (East Side Foul Bay Road)	5.14m	0 m
Side yard (West Side)	1.59m	0 m
Combined side yards	N/A	
Residential Use Details		
Total number of units	87	
Unit type, e.g., 1-bedroom	Studio, 1-bedroom, 2-bedroom, 3-bedroom	
Ground-orientated units	12	
Minimum unit floor area (m²)	40 m²	
Total residential floor area (m²)	5,525 m²	



Site Plan & Project Information



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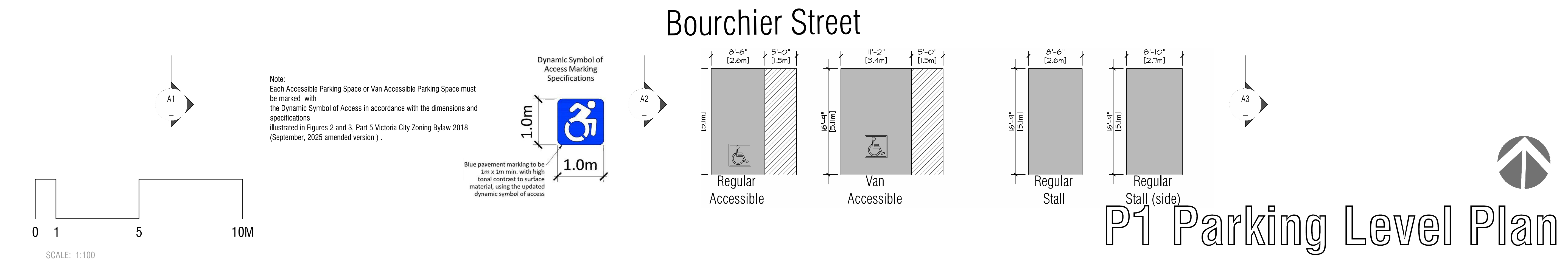
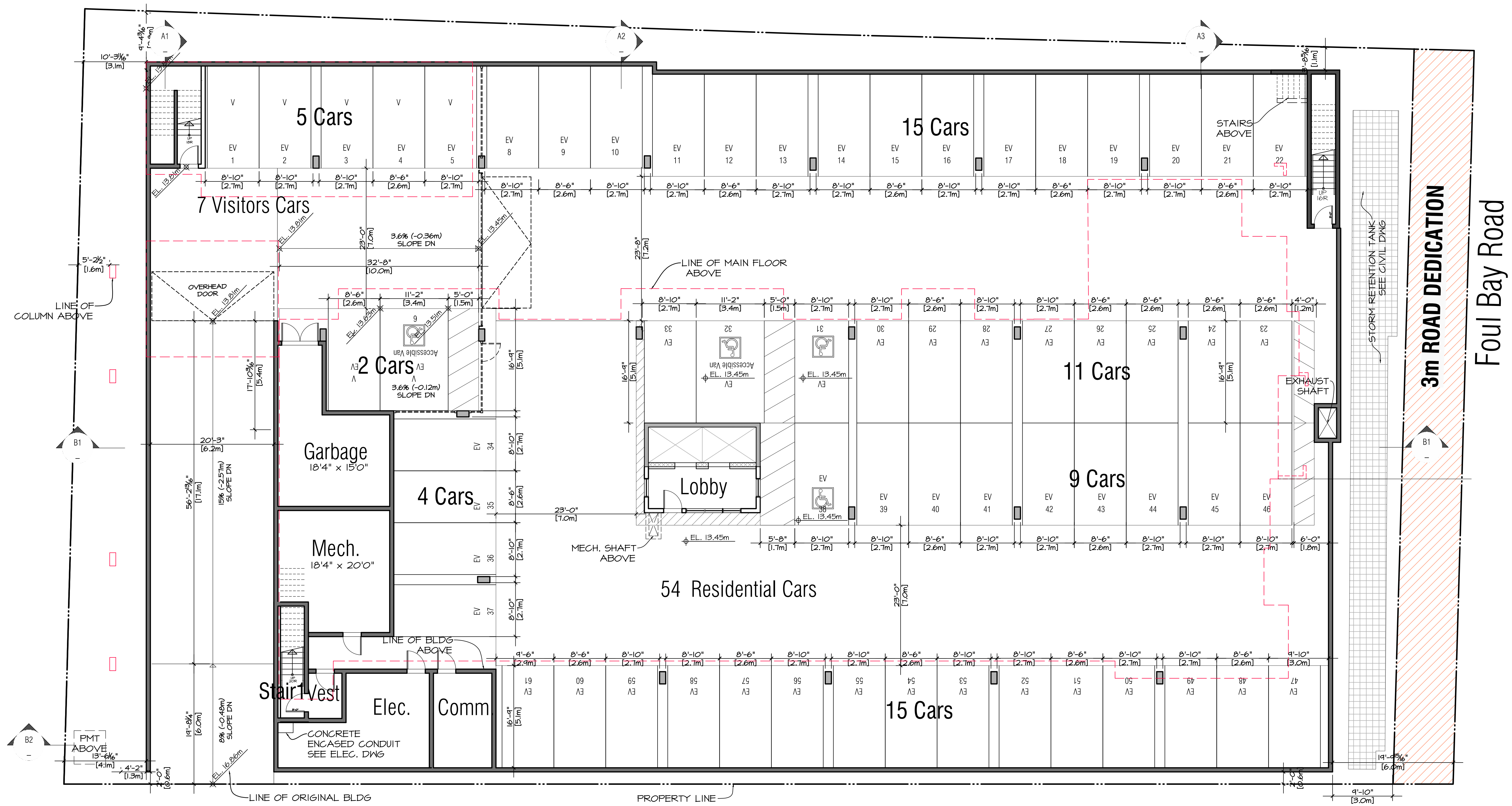


Site Plan

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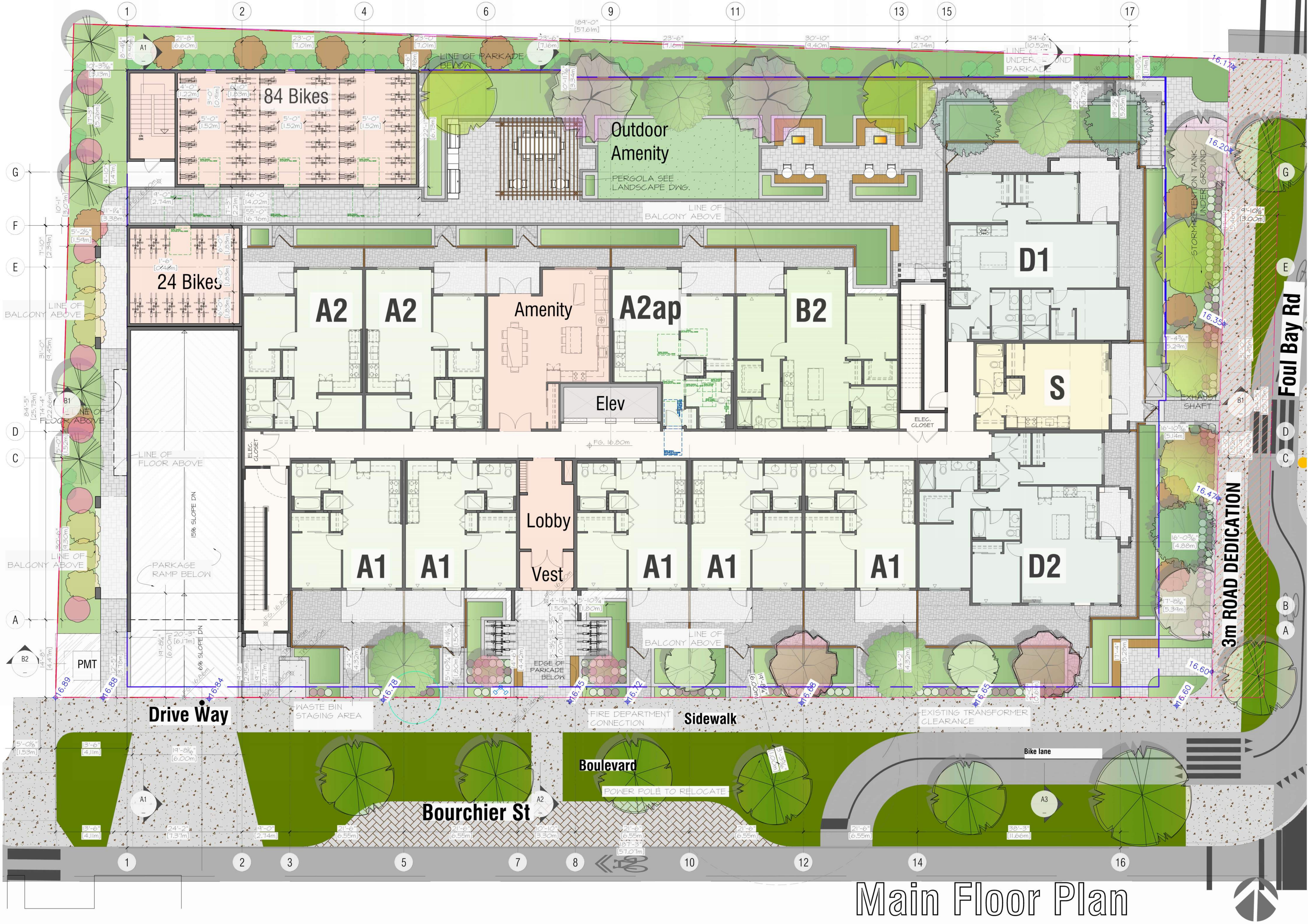
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P1 Parking Level Plan

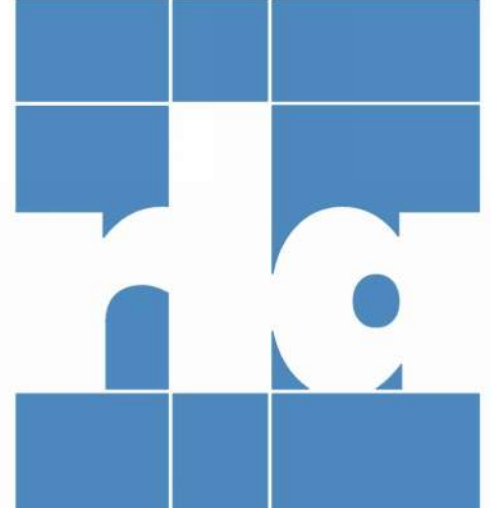
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Main Floor Plan

SCALE: 1:100



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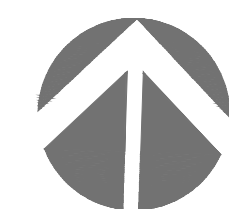
Main Floor Plan
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Level 2 Floor Plan



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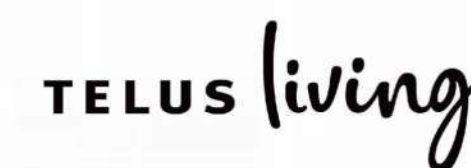
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Issued for DP Resubmission

1908 FOUL BAY
Multi-Unit Residential

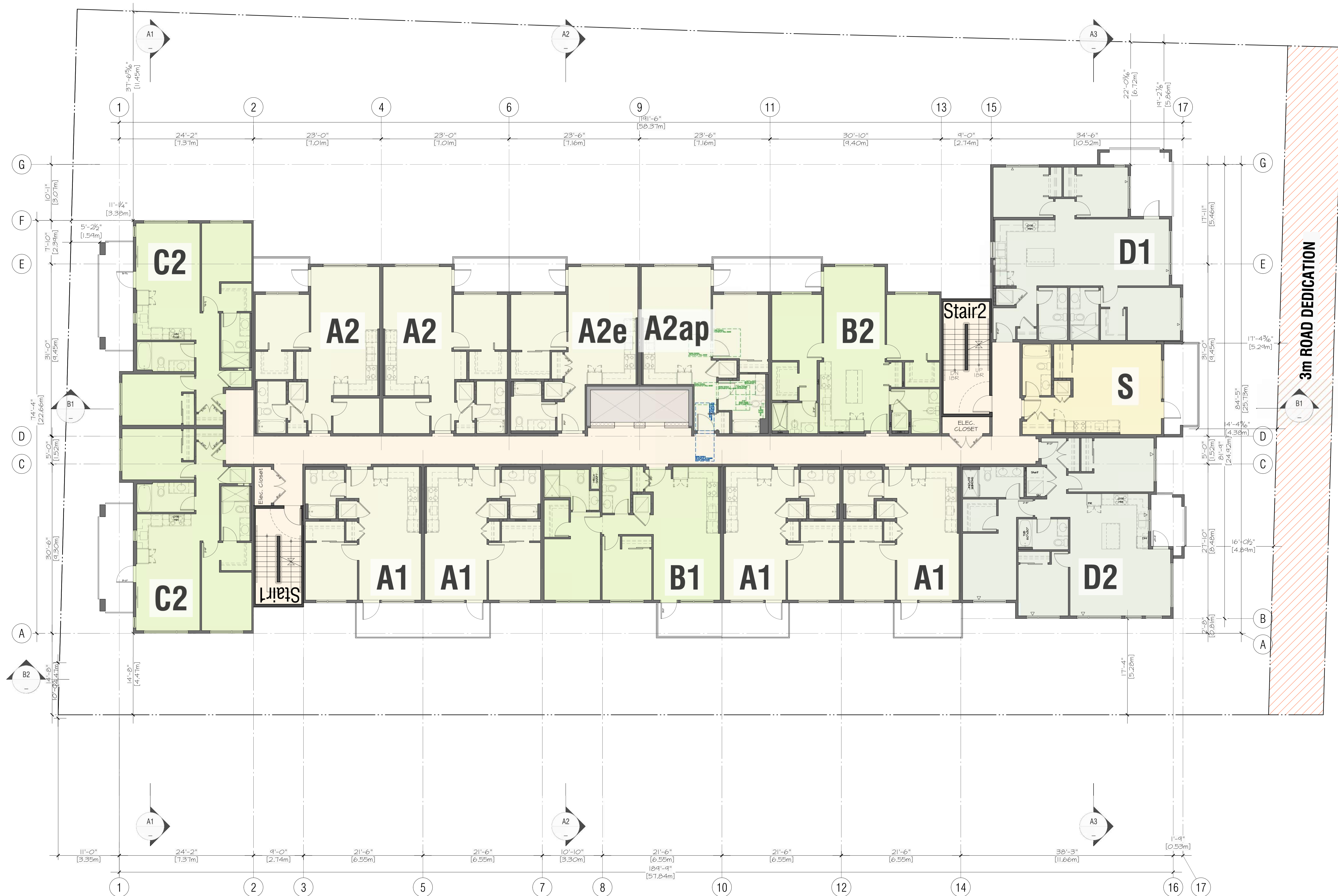


Typical Floor Plan

Scale: 1:100
December 15, 2025



A-2.03



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1908 FOUL BAY
Multi-Unit Residential

TELUS living

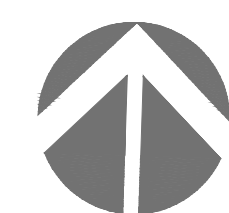


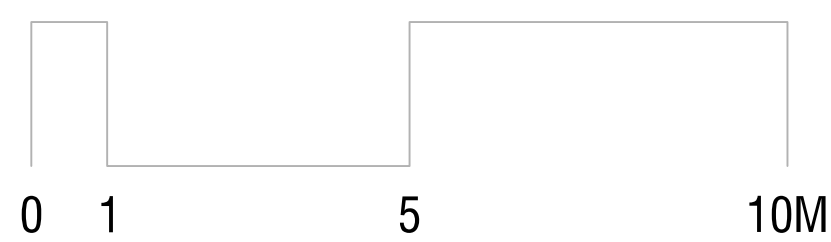
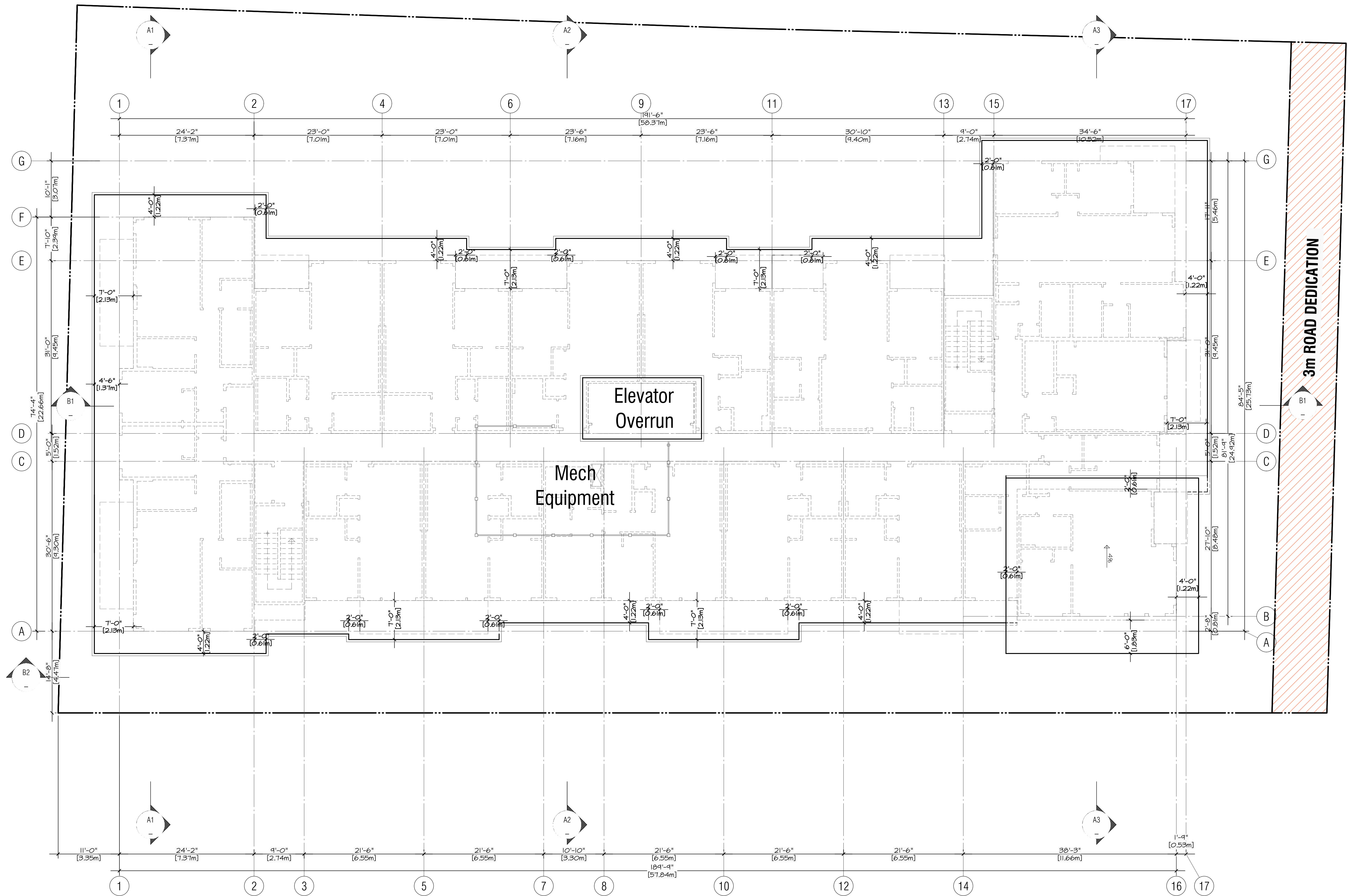
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December 15, 2025



A-2.04

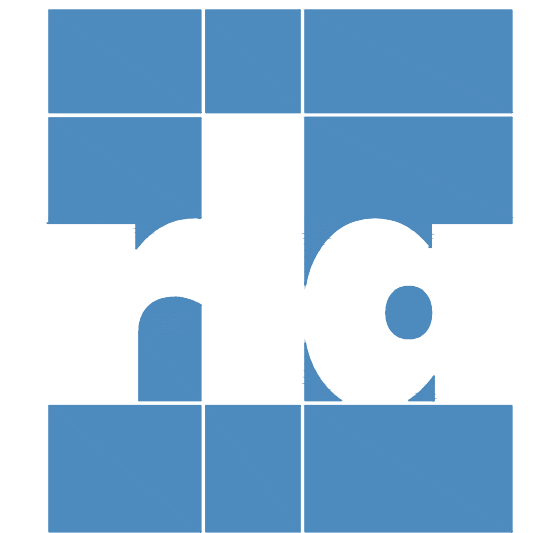
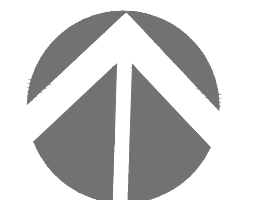
Typical Floor Plan





SCALE: 1:100

Roof Plan

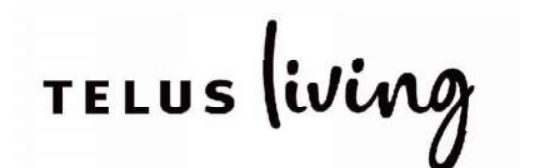


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For

Project
1908 FOUL BAY
Multi-Unit Residential



Roof Plan
Scale: 1:100
December 15, 2025



A-2.05

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1

Roofing

2- PLY SBS Roofing, Light Grey
- 2

Fascia: Dark

Fibre Cement
B.C. HC-154 - Hale Navy
- 3

Soffit: Feature Wood

Fibre Cement, Wood-like Colour
- 4

Soffit: Typical - Light Grey

Fibre Cement
B.M. HC-169 - Conventry Grey
- 5

Soffit: Typical - Dark Grey

Fibre Cement
B.M. 2128-20 - Abyss
- 6

Panels: Dark Grey

Fibre Cement Panels
B.M. 2128-20 - Abyss
- 7

Panels: Rust Red

Fibre Cement Panels
Woodtone: Rosewood
- 8

Ledgestone:

Providence Ledgestone
- 9a

Panels: Off White

Fibre Cement Vertical Board & Batten
B.M. OC-17 - White Dove
- 9b

Panels: Light Gray

Fibre Cement Vertical Board & Batten
B.M. HC-169 - Conventry Gray
- 10

Windows: Vinyl Dark

Vinyl Window Frames, Charcoal Colour
- 11

Windows: Curtain Wall

Aluminum Frames, Charcoal Colour
- 12

Metal Flashing: Feature

Match Colour to Adjacent Material
- 13

Privacy Screens & Guards

Aluminum Frame & Glass Panel Guards and
Privacy Screens, Charcoal Colour
- 14

Metal Fence-Charcoal Grey

Aluminum Fence, Charcoal Colour
- 15

Feature beams - Charcoal Grey

Fibre Cement Cladded
B.M. 2128-20 - Abyss
- 16

Architectural Concrete

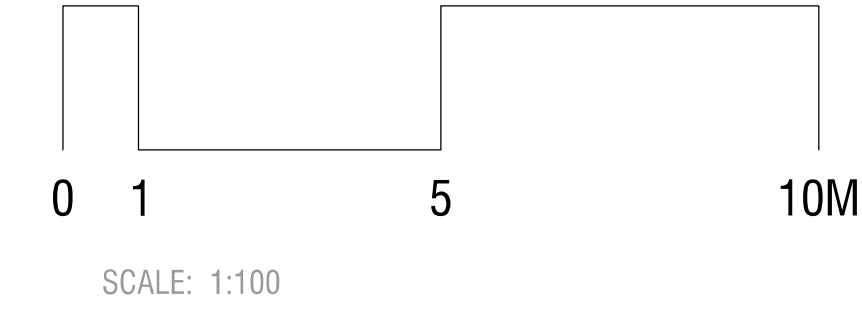
Exposed Concrete (Painted At Parts of the
Building Envelope)
- 17

Sunshades - Charcoal Grey

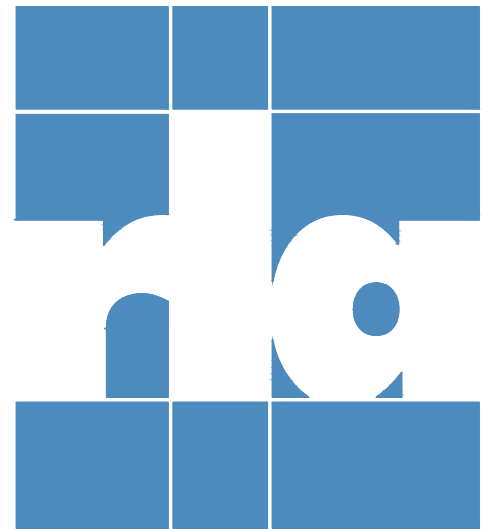
Aluminum Frame, Charcoal Colour
- 18

Trims:Dark Grey

B.M. HC-178 Charcoal Slate



Elevation - South



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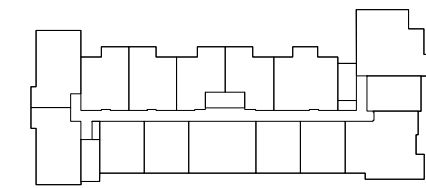
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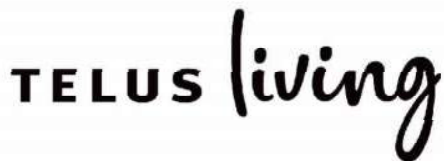
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For

Project
1908 FOUL BAY
Multi-Unit Residential



Elevations

Scale: 1:100
December 15, 2025



A-3.01

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1

Roofing

2- PLY SBS Roofing, Light Grey
- 2

Fascia: Dark

Fibre Cement
B.C. HC-154 - Hale Navy
- 3

Soffit: Feature Wood

Fibre Cement, Wood-like Colour
- 4

Soffit: Typical - Light Grey

Fibre Cement
B.M. HC-169 - Conventry Grey
- 5

Soffit: Typical - Dark Grey

Fibre Cement
B.M. 2128-20 - Abyss
- 6

Panels: Dark Grey

Fibre Cement Panels
B.M. 2128-20 - Abyss
- 7

Panels: Rust Red

Fibre Cement Panels
Woodtone: Rosewood
- 8

Ledgestone:

Providence Ledgestone
- 9a

Panels: Off White

Fibre Cement Vertical Board & Batten
B.M. OC-17 - White Dove
- 9b

Panels: Light Gray

Fibre Cement Vertical Board & Batten
B.M. HC-169 - Conventry Gray
- 10

Windows: Vinyl Dark

Vinyl Window Frames, Charcoal Colour
- 11

Windows: Curtain Wall

Aluminum Frames, Charcoal Colour
- 12

Metal Flashing: Feature

Match Colour to Adjacent Material
- 13

Privacy Screens & Guards

Aluminum Frame & Glass Panel Guards and Privacy Screens, Charcoal Colour
- 14

Metal Fence-Charcoal Grey

Aluminum Fence, Charcoal Colour
- 15

Feature beams - Charcoal Grey

Fibre Cement Cladded
B.M. 2128-20 - Abyss
- 16

Architectural Concrete

Exposed Concrete (Painted At Parts of the Building Envelope)
- 17

Sunshades - Charcoal Grey

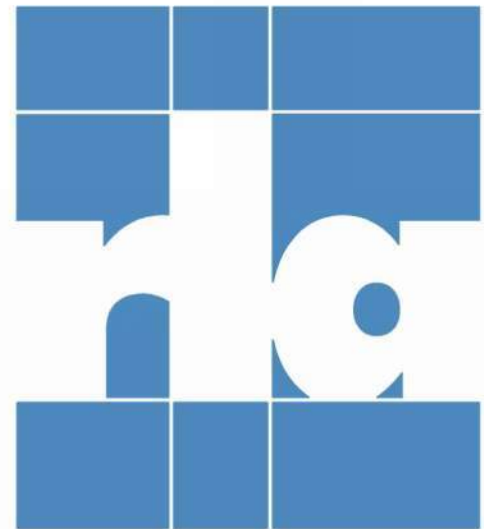
Aluminum Frame, Charcoal Colour
- 18

Trims:Dark Grey

B.M. HC-178 Charcoal Slate



Elevation - North



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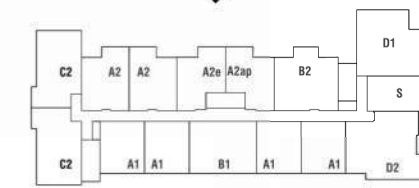
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For

Project
1908 FOUL BAY
Multi-Unit Residential

TELUS living



Elevations

Scale: 1:100
December 15, 2025



A-3.02

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1

Roofing

2- PLY SBS Roofing, Light Grey
- 2

Fascia: Dark

Fibre Cement
B.C. HC-154 - Hale Navy
- 3

Soffit: Feature Wood

Fibre Cement, Wood-like Colour
- 4

Soffit: Typical - Light Grey

Fibre Cement
B.M. HC-169 - Coventry Grey
- 5

Soffit: Typical - Dark Grey

Fibre Cement
B.M. 2128-20 - Abyss
- 6

Panels: Dark Grey

Fibre Cement Panels
B.M. 2128-20 - Abyss
- 7

Panels: Rust Red

Fibre Cement Panels
Woodtone: Rosewood
- 8

Ledgestone:

Providence Ledgestone
- 9a

Panels: Off White

Fibre Cement Vertical Board & Batten
B.M. OC-17 - White Dove
- 9b

Panels: Light Gray

Fibre Cement Vertical Board & Batten
B.M. HC-169 - Coventry Gray
- 10

Windows: Vinyl Dark

Vinyl Window Frames, Charcoal Colour
- 11

Windows: Curtain Wall

Aluminum Frames, Charcoal Colour
- 12

Metal Flashing: Feature

Match Colour to Adjacent Material
- 13

Privacy Screens & Guards

Aluminum Frame & Glass Panel Guards and Privacy Screens, Charcoal Colour
- 14

Metal Fence-Charcoal Grey

Aluminum Fence, Charcoal Colour
- 15

Feature beams - Charcoal Grey

Fibre Cement Cladded
B.M. 2128-20 - Abyss
- 16

Architectural Concrete

Exposed Concrete (Painted At Parts of the Building Envelope)
- 17

Sunshades - Charcoal Grey

Aluminum Frame, Charcoal Colour
- 18

Trims:Dark Grey

B.M. HC-178 Charcoal Slate



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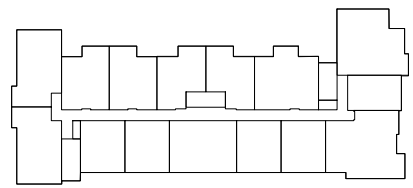
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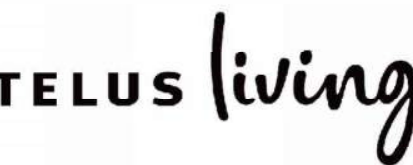
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For

Project
1908 FOUL BAY
Multi-Unit Residential



Elevations

Scale: 1:100
December 15, 2025



A-3.03

Elevation - East

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1

Roofing

2- PLY SBS Roofing, Light Grey
- 2

Fascia: Dark

Fibre Cement
B.C. HC-154 - Hale Navy
- 3

Soffit: Feature Wood

Fibre Cement, Wood-like Colour
- 4

Soffit: Typical - Light Grey

Fibre Cement
B.M. HC-169 - Conventry Grey
- 5

Soffit: Typical - Dark Grey

Fibre Cement
B.M. 2128-20 - Abyss
- 6

Panels: Dark Grey

Fibre Cement Panels
B.M. 2128-20 - Abyss
- 7

Panels: Rust Red

Fibre Cement Panels
Woodtone: Rosewood
- 8

Ledgestone:

Providence Ledgestone
- 9a

Panels: Off White

Fibre Cement Vertical Board & Batten
B.M. OC-17 - White Dove
- 9b

Panels: Light Gray

Fibre Cement Vertical Board & Batten
B.M. HC-169 - Conventry Gray
- 10

Windows: Vinyl Dark

Vinyl Window Frames, Charcoal Colour
- 11

Windows: Curtain Wall

Aluminum Frames, Charcoal Colour
- 12

Metal Flashing: Feature

Match Colour to Adjacent Material
- 13

Privacy Screens & Guards

Aluminum Frame & Glass Panel Guards and Privacy Screens, Charcoal Colour
- 14

Metal Fence-Charcoal Grey

Aluminum Fence, Charcoal Colour
- 15

Feature beams - Charcoal Grey

Fibre Cement Cladded
B.M. 2128-20 - Abyss
- 16

Architectural Concrete

Exposed Concrete (Painted At Parts of the Building Envelope)
- 17

Sunshades - Charcoal Grey

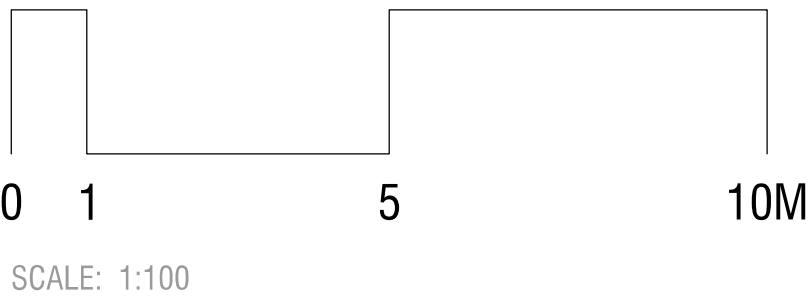
Aluminum Frame, Charcoal Colour
- 18

Trims:Dark Grey

B.M. HC-178 Charcoal Slate



West Elevation



Elevation - West



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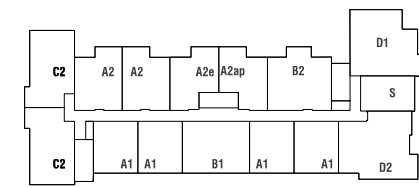
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For

Project
1908 FOUL BAY
Multi-Unit Residential



Elevations

Scale: 1:100
December 15, 2025



A-3.04



- Roofing
- Fascia - Dark Grey
- Soffit - Feature Wood
- Fiber Cement Vertical Board & Batten - Off White
- Fiber Cement Wrapped Feature Beams
- Metal Guardrails
- Panels -Dark Grey
- Panels - Rust Red
- Sunshades Charcoal Grey
- Vinyl Windows - Dark
- Trim - Dark
- Fiber Cement Panel-Wood Like
- Fiber Cement Vertical Board & Batten - Conventry Gray
- Windows: - Curtain Wall
- Architectural Concrete
- Providence Ledgestone

1
Roofing
2-Ply SBS Roofing
Coloured Light Gray

2
Fascia
Fibre Cement - Light Gray /Dark Gray
B.M. HC 154 - Hale Navy
Concealed Fasteners

3
Soffit: Feature Wood
Wood-like Fibre Cement Board
6" Exposure, Pacific Sands Fisher Coating
Colour matched fasteners

4
Soffit
Fibre Cement -Light Gray /Dark Gray
B.M. HC-169 - Conventry Gray

5
B.M. 2128-20 - Abyss
Concealed Fasteners

6
Panels
Fibre Cement - Dark Gray
-B.M. 2128-20 - Abyss
Concealed Fasteners

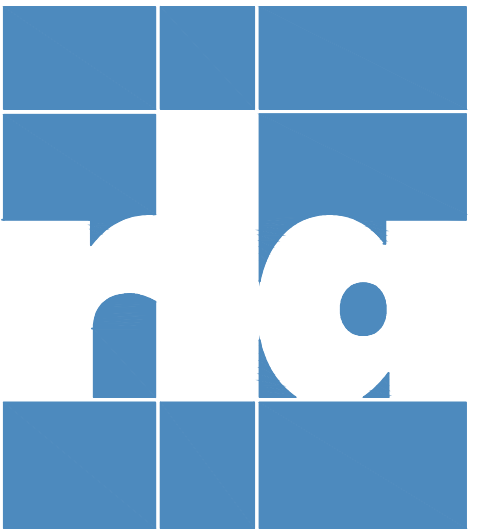
7
Panels
Fibre Cement - Rust Red
Woodtone: Rosewood

8
Ledgestone
Providence Ledgestone

9a
Panels
Fibre Cement- Off White / Light Gray
Vertical Board & Batten

9b
B.M. OC-17 - White Dove
B.M. HC-169 - Conventry Gray

10
Vinyl Windows
High Performance Low-E
Dark Coloured - Dark Charcoal Vinyl



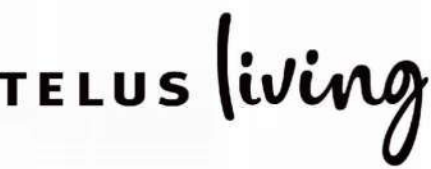
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Project

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Multi-Unit Residential



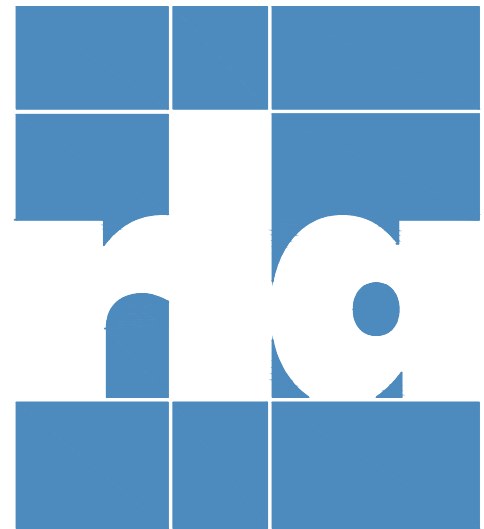
Colour Material Board

Scale: NTS
December 15, 2025



Colour Material Board

A-3.05



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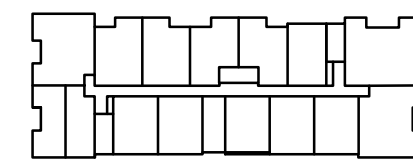
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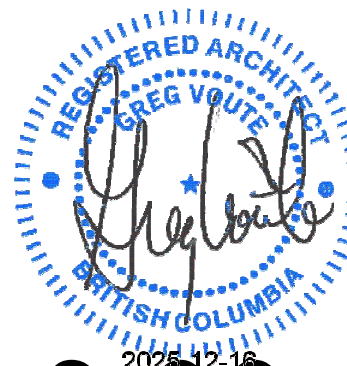
Project
1908 FOUL BAY
Multi-Unit Residential

TELUS living



Streetscape Elevations
South

Scale: 1:150
December 15, 2025

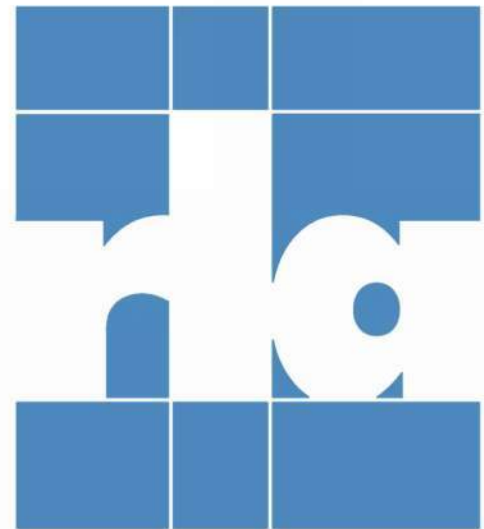


A-3.06



SCALE: 1:150

Streetscape Elevation - South



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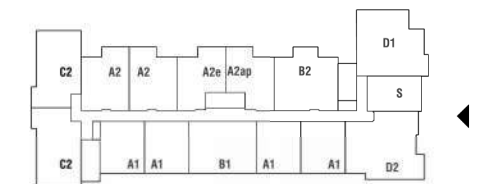
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For

Project
1908 FOUL BAY
Multi-Unit Residential

TELUS living

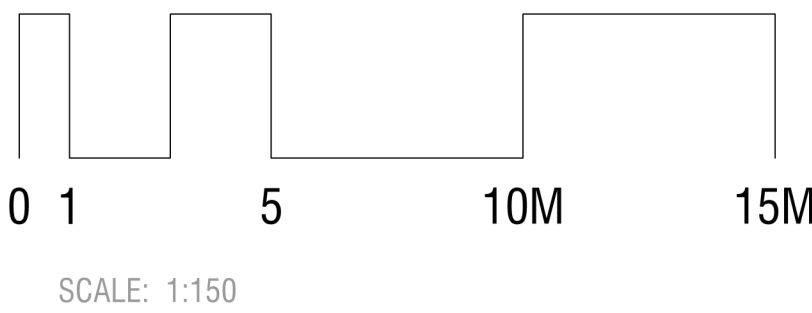


Streetscape Elevations
East

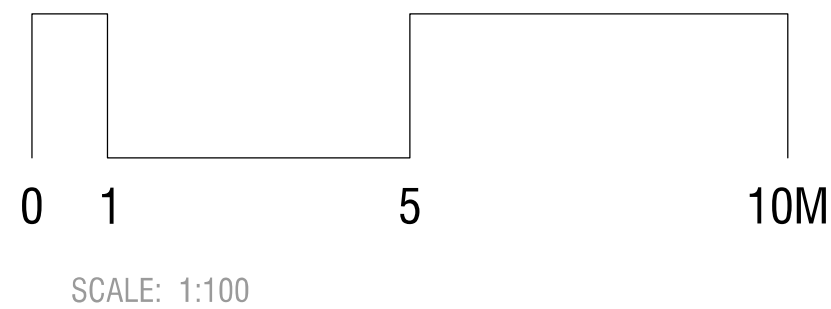
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December 15, 2025



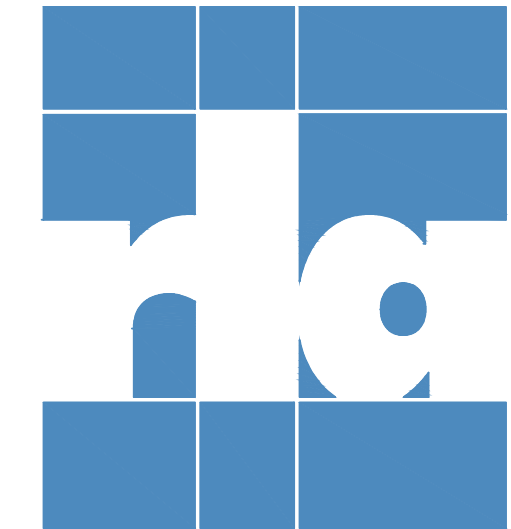
A-3.07



Streetscape Elevation - East



Section - B1



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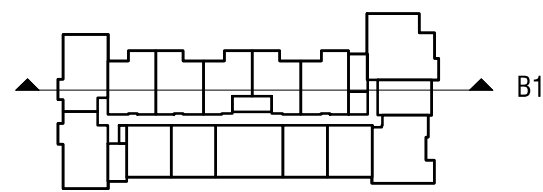
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For

Project
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Multi-Unit Residential

TELUS living

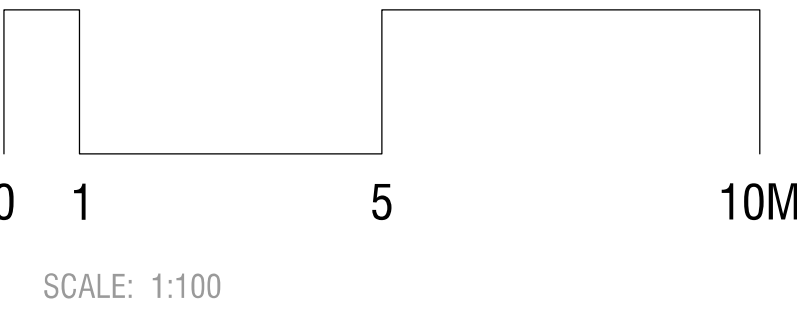
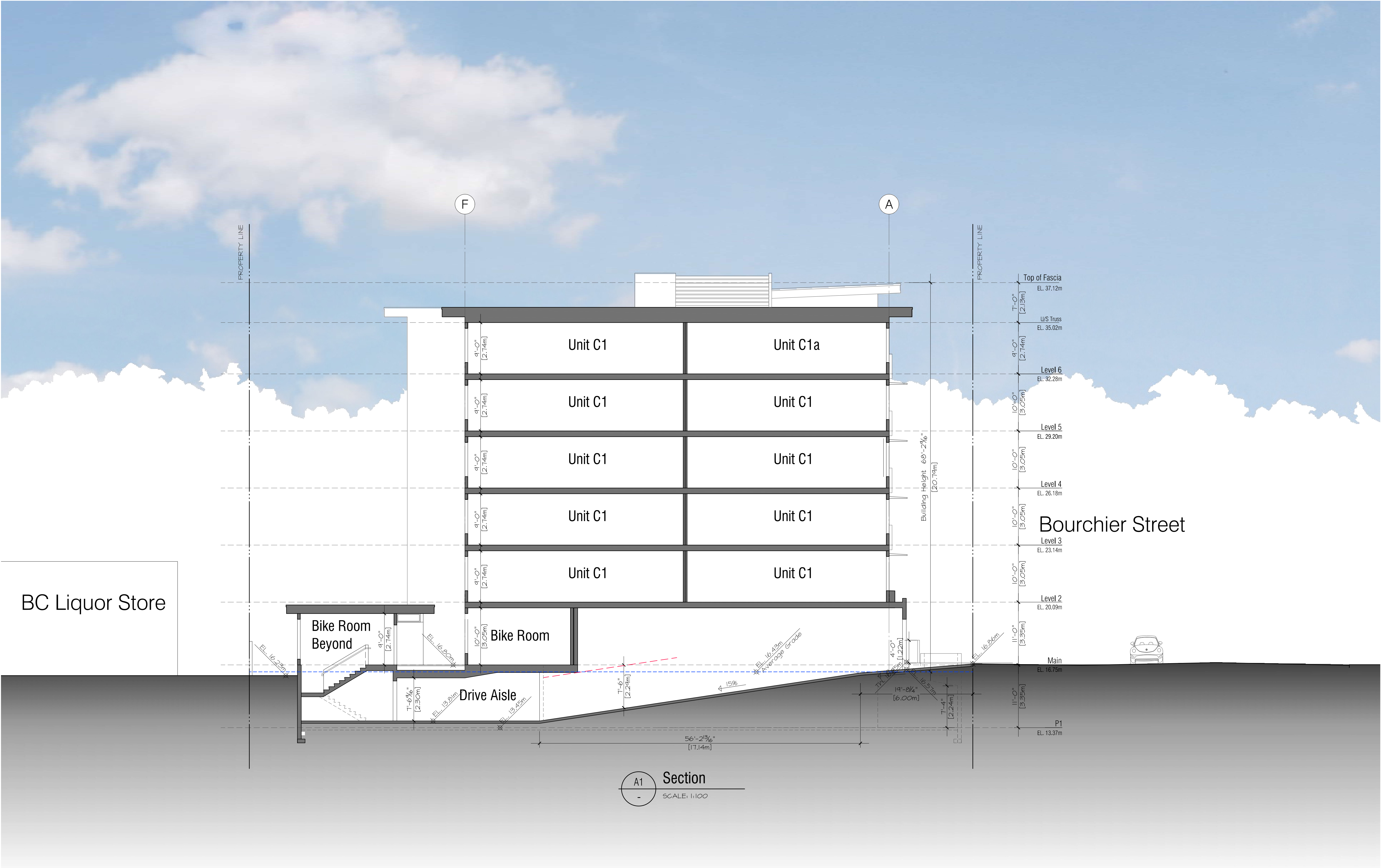


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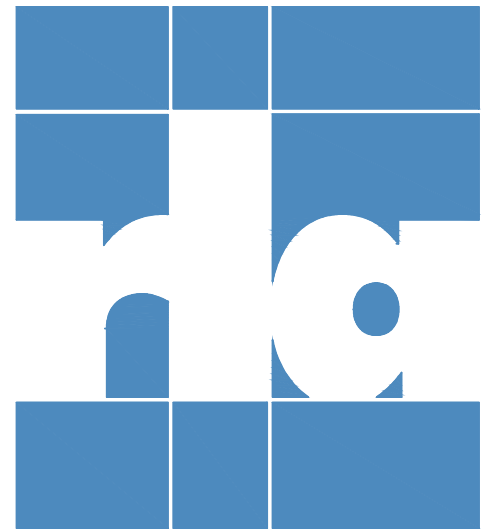
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A-4.01



Section -A1



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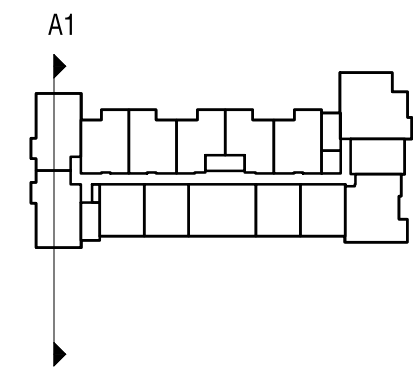
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For

Project

1908 FOUL BAY
Multi-Unit Residential

TELUS living

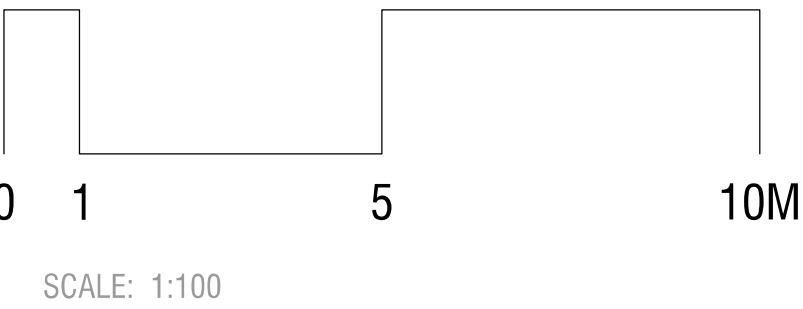
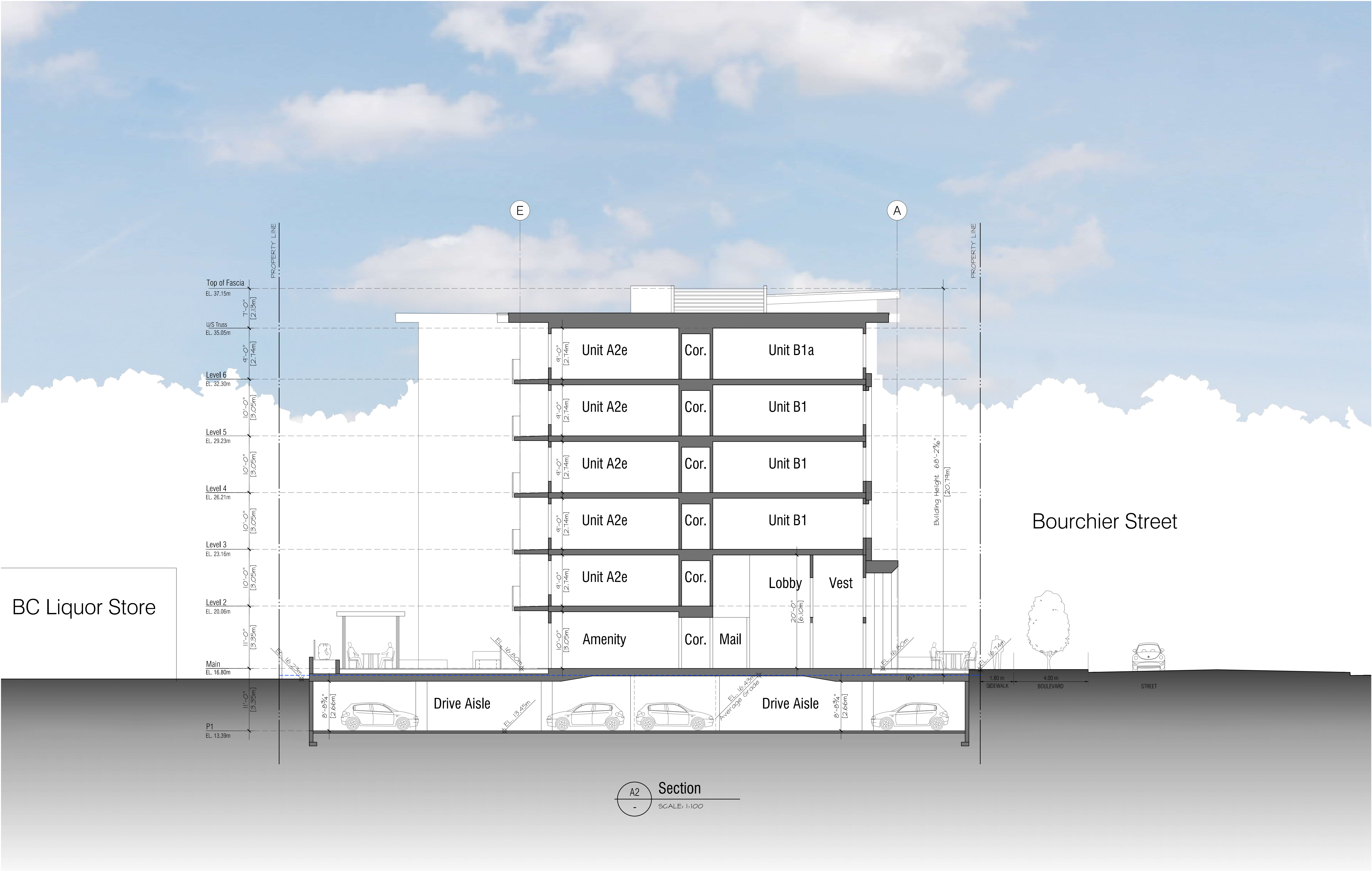


Sections

Scale: 1:100
December 15, 2025



A-4.02



Section -A2



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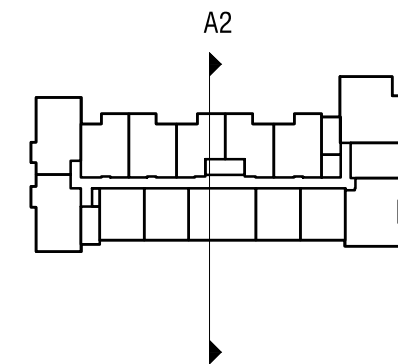
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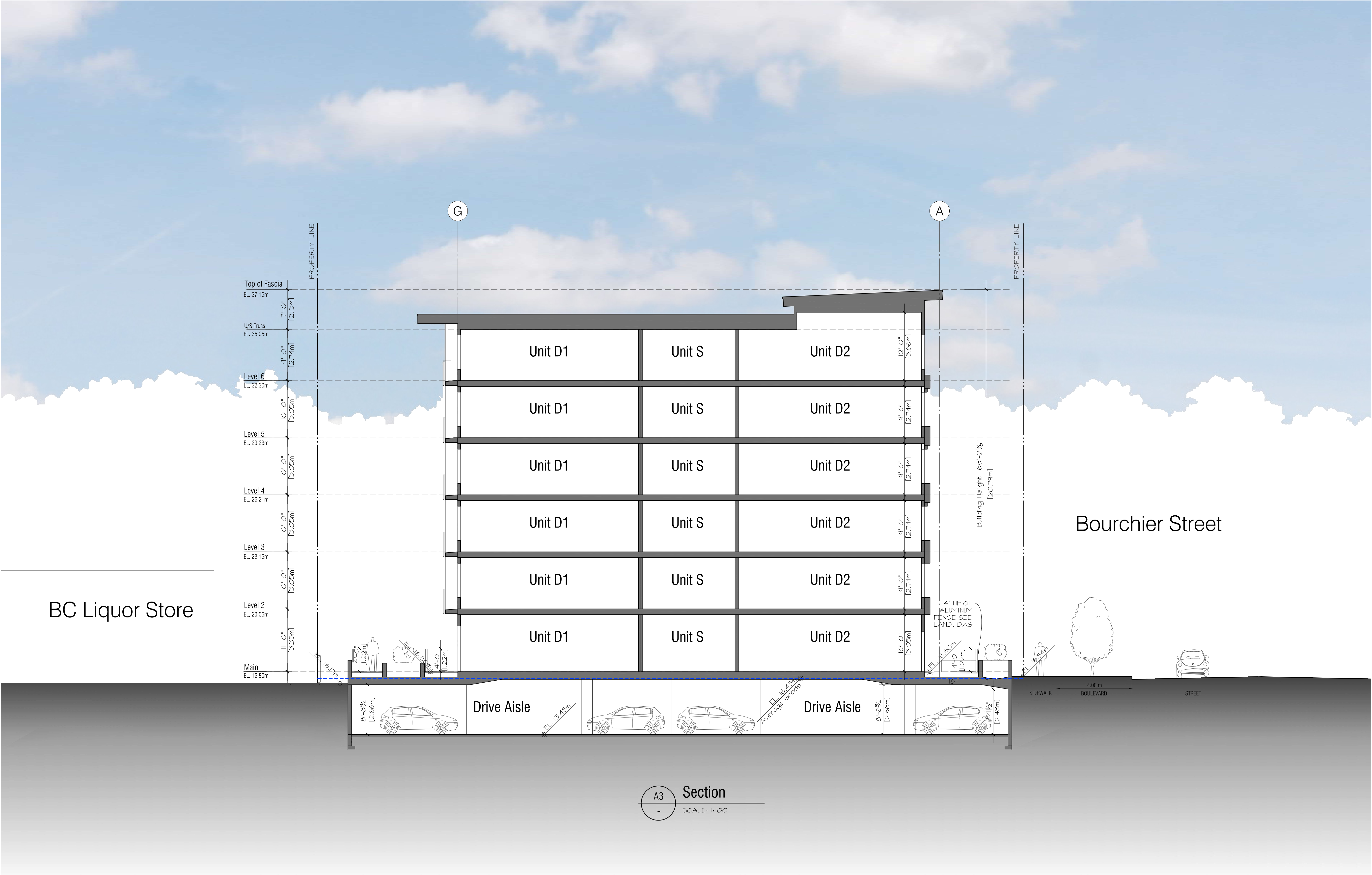


Sections

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A-4.02



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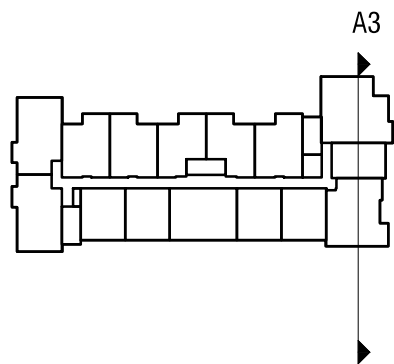
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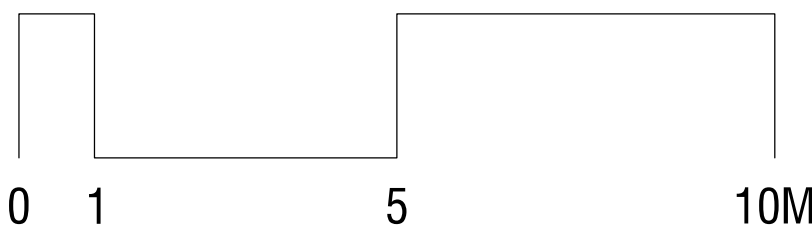


Sections

Scale: 1:100
December 15, 2025



A-4.03

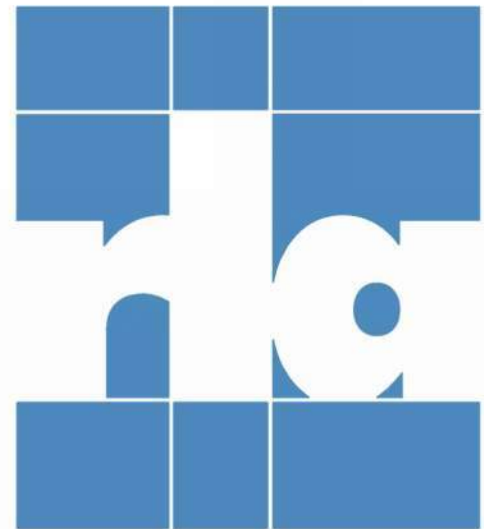


SCALE: 1:100

Section -A3



Concept Model View - SE corner-Bourchier



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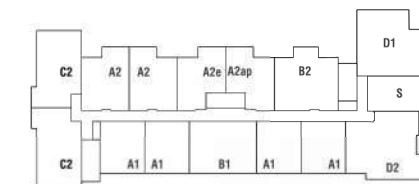
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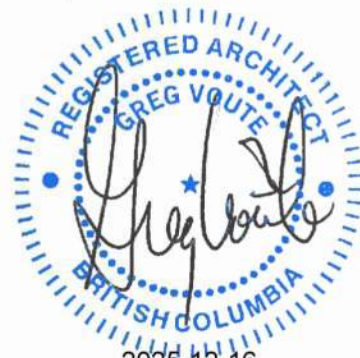
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Views

Scale:
December 15, 2025



A-5.01



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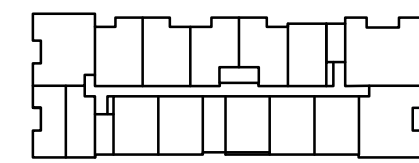
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Views

Scale:
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Concept Model View - NE-Foul Bay A-5.04



Concept Model View - Entry



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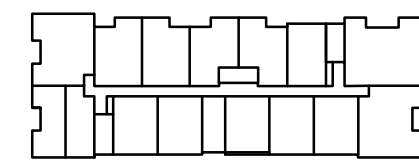
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A-5.05



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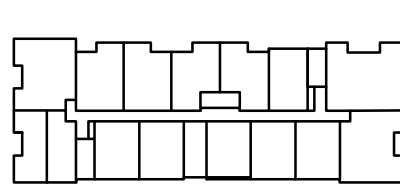
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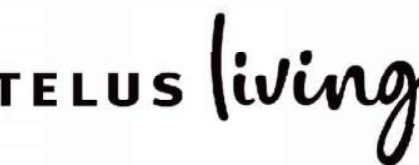
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Multi-Unit Residential



Views

Scale:
December 15, 2025



SPRING EQUINOX



March 21st, 9:00 A.M.

SUMMER SOLSTICE



June 21st, 9:00 A.M.

FALL EQUINOX

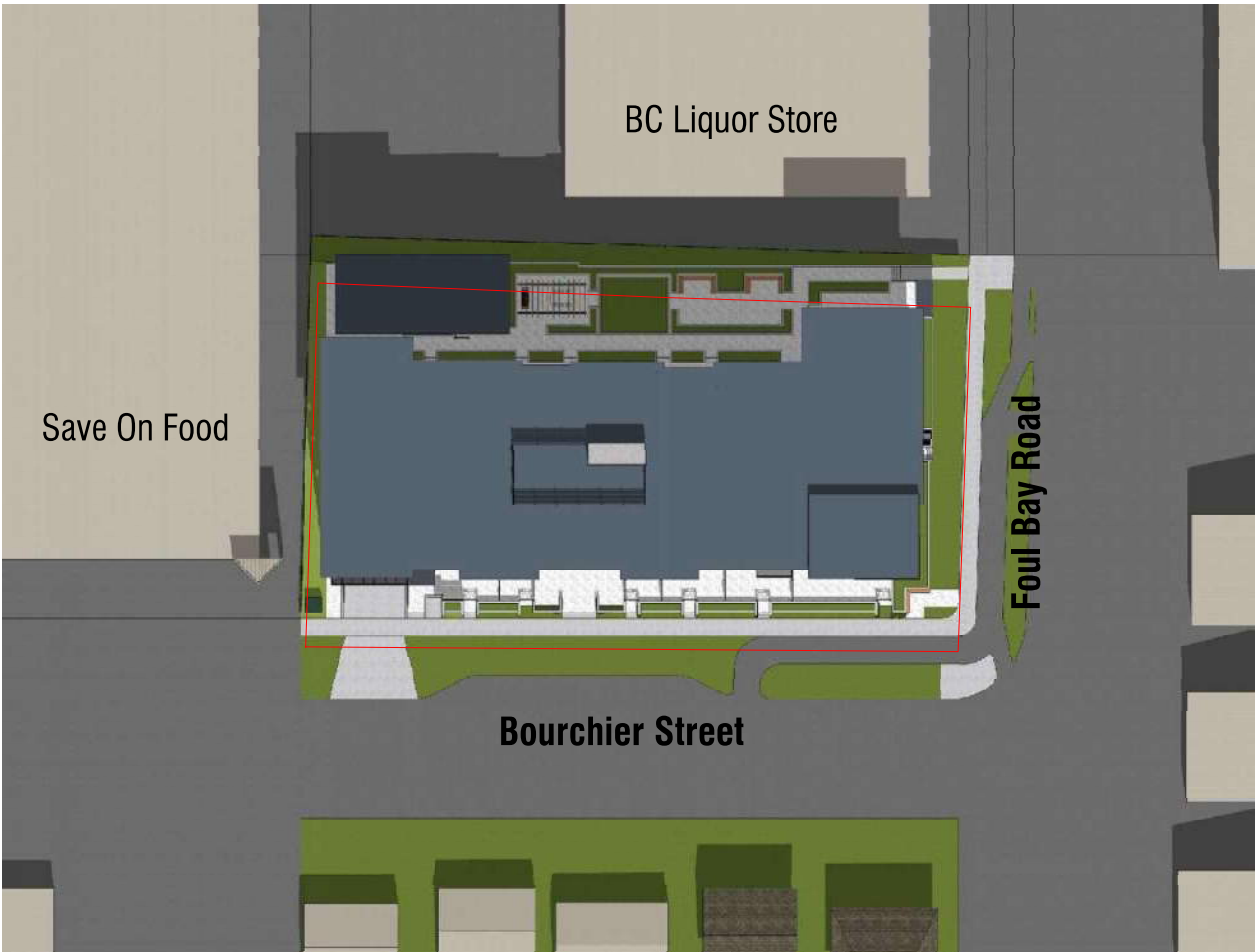


September 21st, 9:00 A.M.

WINTER SOLSTICE



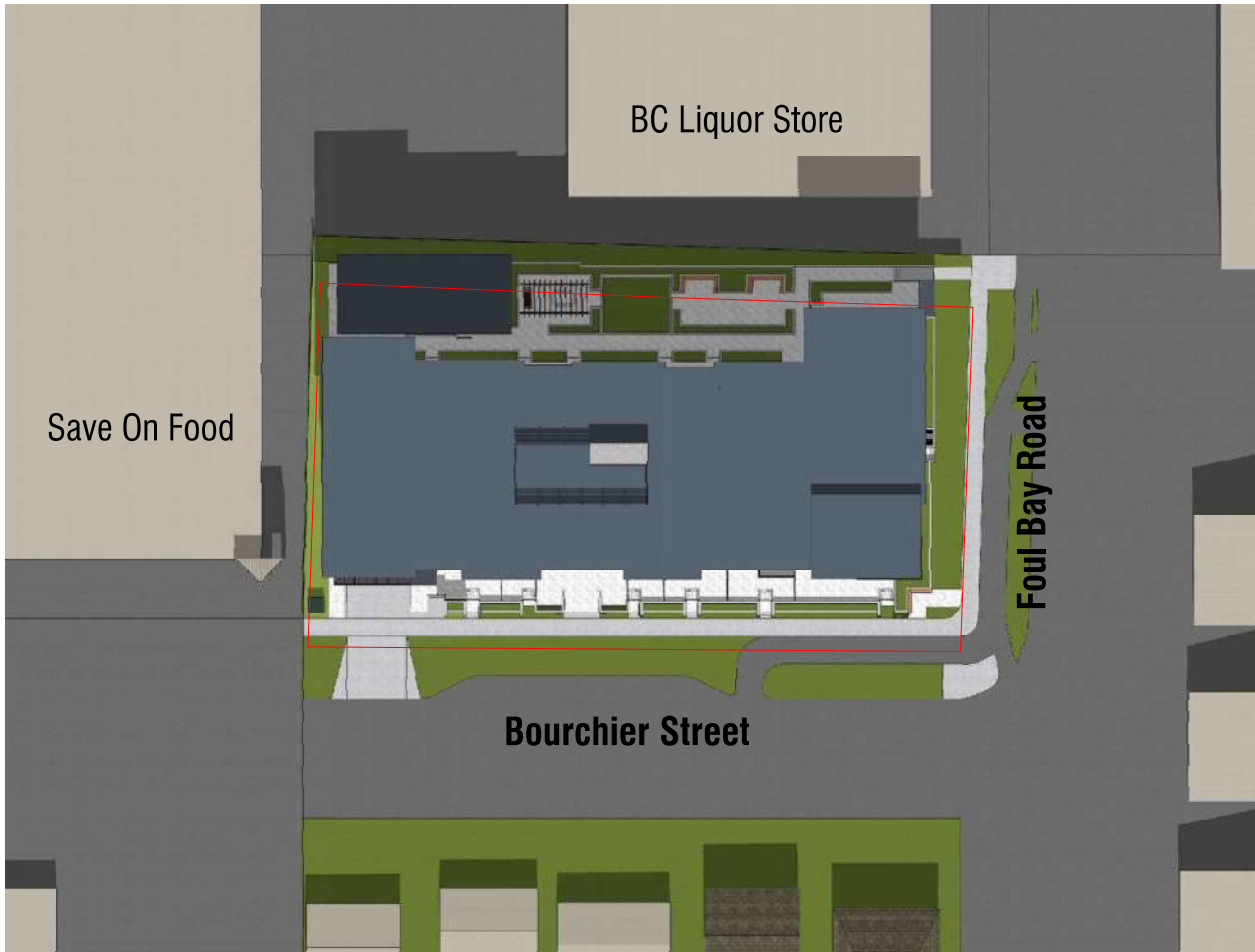
December 21st, 9:00 A.M.



March 21st, 12:00 P.M.



June 21st, 12:00 P.M.



September 21st, 12:00 P.M.



December 21st, 12:00 P.M.



March 21st, 3:00 P.M.



June 21st, 3:00 P.M.



September 21st, 3:00 P.M.



December 21st, 3:00 P.M.



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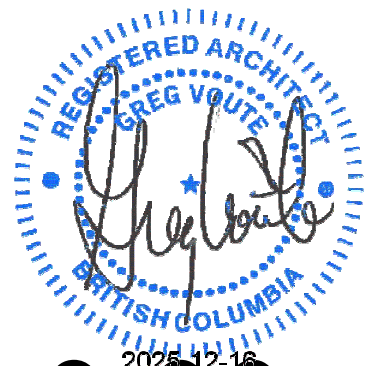
Project
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Multi-Unit Residential

TELUS living

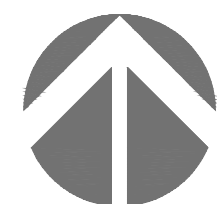


Shadow Study

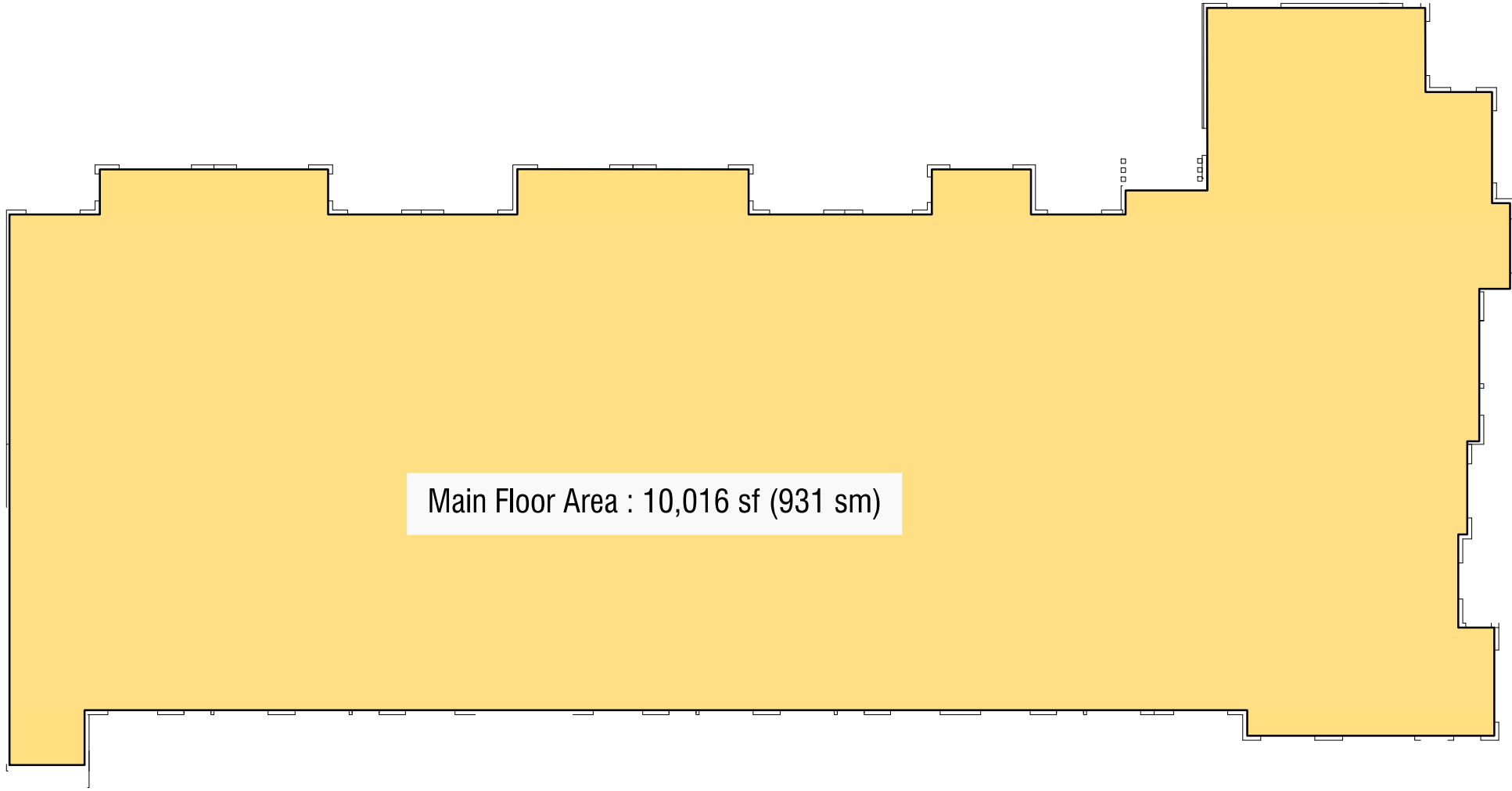
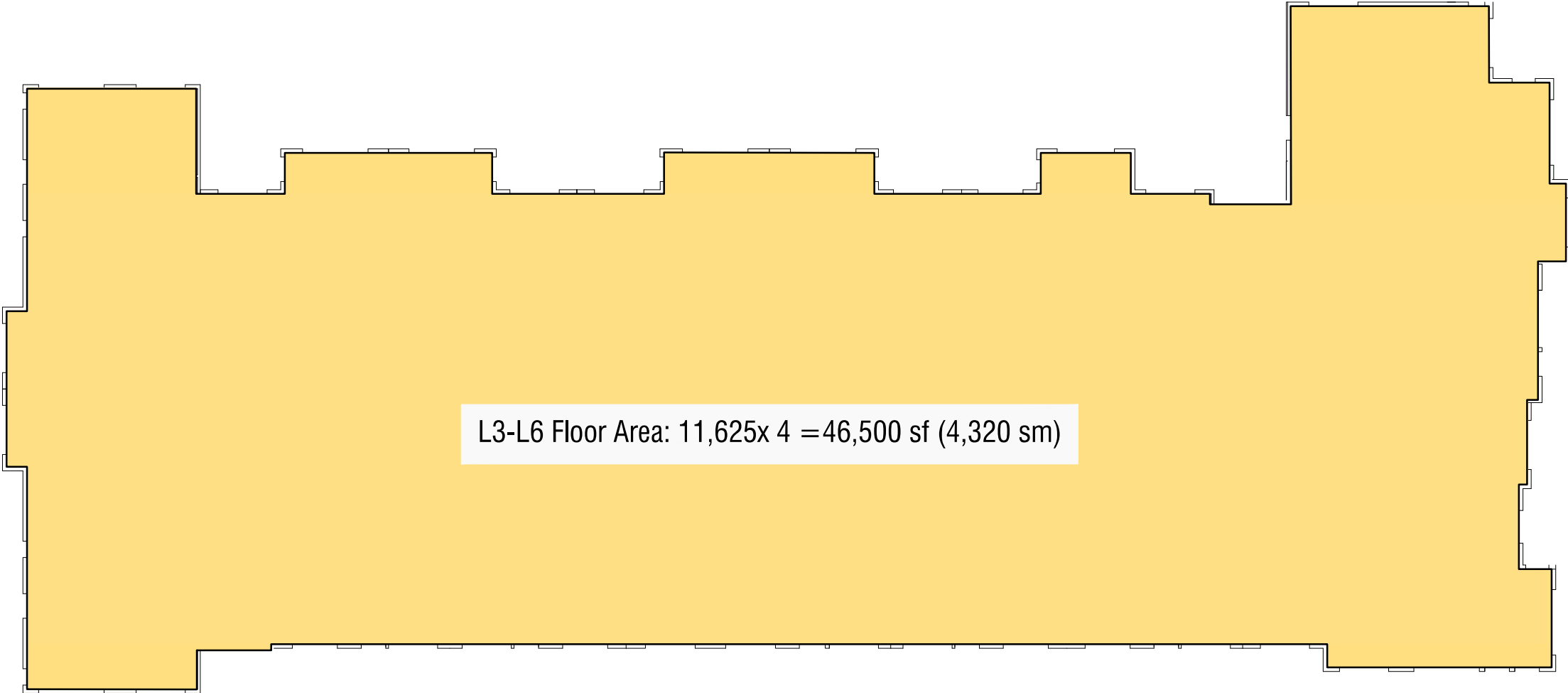
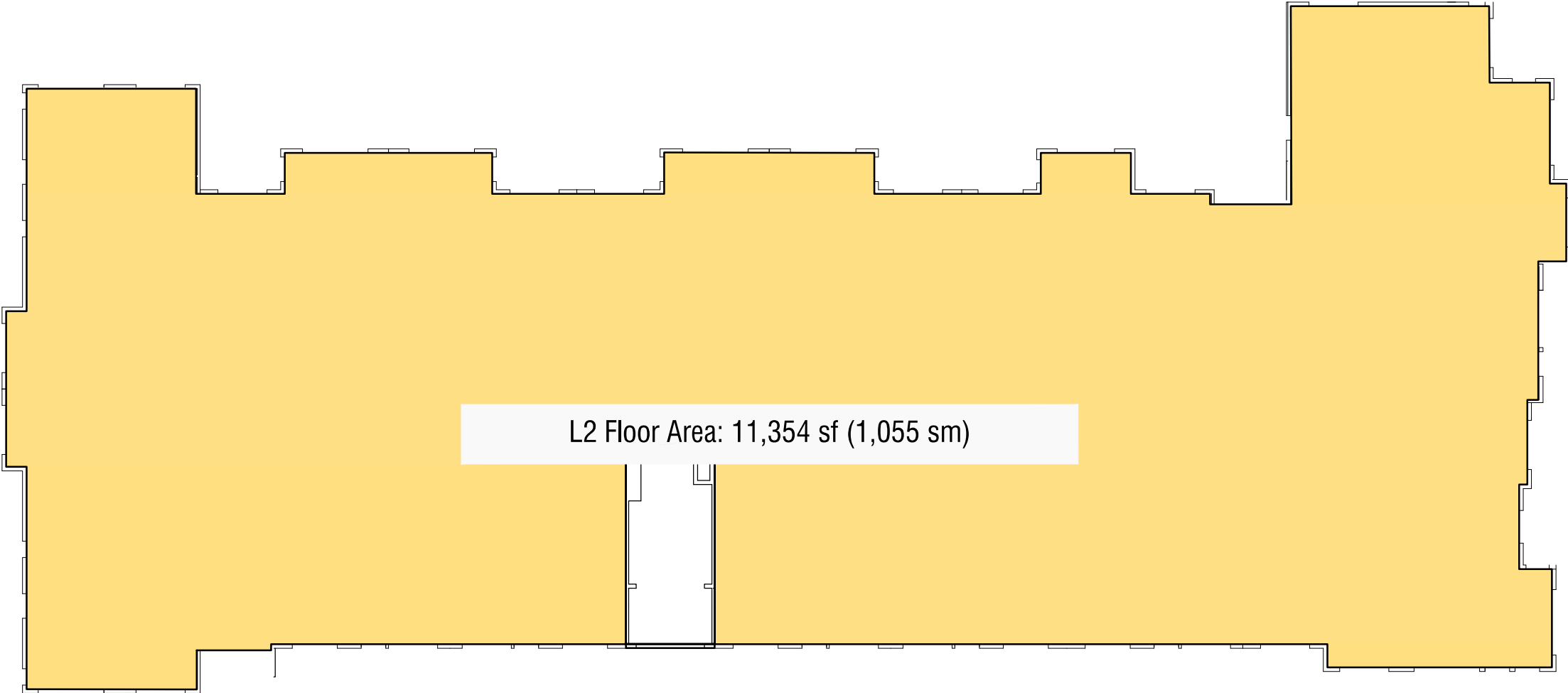
Scale: N/A
December 15, 2025



Shadow Study



A-6.00



TOTAL FLOOR AREA CALCULATION

Main Floor	10,016 sf	931 sm
L2 Floor	11,354 sf	1,055 sm
L3-L6 Floor	46,500 sf	4,320 sm
Total	67,870 sf	6,305 sm

DEFINITIONS (from City of Victoria Zoning Bylaw 2018)

"Floor Area" is measured to the interior surface of the exterior walls of Buildings and includes the area of any mezzanine, exterior hallway, exterior staircase, loft or partial Storey, and excludes the following :

- a) the area of any Balcony, veranda, exposed deck, patio or roof;
- b) the area of any Crawlspace or Basement;
- c) the area of Rooftop Structures;
- d) the area used or intended to be used for required parking or movement of motor vehicles, which is calculated starting from the lowest level of the Building;
- e) the area that is used to provide bicycle parking required by this bylaw; and
- f) the area of any exterior hallway or exterior staircase, for Buildings existing prior to August 1, 2018



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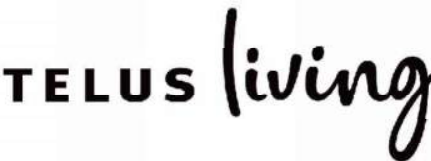
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For

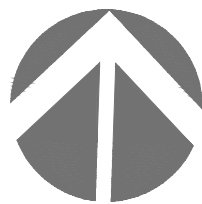
Project

1908 FOUL BAY
Multi-Unit Residential



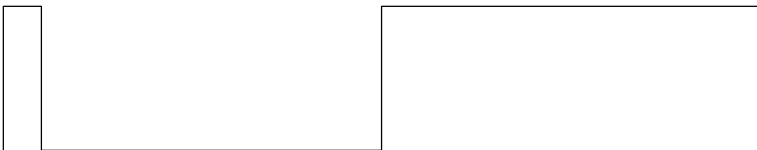
Key Plan - Area Calculations

Scale: 1:100
December 15, 2025

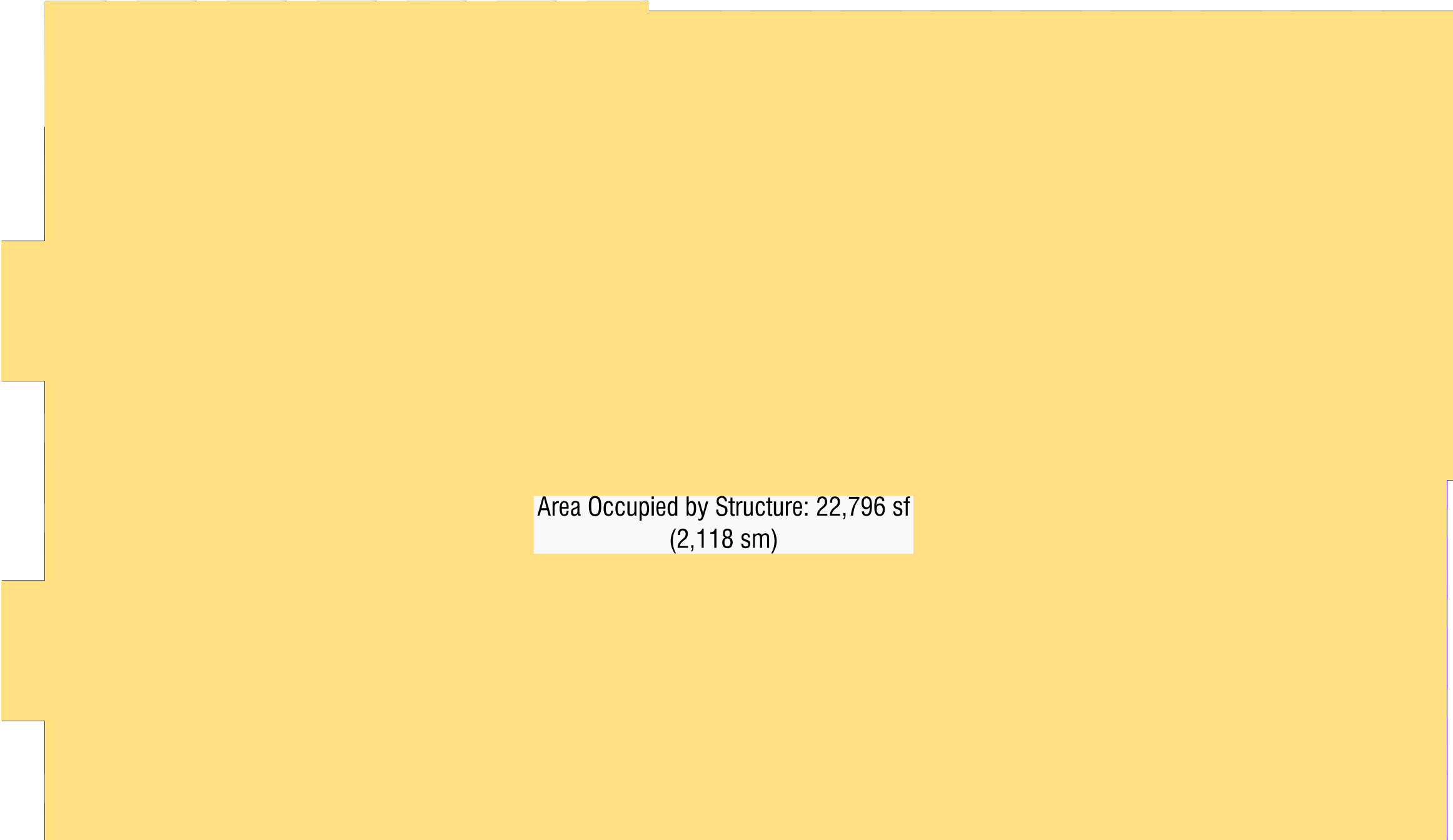


A-7.01

Key Plan - Area Calculations



SCALE: 1:200



SITE COVERAGE CALCULATION

Structure Area	Lot Area (post dedication)
22,552 sf 2,095 sm	26,920 sf 2,501 sm

DEFINITIONS (from City of Victoria Zoning Bylaw 2018)

"Lot Coverage" means the horizontal area of all Buildings and outdoor covered areas on a Lot, expressed as a percentage of the Lot Area.

Key Plan - Site Coverage



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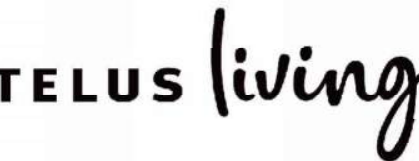
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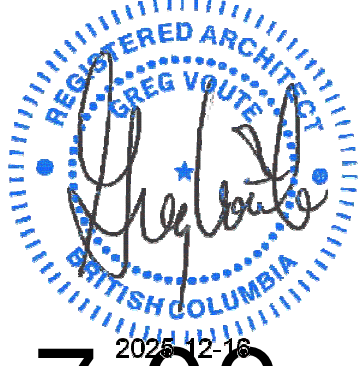
Project

1908 FOUL BAY
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Key Plan - Site Coverage

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A-7.02



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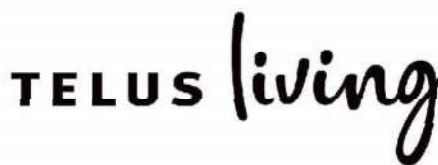
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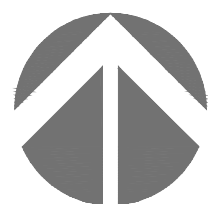
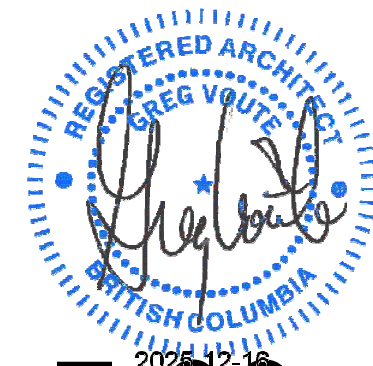
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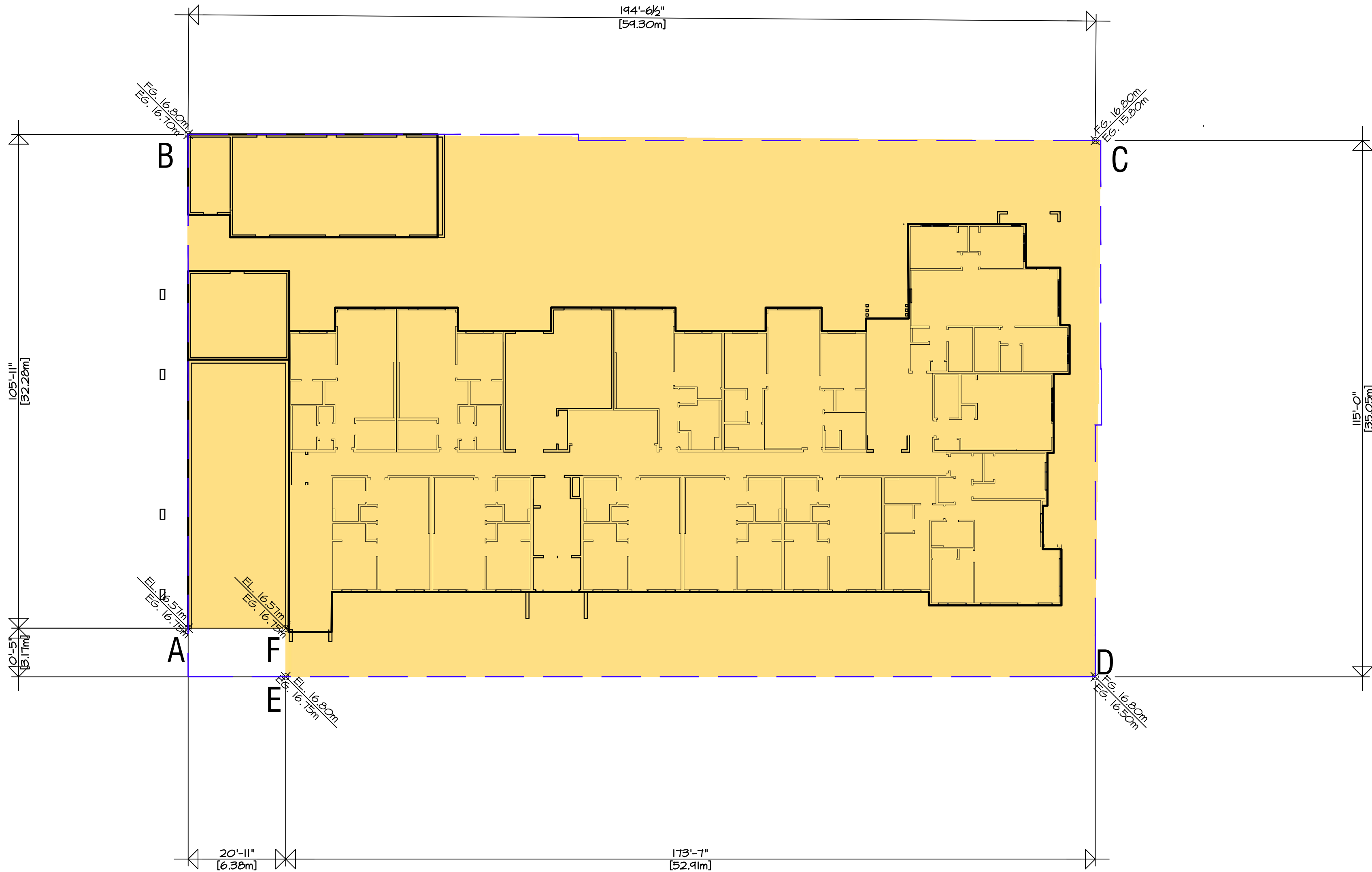
Average Grade Overlay

Scale: 1:200
December 15, 2025



Average Grade Overlay

A-7.03



Average Grade Calculation

Wall Section	Average Grade		Length			
A-B	(16.57 + 16.70)/2	16.64	x	32.28	m =	537
B-C	(16.70 + 15.80)/2	16.25	x	59.30	m =	964
C-D	(15.80 + 16.50)/2	16.15	x	35.05	m =	566
D-E	(16.50 + 16.75)/2	16.65	x	52.91	m =	881
E- F	(16.75 + 16.57)/2	16.66	x	3.17	m =	53
F-A	(16.57 + 16.57)/2	16.57	x	6.38	m =	106
Total				189.09	m	3,106
Average Grade	Total height / Total Perimeter length					
	3,106 / 189.09		=	16.43	m	

DEFINITIONS (from City of Victoria Zoning Bylaw 2018)

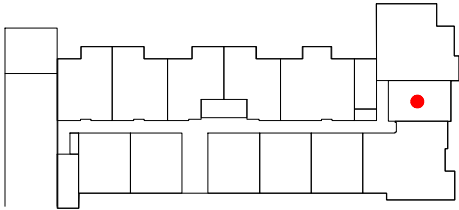
"Grade" means the elevation calculated by averaging the elevation of natural grade or finished grade, whichever is lower at any points at which any part of a building comes into contact with the surface of a lot, excluding any artificial mounds of earth or rocks placed at or near the wall of a building

Unit S - Studio

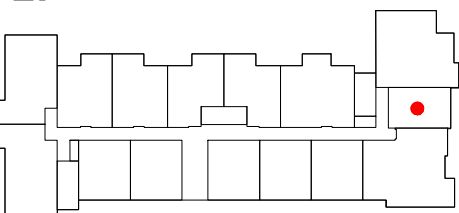
1 Bed + 1 Bath
434 sf

6 Units Total (6 of 87)

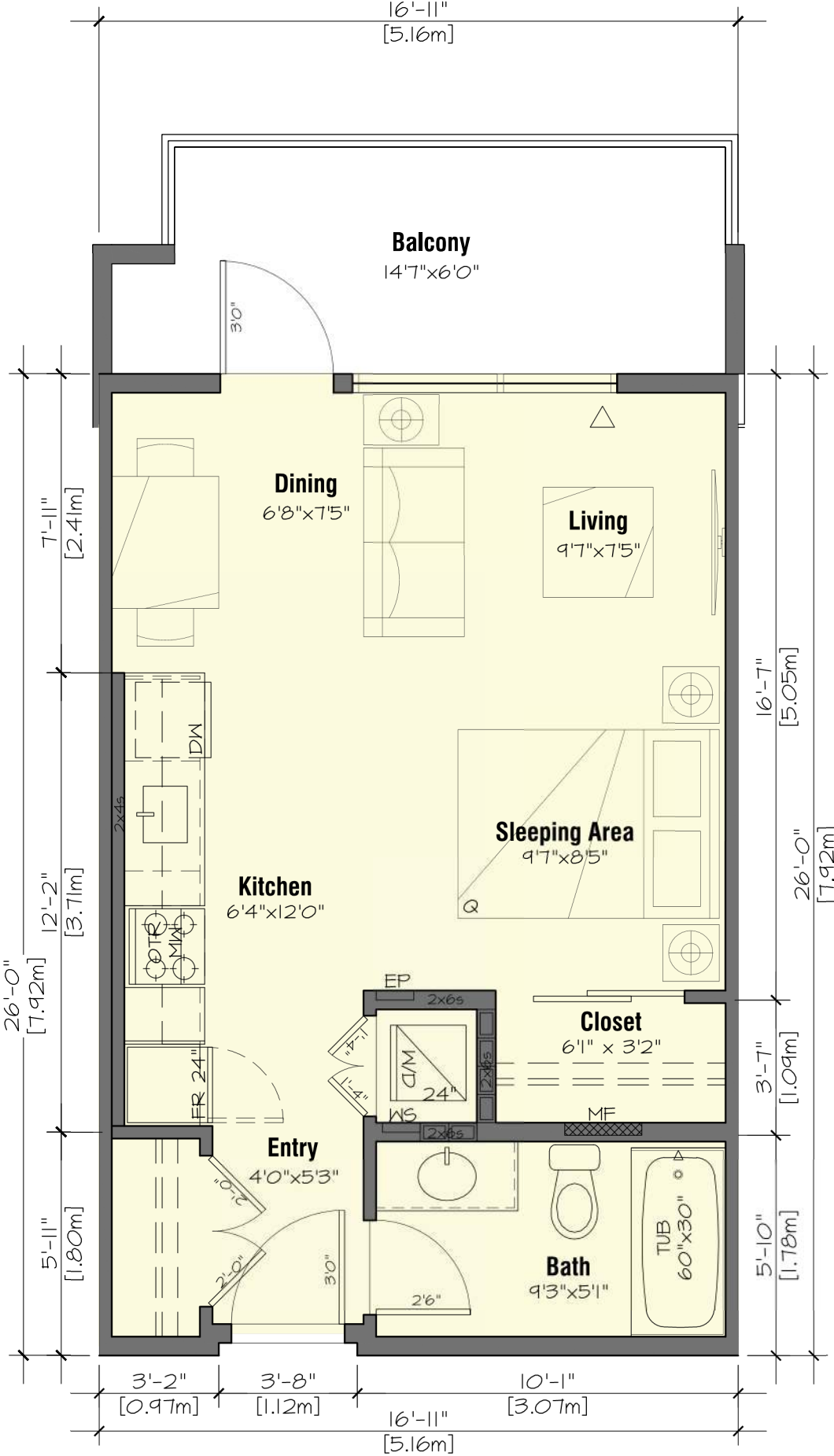
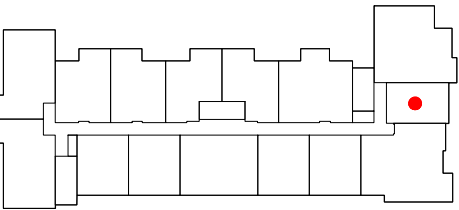
Level 1:



Level 2:



Level 3-6:

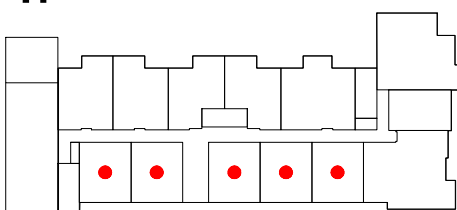


A1 - 1 Bedroom

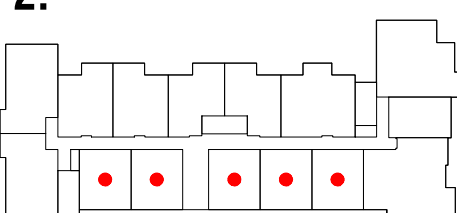
1 Bed + 1 Bath
530 sf

26 Units Total (26 of 87)

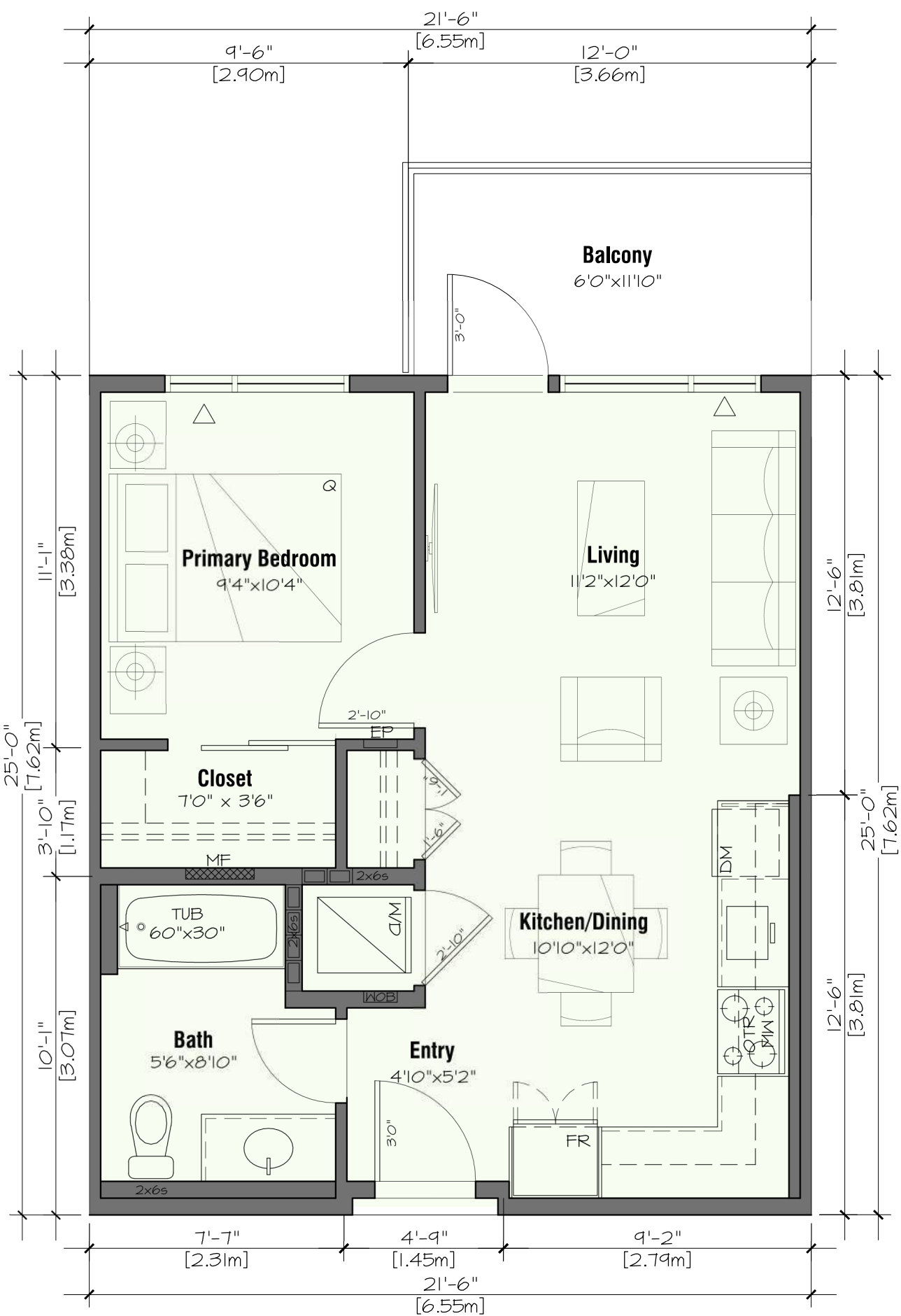
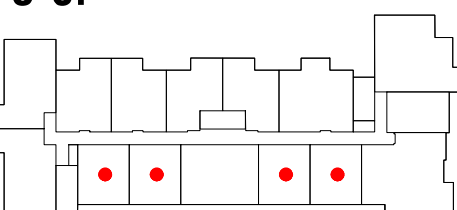
Level 1:



Level 2:



Level 3-6:

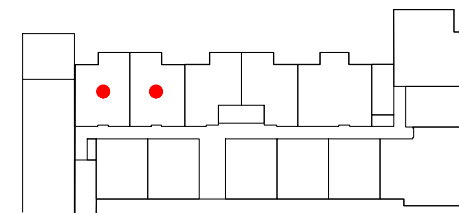


A2 - 1 Bedroom + Flex

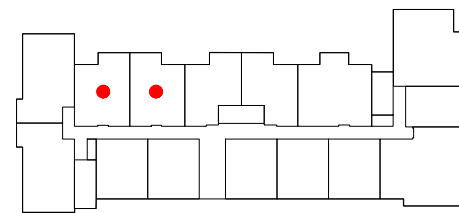
1 Bed + 1 Bath
656 sf

12 Units Total (12 of 87)

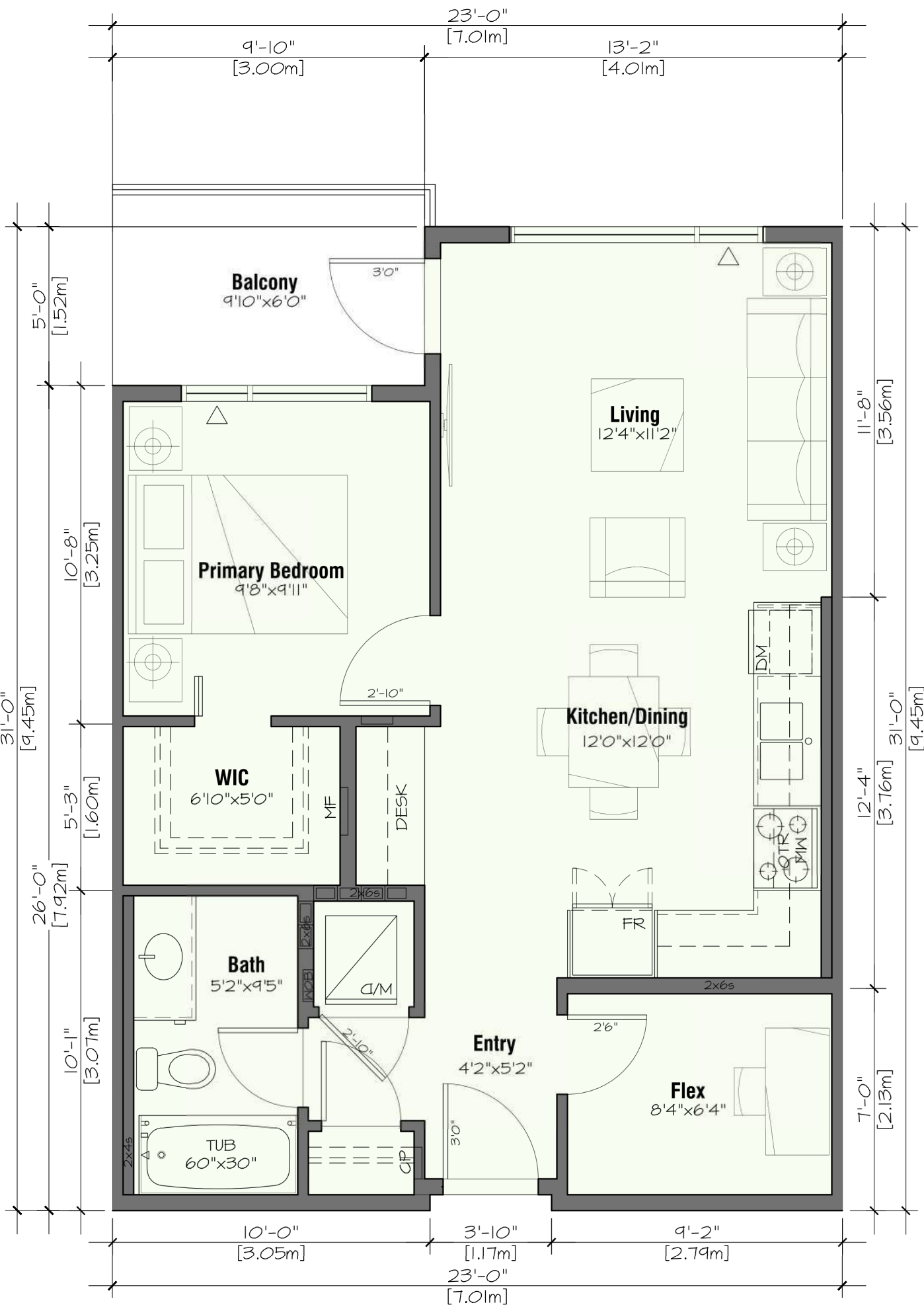
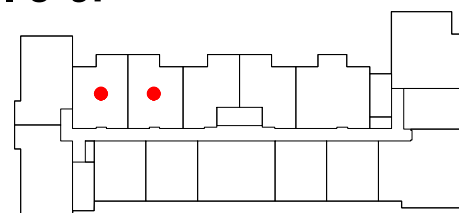
Level 1:



Level 2:



Level 3-6:



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Unit Plans

Scale: 1/4" = 1' - 0"
December 15, 2025



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Scale: 1/4" = 1' - 0"
December 15, 2025



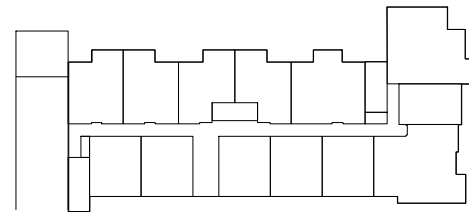
A-8.02

A2e - 1 Bedroom

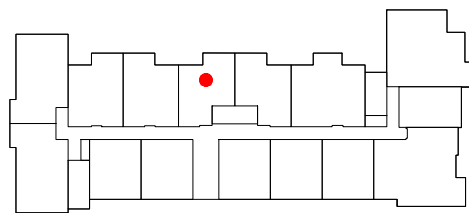
1 Bed + 1 Bath
581 sf

5 Units Total (5 of 87)

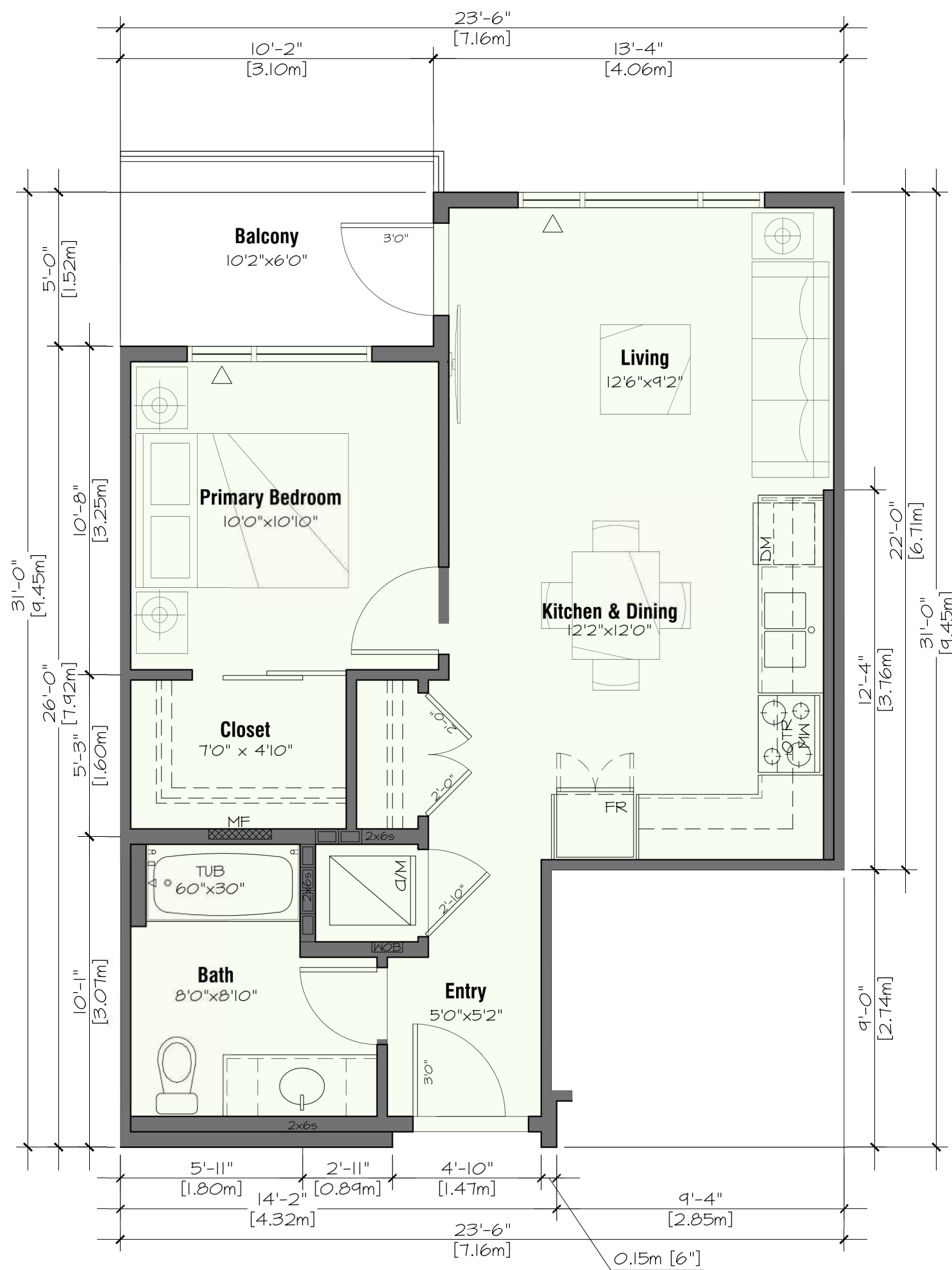
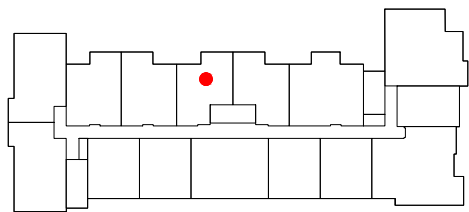
Level 1:



Level 2:



Level 3-6:



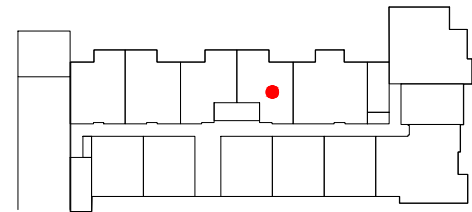
A2ap - 1 Bedroom

1 Bed + 1 Bath
581 sf

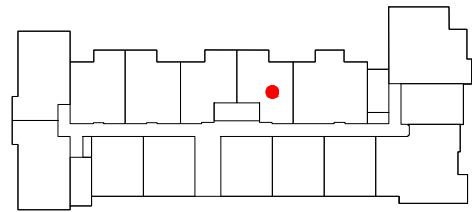
Adaptable Units (2018 Compliance)

5 Unit Total (6 of 87)

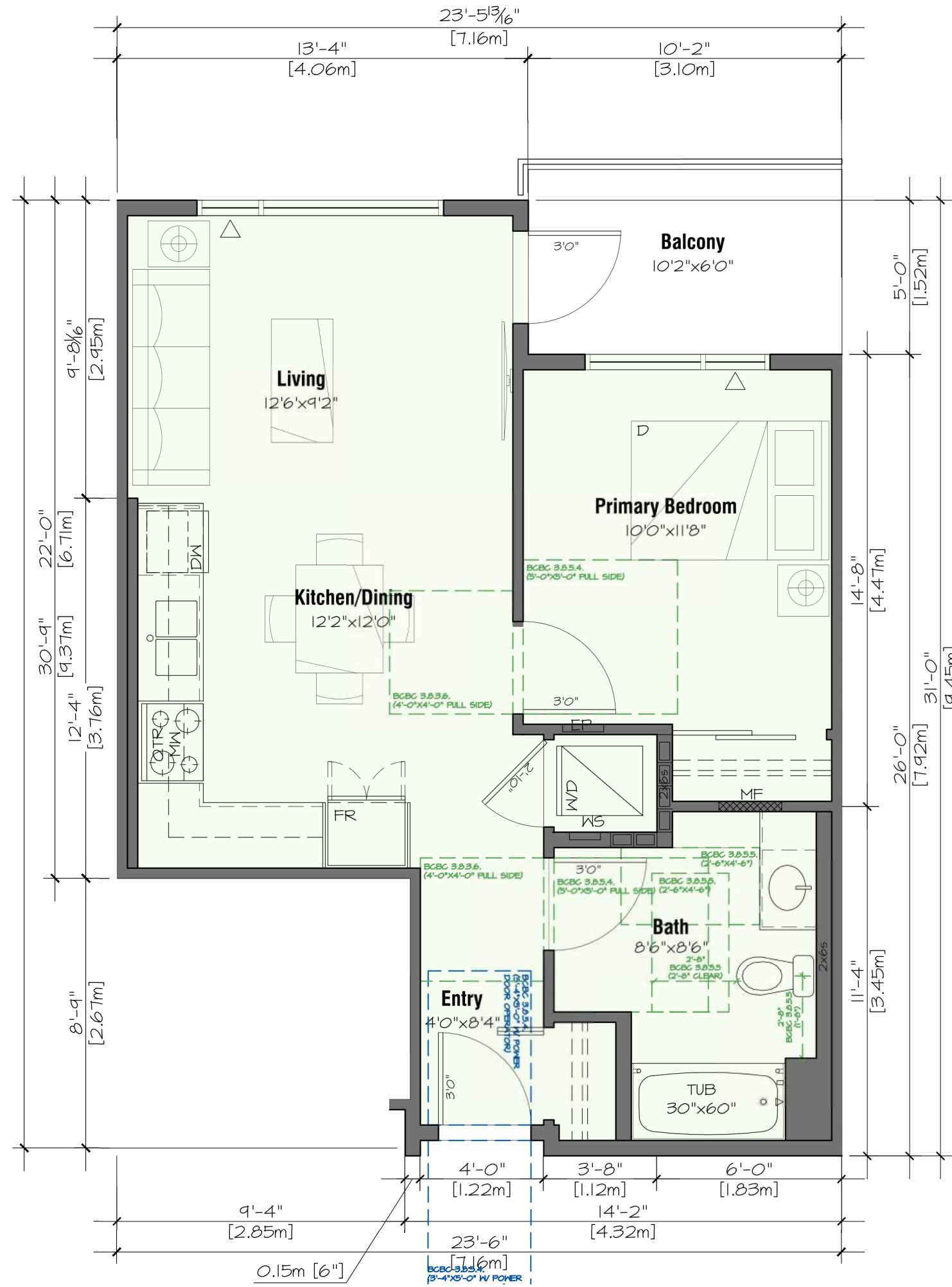
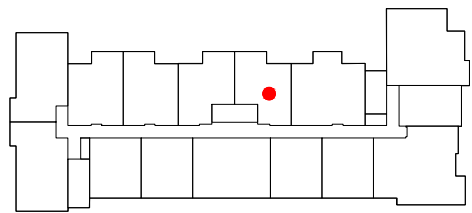
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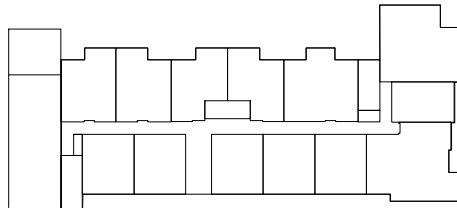
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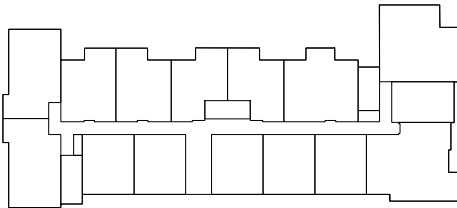
B1 - 2 Bedroom
2 Bed + 2 Bath
798 sf

4 Units Total (4 of 87)

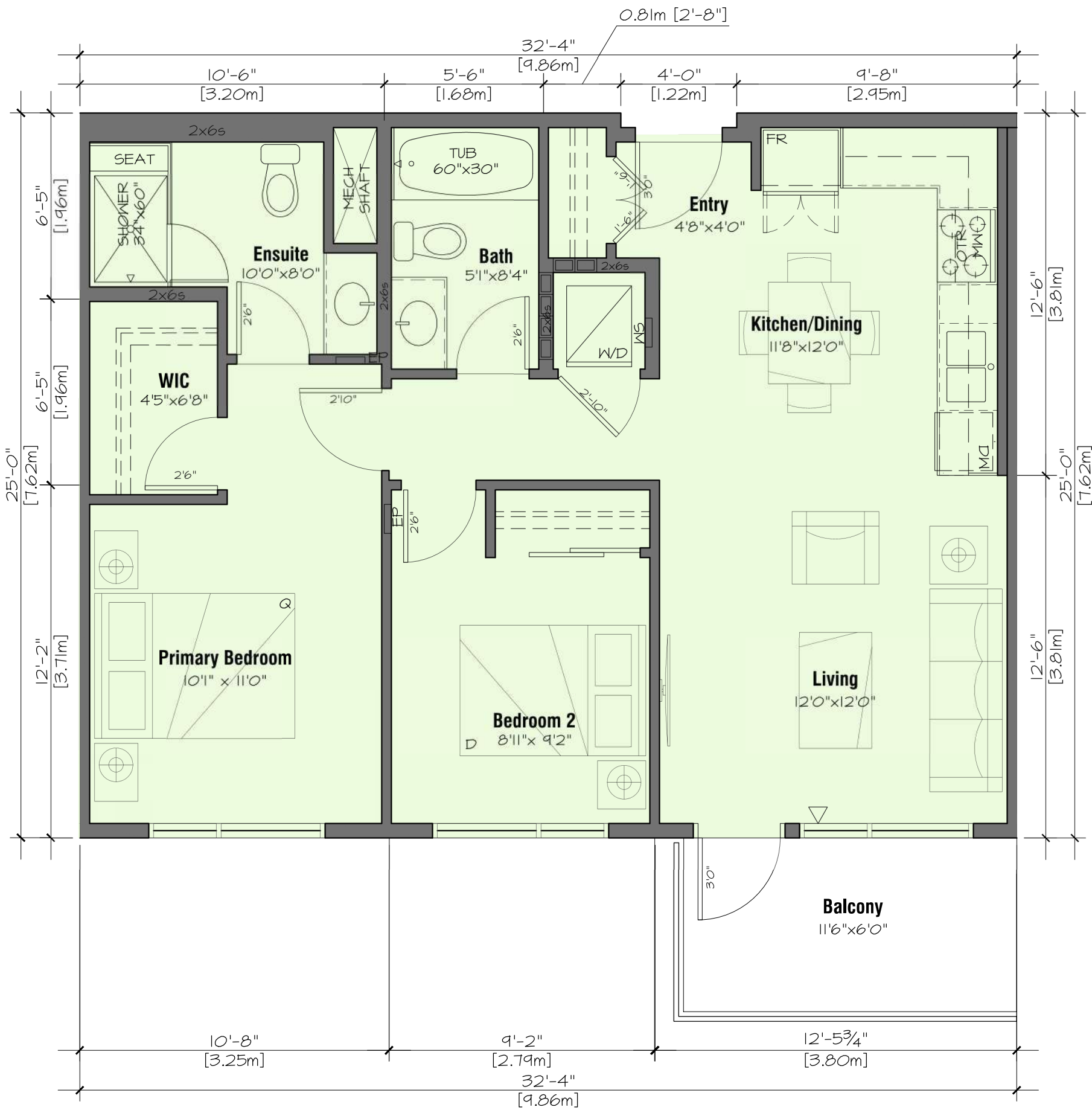
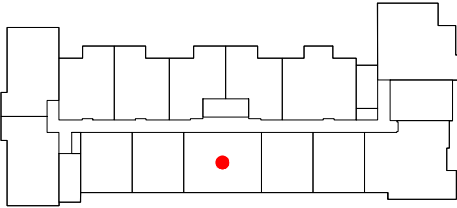
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Level 2:



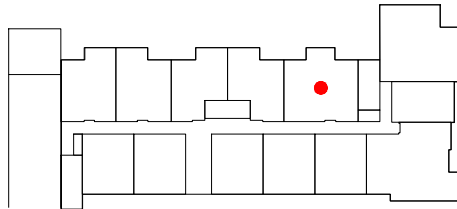
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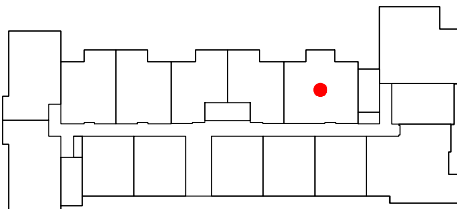
B2 - 2 Bedroom Unit
2 Bed + 2 Bath
852 sf

6 Units Total (6 of 87)

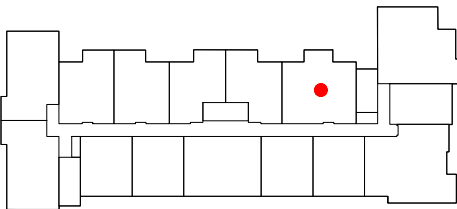
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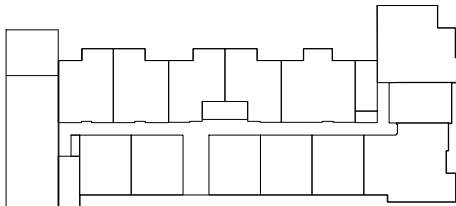
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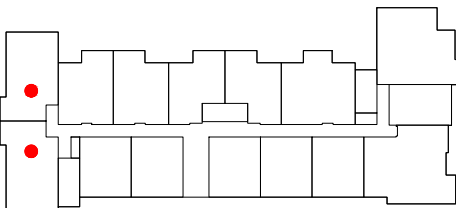
C2 - 2 Bedroom Corner Unit
2 Bed + 2 Bath
797 sf

6 Units Total (10 of 87)

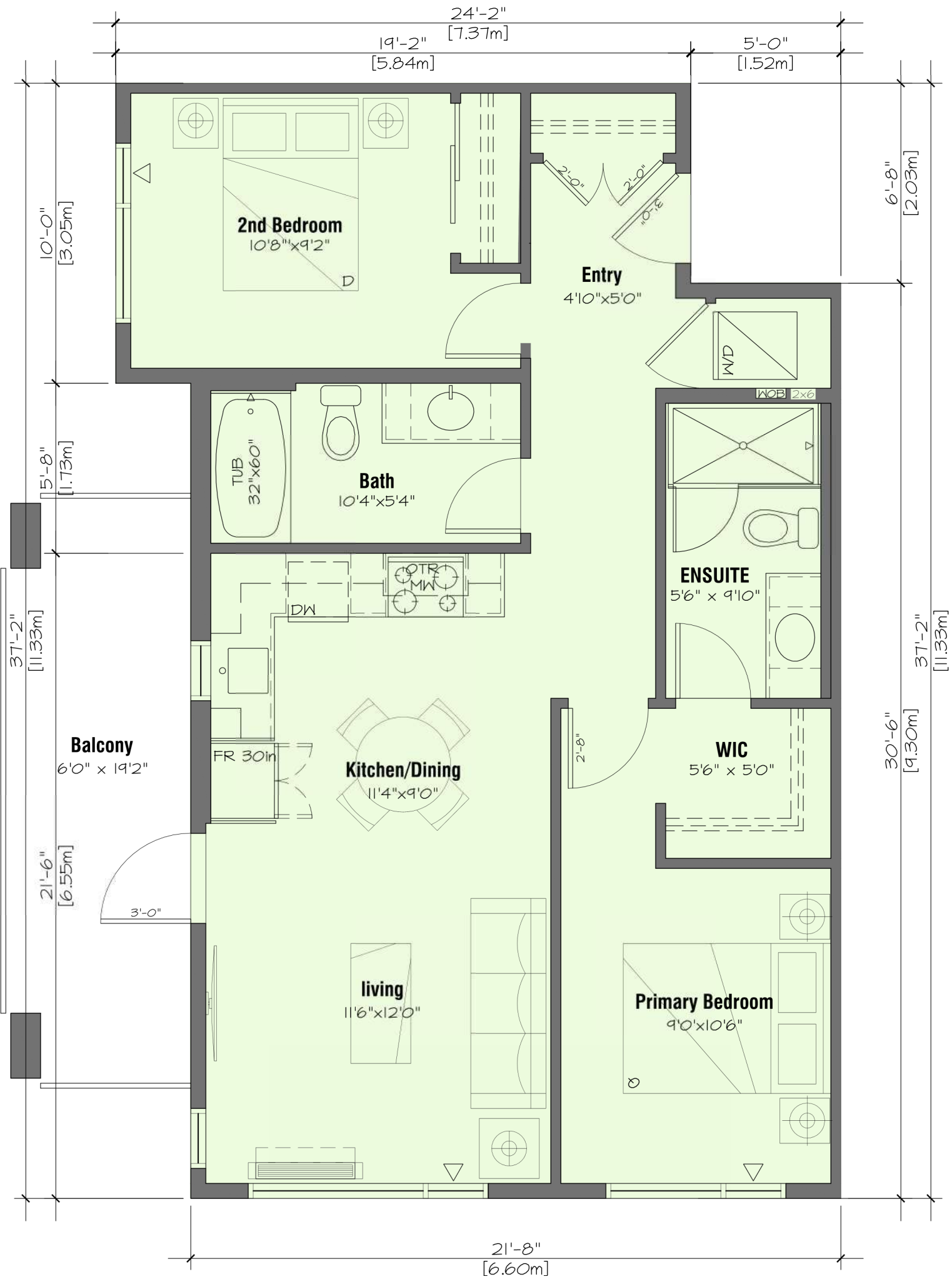
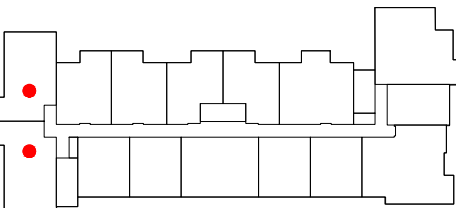
Level 1:



Level 2:



Level 3-6:



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Revisions

September 11, 2024
Pre-Application City Review

September 19, 2024
City Technical Review

October 25, 2024
Issued for CALUC Review

April 28, 2025
Issued for DP

September 19, 2025
Issued for DP Resubmission

December 15, 2025
Issued for DP Resubmission

For

Project

1908 FOUL BAY
Multi-Unit Residential

TELUS living



Unit Plans

Scale: 1/4" = 1' - 0"
December 15, 2025



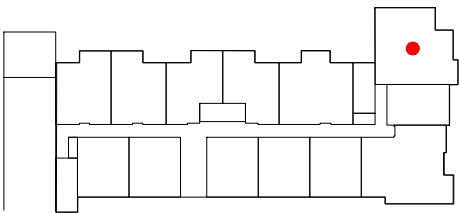
A-8.03

D1 - 3 Bedroom Corner Unit

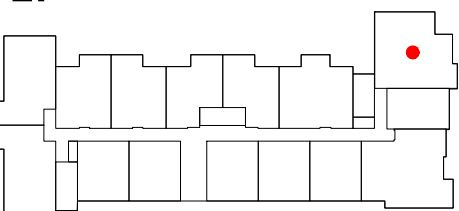
3 Bed + 2 Bath
991 sf

8 Units Total (6 of 87)

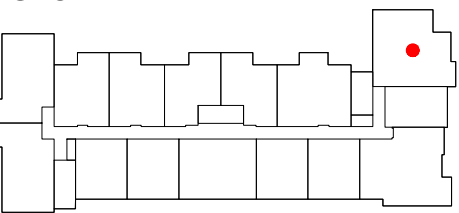
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Level 2:



Level 3-6:

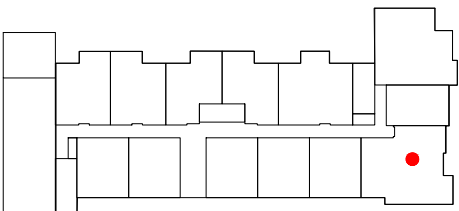


D2 - 3 Bedroom Corner Unit

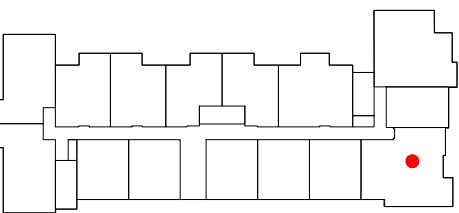
3 Bed + 2 Bath
1090 sf

8 Units Total (6 of 87)

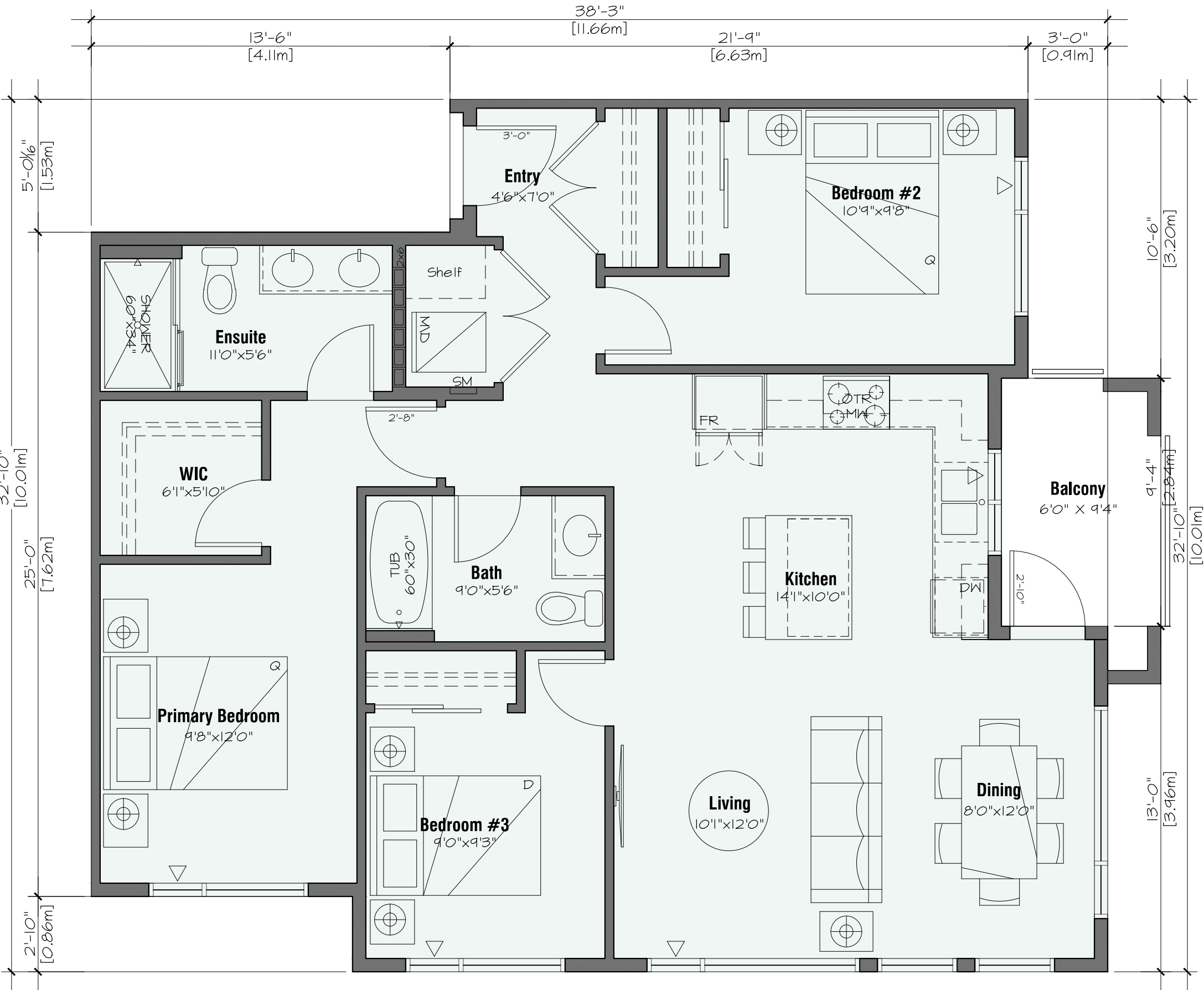
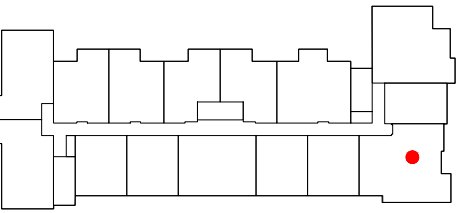
Level 1:



Level 2:



Level 3-6:



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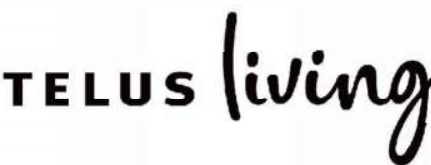
September 19, 2025
Issued for DP Resubmission

December 15, 2025
Issued for DP Resubmission

For

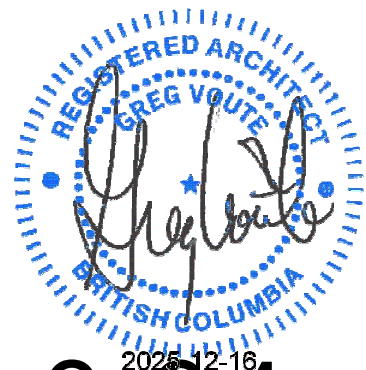
Project

1908 FOUL BAY
Multi-Unit Residential

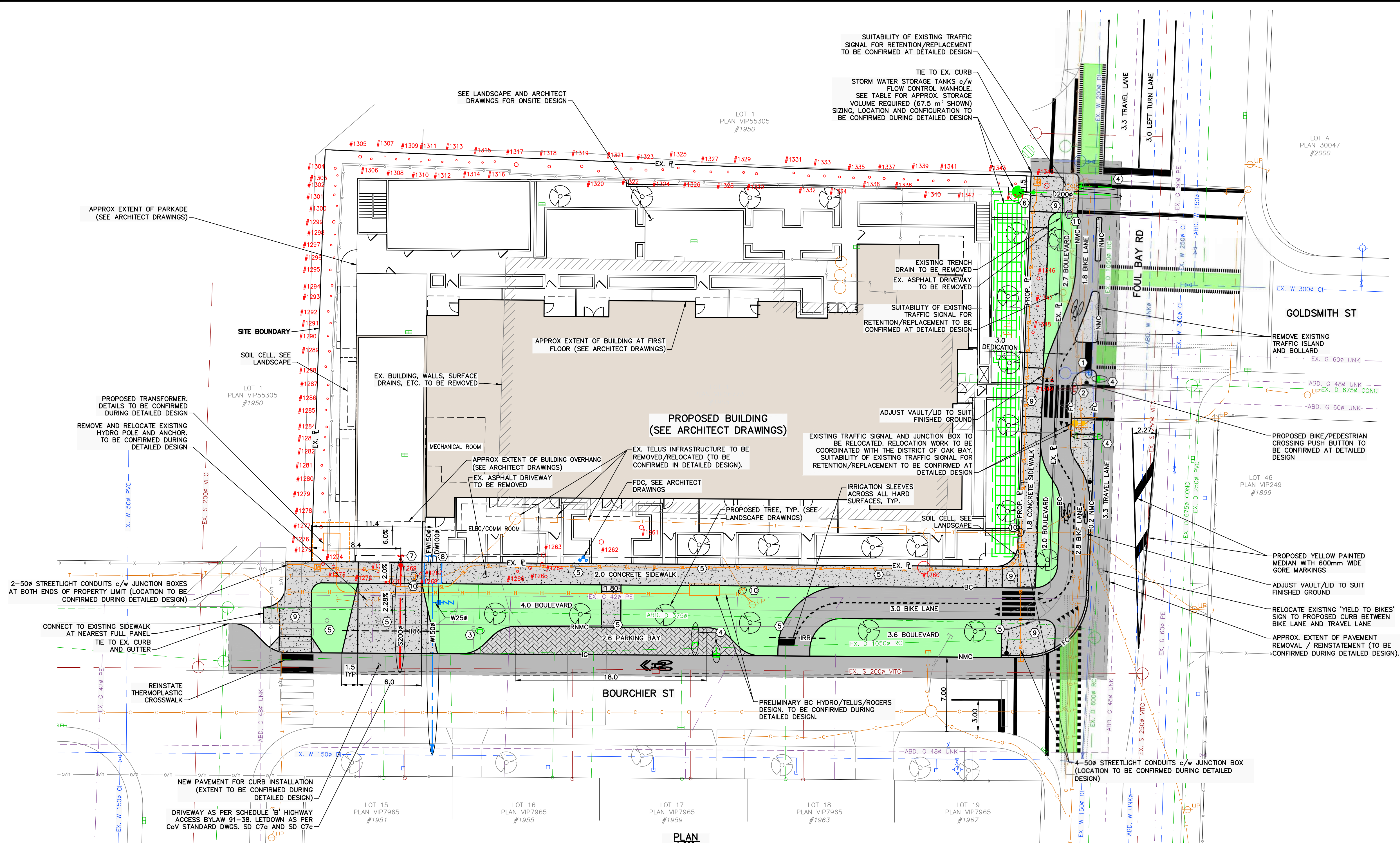


Unit Plans

Scale: 1/4" = 1' - 0"
December 15, 2025



A-8.04



SHEET NOTES	
No.	DESCRIPTION
1	EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY COV FORCES AT DEVELOPER'S EXPENSE.
2	EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED.
3	EXISTING STORM SERVICE TO BE CAPPED AND ABANDONED.
4	REMOVE EXISTING CATCH BASIN, REMOVE OR CAP & ABANDON EXISTING CATCH BASIN LEAD. REPLACE WITH NEW CATCH BASIN AS PER COV STD. DWG. SD11B C/W 150# PVC LEAD.
5	EXISTING SIGN TO BE REMOVED / REINSTATED
6	NEW 200# STORM SERVICE CONNECTION C/W INSPECTION CHAMBER TO PROPERTY LINE BY COV FORCES AT DEVELOPER'S EXPENSE.
7	NEW 200# SANITARY SERVICE CONNECTION C/W INSPECTION CHAMBER TO PROPERTY LINE BY COV FORCES AT DEVELOPER'S EXPENSE.
8	NEW 100# DOMESTIC WATER SERVICE CONNECTION AND 150# FIRE WATER SERVICE CONNECTION C/W METER VAULT (PER COV DWG. SD W21), METER SIZE TO BE CONFIRMED AT DETAILED DESIGN, AND 25# IRRIGATION SERVICE C/W BACKFLOW PREVENTOR BY COV FORCES AT DEVELOPER'S EXPENSE.
9	CROSSWALK LETDOWN CONFIGURATIONS, SIGNAGE, AND WARNING STRIPS TO BE CONFIRMED DURING DETAILED DESIGN.
10	EXISTING H/T/C SERVICE TO BE CAPPED AND ABANDONED BY UTILITY FORCES AT DEVELOPER'S EXPENSE (TO BE CONFIRMED DURING DETAILED DESIGN).
11	EXISTING GAS SERVICE TO BE CAPPED AND ABANDONED BY UTILITY FORCES AT DEVELOPER'S EXPENSE (TO BE CONFIRMED DURING DETAILED DESIGN).
# EXISTING TREE TO REMAIN, SCALED TO TREE TRUNK DIAMETER (SEE ARBORIST REPORT)	
o EXISTING TREE TO BE REMOVED, SCALED TO TREE TRUNK DIAMETER (SEE ARBORIST REPORT)	

PLAN NOTES:

- 1) FOR BUILDING INFORMATION, SEE DRAWINGS BY RLA ARCHITECTS.
- 2) FOR LANDSCAPING, SEE DRAWINGS BY LADR LANDSCAPE ARCHITECTS.
- 3) FOR TREE INFORMATION, SEE ARBORIST REPORT BY TALBOT MACKENZIE AND ASSOCIATES.
- 4) UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
- 5) ALL EXISTING ON-SITE BUILDINGS, DRIVEWAYS, PARKING LOTS, RETAINING WALLS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE.
- 6) ALL EXISTING SERVICES TO BE CAPPED BY CITY OF VICTORIA FORCES AT DEVELOPER'S EXPENSE UNLESS OTHERWISE NOTED.
- 7) BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).
- 8) ONSITE WALKWAYS, WALLS, BENCHES, BICYCLE STALLS AND OTHER LANDSCAPE FEATURES NOT SHOWN FOR CLARITY (SEE ARCHITECT AND LANDSCAPE DRAWINGS).

CAUTION: EXISTING UTILITIES KNOWN TO BE IN THE PROJECT VICINITY ARE SHOWN SCHEMATICALLY AND INCLUDE, BUT ARE NOT LIMITED TO: BC HYDRO, CITY OF VICTORIA WATER/SANITARY/STORM DRAIN, FORTISBC, AND TELUS COMMUNICATIONS. FIELD LOCATES REQUIRED PRIOR TO CONSTRUCTION. HAND DIG WERE REQUIRED.

PRELIMINARY STORM WATER CALCULATIONS*	
TOTAL SITE AREA (T.A.)	2,505 m ²
APPROX IMPERVIOUS AREA (I.A.)	2,100 m ²
REQUIRED DETENTION (I.A. x 32mm)	67 m ³

*CALCULATIONS BASED ON CITY OF VICTORIA RAINWATER MANAGEMENT TARGET TO RETAIN FIRST 32mm OF RAINFALL FROM ALL SITE IMPERVIOUS AREAS IN A 24-HOUR PERIOD.

LEGAL PLAN & AND SURVEY INFORMATION PROVIDED BY GEOVERRA


SEE ARCHITECTURAL AND LANDSCAPING DRAWINGS FOR ADDITIONAL INFORMATION


PERMIT TO PRACTICE
McElhanney Ltd.
PERMIT NUMBER: 1003299
Engineers and Geoscientists of BC

DECEMBER 11, 2025
ISSUED FOR DEVELOPMENT PERMIT

\\s3241\proj\6353\2410259_1008_P001_P001\DWG\01_DRAWINGS\01_SHEETS\04_103_CSP.DWG, 12/11/2025, 3:53 PM, CSP

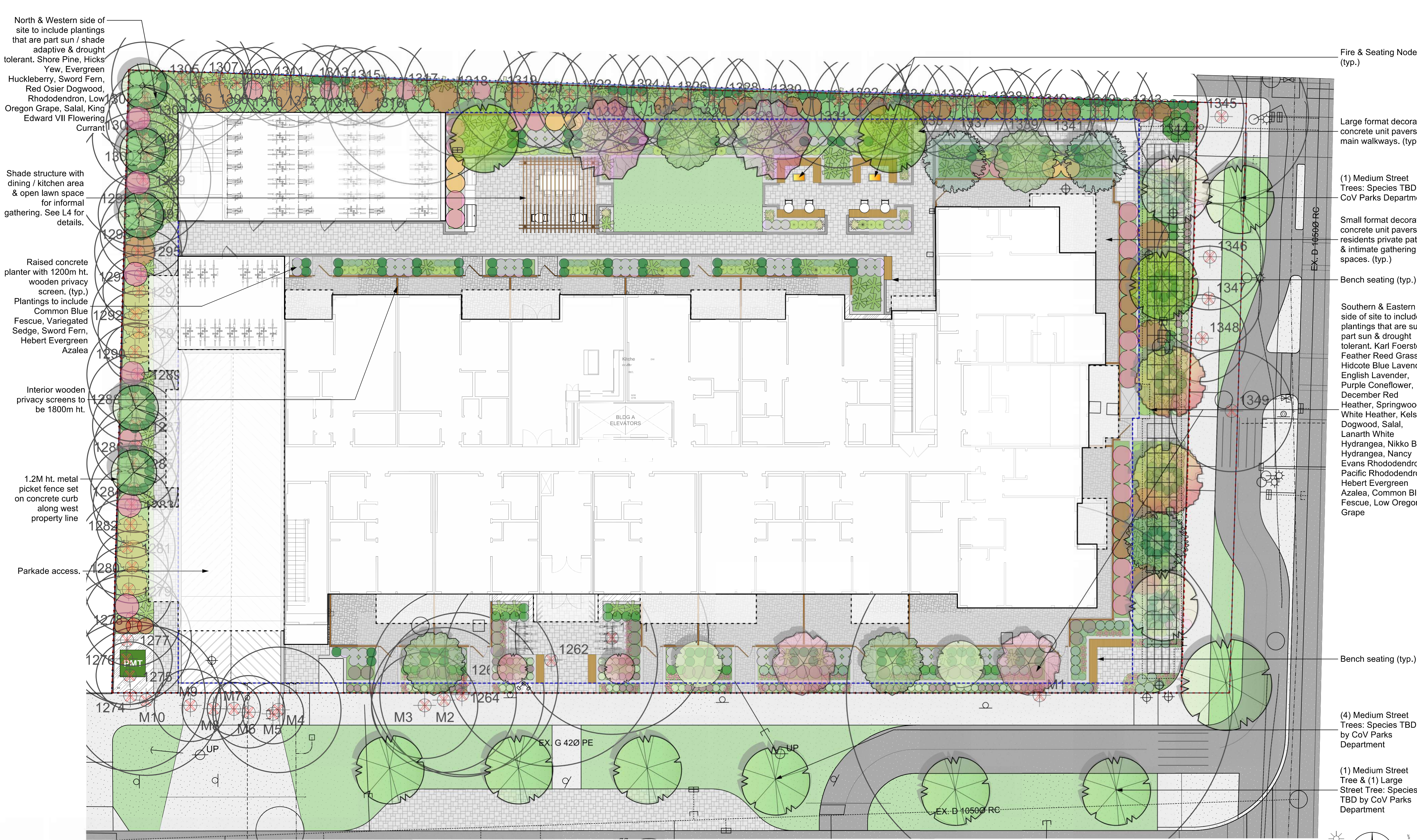
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4	2025-09-16	NKO	ISSUED FOR DEVELOPMENT PERMIT								
3	2025-05-27	NKO	ISSUED FOR DEVELOPMENT PERMIT								
2	2025-05-14	NKO	ISSUED FOR DEVELOPMENT PERMIT								
1	2025-04-28	NKO	ISSUED FOR DEVELOPMENT PERMIT								
NO.	DATE	BY	ISSUED	NO.	DATE	BY	REVISIONS				

**McElhanney**
500 - 3960 QUADRA STREET
VICTORIA, BC V8X 4A3
PH (250) 370-9221

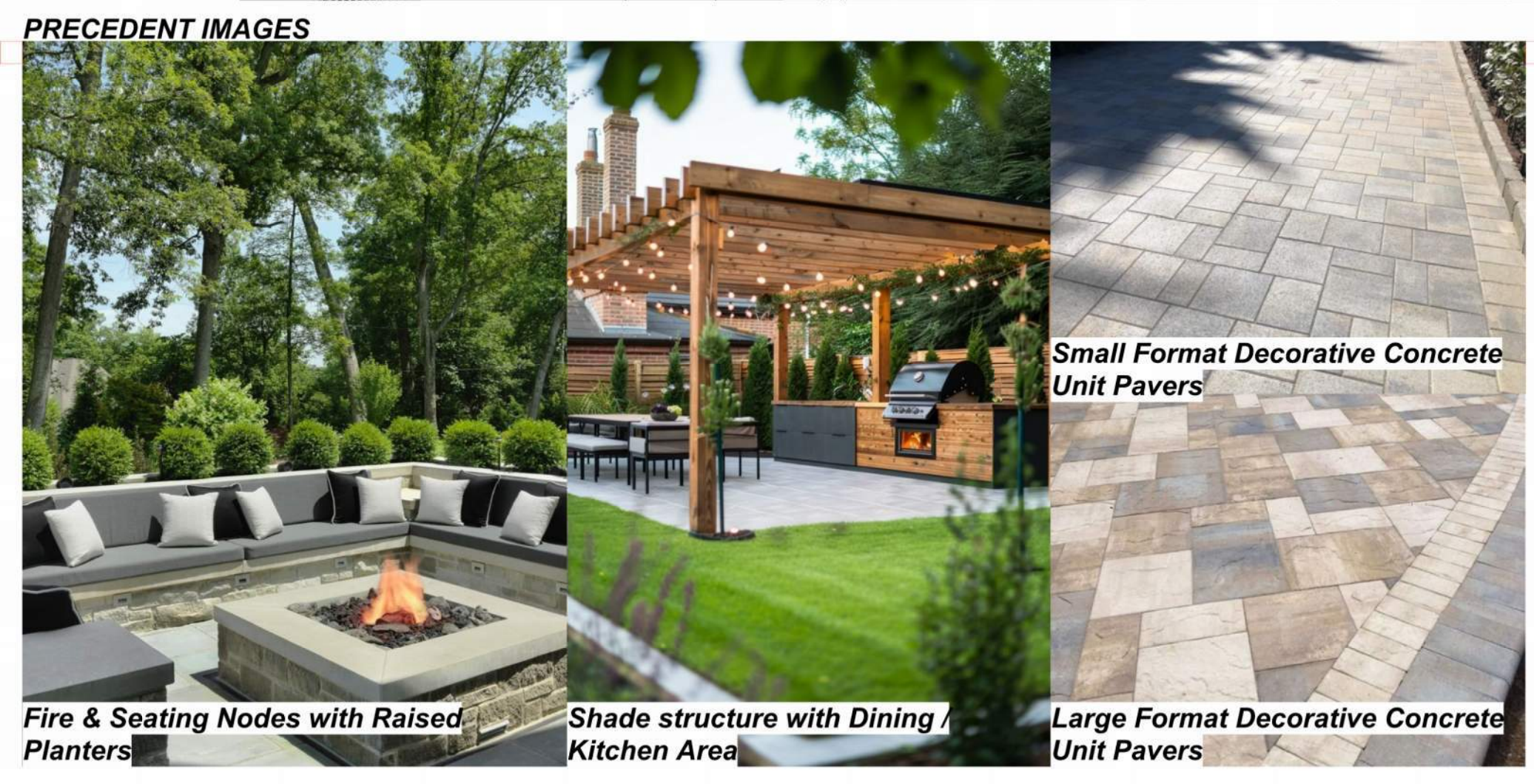
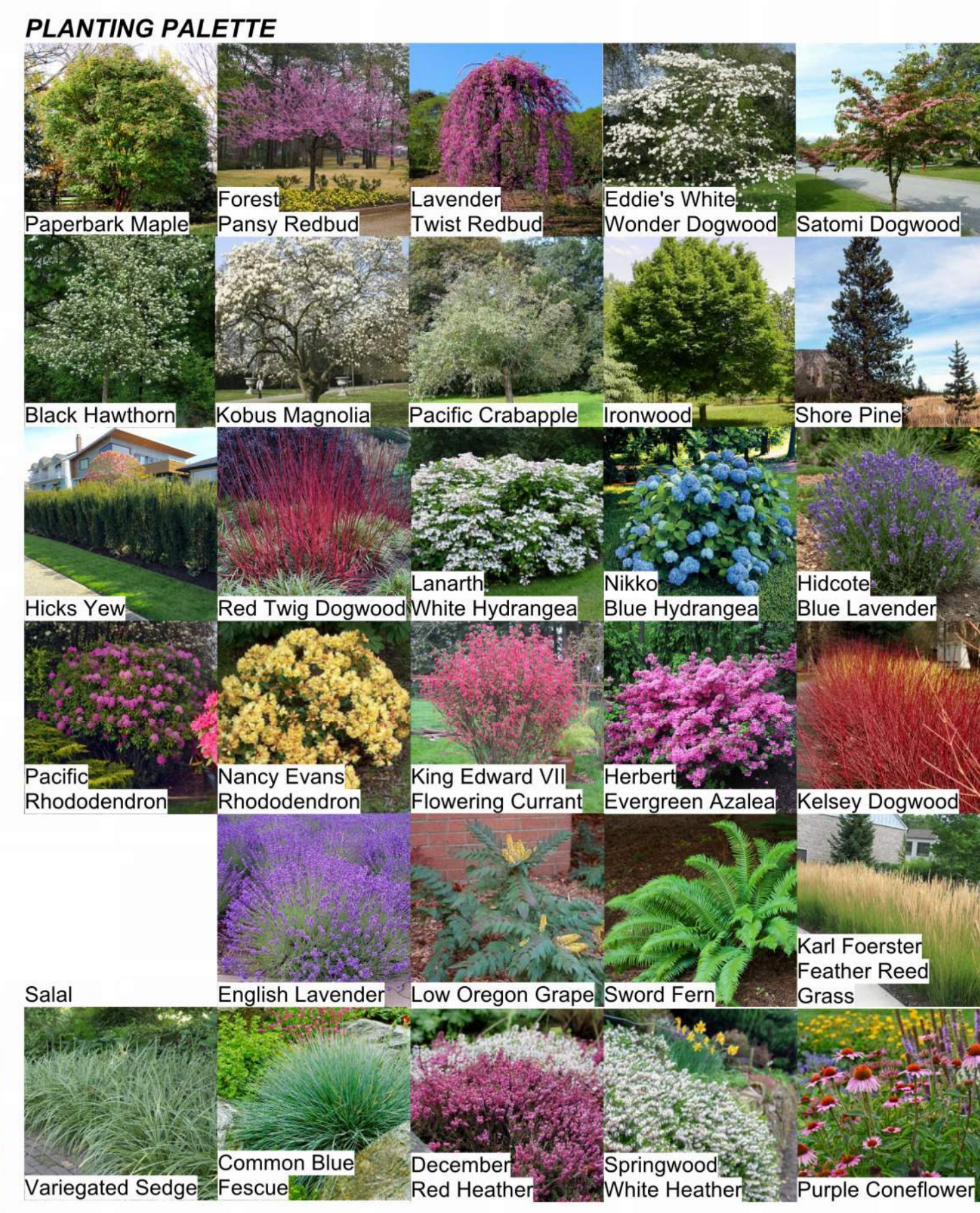


SEAL
ENGINEER
#49313
2025-12-16

PROJECT: 1908 FOUL BAY ROAD, VICTORIA, BC		SCALE HORIZ: 1:200 VERT: N/A
TITLE: PRELIMINARY CIVIL PLAN		PROJECT NO. 24-103
		ISSUED/REVISION 5
		APPROVING AUTHORITY FILE NO.
		DRAWING NO. 24-103-CSP



Recommended Nursery Stock			
Trees			
On Site Total: 27			
Botanical Name	Common Name	Size	
Acer griseum	Paperbark Maple	6cm cal.	
Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	6cm cal.	
Cercis canadensis 'Lavender Twist'	Lavender Twist Eastern Redbud	6cm cal.	
Cornus 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	6cm cal.	
Cornus kousa 'Satomi'	Satomi Dogwood	6cm cal.	
Crataegus douglasii	Black Hawthorn	6cm cal.	
Magnolia kobus	Kobus Magnolia	6cm cal.	
Malus fusca	Pacific Crabapple	6cm cal.	
Ostrya virginiana	Ironwood	6cm cal.	
Pinus contorta	Shore Pine	2m ht.	
Street Trees - Species to be determined			
By the City of Victoria Parks Dept.			
Off Site Total: 8			
Large Shrubs			
Total: 70			
Medium Shrubs			
Total: 125			
Small Shrubs			
Total: 443			
Perennials, Annuals and Ferns			
Total: 383			
Groundcovers			
Total: 191			
Botanical Name	Common Name	Size	
Erica carnea 'December Red'	December Red Heather	#1 Pot	
Erica carnea 'Springwood White'	Springwood White Heather	#1 Pot	
Notes:			
1. All work to be completed to current CSLA Landscape Standards			
2. All soft landscape to be irrigated with an automatic irrigation system			



TREE SYMBOL LEGEND

- Lavender Twist Eastern Redbud
- Shore Pine
- Eddie's White Wonder Dogwood
- Forest Pansy Redbud
- Black Hawthorn
- Kobus Magnolia
- Satomi Dogwood
- Pacific Crabapple
- Paperbark Maple
- Ironwood

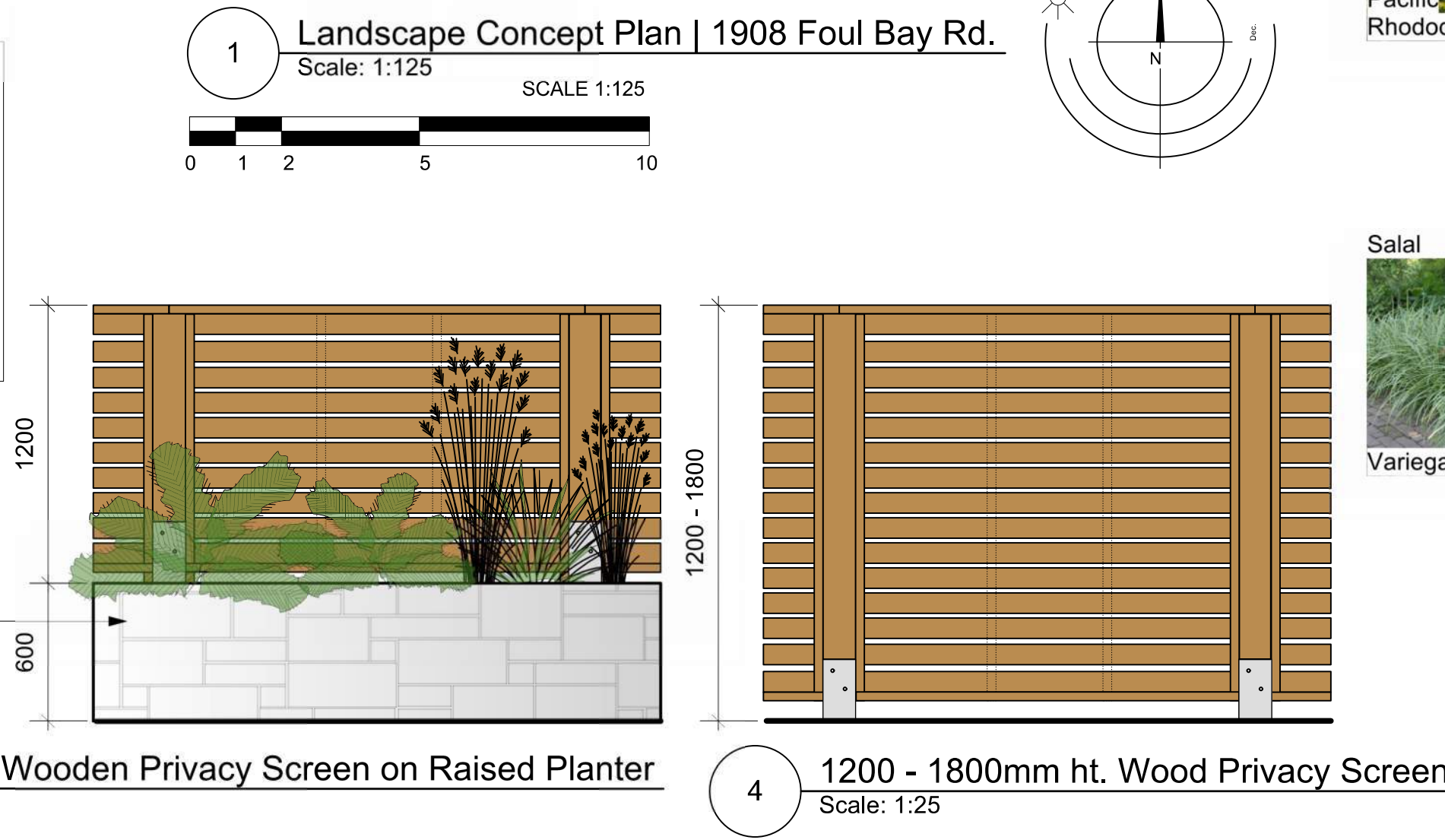
MATERIALS LEGEND

- Planting Bed
- Large Format Decorative Concrete Unit Pavers
- Small Format Decorative Concrete Unit Pavers
- Raised Concrete Planter
- Municipal Sidewalk - See Civil
- Bike Lane - See Civil
- Grass Lawn

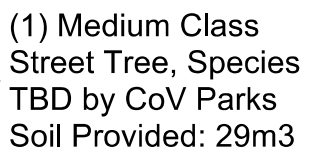
Notes:

- All wood to be western red cedar.
- All wood to receive one (2) coat stain & two (1) coats clear sealer. Color to be reviewed and approved by Client and LA..

Stone veneer on concrete planter walls, as per City of Victoria request. See Arch for wall details



Landscape Concept Plan | 1908 Foul Bay Rd.



Soil Table				Replacement Tree Proposed			Soil Volume Required (M3)			
Planting Area ID	Area (M2)	Soil Volume multiplier*	A Estimated Soil Volume	#Small	#Medium	#Large	Small	F Medium	G Large	Total
Onsite										
1	45	1	45		3		0	45	0	45
2	30	1	30		2		0	30	0	30
3	69	1	69	1	4		6	60	0	66
4	21.5	1	21.5	3			18	0	0	18
5	47.8	1	47.8		3		0	45	0	45
6	37	1	37	1	2		6	30	0	36
7	21	1	21	3			18	0	0	18
8	21	1	21	3			18	0	0	18
9	8	1	8	1			8	0	0	8
10	8	1	8	1			8	0	0	8
Offsite (Excluding City Property)										
AreaOSA X										
(Excluding City Property)							E	F	G	TOTAL
Calculation							IF B =1,BX8 IF B>1,BX6	IF C =1,CX20 IF C>1,CX15	IF B =1,BX35 IF B>1,BX30	E +F +G

Area of Soil Volume Cells
provides 16.5m³

(3) Small Bylaw Replacement Tree - Paperbark Maple, Eddie's White Wonder Dogwood, Satomi Dogwood

(1) Large Class Street Tree, Species TBD by CoV Parks
Soil Provided: 35m3

Planting Area #7
Soil Required: 18m3
Soil Provided: 21m3

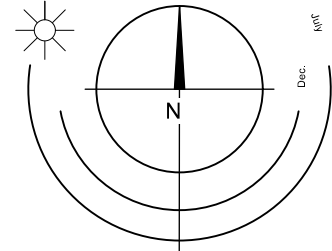
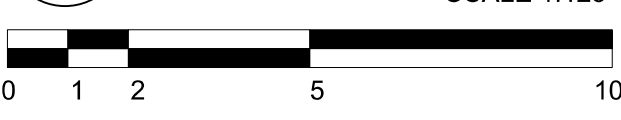
Planting Area #8
Soil Required: 18m3
Soil Provided: 21m3

(1) Small Bylaw Replacement Tree - Satomi Dogwood

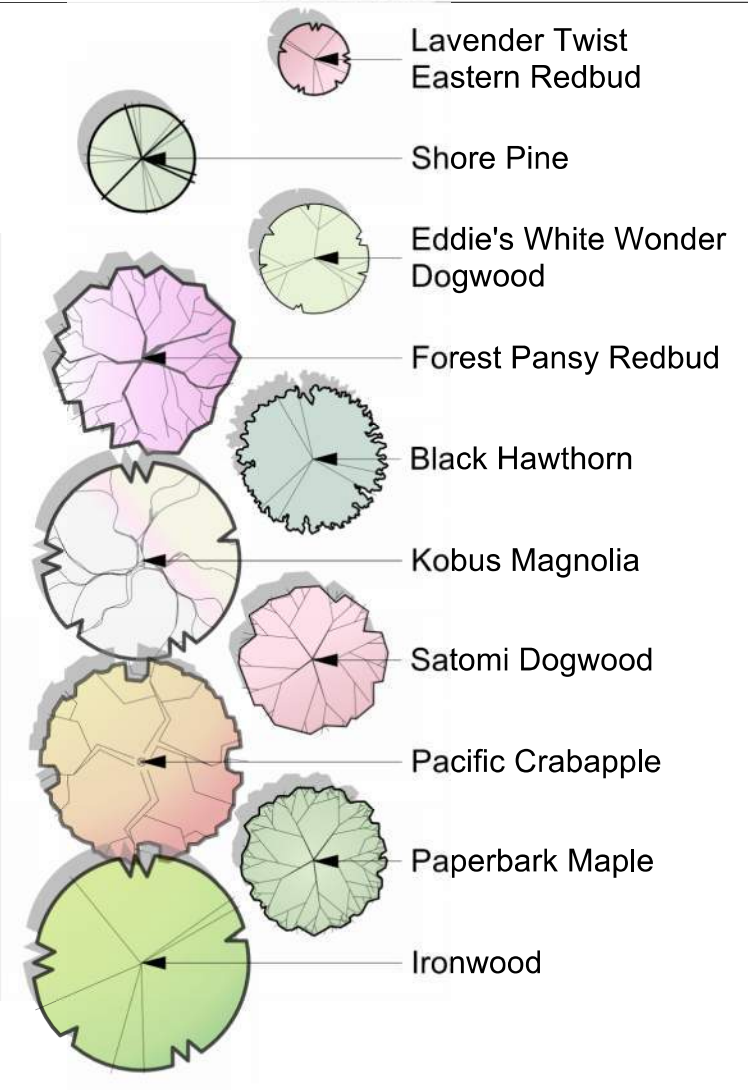
(2) Medium Street Tree: Species TBD by CoV Parks Department
Soil Provided: 55.4m3

(4) Medium Class Street Trees, Species TBD by CoV Parks
Soil Provided: 148.7m3

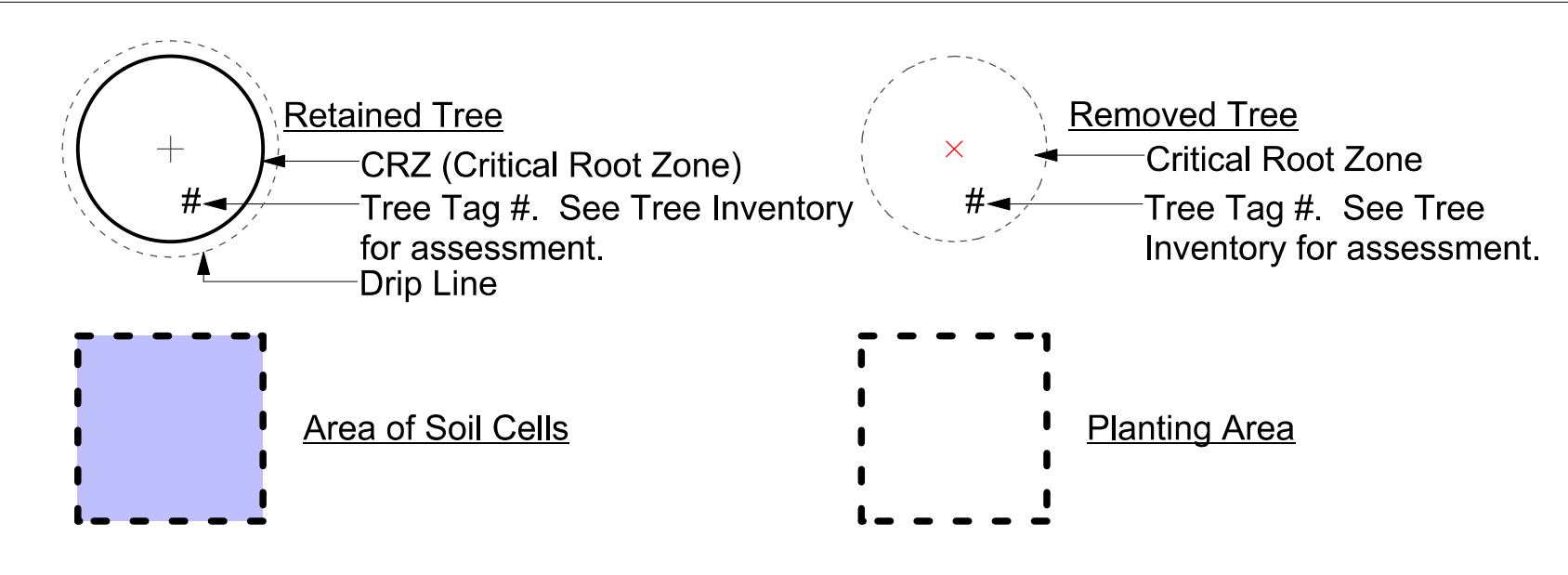
1 Tree Management Plan | 1908 Foul Bay Rd.
Scale: 1:125



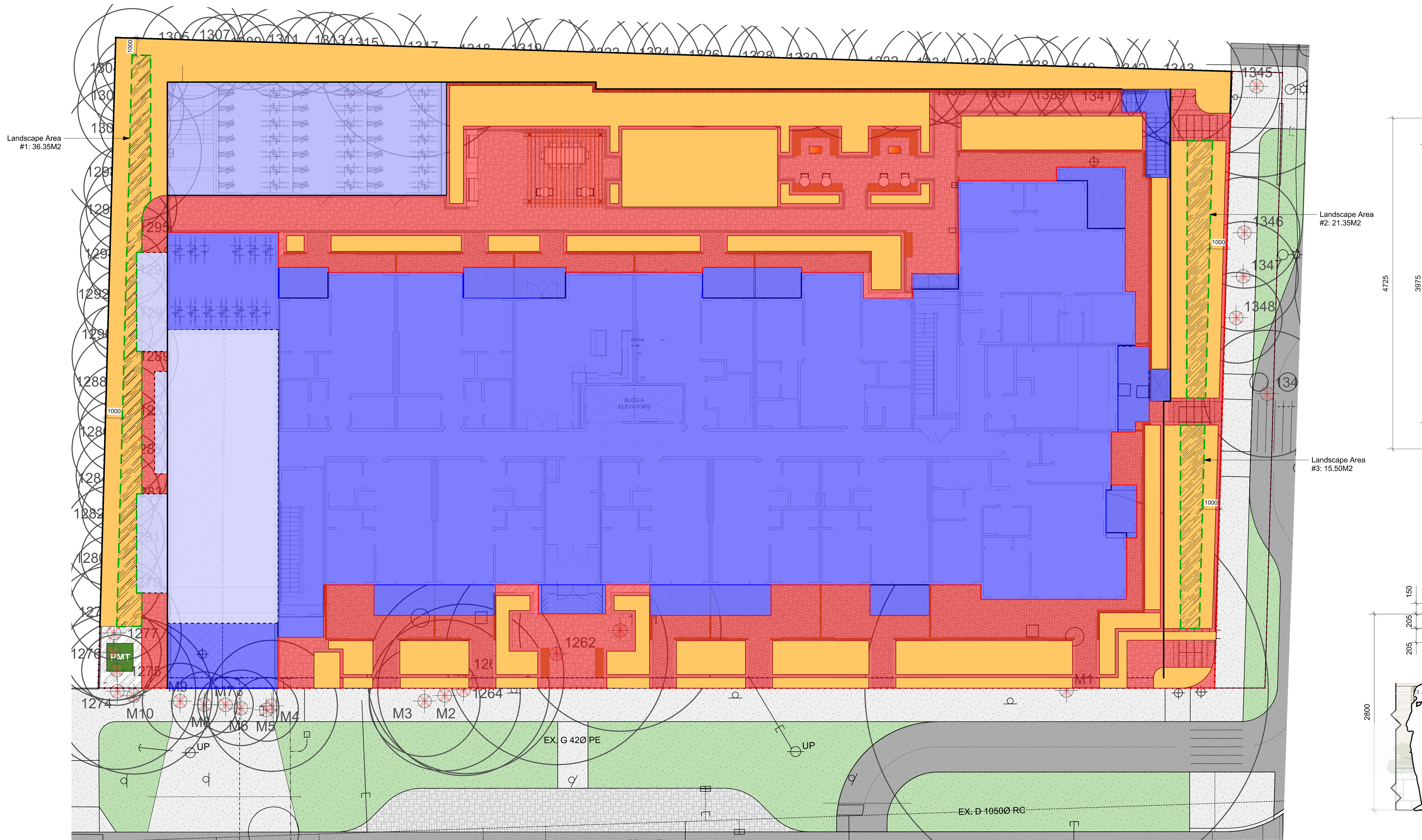
TREE SYMBOL LEGEND



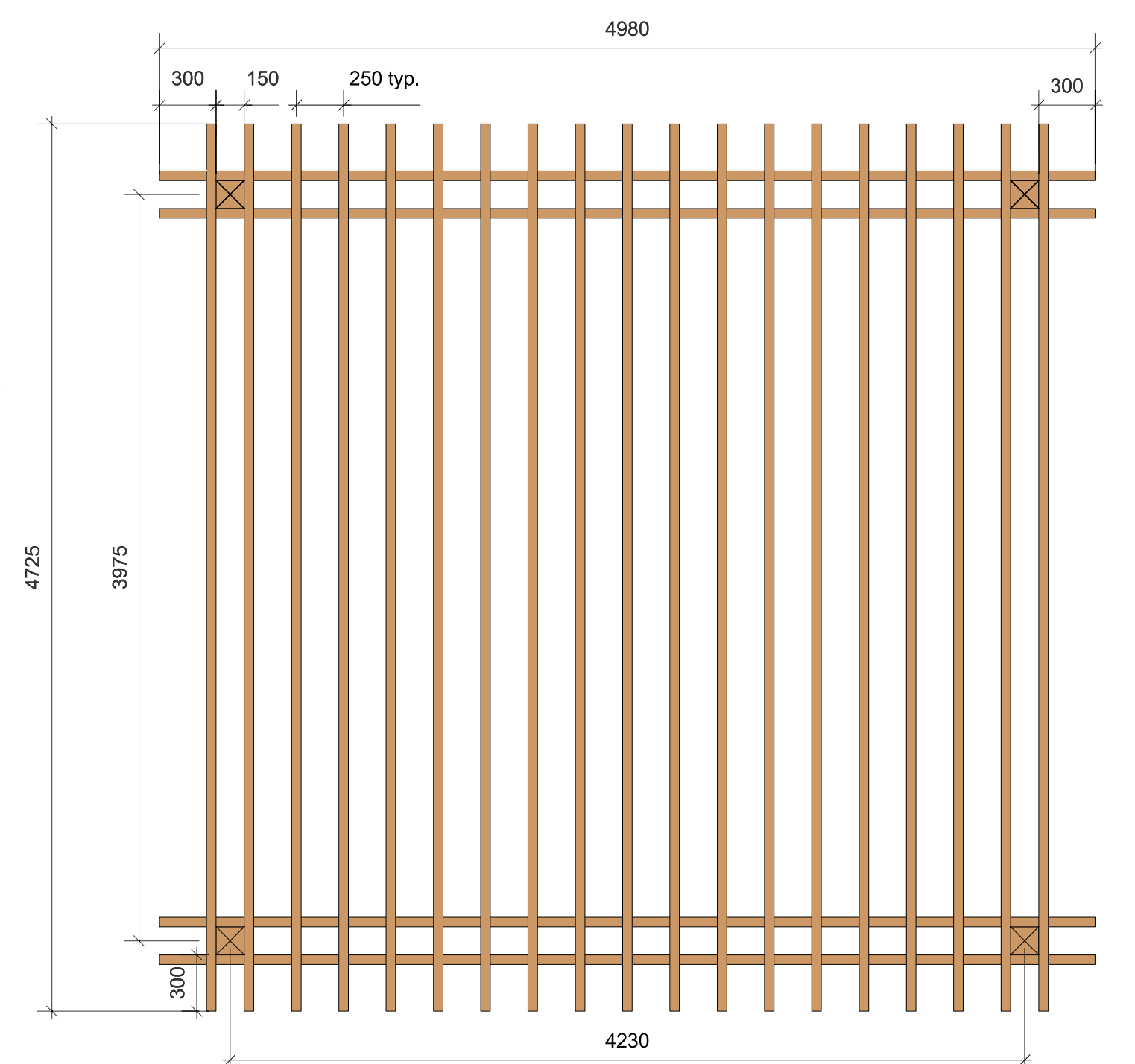
TREE MANAGEMENT LEGEND



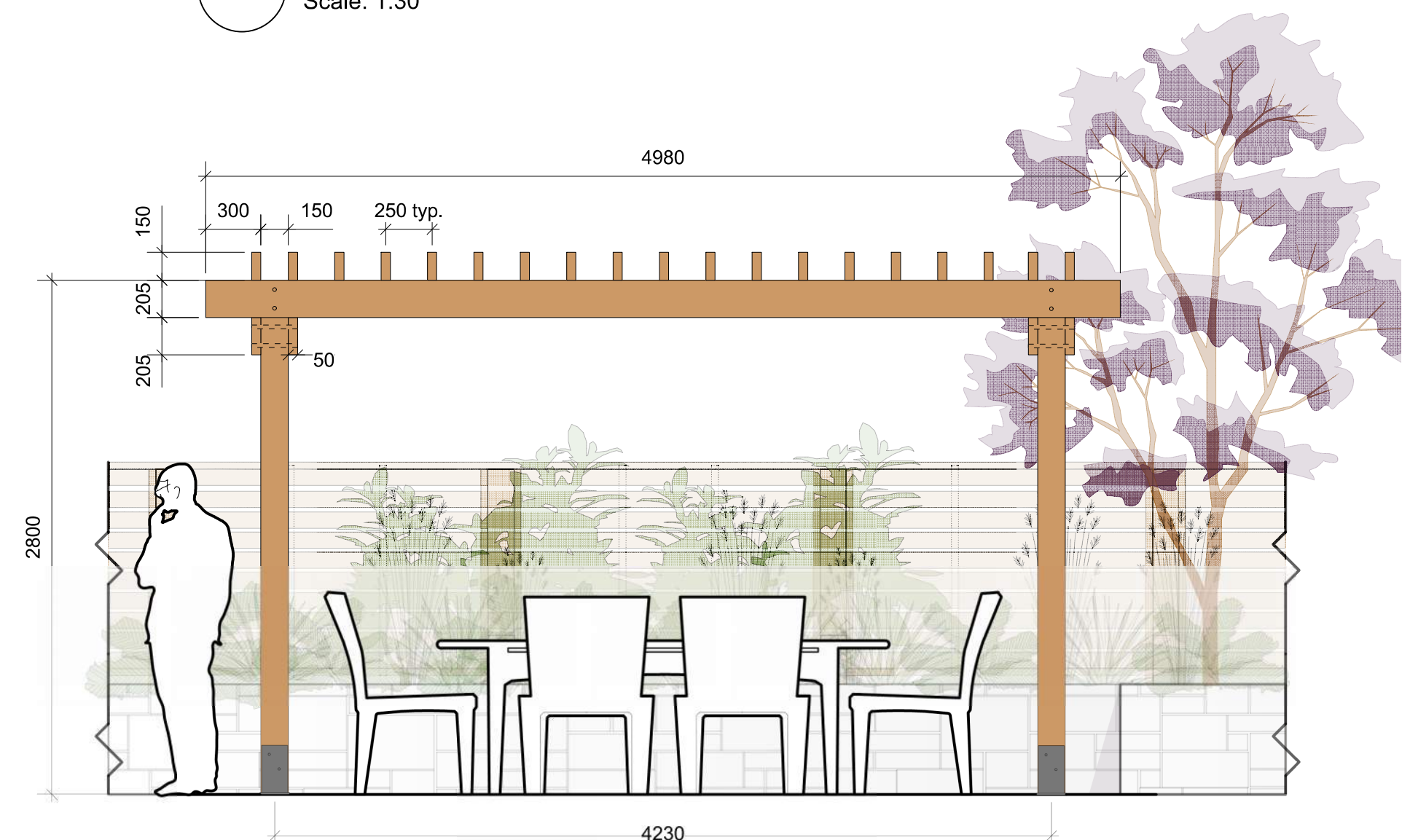
Tree Management Plan | 1908 Foul Bay Rd.



1 Landscape Concept Plan | 1908 Foul Bay Rd.
Scale: 1:125



2 Pergola Detail | Plan View
Scale: 1:30



3 Pergola Detail | Side View
Scale: 1:30



4 Landscape Concept - West Elevation (View from Offsite Path)
Scale: 1:60

Open Site Space Takeoffs	
Lot Area: 2506 SQM	
Building, Parking, Accessory Buildings: 1396 sq m (56%)	
Open Lot Space: 1110 sq m (44% of site)	
Hardscape: 530 sq m (48% of OLS)	
Soft Landscaping: 580 sq m (52% of OLS)	

Landscape Concept Plan | 1908 Foul Bay Rd.