

Mixed Use Seniors Residential & Commercial Development

829-899 Fort Street & 846-856 Broughton Street, Victoria, B.C.

parc
retirement
living

PACIFIC ARBOUR SIX RESIDENCES LTD

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ARCHITECTURAL DRAWING INDEX

A000 PROJECT STATISTICS / CODE ANALYSIS SUMMARY	A410 FORT (NORTH) STREETSCAPE / PARTIAL SECTION
A001 ZONING DATA	A411 QUADRA (EAST) STREETSCAPE / PARTIAL SECTION
A002 PROJECT STATISTICS	A412 QUADRA (EAST) STREETSCAPE / PARTIAL SECTION
A003 PROJECT STATISTICS	A413 QUADRA (EAST) STREETSCAPE / PARTIAL SECTION
A004 AREA DIAGRAMS	A414 BROUGHTON (SOUTH) STREETSCAPE / PARTIAL SECTION
A005 COMPARISON DIAGRAM - LEVEL 1	A415 BROUGHTON (SOUTH) STREETSCAPE / PARTIAL SECTION
A006 3D PERSPECTIVES	A501 BUILDING SECTION A
A007 3D PERSPECTIVES	A502 BUILDING SECTION B
A008 3D PERSPECTIVES	A503 BUILDING SECTION C
A009 3D PERSPECTIVES	A504 BUILDING SECTION D
A010 FORM OF DEVELOPMENT - MASSING	A505 BUILDING SECTION E
A011 FORM OF DEVELOPMENT - STREETSCAPE	A506 BUILDING SECTION F
A012 FORM OF DEVELOPMENT - MAIN LEVEL SETBACKS	A507 BUILDING SECTION G
A013 FORM OF DEVELOPMENT - TYPICAL LEVEL SETBACKS	A508 BUILDING SECTION H
A014 FORM OF DEVELOPMENT - ENVELOPE / PASSIVE DESIGN STRATEGIES	A509 BUILDING SECTION J
A100 AERIAL	A510 BUILDING SECTION K
A101 CONTEXT PLAN	O01 LEVEL 1 AREA OVERLAY
A102 CONTEXT 3D VIEWS	O02 MECHANICAL LEVEL AREA OVERLAY
A103 CONTEXT 3D VIEWS	O03 LEVEL 2 AREA OVERLAY
A104 CONTEXT 3D VIEWS	O04 LEVEL 3 AREA OVERLAY
A200 P2 LEVEL FLOOR PLAN	O05 LEVEL 4 AREA OVERLAY
A201 P1 LEVEL FLOOR PLAN	O06 LEVEL 5 AREA OVERLAY
A202A SITEPLAN / LEVEL 1 FLOOR PLAN	O07 LEVEL 6 AREA OVERLAY
A202B SITEPLAN / LEVEL 1 FLOOR PLAN	O08 LEVEL 7 AREA OVERLAY
A203 MECHANICAL LEVEL FLOOR PLAN	O09 LEVEL 8 AREA OVERLAY
A204 LEVEL 2 FLOOR PLAN	O10 LEVEL 9 AREA OVERLAY
A205 LEVEL 3 FLOOR PLAN	O11 LEVEL 10 AREA OVERLAY
A206 LEVEL 4 FLOOR PLAN	O12 ROOF AREA OVERLAY
A207 LEVEL 5 FLOOR PLAN	SH01 SHADOW ANALYSIS
A208 LEVEL 6 FLOOR PLAN	SH02 SHADOW ANALYSIS
A209 LEVEL 7 FLOOR PLAN	SURVEY DRAWING
A210 LEVEL 8 FLOOR PLAN	
A211 LEVEL 9 FLOOR PLAN	
A212 LEVEL 10 FLOOR PLAN	
A213 ROOF PLAN	
A300A P2 LEVEL PARTIAL FLOOR PLAN	
A300B P2 LEVEL PARTIAL FLOOR PLAN	
A300C P2 LEVEL PARTIAL FLOOR PLAN	
A301A P1 LEVEL PARTIAL FLOOR PLAN	
A301B P1 LEVEL PARTIAL FLOOR PLAN	
A301C P1 LEVEL PARTIAL FLOOR PLAN	
A302A LEVEL 1 PARTIAL FLOOR PLAN	
A302B LEVEL 1 PARTIAL FLOOR PLAN	
A302C LEVEL 1 PARTIAL FLOOR PLAN	
A401 NORTH ELEVATION	
A402 EAST ELEVATION	
A403 SOUTH ELEVATION	
A404 NORTH ELEVATION	
A405 EAST ELEVATION	
A406 SOUTH ELEVATION	
A407 FORT (NORTH) STREETSCAPE / PARTIAL SECTION	
A408 FORT (NORTH) STREETSCAPE / PARTIAL SECTION	
A409 FORT (NORTH) STREETSCAPE / PARTIAL SECTION	

ABBREVIATIONS LEGEND			
A.F.F.	ABOVE FINISHED FLOOR	MTL	METAL
A.B.	AIR BARRIER	N/A	NOT APPLICABLE
ALUM.	ALUMINIUM	N.I.C.	NOT IN CONTRACT
B/S	BASEMENT	N.T.S.	NOT TO SCALE
BD.	BOARD	O.C.	ON CENTRE
B.O.S.	BOTTOM OF SLAB	OPG.	OPENING
B.O.W.	BOTTOM OF WALL	P-4-5	PEEL & STICK
BLDG.	BUILDING	PLYWD.	PLYWOOD
C.B.	CATCH BASIN	PREFIN.	PRE-FINISHED
C.I.P.	CAST-IN-PLACE	P.T.	PRESSURE TREATED
CLG.	CAULKING	P/L	PROPERTY LINE
CLG.	CEILING	R	RADIUS
CL	CENTRE LINE	R	RISER
CM	COMPLETE WITH	R.W.L.	RAIN WATER LEADER
CONC.	CONCRETE	REQD	REQUIRED
CONT.	CONTINUOUS	REV	REVISION
CJ	CONTROL JOINT	R # 5	ROD # SHELF
CORR.	CORRIDOR	RM.	ROOM
DIA.	DIAMETER	R.D.	ROOF DRAIN
DN	DOWN	R.O.	ROUGH OPENING
DWGS	DRAWINGS	STL.	STEEL
DW	DISHWASHER	STRUCT.	STRUCTURAL
ELECT.	ELECTRICAL	SPEC	SPECIFICATION
ELEV	ELEVATION	SF	SQUARE FEET
ENCL.	ENCLOSURE	EQ.	EQUAL
EXT.	EXTERIOR	F.D.	FLOOR DRAIN
FDN.	FOUNDATION	FIN.	FINISH
FLR.	FLOOR	FLR.	FLOOR
FTG.	FOOTING	GA.	GAUGE
GL.	GLASS	GR.	GRADE
GR.	GRADE	GR.	GRADE
GWB	GYP/SUM WALLBOARD	GR.	GRADE
H/C	HANDICAPPED	GR.	GRADE
HGT.	HEIGHT	H.C.	HANDICAPPED
HORIZ.	HORIZONTAL	H.C.	HANDICAPPED
H.B.	HOSE BIB	H.C.	HANDICAPPED
HR.	HOUR	H.C.	HANDICAPPED
HWI	HOT WATER HEATER	H.C.	HANDICAPPED
LIN.	LINEN	H.C.	HANDICAPPED
MAX.	MAXIMUM	H.C.	HANDICAPPED
MECH.	MECHANICAL	H.C.	HANDICAPPED
MEZZ.	MEZZANINE	H.C.	HANDICAPPED
MIN.	MINIMUM	H.C.	HANDICAPPED
MISC.	MISCELLANEOUS	H.C.	HANDICAPPED
SM	SQUARE METERS	H.C.	HANDICAPPED
S.S.	STAINLESS STEEL	H.C.	HANDICAPPED
STR.	STAIR	H.C.	HANDICAPPED
STD.	STANDARD	H.C.	HANDICAPPED
T.O.	TOP OF	H.C.	HANDICAPPED
T.O.C.	TOP OF CURB	H.C.	HANDICAPPED
T.O.F.	TOP OF FLOOR	H.C.	HANDICAPPED
T.O.P.	TOP OF PARAPET	H.C.	HANDICAPPED
T.O.W.	TOP OF WALL	H.C.	HANDICAPPED
TYF.	TYPICAL	H.C.	HANDICAPPED
UG	UNDERGROUND	H.C.	HANDICAPPED
UIS	UNDERSIDE	H.C.	HANDICAPPED
UNO	UNLESS NOTED OTHERWISE	H.C.	HANDICAPPED
U/F	UPPER FLOOR	H.C.	HANDICAPPED
VERT.	VERTICAL	H.C.	HANDICAPPED
W.C.	WATER CLOSET (TOILET)	H.C.	HANDICAPPED
WD	WASHER/ DRYER	H.C.	HANDICAPPED
WD.	WOOD	H.C.	HANDICAPPED
W.I.C.	WALK-IN CLOSET	H.C.	HANDICAPPED
W.	WITH	H.C.	HANDICAPPED
W.P.	WATERPROOF	H.C.	HANDICAPPED
WR	WASHROOM	H.C.	HANDICAPPED

PROJECT / CONSULTANT TEAM						
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Revisions
Bubbled areas indicate revisions compared to the previously submitted plans
Received Date: May 7, 2021

RE-ISSUED FOR REZONING & DP
05 MAY 2021

BUILDING CLASSIFICATION & CONSTRUCTION REQUIREMENTS RELATIVE TO OCCUPANCY ^(a)		OTHER REQUIREMENTS ^(a)	
Major Occupancies:	Group A, Div. 2; Group B, Div. 3; Group C; Group D; Group E; Group F, Div. 3	Travel Distance:	45 m maximum
Applicable Articles:	3.2.2.23. Group A, Division 2: Any Height Any Area, Sprinklered 3.2.2.42. Group B, Division 3: Any Height, Any Area, Sprinklered 3.2.2.47. Group C: Any Height, Any Area, Sprinklered 3.2.2.54. Group D: Any Height, Any Area, Sprinklered 3.2.2.62. Group E: Any Height Any Area, Sprinklered 3.2.2.78. Group F, Division 3: Any Height Any Area, Sprinklered	Exit Stair Rating:	2-hour
No. of Buildings:	2	Service Room Rating: (electrical/mechanical)	1.5-hour ^(b) for rooms located in the storage garage, otherwise 1-hour ^{(b)(c)}
Building Height:	10 storeys	Fire Alarm: Standpipe System:	Single- or two-stage ^(d) Required
No. of Streets:	3	Emergency Power:	Required in all exits/ access-to exits (2-hours)
Sprinklers:	Required	Emergency Lighting:	Required
Construction:	Noncombustible required	Exit Signs:	Required
Bldg Area:	Approximately 4,650 m ²	Panic hardware:	Required
Floor Rating:	2-hour fire-resistance rating ^(b)	Access for Disabled:	Required
Mezzanine Rating:	1-hour fire-resistance rating	Major Occupancy Separation:	2-hour between Group A-2 and Group B-3, 1-hour between B-2 and B-3, 1-hour between Group A-2 and Group C, 1½-hour between storage garage and adjacent occupancy
Roof Rating:	2-hour fire-resistance rating for occupied roof decks	Fire Department Connections:	2 connections required per NFPA 14
Loadbearing:	Same rating as for supported assembly		
High building requirements:	Applicable		

- (a) Based on the 2018 BC Building Code.
(b) Constructed as a fire separation.
(c) 2- hour rated separation for an unsprinklered electrical room in accordance with NFPA 13.
(d) Electronically monitored and supervised.

Project Information Table	
• Zone (Existing)	CA-2, CHP-OB, CHP-CR
• Proposed Zone	Site Specific – TBD
• Proposed Uses	Street Front Retail, Seniors Residential, Independent rental units and amenities, Medical offices, Music Wellness room and Licensed Childcare.
• Site Area	5,164 m ²
• Total Floor Area (m2)	27,111 m ²
• Retail Floor Area (m2)	900 m ²
• Office Floor Area	304 m ²
• Childcare Area	345 m ²
• Residential Floor Area (m2)	17,223 m ² (Excluding Amenities, circulation, core etc.)
• Residential Floor Area (m2)	20,706 m ² (Including Amenities, excluding circulation, core etc.)
• Floor Space Ratio	5.25
• Site Coverage (%)	88.8%
• Open Site Space (%)	49%
• Height of Building (m)	31.62m to top of roof parapet 33.77m to top of mechanical enclosure
• Number of Storeys	1,6,7 & 10 (Level 11 is rooftop mechanical / service rooms only)
• Parking Stalls (Number on site)	<ul style="list-style-type: none"> o Commercial, Offices, Daycare, Visitors 92 o Residential 93 (Including Seniors on site shuttle)
• Bicycle Parking Number (Class 1 and Class 2)	60+26=86 stalls including end of trip bicycle facilities for PARC staff, retail and offices. In addition, 24 scooter stalls are provided for seniors.
• Building Setbacks	<ul style="list-style-type: none"> o Fort Street Varies 0.00 m to 3.79 m o Quadra Street Varies 1.73 m (1.73 m SRW requested by Victoria transportation engineering) to 11.03 m o Broughton Street 1.65 m to 12.25 m
• Total Number of Rental Units: 266	
• Seniors Independent Rental Unit Mix	<ul style="list-style-type: none"> o Studio 15 units (5.6%) o 1 Bedroom 118 units (44.0%) o 1 Bedroom + Flex 48 units (17.9%) o 2 Bedroom 79 units (29.5%) o 2 Bedroom + Flex 6 units (2.2%) o 3 Bedroom 2 units (0.7%)

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

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CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

PROJECT STATISTICS /
CODE ANALYSIS SUMMARY

SEAL

DRAWING NO.

REVISION

A000

DATE

DRAWN

SCALE

CHECKED

PROJECT INFORMATION / ZONING DATA										
PROJECT DESCRIPTION / USE		10 STOREY MIXED USE BUILDING, INCLUDING COMMERCIAL RETAIL PODIUM, OFFICES, CHILDCARE, SENIORS INDEPENDENT LIVING UNITS & AMENITIES, RESIDENTIAL RENTAL UNITS & TWO LEVEL OF UNDERGROUND PARKING								
LEGAL DESCRIPTION		9 LOTS - PCL "B" OF LOT 275 PID 009-366-555; PCL "A" (DD 46838-I) OF LOT 275 PID 008-426-163; LOT 274 PID 008-426-031 ; LOT A PLAN 45314 PID 007-890-664; LOT A (EH145952) PLAN 6909 PID 019-023-740; LOT A PLAN 16155 PID 004-005-902; THE S'LY 50' OF LOT 270 PID 000-436-925; LOT B PLAN 45314 PID 007-890-711; W 1/2 LOT 268 PID 000-044-059								
CIVIC ADDRESS PRESENT		829/831,835,841/847,849,893/895/899 FORT STREET & 846 BROUGHTON STREET								
CIVIC ADDRESS FUTURE		FORT BUILDING, FORT BRIDGE BUILDING, FORT-QUADRA BUILDING, QUADRA BRIDGE BUILDING & BROUGHTON BUILDING - TBD								
TOTAL LOT AREA		55,588 SF		5,164.3 SM						
LOT SIZE (APPROXIMATE FRONTAGE)		NORTH / FORT		304.7 FT		92.9 M				
		EAST / QUADRA		232.0		70.7				
		SOUTH / BROUGHTON		180.3		54.9				
		WEST		120.3		36.7				
OCP / AREA DESIGN GUIDELINES		2012 OFFICIAL COMMUNITY PLAN/OCP DESIGNATION - 2013 DOWNTOWN CORE AREA PLAN/DCAP & CATHEDRAL HILL PRECINCT PLAN LOCATED IN FAIRFIELD NEIGHBORHOOD ALONG FORT STREET								
ZONING - PRESENT		FORT STREET: CA-2 DEVELOPMENT AREA/DPA 7B(HC) BROUGHTON STREET: CHP-OB & CHP-CR DEVELOPMENT PLAN AREA/DPA 14: CATHEDRAL HILL PRECINCT								
PROPOSED NUMBER OF RESIDENTIAL RENTAL UNITS		280								
ZONING - FUTURE		PROPOSED SITE SPECIFIC / TBD								
		REQUIRED / ALLOWED / DCAP				PROPOSED				NOTES
		FAR		5.00		SF		SM		
DENSITY / FSR / GFA		FAR		5.00		277,940		25821		FAR
SITE COVERAGE										5.25
OPEN SITE SPACE										SF
										SM
										291,821
										27111
										90.5%
										50,312
										4,674
										5,548
										513
										8,413
										777
										6,343
										586
										6,857
										634
										49%
										27,161
										2,510
HEIGHT BUILDING		98.4		FT		30.0		M		110.83
										FT
										33.77
										M
										103.75
										FT
										31.62
										M
NUMBER OF STOREY		10								11
SETBACKS		FT		M		FT		M		FT
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AREA CALCULATIONS SUMMARY / SF																												
A	B	C	D=BxC	E	F	G	H	I	J	K	L	M	N	O=L+M+N	P	Q=E+F	R	S	T	U	V	W	X	Y=U+V+W+X	Z=S-Y			
LEVEL	NUMBER OF FLOORS	UNIT COUNT	UNIT COUNT SUB TOTAL	NET COMMERCIAL (SF)	N/A	CHILD CARE (SF)	MEDICAL OFFICES (SF)	MEDICAL WASHROOMS	PARKING / LOADING / MECHANICAL LEVEL (SF)	COMM. GARBAGE/ RECYCLING & SERVICE RM (SF)	RES. GARBAGE/ RECYCLING & SERVICE RM (SF)	AMENITY (SF)	NET RESIDENTIAL UNITS (SF)	TOTAL RESIDENTIAL INC. RES GARBAGE/RECYCLING AREA/ FLOOR (SF)	TOTAL RESIDENTIAL AREA/ FLOOR (SM)	TOTAL COMM. AREA/ FLOOR (SF)	TOTAL COMM. AREA/ FLOOR (SM)	TOTAL GROSS (SF)	TOTAL GROSS (SM)	PARKING / LOADING (SF)	WALL THICKNESS (SF)	ASSUMED ELEVATOR SHAFTS (SF)	BICYCLE STORAGE (SF)	TOTAL EXCLUSIONS (SF)	TOTAL FSR (SF)	TOTAL FSR (SM)		
MAIN LEVEL	1	0	0	9,695	0	215	215	0	13,760	386	944	16,279	0	17,223	1,600	9,695	901	49,356	4,585	13,760	484	546	252	15,042	34,314	3,188		
PARTIAL MECHANICAL	0	0	0	0	0	0	0	0	4,977	0	0	0	0	0	0	0	0	4,977	462	0	322	0	0	322	4,655	432		
LEVEL 2	1	16	16	0	0	3,501	2,612	440	0	0	0	17,225	11,442	28,667	2,663	0	0	41,693	3,873	0	657	546	0	1,203	40,490	3,762		
LEVEL 3	1	41	41	0	0	0	0	0	0	0	0	0	27,577	27,577	2,562	0	0	33,581	3,120	0	905	433	0	1,338	32,243	2,995		
LEVEL 4	1	40	40	0	0	0	0	0	0	0	0	294	26,690	26,984	2,507	0	0	32,851	3,052	0	900	433	0	1,333	31,518	2,928		
LEVEL 5	1	40	40	0	0	0	0	0	0	0	0	0	26,863	26,863	2,496	0	0	32,851	3,052	0	900	433	0	1,333	31,518	2,928		
LEVEL 6	1	40	40	0	0	0	0	0	0	0	0	0	26,862	26,862	2,496	0	0	32,851	3,052	0	900	433	0	1,333	31,518	2,928		
LEVEL 7	1	34	34	0	0	0	0	0	0	0	0	0	22,902	22,902	2,128	0	0	28,807	2,676	0	904	433	0	1,337	27,470	2,552		
LEVEL 8	1	25	25	0	0	0	0	0	0	0	0	982	16,294	17,276	1,605	0	0	21,950	2,039	0	850	433	0	1,283	20,667	1,920		
LEVEL 9	1	25	25	0	0	0	0	0	0	0	0	0	16,516	16,516	1,534	0	0	20,938	1,945	0	809	433	0	1,242	19,696	1,830		
LEVEL 10	1	19	19	0	0	0	0	0	0	0	0	0	12,192	12,192	1,133	0	0	16,092	1,495	0	657	433	0	1,090	15,002	1,394		
ROOFTOP SERVICE ROOMS	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3,506	326	0	344	433	0	777	2,729	254		
TOTAL			280	9,695	0	3,716	2,827	440	18,737	386	944	34,780	187,338	223,062	20,723	9,695	901	319,453	29,678	13,760	8,631	4,989	252	27,632	291,821	27,111		
SITE AREA:			55,585 SF			5,164		3,267																				
TOTAL FSR:			291,821 SF			5.25																						
				901	SM	345	263	41	1,741	36	88	3,231	17,404															
								304																				

OFF STREET PARKING SUMMARY				
	RATE/REQUIRED/BYLAW	PROVIDED	NOTES	
RETAIL / PERSONAL SERVICE	1 PER 80 SM (861 SF)	11	11	PROVIDED ON P1 LEVEL
INDEPENDENT SENIORS UNITS	0.35 PER UNIT	93	93	
INDEPENDENT SENIORS UNITS-VISITORS	0.1 PER UNIT	27	27	
AFFORDABLE UNITS	0.2 PER UNIT	3	3	
AFFORDABLE UNITS-VISITORS	0.1 PER UNIT	1	1	
CHILD CARE	1 PER 100 SM (1076 SF)	3	3	ASSUMED & PROVIDED ON P1 LEVEL
MEDICAL OFFICES	1 PER 50 SM (538 SF)	6	6	BASED ON NET 3,272 SF. PROVIDED ON P1 LEVEL
ADDITIONAL PARKING STALLS			63	PROVIDED ON P1 LEVEL
TOTAL		144	207	
SCOOTER STALLS		0	24	PROVIDED ON LEVEL 1 FOR SENIORS SAFETY & CONVENIENCE

OFF STREET BICYCLE PARKING SUMMARY									
	AREA	SM	CLASS 1 BICYCLE SPACES			CLASS 2 BICYCLE SPACES			NOTES
			REQUIRED/BYLAW	SUPPLY	PROVIDED	REQUIRED/BYLAW	PROVIDED		
RETAIL	901	SM	1 PER 200 SM	5	5	1 PER 200 SM	5	5	
INDEPENDENT SENIORS UNITS	266	UNITS	1 PER 20 UNITS	13	13	1 PER 50 UNITS	5	5	
AFFORDABLE UNITS	14	UNITS	1.25 PER UNIT	11	11	0.1/UNIT OR 6	2	2	INC. IN TOTAL
CHILD CARE	345	SM	1 PER 700 SM	1	1	1 PER 200 SM	2	2	
MEDICAL OFFICE	304	SM	1 PER 200 SM	2	2	1 PER 300 SM	1	1	
ADDITIONAL BICYCLE STALLS				0	20		0	10	
TOTAL				32	53		15	25	

PARKING STALL SUMMARY				UNDERGROUND PARKING AREA SUMMARY / SF			
L1		2					SF
P1 - PUBLIC + SENIORS RESIDENCE		115	P1			53,500	
P2 - SENIORS RESIDENCE		92	P2			53,500	
TOTAL		209	TOTAL			107,000	

- NOTES:
- ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING WORKING DRAWINGS
 - VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF VICTORIA BYLAWS
 - VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC
 - WALL THICKNESS EXCLUSION AREAS ARE APPROXIMATE AND WILL BE ADJUSTED BASED ON FINAL WALL ASSEMBLIES & REQUIRED ENERGY ANALYSIS

BUILDING HEIGHT DATA

PARC VICTORIA, VICTORIA, B.C.							
LEVEL	Use	Elevation (Geodetic)	Clear floor height	Slab to Slab height	Total Height (from Ave. Grade)		
1	Commerical	71.00' 21.64m	16'-0" 4.88m	16'-8" 5.08m	NA		
2	Daycare / Offices	87.67' 26.72m	12'-0" 3.66m	12'-8" 3.86m	14.50'	4.41m	
3	Residential Units	100.33' 30.58m	8'-0" 2.44m	8'-8" 2.64m	27.16'	8.27m	
4	Residential Units	109.00' 33.22m	8'-0" 2.44m	8'-8" 2.64m	35.83'	10.91m	
5	Residential Units	117.67' 35.86m	8'-0" 2.44m	8'-8" 2.64m	44.50'	13.56m	
6	Residential Units	126.33' 38.51m	9'-0" 2.74m	9'-8" 2.95m	53.16'	16.20m	
7	Residential Units	136.00' 41.45m	9'-0" 2.74m	9'-8" 2.95m	62.83'	19.14m	
8	Residential Units	145.67' 44.40m	9'-0" 2.74m	9'-8" 2.95m	72.50'	22.09m	
9	Residential Units	155.33' 47.35m	9'-0" 2.74m	9'-8" 2.95m	82.16'	25.04m	
10	Penthouse Units	165.00' 50.29m	8'-3" 2.51m	8'-11" 2.72m	91.83'	27.98m	
	T.O. Roof Slab	173.92' 53.01m			100.73'	30.70m	
	T.O. Roof Parapet	176.92' 53.93m			103.75'	31.62m	
11	T.O. Mech. Enclosure	184.00' 56.08m			110.83'	33.77m	

QUADRA BRIDGE / BROUGHTON MIDRISE

LEVEL	Use	Elevation (Geodetic)	Clear floor height	Slab to Slab height	Total Height (from Ave. Grade)		
1	Commerical	75.00' 22.86m	12'-0" 3.66m	12'-8" 3.86m	1.83'	0.55m	
2	Amenities	87.67' 26.72m	12'-0" 3.66m	12'-8" 3.86m	14.50'	4.41m	
2 RES	Residential Units	91.67' 27.94m	8'-0" 2.44m	8'-8" 2.64m	18.50'	5.63m	
3	Residential Units	100.33' 30.58m	8'-0" 2.44m	8'-8" 2.64m	27.16'	8.27m	
4	Residential Units	109.00' 33.22m	8'-0" 2.44m	8'-8" 2.64m	35.83'	10.91m	
5	Residential Units	117.67' 35.86m	8'-0" 2.44m	8'-8" 2.64m	44.50'	13.56m	
6	Residential Units	126.33' 38.51m	9'-0" 2.74m	9'-8" 2.95m	53.16'	16.20m	
7	Residential Units	136.00' 41.45m	9'-0" 2.74m	9'-8" 2.95m	62.83'	19.14m	
8	Residential Units	145.67' 44.40m	9'-0" 2.74m	9'-8" 2.95m	72.50'	22.09m	
9	Residential Units	154.33' 47.04m	9'-0" 2.74m	9'-8" 2.94m	82.16'	25.04m	
10	Penthouse Units	164.00' 49.99m	8'-3" 2.51m	8'-11" 2.72m	91.83'	27.98m	
	T.O. Roof Slab	173.92' 53.01m			100.73'	30.70m	
	T.O. Roof Parapet	176.92' 53.93m			103.75'	31.62m	
11	T.O. Mech. Enclosure	184.00' 56.08m			110.83'	33.77m	

PARKING LEVELS

Level	Use	Elevation (Geodetic)	Notes
P2	Parking	50.00' 15.24m	Bottom of ramp elevation
P1	Parking	59.00' 17.98m	Bottom of ramp elevation

bfa studio
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ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(Formerly BESHARAT FRIARS ARCHITECTS)
600 - 355 Burrard Street Vancouver, BC V6C 2G8
T 604 662 8544 F 604 662 4060
www.bfastudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

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parc retirement living

PROJECT NO: 17420

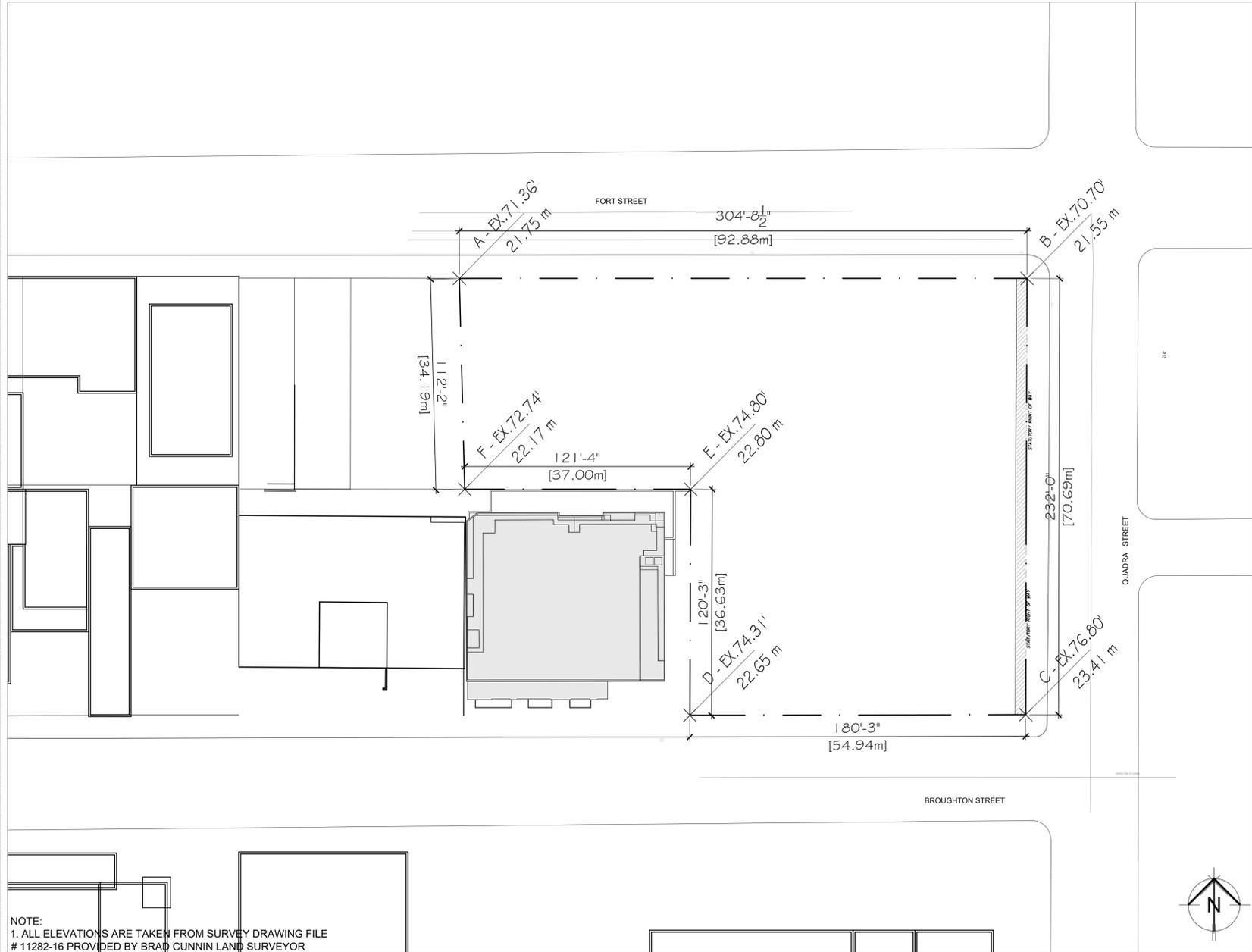
PROJECT: PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: PROJECT STATISTICS

A002

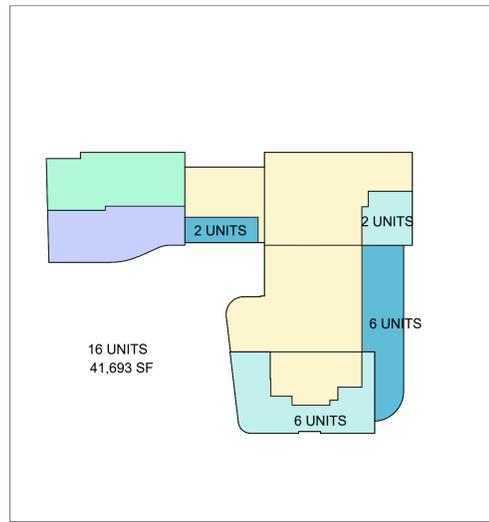
DATE: DRAWN: SCALE: CHECKED:

AVERAGE NATURAL EXISTING & FINISHED GRADE CALCULATIONS							
Point	Elev. (ft)	Point	Elev. (ft)	Segment	Average Elevation	Length (ft)	Elevation x Length = Z
A	71.36	B	70.70	AB	71.03	304.71	21643.55
B	70.70	C	76.80	BC	73.75	232.00	17110.00
C	76.80	D	74.31	CD	75.56	180.25	13618.79
D	74.31	E	74.80	DE	74.56	120.25	8965.24
E	74.80	F	72.74	EF	73.77	121.33	8950.51
F	72.74	A	71.36	FA	72.05	112.17	8081.85
					TOTAL	TOTAL LENGTH	Total 'Z'
					440.7	1070.71	78369.94
					AVERAGE NATURAL EXISTING GRADE		73.19
					MAXIMUM HEIGHT A.N.E.G.+ 98.43' =		171.62

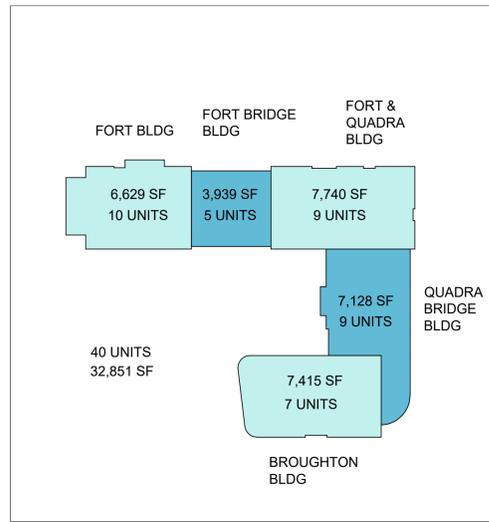


NOTE:
1. ALL ELEVATIONS ARE TAKEN FROM SURVEY DRAWING FILE # 11282-16 PROVIDED BY BRAD CUNNIN LAND SURVEYOR

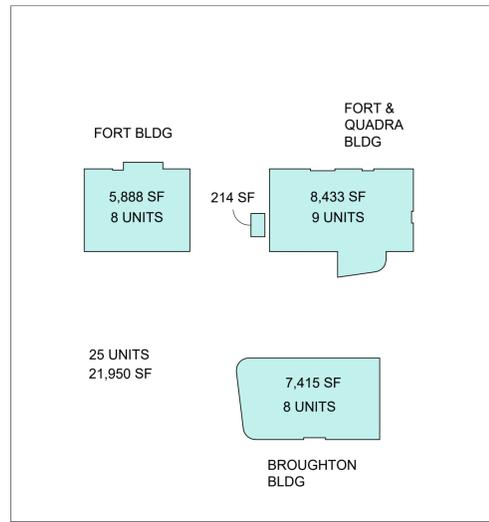
RESIDENTIAL UNIT SUMMARY		LEVEL - QUADRA STREET ENTRANCE										LEVEL - FORT STREET ENTRANCE										TOTAL	%	NOTES	
UNIT TYPE	AREA (SF)	1	2	3	4	5	6	7	8	9	10	1	2	3	4	5	6	7	8	9	10				
STUDIO																									
A1	428	1																				0	1	AFFORDABLE SENIOR UNIT	
A2	393		1	1	1	1	1	1															0	6	AFFORDABLE SENIOR UNIT
A3	625		1																				0	1	
A4	515														1	1	1	1	1	1	1		7	7	STUDENT UNIT
A5	386														2	2	2						6	6	STUDENT UNIT
A6	441														1	1	1	1	1	1	1		7	7	STUDENT UNIT
A7	483		1																				0	1	AFFORDABLE SENIOR UNIT
A8	501		1																				0	1	AFFORDABLE SENIOR UNIT
SUB-TOTAL		0	3	2	1	1	1	1	1	1	0	0	0	0	2	4	4	4	2	2	2	0	20	30	10.7%
1 BEDROOM																									
B1	663										1												0	1	
B2	664		1	1	1	1	1																0	5	
B3	525														1	1	1	1	1	1	1		7	7	STUDENT UNIT
B4	586			2	2	2	2	2	2	2													0	14	
B5	605			1	1	1	1	1	1	1													0	6	
B6	582			1																			0	1	
B7	566				3	3	3	3															0	12	
B8	542			1	1	1	1	1	1	1													0	7	
B9	555										1												0	1	
B10	622														1	1	1	1	1	1	1		7	7	STUDENT UNIT
B11	459			1	1	1	1	1														1	0	5	AFFORDABLE SENIOR UNIT
B12	434																				1		1	1	STUDENT UNIT
B13	697											1											0	1	
B14	601			1	1	1	1	1	1	1					1	1	1	1	1	1	1		7	14	STUDENT UNIT (FORT STREET ENTRANCE)
B15	688										1												0	1	
B16	743										1												0	1	
B17	545											1											0	1	
B18	425																						0	1	
B19	486																					1	1	1	STUDENT UNIT
B20	509																						2	2	STUDENT UNIT
B21	597											1											0	1	
B22	568											1											0	1	
B23	580														1	1	1	1	1	1	1		7	7	STUDENT UNIT
B24	636											1											0	1	
B25	785																						0	1	
B26	701																						0	1	
B27	617																						0	2	
B28	504														1	1	1	1	1	1	1		7	7	STUDENT UNIT
B29	466														1	1	1	1	1	1	1		7	7	STUDENT UNIT
B30	540																						0	1	
B31	774																						0	1	
B32	617																						2	2	
SUB-TOTAL		0	3	11	11	10	10	9	7	8	8	77	0	0	6	4	46	123	43.9%						
1 BEDROOM + FELX																									
C1	706			5	5	5	5																0	25	
C2	689										1												0	1	
C3	770				1	1	1	1	1	1	1												0	7	
C4	637				2	1	1	1															0	5	
SUB-TOTAL		0	5	8	7	7	7	2	1	1	0	38	0	38	13.6%										
2 BEDROOM																									
D1	814			1	1	1	1	1	1	1	1												0	8	
D2	888			1	1	1	1	1	1	1	1												0	7	
D3	852				1	1	1	1	1	1													0	6	
D4	884			1	1	1	1	1	1	1	1												0	8	
D5	970				2	2	2	2															0	8	
D6	810										1												0	1	
D7	800											1											0	2	
D8	887											1											0	1	
D9	768																						0	2	
D10	910																						0	2	
D11	691											1											0	1	
D12	716																						0	1	
D13	718																						0	1	
D14	755																						1	1	
D15	727																						1	1	
D16	870																						0	1	
D17	936																						0	1	
D18	889																						0	1	
D19	829					1	1	1	1	1	1												0	7	
D20	588				1	1	1	1	1	1	1												0	7	
D21	657																						0	2	
D22	846																								



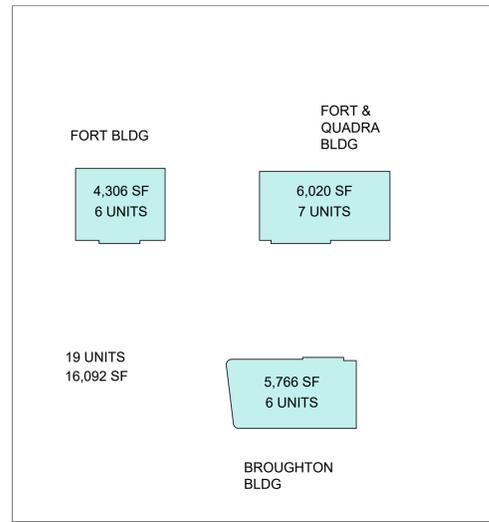
3 LEVEL 2



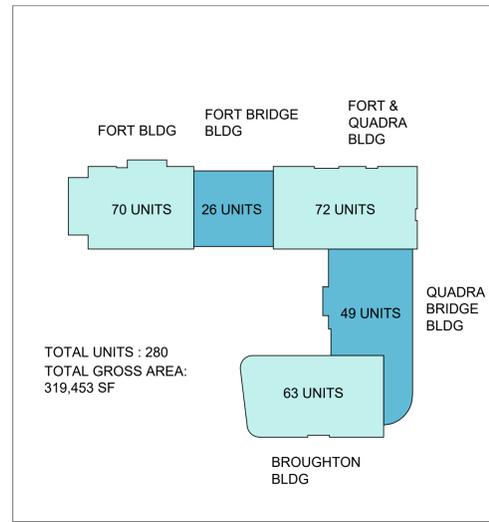
6 LEVEL 5



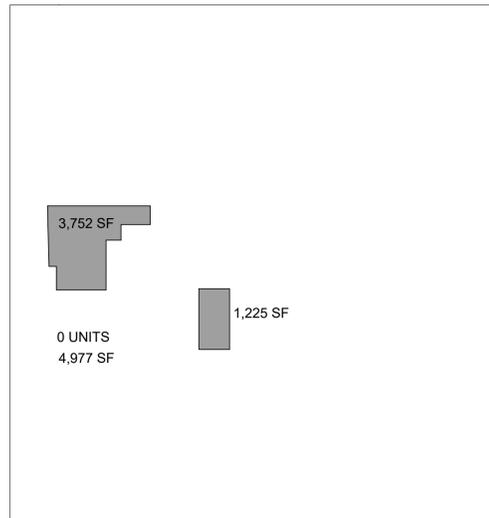
9 LEVEL 8



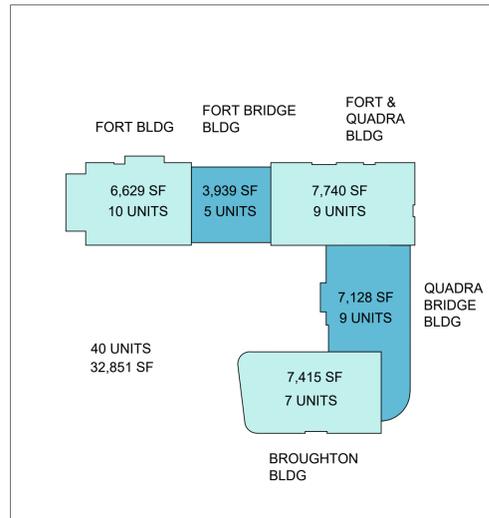
11 LEVEL 10



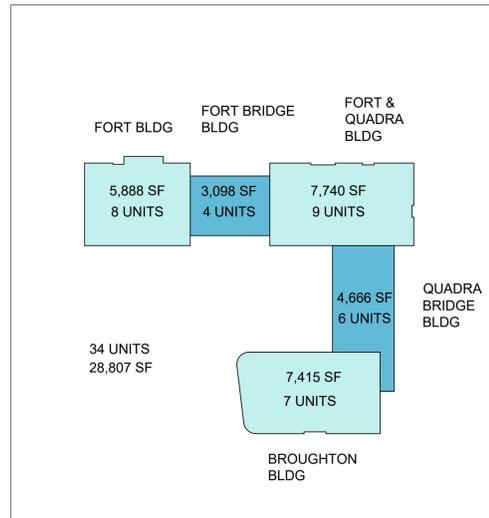
13 TOTAL



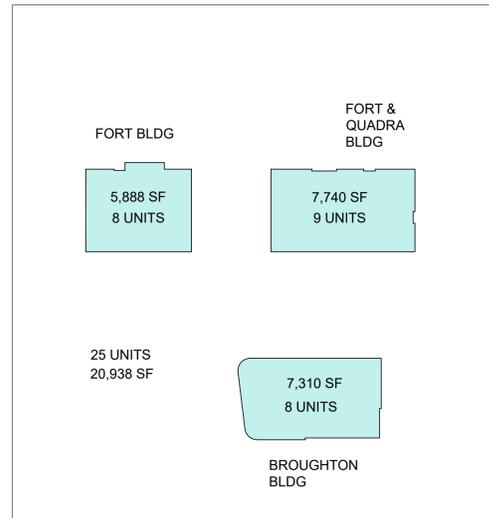
2 MECHANICAL LEVEL



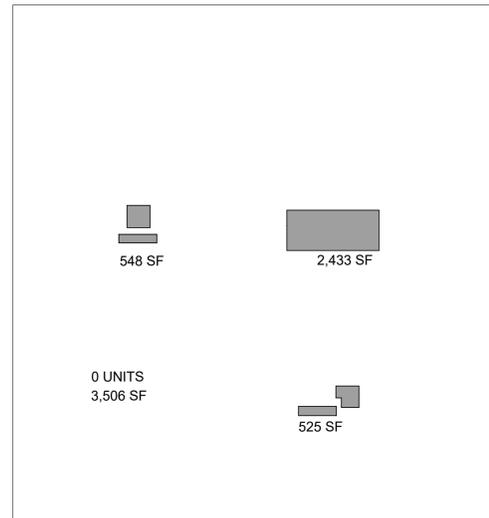
5 LEVEL 4



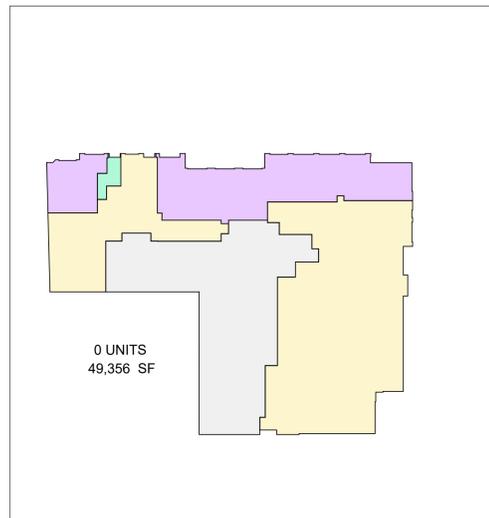
8 LEVEL 7



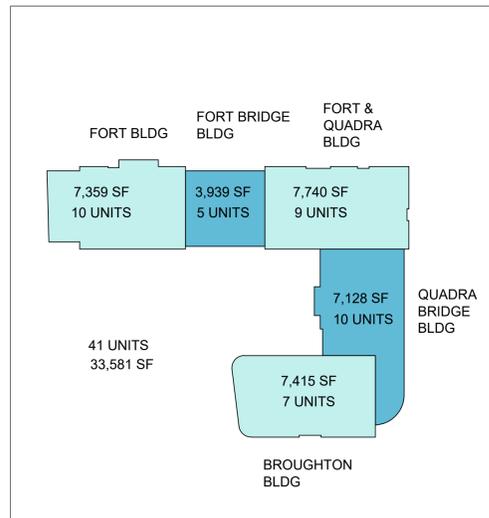
10 LEVEL 9



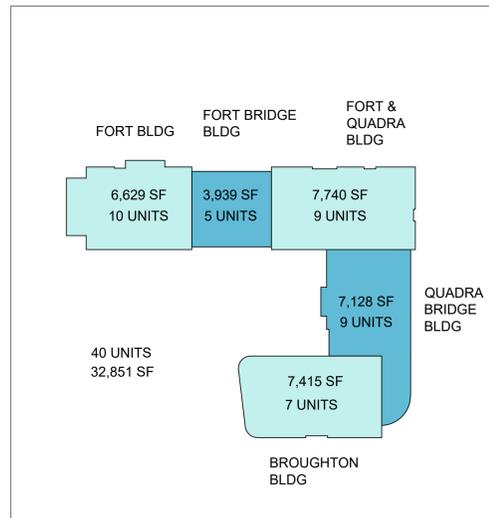
12 ROOF



1 LEVEL 1



4 LEVEL 3



7 LEVEL 6

BUILDING BREAKDOWN FLOOR AREA CALCULATIONS

LEVEL	FORT BUILDING (SF)	FORT BRIDGE BUILDING (SF)	FORT / QUADRA BUILDING (SF)	QUADRA BRIDGE BUILDING (SF)	BROUGHTON BUILDING (SF)	TOTAL
1						49,356
MECHANICAL						4,977
2	9,315	3,939	9,017	11,984	7,438	41,693
3	7,359	3,939	7,740	7,128	7,415	33,581
4	6,629	3,939	7,740	7,128	7,415	32,851
5	6,629	3,939	7,740	7,128	7,415	32,851
6	6,629	3,939	7,740	7,128	7,415	32,851
7	5,888	3,098	7,740	4,666	7,415	28,807
8	5,888	214	8,433	0	7,415	21,950
9	5,888	0	7,740	0	7,310	20,938
10	4,306	0	6,020	0	5,766	16,092
ROOF	548	0	2,433	0	525	3,506
TOTAL						319,453

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

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CLIENT

parc retirement living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

AREA DIAGRAMS

SCALE

DRAWING NO. REVISION

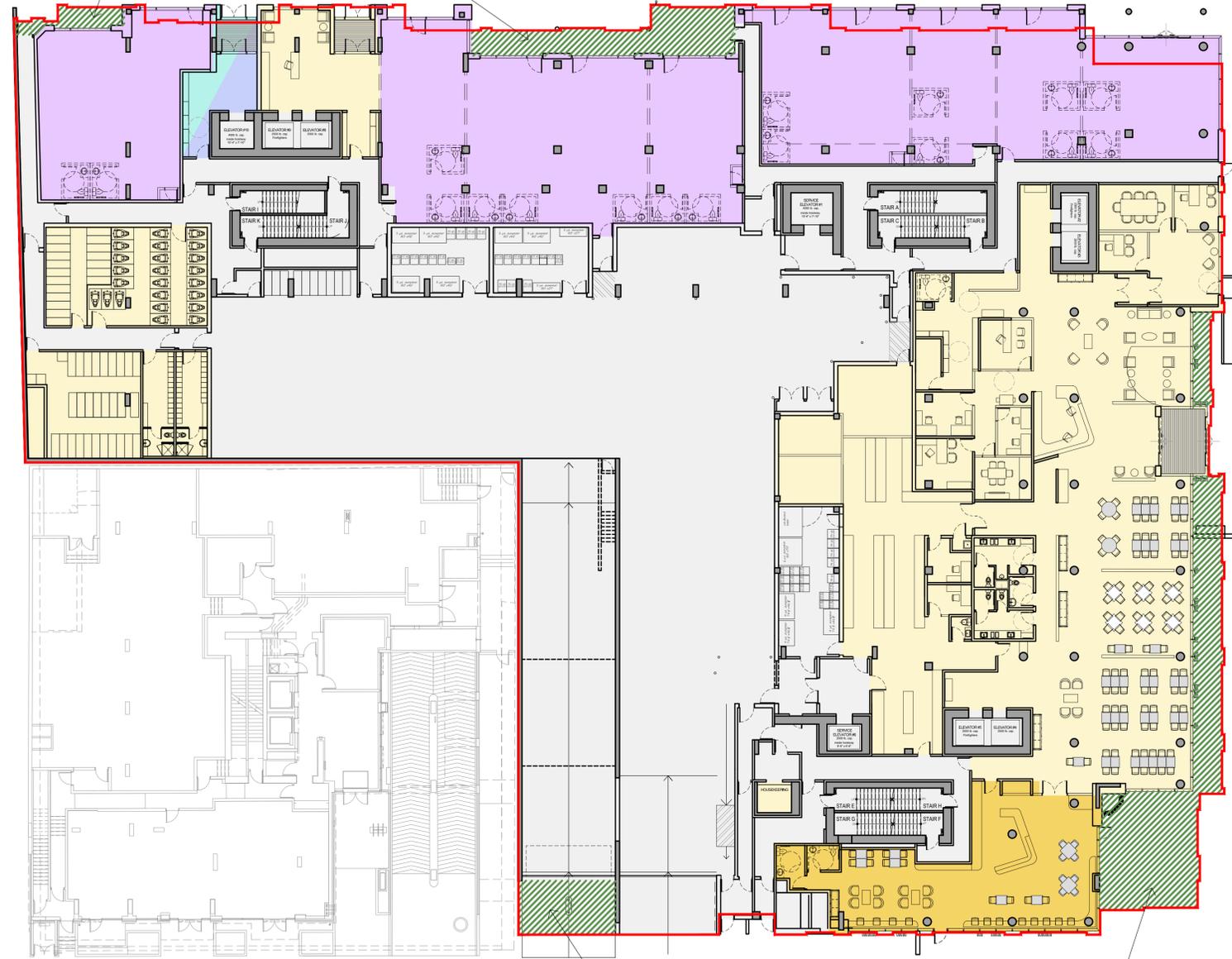
A004

DATE APR 2017

SCALE 1/64" = 1'-0"

ADDITIONAL AREAS OF OPEN SPACE

LINE OF PREVIOUSLY SUBMITTED BUILDING FOOTPRINT



ADDITIONAL AREAS OF OPEN SPACE

REVISIONS

NO.	DESCRIPTION	DATE
1	RE-ISSUED FOR REZONING & DP	16 JAN 2019
2	RE-ISSUED FOR ADP	24 APR 2019
3	RE-ISSUED FOR REZONING & DP	29 MAY 2019
4	RE-ISSUED FOR REZONING & DP	28 AUG 2020
5	RE-ISSUED FOR REZONING & DP	05 MAY 2021

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CLIENT
parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**COMPARISON
DIAGRAM - LEVEL 1**

SEAL

DRAWING NO. REVISION

A005

DATE
APR 2017

SCALE
1/16" = 1'-0"



1 VIEW OF BUILDING NORTH-EAST AT FORT & QUADRA STREET



2 VIEW OF FORT STREET COMMERCIAL & RETAIL UNITS

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
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RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

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CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

3D PERSPECTIVES

SEAL

DRAWING NO.

REVISION

A006

DATE

DRAWN

APR 2017

SCALE

CHECKED

N.T.S.



1 VIEW OF BUILDING SOUTH-EAST FROM PIONEER SQUARE



2 VIEW OF "GREEN CORRIDOR" & SOUTH-WEST VIEW FROM BROUGHTON STREET

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
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CLIENT

parc
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PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

3D PERSPECTIVES

SEAL

DRAWING NO.

REVISION

A007

DATE

DRAWN

APR 2017

SCALE

CHECKED

N.T.S.



1 VIEW OF PROPOSED BUILDING GREEN ROOFS AND SURROUNDING CONTEXT



2 VIEW OF COURTYARD & GREEN ROOFS FROM ROOF OF ESCHER BUILDING



3 VIEW OF FORT BUILDING ENTRANCE AND ADJACENT BUILDING



4 VIEW OF SENIORS' COURTYARD ON LEVEL 2

REVISIONS

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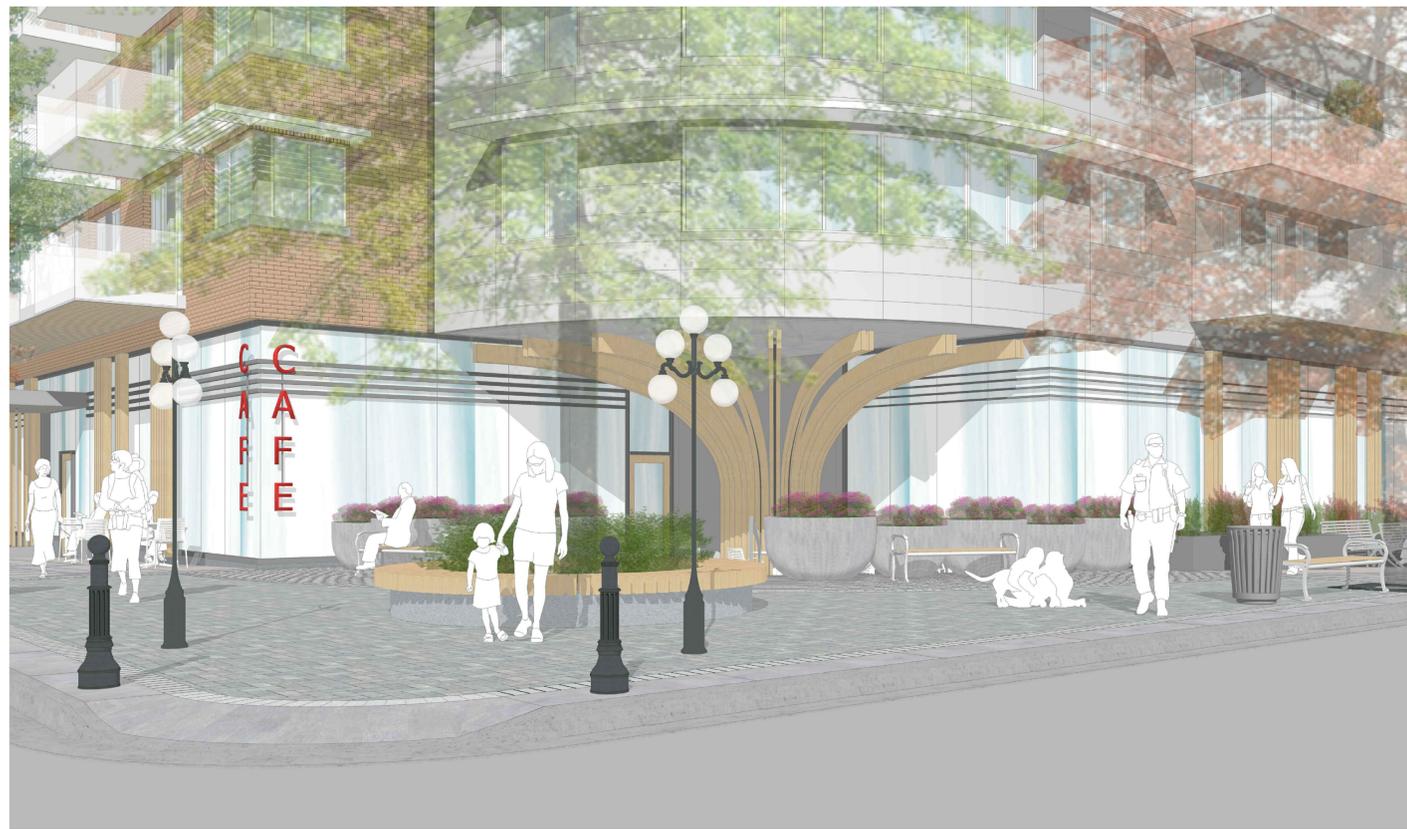
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1 VIEW OF BROUGHTON AND QUADRA CORNER



2 VIEW OF CAFE ENTRANCE AT BROUGHTON



3 VIEW OF URBAN CAFE CORNER AT BROUGHTON AND QUADRA



4 VIEW OF MAIN ENTRANCE AT QUADRA

REVISIONS

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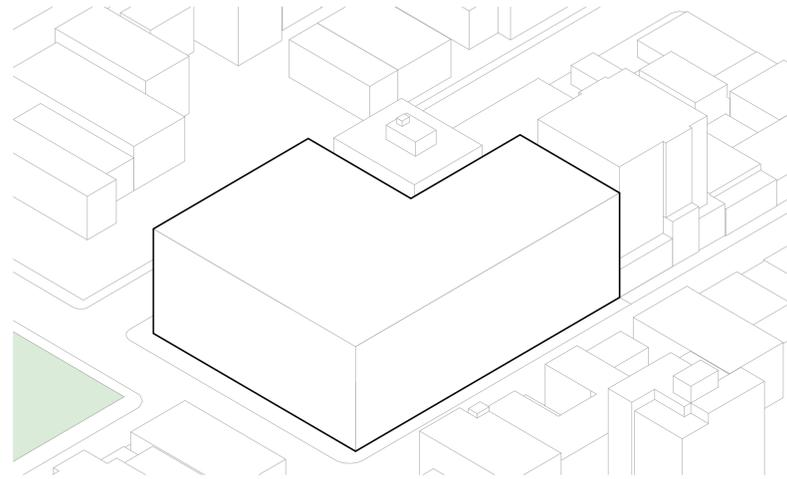
DRAWING TITLE
3D PERSPECTIVES

SCALE

DRAWING NO. REVISION

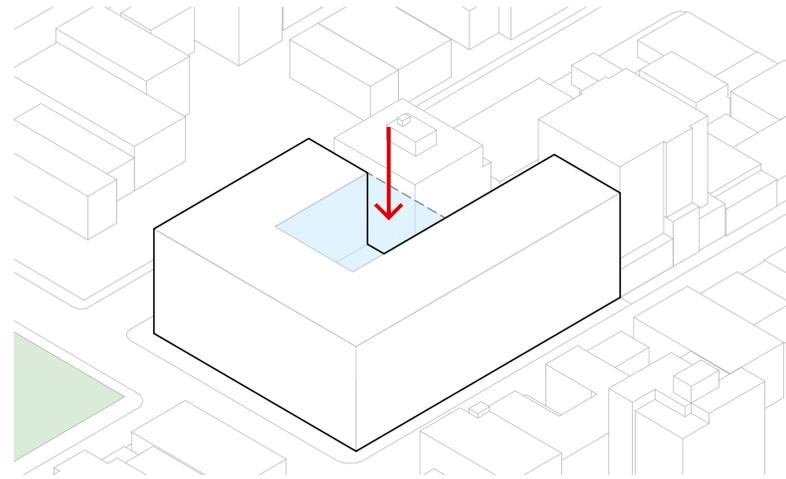
A009

DATE APR 2017
SCALE N.T.S.
DRAWN CHECKED



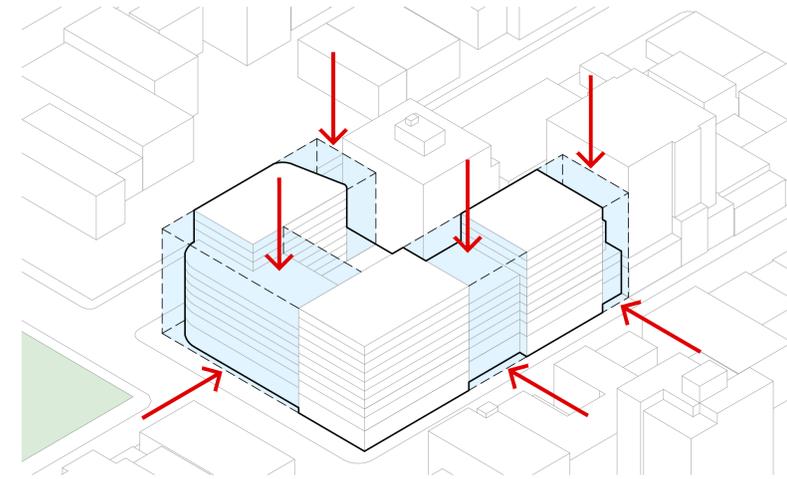
INITIAL MASSING POTENTIAL

Initial massing is created by taking the site footprint and extruding it up 30 m.



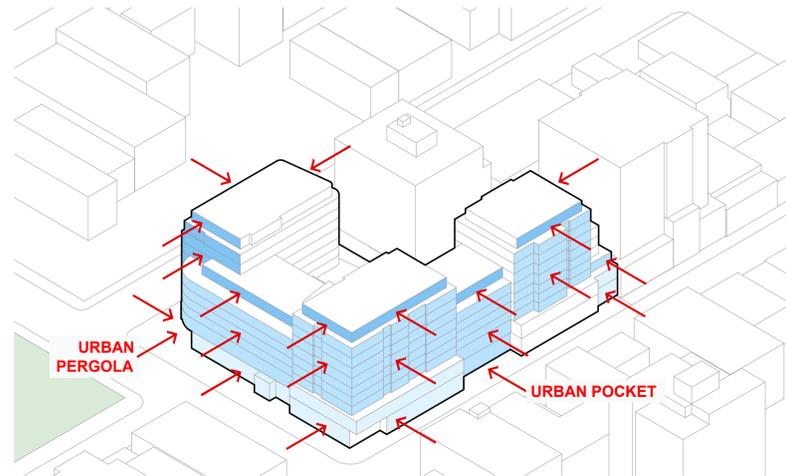
INTERNAL COURTYARD

An internal courtyard is created following extraction from the center of the initial massing.



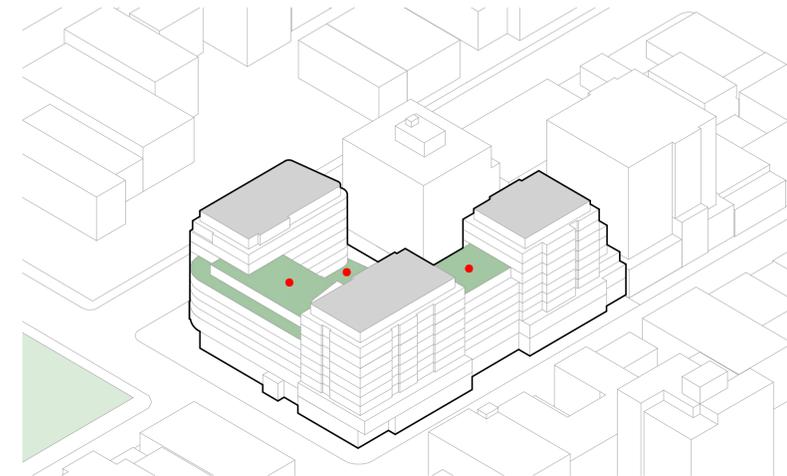
CARVE

The massing is carved in response to context to create view corridors and a sense of openness through the site.



STEPPED SETBACKS

The building is stepped back in response to City of Victoria guidelines and policies including the Downtown Core Area Plan as well as site context and existing and future urban fabric, creating a facade that acknowledges the scale of the neighbourhood. The southeast corner is articulated in reference to Pioneer Square and Christ Church Cathedral across the street.



GREEN ROOFS

Carving and mass reduction provide the opportunity for terraced green roofs. Rooftop amenity spaces offer residents the ability to enjoy year-round activities. These amenities will be accessible to the public at certain times of the day.

- Potential roof top PV panels / solar hot water collector
- Accessible green roof
- Roof top Amenity

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PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential &
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DRAWING TITLE
**FORM OF DEVELOPMENT -
MAIN LEVEL SETBACKS**

SCALE

DRAWING NO. REVISION

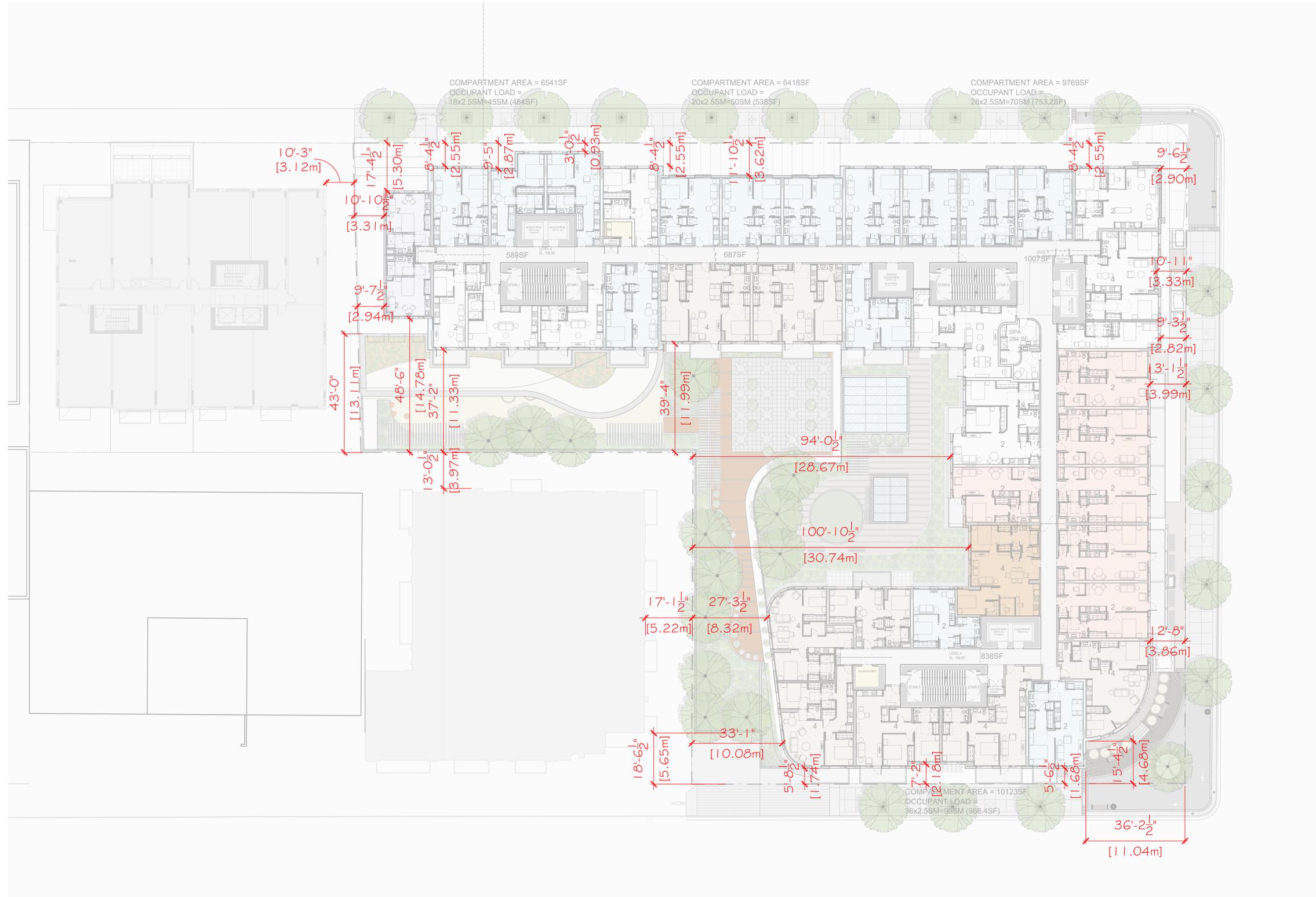
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DATE APR 2017
SCALE N.T.S.
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REVISIONS

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PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
FORM OF DEVELOPMENT - TYPICAL LEVEL SETBACKS

SEAL

DRAWING NO. REVISION

A013

DATE APR 2017
SCALE N.T.S.



FUTURE ROOF PV PANELS

TRIPLE GLAZING IN METAL & VINYL WINDOWS ON RESIDENTIAL LEVELS

RATIO OF RESIDENTIAL GLAZING TO SOLID WALL: LESS THAN 40%

RAINSCREEN WALL ASSEMBLY

FUTURE ROOF PV PANELS



QUADRA BUILDING BALCONIES & BRISE SOLEIL ACT AS SHADING DEVICES

QUADRA & BROUGHTON BUILDINGS MAIN LEVEL VERTICAL STREET LEVEL SHADING



FUTURE ROOF PV PANELS

SOUTH FACING SHADING DEVICES & BALCONIES

GREEN ROOFS TO REDUCE STORM WATER RUNOFF & HEAT ISLAND EFFECT

REVISIONS

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PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
FORM OF DEVELOPMENT - ENVELOPE / PASSIVE DESIGN STRATEGIES

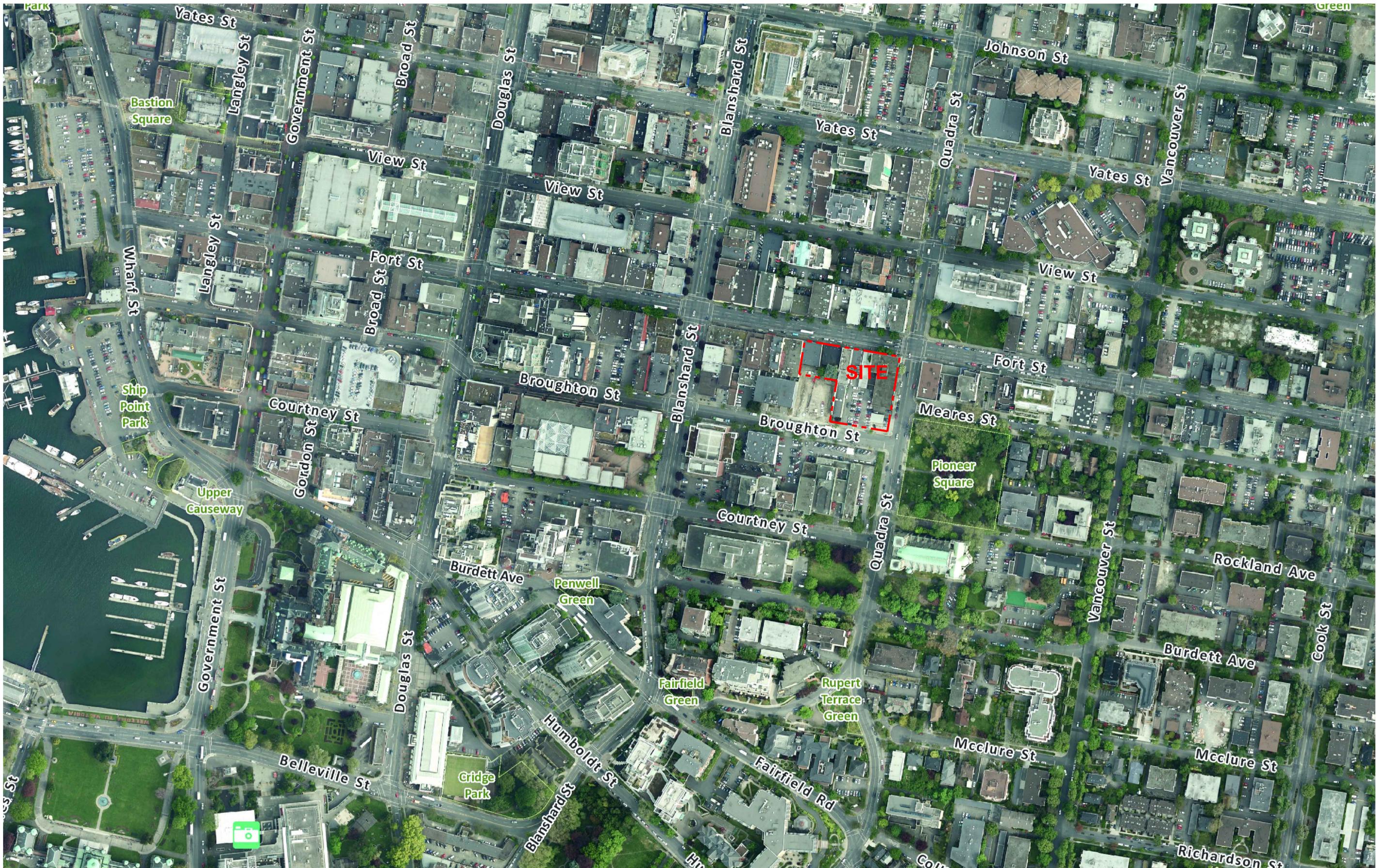
SCALE

DRAWING NO. REVISION

A014

DATE APR 2017 DRAWN

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PROJECT
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Mixed Use Seniors Residential &
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DRAWING TITLE
AERIAL

SCALE

DRAWING NO. REVISION

A100

DATE APR 2017
SCALE N.T.S.
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PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE
CONTEXT PLAN

SCALE

DRAWING NO. DRAWN

A101

DATE APR 2017
SCALE 1:500
CHECKED



1 AERIAL VIEW OF THE BUILDING & CONTEXT

REVISIONS

NO.	DESCRIPTION	DATE
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PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE
CONTEXT
3D VIEWS

SCALE

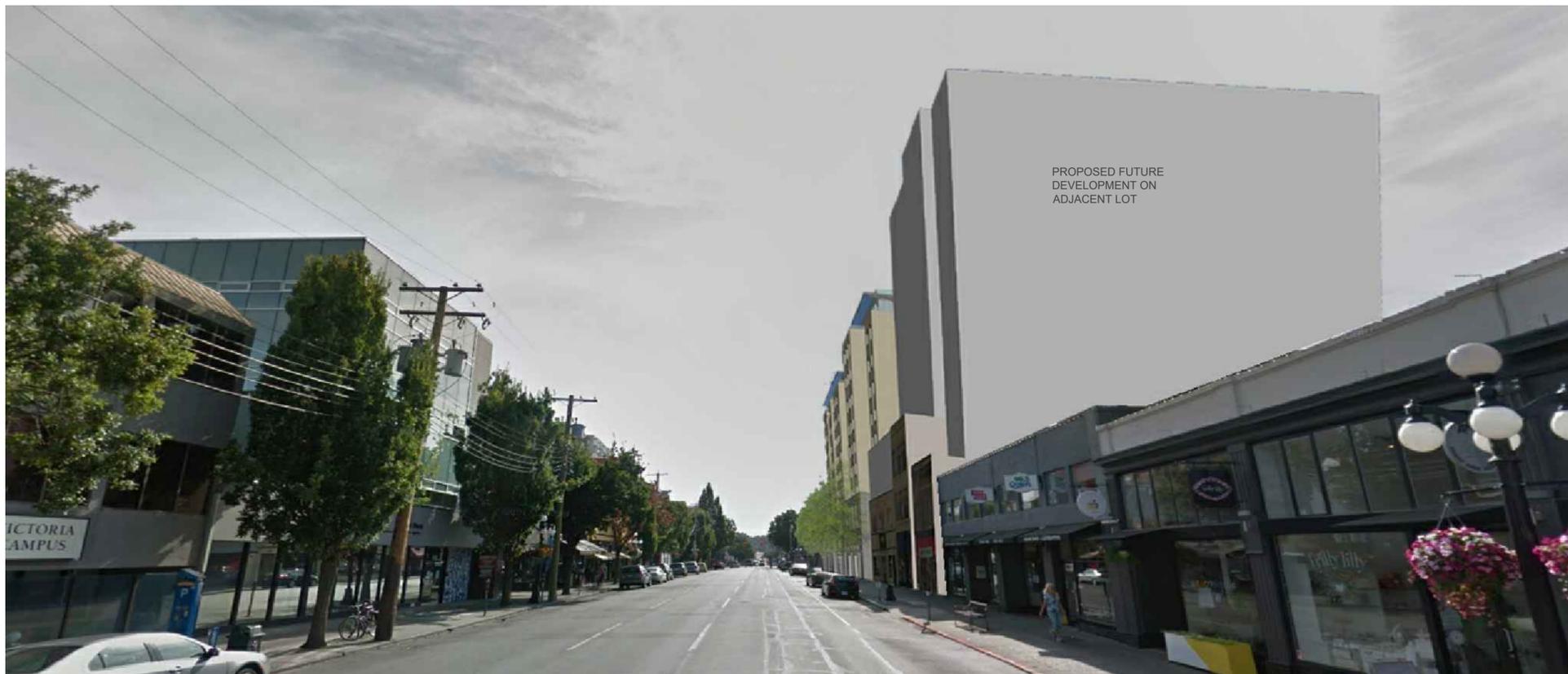
DRAWING NO. REVISION

A102

DATE APR 2017
SCALE 1:500
DRAWN CHECKED



① STREET VIEW AT FORT LOOKING WEST



② STREET VIEW AT FORT LOOKING EAST

REVISIONS

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Mixed Use Seniors Residential &
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DRAWING TITLE

CONTEXT
3D VIEWS

SEAL

DRAWING NO.

REVISION

A103

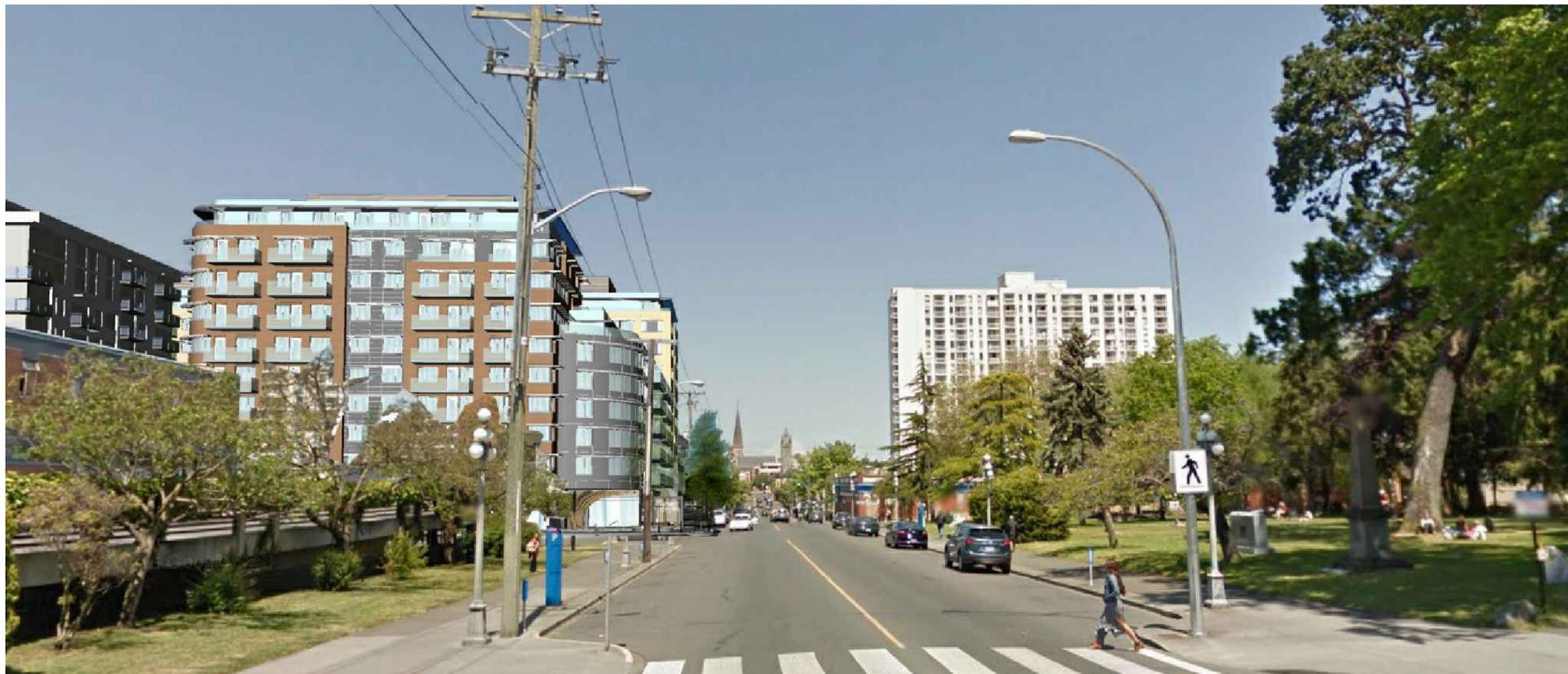
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APR 2017

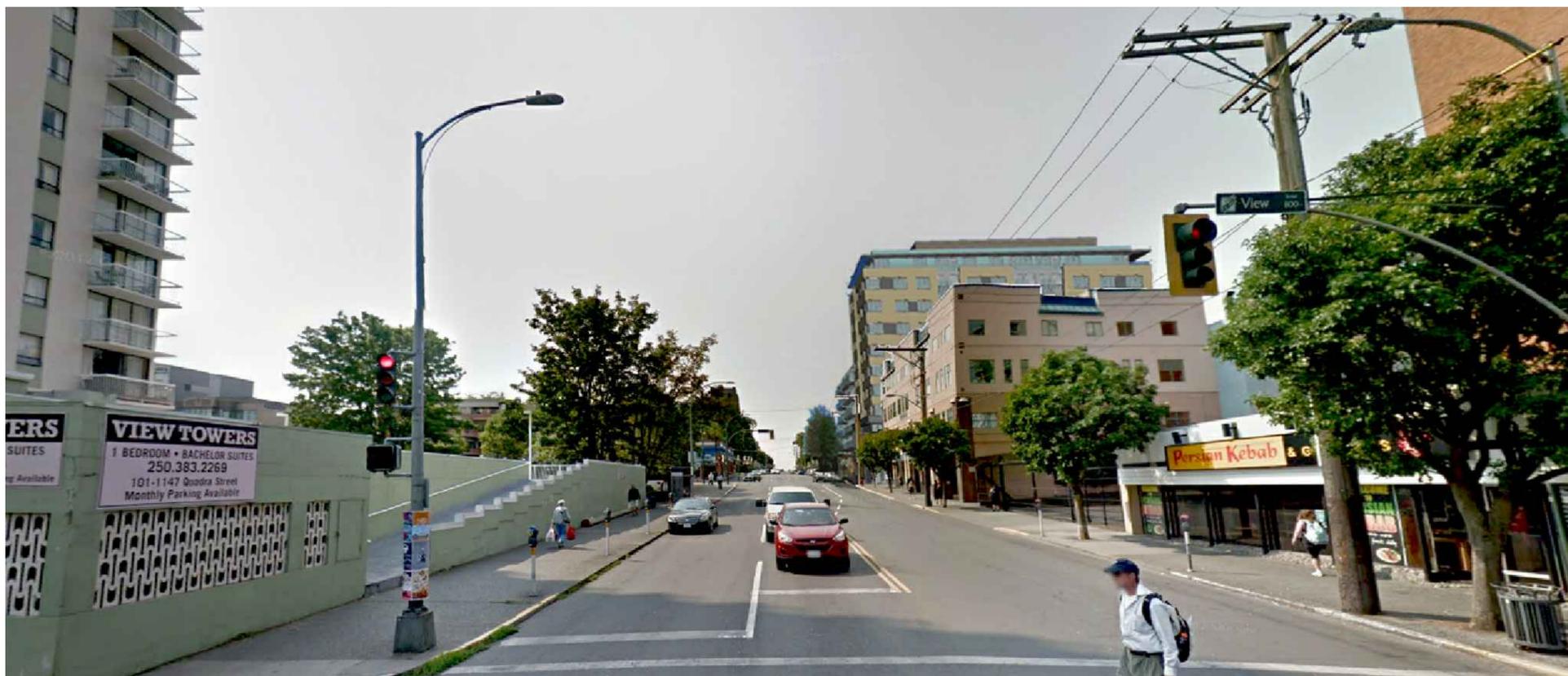
SCALE

1:500

CHECKED



① STREET VIEW AT QUADRA LOOKING NORTH



② STREET VIEW AT QUADRA LOOKING SOUTH

REVISIONS

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Commercial Development

DRAWING TITLE

CONTEXT
3D VIEWS

SEAL

DRAWING NO.

REVISION

A104

DATE

APR 2017

SCALE

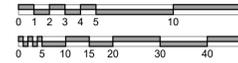
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PROJECT
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DRAWING TITLE

P1 LEVEL FLOOR PLAN

SCALE

DRAWING NO. REVISION

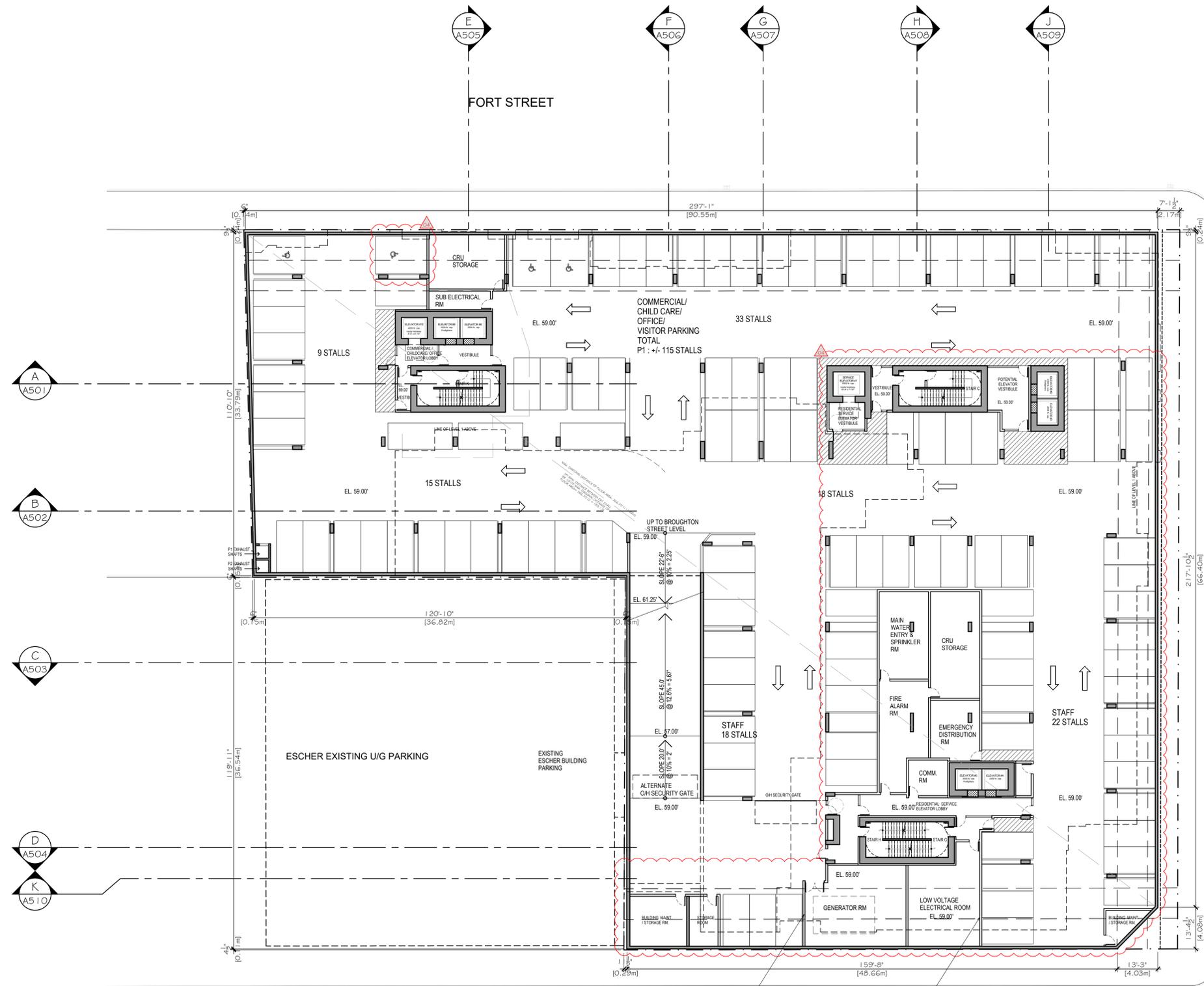
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DATE DRAWN

APR 2017

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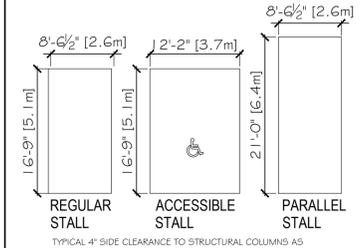


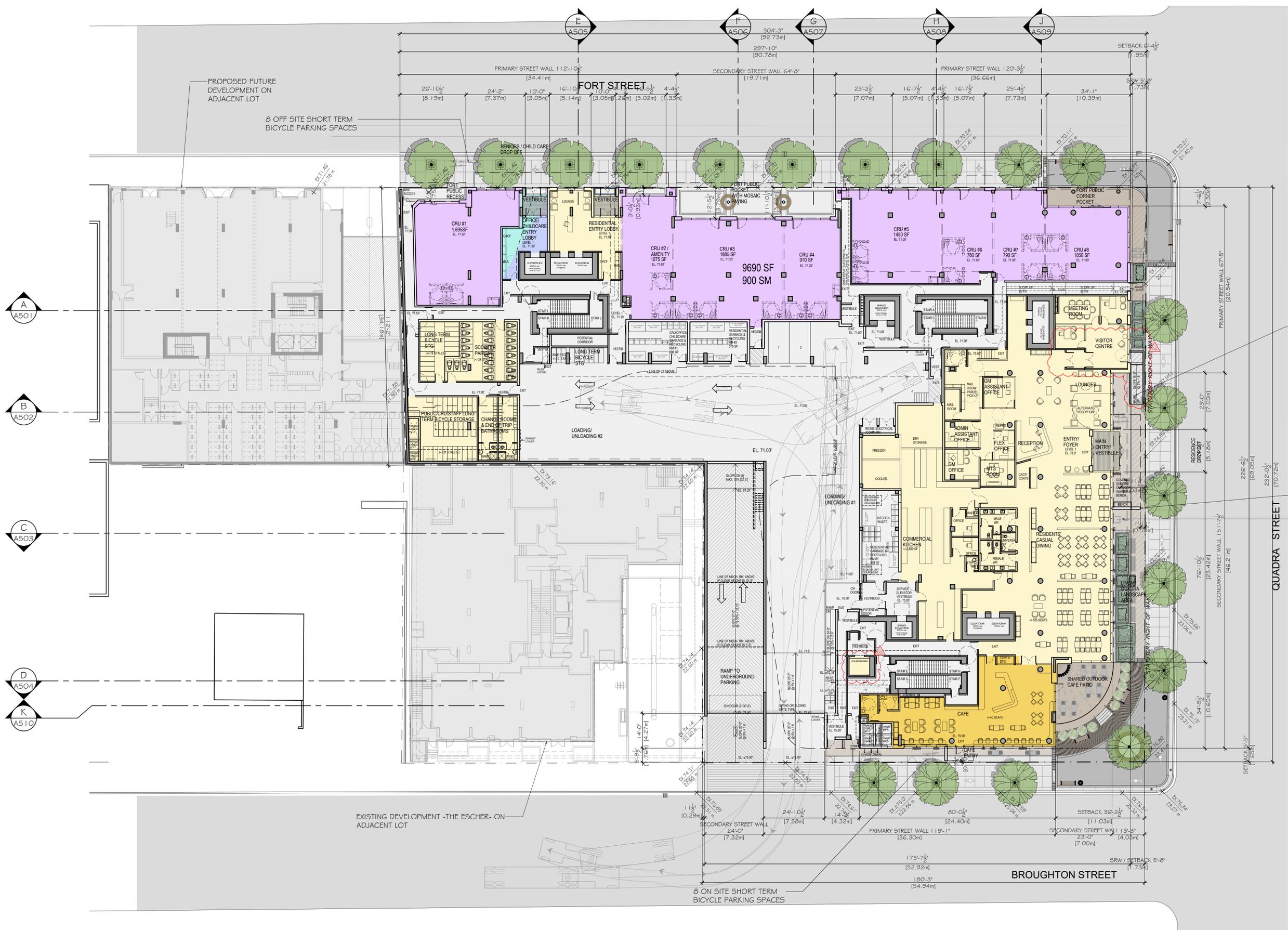
P1 PARKING AREA: 52,802 SF
P1 : +/- 115 STALLS
P2 : +/- 92 STALLS
L1 : +/- 2 STALLS
TOTAL : +/- 209 STALLS

NOTES

- FOR DIMENSIONS OF PARKING STALLS, REFER DWG A300A - A302C
- BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS

PARKING STALL SIZE





COLOR LEGEND

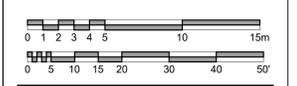
- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN
 (formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street Vancouver, BC V6C 2G8
 T 604 662 8544 F 604 662 4060
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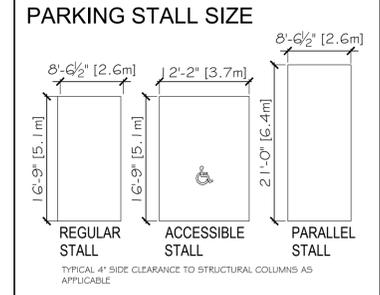
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6 ON SITE SHORT TERM BICYCLE PARKING SPACES.

DEMOUNTABLE
4 ON SITE SHORT TERM BICYCLE PARKING SPACES.

- NOTES**
- FOR DIMENSIONS OF PARKING STALLS, REFER TO DWG A300A - A302C
 - FOR FINISH GRADE ELEVATIONS, REFER TO CIVIL DRAWINGS
 - BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO MEET REQUIREMENTS.



parc retirement living

PROJECT NO: 17420

PROJECT: **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

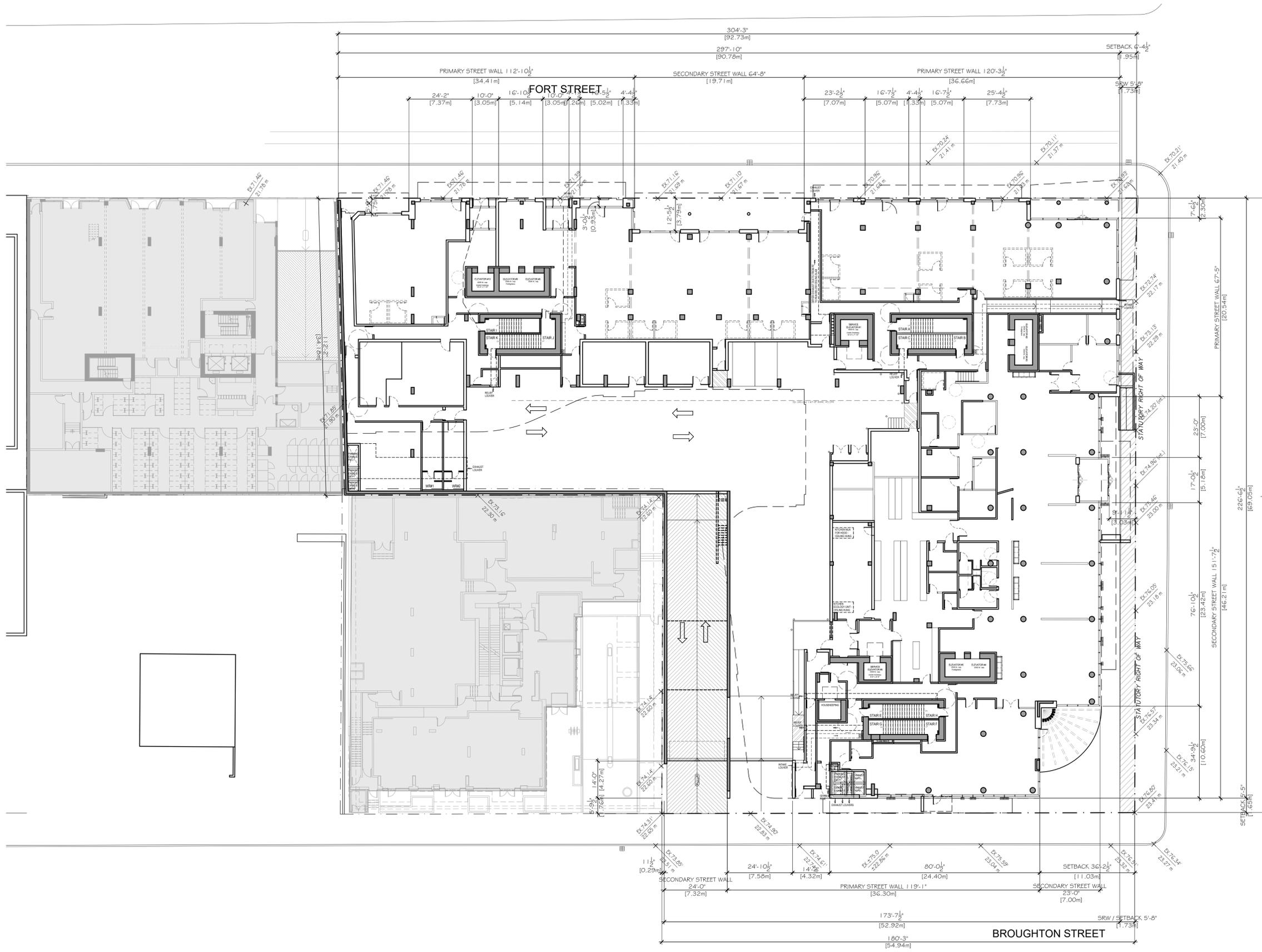
DRAWING TITLE: **SITE PLAN / LEVEL 1 FLOOR PLAN**

SCALE: 1:200

A202A

DATE: _____ DRAWN: _____

SCALE: 1:200 CHECKED: _____



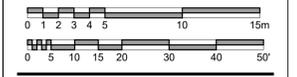
COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
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5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

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CLIENT
parc retirement living

PROJECT NO. 17420
PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

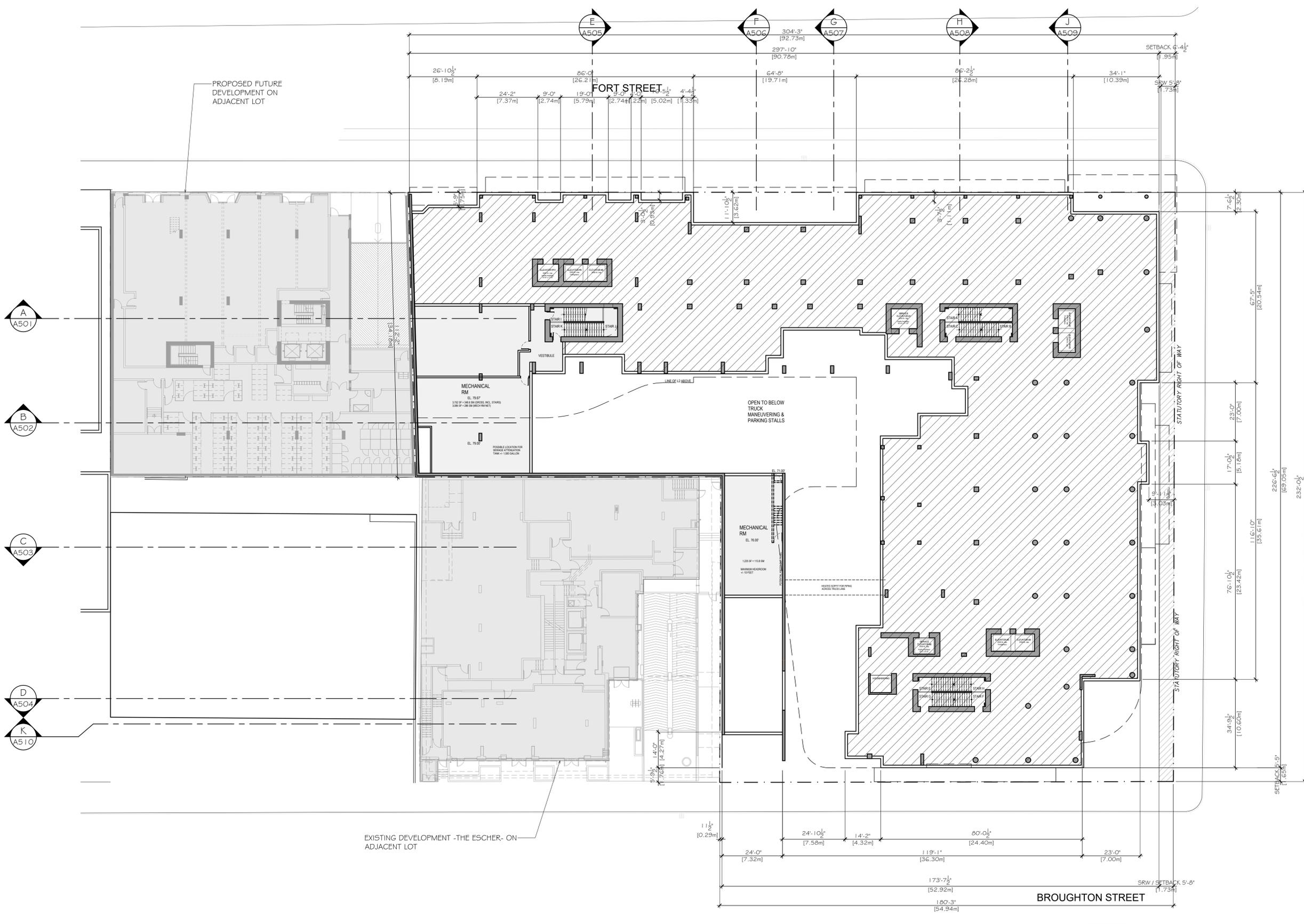
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SITE PLAN / LEVEL 1 FLOOR PLAN

SCALE

DRAWING NO. REVISION

A202B

DATE DRAWN
SCALE CHECKED
1:200



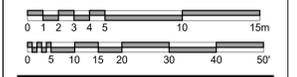
COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
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- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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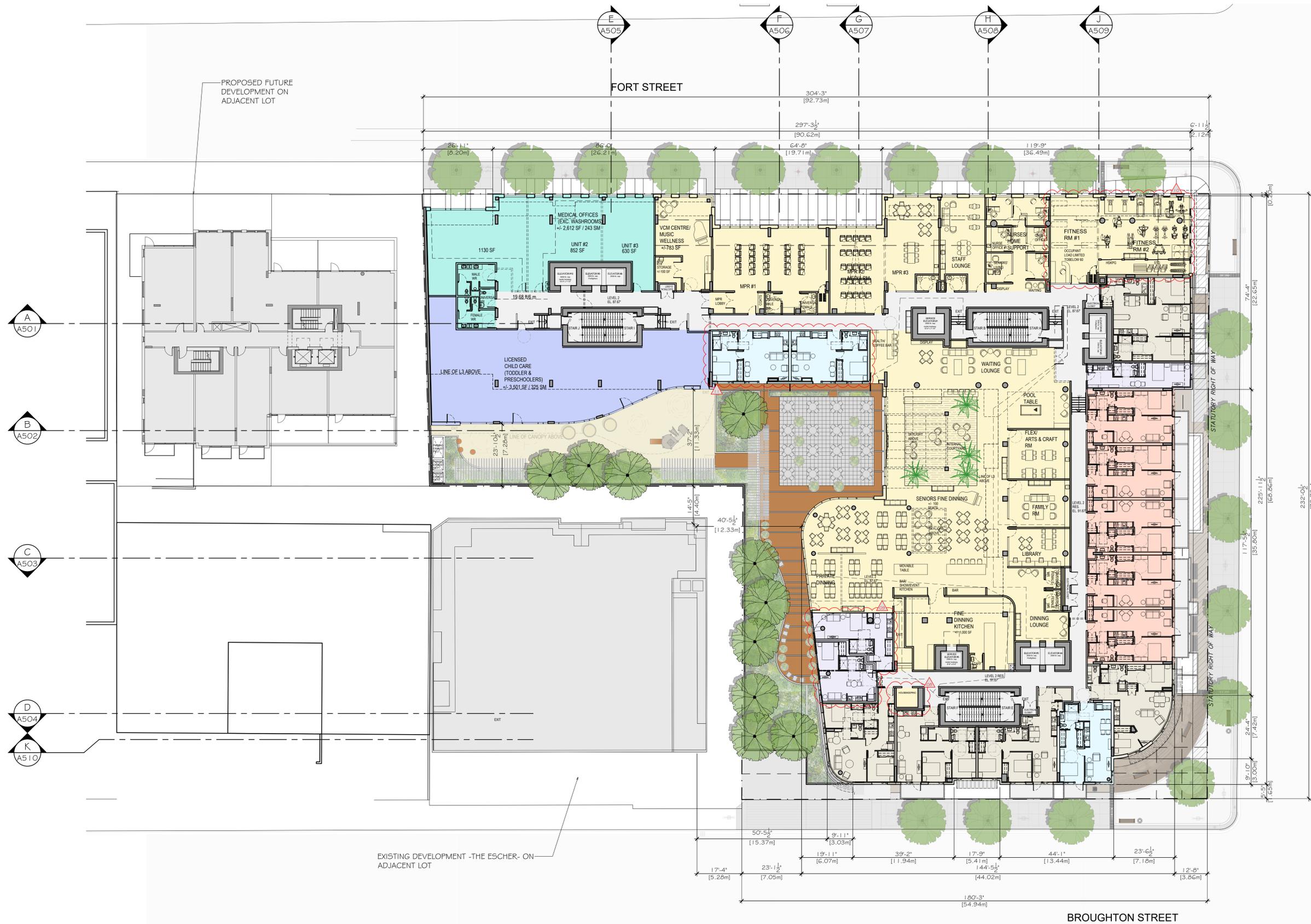
DRAWING TITLE
MECHANICAL LEVEL FLOOR PLAN

SEAL

DRAWING NO.	REVISION
	-

A203

DATE _____ DRAWN _____
 SCALE _____ CHECKED _____
 1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

CLIENT: **parc retirement living**

PROJECT NO: 17420

PROJECT: **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: **LEVEL 2 FLOOR PLAN**

DRAWING NO: A204

SCALE: 1:200

NOTES

- BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS.



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

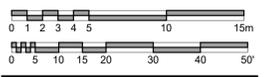
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PROJECT NO. 17420

PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **LEVEL 3 UNITS FLOOR PLAN**

NOTES

- BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS.

DATE _____ DRAWN _____

SCALE _____ CHECKED _____

1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

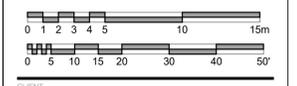
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PROJECT NO. 17420
 PROJECT PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
LEVEL 4 FLOOR PLAN

SEAL

DRAWING NO. _____ REVISION _____

A206

DATE _____ DRAWN _____
 SCALE _____ CHECKED _____
 1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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N

0 1 2 3 4 5 10 15m
 0 5 10 15 20 30 40 50'

parc retirement living

PROJECT NO: 17420

PROJECT: **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: **LEVEL 5 FLOOR PLAN**

SEAL: _____

DRAWING NO: _____ REVISION: _____

A207

DATE: _____ DRAWN: _____

SCALE: _____ CHECKED: _____

1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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NO.	DESCRIPTION	DATE
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N

0 1 2 3 4 5 10 15m
 0 5 10 15 20 30 40 50'

parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **LEVEL 6 FLOOR PLAN**

SEAL

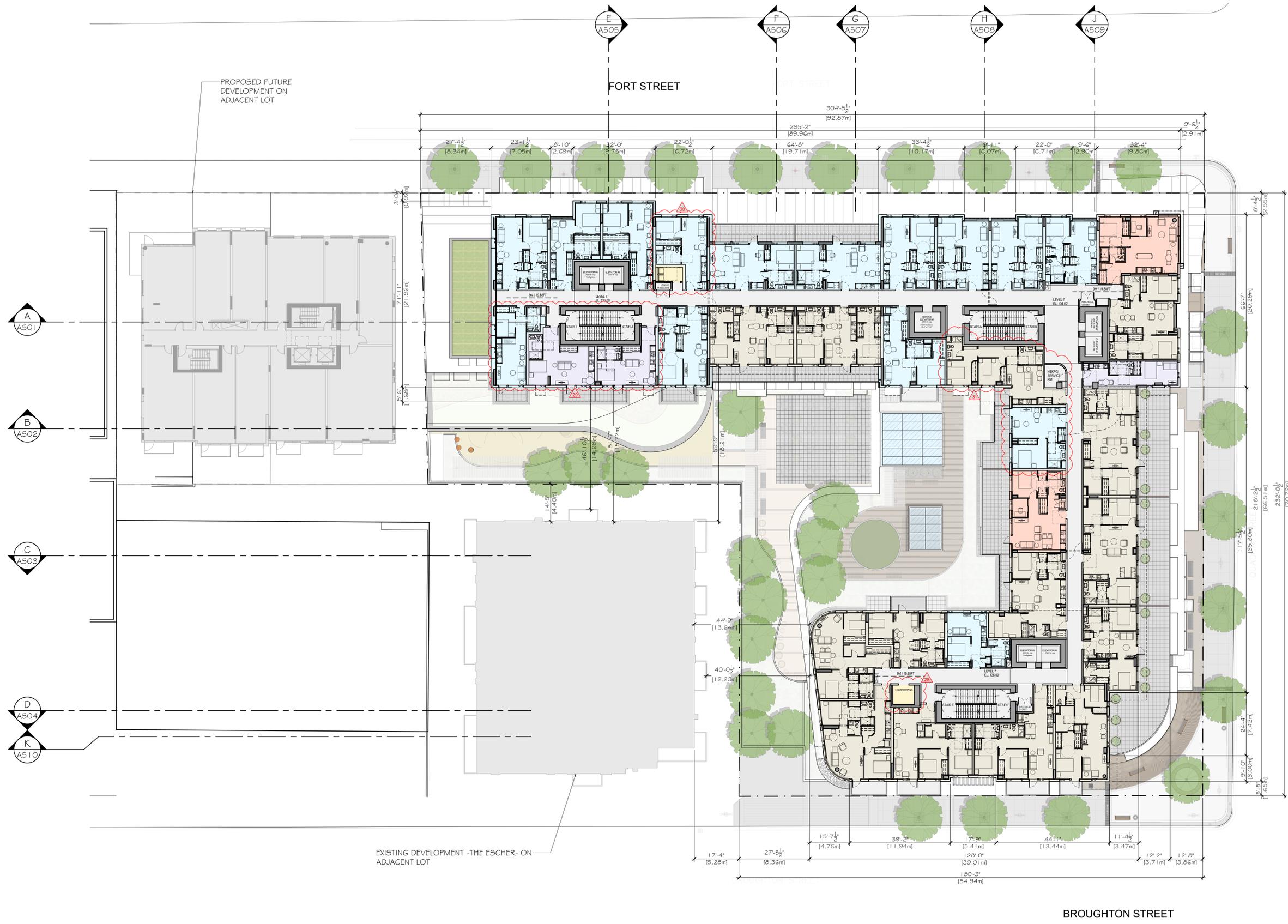
DRAWING NO. REVISION

A208

DATE _____ DRAWN _____

SCALE _____ CHECKED _____

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COLOR LEGEND

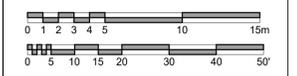
- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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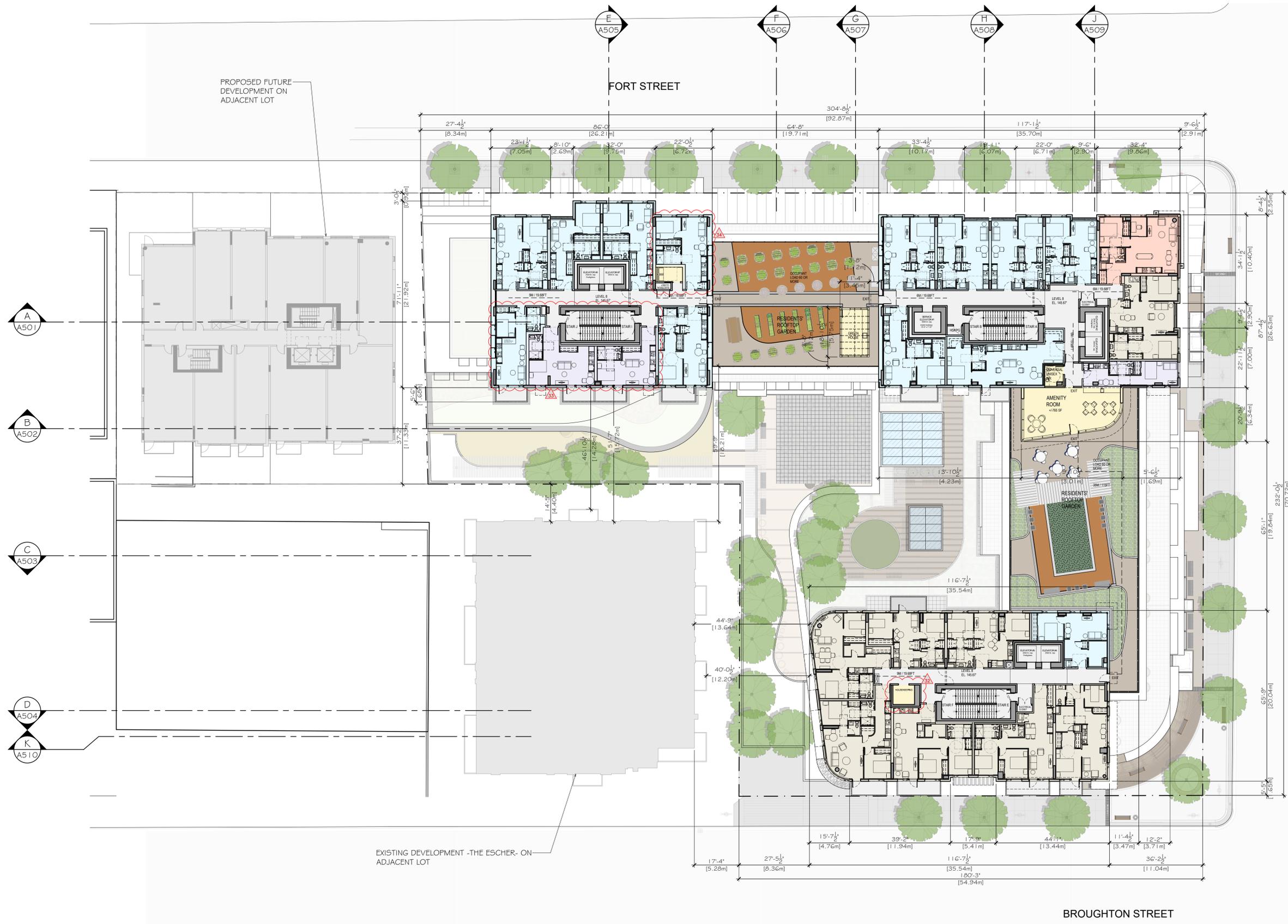
DRAWING TITLE
LEVEL 7 FLOOR PLAN

SCALE

DRAWING NO. REVISION
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A209

DATE DRAWN
 SCALE CHECKED
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COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

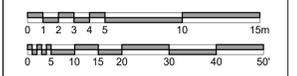
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 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **LEVEL 8 FLOOR PLAN**

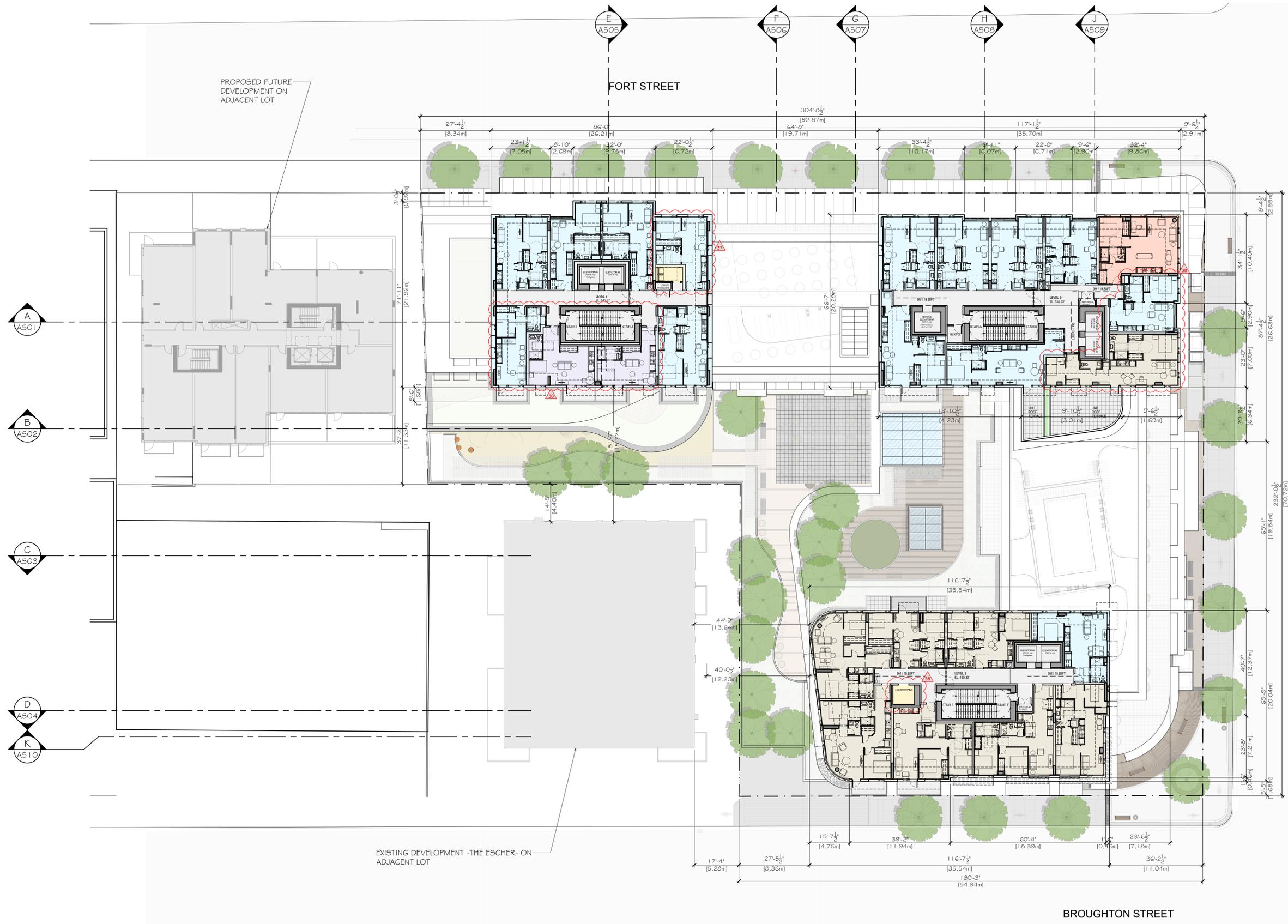
SCALE

DRAWING NO. REVISION

A210

DATE DRAWN
 SCALE 1:200
 CHECKED

NOTES
 1. BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS.



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

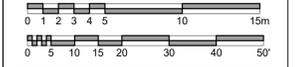
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 PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **LEVEL 9 FLOOR PLAN**

SCALE

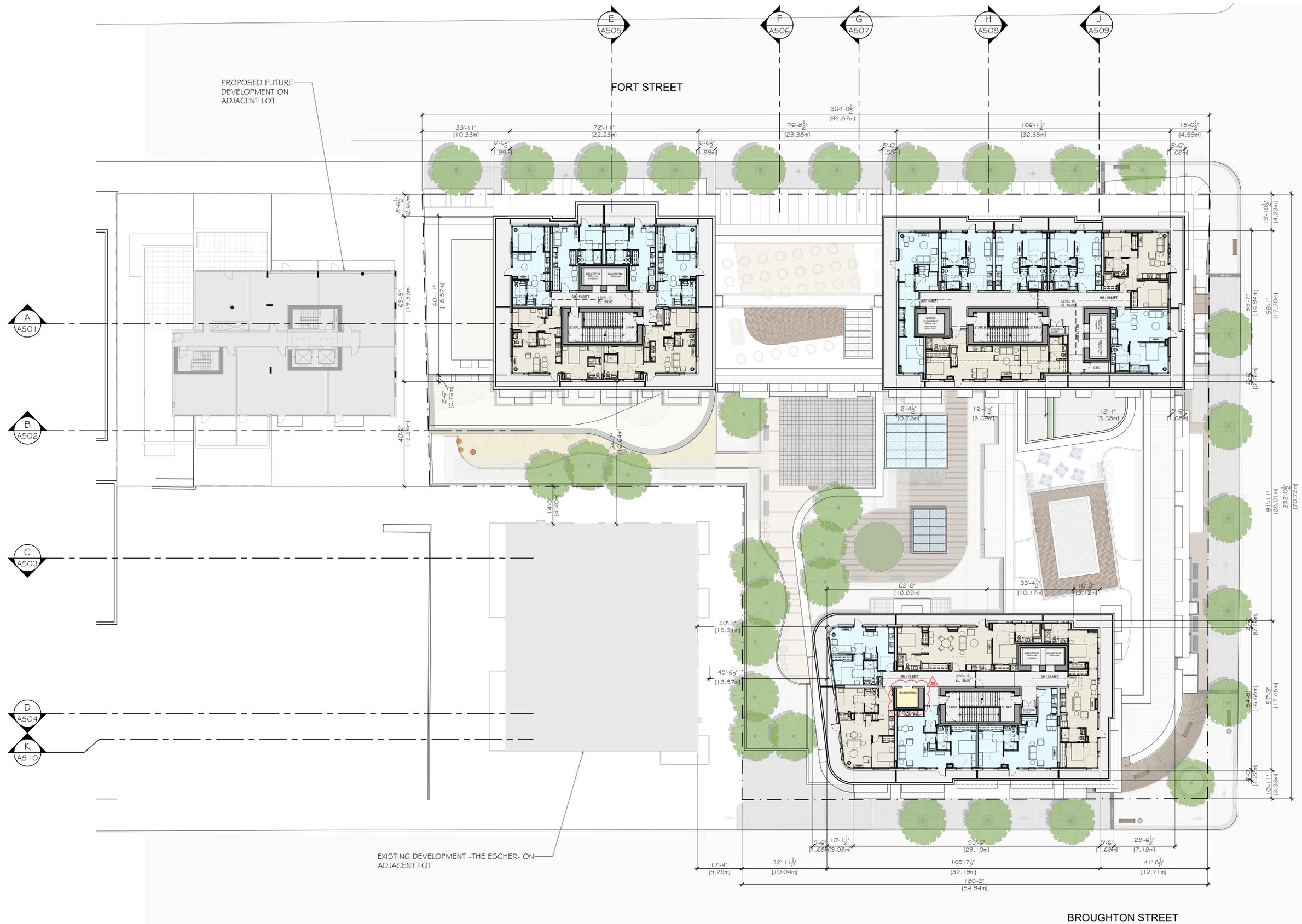
DRAWING NO. REVISION

A211

DATE DRAWN

SCALE CHECKED

1:200



PROPOSED FUTURE DEVELOPMENT ON ADJACENT LOT

EXISTING DEVELOPMENT - THE ESCHER - ON ADJACENT LOT

COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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N

0 1 2 3 4 5 10 15m
 0 5 10 15 20 30 40 50'

CLIENT

parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

LEVEL 10 FLOOR PLAN

SCALE

DRAWING NO. REVISION

A212

DATE DRAWN

SCALE CHECKED

1:200

QUADRA STREET

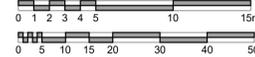
BROUGHTON STREET

FORT STREET

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

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CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

ROOF PLAN

SCALE

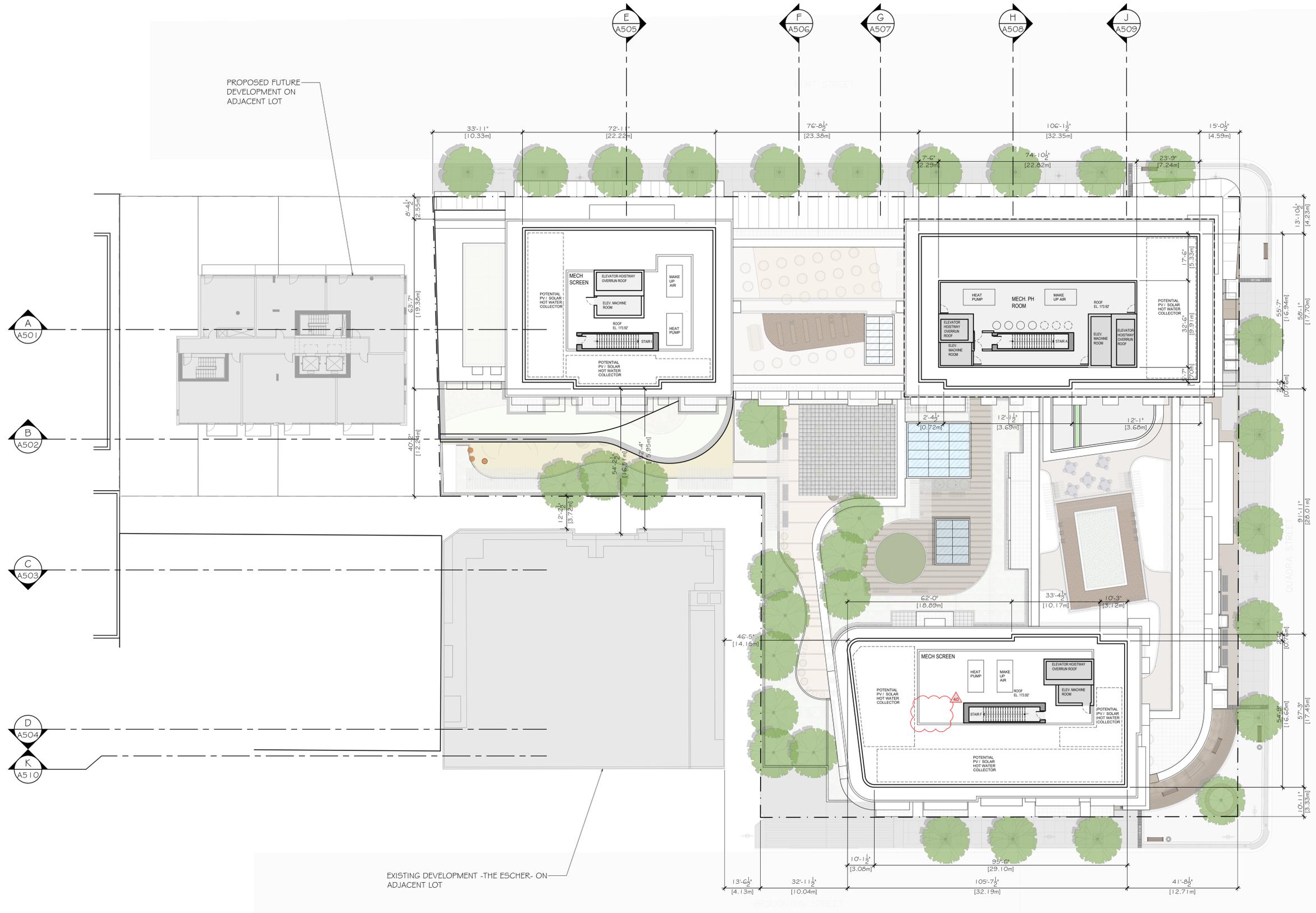
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A213

DATE DRAWN

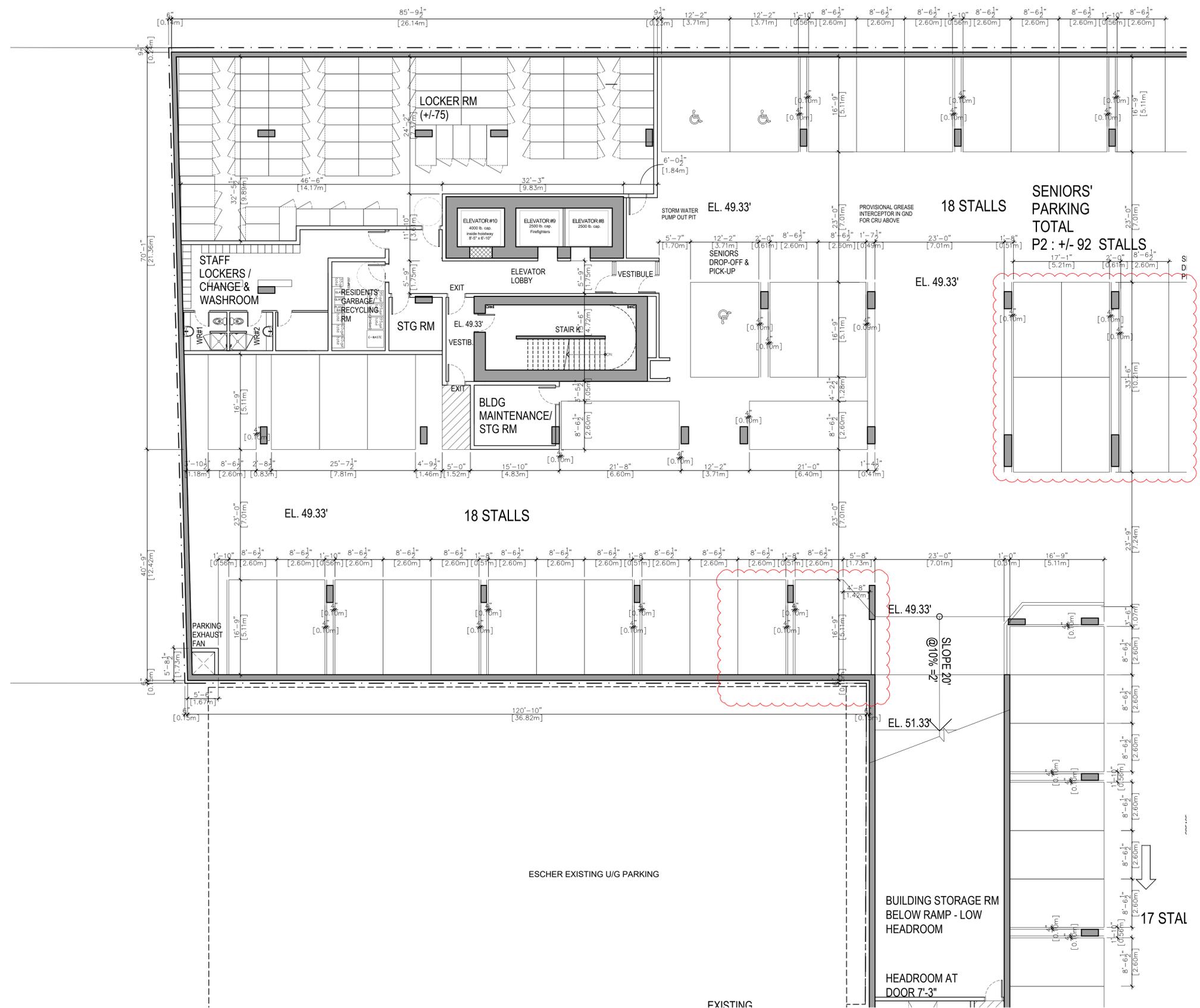
SCALE CHECKED

1:200



NOTES

1. LOCATION AND DETAILS OF MECHANICAL ROOF TOP UNITS AND RESPECTIVE SCREENING ENCLOSURE ARE APPROXIMATE, TO BE CONFIRMED BY MECHANICAL CONSULTANT AT WORKING DRAWINGS STAGE



NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
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PROJECT NO. 17420
 PROJECT PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

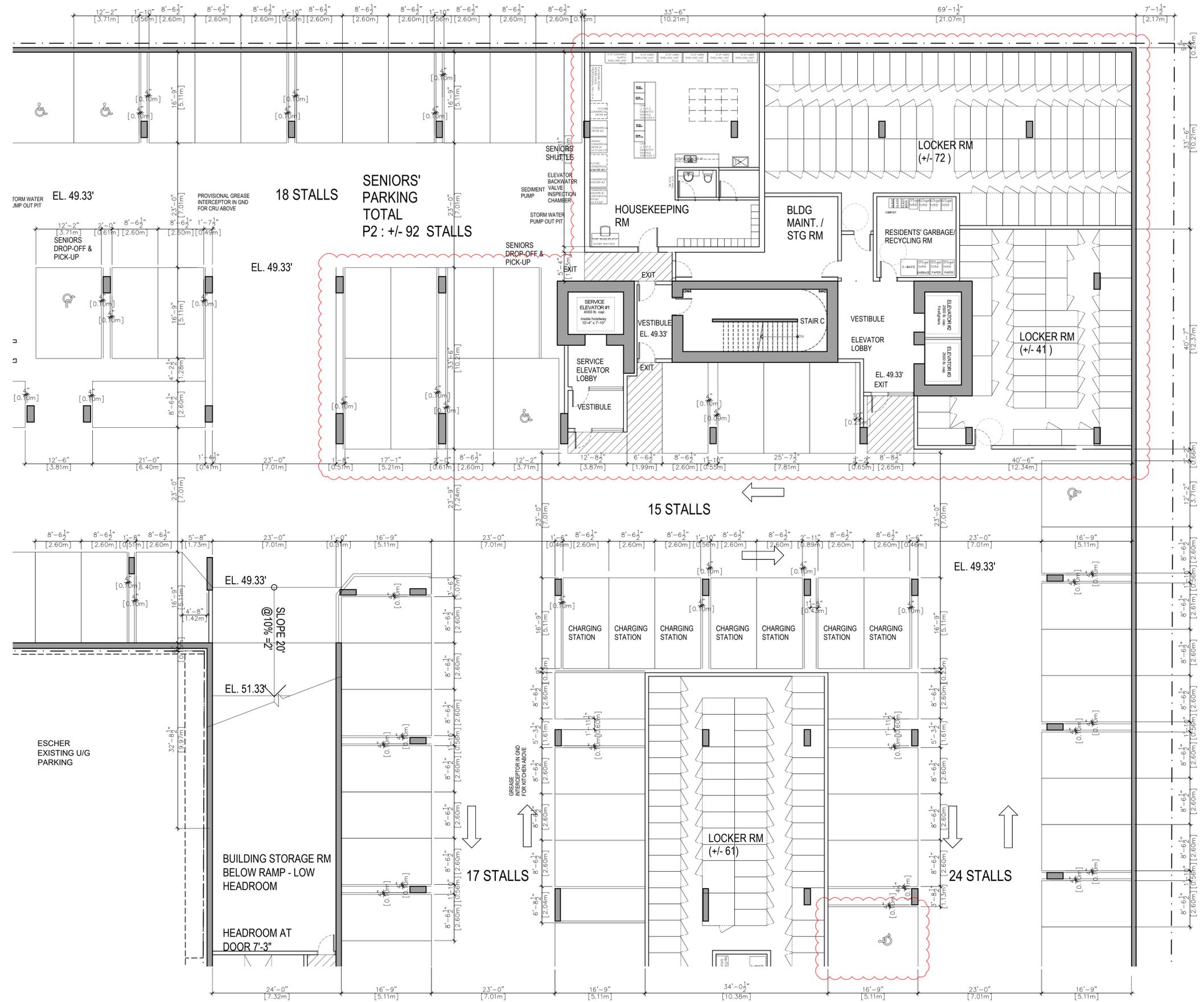
DRAWING TITLE
 P2 LEVEL
 PARTIAL FLOOR PLAN

SEAL

DRAWING NO. REVISION

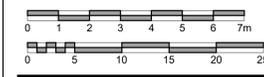
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DATE APR 2017
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NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
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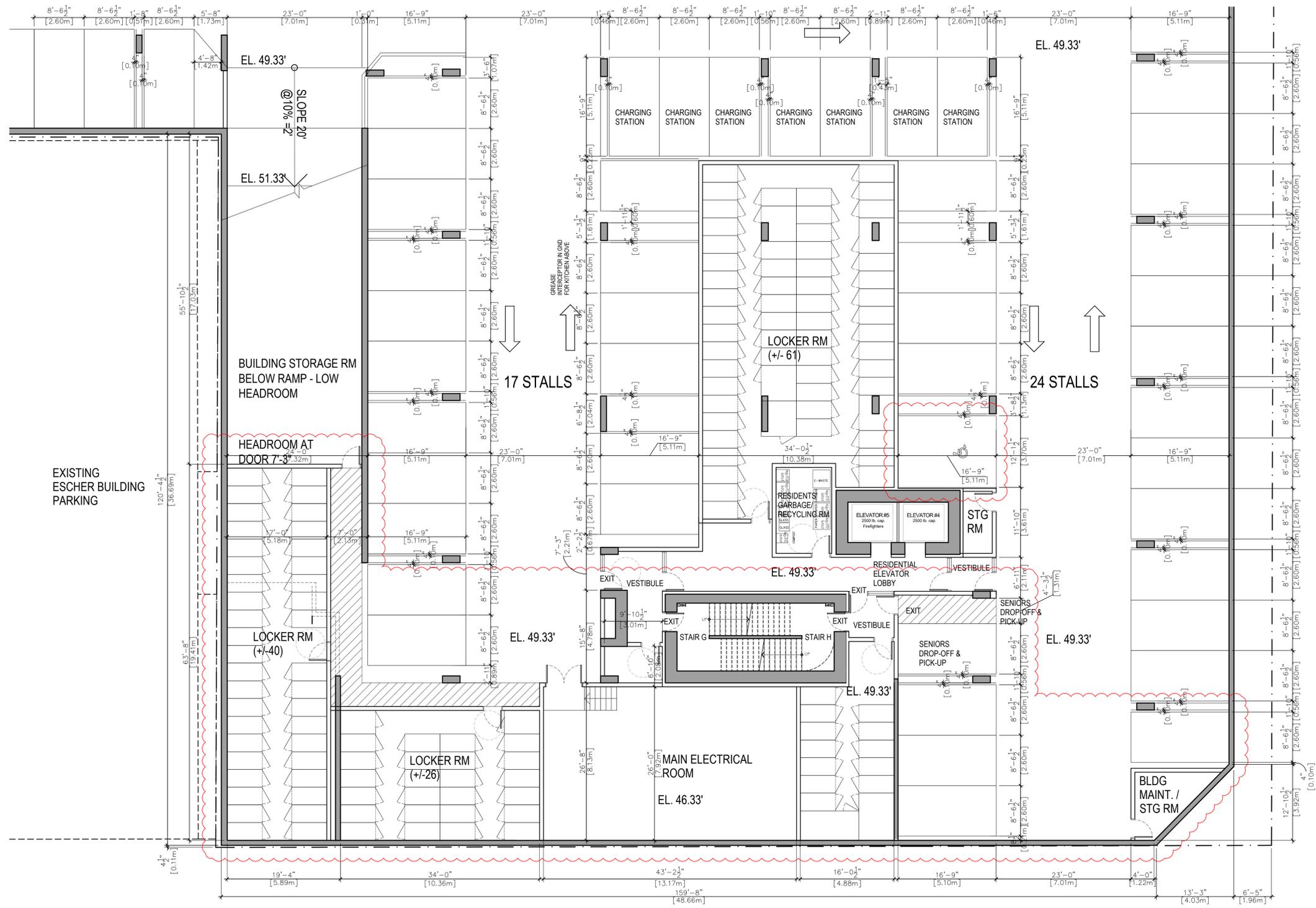
PROJECT NO. 17420
PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
P2 LEVEL PARTIAL FLOOR PLAN

SEAL

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A300B

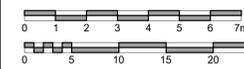
DATE APR 2017
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CHECKED



P2 : +/- 92 STALLS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
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CLIENT
parc retirement living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
P2 LEVEL
PARTIAL FLOOR PLAN

SEAL

DRAWING NO. REVISION

A300C

DATE APR 2017

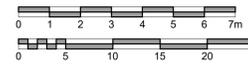
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REVISIONS

NO.	DESCRIPTION	DATE
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CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

P1 LEVEL
PARTIAL FLOOR PLAN

SCALE

DRAWING NO. REVISION

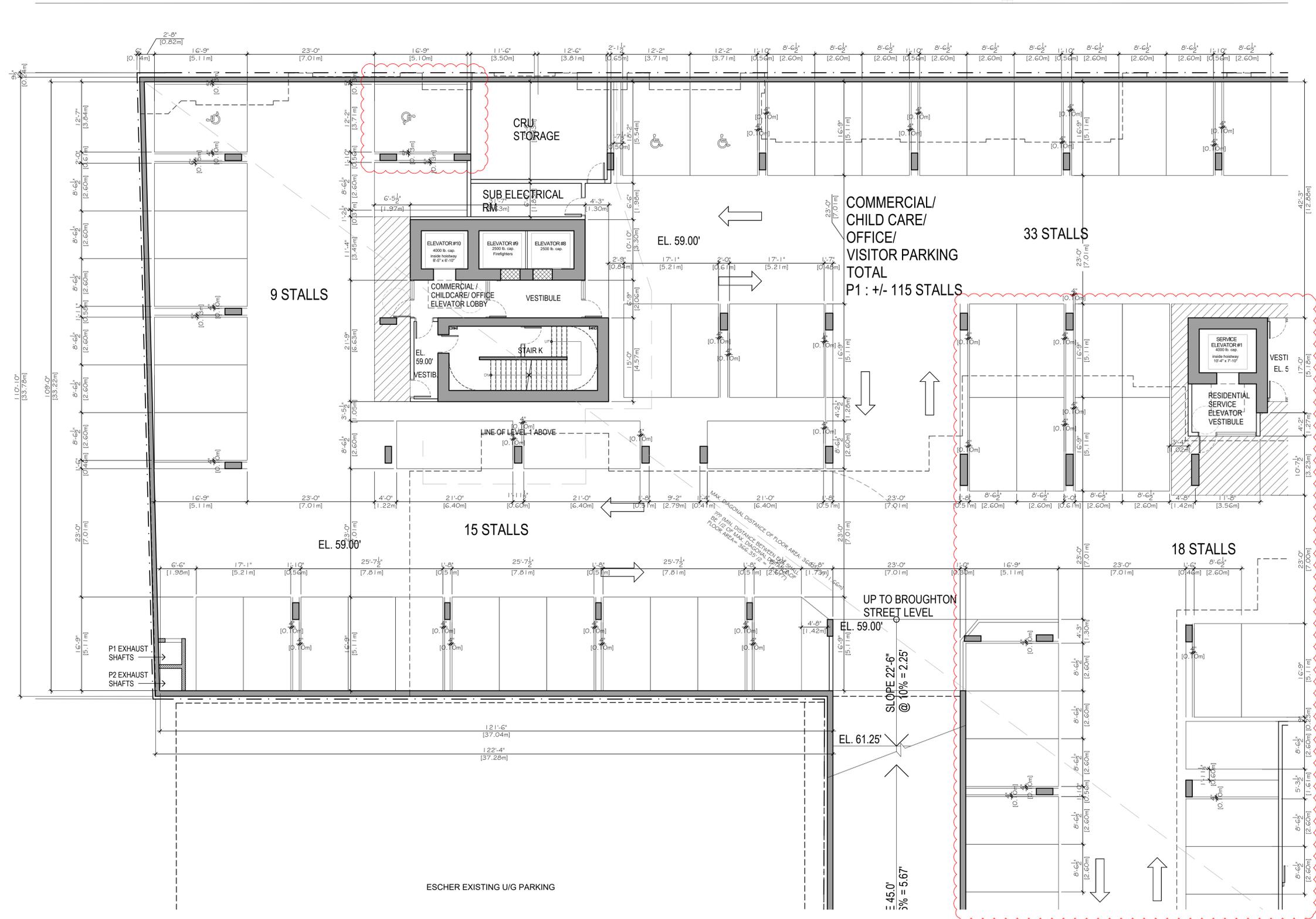
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DATE DRAWN

APR 2017

SCALE CHECKED

1:100



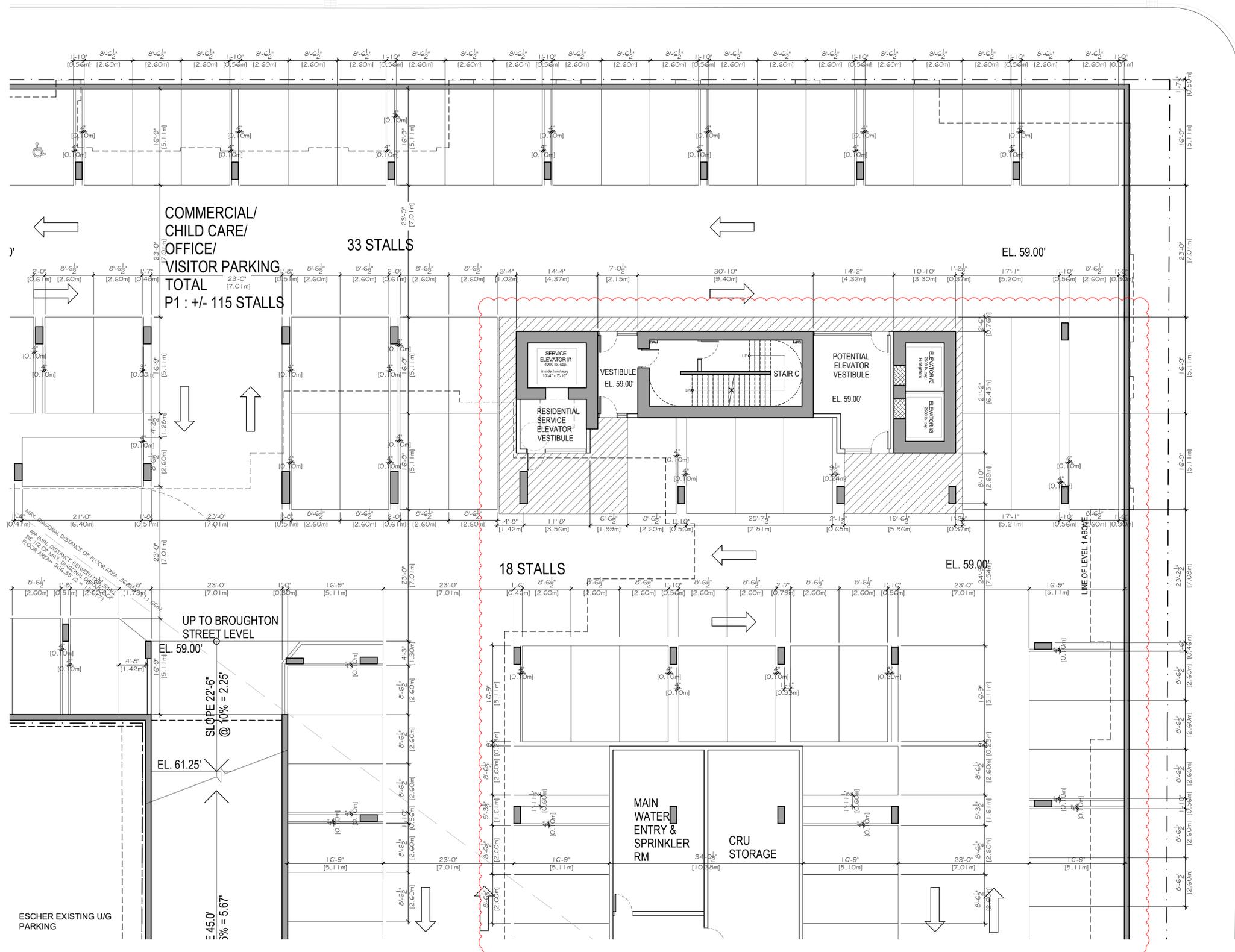
ESCHER EXISTING U/G PARKING

UP TO BROUGHTON STREET LEVEL

SLOPE 22.6% @ 10% = 2.25'

EL. 61.25'

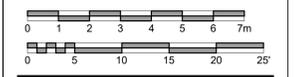
EL. 59.00'



REVISIONS

NO.	DESCRIPTION	DATE
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parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

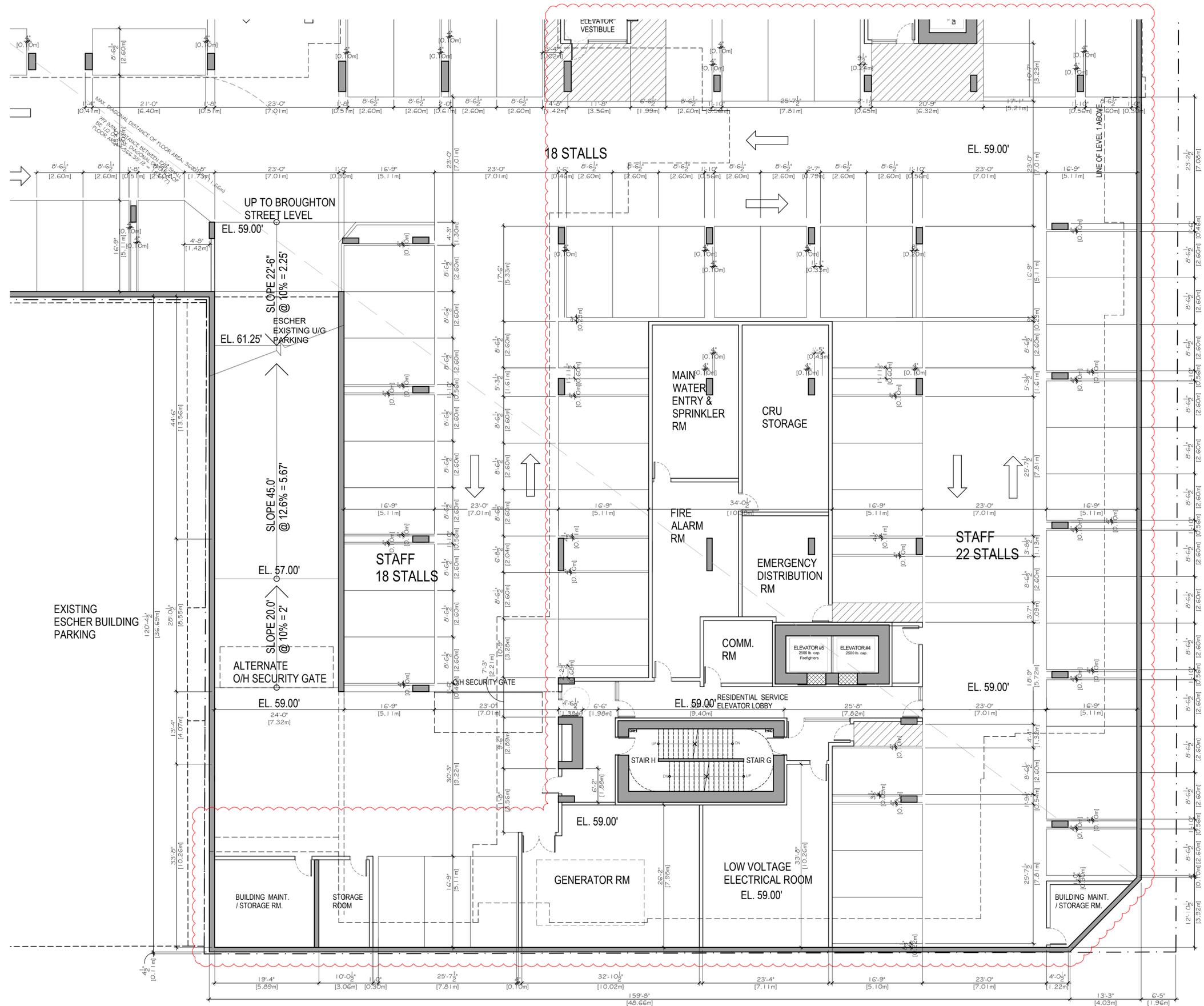
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SEAL

DRAWING NO. REVISION

A301B

DATE APR 2017
 SCALE 1:100
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NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
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CLIENT

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PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
P1 LEVEL
PARTIAL FLOOR PLAN

SCALE

DRAWING NO. REVISION

A301C

DATE DRAWN
APR 2017
SCALE CHECKED
1:100



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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(formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street
 Vancouver, BC V6C 2G8
 www.bfastudioarchitects.com
 T 604 682 8544
 F 604 682 4900

REVISIONS

NO.	DESCRIPTION	DATE
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N

0 1 2 3 4 5 6 7m
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CLIENT

parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

LEVEL 1
 PARTIAL FLOOR PLAN

SCALE

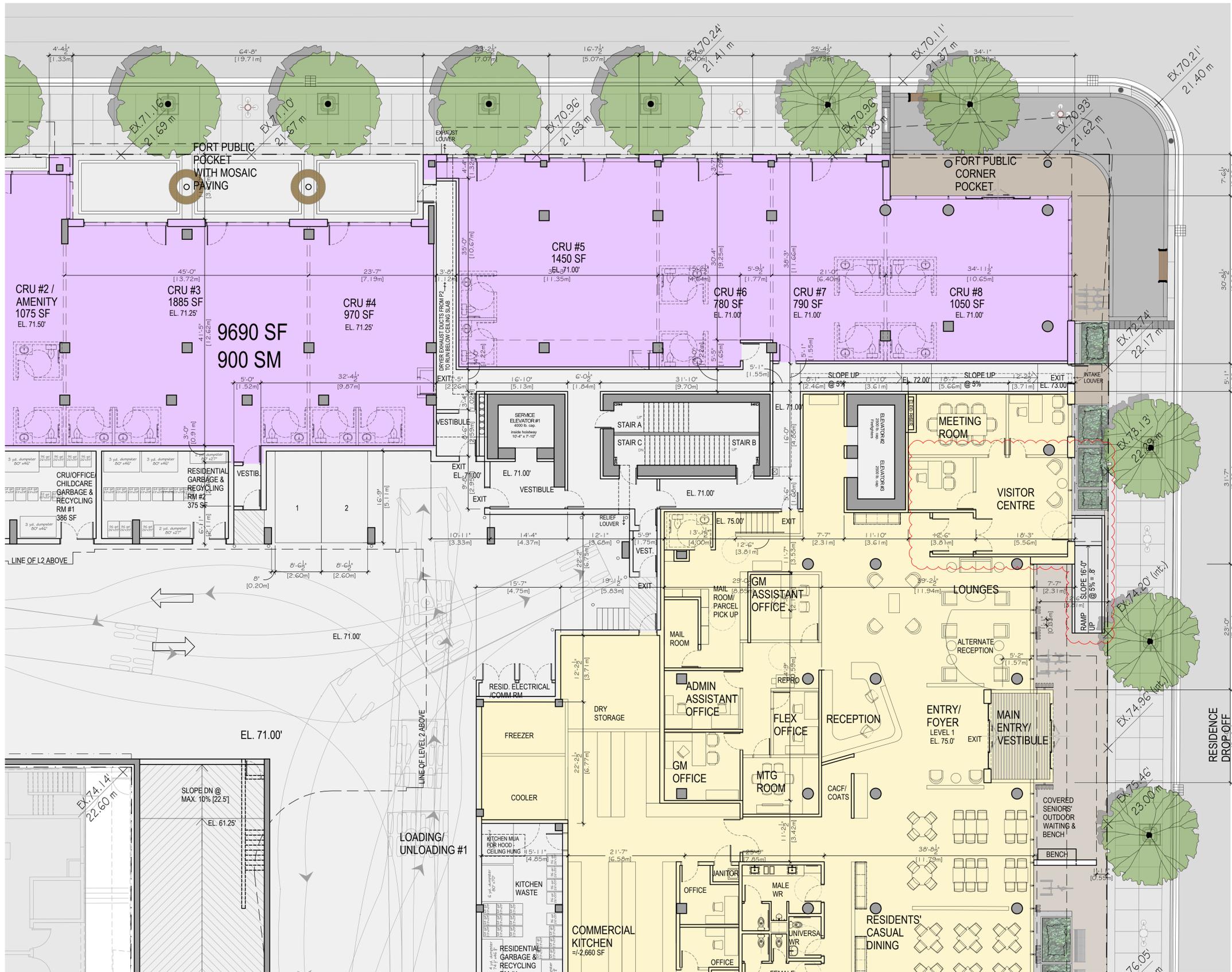
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A302A

DATE DRAWN

SCALE CHECKED

1:100



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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 600 - 355 Burrard Street Vancouver, BC V6C 2G3 T 604 682 8544 F 604 682 4900
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REVISIONS

NO.	DESCRIPTION	DATE
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CLIENT: **parc retirement living**

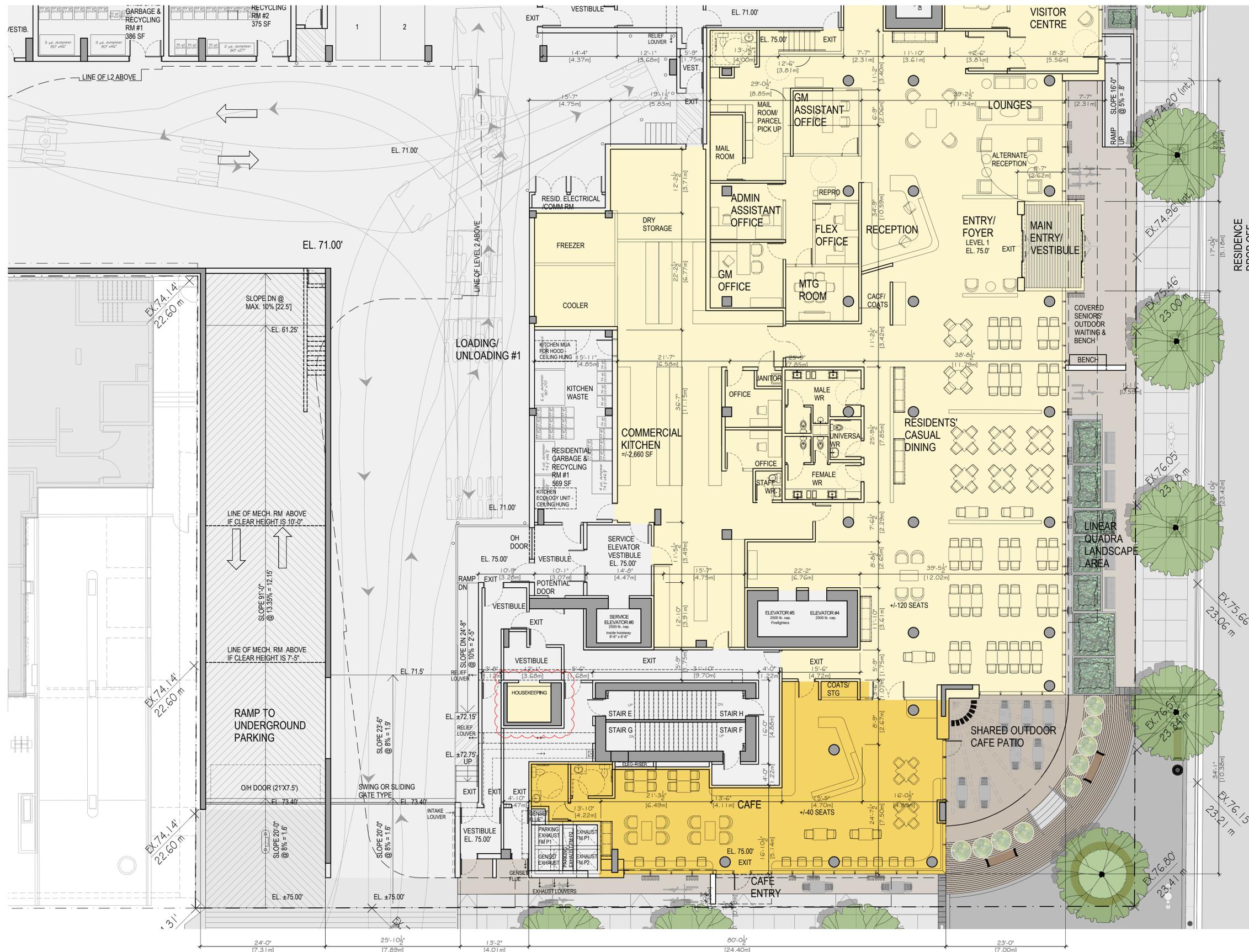
PROJECT NO: 17420

PROJECT: **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: **LEVEL 1 PARTIAL FLOOR PLAN**

SCALE: 1:100

A302B



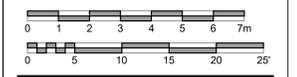
COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
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REVISIONS

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PROJECT NO. 17420
 PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **LEVEL 1 PARTIAL FLOOR PLAN**

SCALE

DRAWING NO. REVISION

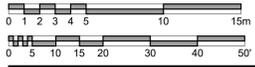
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DATE DRAWN
 SCALE CHECKED
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REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
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retirement
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PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

NORTH ELEVATION
FORT
STREETSCAPE

SEAL

DRAWING NO. REVISION

A401

DATE DRAWN

APR 2017

SCALE CHECKED

1:200

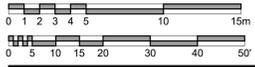




REVISIONS

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PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**EAST ELEVATION
QUADRA
STREETSCAPE**

SEAL

DRAWING NO. REVISION

A402

DATE APR 2017 DRAWN

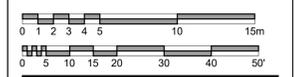
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CLIENT

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PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

**SOUTH ELEVATION
BROUGHTON
STREETSCAPE**

SEAL

DRAWING NO. REVISION

-

A403

DATE **APR 2017**

SCALE 1:200



REVISIONS

NO.	DESCRIPTION	DATE
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PROJECT NO: 17420
PROJECT: **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: **NORTH ELEVATION FORT STREET**

SEAL

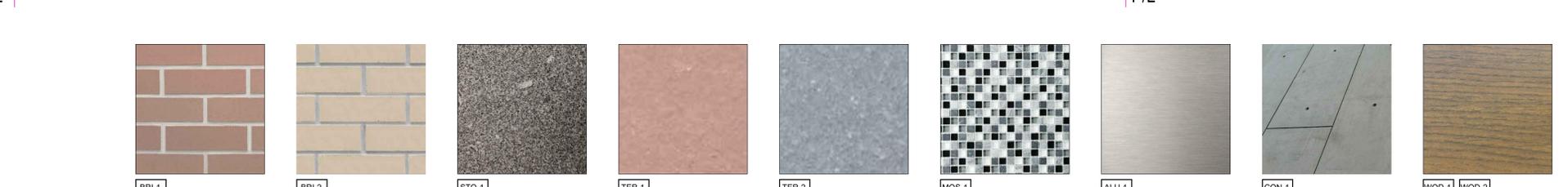
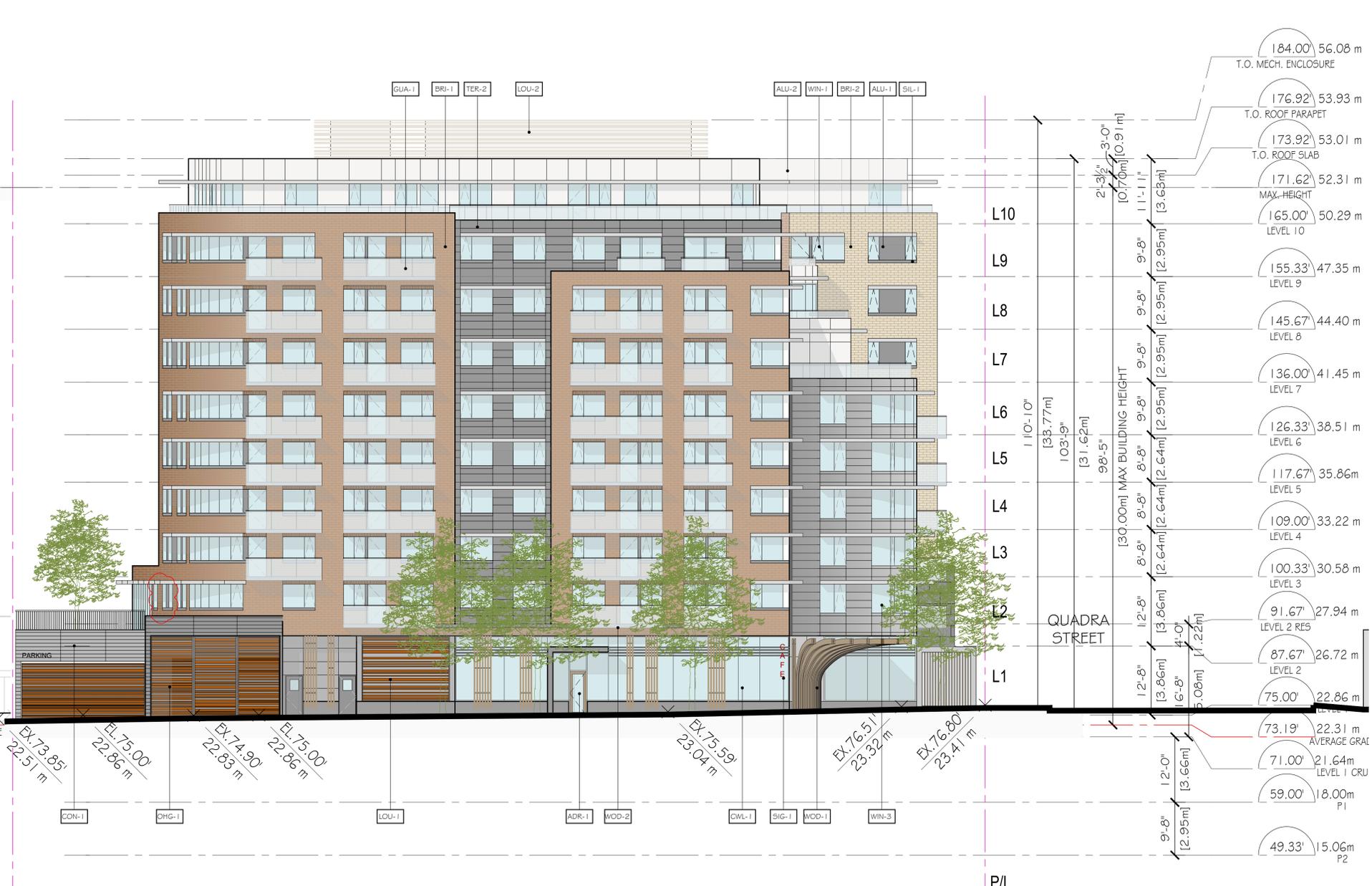
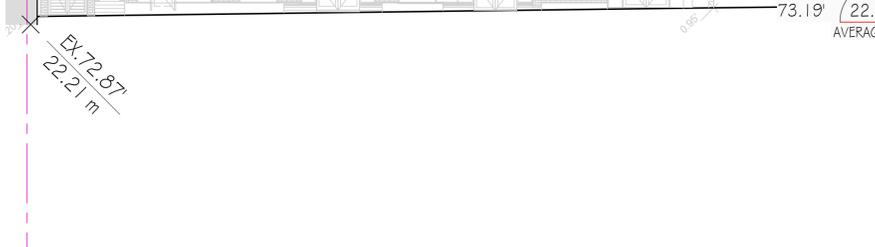
DRAWING NO: REVISION

A404

DATE: APR 2017 DRAWN: CHECKED: 1:125



ELEVATION KEYNOTE LEGEND			
ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH
BRI-1	STANDARD FACE BRICK-4X1 2" PATTERN: TBD TO MATCH HEBRONWILD ROSE	ALU-2	ALUMINUM CLADDING PANEL SYSTEM TO MATCH ALLUCOBOND ALABASTER
BRI-2	STANDARD FACE BRICK-4X1 2" PATTERN: TBD TO MATCH HEBRONCHAMPAGNE	CON-1	ARCHITECTURAL CONCRETE W/ REVEALS GREY (PARGED FINISH)
STO-1	GRANITE STONE CLADDING PATTERN: TBD COLOUR: GREY FINISH: HONED	CON-2	ARCHITECTURAL CONCRETE COLUMNS GREY (PARGED FINISH)
STO-2	STONE CLADDING PATTERN: TBD WHITE SLAB	SIL-1	CONCRETE PRECAST SILL/HEADER GREY
TER-1	TERRA COTTA - TR2 TO MATCH "ROSE" OR SIMILAR MATT FINISH	WIN-1	VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE FRAME: TO MATCH EUROLINE QUARZGRAU SFTN GLASS: TBD
TER-2	TERRA COTTA - TH2 TO MATCH "TITANIUM GREY" OR SIMILAR MATT FINISH	WIN-2	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE FRAME: CLEAR ANODIZED ALUMINUM OR TRANSPARENT STAIN
MOS-1	EXTERIOR TYPE MOSAIC TILE MULTI COLOUR - WHITE, MEDIUM & DARK GREY	WIN-3	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1, GLASS: TBD
ALU-1	ALUMINUM CLADDING PANEL SYSTEM TO MATCH ALLUCOBOND NATURAL BRUSHED STAINLESS FEVE	CWL-1	ALUMINUM CURTAIN WALL W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1, GLASS: TBD
		SFW-1	STOREFRONT WINDOW DOOR, REFER TO WINDOW SCHEDULE FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1, GLASS: TBD
		GUA-1	SAFETY GLASS BALCONY GUARD FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TBD
		GUA-2	METAL BALCONY GUARD FRAME: ALUMINUM POWDER COATED BLACK OR DARK GREY
		GPS-1	SAFETY GLASS PRIVACY SCREEN FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED TRANSLUCENT GLASS
		WOD-1	ENGINEERED WOOD COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN
		WOD-2	EXTERIOR WOOD PATTERN SOFFIT COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN
		CAN-1	METAL FRAMED CANOPY W/ GLASS FRAME: TO MATCH WINDOW FRAMES GLASS: CLEAR LAMINATED
		CAN-2	FRAMED FABRIC CANOPY FRAME: NA COLOR: NA
		DHG-1	ALUMINUM OVERHEAD GARAGE DOOR FRAME: ALUMINUM POWDER COATED COLOR: RUST
		ADR-1	ALUMINUM FRAME DOOR W/ GLAZING UNIT FRAME: TO MATCH WINDOW FRAMES GLASS: TBD
		LOU-1	ALUMINUM WALL LOUVERS COLOUR: TO MATCH ADJACENT WINDOW FRAMES OR CLADDING
		LOU-2	METAL SCREEN SYSTEM - ROOFTOP METAL PATTERN: ALUMINUM POWDER COATED COLOUR: LIGHT GREY
		SIG-1	SIGNAGE BY SIGNAGE CONSULTANT



ELEVATION KEYNOTE LEGEND							
ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH
BRI-1	STANDARD FACE BRICK-4"X12" PATTERN: TBD	ALU-2	ALUMINUM CLADDING PANEL SYSTEM TO MATCH ALUCOBOND ALABASTER	CWL-1	ALUMINUM CURTAIN WALL W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	CAN-1	METAL FRAMED CANOPY W/ GLASS FRAME; TOO MATCH WINDOW FRAMES GLASS: CLEAR LAMINATED
BRI-2	STANDARD FACE BRICK-4"X12" PATTERN: TBD	CON-1	ARCHITECTURAL CONCRETE W/ REVEALS GREY (FARGED FINISH)	SFW-1	STOREFRONT WINDOW DOOR; REFER TO WINDOW SCHEDULE	CAN-2	FRAMED FABRIC CANOPY FRAME: NA COLOR: NA
STO-1	GRANITE STONE CLADDING PATTERN: TBD	CON-2	ARCHITECTURAL CONCRETE COLUMNS GREY (FARGED FINISH)	GUA-1	SAFETY GLASS BALCONY GUARD FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TBD	OHG-1	ALUMINUM OVERHEAD GARAGE DOOR FRAME: ALUMINUM POWDER COATED COLOR: RUST
STO-2	STONE CLADDING PATTERN: TBD	SIL-1	CONCRETE PRECAST SILL/HEADER GREY	GUA-2	METAL BALCONY GUARD FRAME: ALUMINUM POWDER COATED BLACK OR DARK GREY	ADR-1	ALUMINUM FRAME DOOR W/ GLAZING UNIT FRAME: TO MATCH WINDOW FRAMES GLASS: TBD
TER-1	TERRA COTTA - TR2 TO MATCH "ROSE" OR SIMILAR MATT FINISH	WIN-1	VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	GPS-1	SAFETY GLASS PRIVACY SCREEN FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED TRANSLUCENT GLASS	LOU-1	ALUMINUM WALL LOUVERS COLOUR TO MATCH ADJACENT WINDOW FRAMES OR CLADDING
TER-2	TERRA COTTA - TH2 TO MATCH "TITANIUM GREY" OR SIMILAR MATT FINISH	WIN-2	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	WOD-1	ENGINEERED WOOD COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN	LOU-2	METAL SCREEN SYSTEM - ROOFTOP METAL PATTERN: ALUMINUM POWDER COATED COLOUR: LIGHT GREY
MOS-1	EXTERIOR TYPE MOSAIC TILE MULTI COLOUR - WHITE, MEDIUM & DARK GREY	WIN-3	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	WOD-2	EXTERIOR WOOD PATTERN SOFFIT COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN	SIG-1	SIGNAGE BY SIGNAGE CONSULTANT
ALU-1	ALUMINUM CLADDING PANEL SYSTEM TO MATCH ALUCOBOND NATURAL BRUSHED STAINLESS FEVE						

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NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

CLIENT: **parc retirement living**

PROJECT NO: 17420

PROJECT: **PARC VICTORIA Mixed Use Seniors Residential & Commercial Development**

DRAWING TITLE: **SOUTH ELEVATION BROUGHTON STREET**

DRAWING NO: A406

DATE: APR 2017

SCALE: 1:125

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
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17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

FORT (NORTH) STREETSCAPE
/ PARTIAL SECTION

SEAL

DRAWING NO. REVISION

A407

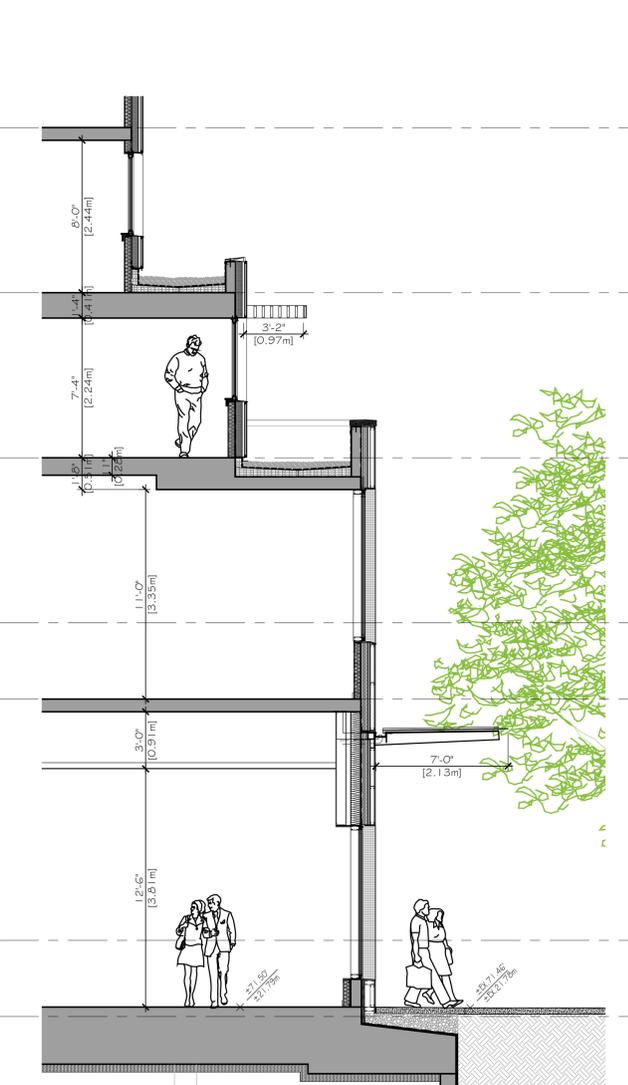
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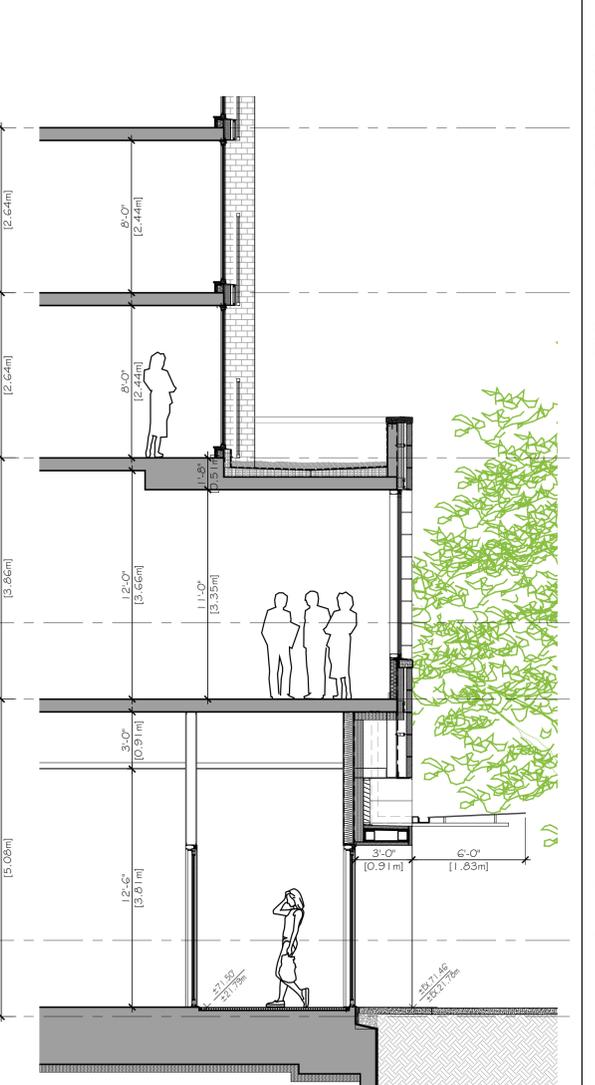
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1 NORTH/ FORT STREET ELEVATION



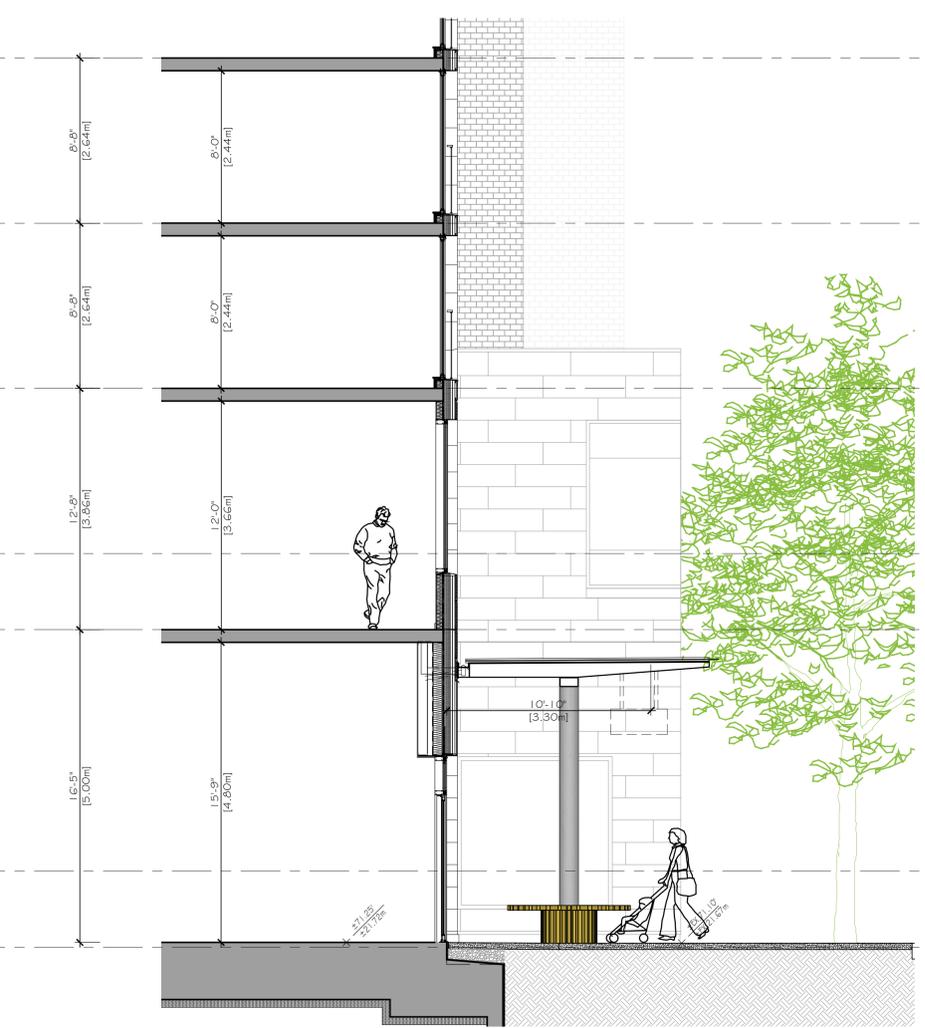
2 STREETSCAPE SECTION



3 STREETSCAPE SECTION



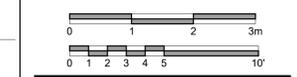
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2 STREETSCAPE SECTION

NO.	DESCRIPTION	DATE
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PROJECT NO. 17420
PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
FORT (NORTH) STREETSCAPE / PARTIAL SECTION

SCALE

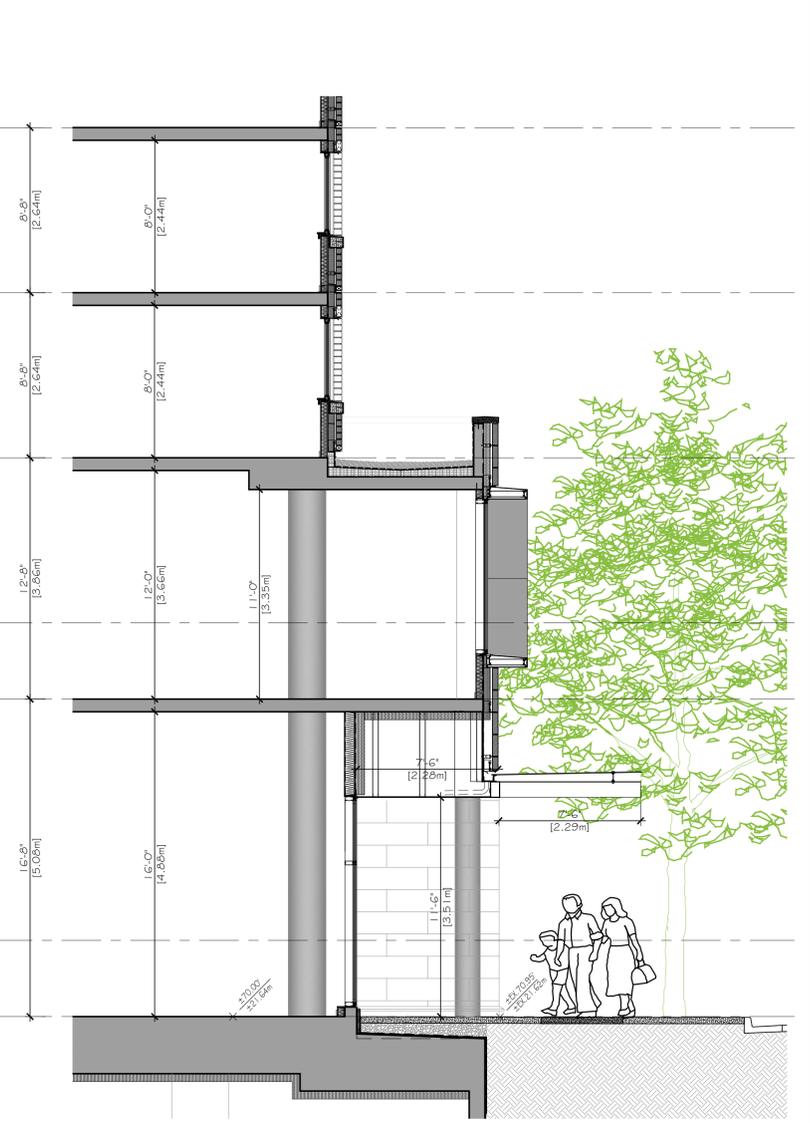
DRAWING NO. DRAWN BY
REVISION

A408

DATE DRAWN
SCALE CHECKED
1:50



1 NORTH/FORT STREET ELEVATION



2 STREETScape SECTION

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
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PROJECT NO. 17420
PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
FORT (NORTH) STREETSCAPE / PARTIAL SECTION

SEAL

DRAWING NO. DRAWN

A410

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REVISIONS

NO.	DESCRIPTION	DATE
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CLIENT

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PROJECT NO.

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PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

QUADRA (EAST)
STREETSCAPE / PARTIAL
SECTION

SCALE

DRAWING NO. REVISION

A411

DATE DRAWN

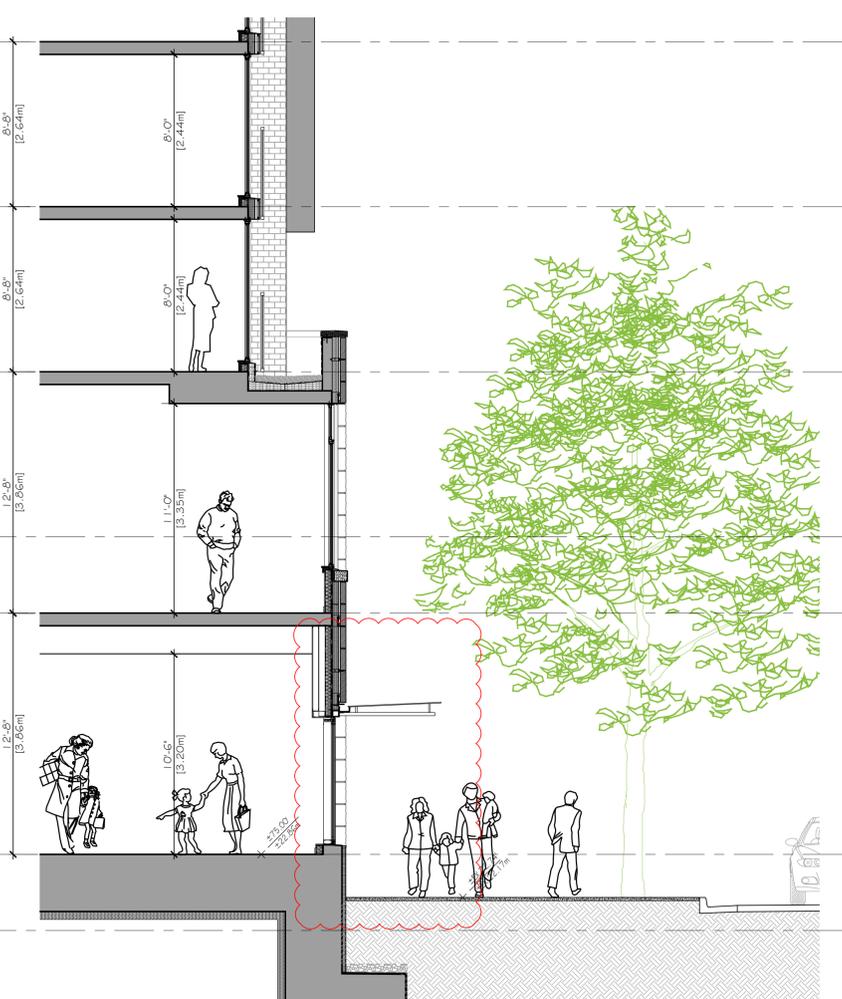
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A411



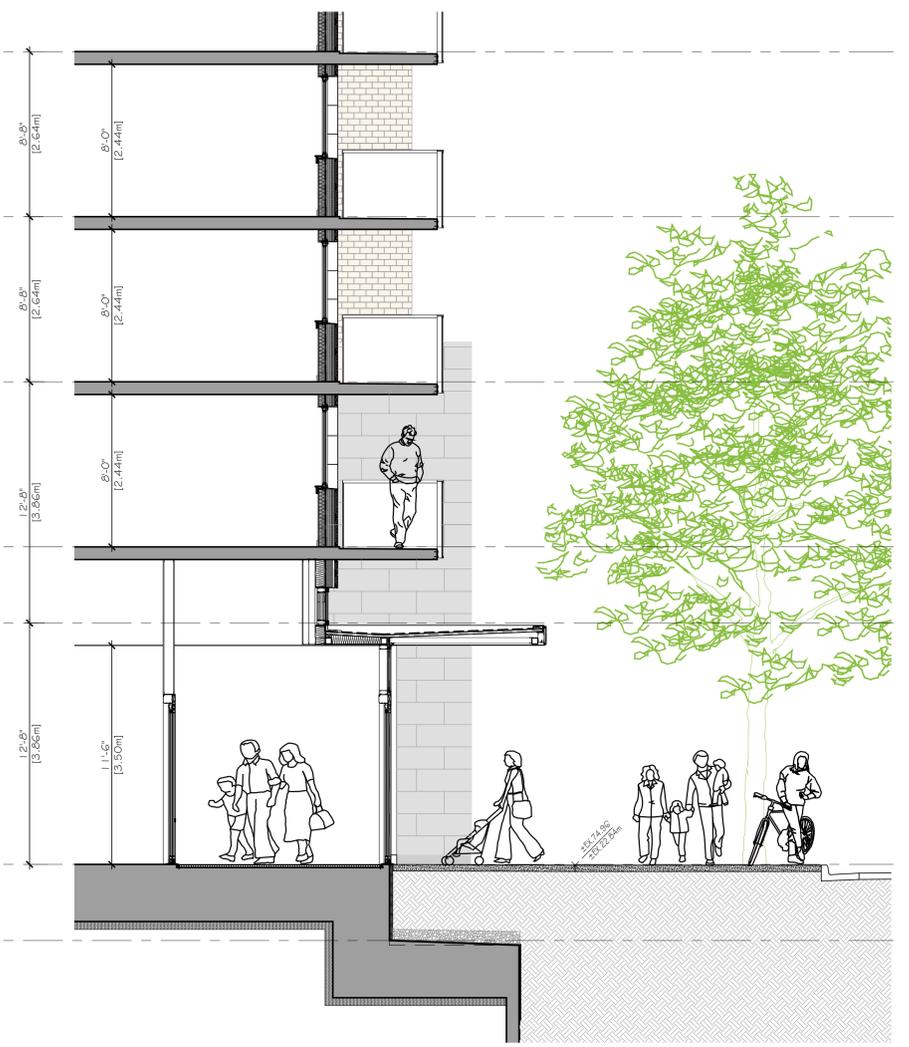
1 EAST/ QUADRA STREET ELEVATION



2 STREETSCAPE SECTION



1 EAST/QUADRA STREET ELEVATION



2 STREETScape SECTION

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PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
QUADRA (EAST)
STREETSCAPE / PARTIAL SECTION

SEAL

DRAWING NO. _____ REVISION _____

A412

DATE _____ DRAWN _____

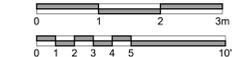
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CLIENT

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PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

QUADRA (EAST)
STREETSCAPE / PARTIAL
SECTION

SCALE

DRAWING NO. DRAWN

REVISION

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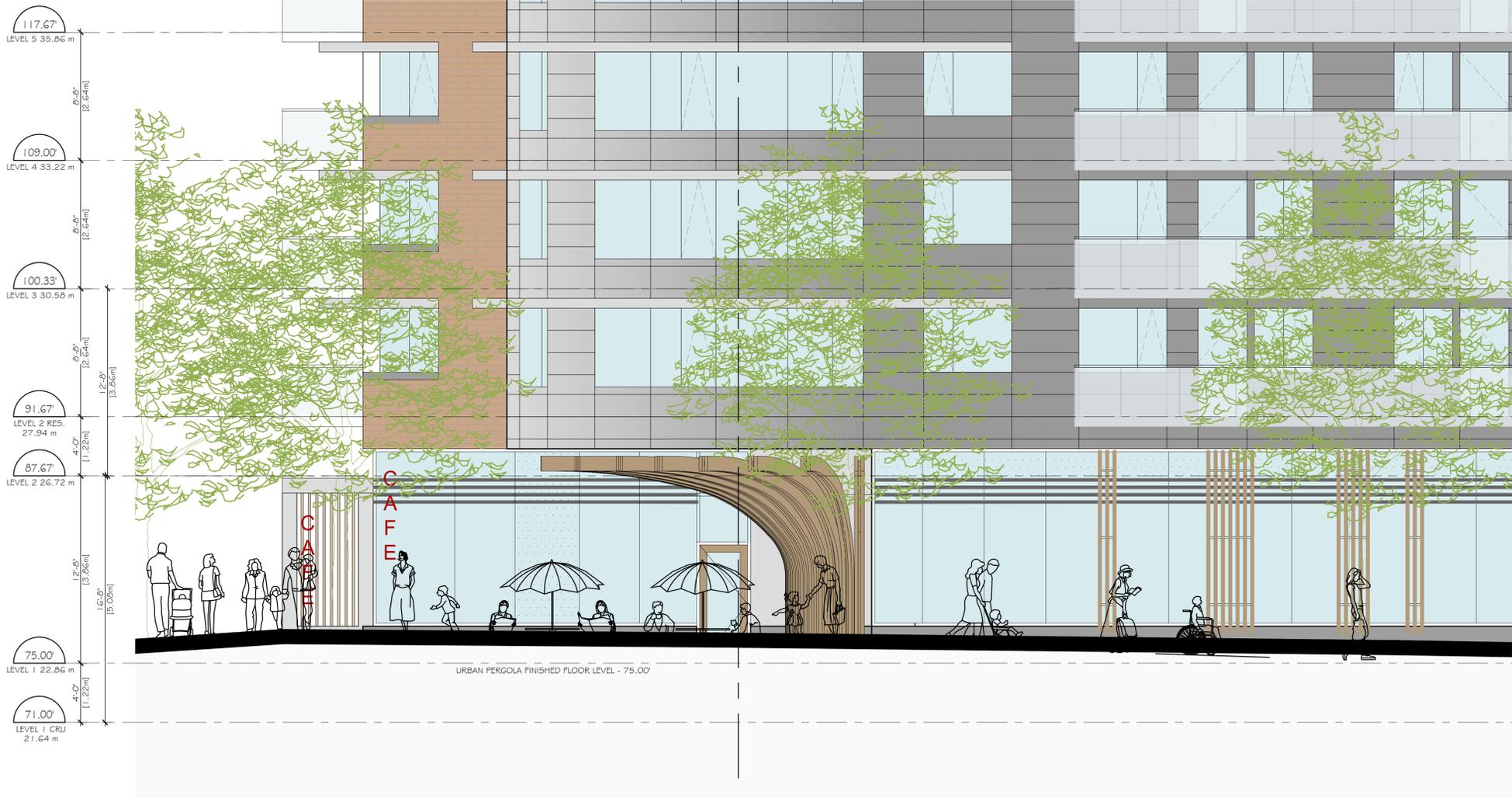
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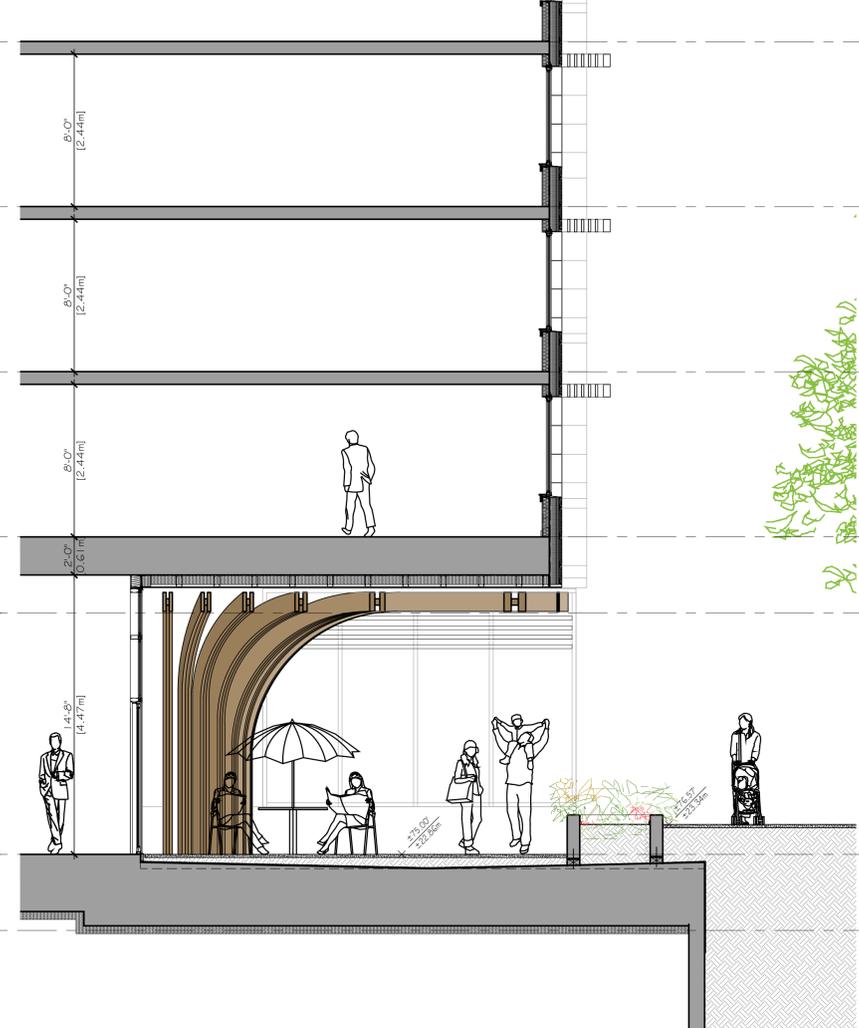
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A413



1 EAST/QUADRA STREET ELEVATION



2 STREETSCAPE SECTION



1 SOUTH / BROUGHTON STREET ELEVATION

2 STREETScape SECTION

NO.	DESCRIPTION	DATE
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CLIENT

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PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**BROUGHTON (SOUTH)
STREETSCAPE / PARTIAL
SECTION**

SCALE

DRAWING NO. REVISION

A414

DATE DRAWN

SCALE CHECKED

1:50

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
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PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**BROUGHTON (SOUTH)
STREETSCAPE / PARTIAL
SECTION**

SEAL

DRAWING NO. DRAWN

A415

DATE

SCALE CHECKED

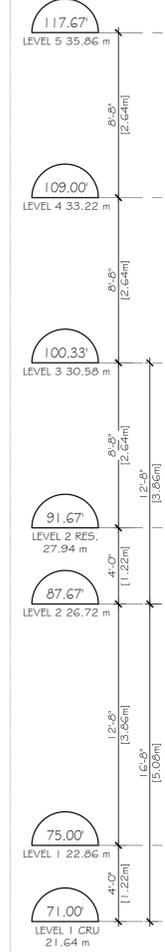
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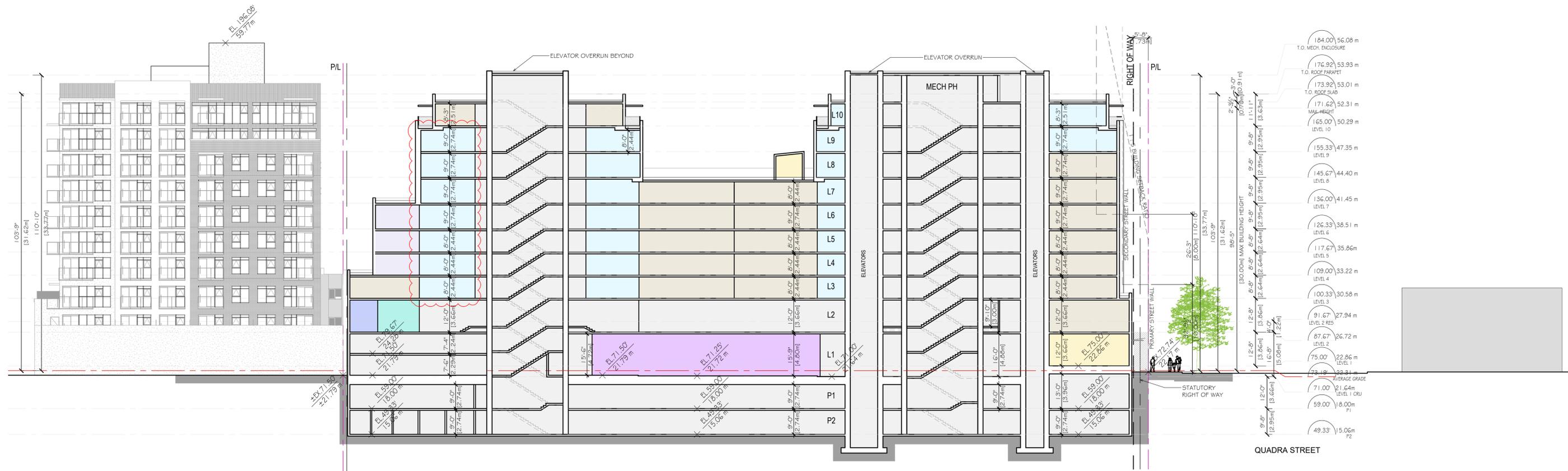
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1 SOUTH / BROUGHTON STREET ELEVATION

2 STREETSCAPE SECTION

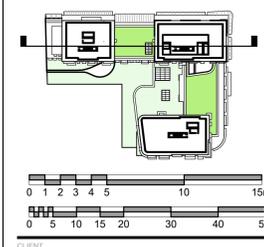




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PROJECT NO. 17420
PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
BUILDING SECTION A

SEAL

DRAWING NO. _____ REVISION _____

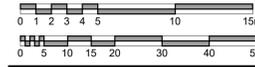
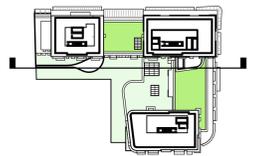
A501

DATE APR 2017
SCALE 1:200

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

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CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**BUILDING SECTION B/
INTERNAL SOUTH
ELEVATION**

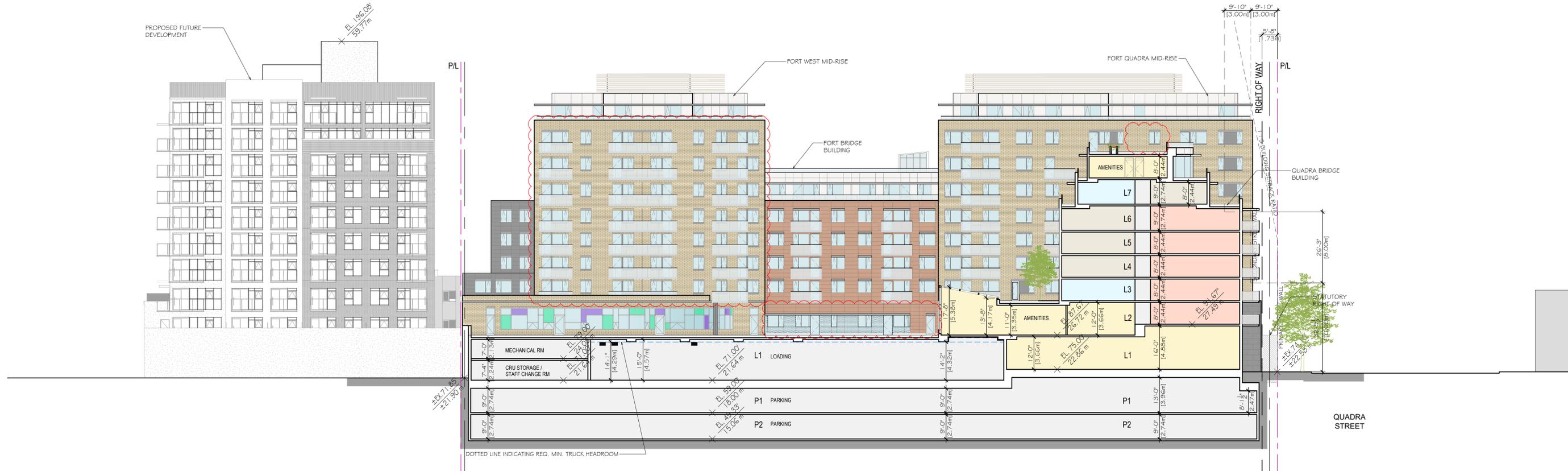
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DRAWING NO. REVISION

A502

DATE APR 2017 DRAWN

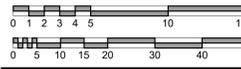
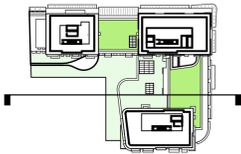
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REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
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RE-ISSUED FOR ADP		24 APR 2019
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RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

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CLIENT
parc retirement living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**BUILDING SECTION C/
INTERNAL NORTH
ELEVATION**

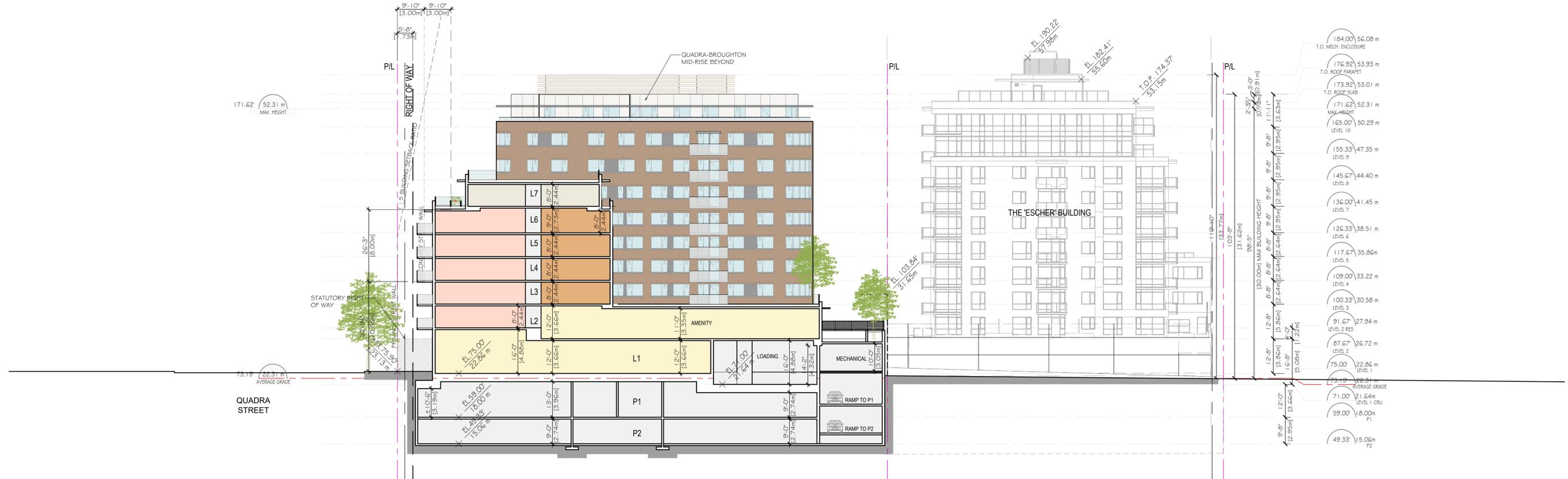
SEAL

DRAWING NO. REVISION

A503

DATE APR 2017 DRAWN

SCALE 1:200 CHECKED



171.62' (52.31 m)
MAX. HEIGHT

73.19' (22.31 m)
AVERAGE GRADE

QUADRA STREET

STATUTORY RIGHT OF WAY

PIL

PIL

PIL

PIL

THE 'ESCHER' BUILDING

QUADRA-BROUGHTON
MID-RISE BEYOND

L7

L6

L5

L4

L3

L2

L1

AMENITY

LOADING

MECHANICAL

P1

P2

RAMP TO P1

RAMP TO P2

EL. 103.84
31.165m

EL. 190.22
57.95m

EL. 182.41'
55.60m

T.O.P. 174.37'
53.15m

184.00' 56.06 m
T.O. MECH. ENCLOSURE

176.92' 53.93 m
T.O. ROOF PARAPET

173.92' 53.01 m
T.O. ROOF SLAB

171.62' 52.31 m
MAX. HEIGHT

165.00' 50.29 m
LEVEL 10

155.33' 47.35 m
LEVEL 9

145.67' 44.40 m
LEVEL 8

136.00' 41.45 m
LEVEL 7

126.33' 38.51 m
LEVEL 6

117.67' 35.86 m
LEVEL 5

109.00' 33.22 m
LEVEL 4

100.33' 30.58 m
LEVEL 3

91.67' 27.94 m
LEVEL 2 RES

87.67' 26.72 m
LEVEL 2

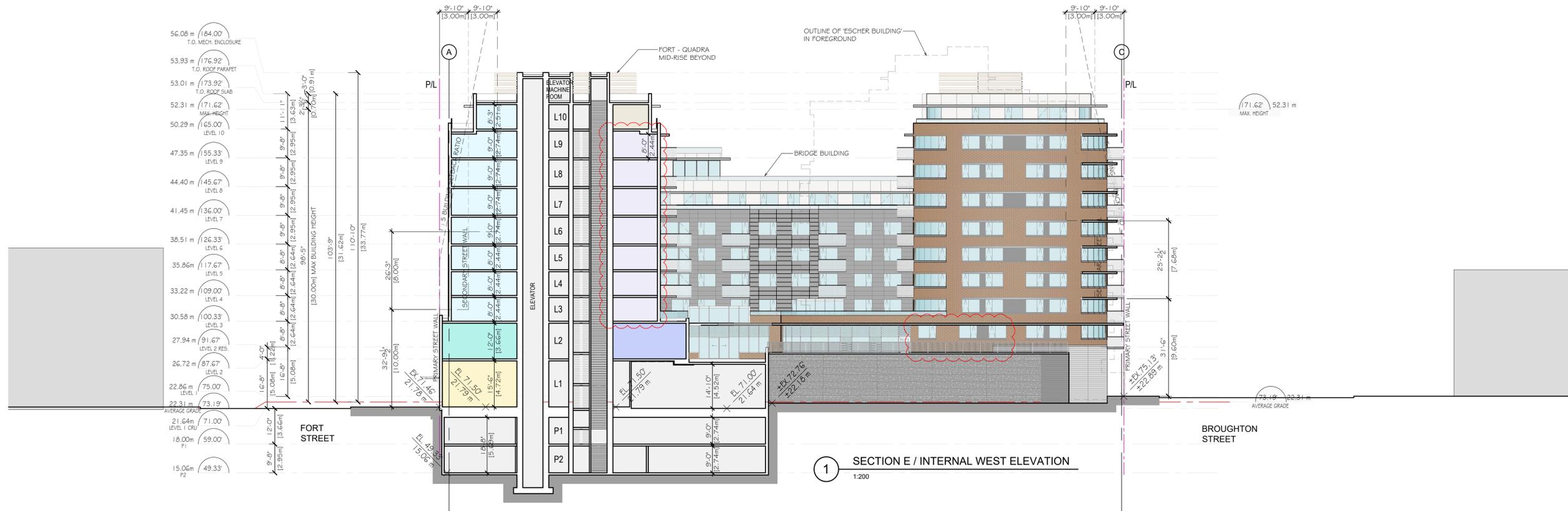
75.00' 22.86 m
LEVEL 1

73.19' 22.31 m
AVERAGE GRADE

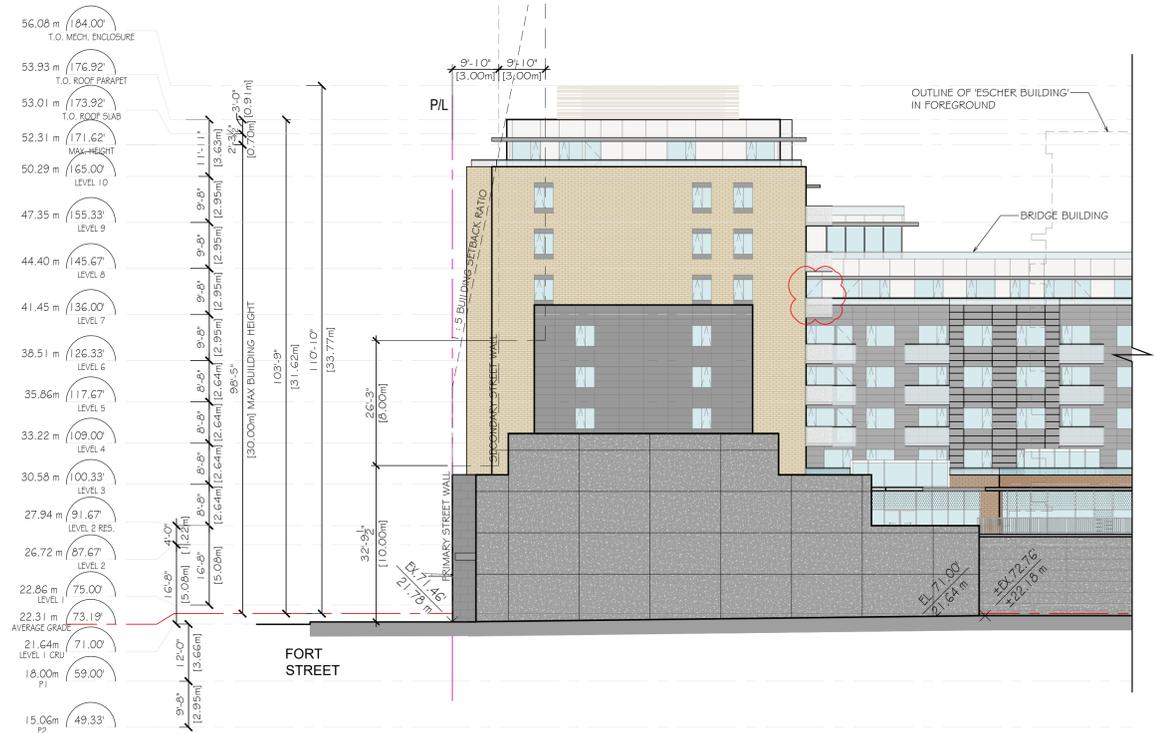
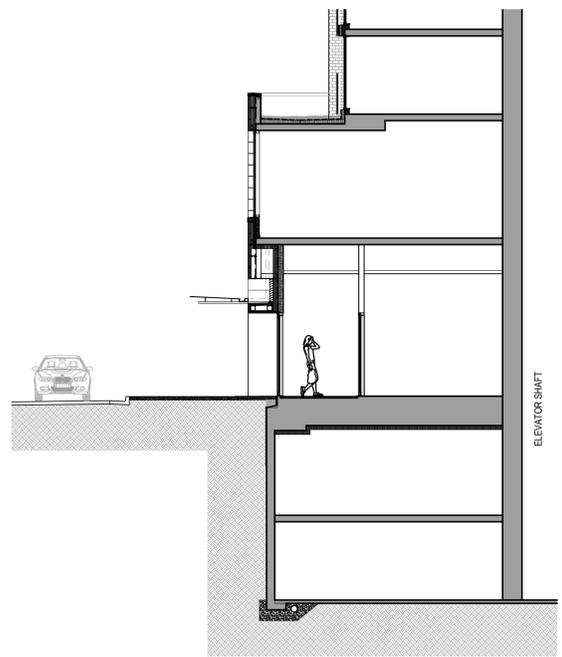
71.00' 21.64 m
LEVEL 1 CRU

59.00' 18.00 m
P1

49.33' 15.06 m
P2



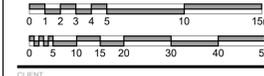
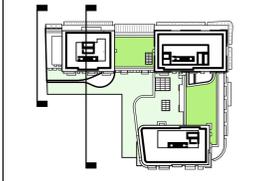
1 SECTION E / INTERNAL WEST ELEVATION
1:200



2 WEST ELEVATION
1:200

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
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RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

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PROJECT NO. 17420
PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **BUILDING SECTION E/
INTERNAL WEST
ELEVATION /
WEST ELEVATION**

SEAL

DRAWING NO. REVISION

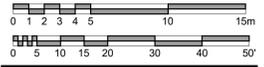
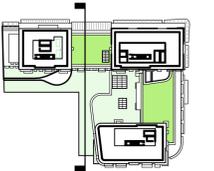
A505

DATE APR 2017
SCALE 1:200
CHECKED

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
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RE-ISSUED FOR REZONING & DP		05 MAY 2021

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CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**BUILDING SECTION F /
INTERNAL EAST ELEVATION**

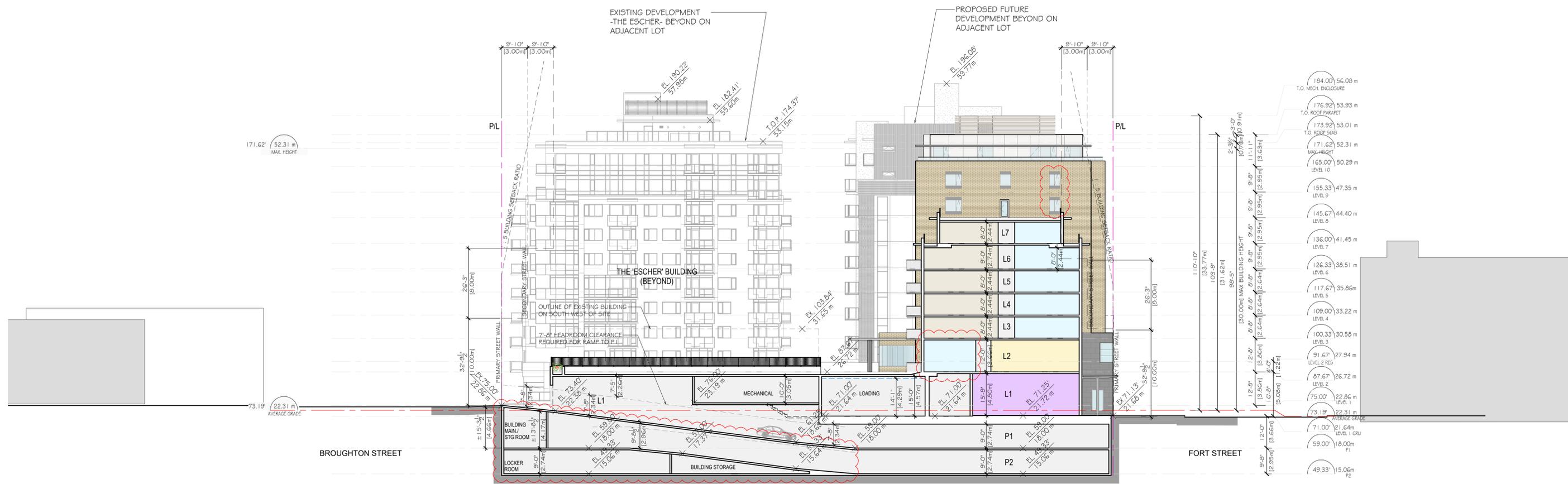
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DRAWING NO. REVISION

A506

DATE APR 2017 DRAWN

SCALE 1:200 CHECKED

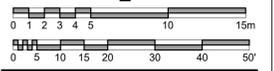
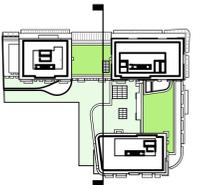


LEVEL	HEIGHT (ft)	HEIGHT (m)
T.O. MECH. ENCLOSURE	184.00'	56.06 m
T.O. ROOF PARAPET	176.92'	53.93 m
T.O. ROOF SLAB	173.92'	53.01 m
MAX. HEIGHT	171.62'	52.31 m
LEVEL 10	165.00'	50.29 m
LEVEL 9	155.33'	47.35 m
LEVEL 8	145.67'	44.40 m
LEVEL 7	136.00'	41.45 m
LEVEL 6	126.33'	38.51 m
LEVEL 5	117.67'	35.86 m
LEVEL 4	109.00'	33.22 m
LEVEL 3	100.33'	30.58 m
LEVEL 2 RES	91.67'	27.94 m
LEVEL 2	87.67'	26.72 m
LEVEL 1	75.00'	22.86 m
LEVEL 1 CRU	73.19'	22.31 m
LEVEL 1 CRU	71.00'	21.64 m
P1	59.00'	18.00 m
P2	49.33'	15.06 m

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
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RE-ISSUED FOR REZONING & DP		05 MAY 2021

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parc
retirement
living

PROJECT NO. 17420

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

BUILDING SECTION G

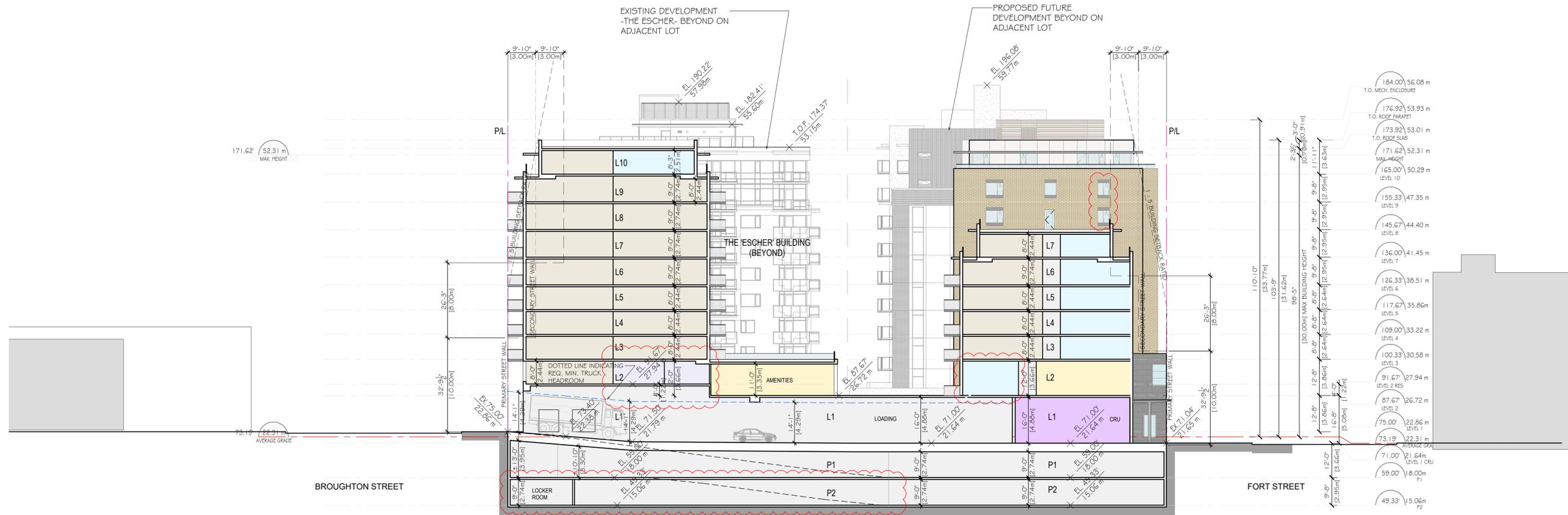
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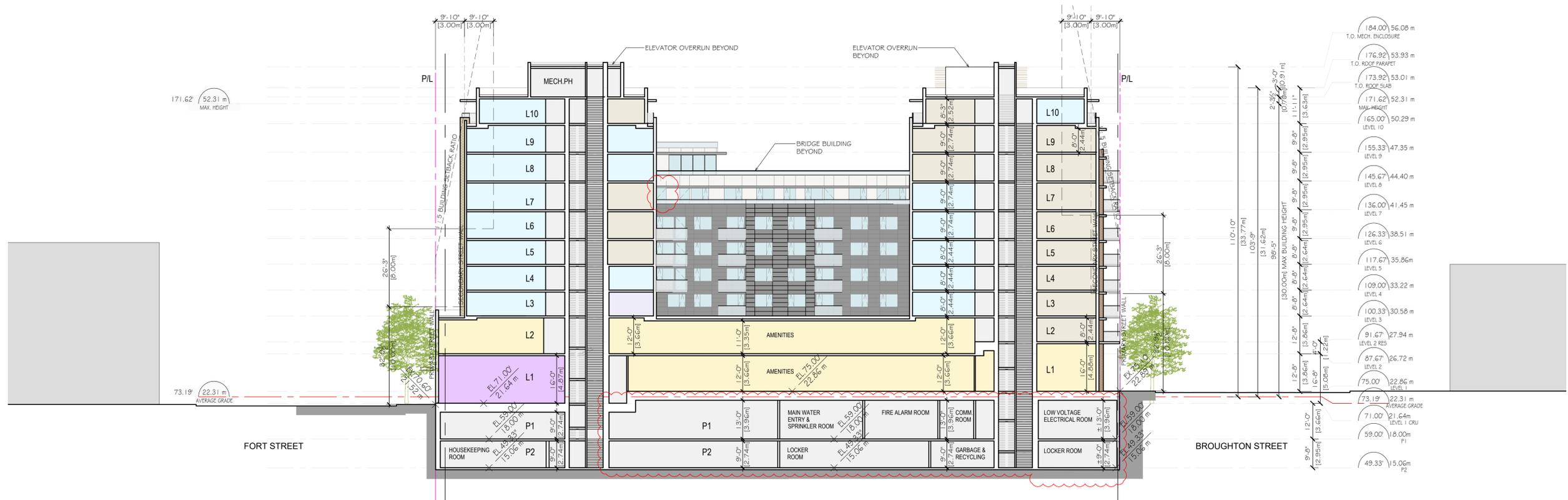
DRAWING NO. REVISION

A507

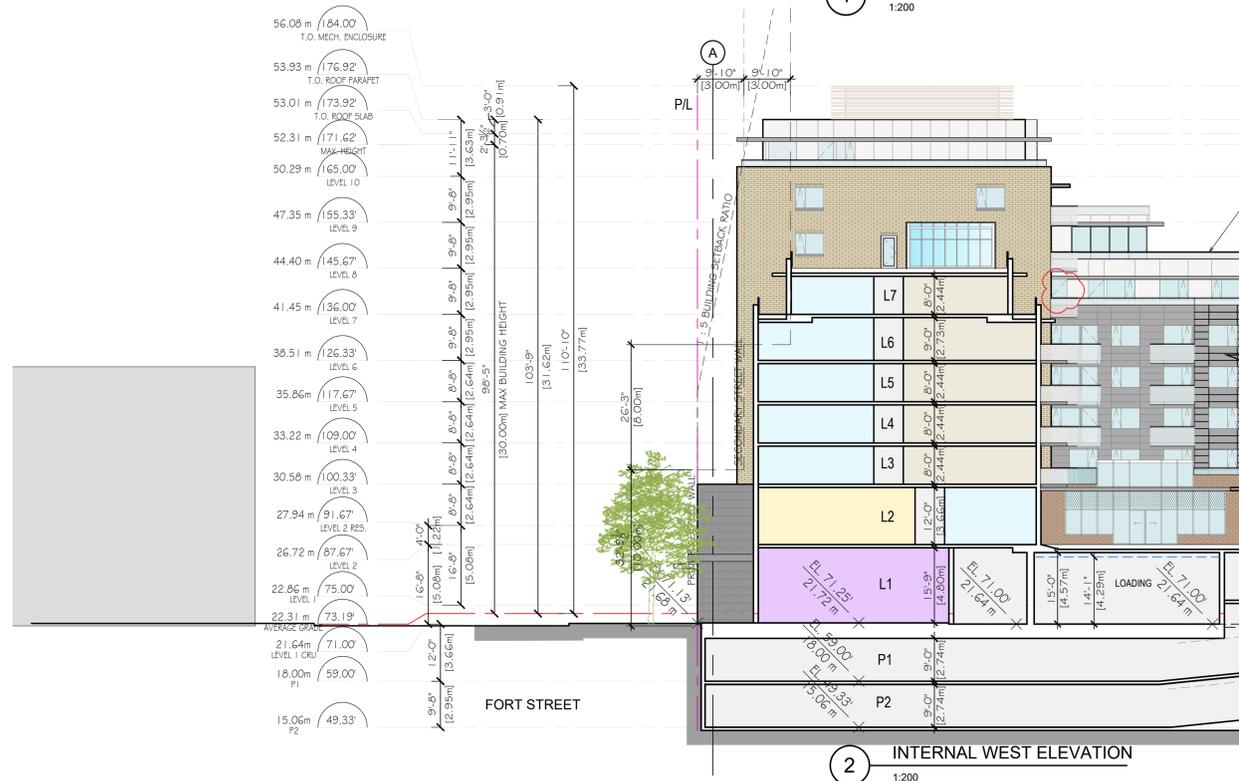
DATE APR 2017 DRAWN

SCALE 1:200 CHECKED





1 SECTION H / INTERNAL WEST ELEVATION
1:200



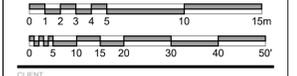
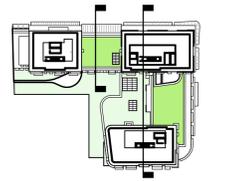
2 INTERNAL WEST ELEVATION
1:200

Level	Height (m)	Height (ft)
T.O. MECH. ENCLOSURE	184.00	56.08
T.O. ROOF PARAPET	176.92	53.93
T.O. ROOF SLAB	173.92	53.01
MAX HEIGHT	171.62	52.31
LEVEL 10	165.00	50.29
LEVEL 9	155.33	47.35
LEVEL 8	145.67	44.40
LEVEL 7	136.00	41.45
LEVEL 6	126.33	38.51
LEVEL 5	117.67	35.86
LEVEL 4	109.00	33.22
LEVEL 3	100.33	30.58
LEVEL 2 RES	91.67	27.94
LEVEL 2	87.67	26.72
LEVEL 1	75.00	22.86
AVERAGE GRADE	73.19	22.31
LEVEL 1 CRU	71.00	21.44
P1	59.00	18.00
P2	49.33	15.06

REVISIONS

NO.	DESCRIPTION	DATE
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RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

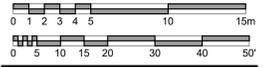
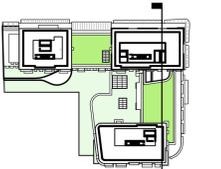
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REVISIONS

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CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
BUILDING SECTION J

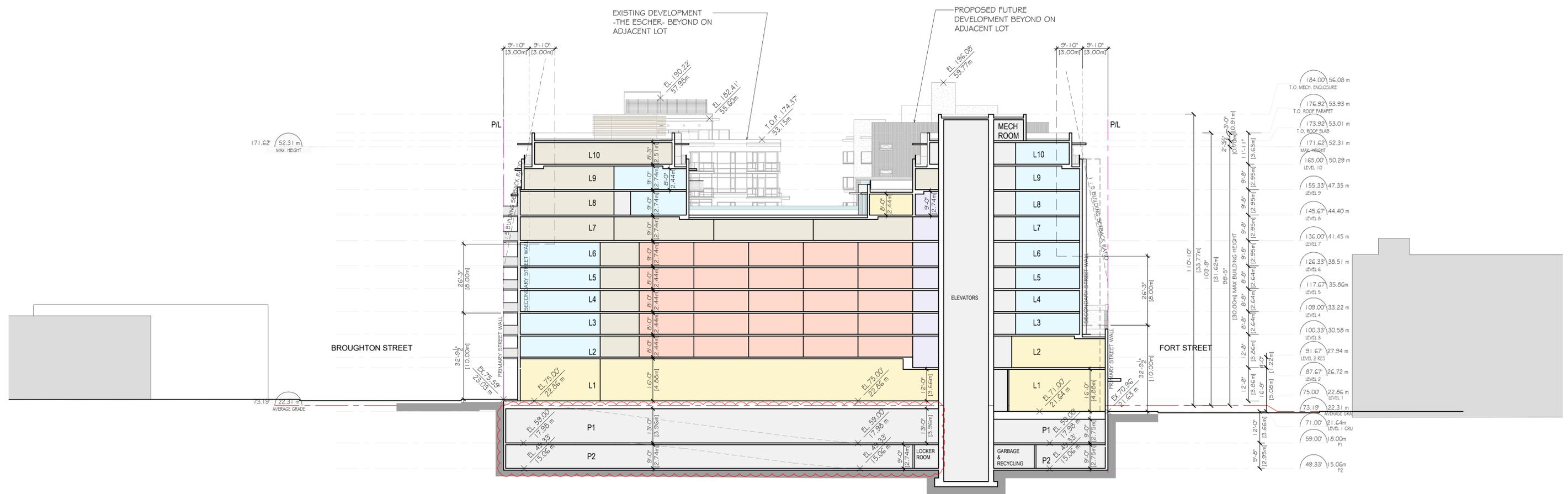
SEAL

DRAWING NO. REVISION

A509

DATE APR 2017 DRAWN

SCALE 1:200 CHECKED



171.62' 52.31 m
MAX. HEIGHT

73.19' 22.31 m
AVERAGE GRADE

BROUGHTON STREET

FORT STREET

EXISTING DEVELOPMENT
-THE ESCHER- BEYOND ON
ADJACENT LOT

PROPOSED FUTURE
DEVELOPMENT BEYOND ON
ADJACENT LOT

P/L

P/L

ELEVATORS

MECH ROOM

PRIMARY STREET WALL

SECONDARY STREET WALL

PRIMARY STREET WALL

SECONDARY STREET WALL

LOCKER ROOM

GARBAGE & RECYCLING

P2

P1

L1

L2

L3

L4

L5

L6

L7

L8

L9

L10

MECH ROOM

ELEVATORS

P2

P1

L1

L2

L3

L4

L5

L6

L7

L8

L9

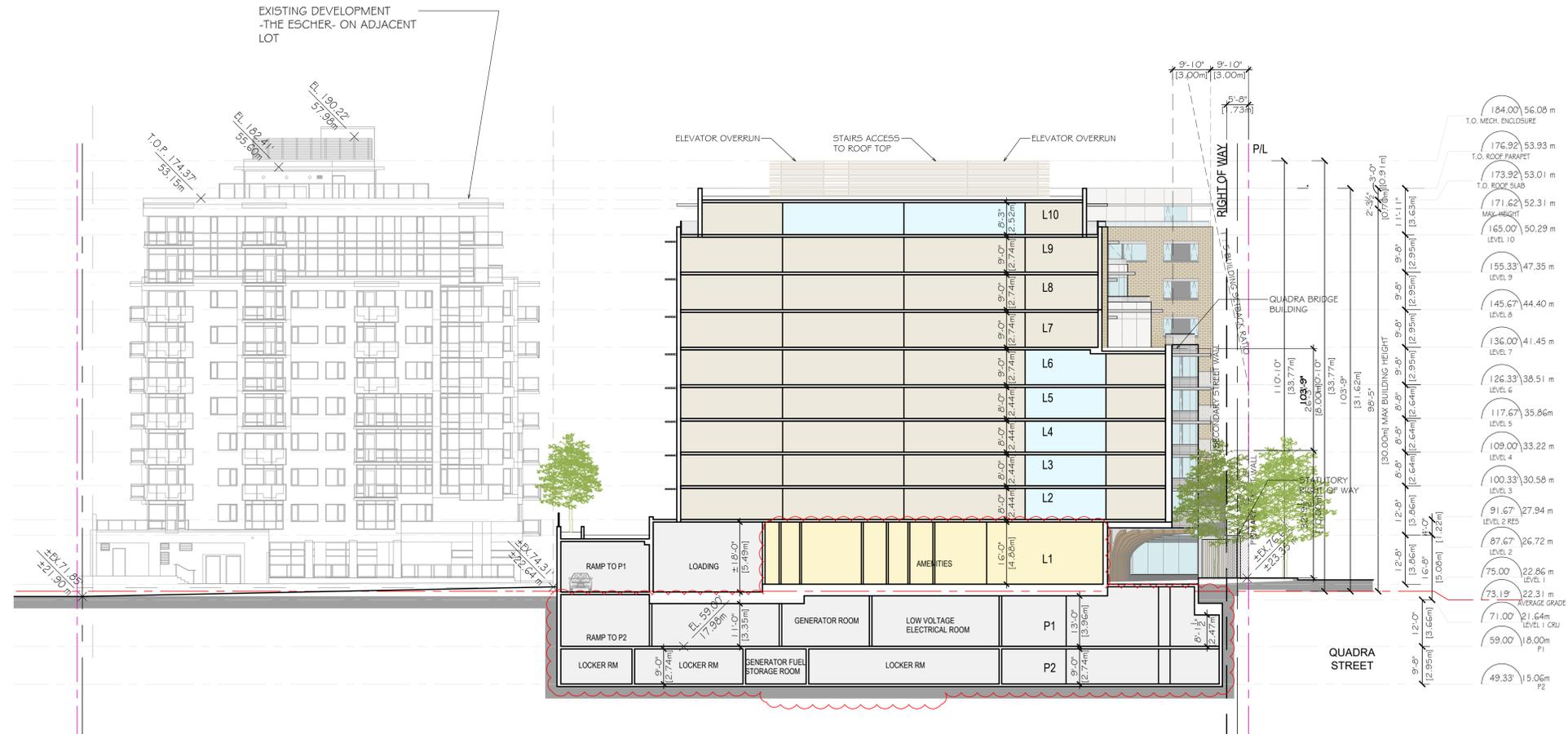
L10

MECH ROOM

ELEVATORS

P2

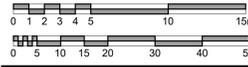
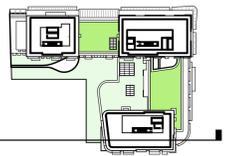
P1



REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
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CLIENT

parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

BUILDING SECTION K

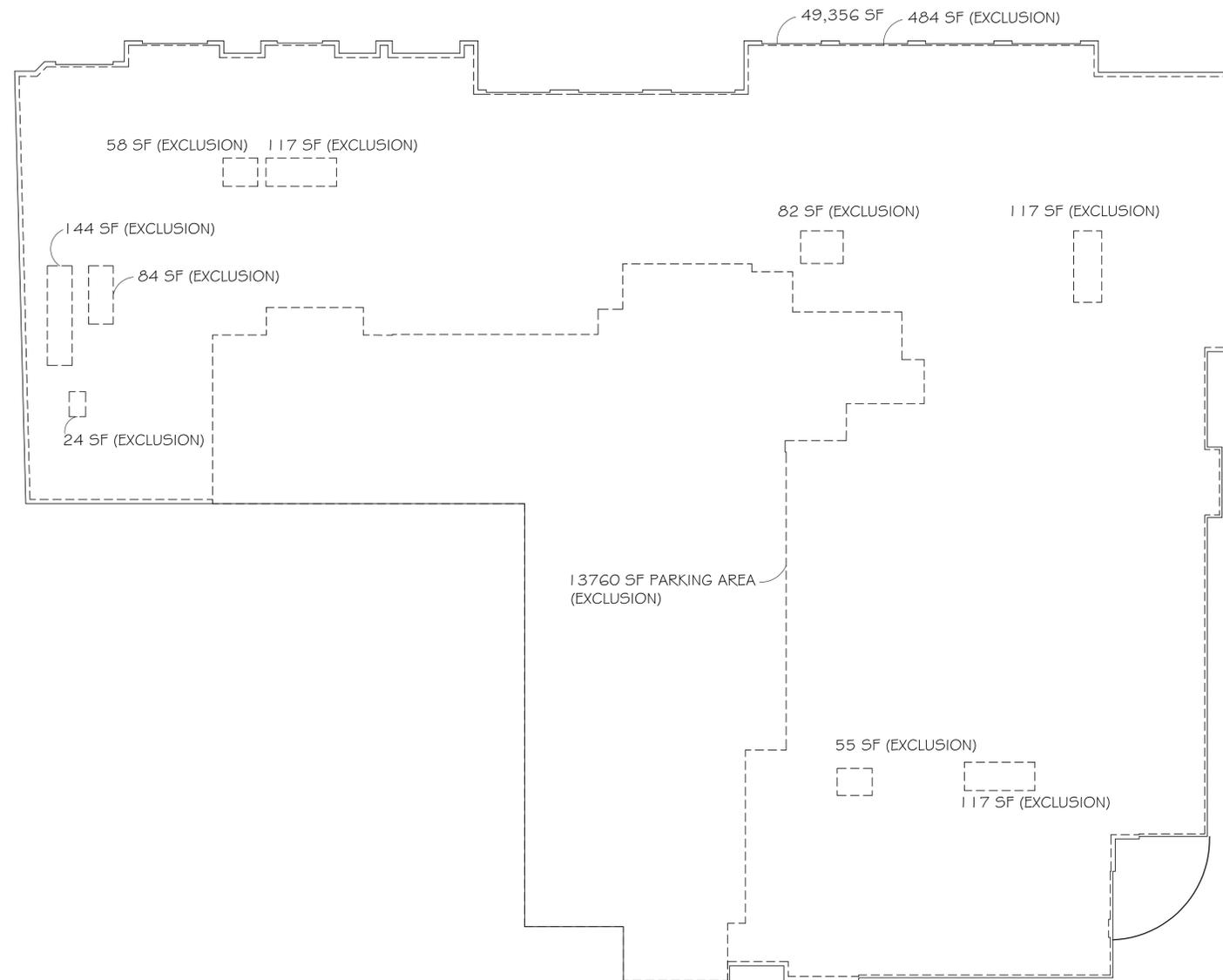
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DRAWING NO. REVISION

A510

DATE APR 2017 DRAWN

SCALE 1:200 CHECKED

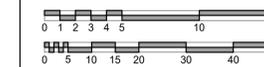


LEVEL 1 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 49,356 SF
 TOTAL EXCLUDED AREA = 15,042 SF
 TOTAL FSR = 34,314 SF

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
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CLIENT



PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

LEVEL 1
AREA OVERLAY

SEAL

DRAWING NO.

REVISION

-

001

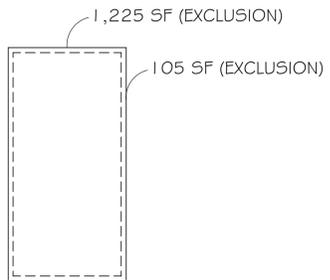
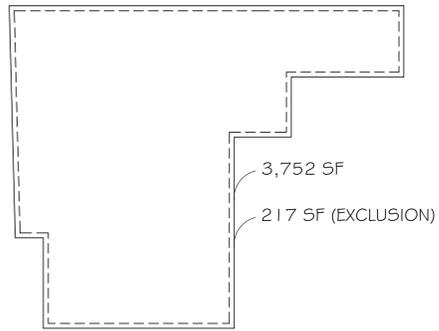
DATE

DRAWN

SCALE

CHECKED

1:200



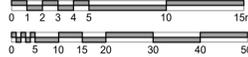
MECHANICAL LEVEL AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 4,977 SF
 TOTAL EXCLUDED AREA = 322 SF
 TOTAL FSR = 4,655 SF

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
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PROJECT NO. 17420

PROJECT
PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
MECHANICAL LEVEL
 AREA OVERLAY

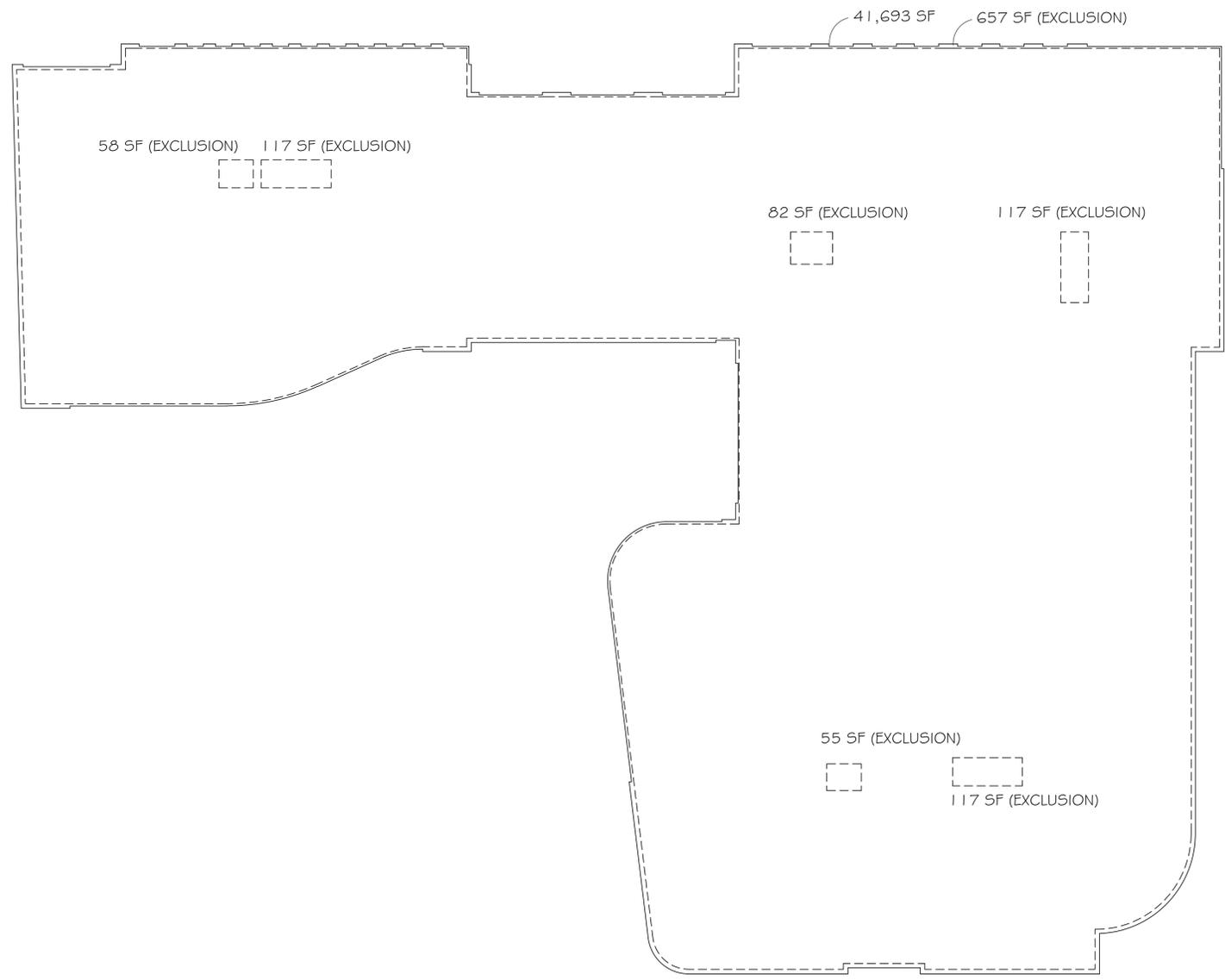
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DATE DRAWN

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LEVEL 2 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 41,693 SF
 TOTAL EXCLUDED AREA = 1,203 SF
 TOTAL FSR = 40,490 SF

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CLIENT
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PROJECT NO. 17420

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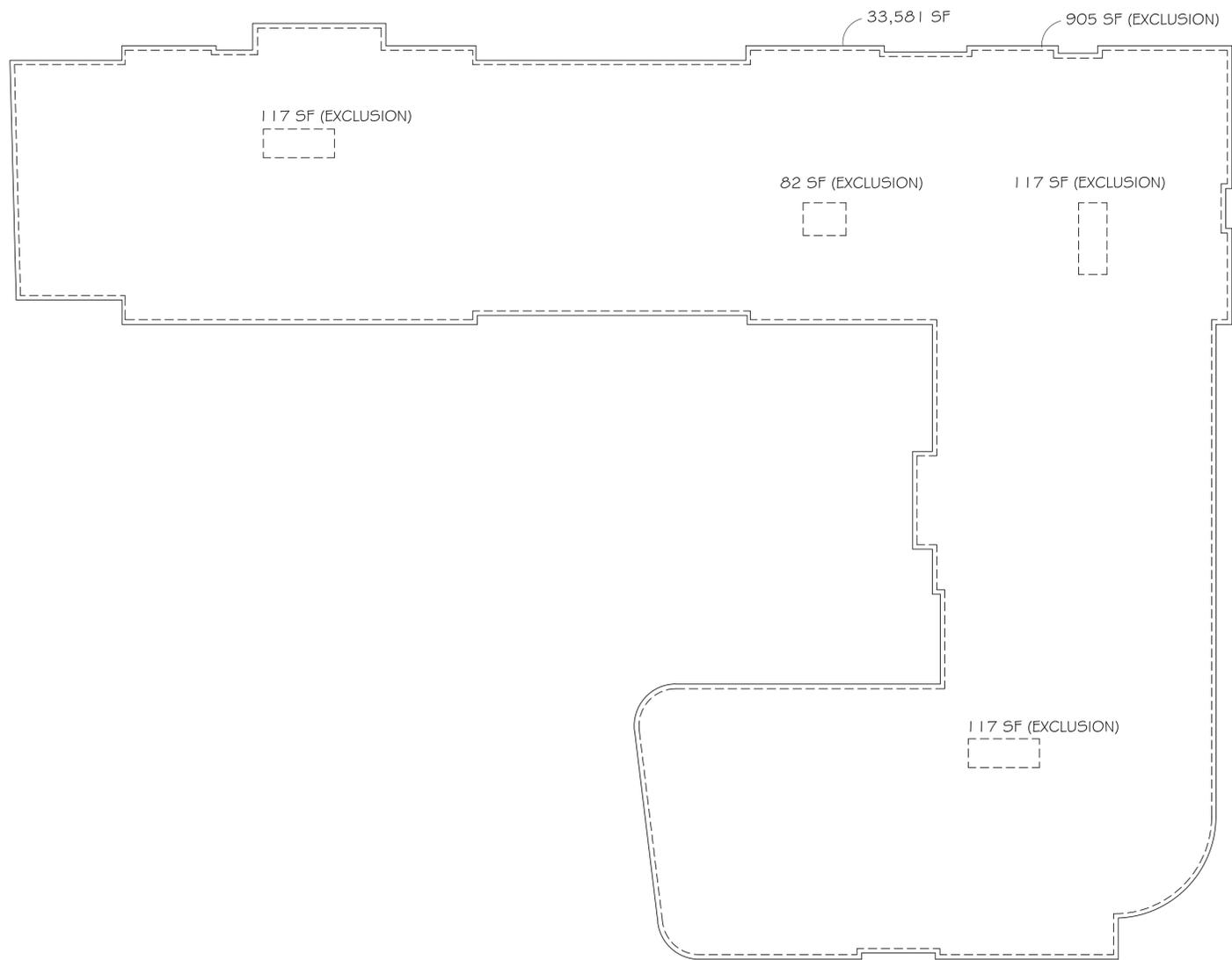
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LEVEL 2
 AREA OVERLAY

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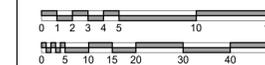


LEVEL 3 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 35,581 SF
 TOTAL EXCLUDED AREA = 1,338 SF
 TOTAL FSR = 32,243 SF

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ISSUED FOR REZONING & DP		18 SEP 2017
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LEVEL 3
 AREA OVERLAY

SEAL

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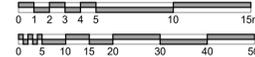
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PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

LEVEL 4
AREA OVERLAY

SEAL

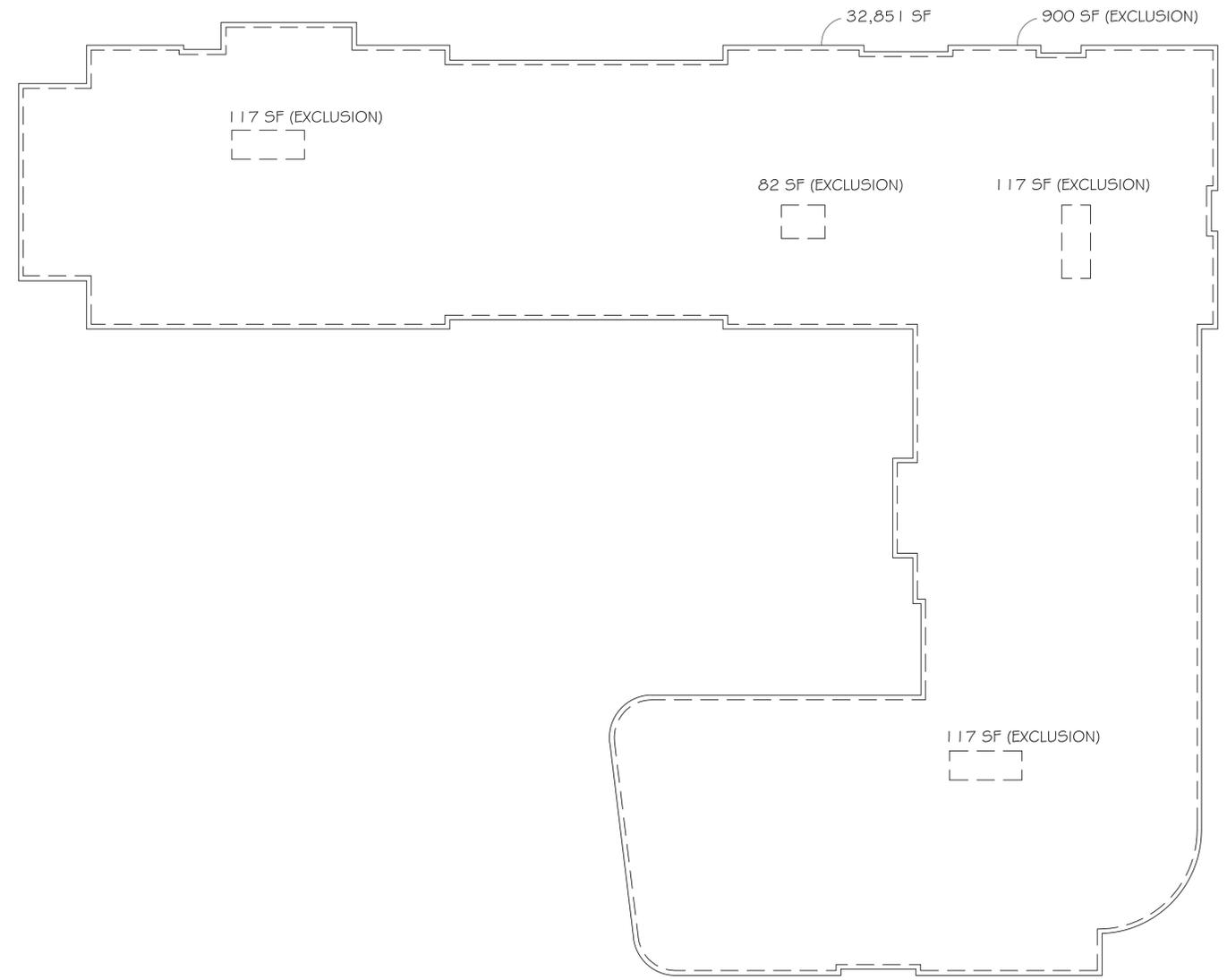
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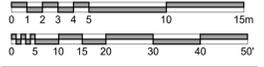


LEVEL 4 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 32,851 SF
 TOTAL EXCLUDED AREA = 1,333 SF
 TOTAL F5R = 31,518 SF

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PROJECT NO. 17420

PROJECT
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DRAWING TITLE
LEVEL 5
AREA OVERLAY

SEAL

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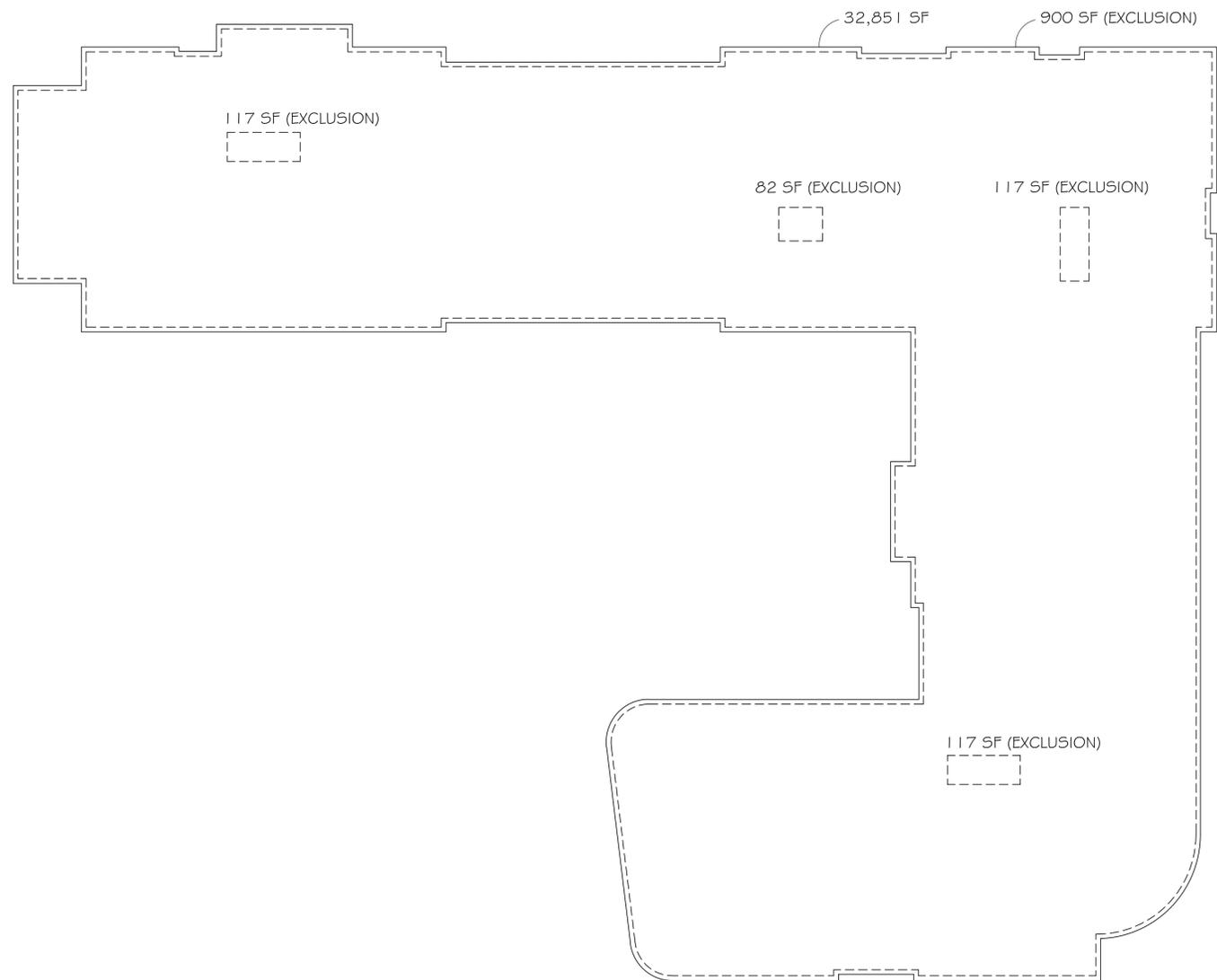
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LEVEL 5 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 32,851 SF
TOTAL EXCLUDED AREA = 1,333 SF
TOTAL FSR = 31,518 SF

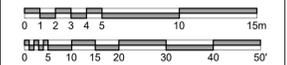


LEVEL 6 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 32,851 SF
 TOTAL EXCLUDED AREA = 1,333 SF
 TOTAL FSR = 31,518 SF

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LEVEL 6
AREA OVERLAY

SEAL

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REVISION

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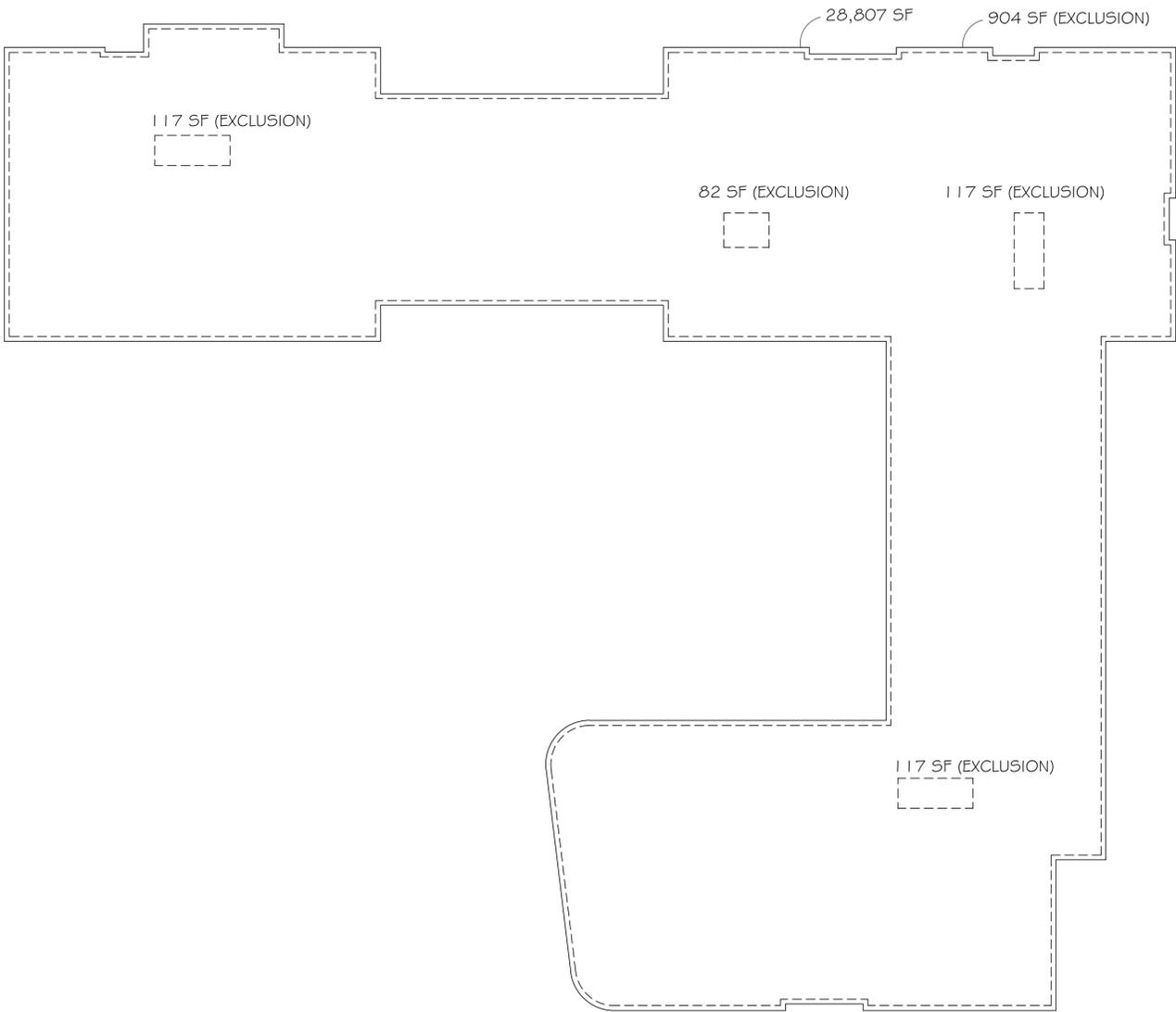
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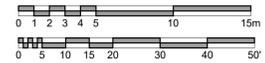


LEVEL 7 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 28,807 SF
 TOTAL EXCLUDED AREA = 1,337 SF
 TOTAL FSR = 27,470 SF

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 Mixed Use Seniors Residential &
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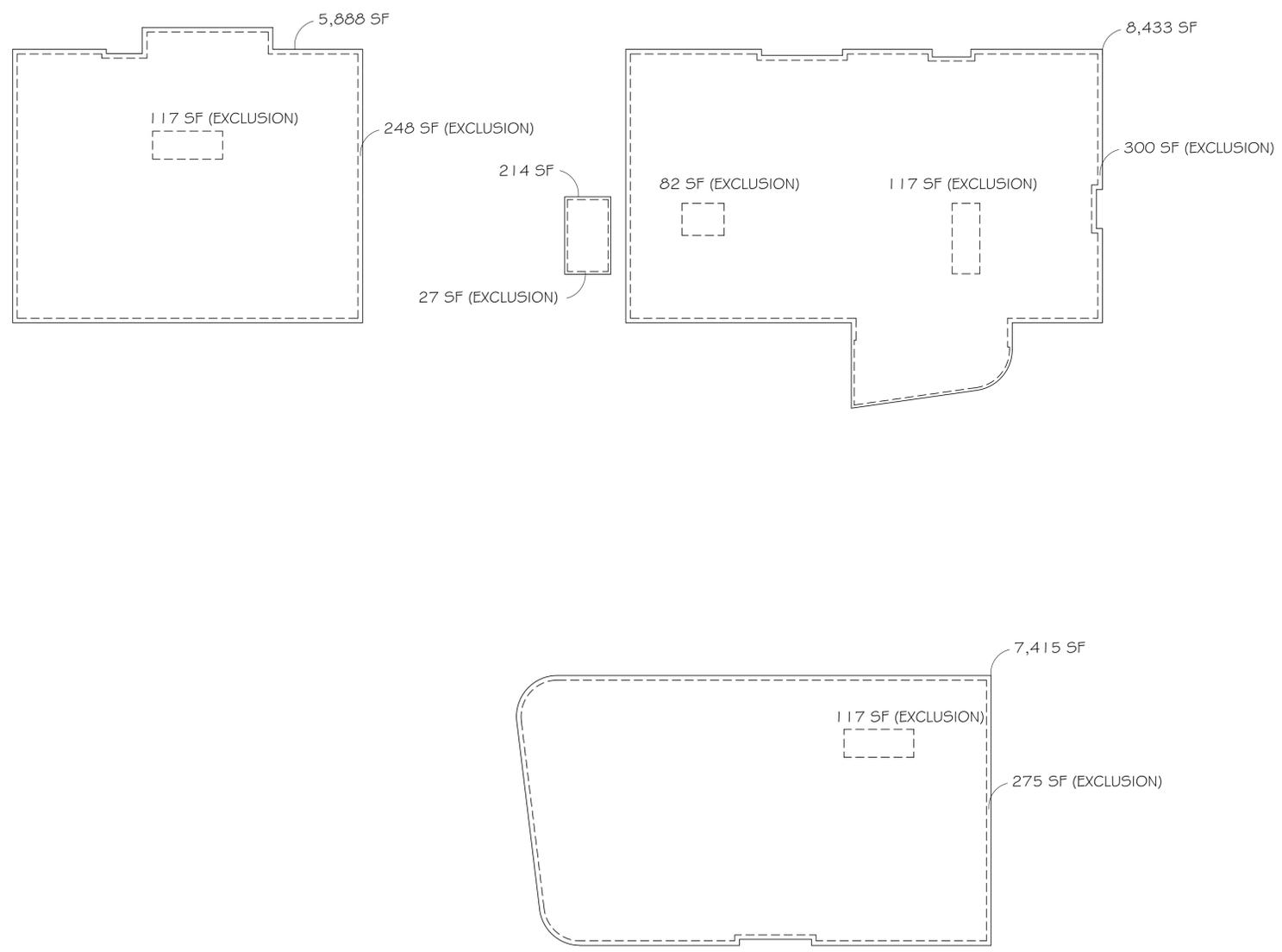
DRAWING TITLE
LEVEL 7
 AREA OVERLAY

SEAL

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DATE DRAWN
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LEVEL 8 AREA CALCULATION:

TOTAL GROSS FLOOR AREA	=	21,950 SF
TOTAL EXCLUDED AREA	=	1,283 SF
TOTAL FSR	=	<u>20,667 SF</u>

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PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

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LEVEL 8
AREA OVERLAY

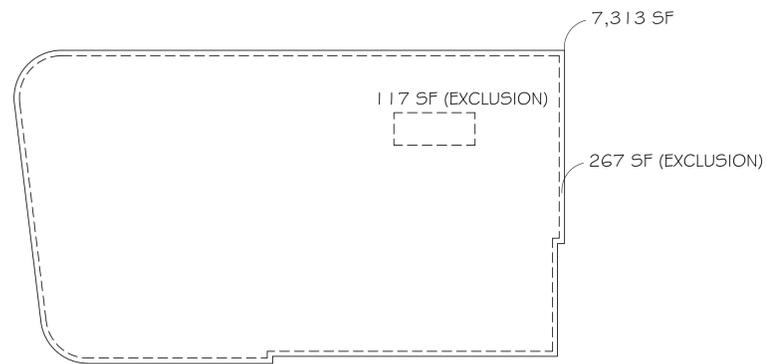
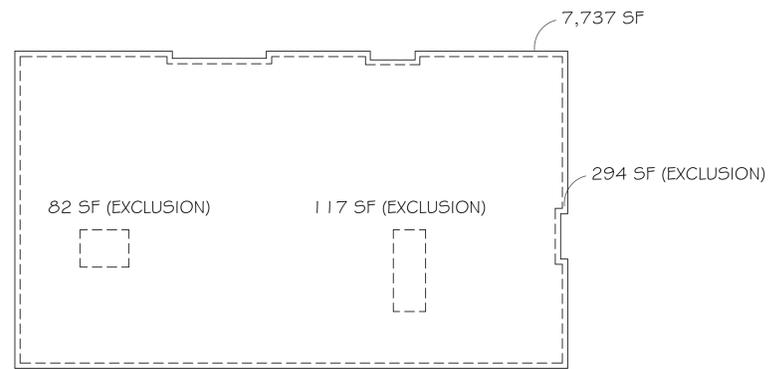
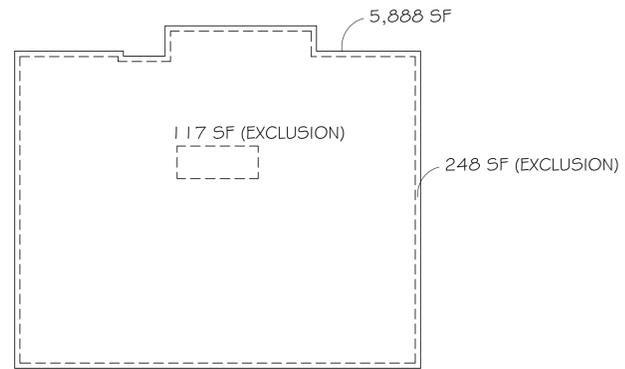
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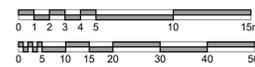
LEVEL 9 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 20,938 SF
 TOTAL EXCLUDED AREA = 1,242 SF
 TOTAL FSR = 19,696 SF

REVISIONS

NO.	DESCRIPTION	DATE
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LEVEL 9
 AREA OVERLAY

SEAL

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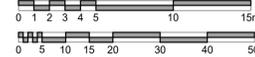
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LEVEL 10
AREA OVERLAY

SEAL

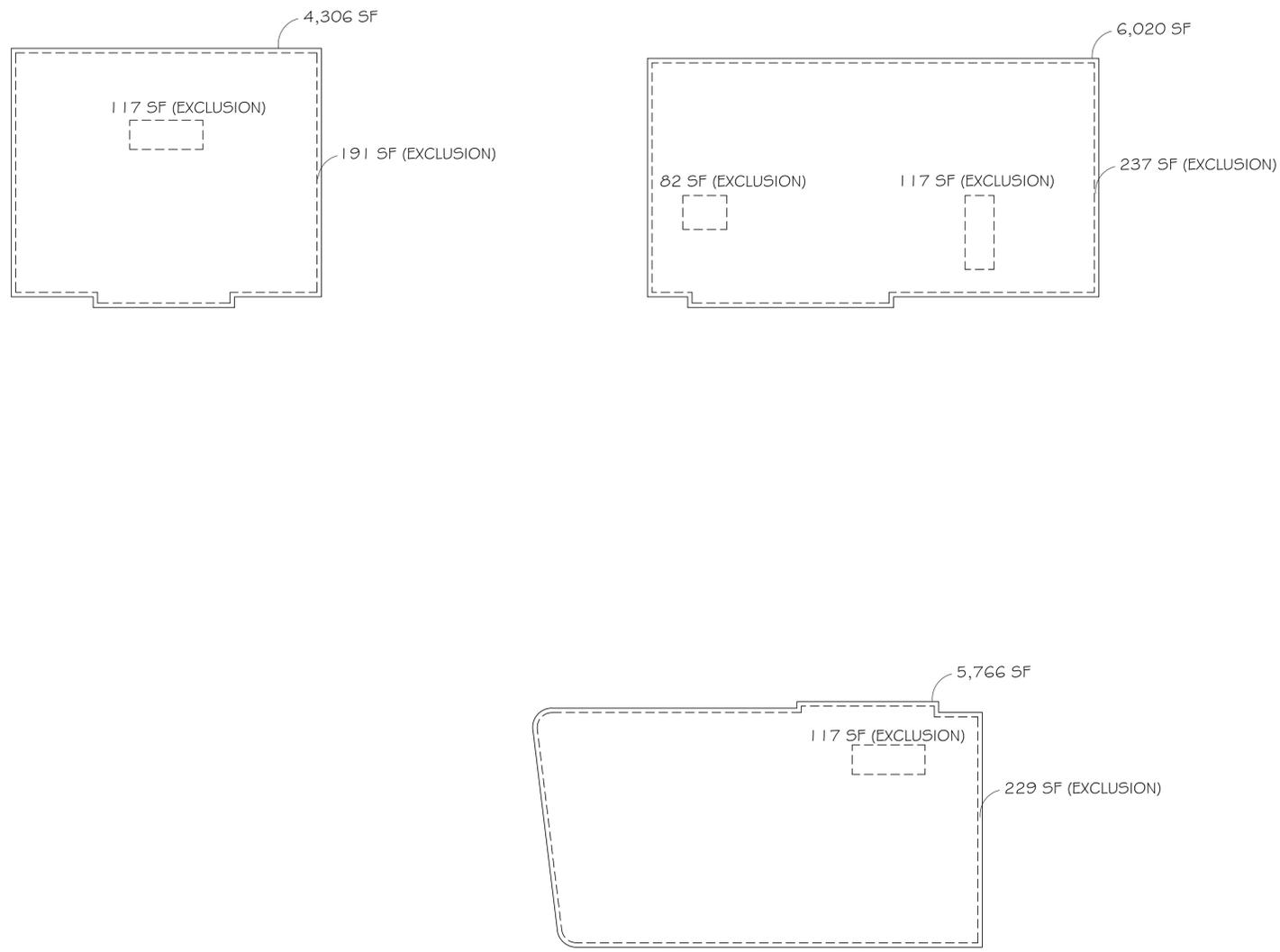
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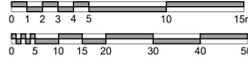
LEVEL 10 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 16,092 SF
TOTAL EXCLUDED AREA = 1,090 SF
TOTAL FSR = 15,002 SF

REVISIONS

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DRAWING TITLE
ROOF
AREA OVERLAY

SEAL

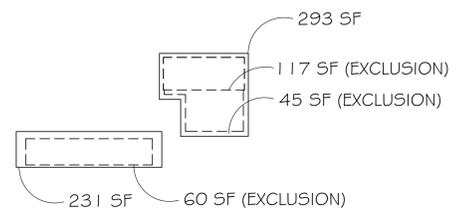
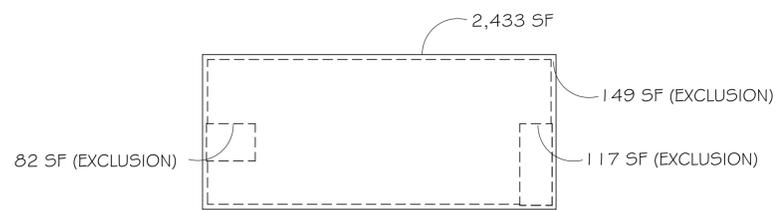
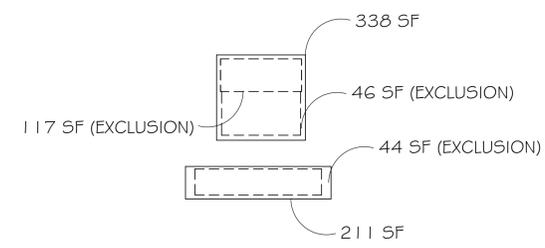
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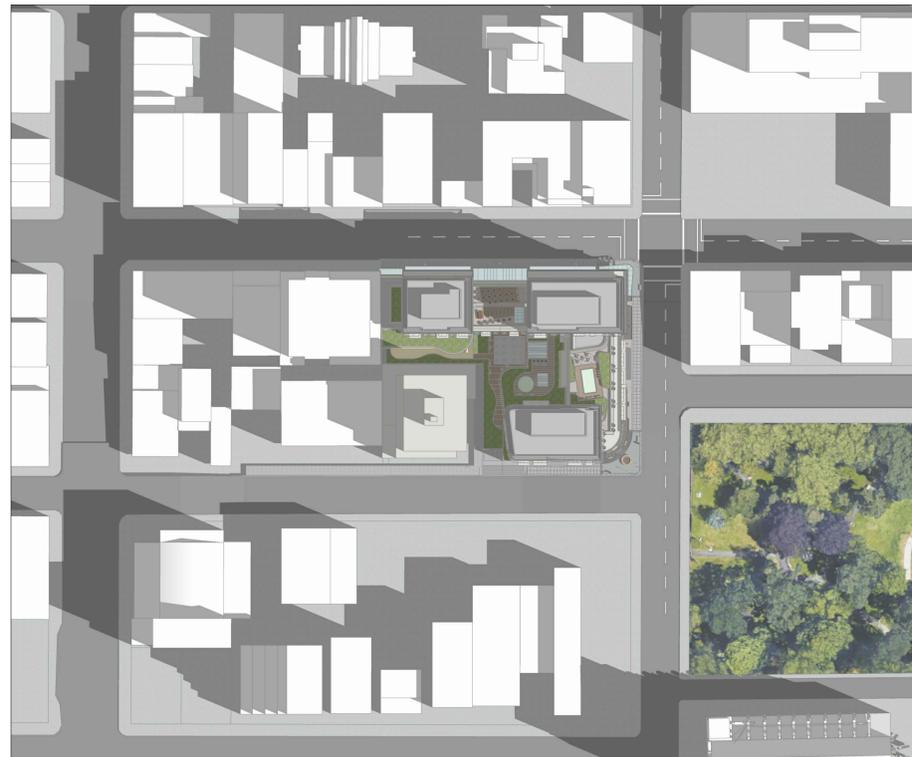
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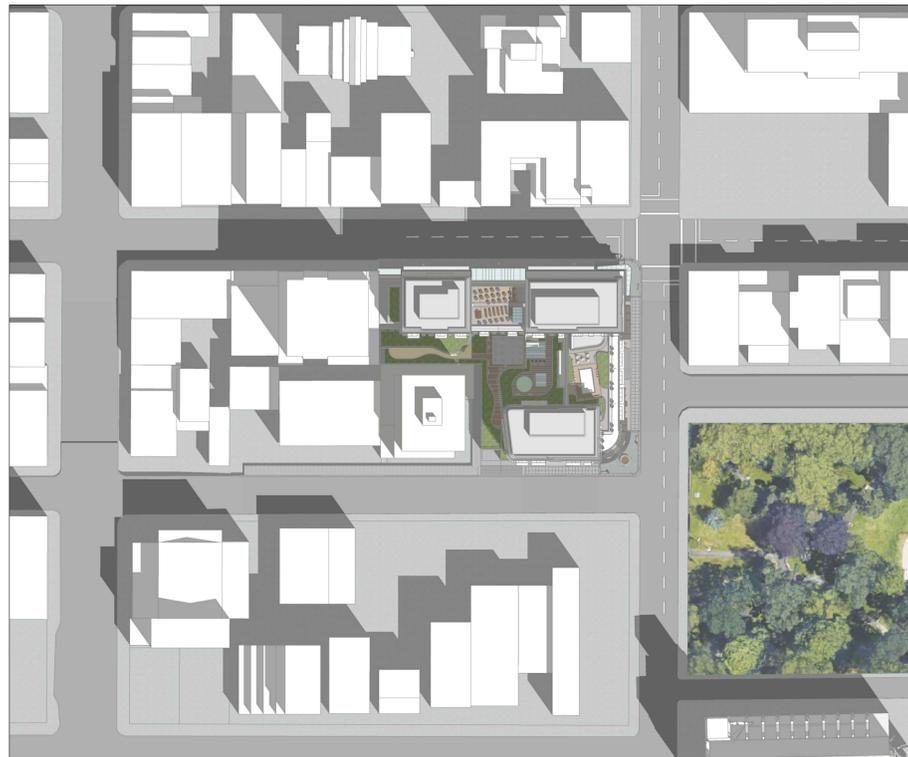


ROOF AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 3,506 SF
TOTAL EXCLUDED AREA = 777 SF
TOTAL FSR = 2,729 SF



MARCH 21 (10:00 am)



MARCH 21 (12:00 pm)



MARCH 21 (02:00 pm)



MARCH 21 (04:00 pm)

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
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PROJECT **PARC VICTORIA**
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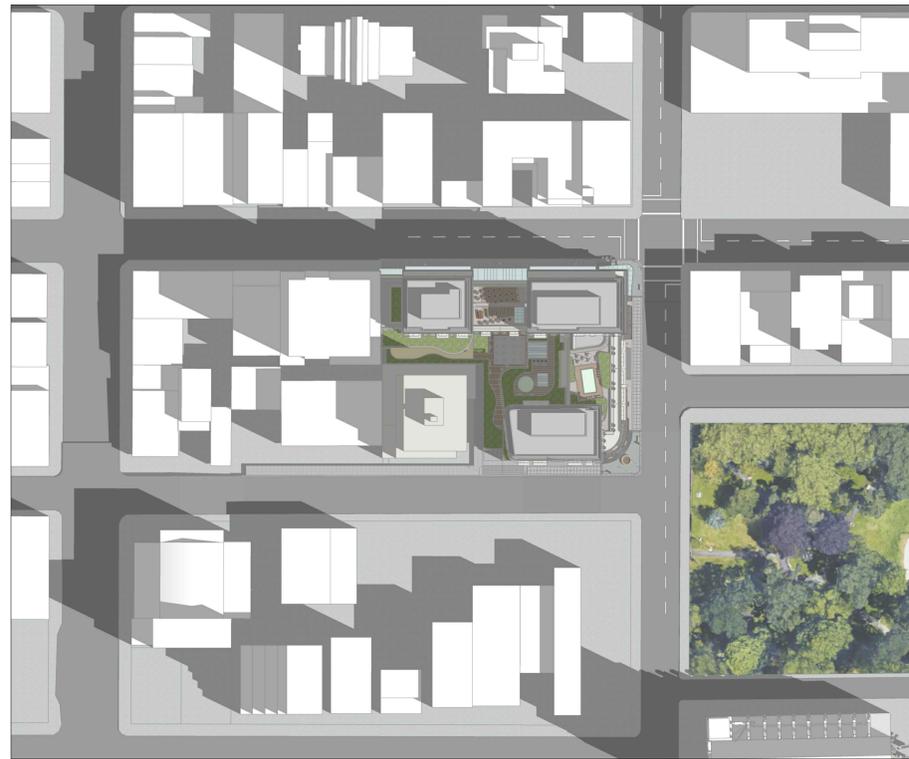
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SHADOW ANALYSIS

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SEPT 21 (10:00 am)



SEPT 21 (12:00 pm)



SEPT 21 (02:00 pm)



SEPT 21 (04:00 pm)

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1	ISSUED FOR REZONING & DP	18 SEP 2017
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4	RE-ISSUED FOR ADP	24 APR 2019

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CLIENT
parc retirement living

PROJECT NO. 17420
PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
SHADOW ANALYSIS

SEAL

DRAWING NO. REVISION
-

SH02

DATE DRAWN
SCALE CHECKED
NTS