

Clarity Cannabis BC Ltd.
 Victoria, BC, 1400 Quadra Street





Proposed Location

Drawing Index

- A000 Title Sheet
- A001 Legends & Schedules
- A002 Site Plan
- A101 Main Floor Plan

Original Submission
 Received Date:
 May 5, 2020

	<p>Original Submission Received Date: May 5, 2020</p>									
	<p><small>THIS PLAN IS PREPARED AND SUBMITTED FOR THE CITY OF VICTORIA BY THE UNDERSIGNED ENGINEER AND IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER.</small></p>									
ENGINEER	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="3">Revision Schedule</th> </tr> <tr> <th style="width: 15%;">Revision Date</th> <th style="width: 15%;">Revision Number</th> <th style="width: 70%;">Revision Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Revision Schedule			Revision Date	Revision Number	Revision Description			
Revision Schedule										
Revision Date	Revision Number	Revision Description								
PROJECT	<p>Victoria, BC (1400 Quadra Street)</p>									
CLIENT	<p>Clarity Cannabis BC Ltd.</p>									
DRAWING	<p>Title Sheet</p>									
SCALE:	<p>DATE: 11/09/2018</p>									
DRAWN:	<p>FILE: C2018-0226</p>									
CHECKED:	<p>DRAWN: EER</p>									
DWG No	<p>CHECKED: PR</p>									
	<p>A000</p>									

Issued for Rezoning
 April 20, 2020

Symbol Legend

101 Door Tag

1 A101 Section Callout

W1 Wall Tag

Name Elevation Level Indicator

1 A101 Detail Callout

Room name Room Tag & Number

1 / A101 View Reference

? Keynote Tag

1 A101 Exterior Elevation Tag

1 A101 Interior Elevation Tag

CW-1 Curtain Wall Tag

BL-1 Borrowed Light Tag

W1 Window Tag

SF-1 Storefront Tag

GB-1 Glass Block Tag

Section/Detail Number

Sheet Number

Elevation Number

Sheet Number

View Number

View Name

Referencing Sheet Number

Ceiling Legend

2'x4' Suspended Ceiling

2'x2' Suspended Ceiling

Gypsum Board Ceiling

2'x4' Recessed Light Fixture

1'x4' Recessed Light Fixture

2'x2' Recessed Light Fixture

1'x4/2'x4' Surface Mount Light Fixture

Supply Air Diffuser

Return Air Grill

Supply Air Diffuser

Ceiling Fan

Return Air Grill

Supply Air Grill

Recessed Light

Large Pendant Light

Pendant Light

Chandelier Light

ELECTRICAL LEGEND

Ø	DUPLEX RECEPTACLE
Ø	SPLIT RECEPTACLE
Ø	RECEPTACLE - COUNTER HEIGHT 42" A.F.F.
Ø 240V	220V DUPLEX RECEPTACLE
Ø GFI	GROUND FAULT INTERRUPTER
Ø WPR-GFI	WEATHER PROOF RECEPTACLE w/ GFI
⌚	SINGLE POLE SWITCH
⌚ 3	THREE WAY SWITCH
⌚ D	DIMMER SWITCH
⌚ OS	OCCUPANCY SENSOR SWITCH
⌚	INCADESCENT FIXTURE - CEILING MOUNT
⌚	INCADESCENT FIXTURE - WALL MOUNT
⌚	EXIT LIGHT
P.E.C.	PHOTO ELECTRIC CELL - CONFIRM MOUNTING LOCATION
⌚	REMOTE MTD. EM. HEAD
⌚	BATTERY PACK c/w INTEGRAL HEADS
⌚	BLUE DATA & WHITE DATA
⌚	BLUE DATA OUTLET
⌚	FLOOD LIGHT
⌚	SMOKE DETECTOR
N.L.	NIGHT LIGHT
⌚	THERMOSTAT (REFER TO MECH. DRAWINGS)

Washroom Accessories

B.F. Washroom: Bradley 6563 Surface Mount Soap Dispenser
 Bradley 5234 Toilet Tissue Dispenser
 Bradley 780-2436 24"x36" Mirror
 Bradley 9114 Robe Hook (Install on Door)
 Free Standing Waste Bin by Owner
 Towel Rod by Owner

Notes:

1. CONFIRM ALL DIMENSIONS ON SITE. NOTIFY UCG OF ANY DISCREPANCIES.
2. SEE SPECIFICATION PACKAGE PROVIDED BY DESIGNER'S FOR THE FOLLOWING:
 PLUMBING FIXTURES
 LIGHT FIXTURES
 INTERIOR FINISHES
 DISPLAYS
 FURNITURE & DECOR

BUILDING CODE ANALYSIS

SCOPE OF WORK:
 INTERIOR LEASEHOLD IMPROVEMENT
 1400 QUADRA STREET, VICTORIA, BC.

BUILDING CLASSIFICATION:

NUMBER OF STORIES	1
NUMBER OF STREETS/ACCESS ROUTES	2
SPRINKLER SYSTEM REQUIRED	YES
STANDPIPE AND HOSE SYSTEM REQUIRED	YES
FIRE ALARM SYSTEM REQUIRED	YES
BUILDING CLASSIFICATION	E/C
TYPE OF CONSTRUCTION	EXISTING CONCRETE & STEEL
HIGH BUILDING	YES
HAZARDOUS SUBSTANCES	NO
BARRIER FREE ACCESSIBLE	YES

SUITE AREAS:
 TOTAL SUITE AREA: 84.54m2 [910f2]

FIRE RESISTANCE RATING:
 LOAD BEARING COMPONENTS: MAINTAIN EXISTING FRR
 DEMISING WALL: 1HR FRR/2HR FRR, SEE PLAN

SPACIAL SEPARATION:
 ALL EXISTING EXPOSING BUILDING FACES TO REMAIN UNCHANGED WITH RESPECT TO LIMITING DISTANCE AND SPATIAL SEPARATION

OCCUPANT LOAD:
 3.70m2/PERSON = 23 PERSONS
 NUMBER OF STAFF: LESS THAN 10

EXIT CAPACITY:
 REQUIRED WIDTH: 6.1MM/PERSON = 139.4MM
 WIDTH PROVIDED: 914.4MM
 ENTRANCES PROVIDED: 1
 EXITS PROVIDED: 1
 BARRIER FREE ENTRANCES REQUIRED: 1
 BARRIER FREE ENTRANCES PROVIDED: 1

TRAVEL DISTANCE:
 TRAVEL DISTANCE: 15M
 EXITS PROVIDED: 1

SITE REQUIRED WASHROOMS:
 REQUIRED FOR EACH SEX: 1
 PROVIDED: 1 UNIVERSAL

Wall Schedule

INTERIOR WALLS

INTERIOR WALL - SOUND CONTROL

WALL FINISH
 5/8" GYPSUM BOARD
 3 5/8" STEEL STUDS @ 16" o.c.
 (TO u/s DECK)
 ROXUL AFB INSULATION
 5/8" GYPSUM BOARD
 WALL FINISH

INTERIOR WALL - DEMISING - 1HR FRR

WALL FINISH
 5/8" TYPE 'X' GYPSUM BOARD
 6" STEEL STUDS @ 16" o.c.
 ROXUL AFB INSULATION
 2- LAYERS 5/8" TYPE 'X' GYPSUM BOARD
 WALL FINISH

EXTERIOR WALLS

EXTERIOR WALL - Existing

WALL EXTERIOR FINISH
 EXISTING STRUCTURE
 WALL INTERIOR FINISH

Door Schedule

Mark	From Room: Name	To Room: Name	Door Data				Hardware	Frame Data				Fire Rating	Comments
			Door Type	Door Finish	Dimensions			Frame Type	Jamb Width	Wall Thickness	Frame Finish		
					Width	Height							
102	Retail Area	Exterior			3' - 0"	8' - 8 1/2"							
103	IT Closet	Retail Area			3' - 0"	7' - 0"			0' - 5 3/4"	0' - 4 7/8"			
104	Retail Area	Storage Rm			3' - 0"	7' - 0"			0' - 5 3/4"	0' - 4 7/8"			
106	Retail Area	Office			3' - 0"	7' - 0"			0' - 5 3/4"	0' - 4 7/8"			
107		Exterior			3' - 0"	7' - 0"			0' - 5 3/4"	0' - 4"			
108	Retail Area	Wshrm			18' - 0"	16' - 0"							
110	Retail Area	Exterior			3' - 0"	7' - 0"			0' - 5 3/4"	0' - 4 7/8"			
110		Exterior			3' - 0"	7' - 0"			0' - 8 1/4"	0' - 10"			

Door Type Schedule

A 18ga Steel Door Paint Finish (Interior Door)

B 16ga Steel Door Paint Finish (Interior Door)

C 18ga Steel Door Paint Finish 6mil Tempered Glass (Interior Door)

Door Hardware Schedule

- PRIVACY SET
 DORMA C500 SERIES - LR LEVER - 626 FINISH
 BUTTON WALL STOP
 CLOSER - LCN 4040
 BB HINGES (1 1/2 PAIR)
 SILENCERS
- KEYED LOCKSET
 DORMA C500 SERIES - LR LEVER - 626 FINISH
 BUTTON WALL STOP
 BB HINGES (1 1/2 PAIR)
 SILENCERS
- KEYED STOREROOM LOCKSET
 DORMA C500 SERIES - LR LEVER - 626 FINISH
 CLOSER - LCN 4040
 NRP HINGES
 SILENCERS
- EXISTING TO REMAIN
 CONFIRM CONDITION - REPLACE AS REQ'D
 SEE NOTES
 RE-KEY AS REQUIRED

NOTE:

- PROVIDE ULC RATED LABELLED HARDWARE TO ALL RATED DOORS AS PER DOOR SCHEDULE
- PROVIDE WALL STOPS FOR DOORS AS REQ'D
- ALL PERIMETER ENTRY POINTS MUST BE SECURED WITH A LOCKING DEVICE THAT PENETRATES THE DOOR FRAME A MINIMUM OF 1.25cm
- CONFIRM ALL HARDWARE REQUIREMENTS WITH PHYSICAL SECURITY SCHEDULE. SEE SECURITY PLAN

Physical Security

- CAM - Network Camera
 - M - Motion PIR and Dual Tech Detector
 - GB - Glass Break Detector
 - DC - Door Contact
 - Key - Alarm Key Pad
 - Panic - Panic/Hold-up Button
 - Siren - Alarm Siren
 - SD - Smoke/Heat Detector
 - Security Headend
- Note: Physical Security Design meets and exceeds Security Requirements and Compliance

ENGINEER

PROJECT: **Clarity Cannabis BC Ltd.**
 (1400 Quadra Street)

CLIENT: **Clarity Cannabis BC Ltd.**

SCALE: As indicated

DATE: 11/09/2018

FILE: C2018-0226

DRAWN: EER

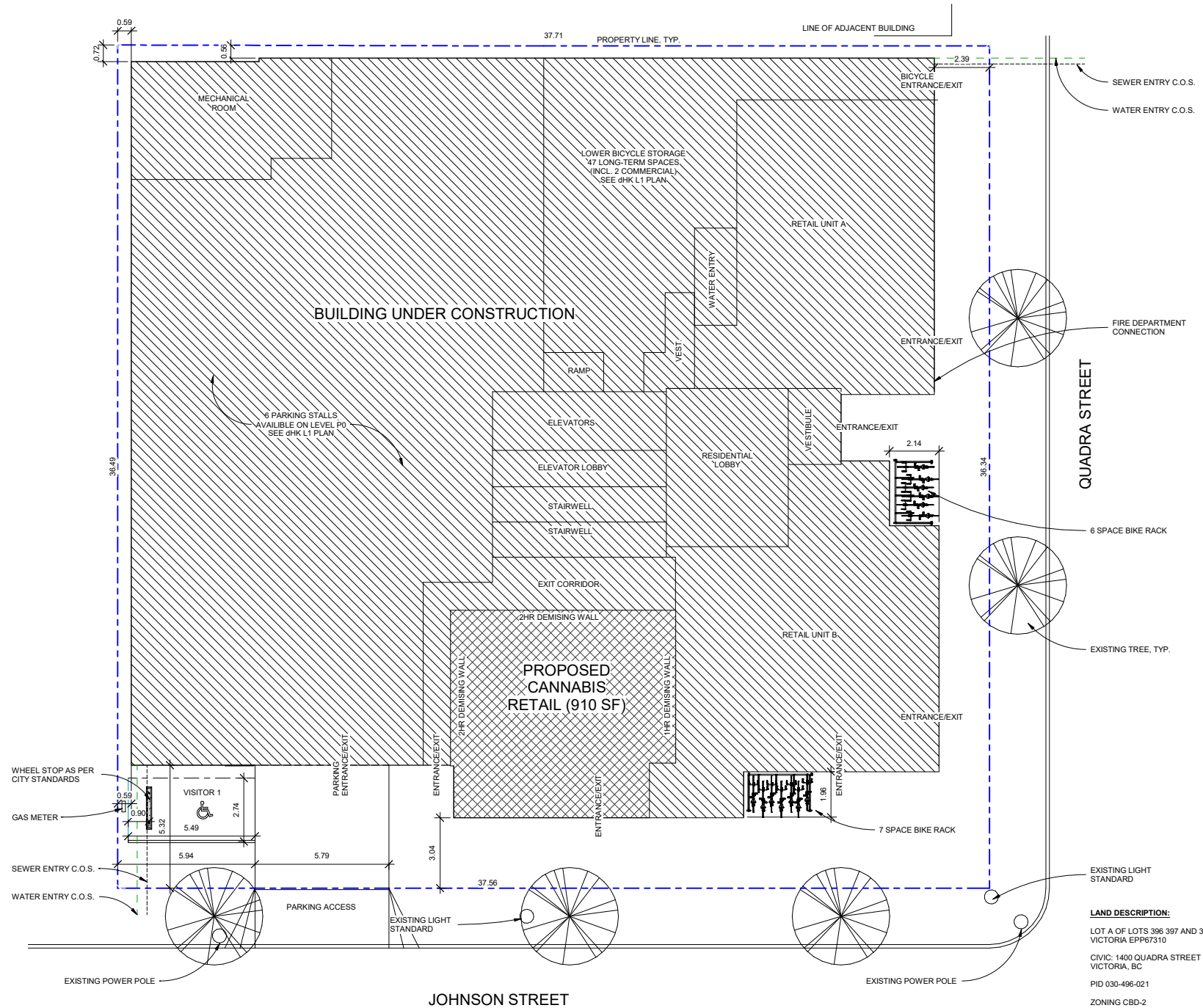
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DWG No: **A001**

Revision Schedule

Revision Date	Revision Number	Revision Description

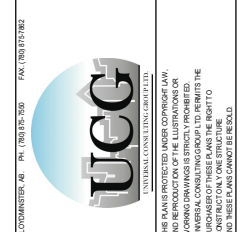
LEGENDS & SCHEDULES



1 Site Plan
1:100

LAND DESCRIPTION:
 LOT A OF LOTS 396 397 AND 398
 VICTORIA EPP67310
 CIVIC: 1400 QUADRA STREET
 VICTORIA, BC
 PID 030-496-021
 ZONING CBD-2
 (CENTRAL BUSINESS DISTRICT 2)

PROJECT INFORMATION TABLE	
ZONE (EXISTING)	CB2-2
SITE AREA (m ²)	1,374.94
UNIT FLOOR AREA (m ²)	84.54
PARKING STALLS (NUMBER) ON SITE	1 EXTERIOR, 107 INTERIOR
BICYCLE PARKING NUMBER (CLASS 1 AND CLASS 2)	17 LONG TERM (INCL. 2 COMMERCIAL), 13 SHORT TERM



ENGINEER
 UCC CONSULTING ENGINEERS LTD.
 1100 BROADVIEW AVENUE, SUITE 100
 VICTORIA, BC V8W 2E1
 TEL: 250-383-1111
 FAX: 250-383-1112

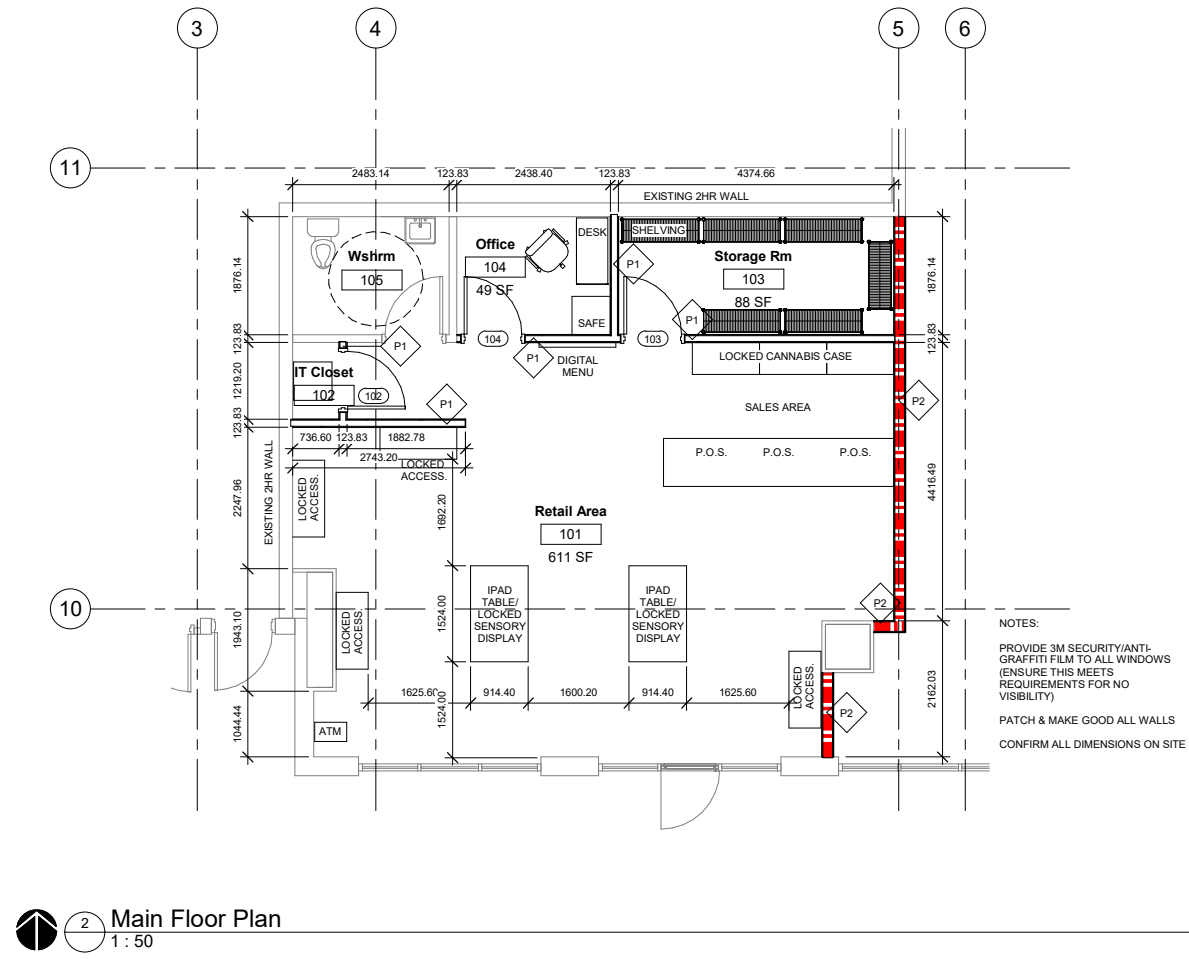
Revision Schedule		
Revision Date	Revision Number	Revision Description

PROJECT
**Victoria, BC
 (1400 Quadra Street)**
 DRAWING
Site Plan

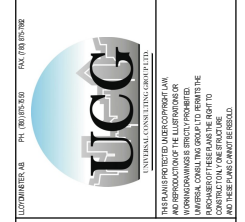
CLIENT
**Clarity Cannabis
 BC Ltd.**
 SCALE: As indicated
 DATE: 11/09/2018
 FILE: C2018-0226
 DRAWN: EER
 CHECKED: PR
 DWG No

A002

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY DISCREPANCIES AND VARIATIONS BEFORE OR DURING CONSTRUCTION SCALE DRAWING



2 Main Floor Plan
 1 : 50



ENGINEER

Revision Schedule		
Revision Date	Revision Number	Revision Description

PROJECT
**Victoria, BC
 (1400 Quadra Street)**

DRAWING
Main Floor Plan

CLIENT
**Clarity Cannabis
 BC Ltd.**

SCALE: 1 : 50

DATE: 11/09/2018

FILE: C2018-0226

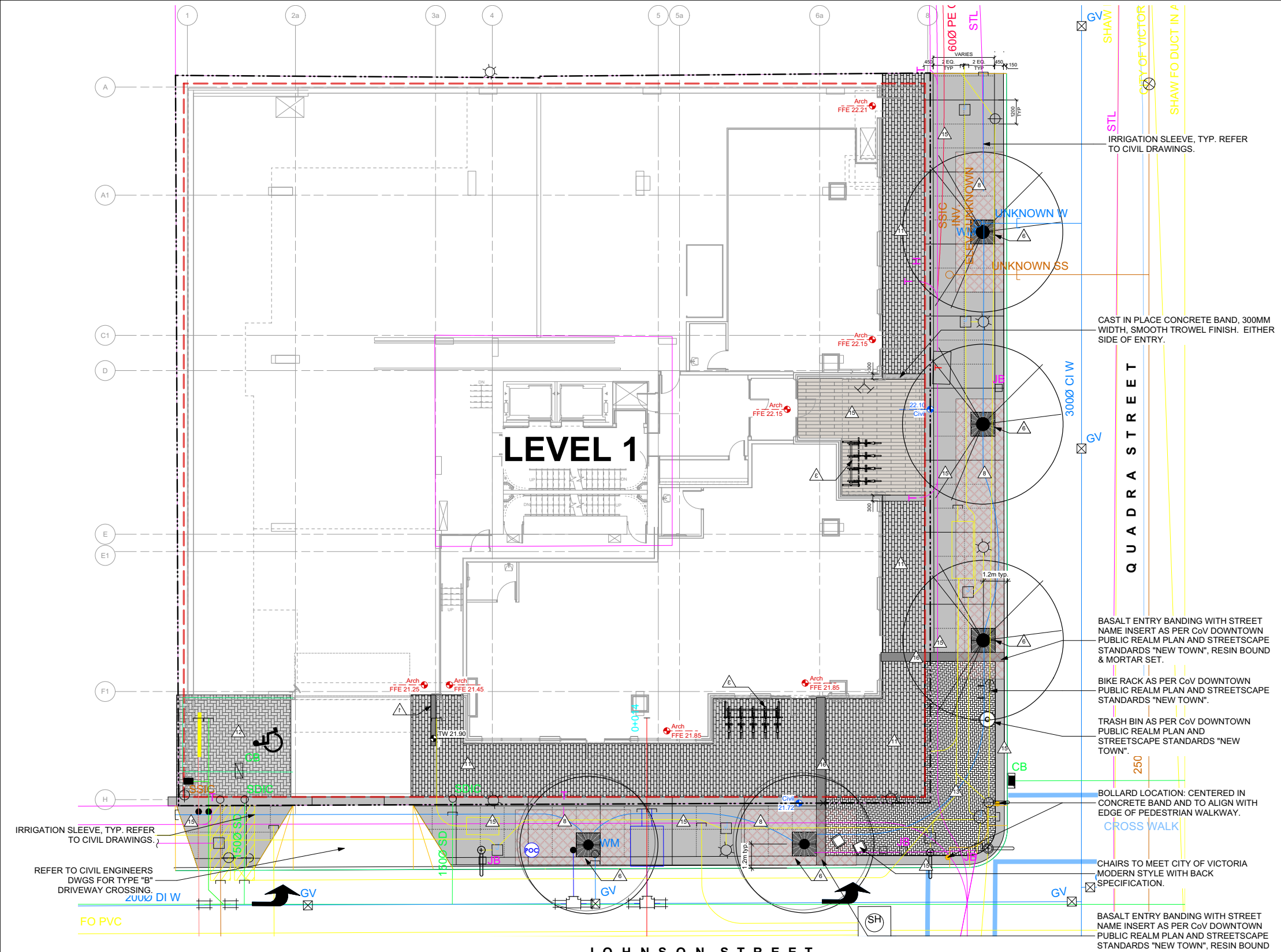
DRAWN: EER

CHECKED: PR

DWG No

A101

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES AND OMISSIONS NOTED DURING CONSTRUCTION.



LEGEND

- Property line
- Extent of Parkade, below (indicative only)
- Existing Landscape Grade
- Civil Grade, provided for reference only
- Architectural grade, provided for reference only
- Proposed Landscape Grade
- TW Top of Wall
- BW Bottom of Wall
- TS Top of Slabs
- BS Bottom of Slabs

LANDSCAPE STRUCTURES/ FURNISHINGS

	CIP Concrete Wall	See Struct./ Arch Dwg
	Bench - Type 1 Model: Hutch Park Bench (# HB-5) or approved equiv., frame colour: Pewter, slat Colour: Walnut. Supplier: Wishbone. (1) @ 5' length. (1) @ 10' length.	See Mfr. Dwg
	Bicycle Rack Model: Campus Rack, (1) @ #S5 and (1) @ S4 or approved equiv., galv., powder coat, colour: black. Surface mounted into sub-surface concrete footing. Supplier: Dero.	1 L4.01
	Planters Model: Planters Perfect™ (or approved equiv.), aluminum, powder coat finish, colour: Pewter. Allow for drainage and irrigation. Supplier: Green Theory Distributors. Square-36 (alu.), quantity: 9 CommDividers-46 (alu.), quantity: 4	See Mfr. Dwg
	BBQ Free-standing, stainless steel. Contractor to liaise with owner for additional information.	NA
	Tree Grate and Guard Standard, as per City of Victoria specifications. Supplier: Dobney Foundry.	See Mfr. Dwg 8 L4.01

LANDSCAPE MATERIALS

	Shrub / Tree Planting Area - In Planter 450mm depth, Type 2L growing medium, refer to Landscape Specifications.	NA
	Structural Soil (under pavement) 750mm depth, refer to Landscape Specifications.	7 L4.01
	Extensive Green Roof 100mm depth, Type 1P growing medium, refer to Landscape Specifications.	6 L4.01
	Unit Paving - Type 1	See L4.01
	Unit Paving - Type 2	See L4.01
	Unit Paving - Type 3	See L4.01
	Unit Paving - Type 4	See L4.01
	Unit Paving - Type 5	See L4.01
	Cast-in-Place Concrete	See L4.01
	Basalt Paver Entry Banding w/ Street Name	See L4.01

LANDSCAPE INFRASTRUCTURE

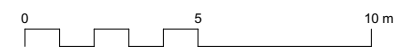
	Irrigation Point of Connection Proposed Irrigation Point of Connection.	See Mech. and Elec. Dwg
	Irrigation Sleeve Schedule 40 PVC, dia. shall be min 3x main line diameter, or 2x lateral line diameter. Install irrigation wiring in separate 2" electrical conduit. Extend sleeve 300 mm past edge of hard surface or walls.	N/A

- #### OFFSITE IRRIGATION NOTES
- Irrigation to be installed as per Municipal Specifications for Street Trees and Irrigation, SCHEDULE C (Current Edition).
 - Irrigation point of connection to be 19 mm (3/4") dia. service, located on along Johnson Street frontage. Refer to Civil Engineers dwgs.
 - Design/build drawings to be submitted to Landscape Architect in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation.

- #### IRRIGATION NOTES
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
 - Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
 - Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
 - Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
 - Refer to mechanical drawings for irrigation point of connection.
 - Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
 - At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
 - Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.

- #### GRADING NOTES
- All elevations are in meters.
 - Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
 - All road, public pavements and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
 - Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
 - Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, or to drainage devices.
 - All landscape areas shall not exceed a maximum slope of 3:1 in all instances.

- #### DRAWING NOTES
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

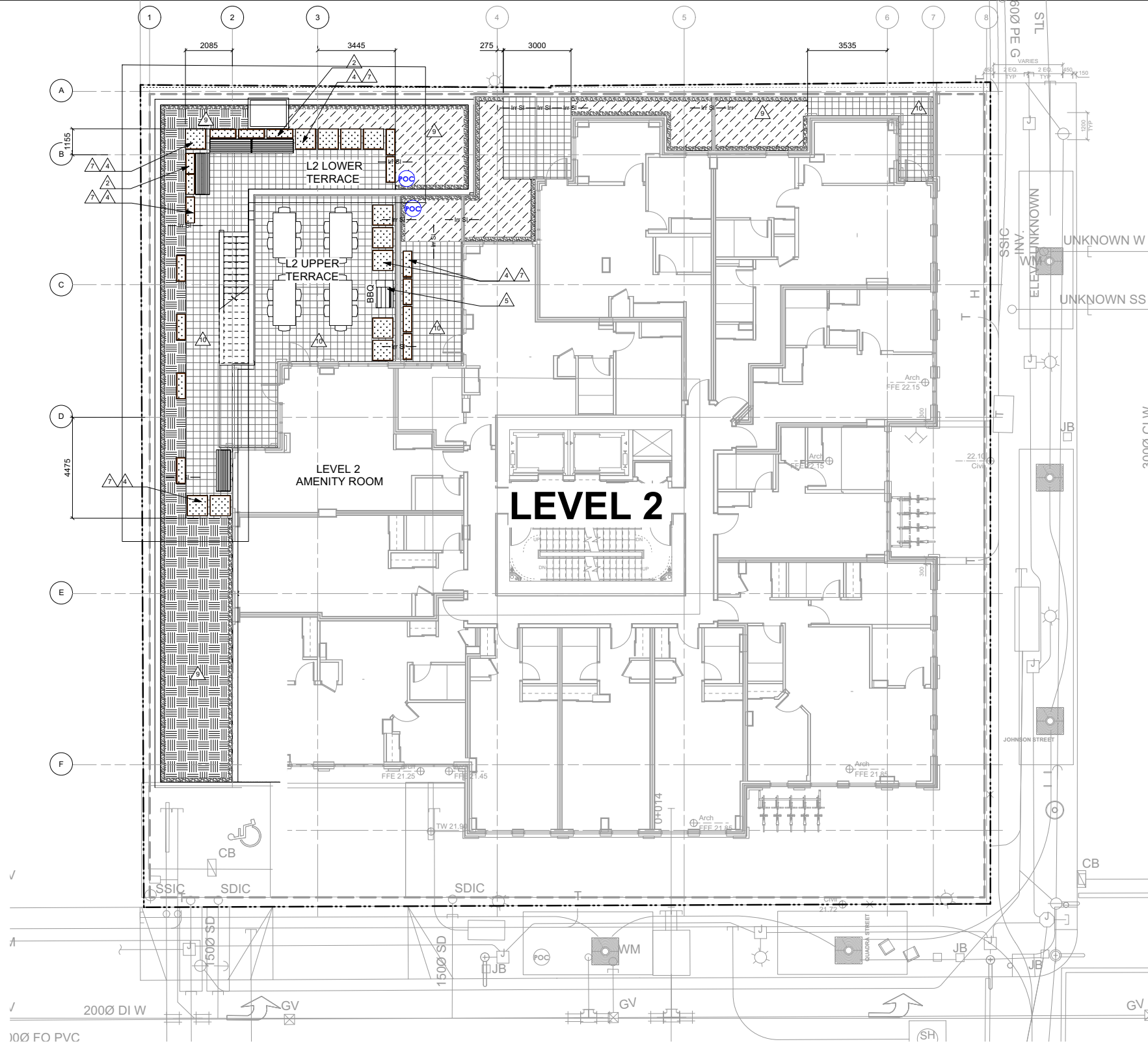
10	Issued for Construction	07 OCT 2019
9	Issued for BP Rev.4	12 SEPT 2019
8	Issued for Review	10 SEPT 2019
7	Issued for BP Rev.3	03 SEPT 2019
6	Issued for DDP	21 AUG 2019
5	Issued for BP Rev.2	17 July 2019
4	Issued for Tender	7 APRIL 2019
3	Issued for BP Rev.1	20 FEB 2019
2	Issued for BP	06 DEC 2018
1	RZ / DP Resubmission	17 SEPT 2018
rev no	description	date

Murdoch de Greeff INC
Landscape Planning & Design

200 - 524 Caskiel Road
Victoria, BC V8L 1G1

Phone: 250.412.2891
Fax: 250.412.2892

client	
ALPHA PROJECT DEVELOPMENTS LTD.	
210-737 YATES STREET VICTORIA, BC	
project #	
1400 QUADRA STREET, VICTORIA, BC	
sheet title	
Landscape Materials & Layout Plan - Level 1	
project no.	117.11
scale	1:100 @ 24"x36"
drawn by	ML/JD/TB
checked by	SM/PdG
revision no.	sheet no.
	L1.01



JOHNSON STREET

QUADRA STREET

LEGEND

	Property line
	Extent of Parkade, below (indicative only)
	Existing Landscape Grade
	Civil Grade, provided for reference only
	Architectural grade, provided for reference only
	Proposed Landscape Grade
	TW Top of Wall
	BW Bottom of Wall
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	BS Bottom of Stairs

LANDSCAPE STRUCTURES/ FURNISHINGS		
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	Bicycle Rack Model: Campus Rack, (1) @ #S5 and (1) @ S4 or approved equiv., galv., powder coat, colour: black. Surface mounted into sub-surface concrete footing. Supplier: Dero.	1 L4.01
	Planters Model: Planters Perfect™ (or approved equiv.), aluminum, powder coat finish, colour: Pewter. Allow for drainage and irrigation. Supplier: Green Theory Distributors. Square-36 (alu.), quantity: 9 CommDividers-46 (alu.), quantity: 4	See Mfr. Dwgs
	BBQ Free-standing, stainless steel. Contractor to liaise with owner for additional information.	NA
	Tree Grate and Guard Standard, as per City of Victoria specifications. Supplier: Dobney Foundry.	See Mfr. Dwgs 8 L4.01

LANDSCAPE MATERIALS		
	Shrub / Tree Planting Area - In Planter 450mm depth, Type 2L growing medium, refer to Landscape Specifications.	NA
	Structural Soil (under pavement) 750mm depth, refer to Landscape Specifications.	7 L4.01
	Extensive Green Roof 100mm depth, Type 1P growing medium, refer to Landscape Specifications.	6 L4.01
	Unit Paving - Type 1	See L4.01
	Unit Paving - Type 2	See L4.01
	Unit Paving - Type 3	See L4.01
	Unit Paving - Type 4	See L4.01
	c/w Battery Controller and residential grade backflow prevention device, refer to Landscape Specifications.	See L4.01
	Cast-in-Place Concrete	See L4.01
	Basalt Paver Entry Banding w/ Street Name	See L4.01

LANDSCAPE INFRASTRUCTURE		
	Irrigation Point of Connection Proposed Irrigation Point of Connection.	See Mech. and Elec. Dwgs
	Irrigation Sleeve Schedule 40 PVC, dia. shall be min 3x main line diameter, or 2x lateral line diameter. Install irrigation wiring in separate 2" electrical conduit. Extend sleeve 300 mm past edge of hard surface or walls.	N/A

PLANTING NOTES

- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
- All planters to be filled with voiding foam or other suitable voiding material to limit maximum soil depth. Structural engineer to confirm maximum soil depth (assumed 450mm).
- All planters to be installed on pedestals to sit max. 50mm proud of adjacent finished grade of pavers.
- Each patio to receive independent irrigation system for planters. Allow for hose bib connection c/w residential grade backflow device, battery controller and suitable dripline and/or micro sprays. Conceal irrigation equipment below pavers within void space. Provide conduit sleeving through base of aluminum planters for irrigation lines.

rev no	description	date
10	Issued for Construction	07 OCT 2019
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7	Issued for BP Rev.3	28 AUG 2019
6	Issued for DDP	21 AUG 2019
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4	Issued for Tender	7 APRIL 2019
3	Issued for BP Rev.1	20 FEB 2019
2	Issued for BP	06 DEC 2018
1	RZ / DP Resubmission	17 SEPT 2018

Murdoch de Greeff INC
Landscape Planning & Design
200 - 524 Clakhill Road
Victoria, BC V8Z 1G1
Phone: 250.412.2891
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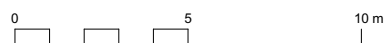
client
ALPHA PROJECT DEVELOPMENTS LTD.
210-737 YATES STREET
VICTORIA, BC

project #
1400 QUADRA STREET,
VICTORIA, BC

sheet title
Landscape Materials & Layout Plan - Level 2

project no.	117.11
scale	1:100 @ 24"x36"
drawn by	ML/JD/TB
checked by	SM/PdG
revision no.	sheet no.

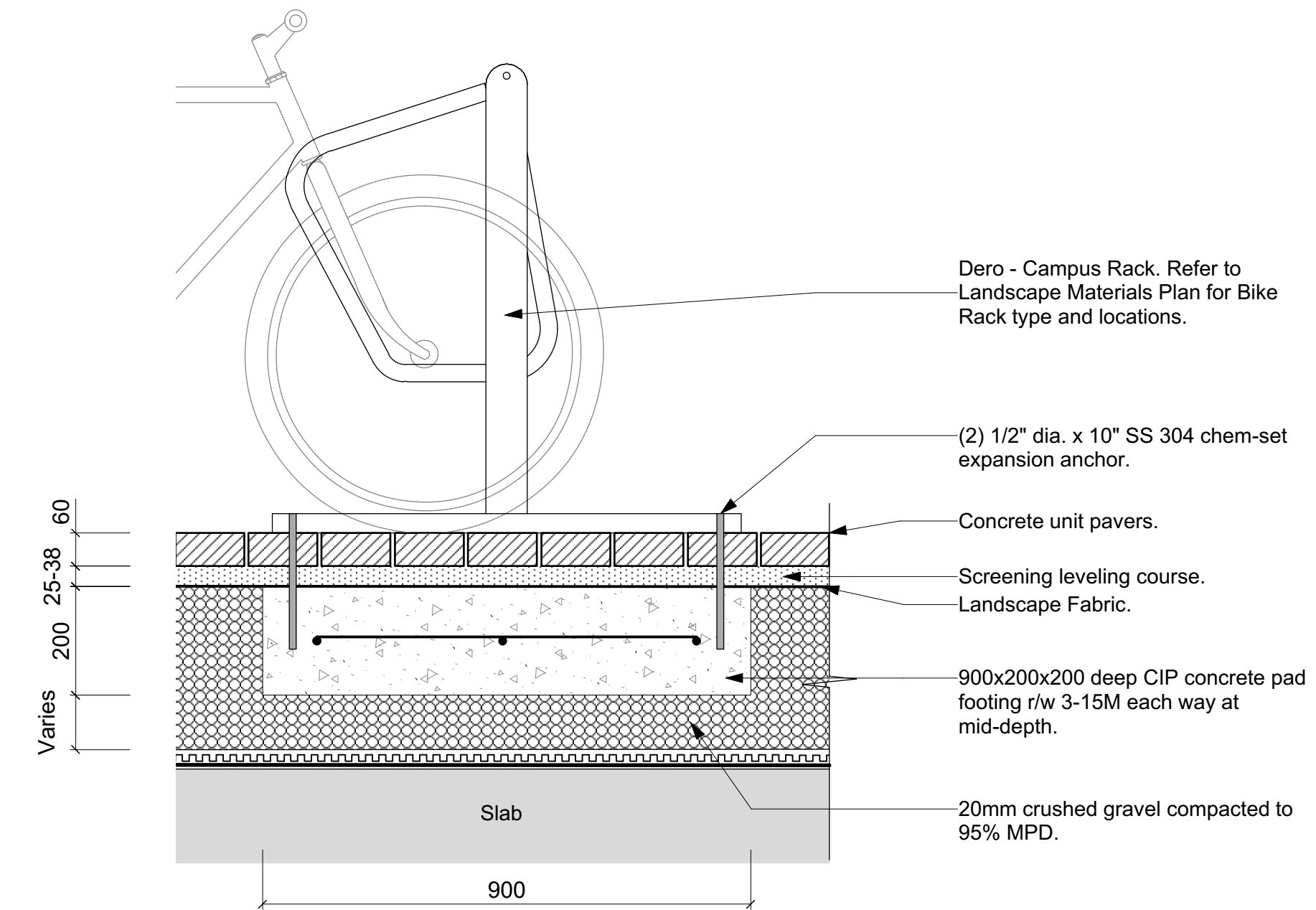
L1.02



ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

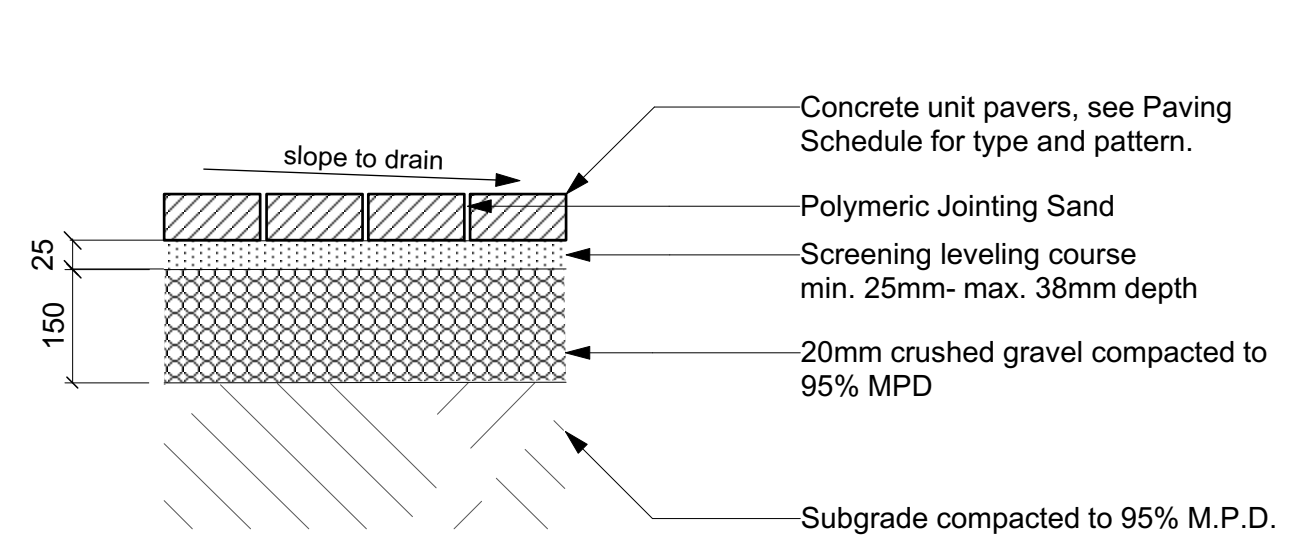
PAVING SCHEDULE

Landscape Material	Type	Size	Colour	Pattern	Supplier	Detail(s)
Unit Paver - Type 1	Texada, HydraPressed Slab	610x610x50mm thick	Natural	Stack Bond	Abbotsford Concrete Products	4 L4.01
Unit Paver - Type 2	Standard	225x112.5x60mm thick	Shadow Blend	Offset Running Bond, parallel to Grid-9 (Quadra Street)	Abbotsford Concrete Products	2 L4.01 3 L4.01
Unit Paver - Type 3	Standard (Vehicular)	225x112.5x80mm thick	Shadow Blend	90 degree Herringbone	Abbotsford Concrete Products	2 L4.01 3 L4.01
Unit Paver - Type 4	Standard	225x75x60mm thick	Natural Grey	90 degree Herringbone	Abbotsford Concrete Products	Resin Bound & Mortar Set as per CoV Downtown Public Realm Plan and Streetscape Standards "New Town".
Unit Paver - Type 5	Piazza Series	600x100x100mm thick & 400mmx100mmx100mm thick	Charcoal	Offset Running Bond, perpendicular to Grid-9 (Quadra Street)	Abbotsford Concrete Products	2 L4.01 3 L4.01
Cast-in-Place Concrete	Fine Broom Finish	N/A	Natural	Trowel Joints as per L1.01	N/A	See Civil Dwgs.
Basalt Pavers	Finish: Flamed	300x450x60mm thick	Charcoal Grey	450mm wide single row soldier course band with larger slab where name appears	Bedrock Natural Stone or equivalent	Resin Bound & Mortar Set. 5 L4.01

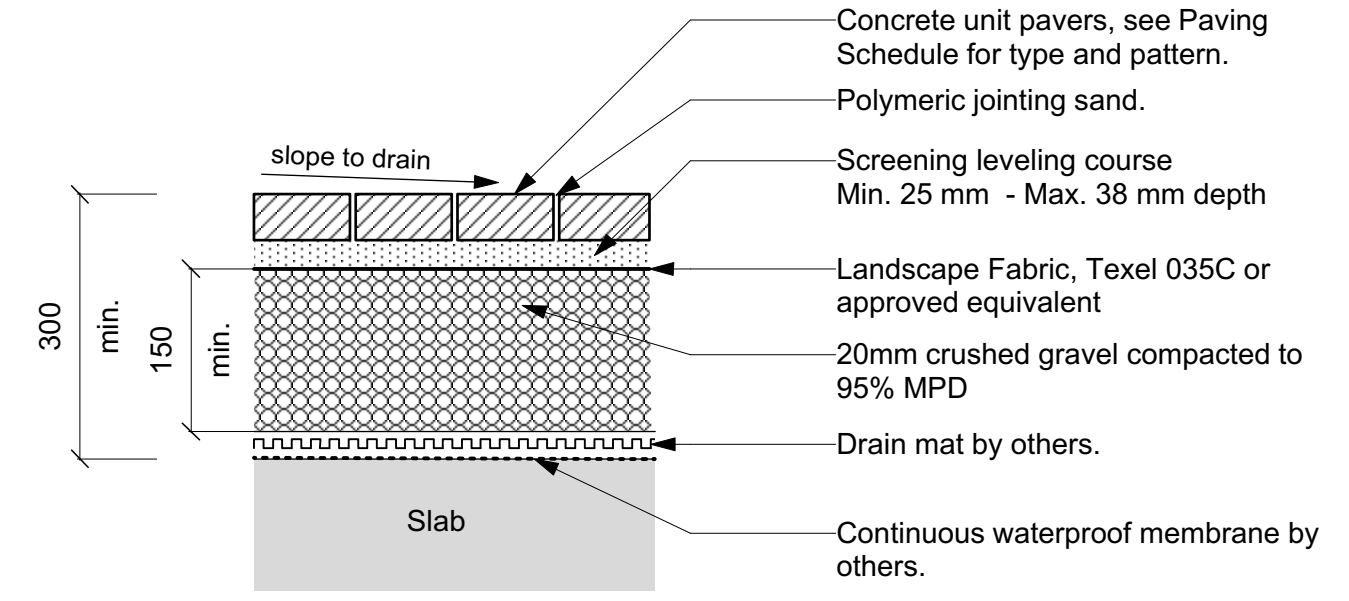


Notes:
 1. All rebar to have 50mm cover min., all edges.
 2. Contractor to coordinate rebar spacing with bike rack anchors.
 3. Contractor to confirm final layout w' LA prior to install.

1 Bike Rack on Conc. Unit Pavers
 Scale: 1:10

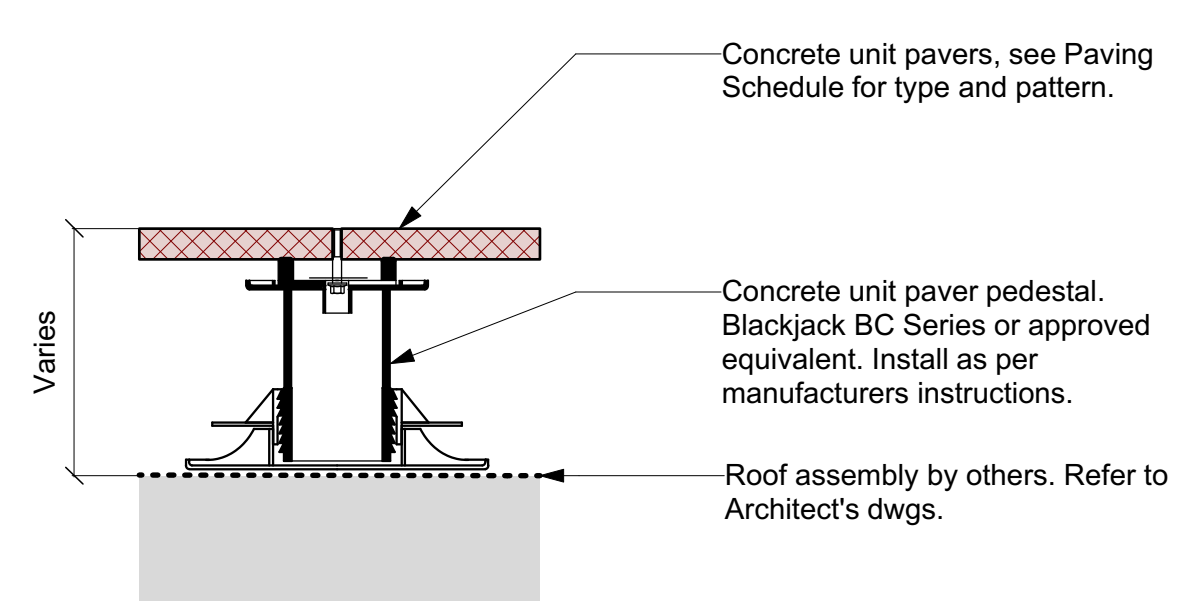


2 Concrete Unit Pavers on Grade
 Scale: 1:10



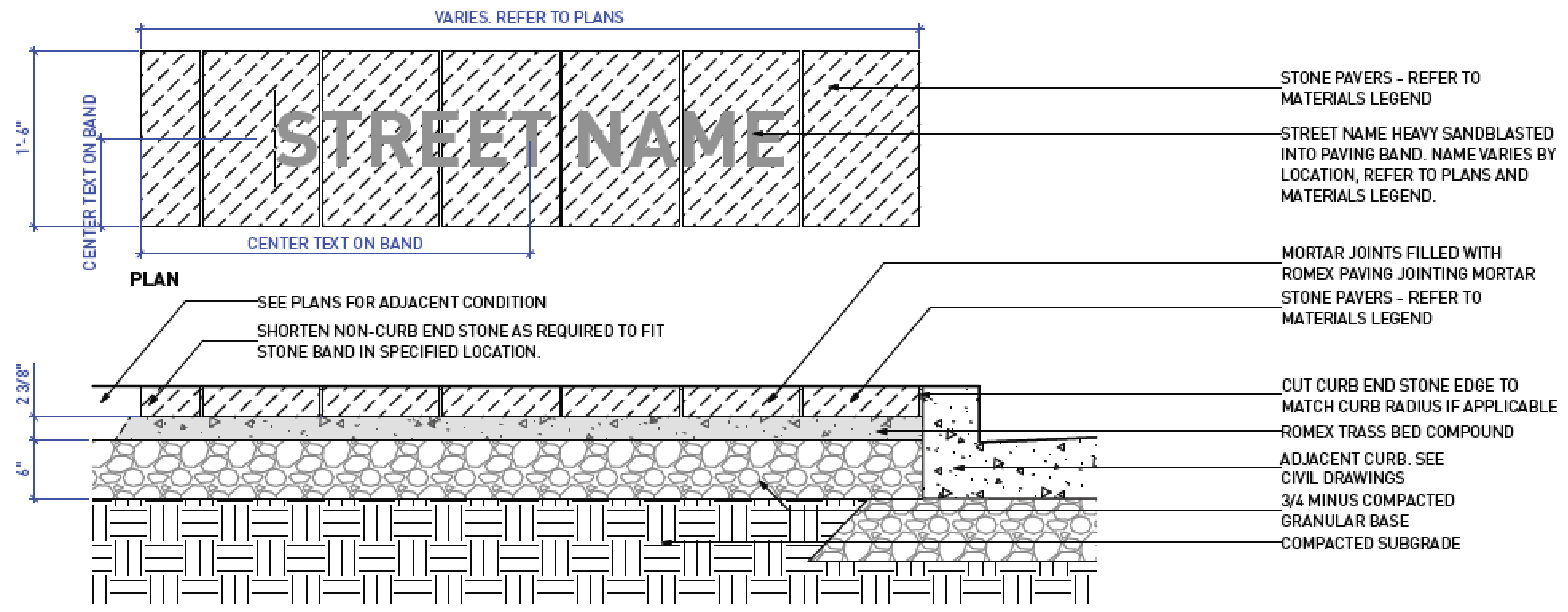
GENERAL NOTES:
 1. See Architects drawings for slab and drainage.
 2. See Structural Engineers drawings for maximum structural depth allowance. Do not exceed.

3 Concrete Unit Pavers on Slab
 Scale: 1:10

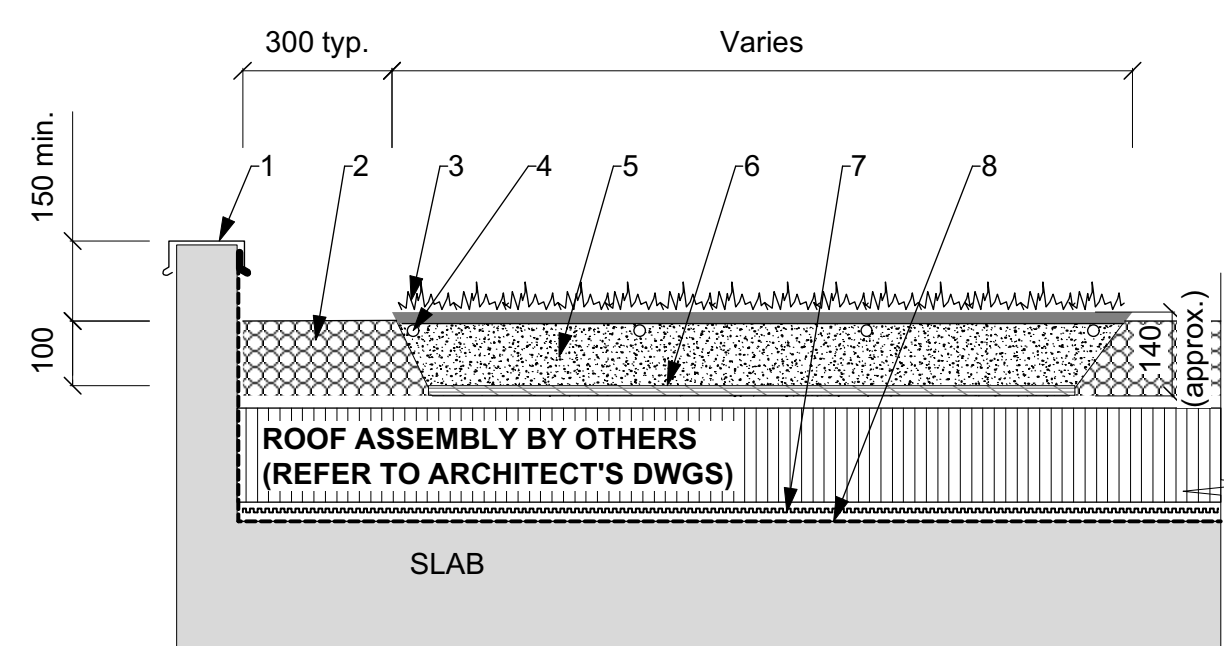


GENERAL NOTES:
 1. To be read in conjunction with Architect's roof assembly details and specifications.

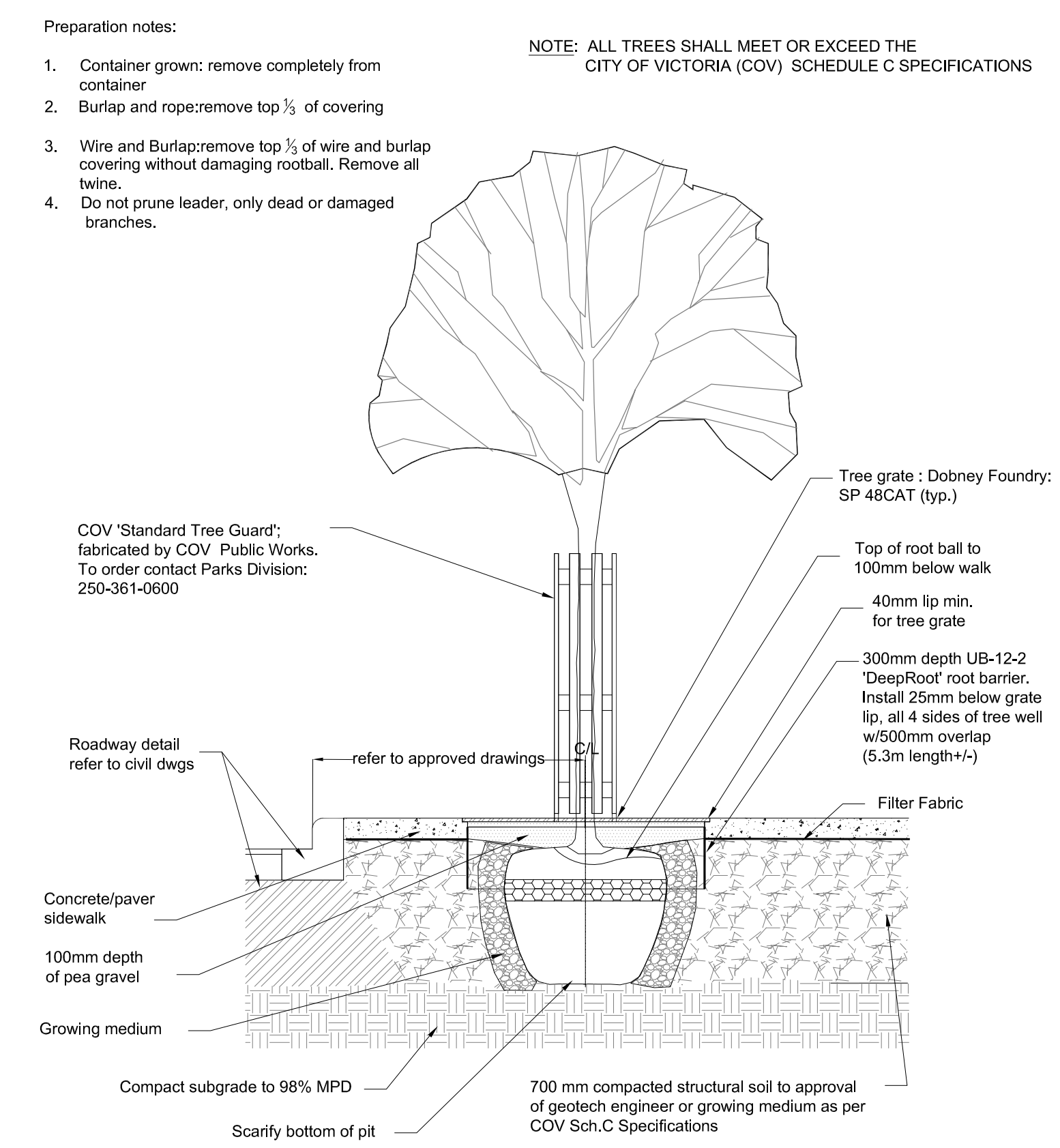
4 Concrete Unit Pavers on Slab - Pedestal Support
 Scale: 1:10



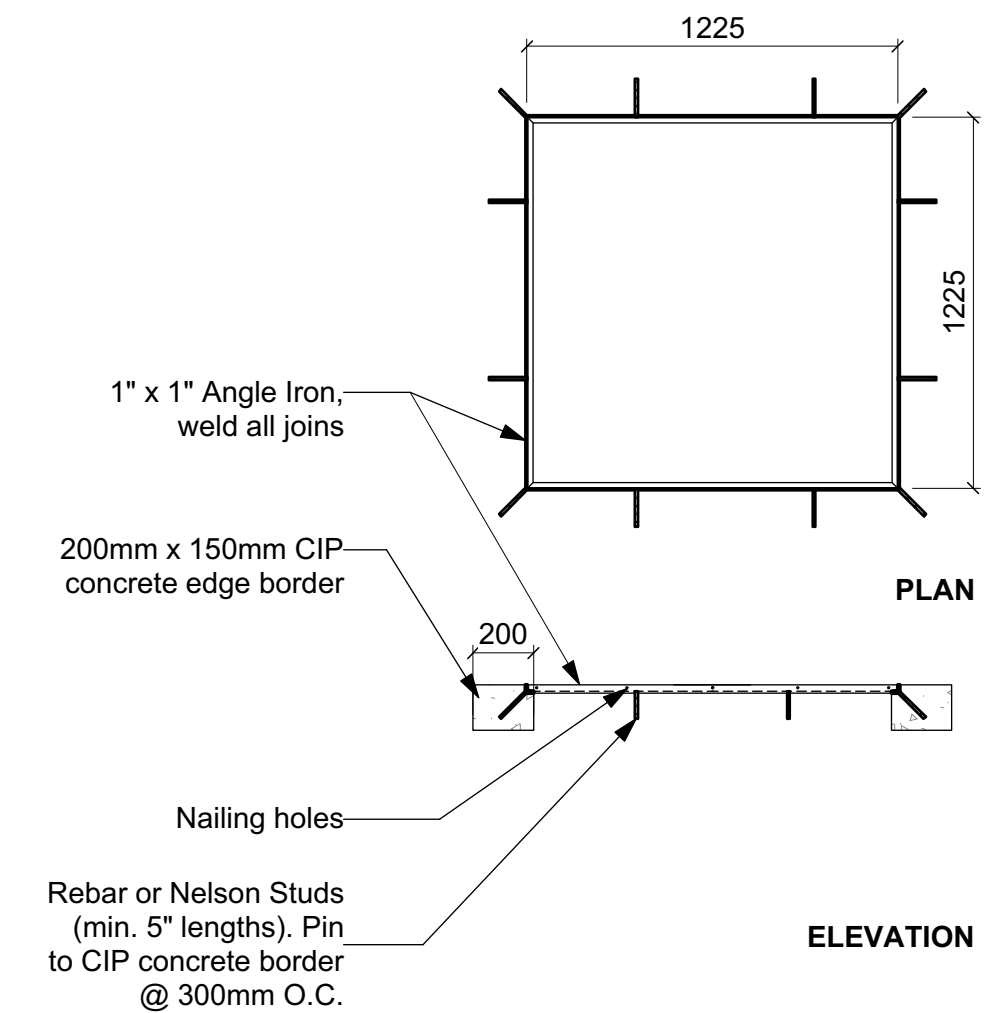
5 City of Victoria Basti Entry Banding Paving
 Scale: 1:10



6 Typical Extensive Green Roof
 Scale: 1:10



7 Tree Planting in Sidewalk
 Scale: 1:25



8 Tree Grate Detail
 Scale: 1:25

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

10	Issued for Construction	07 OCT 2019
9	Issued for BP Rev.4	12 SEPT 2019
8	Issued for Review	10 SEPT 2019
7	Issued for BP Rev.3	03 SEPT 2019
6	Issued for DDP	21 AUG 2019
5	Issued for BP Rev.2	17 July 2019
4	Issued for Tender	17 APRIL 2019
3	Issued for BP Rev.1	20 FEB 2019
2	Issued for BP	06 DEC 2018
1	RZ / DP Resubmission	17 SEPT 2018
rev no	description	date

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client
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 210-737 YATES STREET
 VICTORIA, BC

project #
 1400 QUADRA STREET,
 VICTORIA, BC

sheet title
Landscape Details

project no.	117.11
scale	AS SHOWN @ 24"x36"
drawn by	ML/JD/TB
checked by	SM/PdG
revision no.	sheet no.

9

L4.01