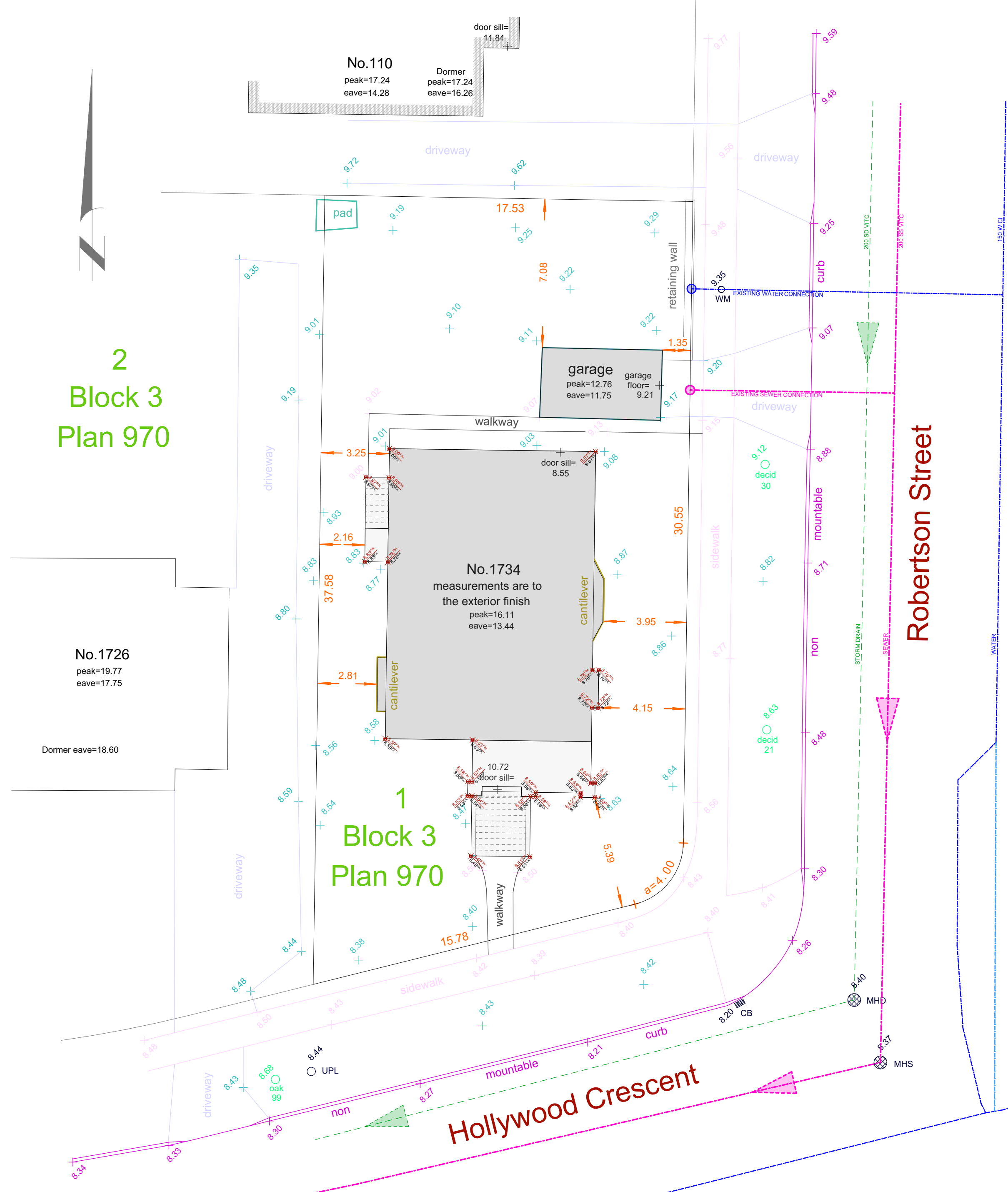


LEGEND
 Elevations are to geodetic datum.
 CB - denotes - catch basin
 MHD - denotes - manhole - storm drain
 MHS - denotes - manhole - sewer
 UPL - denotes - utility pole with light
 WM - denotes - water meter
 #/## + - denotes - existing elevation
 Tree diameters are in centimetres.
Lot Area = 616.53 m²

28
 Block 3
 Plan 970

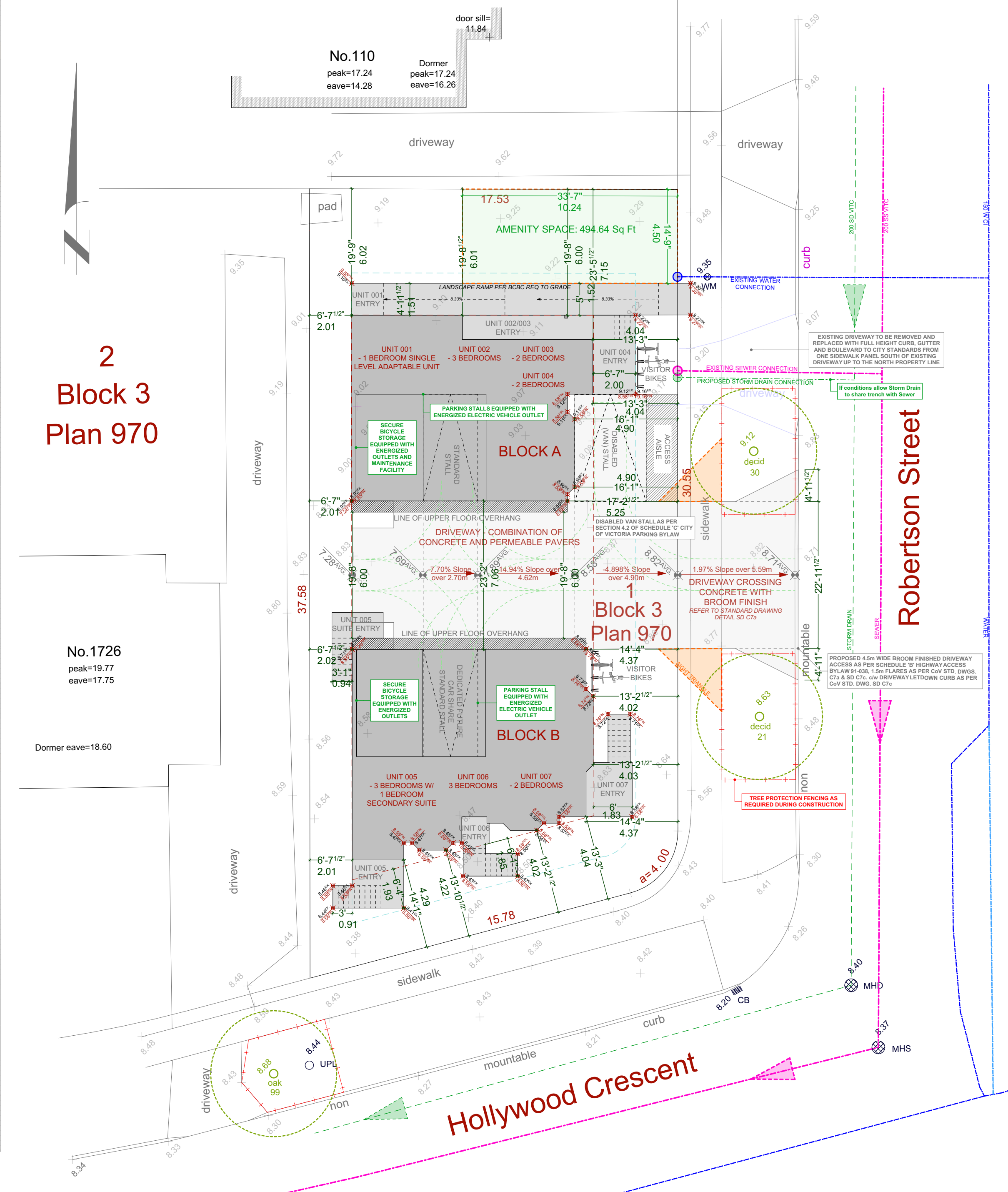


EXISTING SITE PLAN
 SCALE = 1 : 200

Original Submission
 Received Date:
 September 20, 2023

28
 Block 3
 Plan 970

LEGEND
 Elevations are to geodetic datum.
 CB - denotes - catch basin
 MHD - denotes - manhole - storm drain
 MHS - denotes - manhole - sewer
 UPL - denotes - utility pole with light
 WM - denotes - water meter
 #/## + - denotes - existing elevation
 Tree diameters are in centimetres.
Lot Area = 616.53 m²



PROPOSED SITE PLAN
 SCALE = 1 : 200

PROJECT DATATABLE - MULTI FAMILY DWELLING			
Address	1734 Hollywood Cres		
Lot Size	616.53m ² (6,636.27 ft ²)		
Zoning	R1-G - MISSING MIDDLE BYLAW - SCHEDULE P		
	BLOCK A	BLOCK B	REQUIRED
Location			
Lot Width***	17.53m***	20m	
Building to be within 36m of two streets	9.80m	9.76m	-
All buildings to be within 20m of a street	9.80m	9.76m	-
Floor Area			
Upper Floor Area	90.61m ² (975.34 ft ²)	98.66 m ² (1,061.98 ft ²)	-
Main Floor Area	91.84m ² (988.60 ft ²)	98.92 m ² (1,064.81 ft ²)	-
Lower Floor Area	88.64m ² (954.12 ft ²)	100.11 m ² (1,077.54 ft ²)	-
Basement Floor Area	55.52m ² (594.64 ft ²)	62.02 m ² (667.54ft ²)	-
Bicycle Storage Area	15.44m ² (166.14 ft ²)	15.26 m ² (164.27ft ²)	-
Floor Space Ratio	0.923 568.78 m ² (6,124.39 ft ²)	1.1 678.18m ² (7,299.87 ft ²)	-
Height			
Average grade	8.81m Geo.	8.40m Geo.	-
Building Height*** (maximum)	11.29m*** (37.04 ft)	11.64m*** (38.19 ft)	9.50m - Flat roofs 10.50m - All other roofs
Setbacks, Projections			
Front yard setback (minimum) (South)	18.38m (60.30 ft)	4.02m (13.19 ft)	4.00m (13.12 ft)
Flanking side yard setback (minimum) (East)	4.04m (13.26 ft)	4.02m (13.19 ft)	4.00m (13.12 ft)
Maximum projections into all setbacks: • Stairs, ramp, porch	2.00m (6.56 ft)	1.93m (6.33 ft)	2.00m (6.56 ft)
Rear yard setback (minimum) (North)	6.00m (19.69 ft)	20.32m (66.67 ft)	6.00m (19.69 ft)
Interior side yard setback (minimum) (West)	2.01m (6.60 ft)	2.01m (6.60 ft)	2.00m (6.56 ft)
Eave projections into setback (maximum)	0.61m (2.00 ft)	0.61m (2.00 ft)	0.75m (2.46 ft)
Building separation (minimum)	6.00m (19.69 ft)	6.00m (19.69 ft)	5.00m (16.40 ft)
Site Coverage			
Site coverage (maximum)	34.44% 212.33m ² (2,285.50ft ²)	40.00% 246.61m ² (2,654.49ft ²)	-
Open Site Space*** (minimum)	38.96%*** 240.20m ² (2,585.49ft ²)	45.00% 277.44m ² (2,966.34ft ²)	-
Amenity Space (50m ² or 6.5% of lot area and min 4.5m in length on all sides)	3382.67ft ² (314,20m ²) 50.97%	40.08m ² (431.42ft ²)	6.50% 40.08m ² (431.42ft ²)
Parking			
Bicycle Storage • Long Term Storage Spaces (2 per unit, 1 per secondary unit) • Short Term Storage Spaces (Not required)	5 long term spaces 4 short term spaces	10 long term spaces 4 short term spaces	• 15 long term spaces • 8 short term spaces • Not Required
Oversized Bicycle Storage	2 long term (included in total above)	2 long term (included in total above)	15% of total stalls 3 spaces
Energized Bicycle Spaces	3 energized spaces	8 energized spaces	50% of total stalls 8 spaces
Bicycle Maintenance Facility	1 located in bike storage room	located in Block A	1 Required
Van Accessible Parking	1 - Van accessible parking space located close to Block A (contains adaptable unit)		1 Required
EV Equipped Parking One parking space dedicated for future use by a car share vehicle on the lot secured through a car share parking space (CSW) on the terms in Schedule R	1 - Standard EV equipped parking space	1 - Dedicated future car share (CSW) EV equipped parking space	0.15 Parking spaces per unit up to a maximum of 1 per share vehicle parking space 2 Spaces Required

***VARIANCE REQUIRED

NAFS REQUIREMENTS:
 Performance Grade of 30
 Water Test Pressure of 260 Pa

GENERAL NOTES
 ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.
 ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.
 DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE
 -SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR

SITE PLAN
 ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR. ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER. ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.
 CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.
CONCRETE AND FOUNDATIONS
 ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.

IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.
 GARAGE & CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPa
 FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2900 psi (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.
 ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED.
 ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE.
 ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

LUMBER, FRAMING AND BEAMS
 BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.
 ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.
 ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

TRUSSES
 TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.
ROOFING
 ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.
PLUMBING & ELECTRICAL
 ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

FLASHING
 ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING. ALL ROOFING SHALL INCORPORATE STEP FLASHING. ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.
DOORS - ROUGH OPENING SIZES
 FRAME OPENING 1 1/4" WIDER THAN DOOR
 FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81.5".
MISC.
 CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19

NEITHER JAVADESIGNS INC. NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:
 -INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.
 -CONFORMITY OF PLANS TO SITE.
 -ERRORS AND OMISSIONS
 -ANY HOUSE BUILT FROM THESE PLANS

CUSTOMER:
AMIT AND KARISHMA SETHI
 ADDRESS:
LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

DRAWING NAME:
EXISTING AND PROPOSED SITE PLANS AND DATATABLE
 DRAWING SCALE:
SEE DRAWINGS

ISSUE DATE:
AUG 25, 2023
 DRAWN BY:
NS
 CHECKED BY:
KL

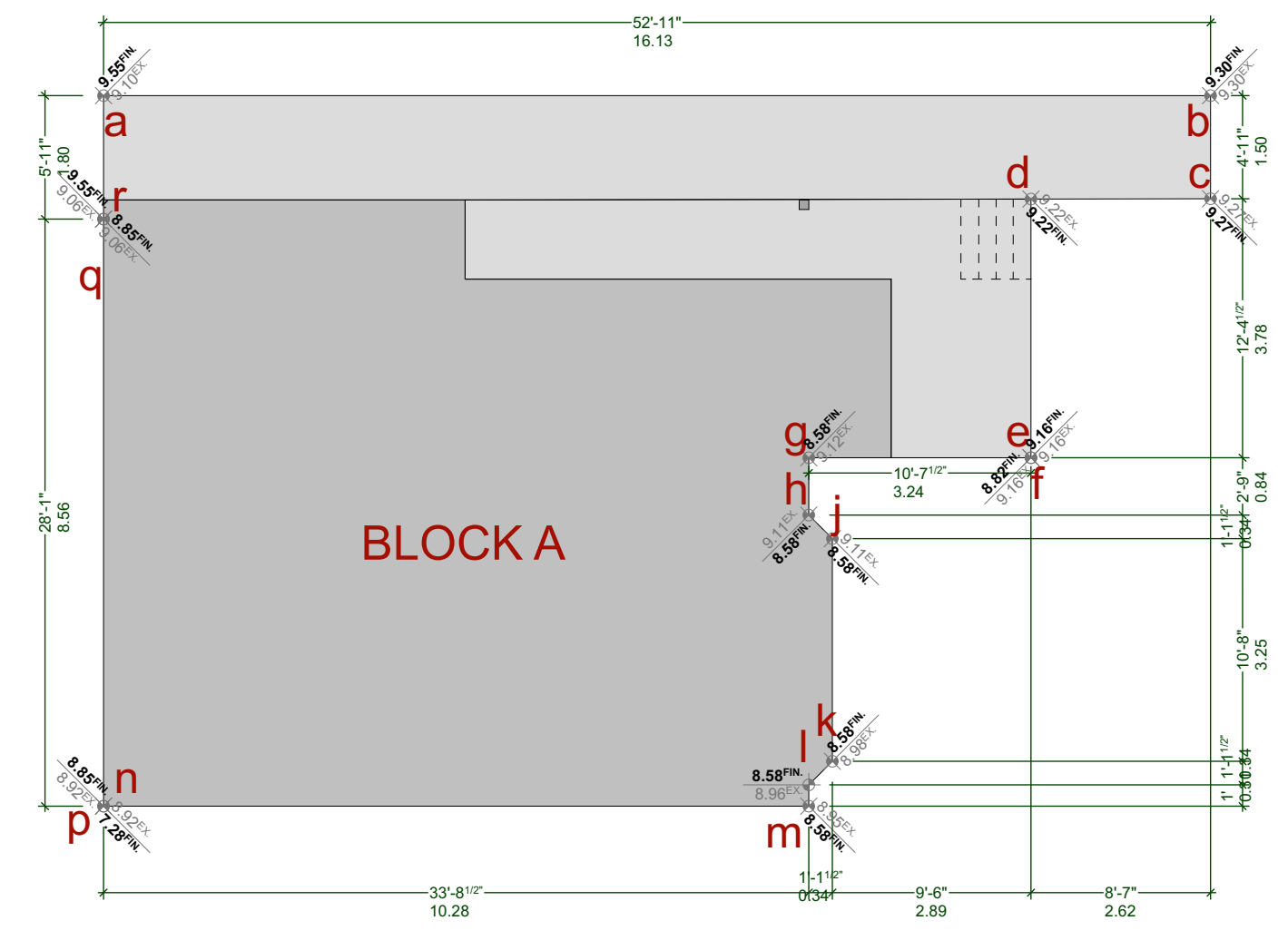
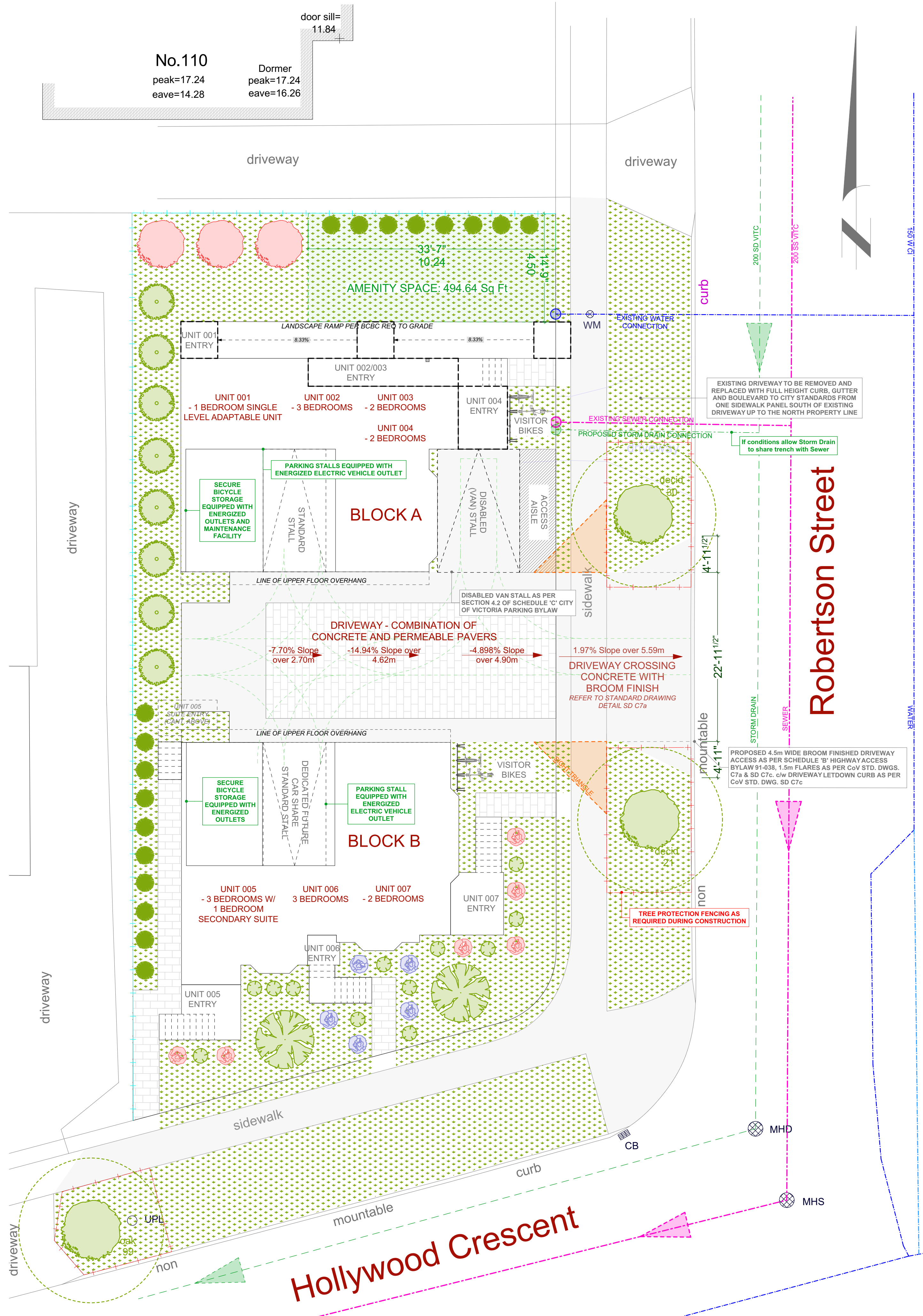
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SHEET NUMBER
A1



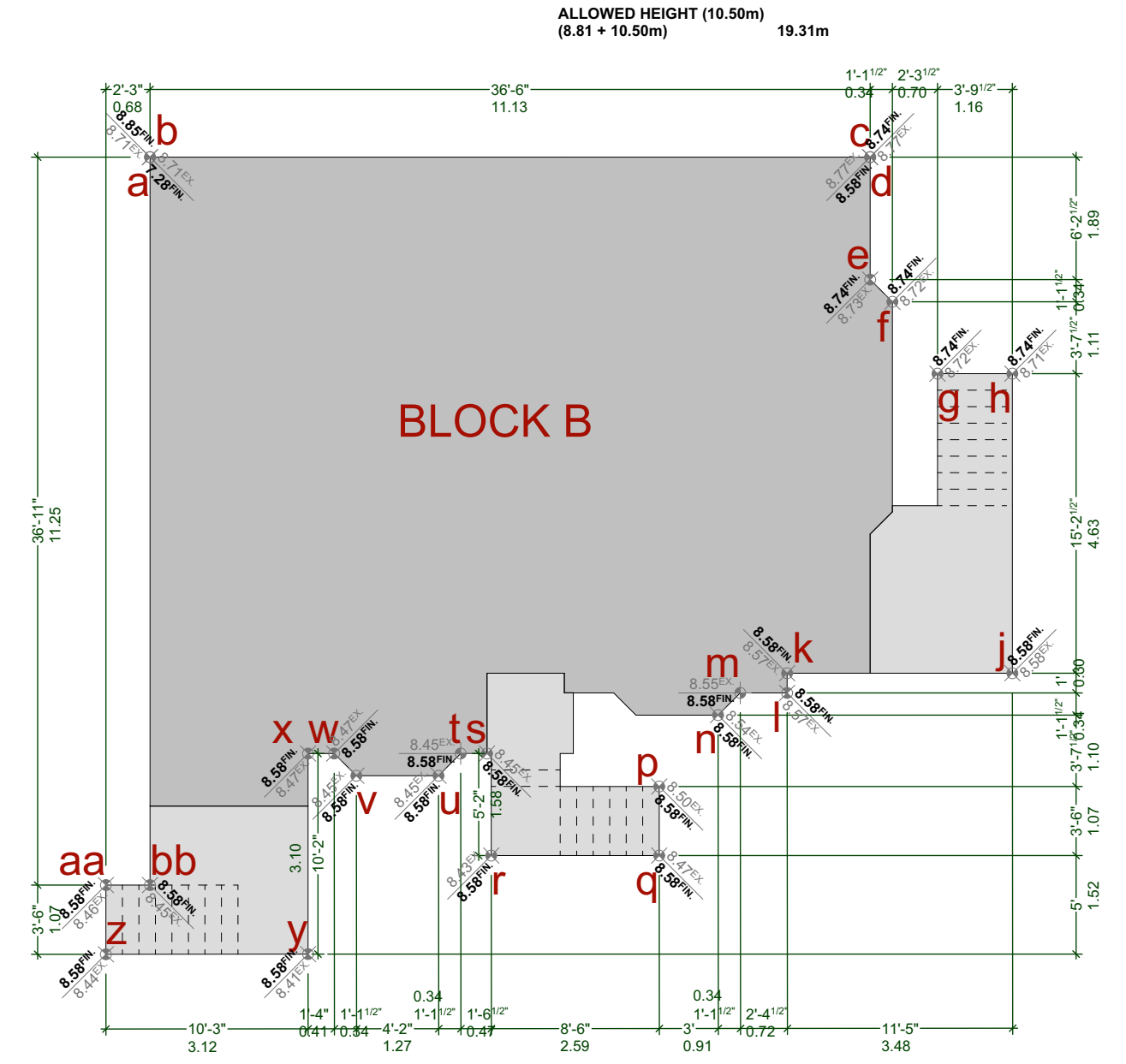
PROPOSED LANDSCAPE PLAN
SCALE = 1 : 100

PLANT LIST					
ID	QTY.	LATIN NAME	COMMON NAME	SIZE	EXAMPLE
TR1	3	ACER PALMATUM 'SANGO KAKU'	CORAL BARK JAPANESE MAPLE	5 GAL.	
TR2	2	CORNUS NUTALI	PACIFIC DOGWOOD	5 GAL.	
TR3	8	FAGUS SYLV. DAWYCKII GOLD	COLUMNAR GOLD BEECH	2 GAL.	
PL1	18	CALAMAGROSTIS X ACUTIFLORA	KARL FOERSTER GRASS	1-2 GAL.	
PL2	6	RIBES SANG. KING EDWARD	ORNAMENTAL CURRANT	1-2 GAL.	
PL3	12	BUXUS MICROPHYLLA WINTER GEM	LITTLELEAF BOXWOOD	1-2 GAL.	
PL4	5	CEANOTHUS	CALIFORNIA LILAC	1-2 GAL.	



PROPOSED GRADE PLAN
NOT TO SCALE

Grade Points	Avg. Of Points	Distance Between	Totals
a / b	9.10	+ 9.30 / 2 = 9.20	146.40
b / c	9.30	+ 9.27 / 2 = 9.29	13.94
c / d	9.27	+ 9.22 / 2 = 9.25	24.23
d / e	9.22	+ 9.16 / 2 = 9.19	34.74
e / f	8.82	+ 8.58 / 2 = 8.70	28.19
f / g	8.58	+ 8.58 / 2 = 8.58	7.21
g / h	8.58	+ 8.58 / 2 = 8.58	0.34
h / j	8.58	+ 8.58 / 2 = 8.58	27.89
j / k	8.58	+ 8.58 / 2 = 8.58	2.92
k / l	8.58	+ 8.58 / 2 = 8.58	0.30
l / m	8.58	+ 7.28 / 2 = 7.93	81.52
m / n	8.85	+ 8.85 / 2 = 8.85	76.76
n / a	9.06	+ 9.10 / 2 = 9.08	16.34
Total:			466.63
Perimeter:			52.98
AVG. GRADE =			8.81



PROPOSED GRADE PLAN
NOT TO SCALE

Grade Points	Avg. Of Points	Distance Between	Totals
b / c	7.28	+ 8.58 / 2 = 7.93	11.13
c / d	8.74	+ 8.73 / 2 = 8.74	16.89
d / e	8.73	+ 8.72 / 2 = 8.73	2.97
e / f	8.72	+ 8.72 / 2 = 8.72	0.70
f / g	8.72	+ 8.71 / 2 = 8.72	1.16
g / h	8.71	+ 8.58 / 2 = 8.65	4.63
h / j	8.58	+ 8.57 / 2 = 8.58	3.48
j / k	8.57	+ 8.57 / 2 = 8.57	0.30
k / l	8.57	+ 8.55 / 2 = 8.56	6.16
l / m	8.55	+ 8.54 / 2 = 8.55	0.34
m / n	8.54	+ 8.50 / 2 = 8.52	1.10
n / p	8.50	+ 8.47 / 2 = 8.49	0.07
p / q	8.47	+ 8.43 / 2 = 8.45	2.59
q / r	8.43	+ 8.45 / 2 = 8.44	1.58
r / s	8.45	+ 8.45 / 2 = 8.45	0.47
s / t	8.45	+ 8.45 / 2 = 8.45	0.34
t / u	8.45	+ 8.45 / 2 = 8.45	1.27
u / v	8.45	+ 8.47 / 2 = 8.46	0.34
v / w	8.47	+ 8.47 / 2 = 8.47	3.47
w / x	8.47	+ 8.41 / 2 = 8.44	3.10
x / y	8.41	+ 8.44 / 2 = 8.43	3.12
y / z	8.44	+ 8.46 / 2 = 8.45	1.07
z / aa	8.46	+ 8.45 / 2 = 8.46	0.68
aa / bb	8.44	+ 8.46 / 2 = 8.45	1.07
bb / cc	8.45	+ 8.71 / 2 = 8.58	11.25
cc / a	8.45	+ 8.71 / 2 = 8.58	96.53
Total:			454.75
Perimeter:			54.15
AVG. GRADE =			8.40

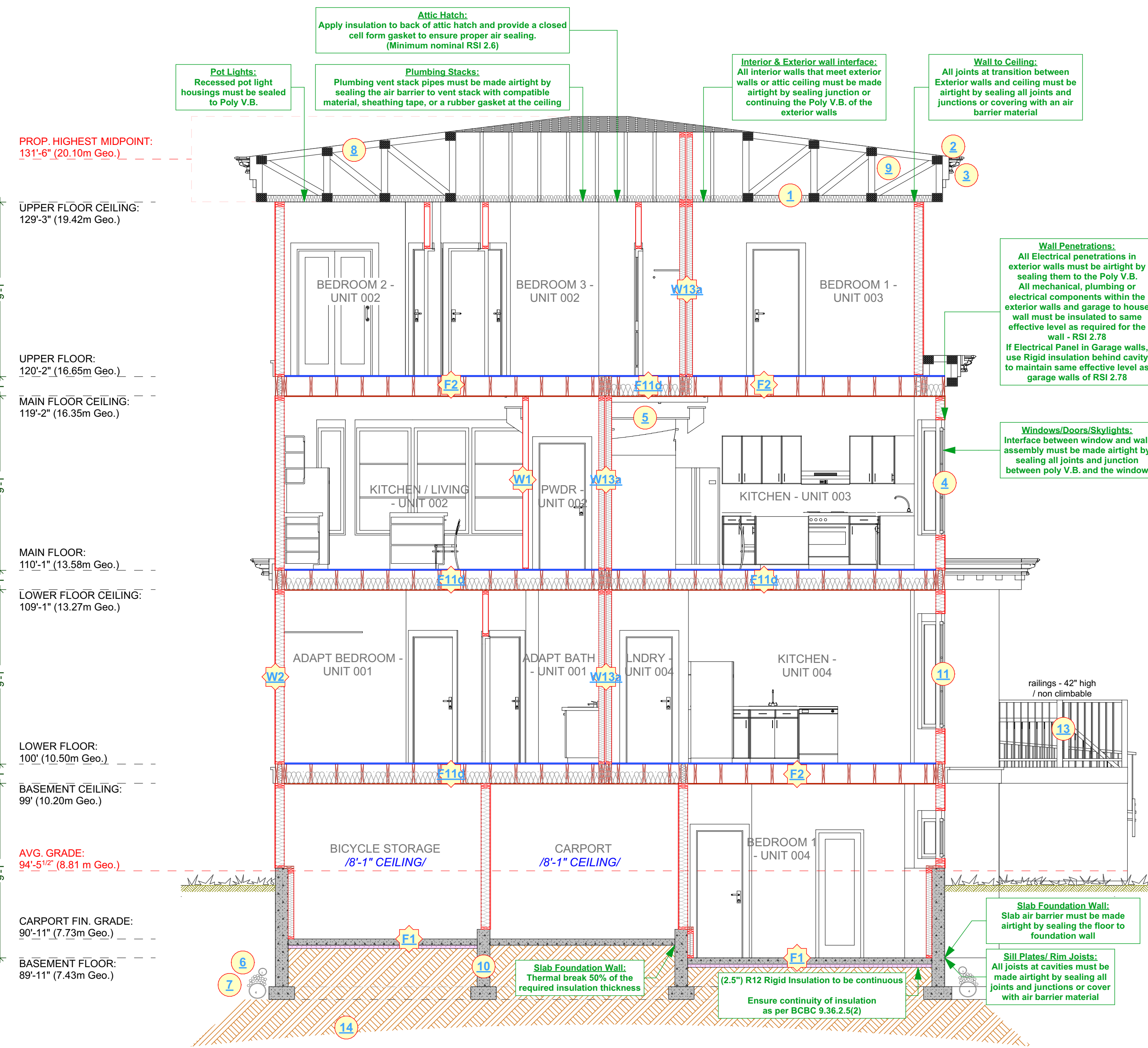
CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**LANDSCAPE PLAN, PLANT LIST AND
GRADE PLANS**
DRAWING SCALE:
SEE DRAWINGS

ISSUE DATE:
AUG 25, 2023
DRAWN BY:
NS
CHECKED BY:
KL

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SHEET NUMBER
A2



CROSS SECTION A

SCALE: 1/4" = 1' - 0"

HEAT SOURCES: HEAT PUMPS WITH HWT ON DEMAND FOR ALL UNITS

CONSTRUCTION NOTES:

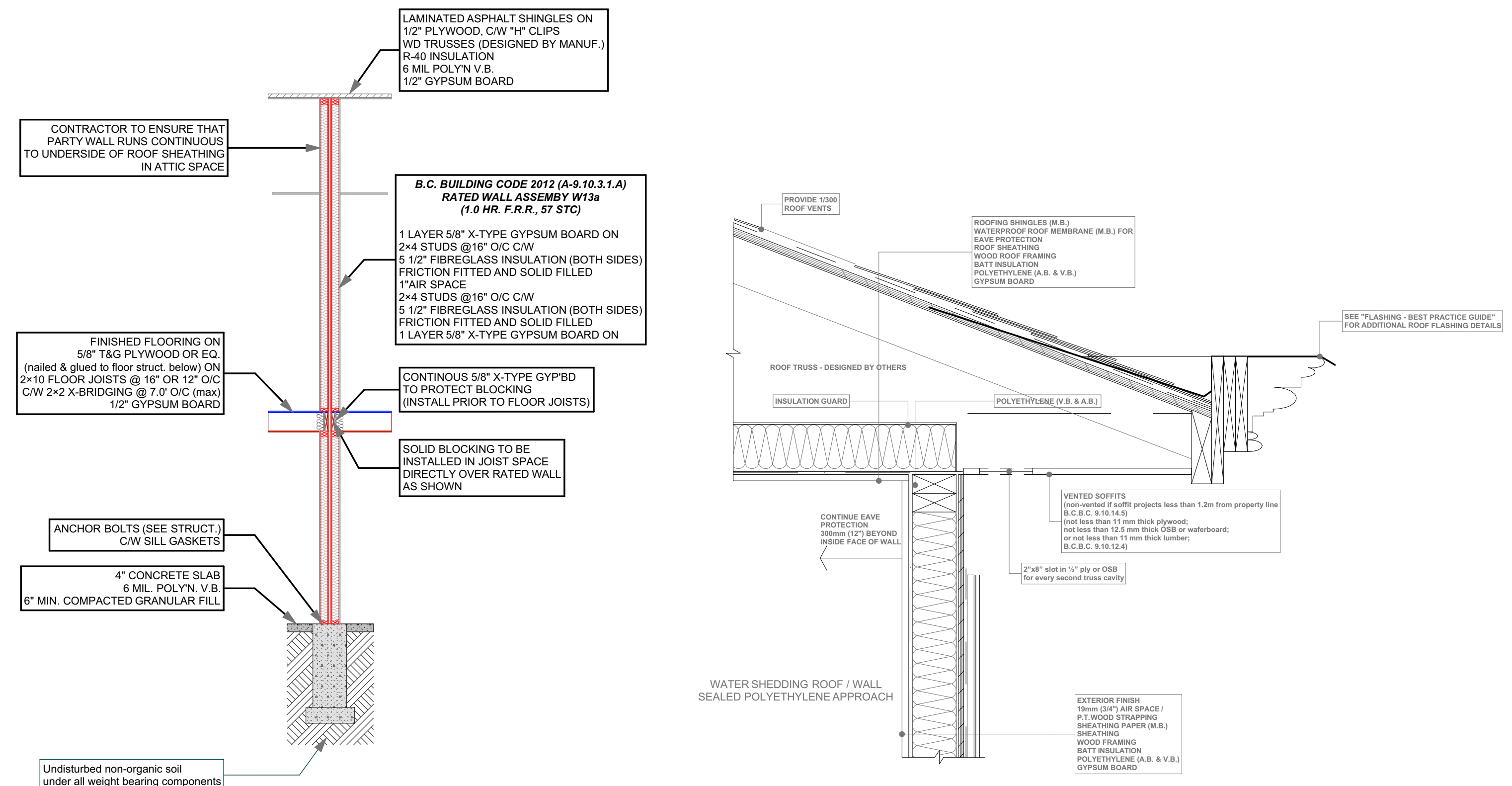
- 1 R40 insulation - 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 6.91
- 2 Continuous gutters
- 3 Aluminum Gutters and Vented Soffits- Roof overhangs as per plans
- 4 All windows vinyl, supply rain pan under, rainscreen as per BCBC Windows in doors to be safety glass
- 5 Stairs: 7 5/8" rise, 10.04" tread, 1" nosing with continuous handrail.
- 6 Provide drains to perimeter system
- 7 4" drantille with 6" rock over
- 8 Provide roof vents: vent 1/300 - See Soffit Detail
- 9 Eave protection to 12" beyond heated wall
- 10 8" concrete wall on 8"x16" conc. fgs. - 2#4 bar cont. typ. R12 rigid insulation - 2 coats dampproofing
- 11 caulk over and around all exterior openings
- 12 10" X 10" post saddle on 8" plaster 2'x2'6" conc. footing. NOT SHOWN
- 13 42" Non climbable Continuous Handrail.
- 14 Undisturbed non-organic soil

CONSTRUCTION ASSEMBLIES:

- E1 4" concrete floor on compacted granular fill, 6 mil poly VB
- E2 2x12 Floor Joist 16" O.C. typ. Nail and Glue 3/4" T&G plywood X bridging @ 6" O.C. typ.
- R1 Low slope asphalt shingles, building paper, 7/16" O.S.B. (or 1/2" plywood), Engineered Trusses designer by supplier @ 24" O.C. typ.
- W1 2x4 framing 16" O.C. typ. 1/2" drywall finish throughout
- W2 Exterior Finish, 3/4" air space, Pressure treated strapping, 2 layers 30 mm building paper, 1/2" sheathing, 2x6 studs at 16" O.C., R-20 Batt insulation, 6 MIL Poly V.B., 1/2" Drywall. (See elevations)
- W13a DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 - two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- W11 DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 - one subfloor layer of 11mm sanded plywood, or OSB or waterboard
 - one subfloor layer of 15.9mm plywood, OSB or waterboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

"*ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS*" MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION - ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST HAVE U-VALUE LESS THEN 1.80 (AS PER TABLE 9.36.2.7.A) -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

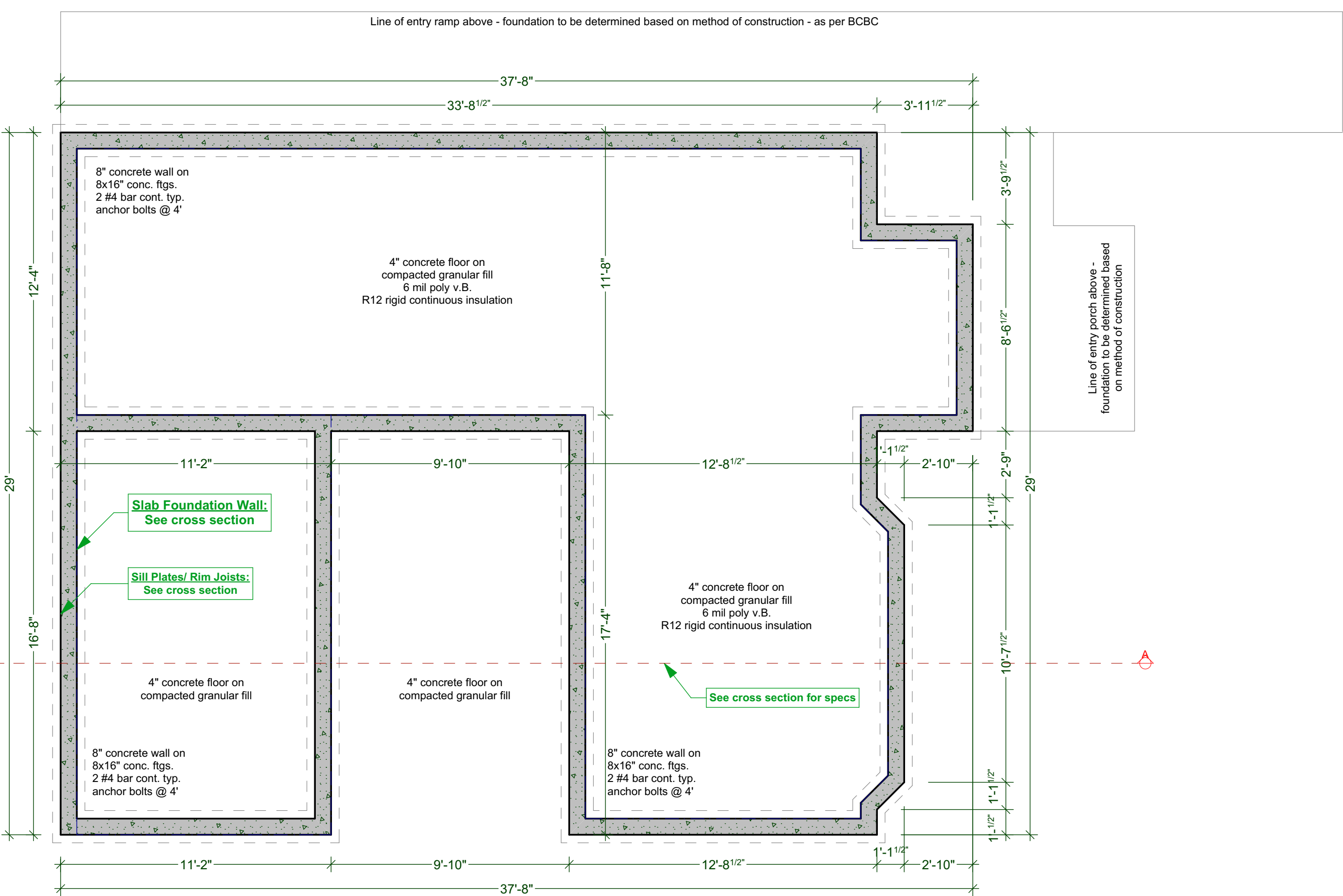


W13a - PARTY WALL DETAIL

SCALE: 1/4" = 1' - 0"

SOFFIT DETAIL

SCALE: 1" = 1' - 0"



A FOUNDATION PLAN (ON SLAB)

SCALE: 1/4" = 1' - 0"

CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

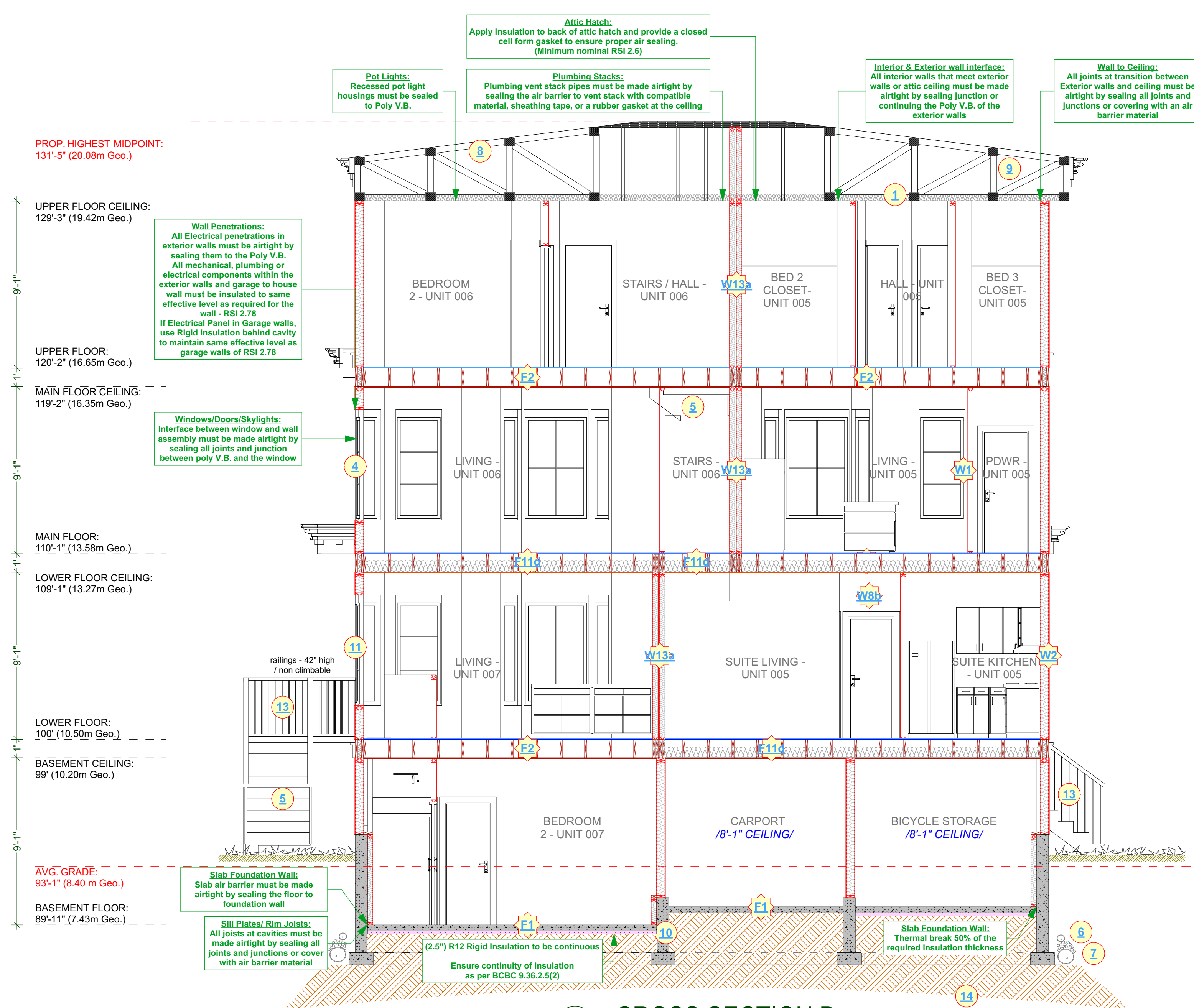
DRAWING NAME: CROSS SECTION - BLOCK A
FOUNDATION PLAN AND SOFFIT
DETAIL
DRAWING SCALE: SEE DRAWINGS

ISSUE DATE: AUG 25, 2023
DRAWN BY: NS
CHECKED BY: KL

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SHEET NUMBER

A3



CROSS SECTION B

SCALE: 1/4" = 1' - 0"
HEAT SOURCES: HEAT PUMPS WITH
HWT ON DEMAND FOR ALL UNITS

CONSTRUCTION NOTES:

- 1 R40 Insulation, 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 6.91
- 2 Continuous gutters
- 3 Aluminum Gutters and Vented Soffits- Roof overhangs as per plans
- 4 All windows vinyl, supply rain pan under, rainscreen as per BCBC Windows in doors to be safety glass
- 5 Stairs: 7 5/8" rise, 10.04" tread, 1" nosing with continuous handrail.
- 6 Provide drains to perimeter system
- 7 4" drain tile with 6" rock over
- 8 Provide roof vents: vent 1/300 - See Soffit Detail
- 9 Eave protection to 12" beyond heated wall
- 10 8" concrete wall on 8"x16" conc. figs - 2#4 bar cont.-R12 rigid insulation - 2 coats dampproofing
- 11 caulk over and around all exterior openings
- 12 10" X 10" post saddle on 8" plaster 2'6x2'6 conc. footing. NOT SHOWN
- 13 42" Non climbable Continuous Handrail.
- 14 Undisturbed non-organic soil

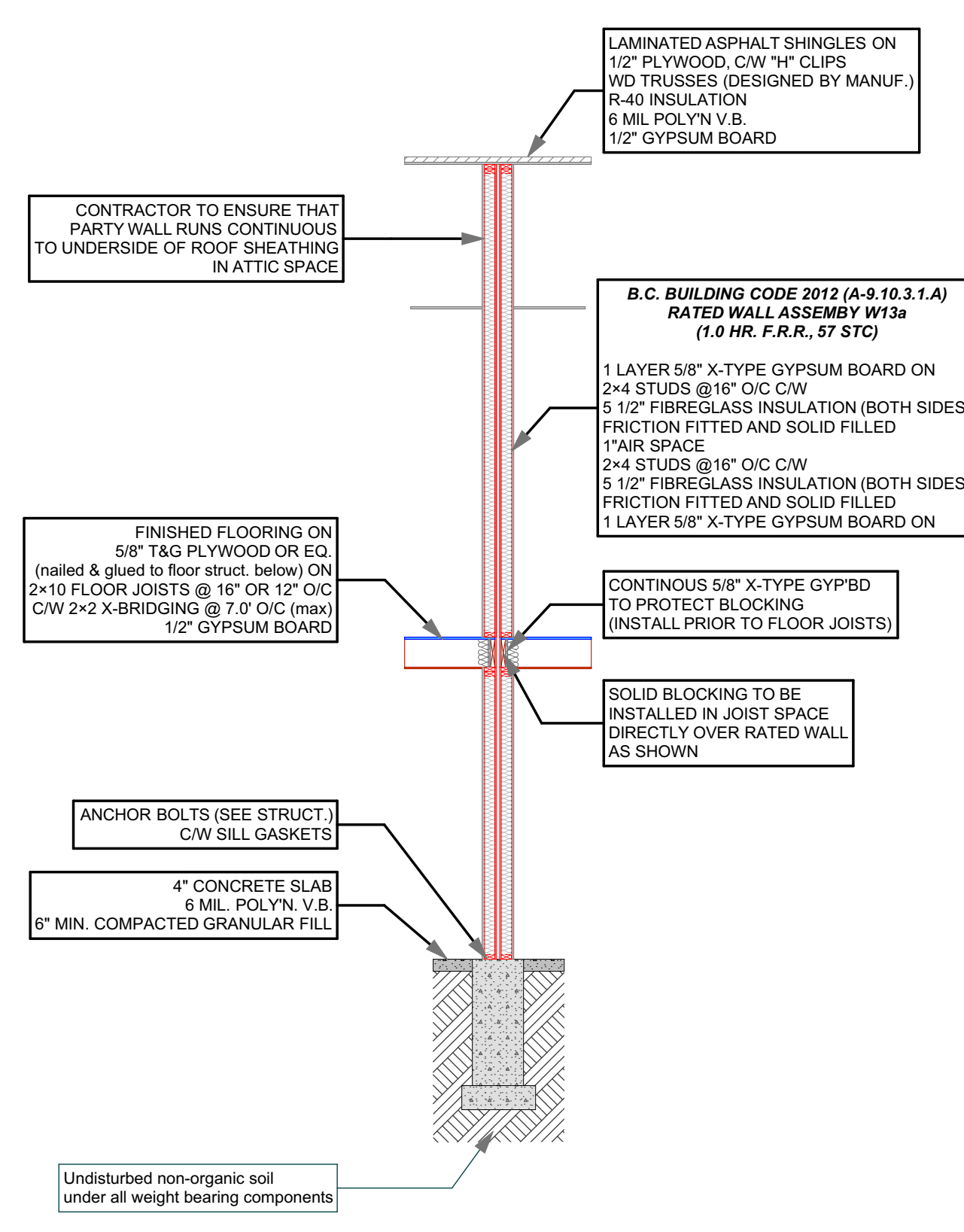
CONSTRUCTION ASSEMBLIES:

- F1 4" concrete floor on compacted granular fill, 6 mil poly V.B.
- E2 2x12 Floor Joist 16" O.C. typ. Nail and Glue 3/4" T&G plywood X bridging @ 6" O.C. typ.
- R1 Low slope asphalt shingles, building paper, 7/16" O.S.B. (or 1/2" plywood), Engineered Trusses designer by supplier @ 24" O.C. typ.
- W1 2x4 framing 16" O.C. typ. 1/2" drywall finish throughout
- W2 Exterior Finish, 3/4" air space, Pressure treated strapping, 2 layers 30 min building paper, 1/2" sheathing, 2x6 studs at 16" O.C., R-20 Batt insulation, 6 MIL Poly V.B., 1/2" Drywall. (See elevations)
- DEMISING WALL: (45min as per W8b - Table A-9.10.3.1.A)
 - 2 layers of 12.7mm Type X gypsum board to one side
 - Two rows 38mm x 89mm studs spaced 600mm O.C. staggered on common 38mm x 140mm plate
 - 89mm thick absorptive material on one side
 - 12.7mm Type X gypsum board on other side
- DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 - two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 - one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.9mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board
- DEMISING FLOOR: (30min as per F8d - Table A-9.10.3.1.B)
 - SUBFLOOR OF 15.9mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER
 - WOOD JOISTS OR WOOD JOISTS SPACED max of 600mm O.C.
 - ABSORPTIVE MATERIAL IN CAVITY
 - RESILIENT METAL CHANNELS SPACED 600mm
 - 15.9mm TYPE "X" GYPSUM BOARD

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS... IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

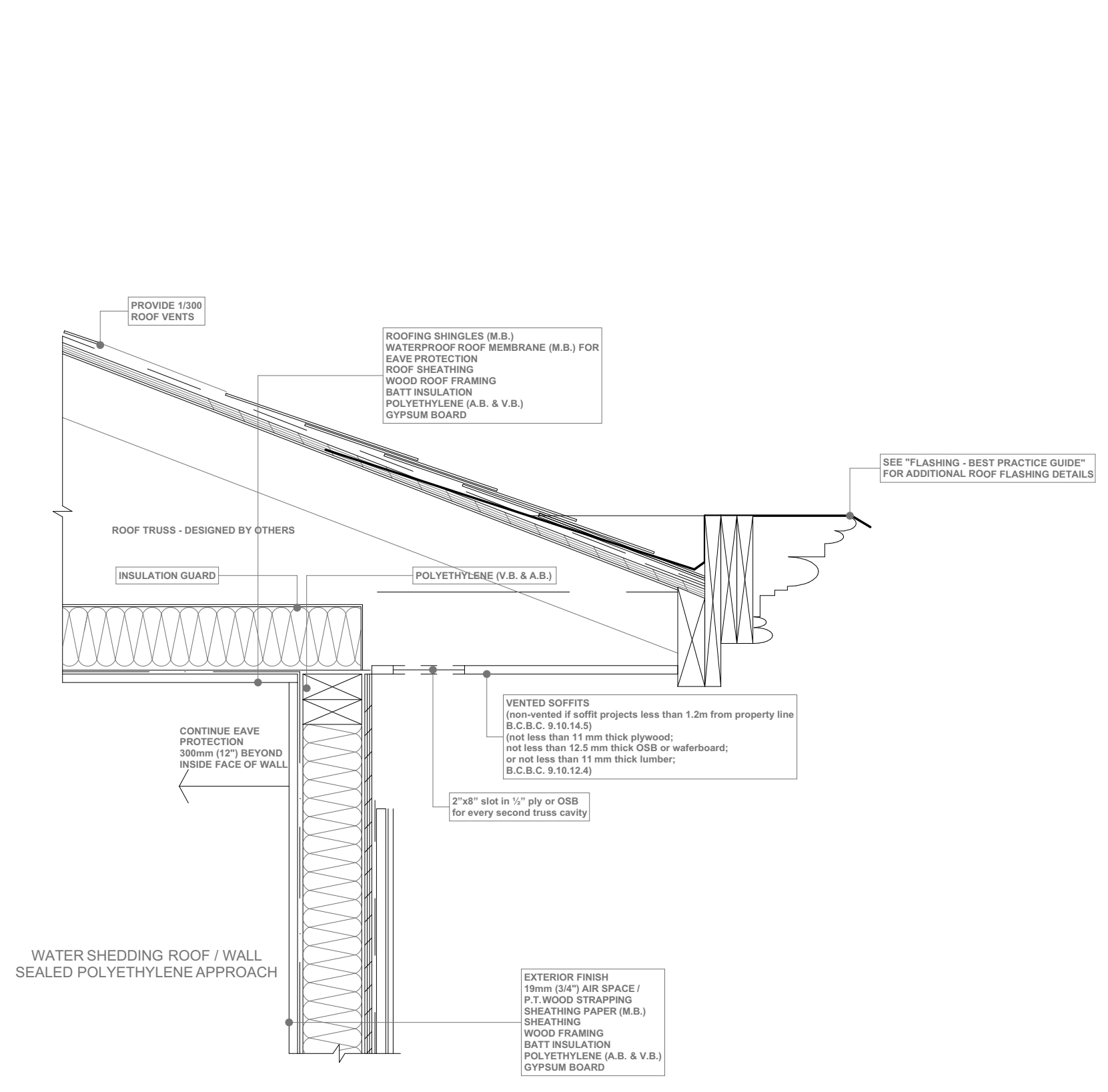
ADD INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARM CONFORMING TO ARTICLE 9.37.2.19. SECONDARY DWELLING UNIT TO BE SEPARATED FROM PRIMARY DWELLING UNIT BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 30 min, AS PER 9.37.2.15.(b)

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION. -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6. ALL OTHERS MUST HAVE U-VALUE LESS THEN 1.80 (AS PER TABLE 9.36.2.A) -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1



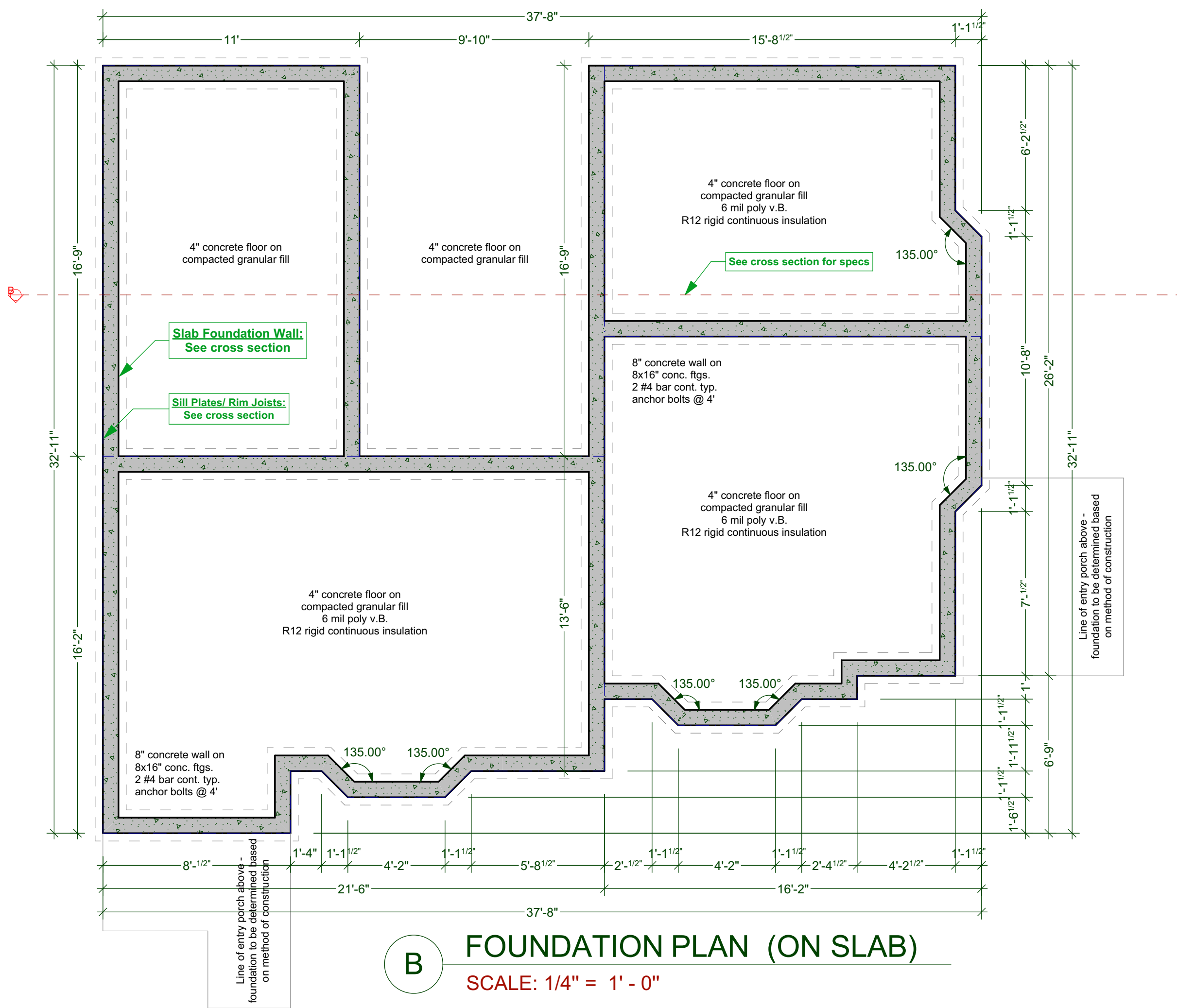
W13a - PARTY WALL DETAIL

SCALE: 1/4" = 1' - 0"



SOFFIT DETAIL

SCALE: 1" = 1' - 0"



B FOUNDATION PLAN (ON SLAB)

SCALE: 1/4" = 1' - 0"

CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

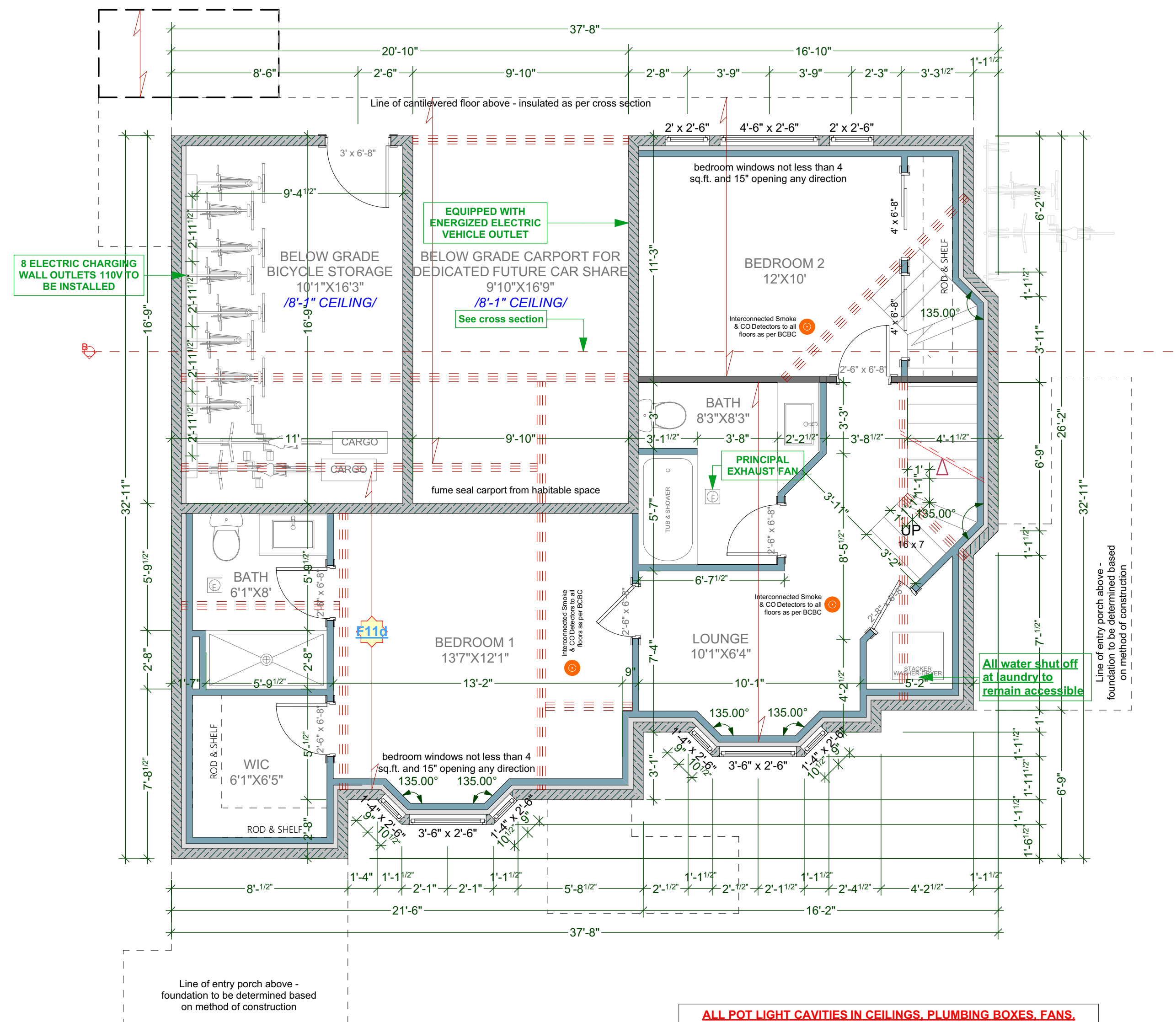
DRAWING NAME: CROSS SECTION - BLOCKA
FOUNDATION PLAN AND SOFFIT
DETAIL
DRAWING SCALE: SEE DRAWINGS

ISSUE DATE: AUG 25, 2023
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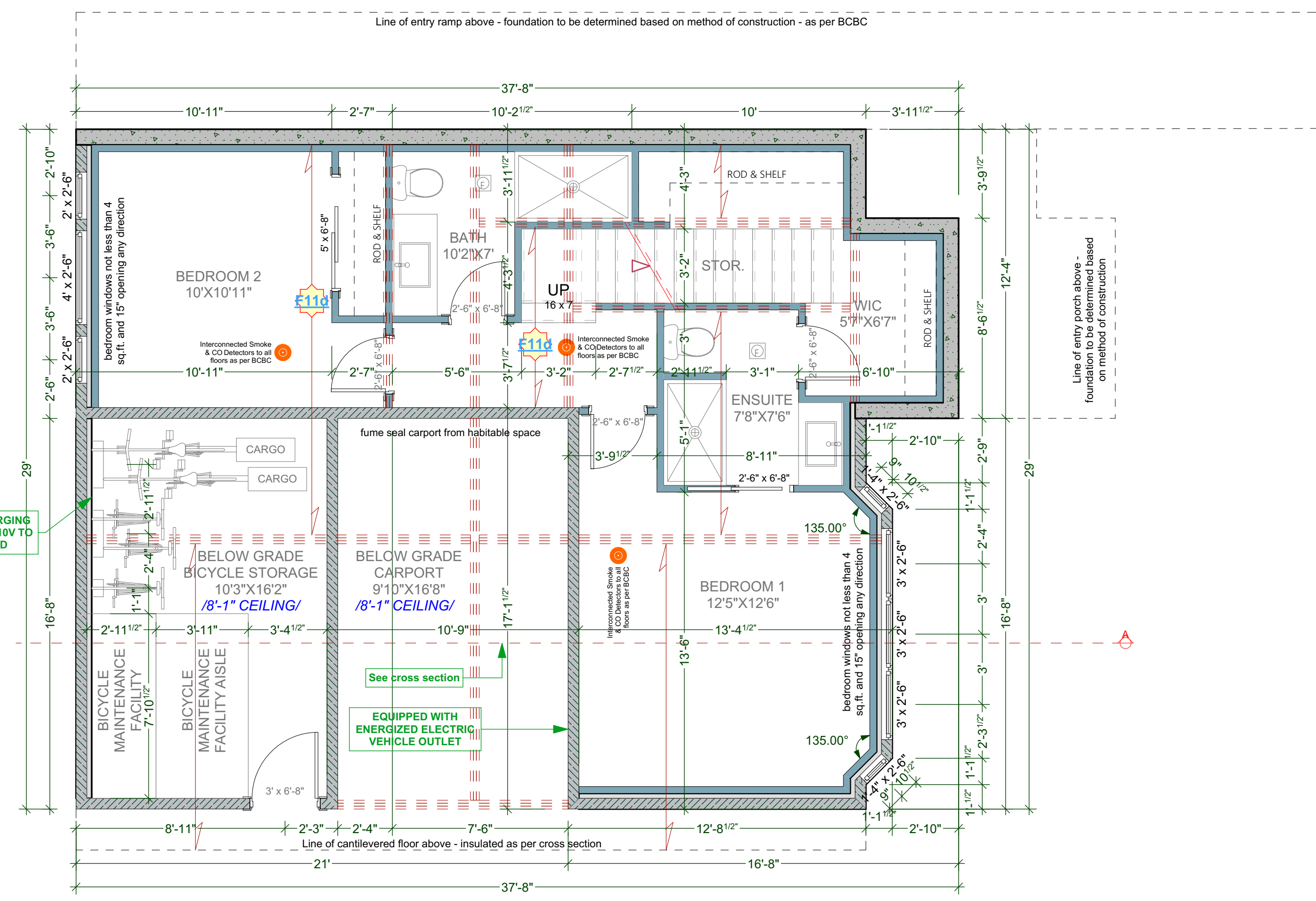


B BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1' - 0"
 UNIT 007 AREA: 667.54 Sq Ft
 BICYCLE AREA: 164.27 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

W13a DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

F11d DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board



A BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1' - 0"
 UNIT 004 AREA: 594.64 Sq Ft
 BICYCLE AREA: 166.14 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

W13a DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
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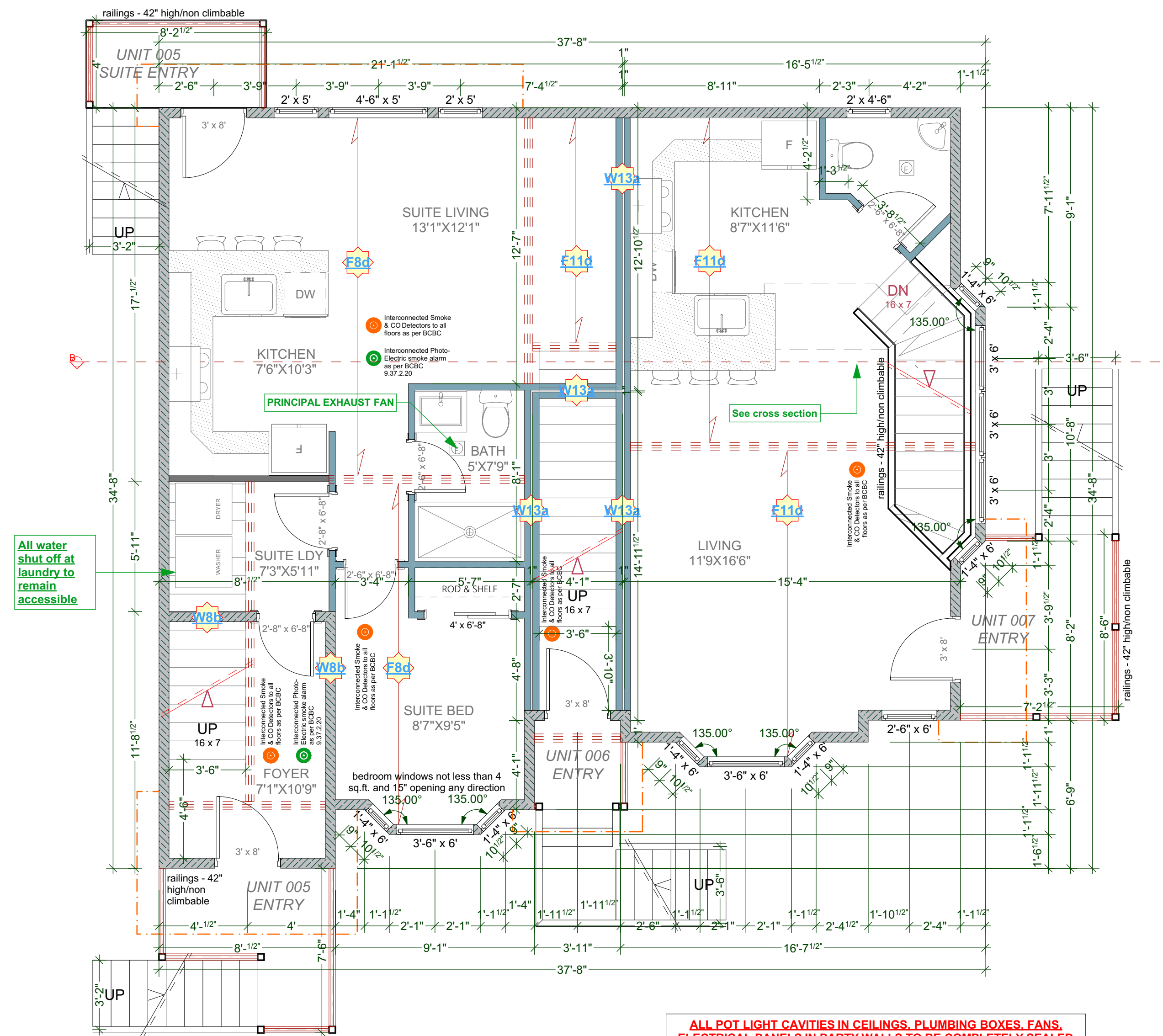
F11d DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
 ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
 VICTORIA**

DRAWING NAME:
**PROPOSED
 BASEMENT FLOOR PLANS**
 DRAWING SCALE:
1/4"=1'-0"

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B LOWER FLOOR PLAN

SCALE: 1/4" = 1' - 0"

UNIT 005 SUITE AREA: 503.83 Sq Ft
 UNIT 005 AREA: 84.02 Sq Ft
 UNIT 006 AREA: 59.32 Sq Ft
 UNIT 007 AREA: 430.37 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

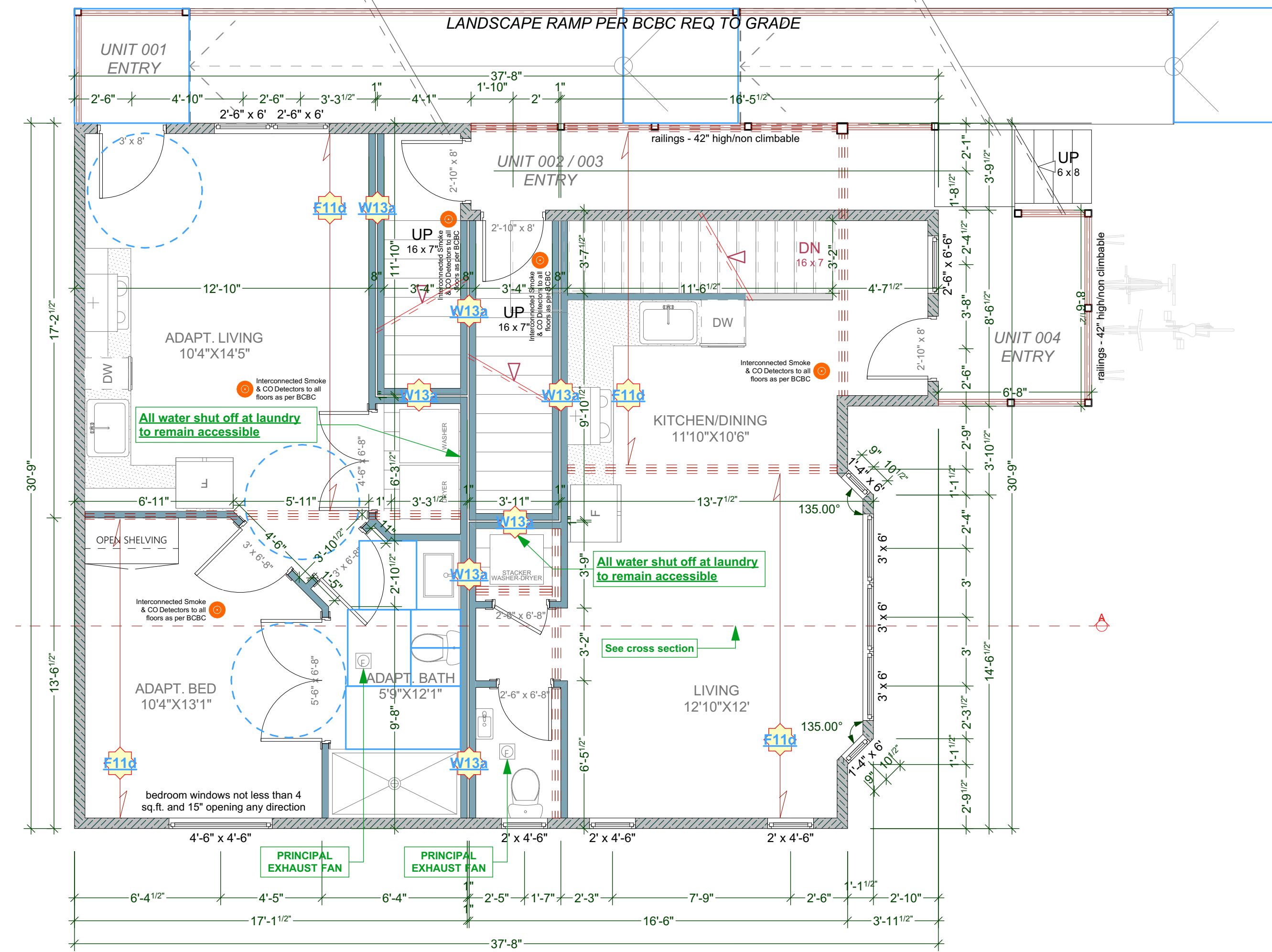
DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS.....IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING FLOOR: (30min as per F8d - Table A-9.10.3.1.B)
 • SUBFLOOR OF 15.5mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER
 • WOOD JOISTS OR WOOD I-JOISTS SPACED max of 600mm O.C.
 • ABSORPTIVE MATERIAL IN CAVITY
 • RESILIENT METAL CHANNELS SPACED 600mm
 • 15.9mm TYPE 'X' GYPSUM BOARD

DEMISING WALL: (45min as per W8b - Table A-9.10.3.1.A)
 • 2 layers of 12.7mm Type X gypsum board to one side
 • Two rows 38mm x 89mm studs spaced 600mm O.C. staggered on common 38mm x 140mm plate
 • 89mm thick absorptive material on one side
 • 12.7mm Type X gypsum board on other side



A LOWER FLOOR PLAN

SCALE: 1/4" = 1' - 0"

UNIT 001 AREA: 451.24 Sq Ft
 UNIT 002 AREA: 43.52 Sq Ft
 UNIT 003 AREA: 51.14 Sq Ft
 UNIT 004 AREA: 408.22 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
 ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
 VICTORIA**

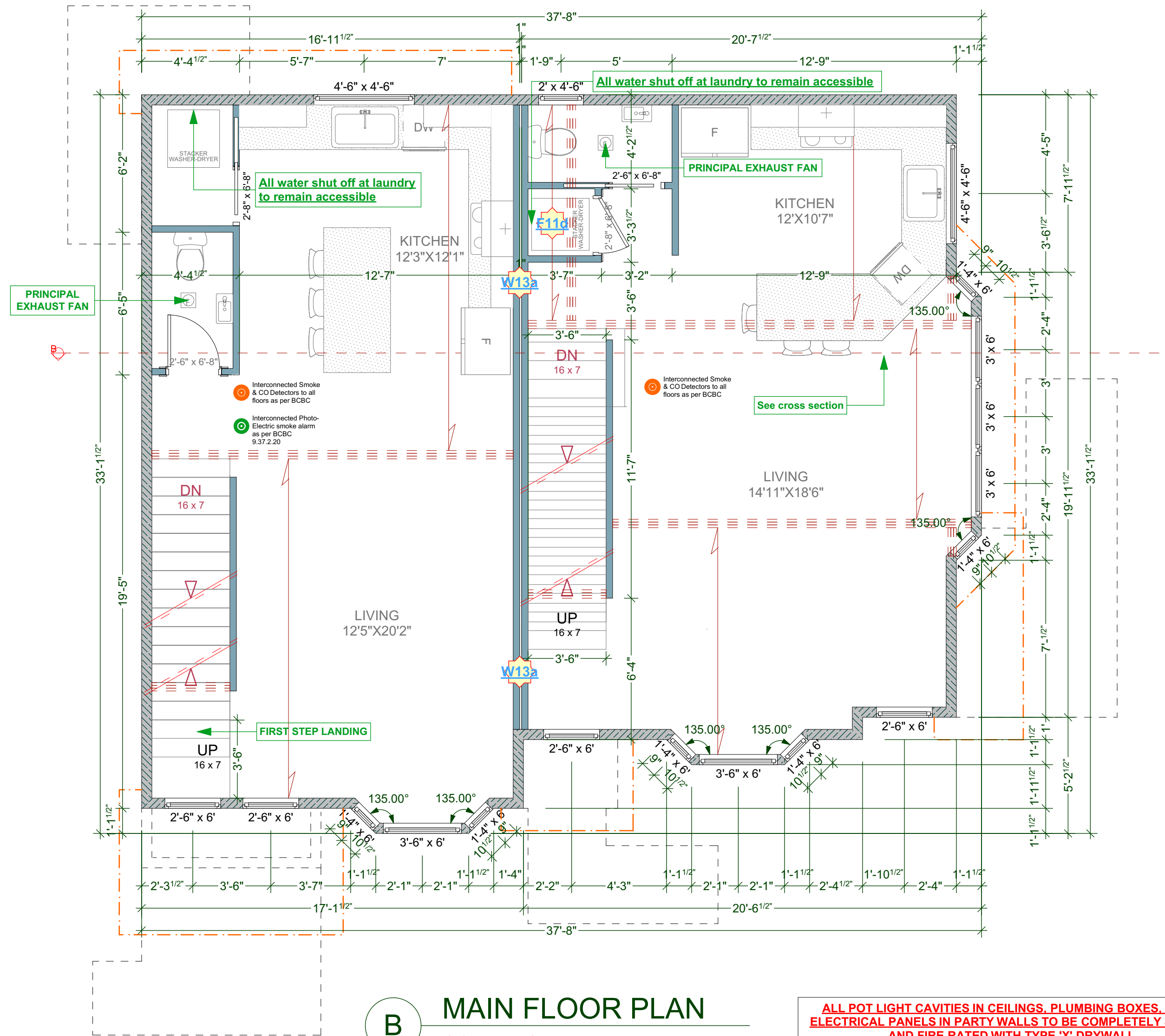
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**PROPOSED LOWER FLOOR
 PLANS**
 DRAWING SCALE:
1/4"=1'-0"

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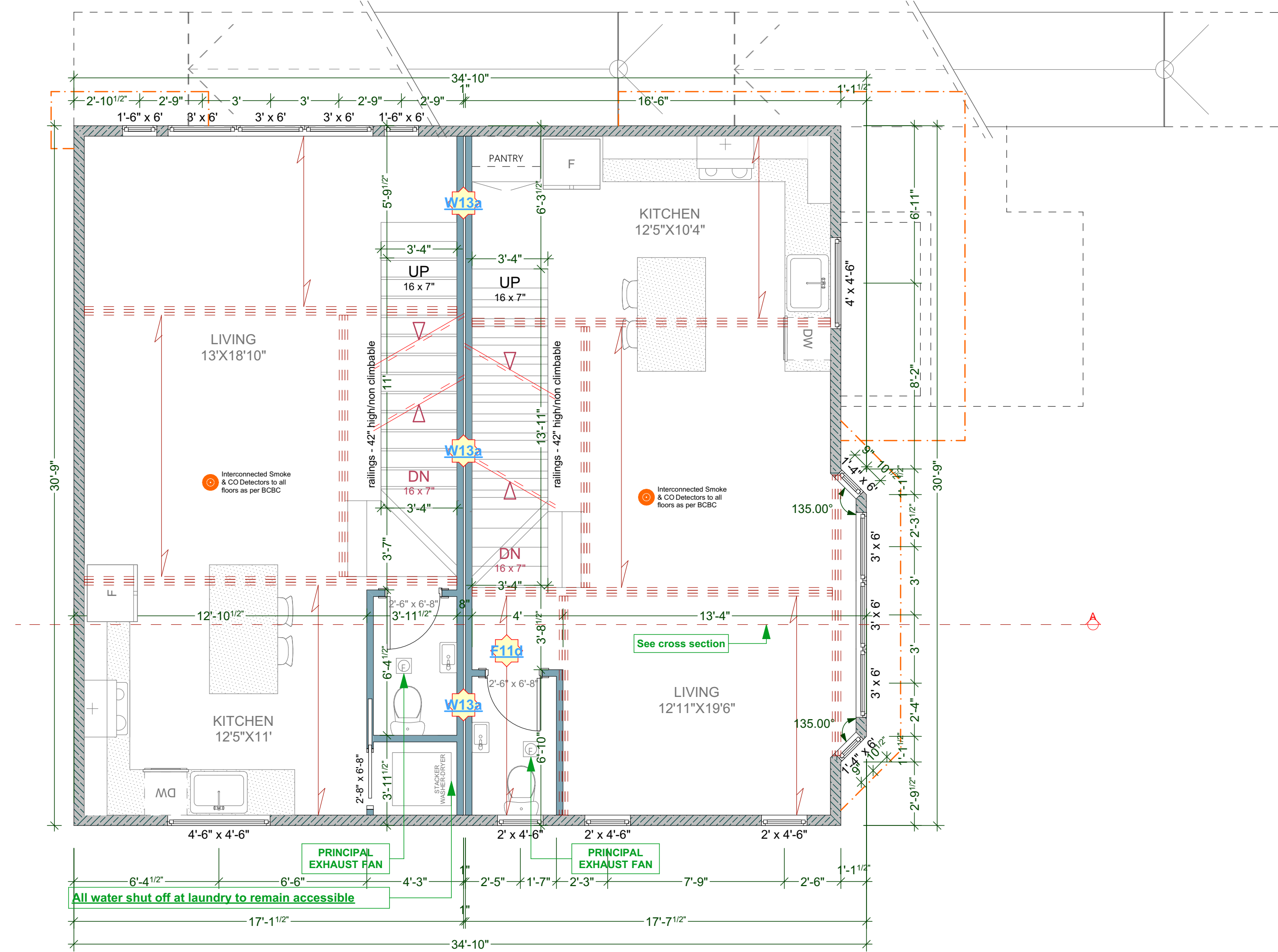


B MAIN FLOOR PLAN
 SCALE: 1/4" = 1' - 0"
 UNIT 005 AREA: 517.42 Sq Ft
 UNIT 006 AREA: 547.39 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

W13a **DEMISING WALL:** (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
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F11d **DEMISING FLOOR:** (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board



A MAIN FLOOR PLAN
 SCALE: 1/4" = 1' - 0"
 UNIT 002 AREA: 497.16 Sq Ft
 UNIT 003 AREA: 491.44 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

W13a **DEMISING WALL:** (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
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 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
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 • on wood joists or wood joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
 ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
 VICTORIA**

DRAWING NAME:
**PROPOSED
 MAIN FLOOR PLANS**
 DRAWING SCALE:
1/4"=1'-0"

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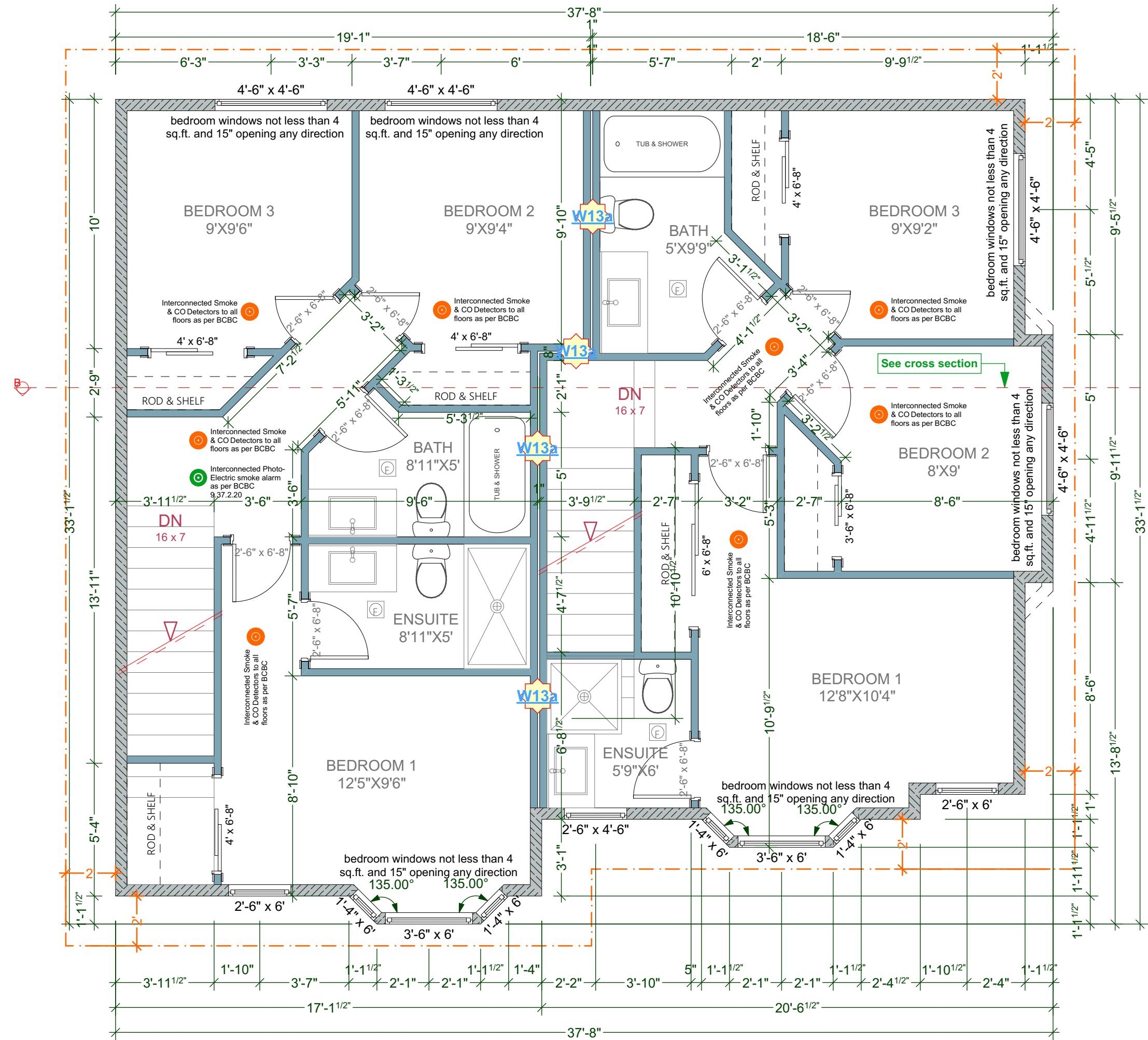
DRAWING NAME:
**PROPOSED
 UPPER FLOOR PLANS**
 DRAWING SCALE:
1/4"=1'-0"

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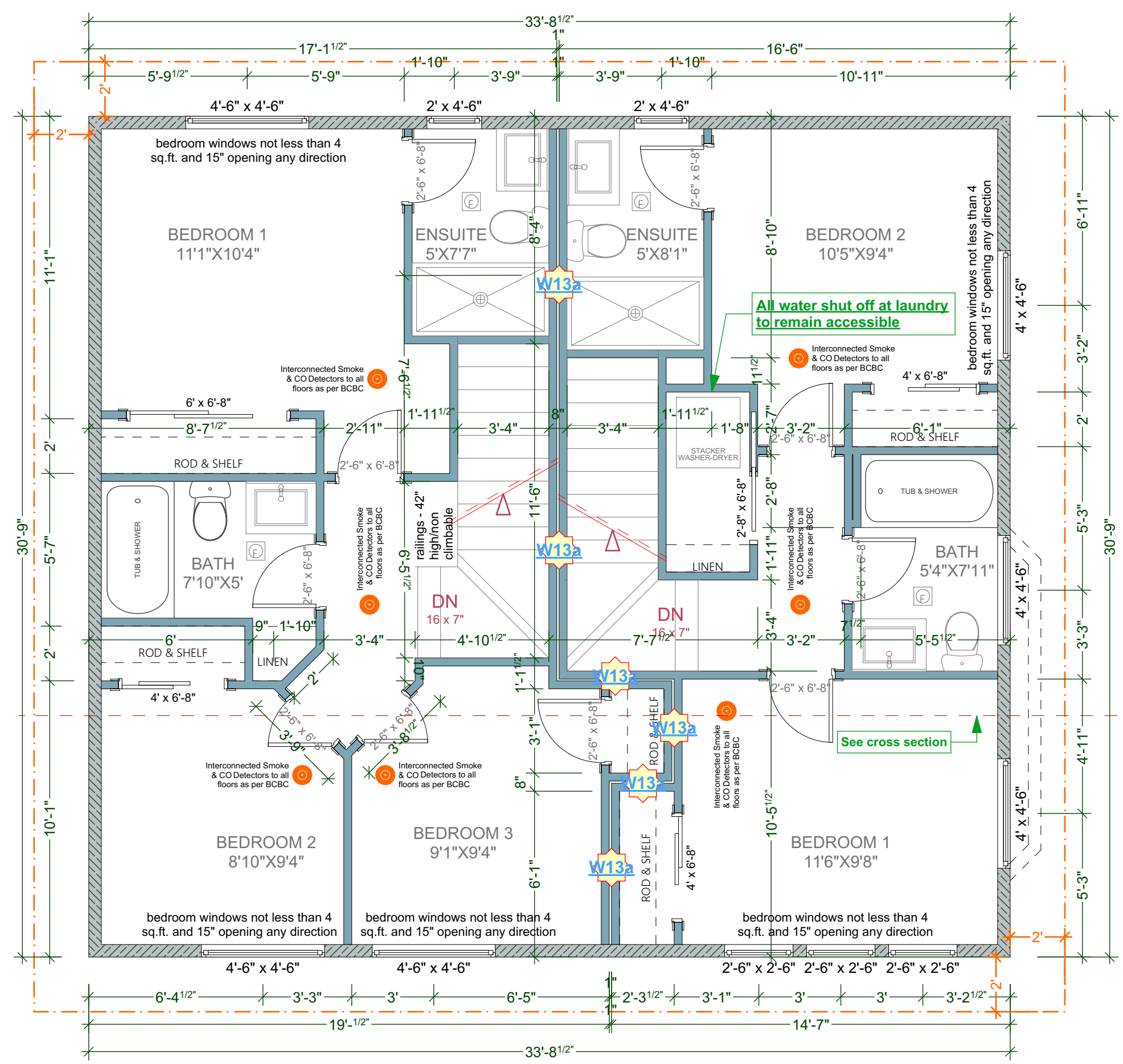


B UPPER FLOOR PLAN
 SCALE: 1/4" = 1' - 0"
 UNIT 005 AREA: 537.99 Sq Ft
 UNIT 006 AREA: 523.99 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

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 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board



A UPPER FLOOR PLAN
 SCALE: 1/4" = 1' - 0"
 UNIT 002 AREA: 524.06 Sq Ft
 UNIT 003 AREA: 451.28 Sq Ft

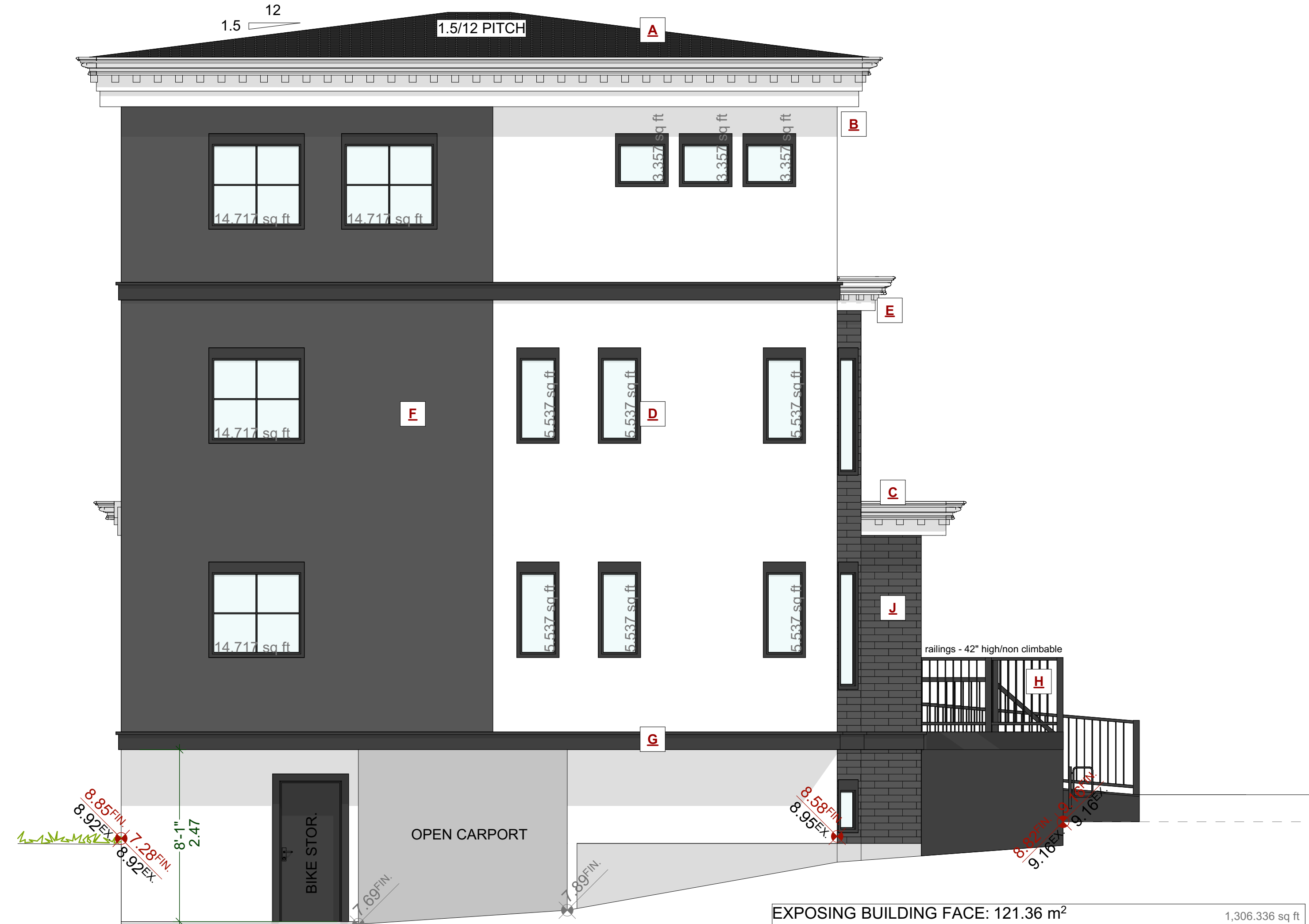
ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

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 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board



B PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"
HOLLYWOOD CRES.



A PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"

EXPOSING BUILDING FACE: 121.36 m² 1,306.336 sq ft
 LIMITING DISTANCE: 3.00 m
 AREA OF GLAZED OPENINGS: 9.49 m²
 % GLAZED OPENINGS: 7.82 %
 45 min FIRE-RESISTANCE RATING: not required
 TYPE OF CLADDING: no limits
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00 %
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 9.71 m²

EXTERIOR FINISHES SCHEDULE				
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS:	ALUMINIUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
 -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
 ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
 VICTORIA**

DRAWING NAME:
PROPOSED SOUTH ELEVATIONS
 DRAWING SCALE:
1/4"=1'-0"

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1726 HOLLYWOOD CRES
SCALE: 1/4" = 1' - 0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"
HOLLYWOOD CRES.

EXTERIOR FINISHES SCHEDULE				
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANIF SPECS	E WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS	G BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED CW FLASHING. COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS:	ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/ ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

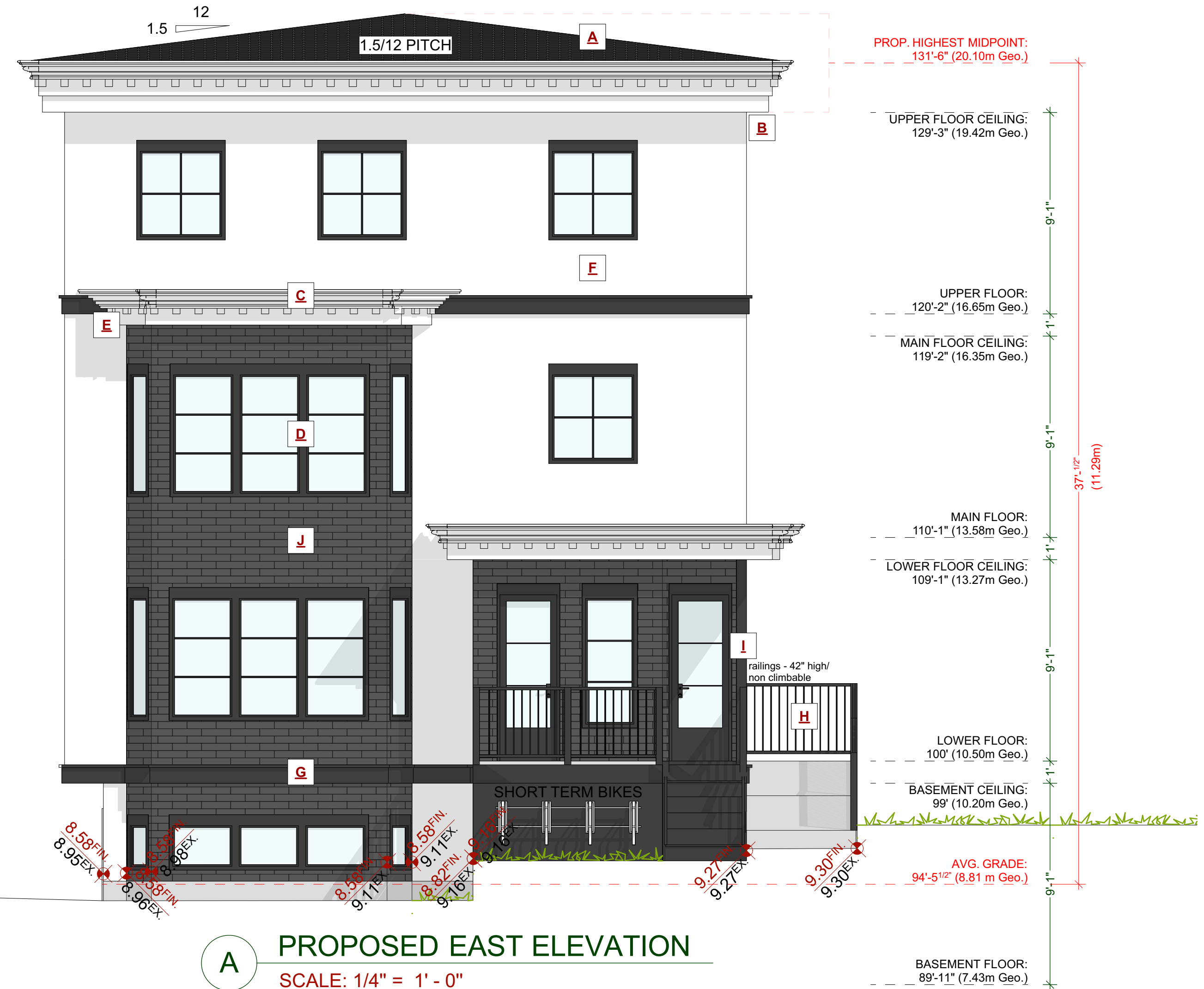
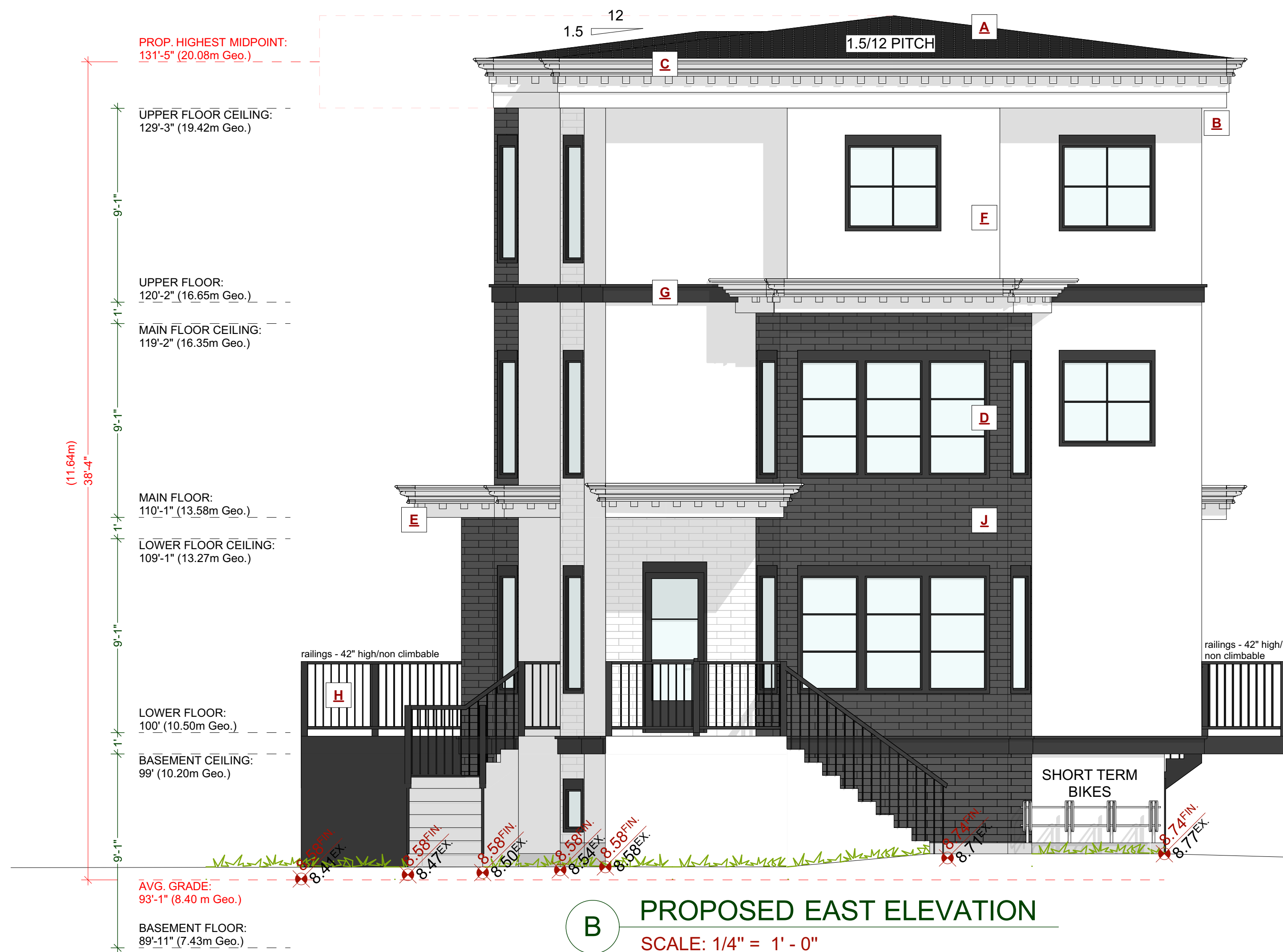
CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**PROPOSED HOLLYWOOD
CRES STREETSCAPE**
DRAWING SCALE:
1/4"=1'-0"

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ROBERTSON STREET

EXTERIOR FINISHES SCHEDULE				
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD, ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS:	ALUMINIUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

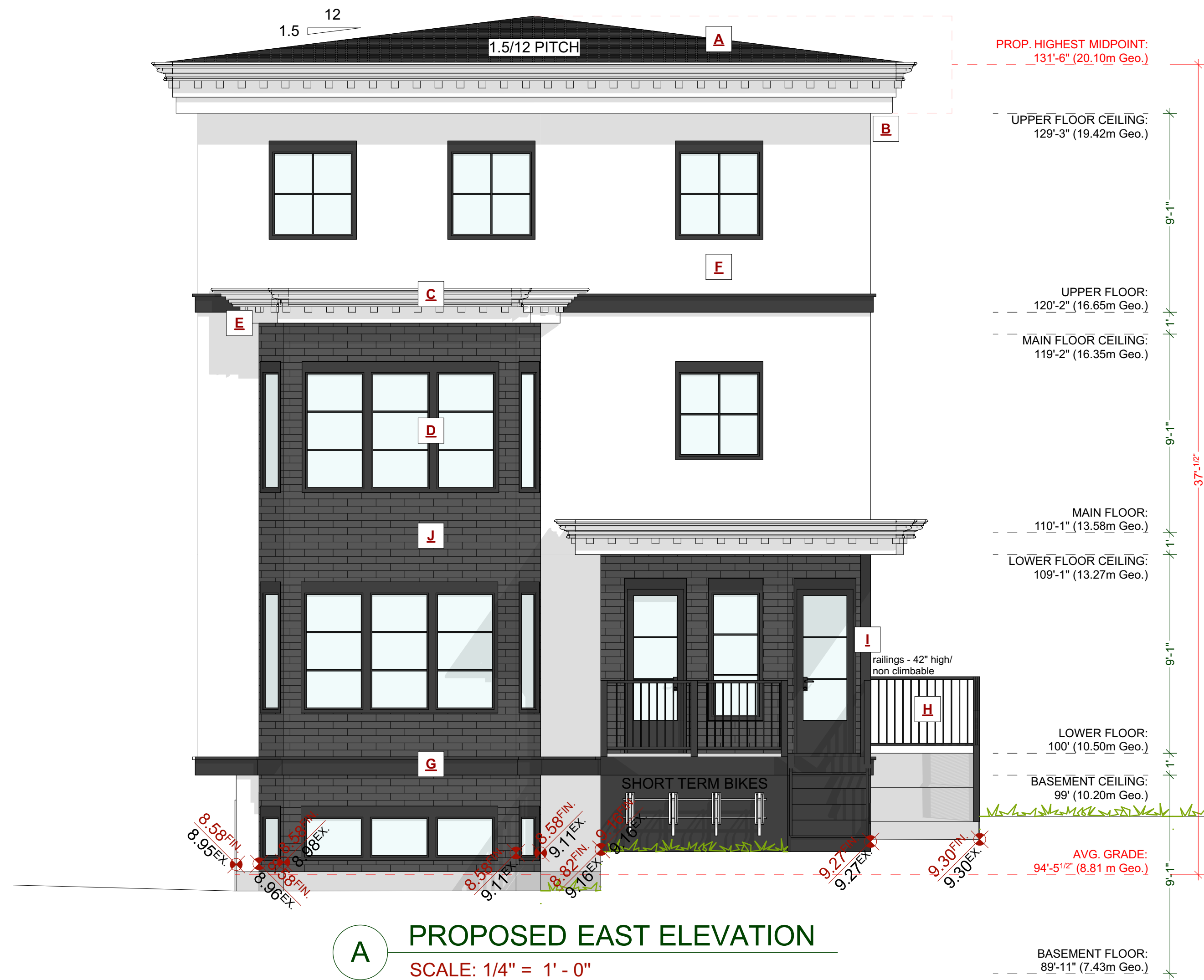
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**PROPOSED REAR AND
RIGHT ELEVATIONS**
DRAWING SCALE:
1/4"=1'-0"

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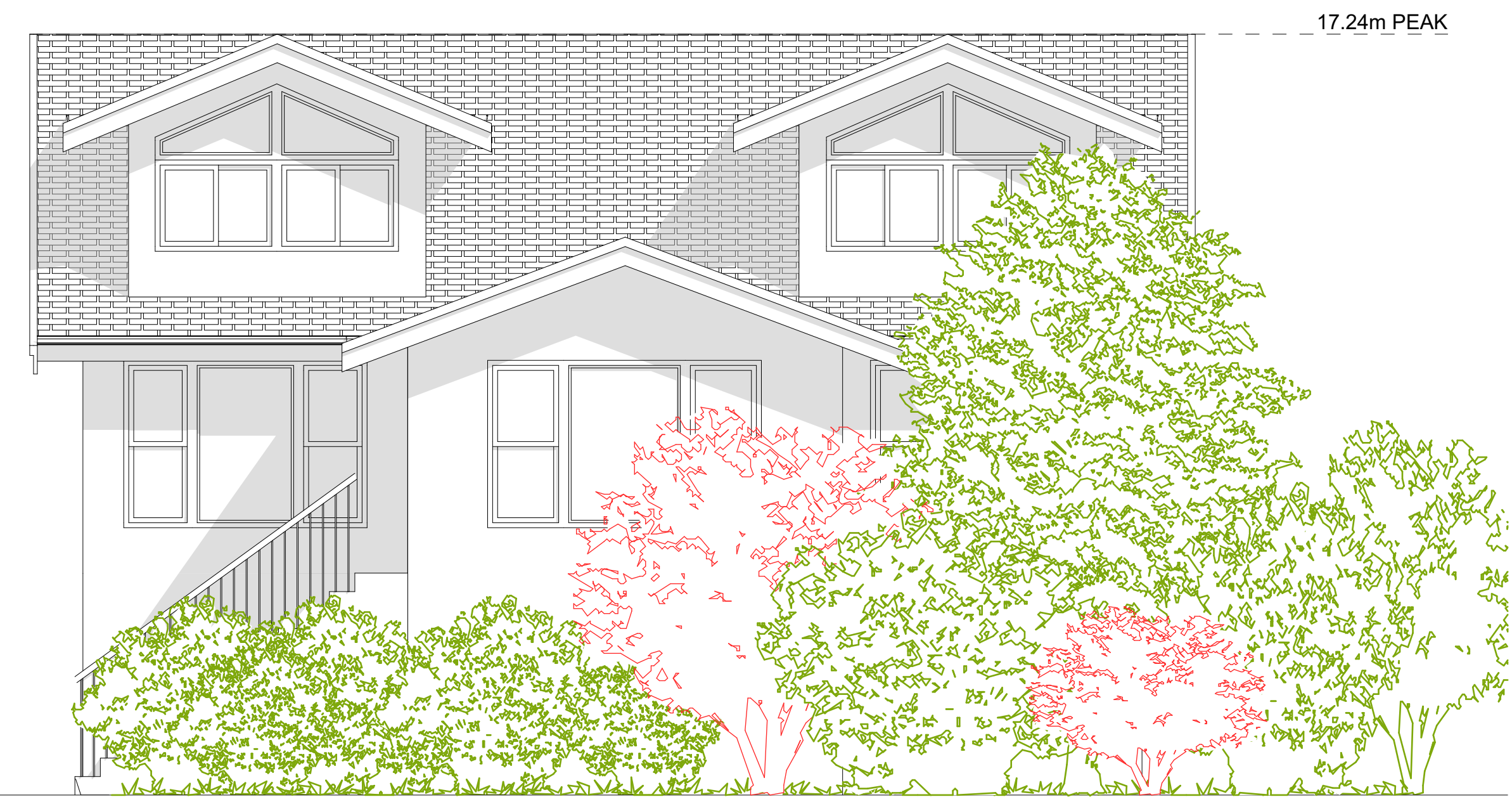
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A PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1' - 0"
 ROBERTSON STREET



110 ROBERTSON STREET
 SCALE: 1/4" = 1' - 0"

EXTERIOR FINISHES SCHEDULE				
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS.	G BELLY BAND:	2x10 BELLY BAND W/ 2x2 DETAILS PAINTED CW FLASHING. COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS:	ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3x4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
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 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
 ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
 VICTORIA**

DRAWING NAME:
**PROPOSED ROBERTSON
 STREET STREETSCAPE**
 DRAWING SCALE:
1/4"=1'-0"

ISSUE DATE:
AUG 25, 2023
 DRAWN BY:
NS
 CHECKED BY:
KL

JAVA DESIGNS
 WHERE LINES ON PAPER BECOME WALLS ON SITE
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SHEET NUMBER
A12



A PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

EXPOSING BUILDING FACE: 101.43 m²
 LIMITING DISTANCE: 6.00 m
 AREA OF GLAZED OPENINGS: 11.11 m²
 % GLAZED OPENINGS: 10.95 %
 45 min FIRE-RESISTANCE RATING: not required
 TYPE OF CLADDING: no limits
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 35.49 %
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 36.00 m²



B PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

EXPOSING BUILDING FACE: 132.21 m²
 LIMITING DISTANCE: 2.85 m
 AREA OF GLAZED OPENINGS: 10.09 m²
 % GLAZED OPENINGS: 7.63 %
 45 min FIRE-RESISTANCE RATING: not required
 TYPE OF CLADDING: no limits
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00 %
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 10.58 m²

EXTERIOR FINISHES SCHEDULE				
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS	G BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS:	ALUMINIUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS WITH ROOF MOULDING AND TRIM - PAINTED / STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
 -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

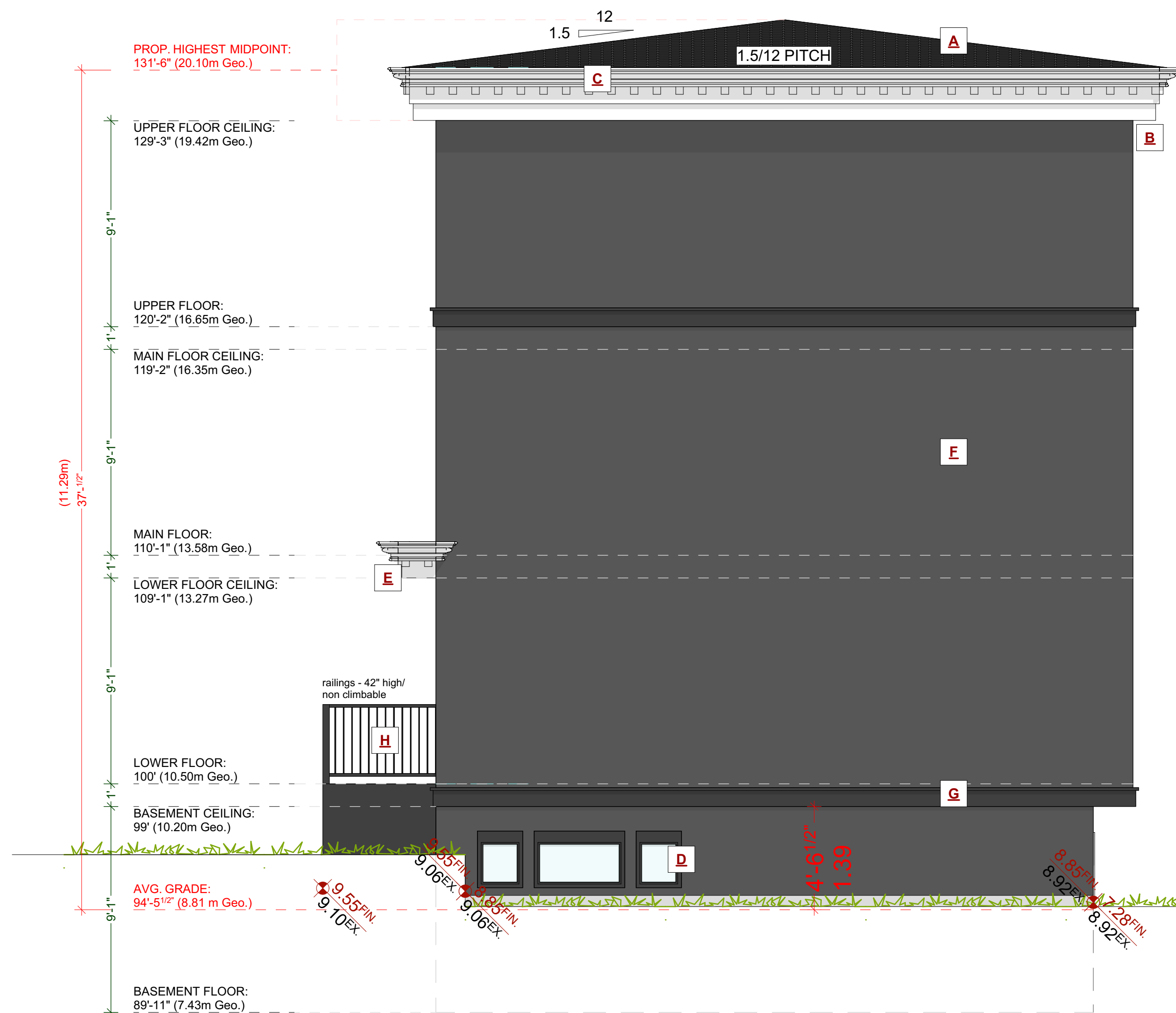
CUSTOMER: AMIT AND KARISHMA SETHI
 ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

DRAWING NAME: PROPOSED WEST ELEVATIONS - BLOCK A AND B
 DRAWING SCALE: 1/4"=1'-0"

ISSUE DATE: AUG 25, 2023
 DRAWN BY: NS
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A PROPOSED WEST ELEVATION
SCALE: 1/4" = 1' - 0"



B PROPOSED WEST ELEVATION
SCALE: 1/4" = 1' - 0"

EXTERIOR FINISHES SCHEDULE			
A ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
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