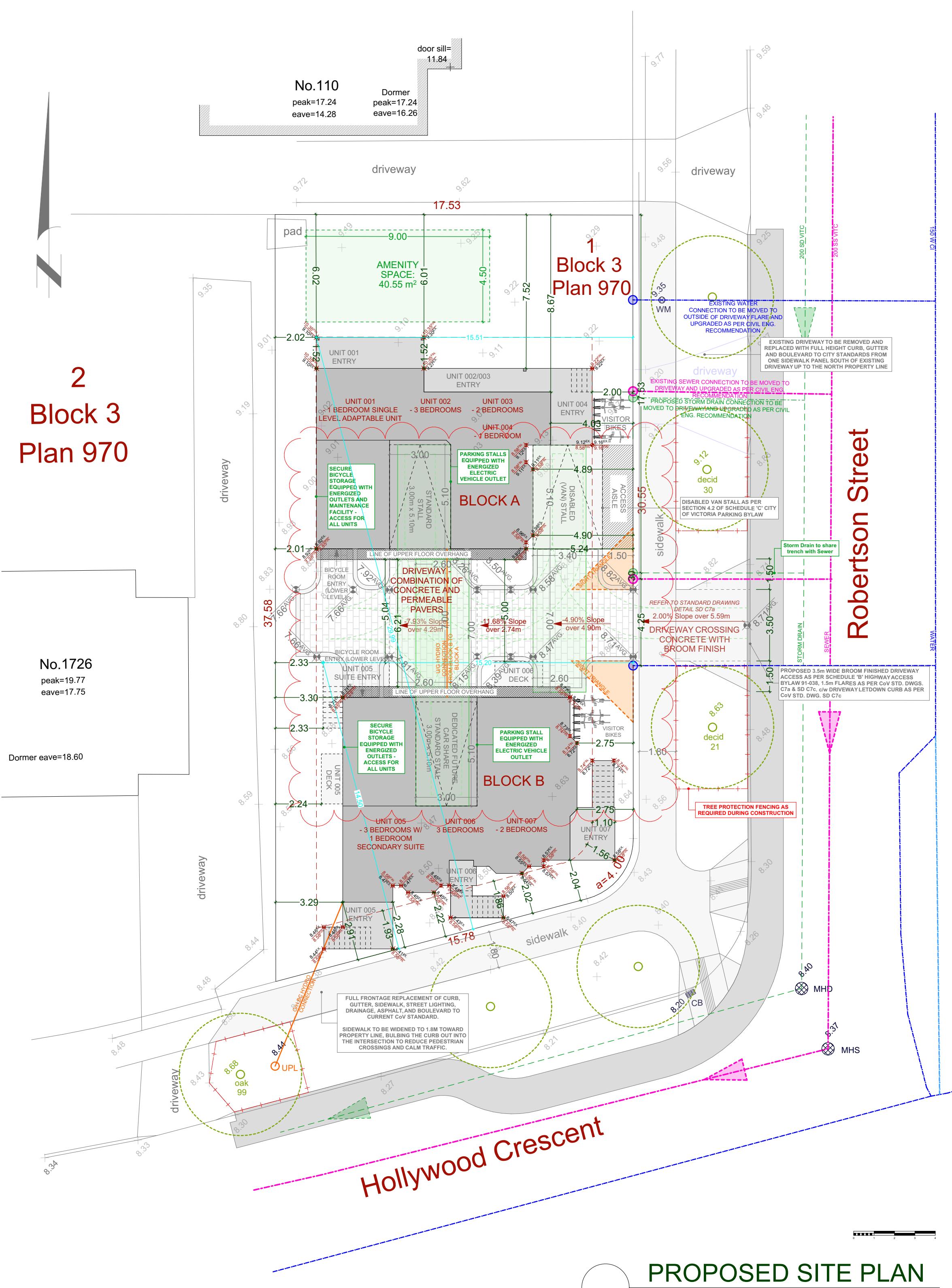


28
Block 3
Plan 970



PROPOSED SITE PLAN
SCALE = 1 : 150

NAFS REQUIREMENTS:
Performance Grade of 30
Water Test Pressure of 260 Pa

GENERAL NOTES
ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.
ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.
DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE
-SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR

SITE PLAN
ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR.
ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER.
ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.
CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.
CONCRETE AND FOUNDATIONS
ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.

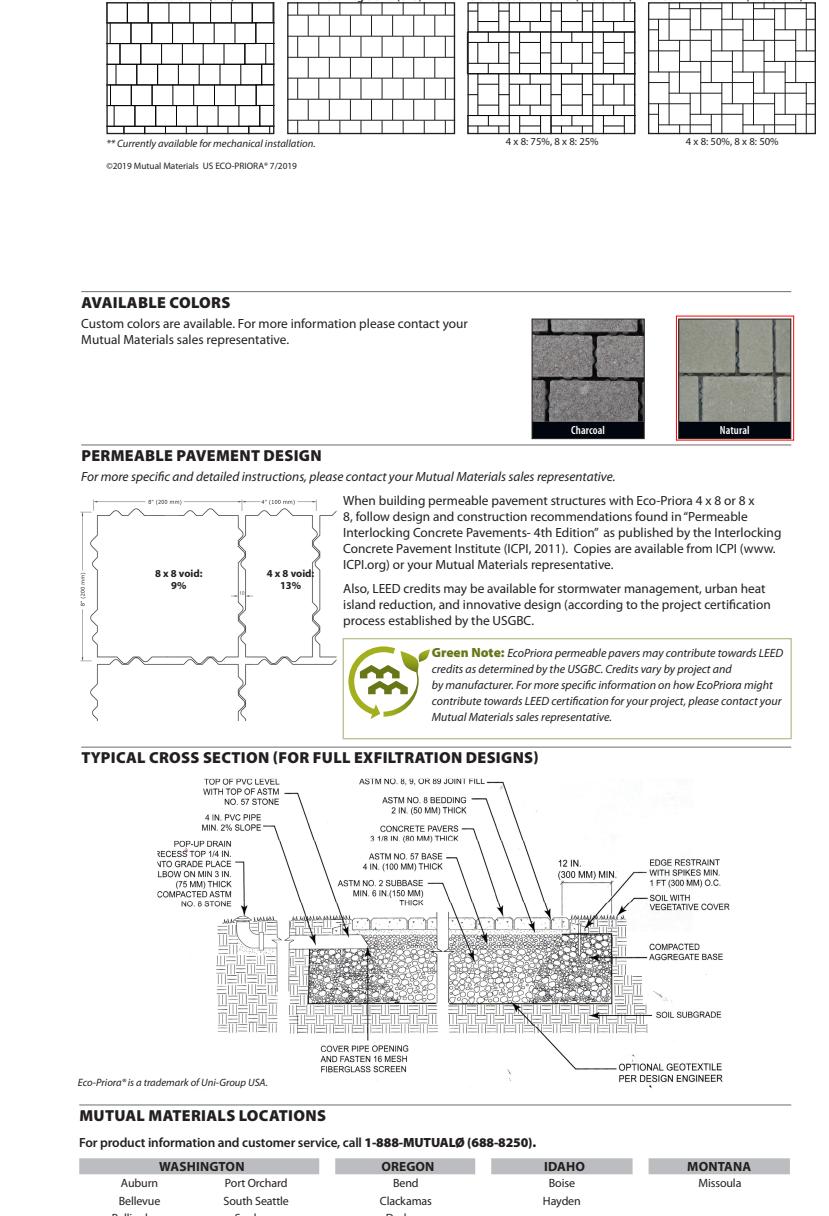
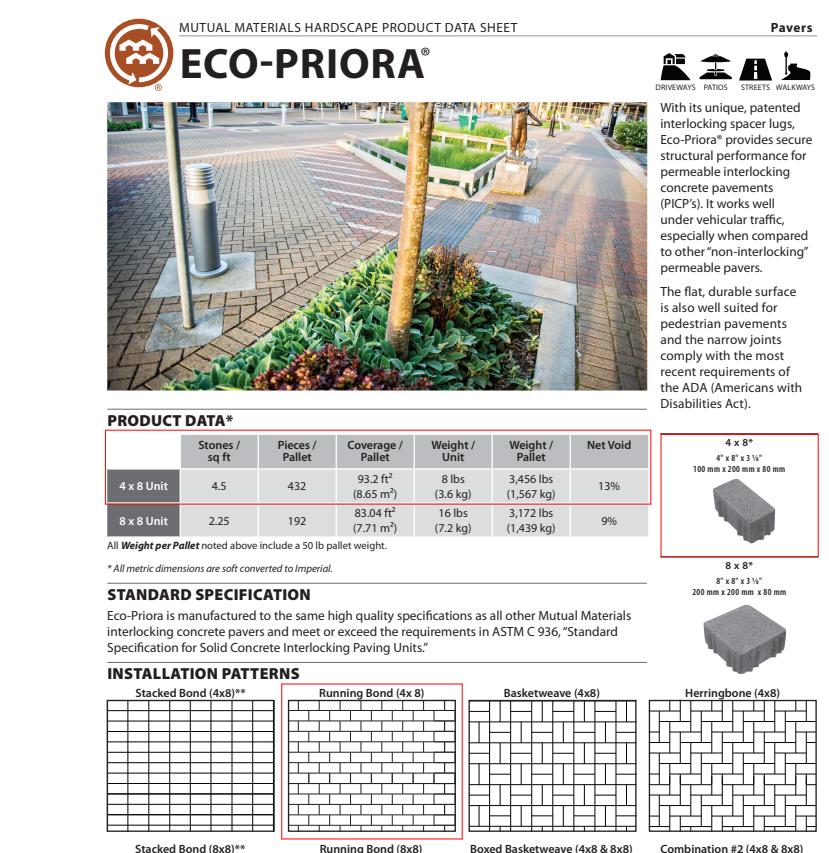
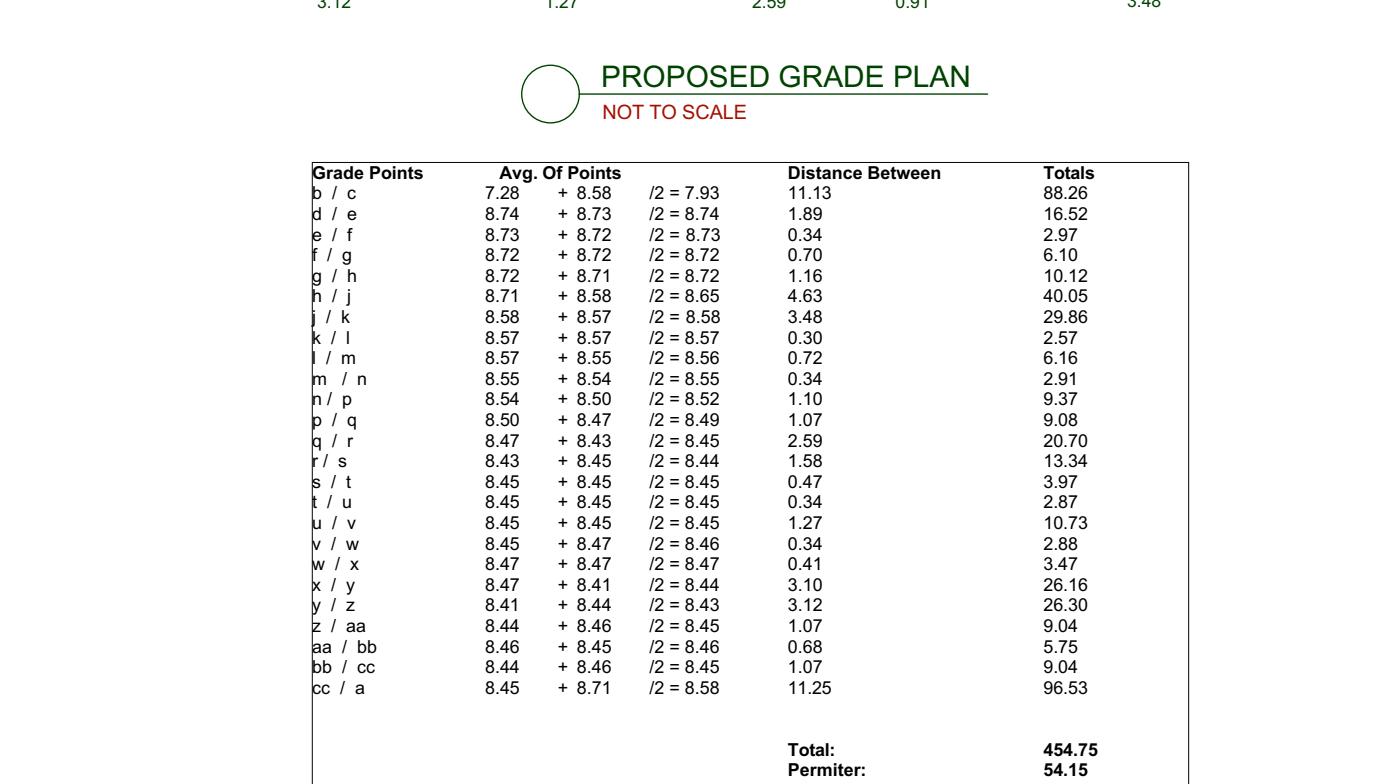
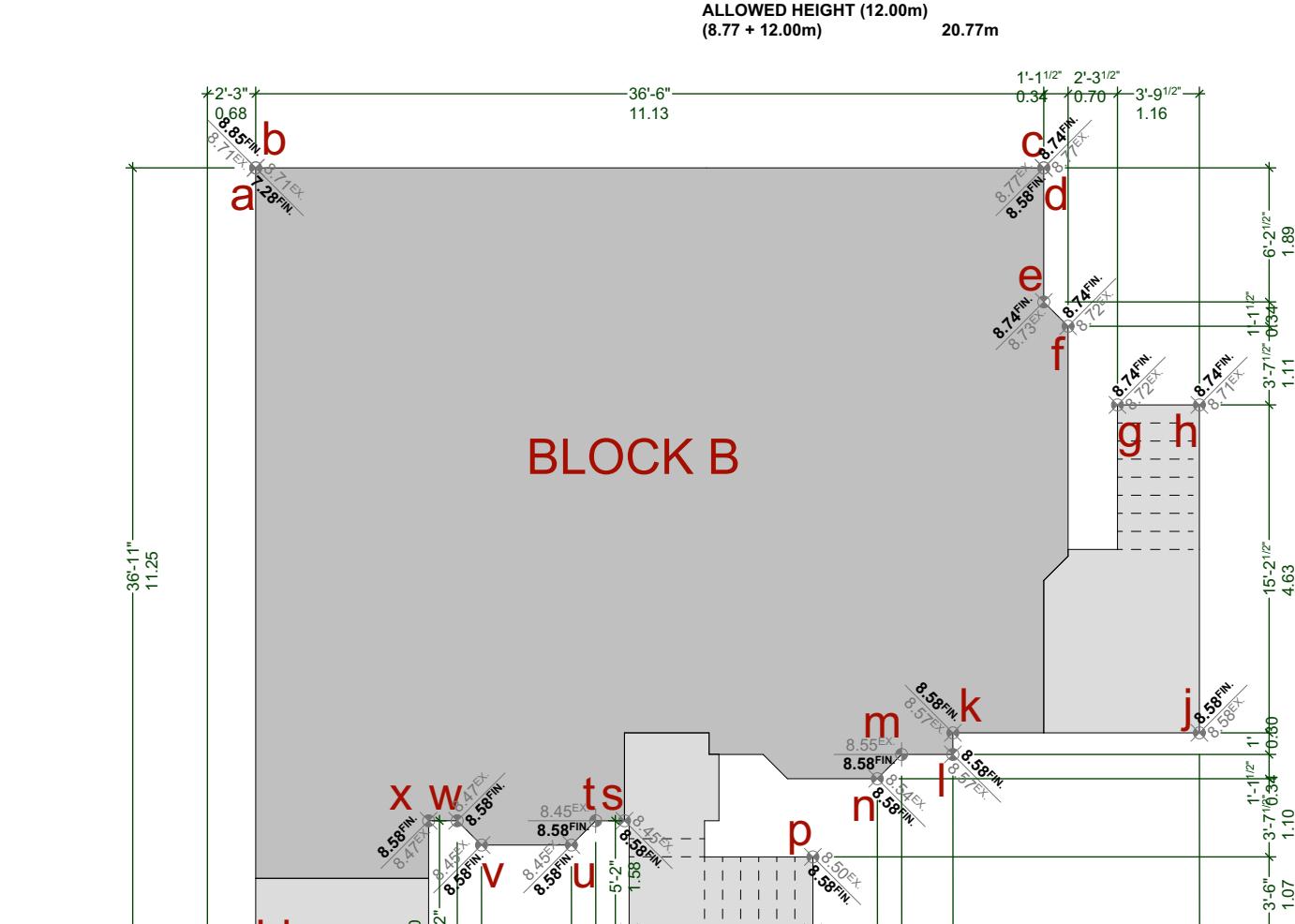
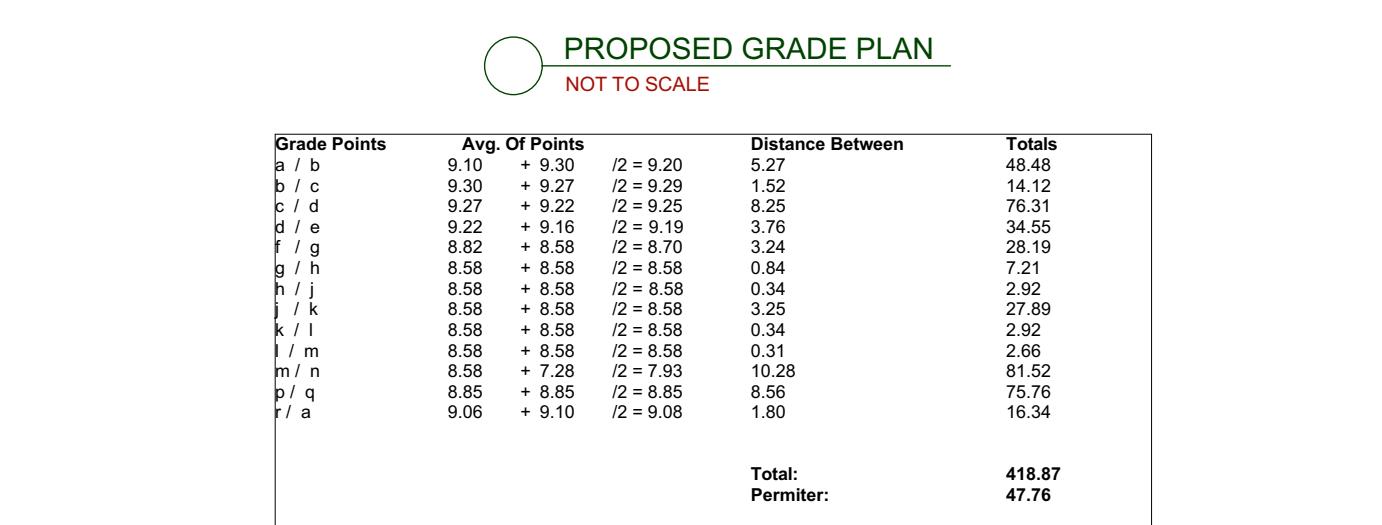
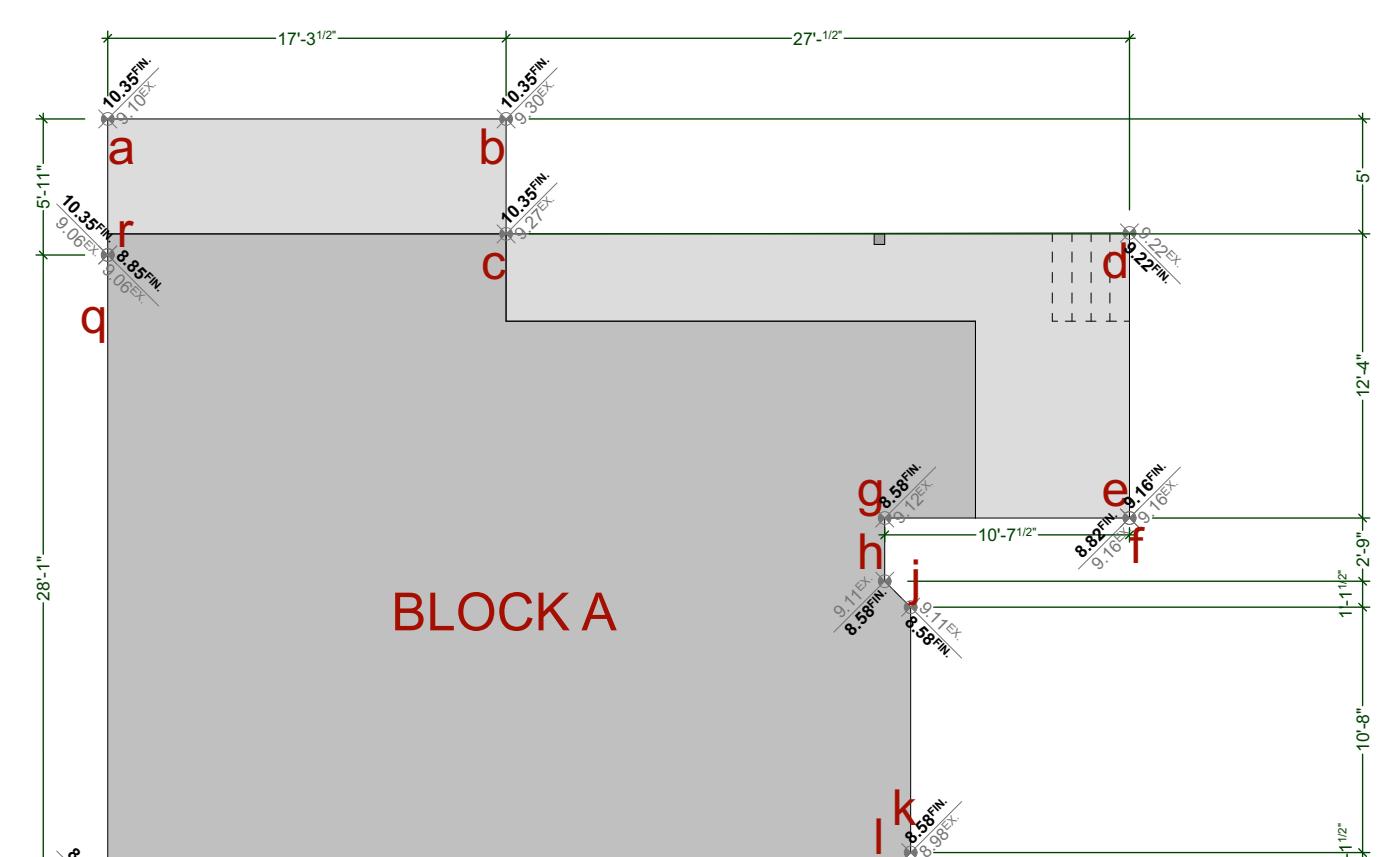
IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.
GARAGE & CARGO FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPa.
FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2900 psi (20 MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN/CSA-A438.
PLUMBING & ELECTRICAL
ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED.
ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE.
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

LUMBER, FRAMING AND BEAMS
BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4 M.O.C.
ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.
ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN THE SPAN BOOK AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

TRUSSES
TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.
ROOFING
ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.
PLUMBING & ELECTRICAL
ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

FLASHING
ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING.
ALL EXPOSED FLASHING SHALL INCORPORATE STEP FLASHING.
ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.
DOORS - ROUGH OPENING SIZES
FRAME OPENING 1 1/4" WIDER THAN DOOR
FRAMING OPENING 8" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAMES OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81.5".
MISC.
CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19.

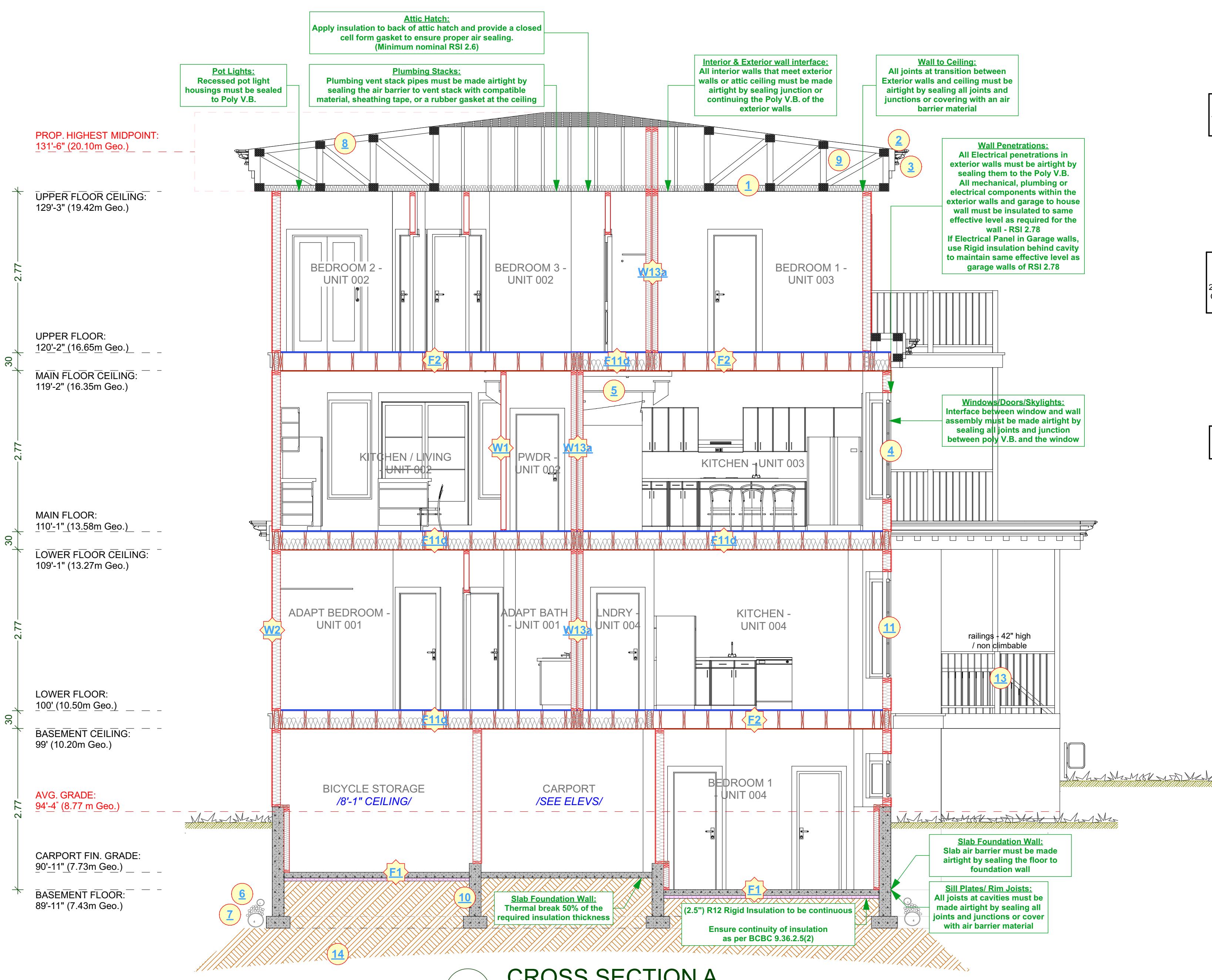
PROJECT DATATABLE - MULTI FAMILY DWELLING					
Address	1734 Hollywood Cres				
Lot Size	616.53m ² (6,636.27 ft ²)				
Zoning	R1-G - MISSING MIDDLE BYLAW - SCHEDULE P				
Location	BLOCK A			BLOCK B	
Lot Width***	17.53m***			20m	
Building to be within 36m of two streets	29.99m	15.20m	-		
All buildings to be within 20m of a street	15.51m	14.50m	-		
Floor Area					
Upper Floor Area	90.61m ² (951.90 ft ²)	98.66 m ² (1,061.98 ft ²)	-		
Main Floor Area	91.84m ² (988.60 ft ²)	98.92 m ² (1,064.81 ft ²)	-		
Lower Floor Area	88.44m ² (954.12 ft ²)	100.11 m ² (1,077.54 ft ²)	-		
Basement Floor Area	52.82m ² (568.55 ft ²)	59.44 m ² (639.61 ft ²)	-		
Bicycle Storage Area	17.12m ² (184.28 ft ²)	17.12 m ² (184.28 ft ²)	-		
Floor Space Ratio	0.923			1.1	
0.568.76 m ² (6,124.39 ft ²)	678.18m ² (7,299.87 ft ²)				
Height					
Average grade	8.77m Geo.	8.40m Geo.	-		
Building Height (maximum)	11.33m (37.17 ft)	11.68m (38.32 ft)	11.00m - Flat roofs 12.00m - All other roofs		
Setbacks, Projections					
Street setback (Robertson) (minimum) (South)	2.00m (6.56 ft)	2.75m (9.02 ft)	2.00m (6.56 ft)		
Street setback (Hollywood) (minimum) (East)	-	2.02m (6.63 ft)	2.00m (6.56 ft)		
Maximum projections into all setbacks:	• steps, ramp, porch			2.00m (6.56 ft)	
North setback (minimum)	6.01m (Habitable) (19.72 ft)	21.95m (Habitable) (72.01 ft)	6.00m (Habitable) 2.00m (Non-hab.)		
West setback (minimum)	2.01m (Non-hab.) (6.60 ft)	2.24m (Non-hab.) (7.64 ft)	6.00m (Habitable) 2.00m (Non-hab.)		
Eave projections into setback (maximum)	0.65m (2.13 ft)	0.65m (2.13 ft)	0.75m (2.46 ft)		
Building separation (minimum)	5.04m (16.54 ft)	5.04m (16.54 ft)	5.00m (16.40 ft)		
Site Coverage					
Site coverage (maximum)	39.85% (245.69m ² (2,636.59ft ²)	40.00% (246.61m ² (2,636.61ft ²)	-		
Open Site Space (minimum)	45.25% (278.98m ² (3,002.92ft ²)	45.00% (277.44m ² (3,002.94ft ²)	-		
Amenity Space (35m or 6.5% of lot area and min 4.5m in length on all sides)	14.13m ² (87.13m ² (937.86ft ²)	6.50m ² (40.08m ² (431.42ft ²)	-		
Site Impervious Areas	43.15% (266.03m ² (2,863.52ft ²)				
Permeable Areas	50.50% (359.50m ² (3,772.75ft ²)				
Rainwater Management Areas	56.85% (359.50m ² (3,772.75ft ²)				
Parking					
Bicycle Parking	BLOCK A	BLOCK B	REQUIRED		
Bicycle Storage	8 long term spaces 6 short term spaces			• 15 long term spaces • 6 short term spaces • 6 visitor spaces per bldg	
Long Term Storage Spaces (2 per 1 per secondary unit)					
Short Term Storage Spaces (Not required)					
Oversized Bicycle Storage	1 oversized space	1 oversized space	15% of total stalls 2 spaces		
Energized Bicycle Spaces	4 energized	4 energized	50% of total stalls 8 spaces		
Bicycle Maintenance Facility c/w Bicycle Repair Stand	1 facility	1 facility	1 required in each bike room		
Van Accessible Parking	1 - Van accessible parking space located close to Block A (contains adaptable unit)	1 - Required			
EV Equipped Parking	1 - Standard EV equipped parking space	1 - Dedicated future car share (SRW) EV equipped parking space	0.15 Parking spaces per unit up to a maximum of 1 car share per unit space 2 Spaces Required		
***VARIANCE REQUIRED					



SHEET NUMBER
A1

JAVA DESIGNS
WHERE LINES ON PAPER BECOME WALLS ON SITE
PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca

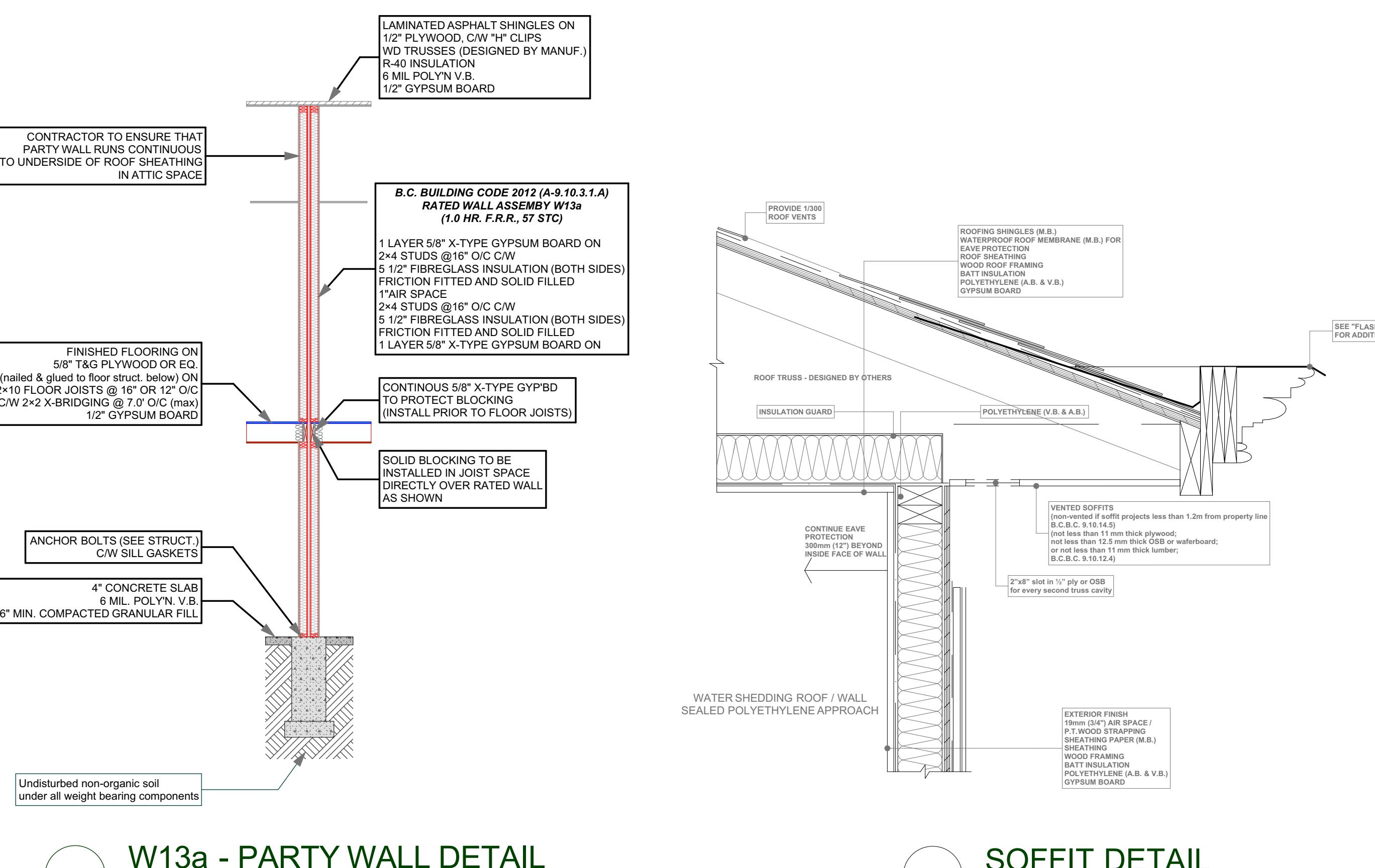
ISSUE DATE: SEPT02 2025	DRAWING NAME: PROPOSED SITE PLAN
DRAWN BY: NS	GRADE PLANS AND DATABLE
CHECKED BY: KL	DRAWING SCALE: SEE DRAWINGS



CONSTRUCTION NOTES:	
1	R40 insulation, 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 5.91
2	Continuous gutters
3	Aluminum Gutters and Vented Soffits- Roof overhangs as per plans
4	All windows vinyl, supply rain pan under, rainscreen as per BCBC. Windows in doors to be safety glass
5	Stairs: 7 5/8" rise, 10.04" tread, 1" nosing with continuous handrail.
6	Provide drains to perimeter system
7	4" drain tile with 6" rock over
8	Provide roof vents: vent 1/300 - See Soffit Detail
9	Eave protection to 12" beyond heated wall
10	8" concrete wall on 8" x 16" conc. ftgs - 2x4 bar cont-R12 rigid insulation - 2 coats damp proofing
11	caulk over and around all exterior openings
12	10" X 10" post saddle on 8" pilaster 2'6x2'6 conc. footing. NOT SHOWN
13	42" Non climbable Continuous Handrail.
14	Undisturbed non-organic soil

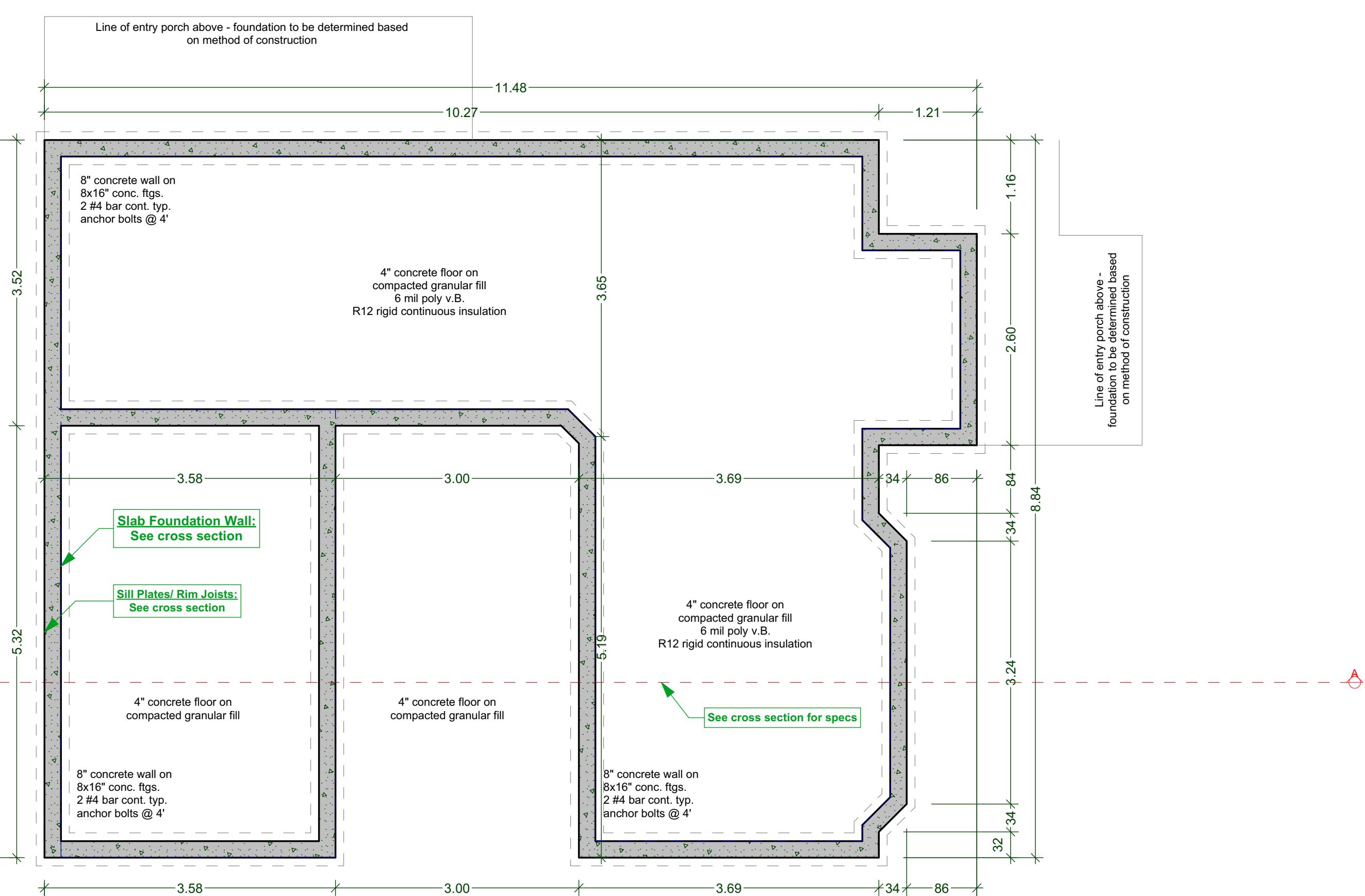
CONSTRUCTION ASSEMBLIES:	
F1	4" concrete floor on compacted granular fill, 6 mil poly V.B
F2	2x12 Floor Joist 16" O.C. typ. Nail and Glue 3/4" T&G plywood X bridging @ 6" O.C. typ.
W1	2x4 framing 16" O.C. typ. 1/2" drywall finish throughout
F11a	ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION. -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST HAVE U-VALUE LESS THAN 1.80 (AS PER TABLE 9.36.2.7.A) - GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

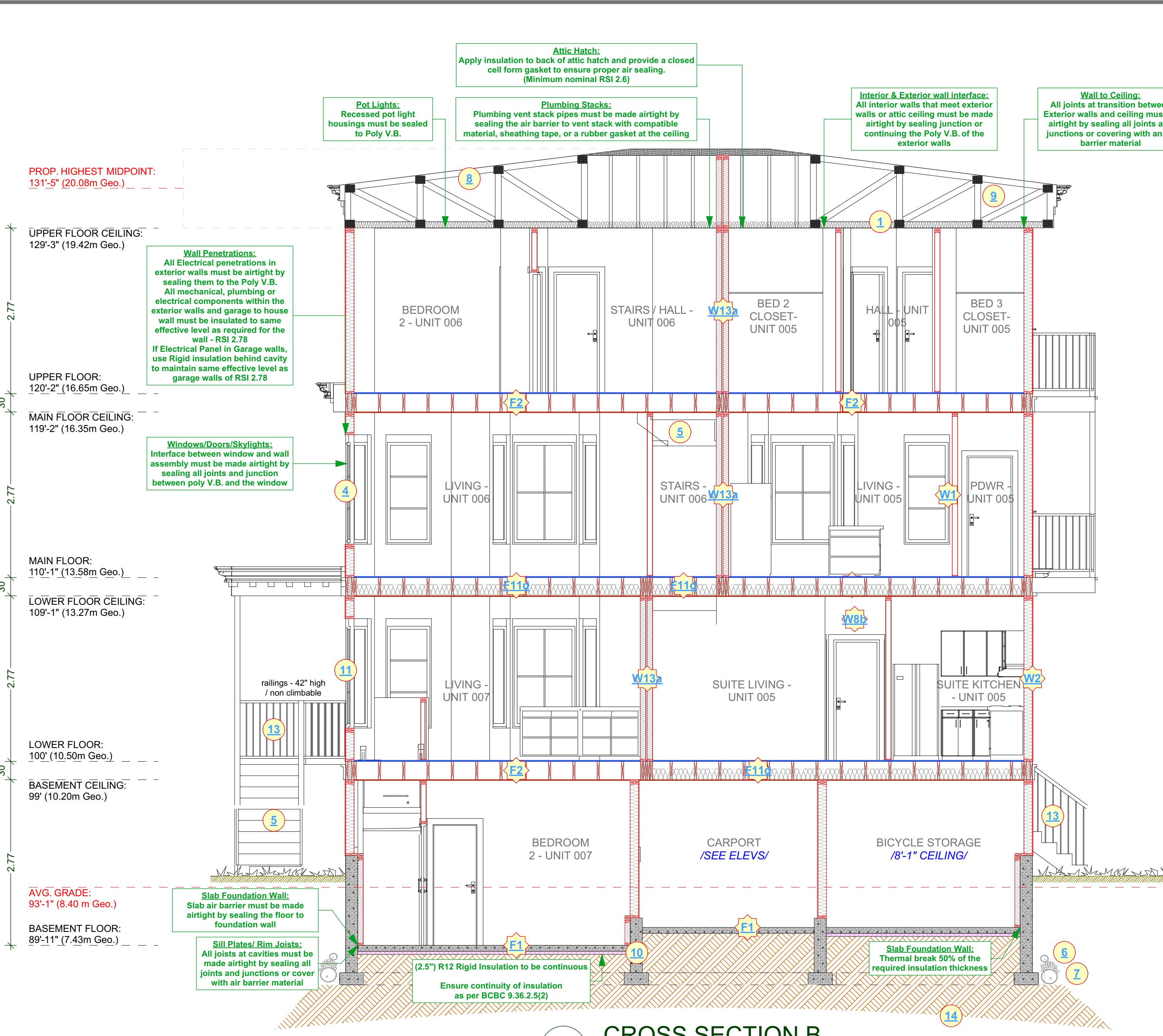


W13a - PARTY WALL DETAIL
SCALE: 1/4" = 1' - 0"

SOFFIT DETAIL
SCALE : 1" = 1' - 0"



A FOUNDATION PLAN (ON SLAB)
A2



CROSS SECTION I

HEAT SOURCES: HEAT PUMPS WITH HWT ON DEMAND FOR ALL UNITS

CONSTRUCTION NOTES:

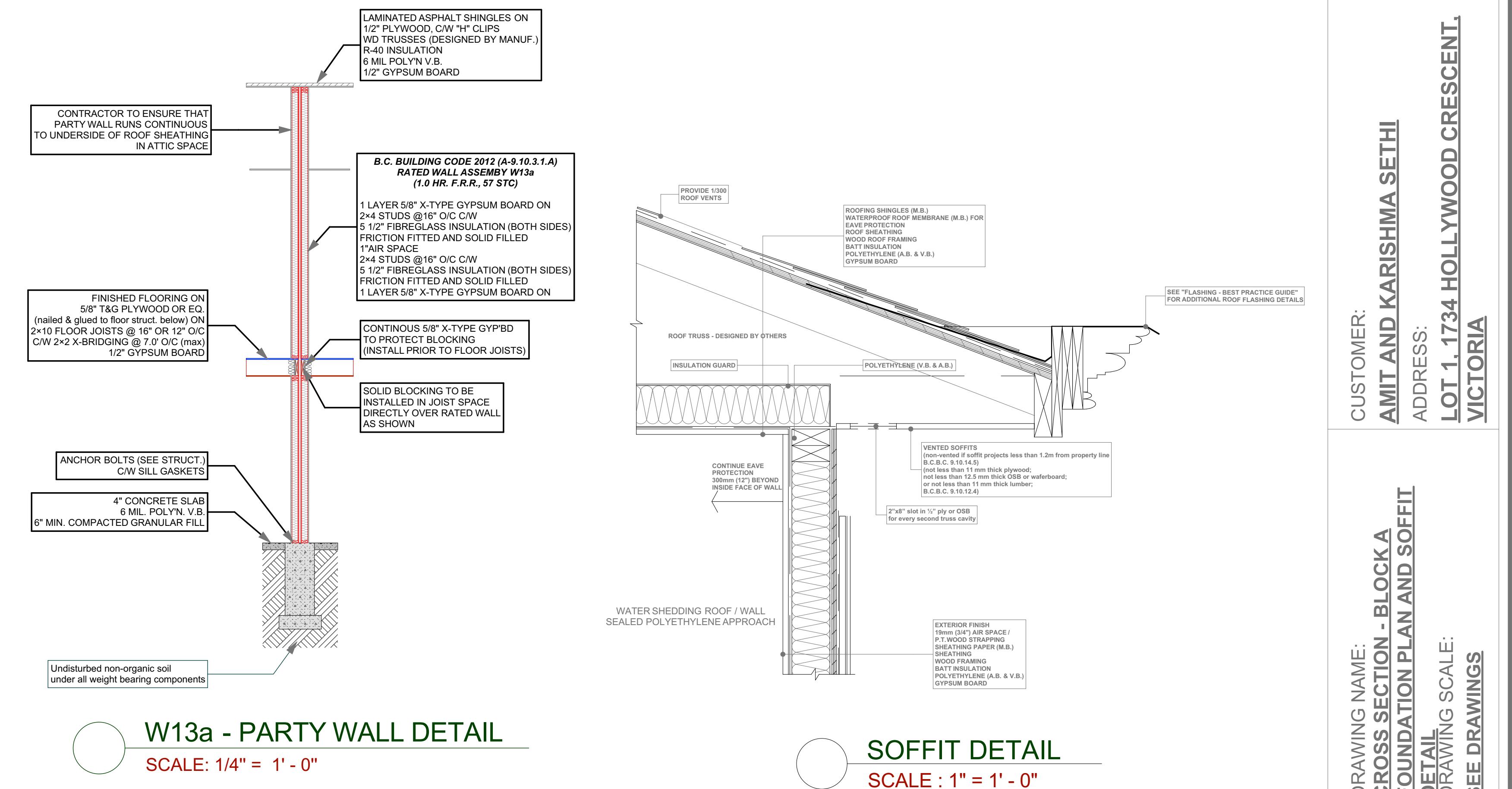
<p>1 R40 insulation , 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 6.91</p> <p>2 Continuous gutters</p> <p>3 Aluminum Gutters and Vented Soffits- Roof overhangs as per plans</p> <p>4 All windows vinyl, supply rain -pan under, rainscreen as per BCBC Windows in doors to be safety glass</p> <p>5 Stairs: 7 5/8" rise, 10.04" tread, 1" nosing with continuous handrail.</p> <p>6 Provide drains to perimeter system</p> <p>7 4" draintile with 6" rock over</p>	<p>8 Provide roof vents: vent 1/300 - See Soffit Detail</p> <p>9 Eave protection to 12" beyond heated wall</p> <p>10 8" concrete wall on 8"x16" conc.ftgs - 2#4 bar cont.-R12 ridgid insulation - 2 coats dampproofing</p> <p>11 caulk over and around all exterior openings</p> <p>12 10" X 10" post saddle on 8" pilaster 2'6x2'6 conc. footing. NOT SHOWN</p> <p>13 42" Non climbable Continuous Handrail.</p> <p>14 Undisturbed non-organic soil</p>
--	---

<u>CONSTRUCTION ASSEMBLIES:</u>	
F1	4" concrete floor on compacted granular fill, 6 mil poly VB
F2	2x12 Floor Joist 16" O.C. typ. Nail and Glue 3/4" T&G plywood X bridging @ 6' O.C. typ.
R1	Low slope asphalt shingles, building paper, 7/16" O.S.B. (or 1/2" plywood) , Engineered Trusses designer by supplier @ 24" O.C. typ.
W1	2x4 framing 16" O.C. typ. 1/2" drywall finish throughout
W2	Exterior Finish, 3/4" air space, Pressure treated strapping, 2 layers 30 min building paper, 1/2" sheathing, 2x6 studs at 16" O.C., R-20 Batt insulation, 6 MIL Poly V.B., 1/2" Drywall. (See elevations)
W8b	DEMISING WALL: (45min as per W8b - Table A-9.10.3.1.A) <ul style="list-style-type: none"> • 2 layers of 12.7mm Type X gypsum board to one side • Two rows 38mm x 89mm studs spaced 600mm O.C. staggered on common 38mm x 140mm plate • 89mm thick absorptive material on one side • 12.7mm Type X gypsum board on other side
W13a	DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A) <ul style="list-style-type: none"> • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart • 89 mm thick absorptive material on each side • 1 layer of 15.9 mm Type X gypsum board on each side
F11d	DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B) <ul style="list-style-type: none"> • one subfloor layer of 11mm sanded plywood, or OSB or waferboard • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber • on wood joists or wood i-joists spaced not more than 600 mm o.c. • with absorptive material in cavity • resilient metal channels spaced 400 mm o.c. • 15.9 mm Type X gypsum board
F8d	DEMISING FLOOR: (30min as per F8d - Table A-9.10.3.1.B) <ul style="list-style-type: none"> • SUBFLOOR OF 15.5mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER • WOOD JOISTS OR WOOD I-JOISTS SPACED max of 600mm O.C. • ABSORPTIVE MATERIAL IN CAVITY • RESILIENT METAL CHANNELS SPACED 600mm • 15.9mm TYPE "X" GYPSUM BOARD

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION. -ONE
EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST HAVE
U-VALUE LESS THEN 1.80 (AS PER TABLE 9.36.2.7.A) -GARAGE VEHICULAR DOORS MUST BE MINIMUM
NOMINAL RSI OF 1.1

**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS..... IN
PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**

ADD INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARM CONFORMING TO ARTICLE 9.37.2.19.
④ SECONDARY DWELLING UNIT TO BE SEPARATED FROM PRIMARY DWELLING UNIT BY A FIRE SEPARATION
HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 30 min. AS PER 9.37.2.15.(b)

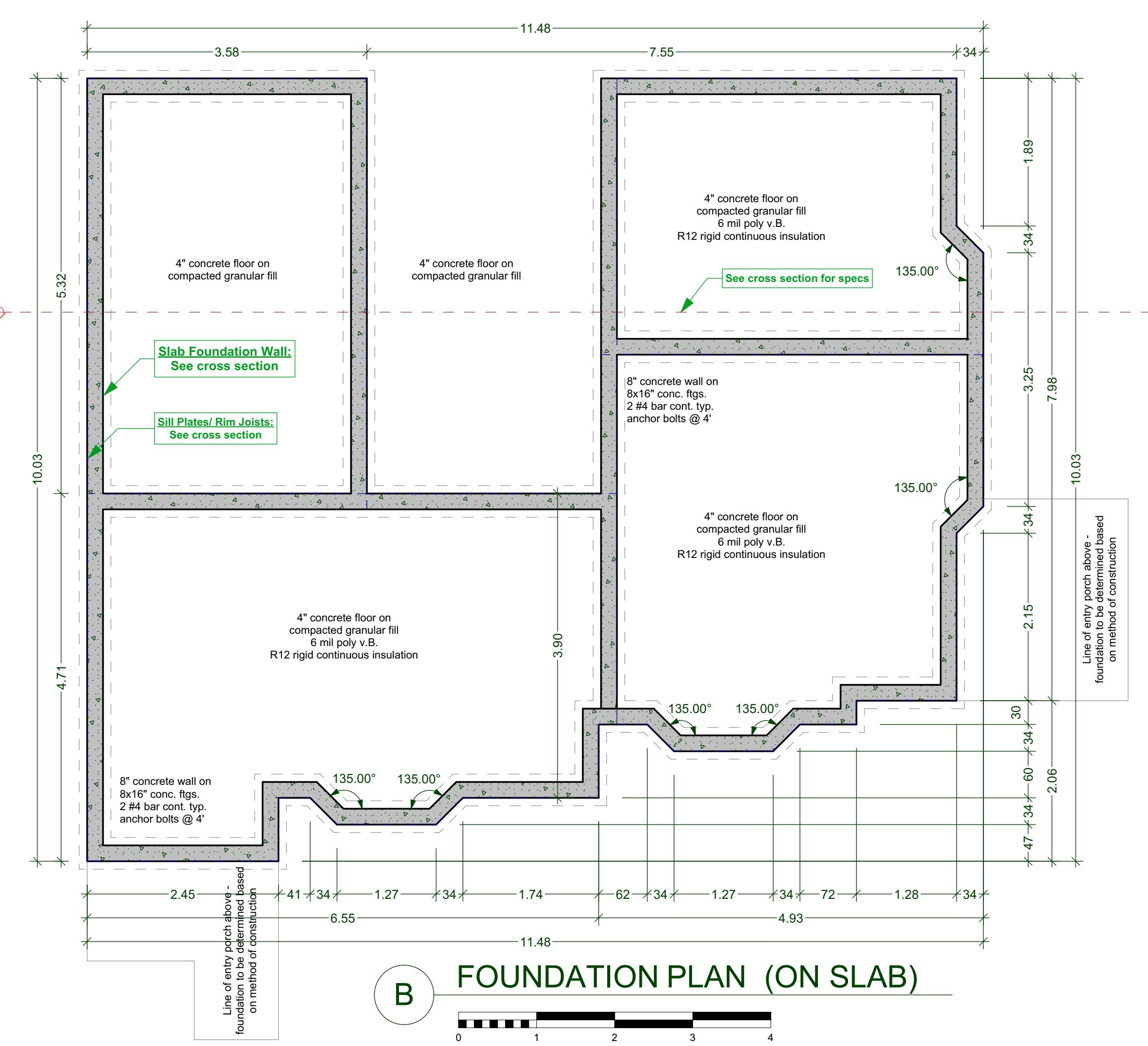


W13a - PARTY WALL DETAIL

SCALE: 1/4" = 1' - 0"

SOFFIT DETAIL

SCALE : 1" = 1' - 0"



FOUNDATION PLAN (ON SLAB)

SHEET NUMBER

A3

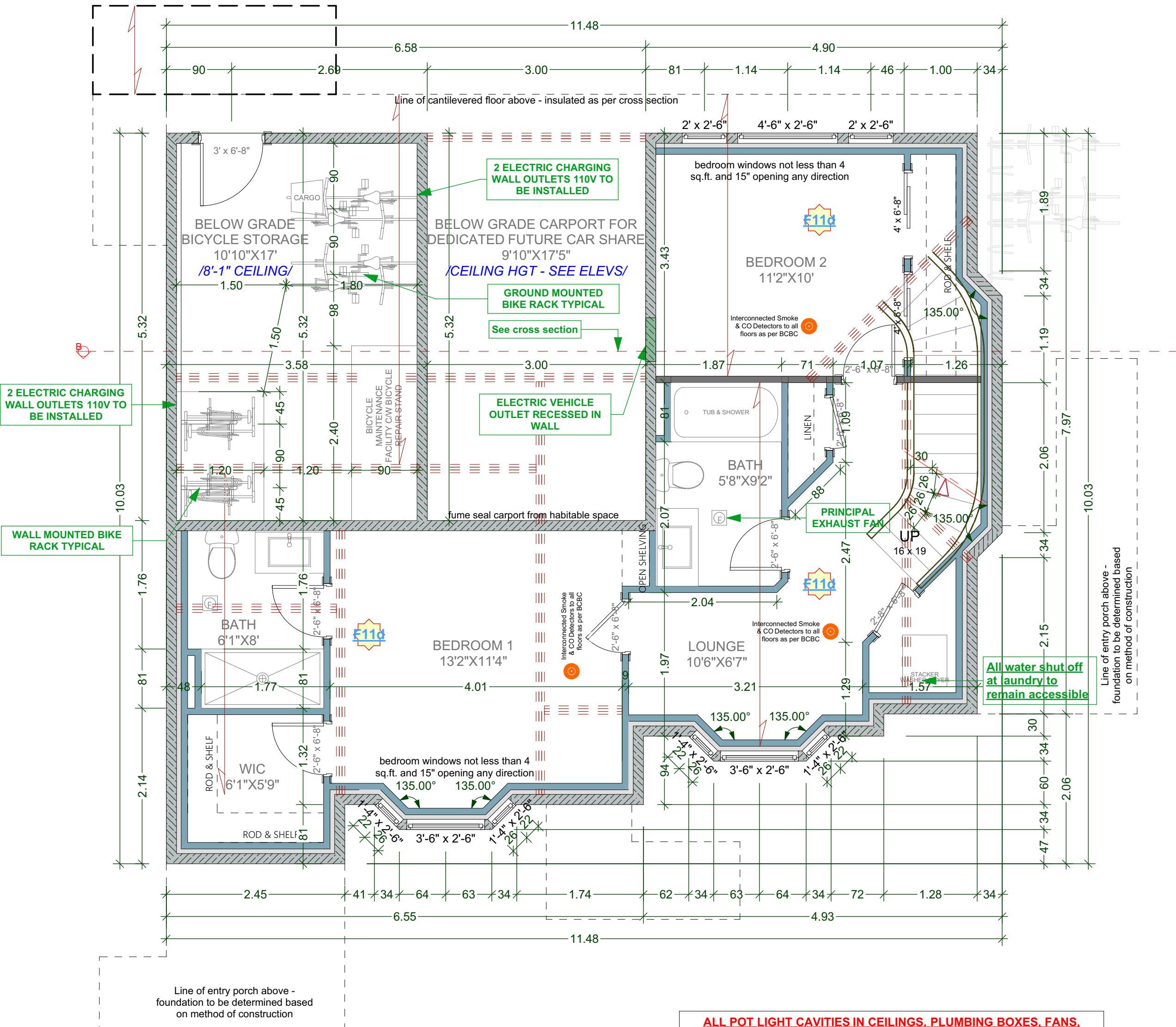
DESIGNS BY ME WALLS ON SITE

ISSUE DATE:	SEPT 02, 2025	DRAWN BY:	JNS
PROPOSED	<u>BASEMENT FL</u>	CHECKED BY:	KI
DRAWING NAME		DRAWING SCALE	1/4"=1'-0"

CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA

SHEET NUMBER

A4



BASEMENT FLOOR PLAN

0 1 2 3 4
UNIT 007 AREA: 639.81 Sq Ft
BICYCLE AREA: 184.28 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)

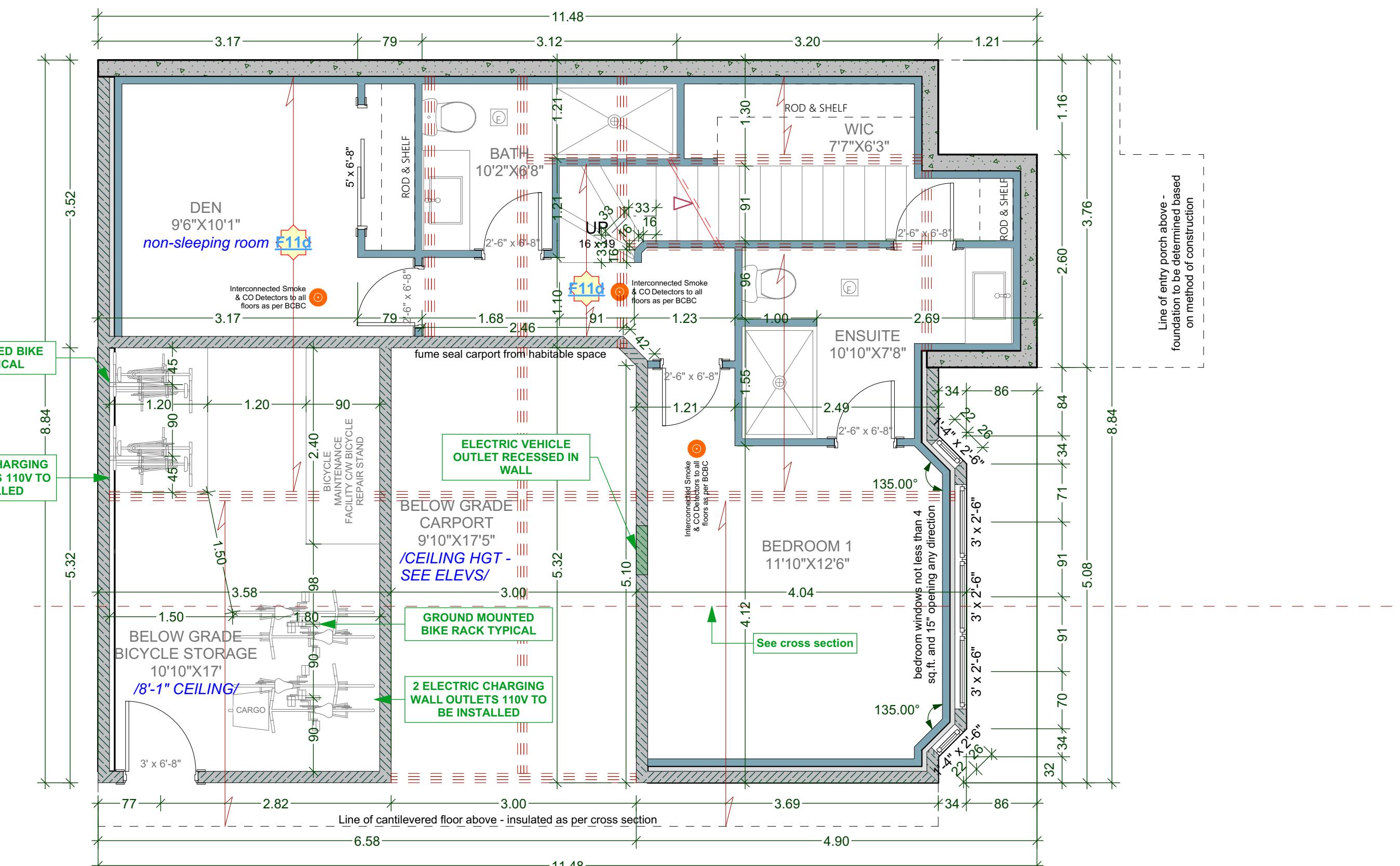
W13a

- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
- 89 mm thick absorptive material on each side
- 1 layer of 15.9 mm Type X gypsum board on each side

Playfair, 30.10.1000, Type 1 gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)

- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
- one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
- on wood joists or wood i-joists spaced not more than 600 mm o.c.
- with absorptive material in cavity



BASEMENT FLOOR PLAN

UNIT 004 AREA: 568.55 Sq Ft
BICYCLE AREA: 184.28 Sq Ft

**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS,
ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED
AND FIRE RATED WITH TYPE 'X' DRYWALL**

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)

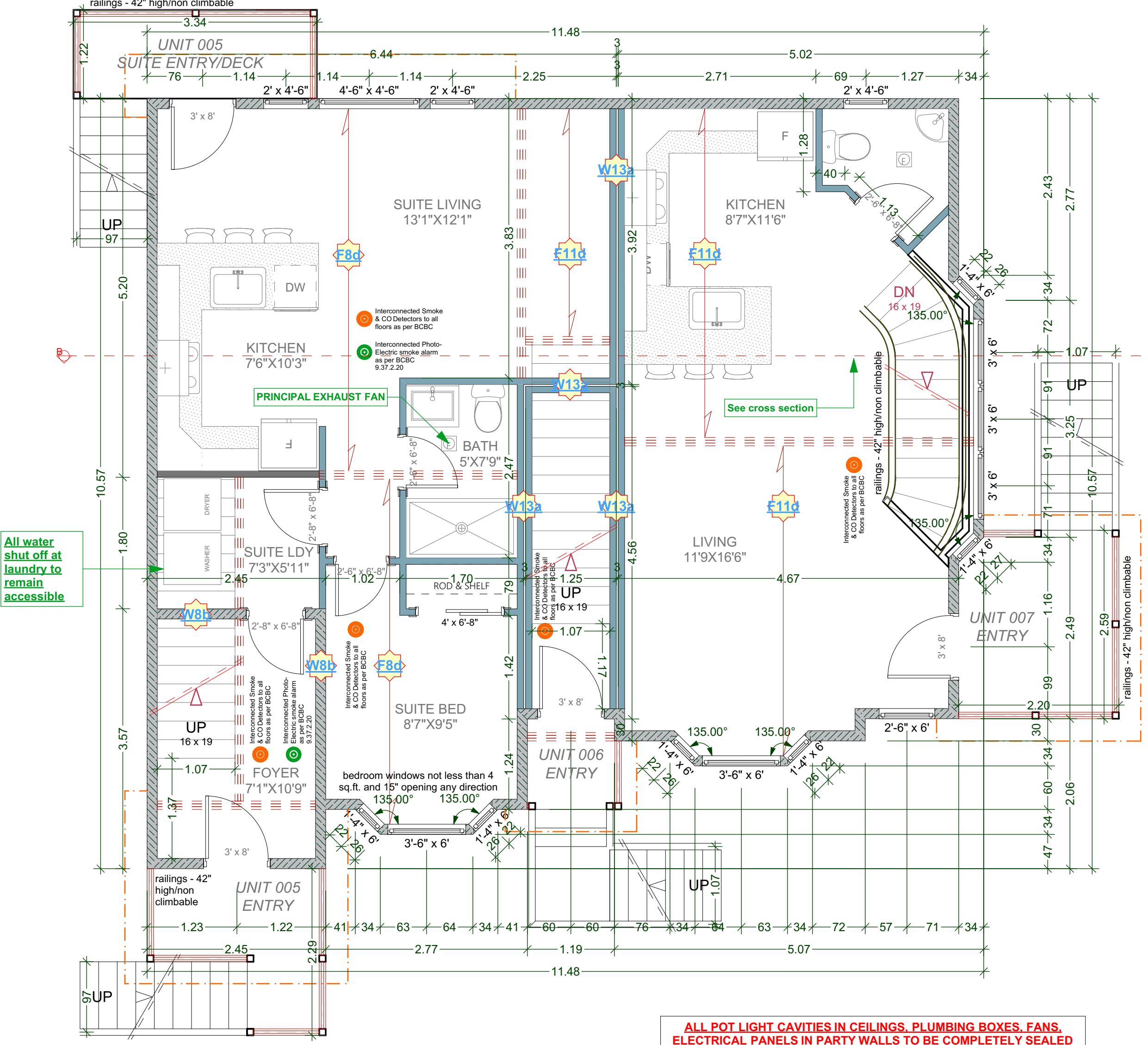
W13a

- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
- 89 mm thick absorptive material on each side
- 1 layer of 15.9 mm Type X gypsum board on each side

Play a 3.0% slope type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)

- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
- one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
- on wood joists or wood i-joists spaced not more than 600 mm o.c.
- with absorptive material in cavity



ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING FLOOR: (30mm as per F8d - Table A-9.10.3.1.B)
• SUBFLOOR OF 15.9mm PLYWOOD, OSB OR WAFERBOARD, 15mm ABSORPTIVE MATERIAL
• WOOD JOISTS OR WOOD I-JOISTS SPACED max of 600mm O.C.
• ABSORPTIVE MATERIAL IN CAVITY
• RESILIENT METAL CHANNELS SPACED 600mm
• 15.9mm TYPE "X" GYPSUM BOARD

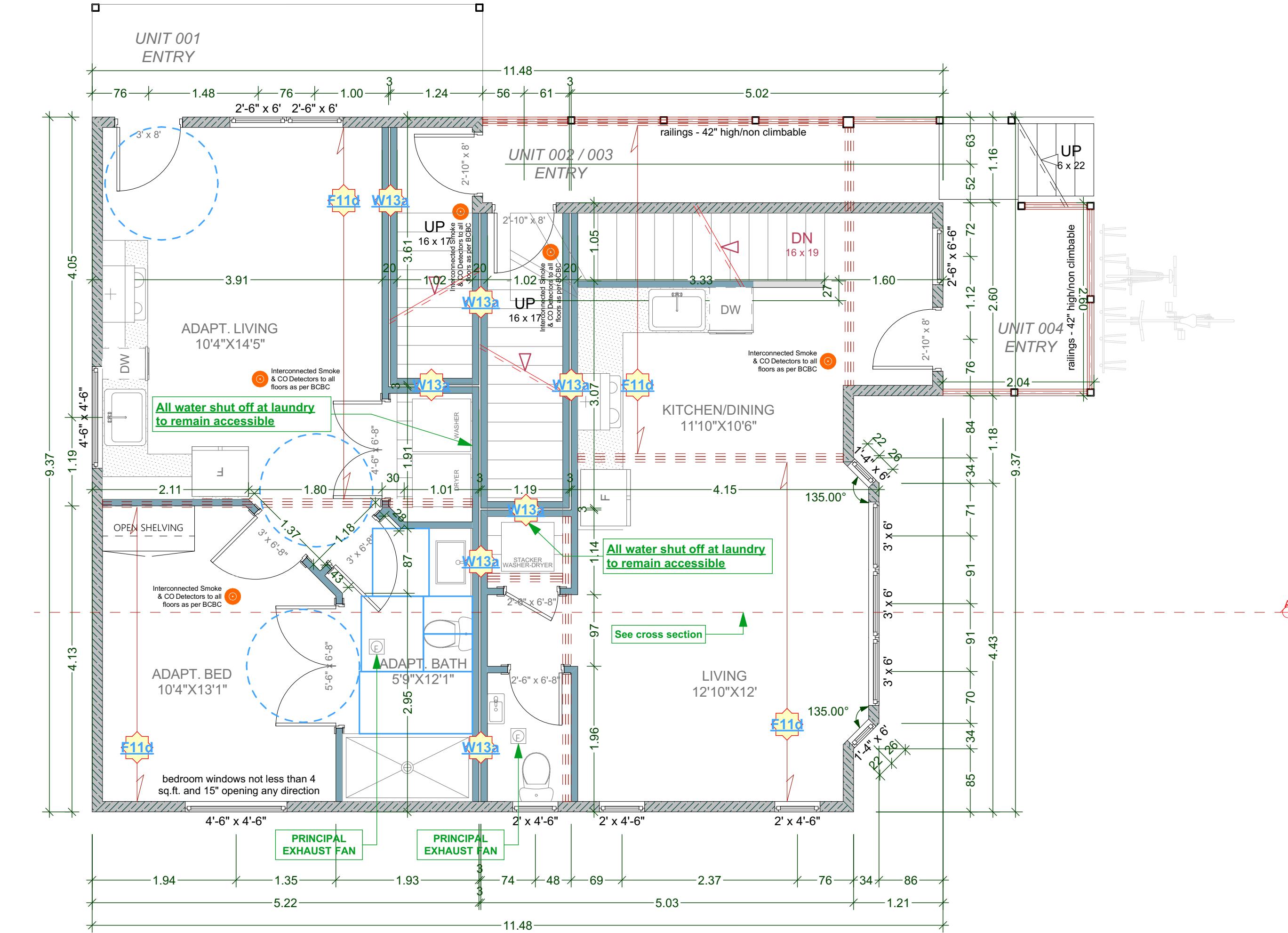
DEMISING FLOOR: (30mm as per F8b - Table A-9.10.3.1.A)
• SUBFLOOR OF 15.9mm PLYWOOD, OSB OR WAFERBOARD, 15mm ABSORPTIVE MATERIAL
• WOOD JOISTS OR WOOD I-JOISTS SPACED max of 600mm O.C.
• ABSORPTIVE MATERIAL IN CAVITY
• RESILIENT METAL CHANNELS SPACED 600mm
• 15.9mm TYPE "X" GYPSUM BOARD

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
• two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
• 89 mm thick absorptive material on each side
• 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING WALL: (45mm as per W8b - Table A-9.10.3.1.A)
• 2 layers of 12.7mm Type X gypsum board to one side
• Two rows 38 mm x 89 mm studs spaced 600mm O.C. staggered
• 89mm thick absorptive material on one side
• 12.7mm Type X gypsum board on other side

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
• two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
• 89 mm thick absorptive material on each side
• 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
• one subfloor layer of 11mm sanded plywood, OSB or waferboard
• one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
• on wood joists or wood I-joists spaced not more than 600 mm o.c.
• with absorptive material in cavity
• resilient metal channels spaced 400 mm o.c.
• 15.9mm Type X gypsum board

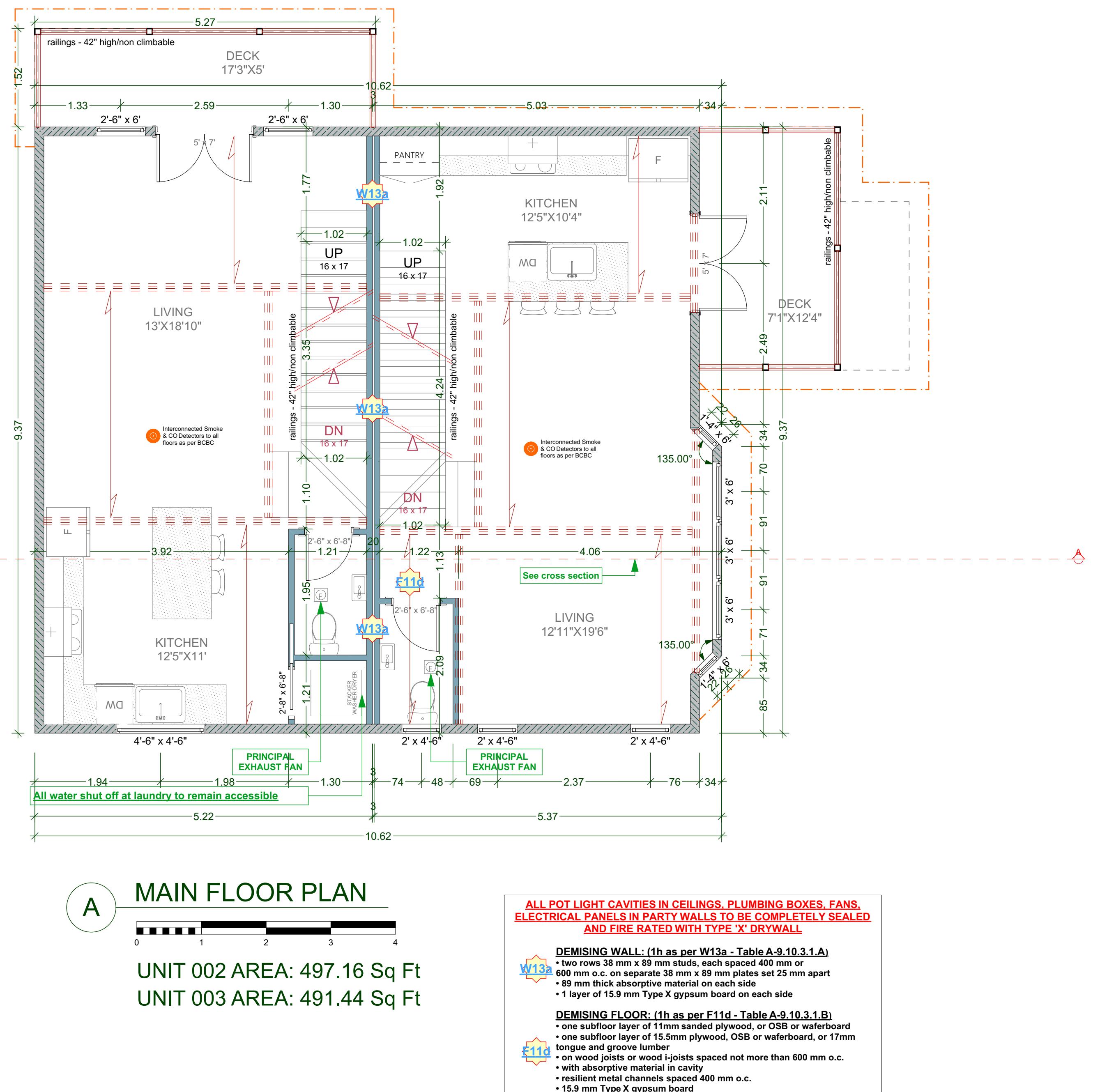
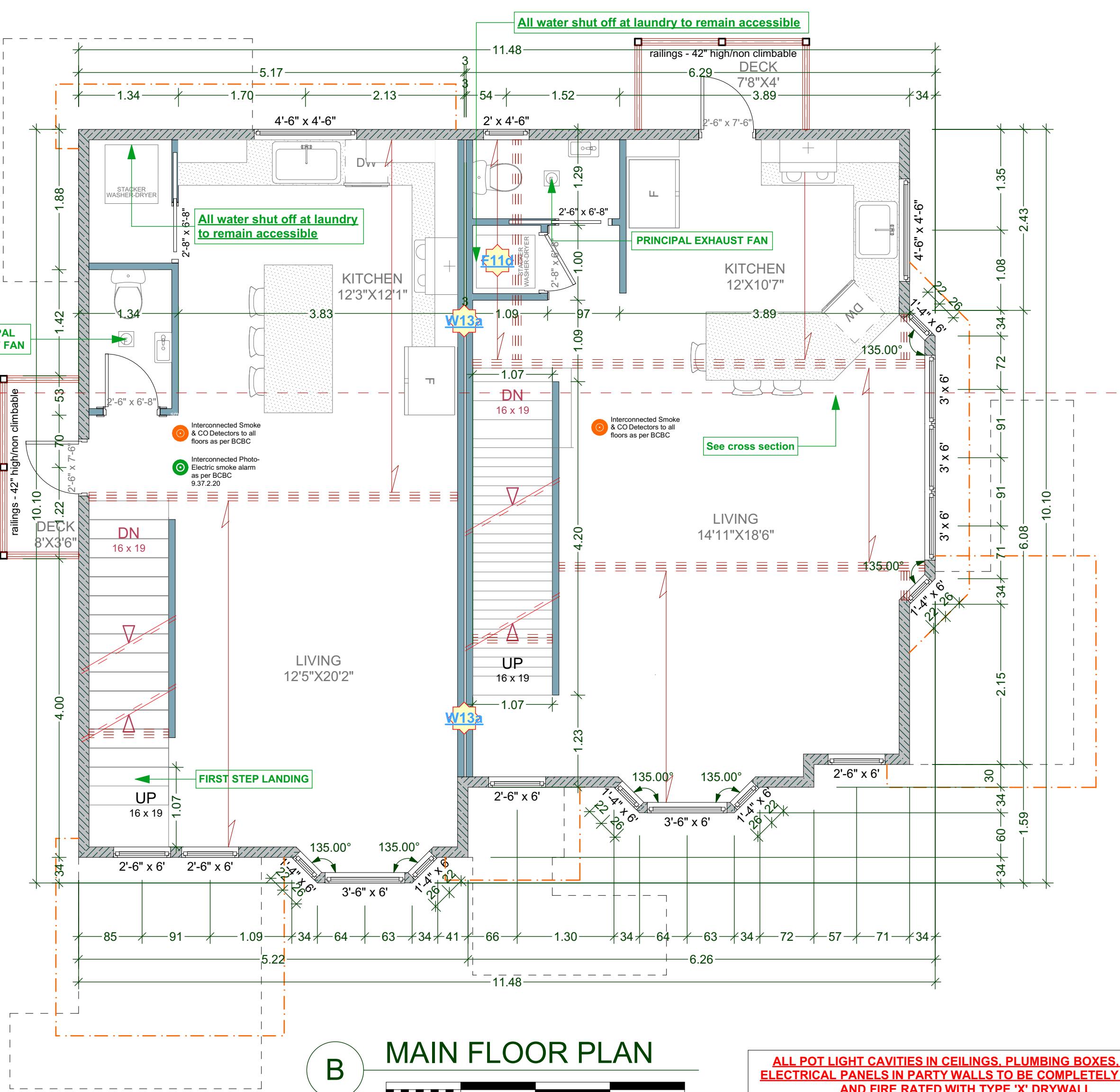


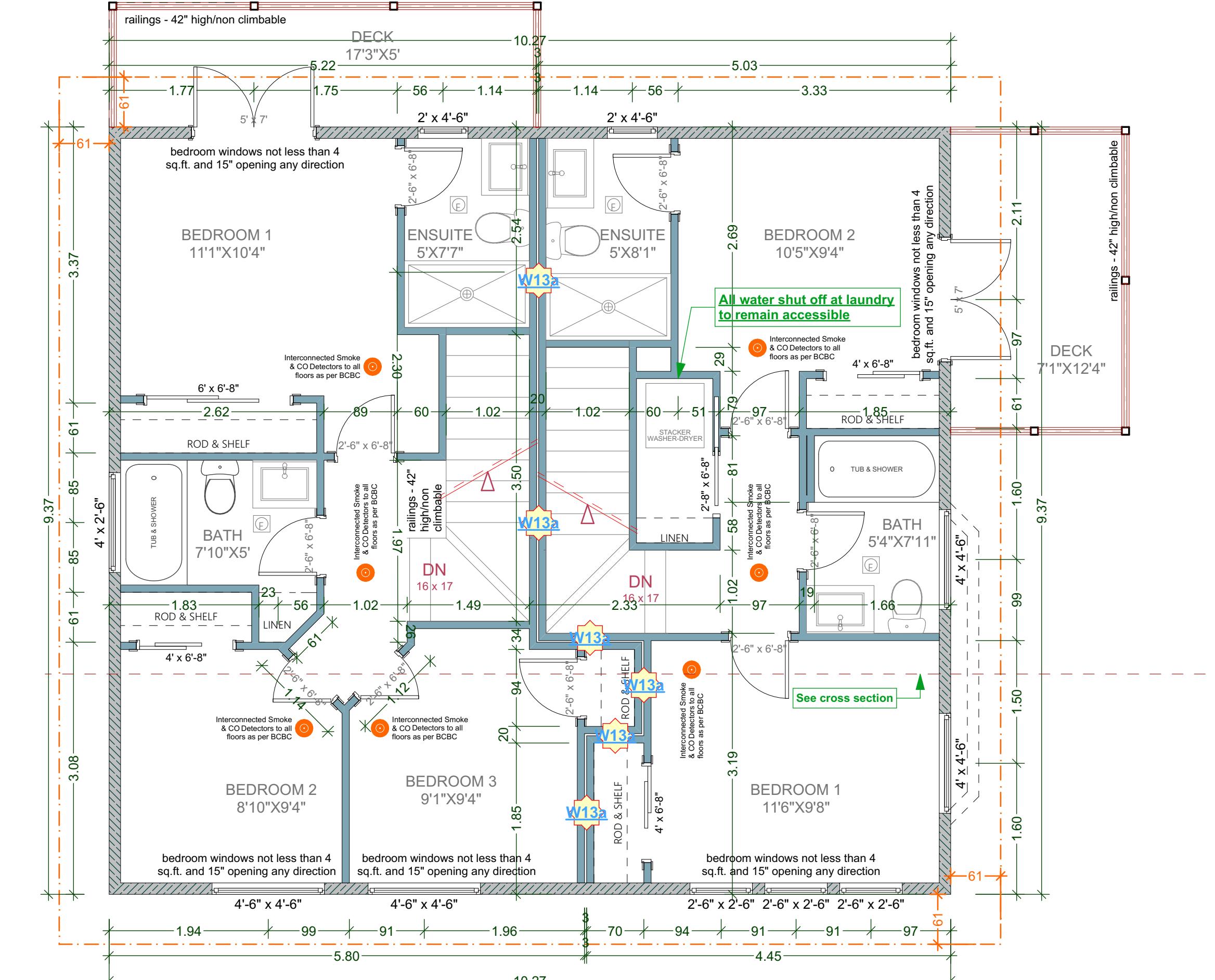
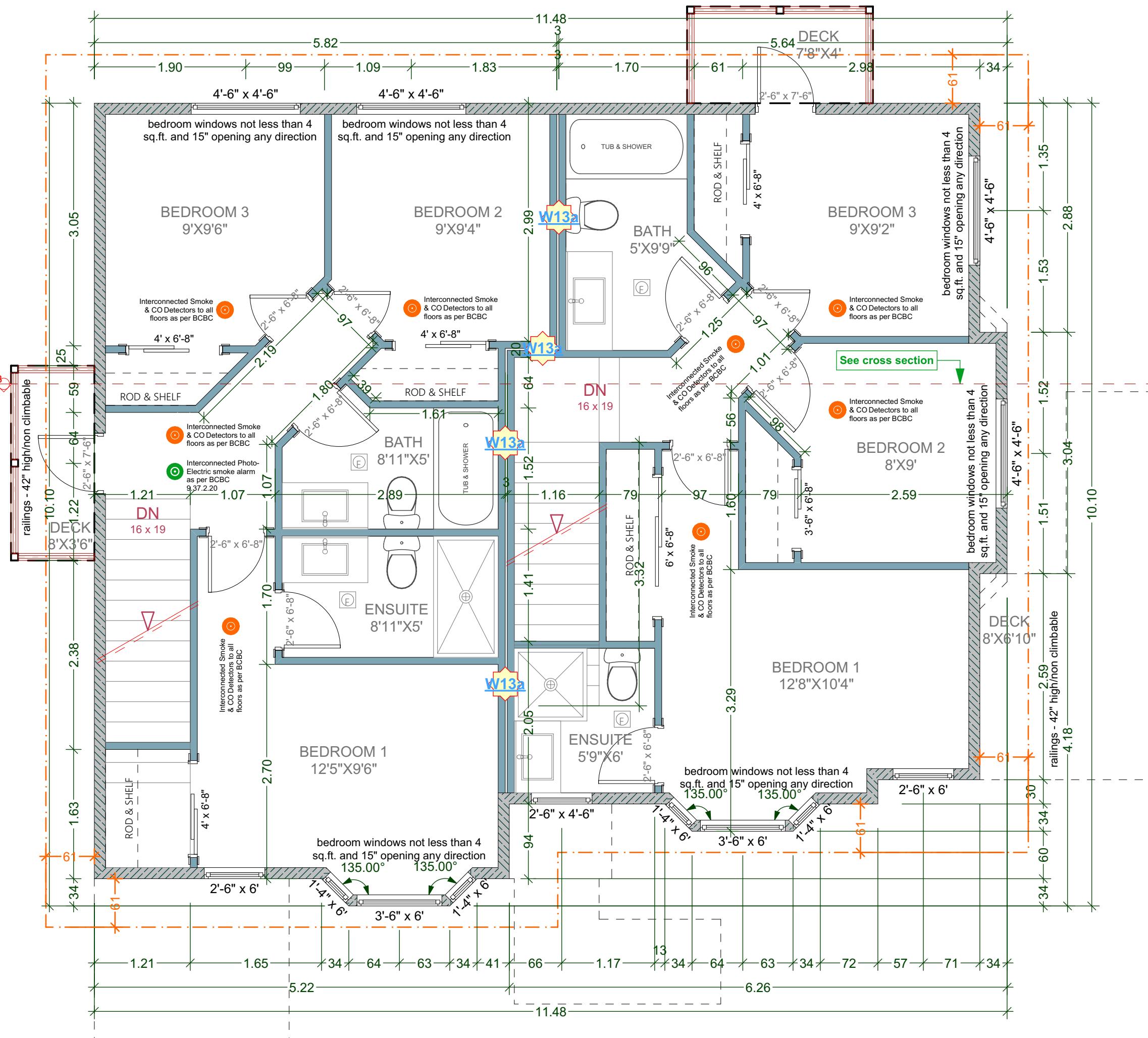
ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

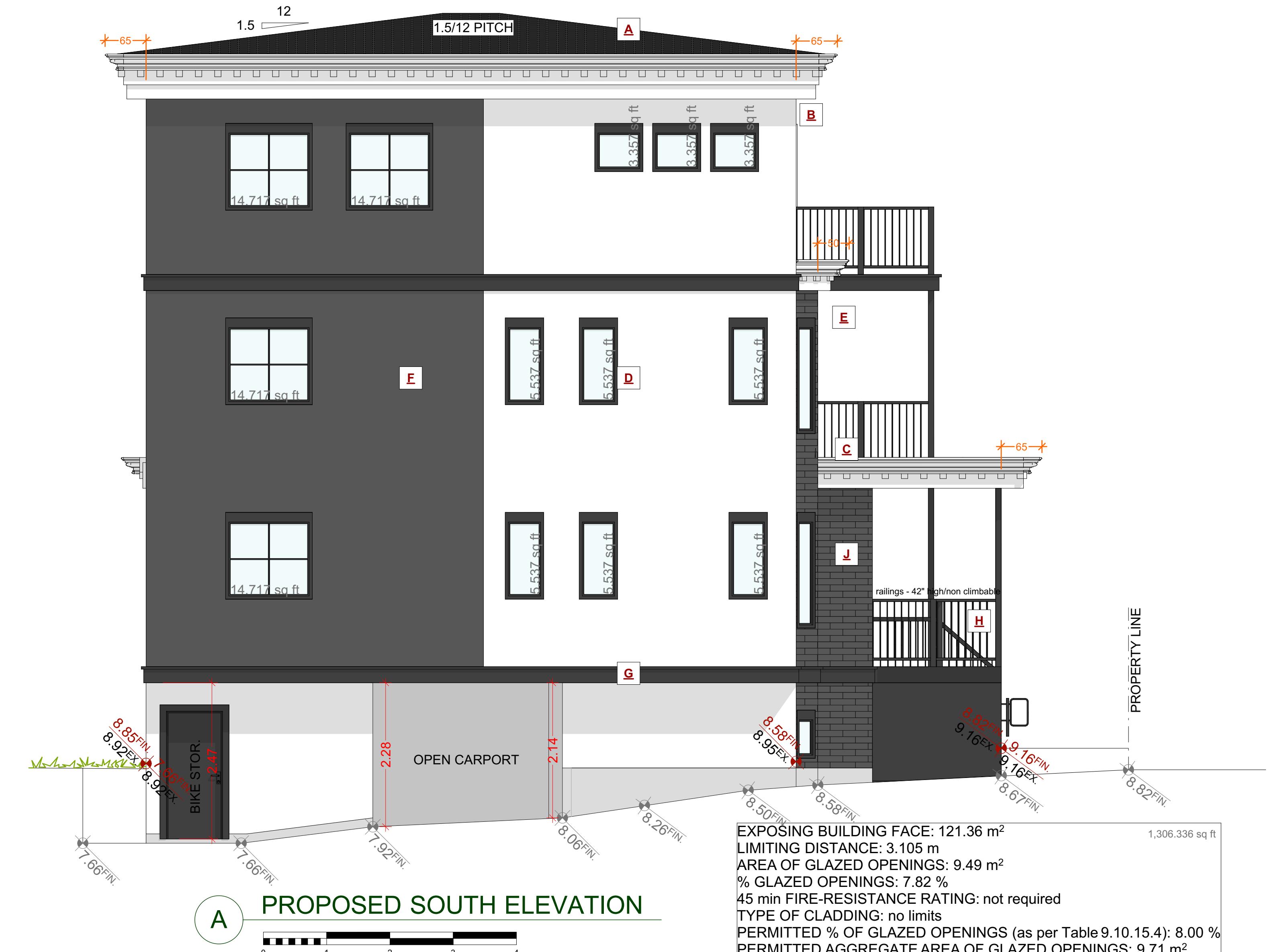
DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
• two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
• 89 mm thick absorptive material on each side
• 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
• one subfloor layer of 11mm sanded plywood, OSB or waferboard
• one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
• on wood joists or wood I-joists spaced not more than 600 mm o.c.
• with absorptive material in cavity
• resilient metal channels spaced 400 mm o.c.
• 15.9 mm Type X gypsum board

ISSUE DATE:
SEPT 02, 2025
DRAWN BY:
NS
CHECKED BY:
KL
DRAWING SCALE:
1/4"=1'-0"







EXTERIOR FINISHES SCHEDULE	
A ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS
B GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS
C CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS
D WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/STAINED 3x4 DECORATIVE DENTAL BLOCKS W/ ROOF MOULDING AND TRIM - PAINTED/STAINED AS PER OWNERS SPECS - SEE ELEVATIONS
E DENTAL BLOCKS:	**ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS** MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION. -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER. -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1
F WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
G BELLY BAND:	2x10 BELLY BAND W/ 2x2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
H RAILINGS:	ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
J BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

JAVA DESIGNS
WHERE LINES ON PAPER BECOME WALLS ON SITE
PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca

SHEET NUMBER

A8

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA

ISSUE DATE:
SEPT02, 2025
DRAWN BY:
NS
CHECKED BY:
KL

DRAWING NAME:
PROPOSED SOUTH ELEVATIONS

DRAWING SCALE:
1/4"=1'-0"



EXTERIOR FINISHES SCHEDULE	
A ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIC CAPS & MEMBRANE AS PER MANF. SPECS
B GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RM BOARD AND 1x10 FASCIA BOARD, ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS
C CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED TO MATCH ELEVATIONS - PAINTED AS PER OWNERS SPECS
D WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/STAINED
E DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/100% ROOF MOULDING AND TRIM - PAINTED/STAINED AS PER OWNERS SPECS - SEE ELEVATIONS
F WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
G BELLY BAND:	2x10 BELLY BAND W/2X2 DETAILS PAINTED CW FLASHING, COLOUR AS PER OWNERS SPECS
H RAILINGS:	ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
J BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

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JAVA DESIGNS
 WHERE LINES ON PAPER BECOME WALLS ON SITE
 PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca

CUSTOMER:
 AMIT AND KARISHMA SETHI
 ADDRESS:
 LOT 1, 1734 HOLLYWOOD CRESCENT,
 VICTORIA

DRAWING NAME:
**PROPOSED HOLLYWOOD
 CRES STREETSCAPE**

ISSUE DATE:
 SEPT02 2025

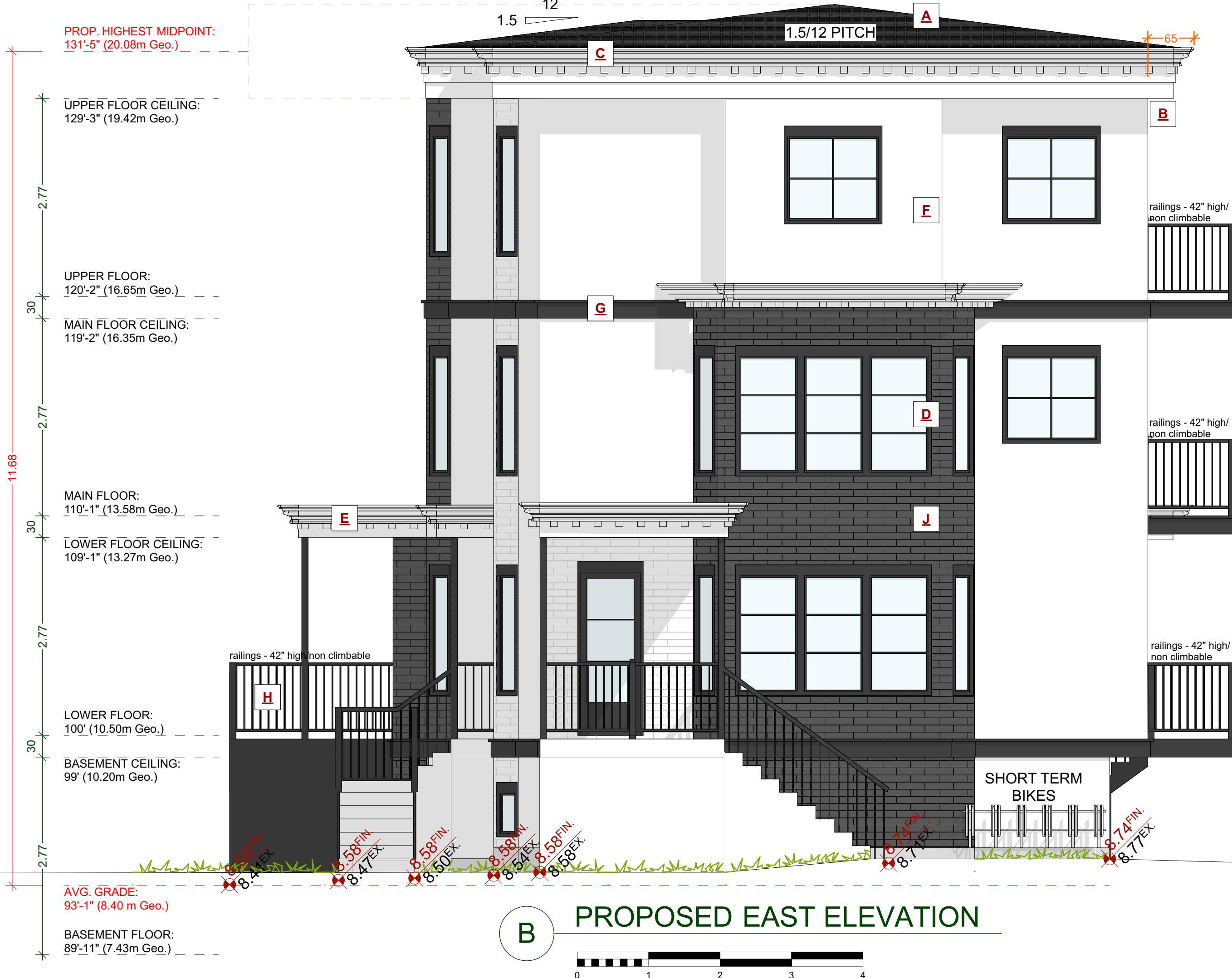
DRAWN BY:
 NS

CHECKED BY:
 KL

DRAWING SCALE:
 1/4"=1'-0"

SHEET
 NUMBER

A9



CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA

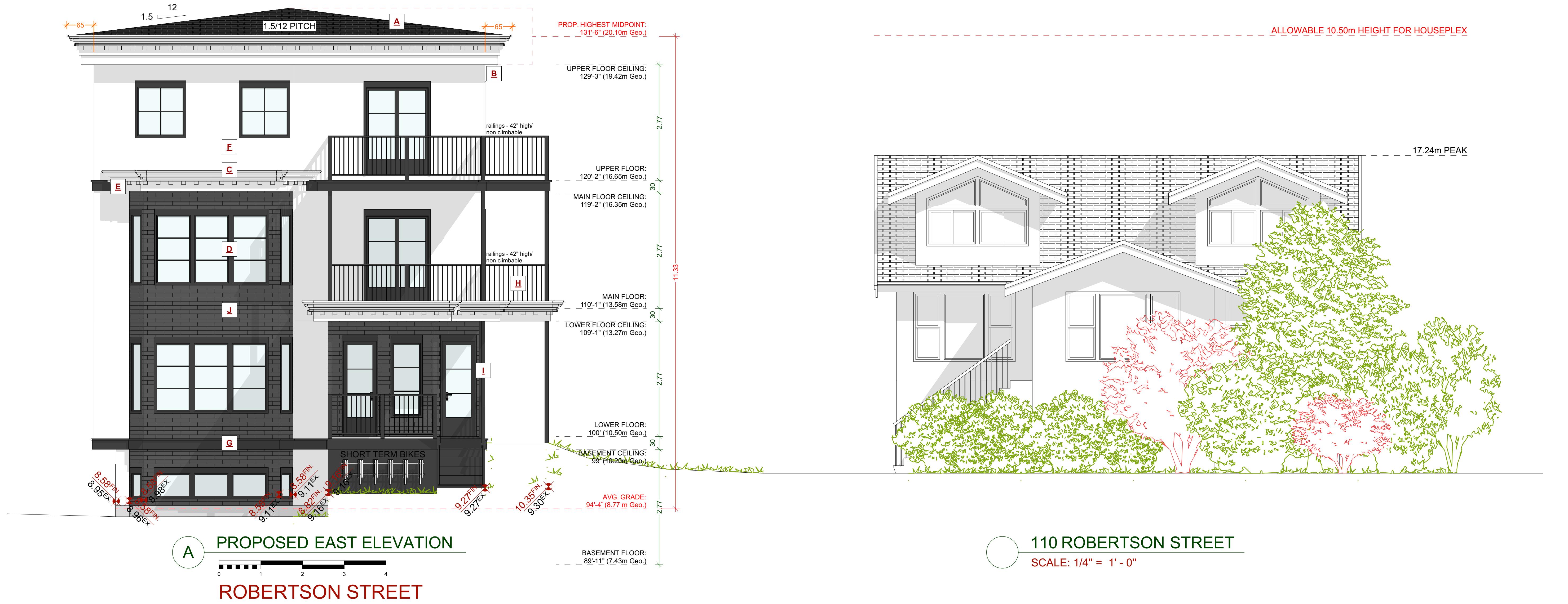
DRAWING NAME:
PROPOSED ROBERTSON
STREET SCENIC

ISSUE DATE:
SEPT02 2025
DRAWN BY:
NS
CHECKED BY:
KL

WHERE LINES ON PAPER BECOME WALLS ON SITE
PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca

SHEET
NUMBER

A11



EXTERIOR FINISHES SCHEDULE	
A ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS
B GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD, ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS
C CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS
D WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED
E DENTAL BLOCKS:	3x4 DECORATIVE DENTAL BLOCKS W/ IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS
F WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
G BELLY BAND:	2x10 BELLY BAND W/ 2x2 DETAILS PAINTED CMW FLASHING, COLOUR AS PER OWNERS SPECS
H RAILINGS:	ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
J BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BOBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6. ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA

DRAWING NAME:
PROPOSED WEST ELEVATIONS
-BLOCK A AND B

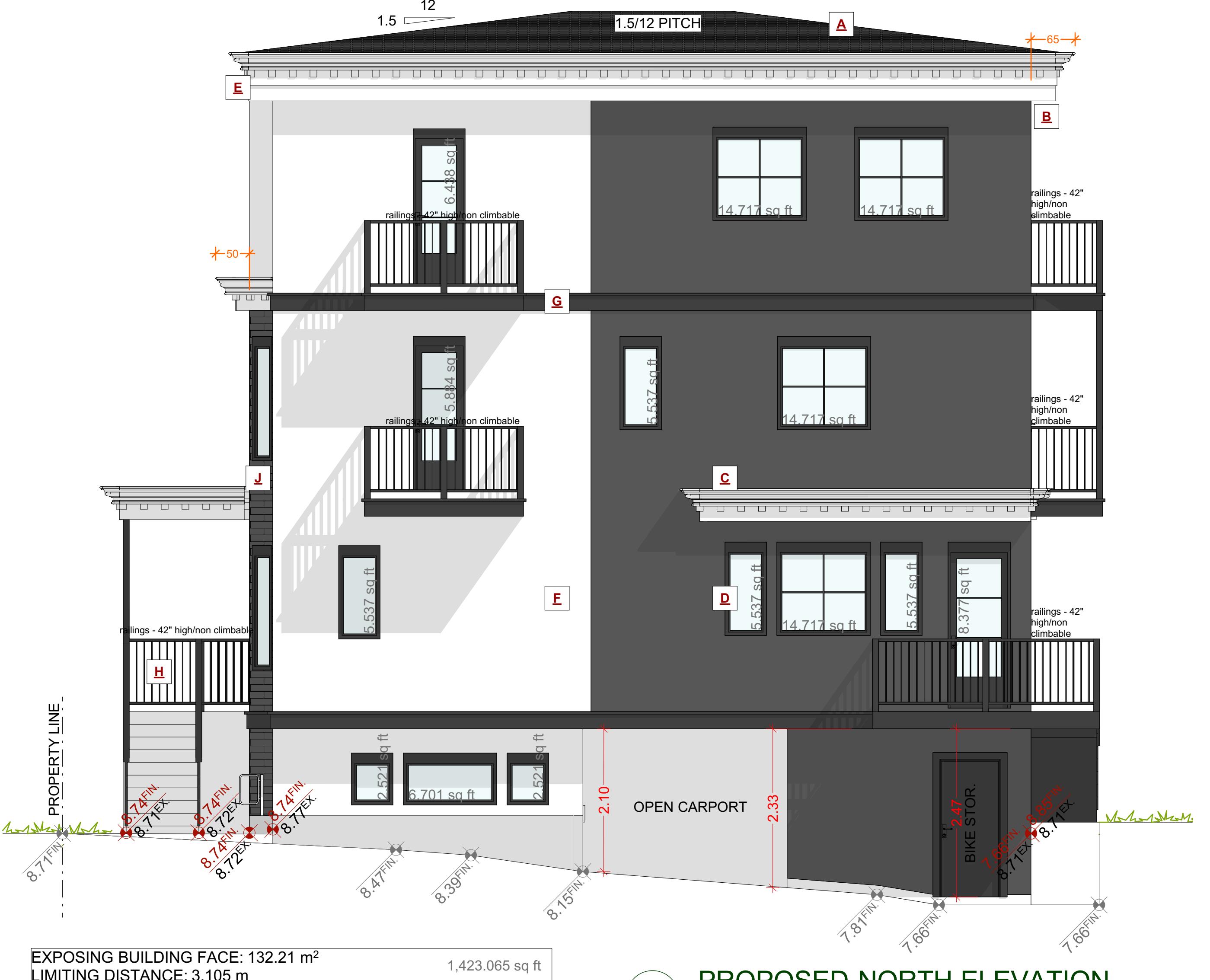
DRAWING SCALE:
1/4"=1'-0"

JAVA DESIGNS

WHERE LINES ON PAPER BECOME WALLS ON SITE
PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca

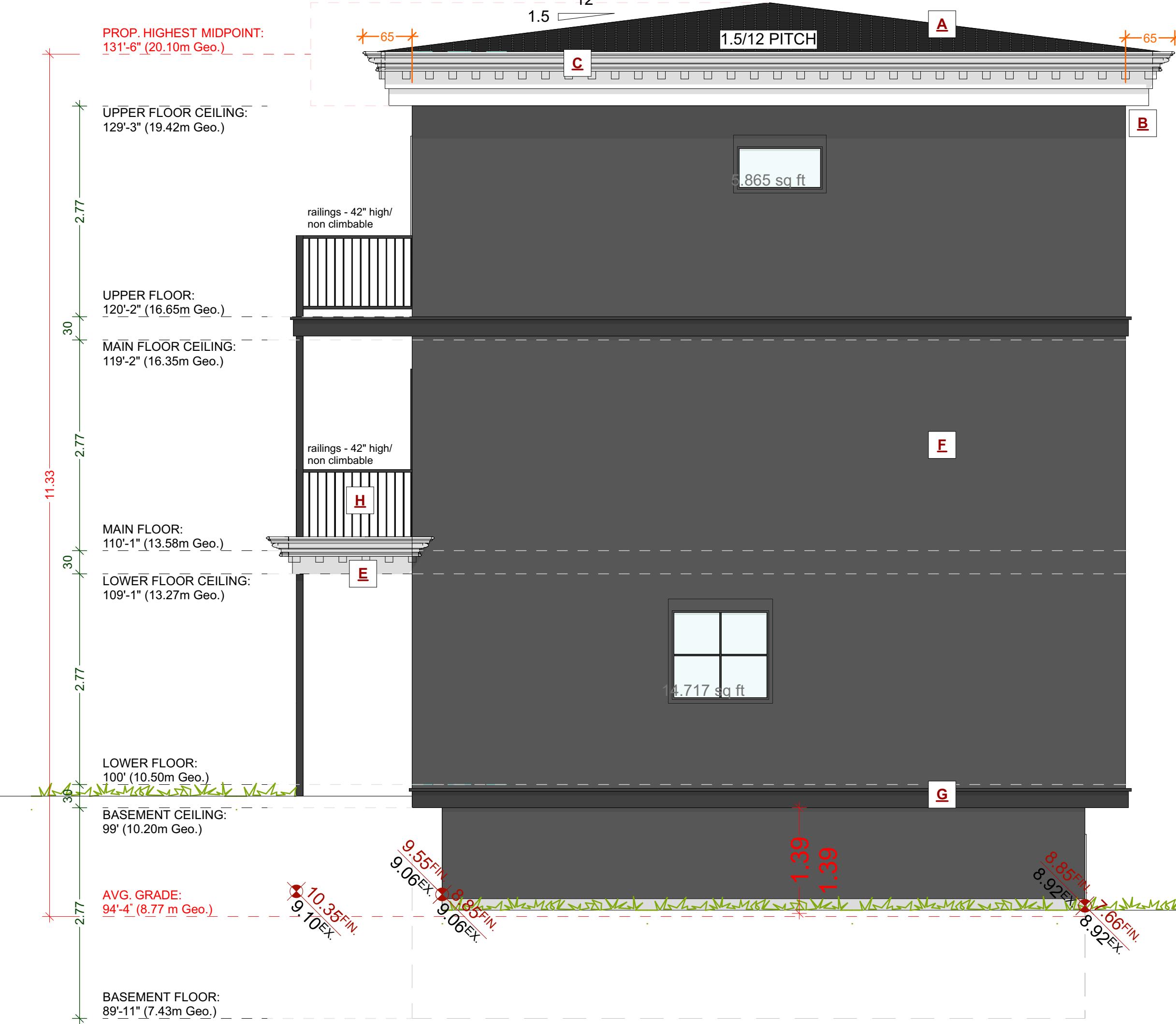
SHEET
NUMBER

A12



EXTERIOR FINISHES SCHEDULE	
A ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE
B GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS
C CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS
D WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/STAINED
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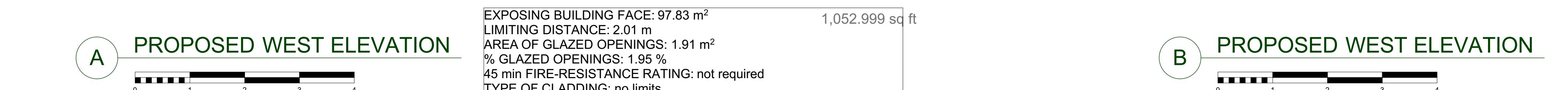
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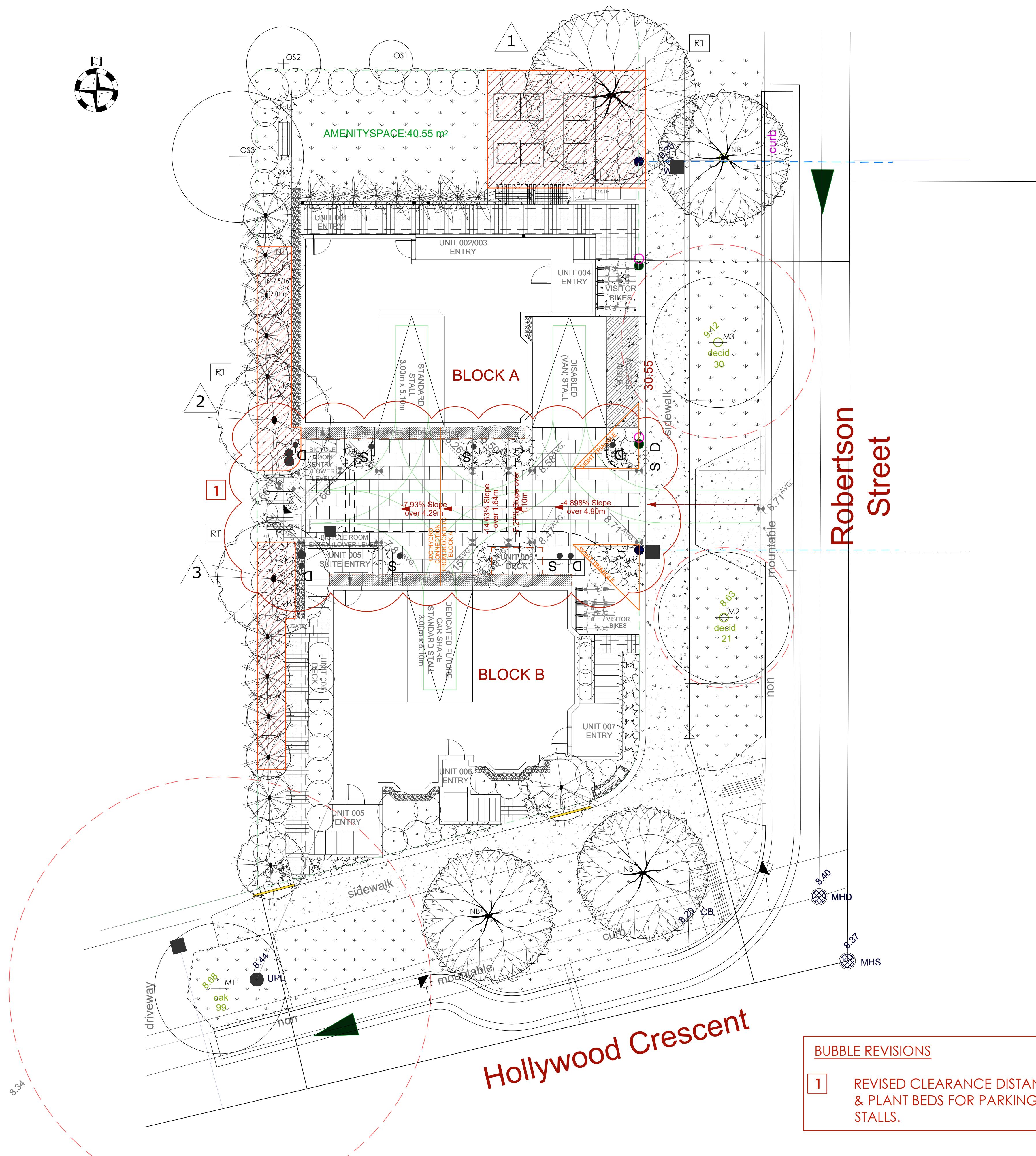


EXTERIOR FINISHES SCHEDULE

A ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	F WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD, ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
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D WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
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REPLACEMENT TREE SPACING*		
ROW #	TREE SIZE	MIN. SPACING
1	SMALL TREE (SCHEDULE "E", PART 2)	2.0M
2	MEDIUM TREES (SCHEDULE "E", PART 1)	4.0M
3	LARGE TREES (SCHEDULE "E", PART 1)	6.0M

NOTE:
SOIL CELLS TO BE
STRATAVAULT 45
STRUCTURAL MODULES
(450 kPa/65.3 psi loads)

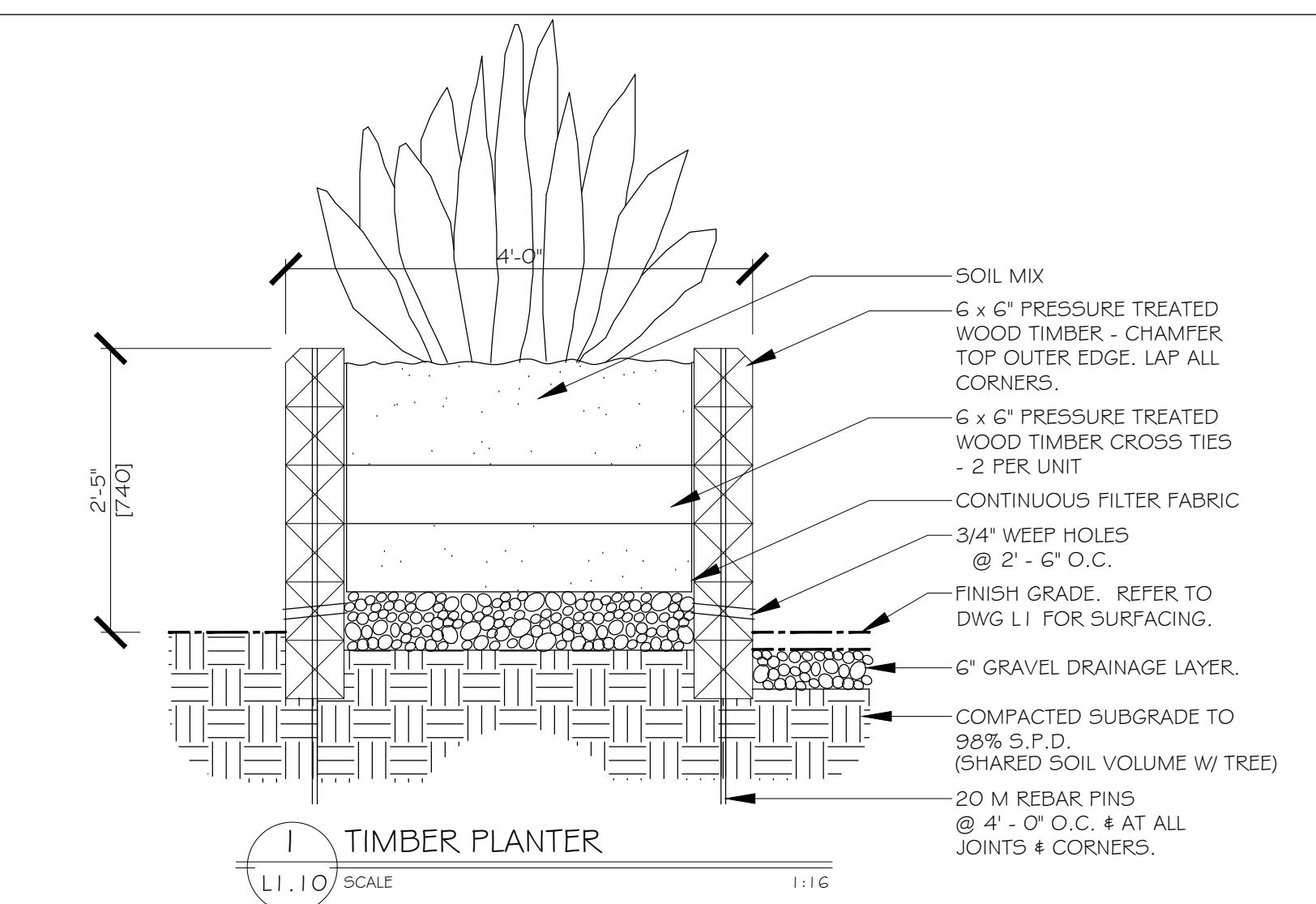
CONTACT: CITY GREEN
URBAN LANDSCAPE
SOLUTIONS
PHONE: 1-888-999-3990

SOIL VOLUME REQUIREMENTS*			
ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

				Replacement Trees Proposed			Soil Volume Required (m ³)			
Planting Area ID	Area (m ²)	Soil Volume Multiplier*	A Estimated Soil Vol. (m ³)	B # Small	C # Medium	D # Large	B # Small	C # Medium	D # Large	Total**
ONSITE										
1	39	1.0M	37			1			1	30
2	15	1.0M	15		1			1		15
3	15	1.0M	15			1			1	15

Notes:

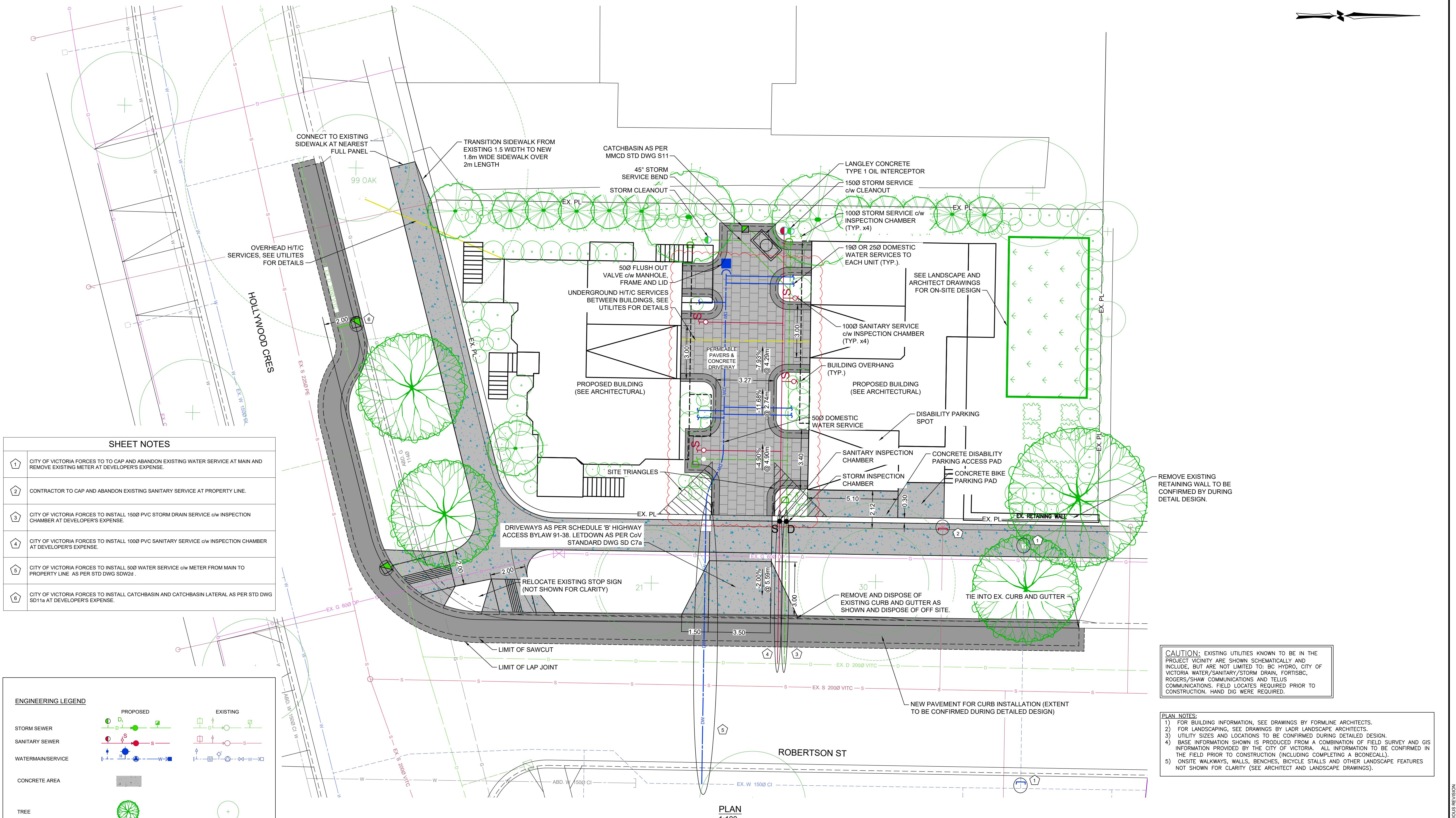
- (1) All soil volume calculations are for replacement trees only
- (2) All replacement trees are ONSITE
- (3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table
- (4) All replacement trees meet soil volume requirements for this project.



REV. DATE	NUMBER	DESCRIPTION
07-29-24	1	LANDSCAPE DP SET
08-28-24	2	LANDSCAPE DP SET - REVISED
10-24-24	3	LANDSCAPE DP SET - REVISED
11-01-24	4	LANDSCAPE DP SET - RESUBMISSION
05-29-25	5	RESPONSE TO PARKS
08-12-25	6	REVISED DP

AUGUST 12, 2025

L1.10



#	#	#	#	#	#
#	#	#	#	#	#
#	#	#	#	#	#
4	2025-08-22	UPDATED PARKING AND PLANT BEDS	GS	IM	IM
3	2025-07-03	UPDATED LANDSCAPE	GS	GS	IM
2	2025-05-09	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM
1	2024-11-25	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM
0	2024-09-13	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM
Rev	Date	Description	Drawn	Design	App'd

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SED

BENCHMARK
ALL ELEVATION REFER TO CONTROL MONUM
LOCATED AT: -
ELEVATION: -

E

0 1:

ORIGINAL DWG SIZE: ANSI D (22" x 34")

MENT: -

McElhanney

McElhanney Ltd.

PERMIT NUMBER: 1003

Engineers and Geoscientists of
British Columbia

E
299

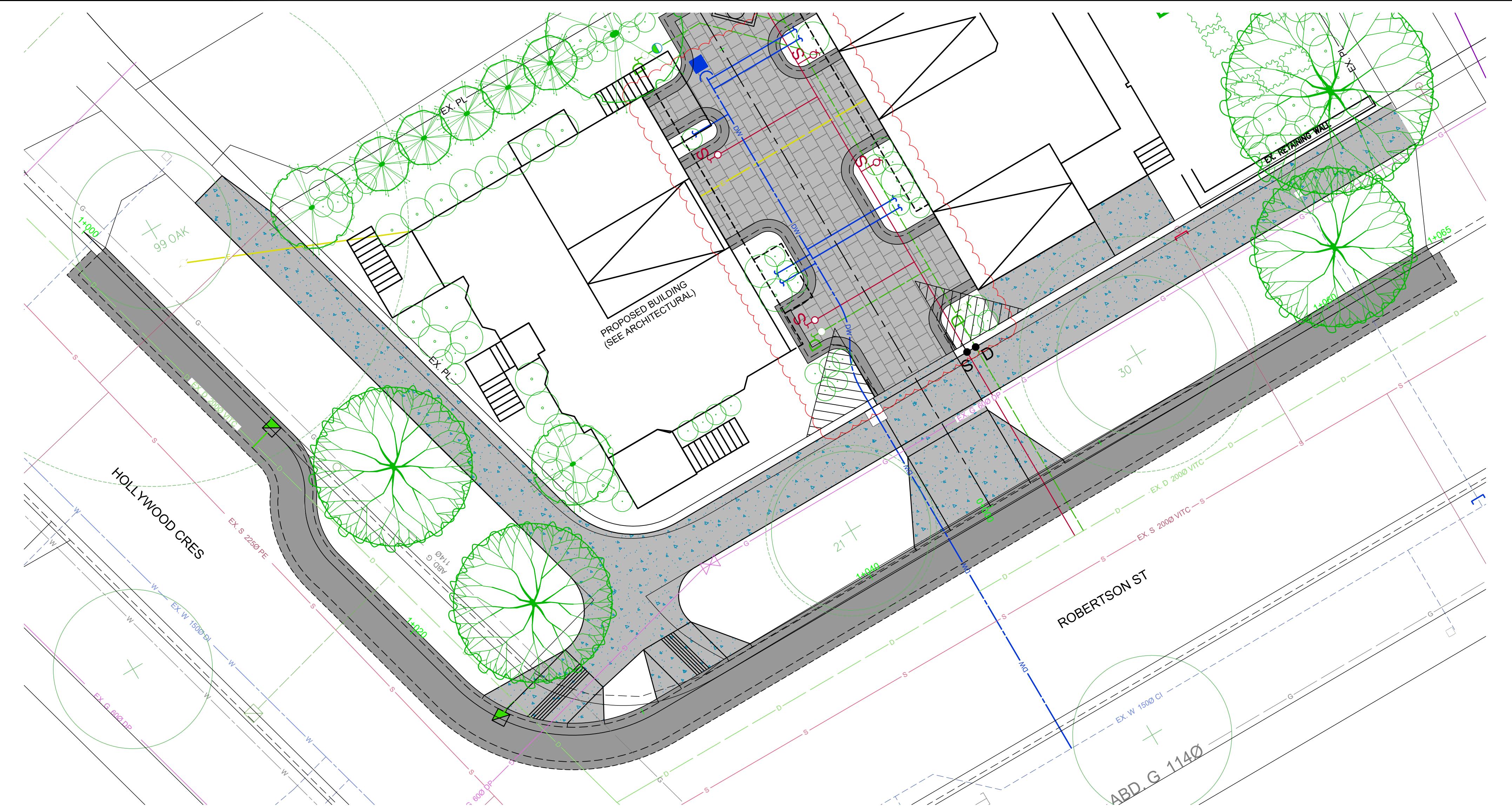
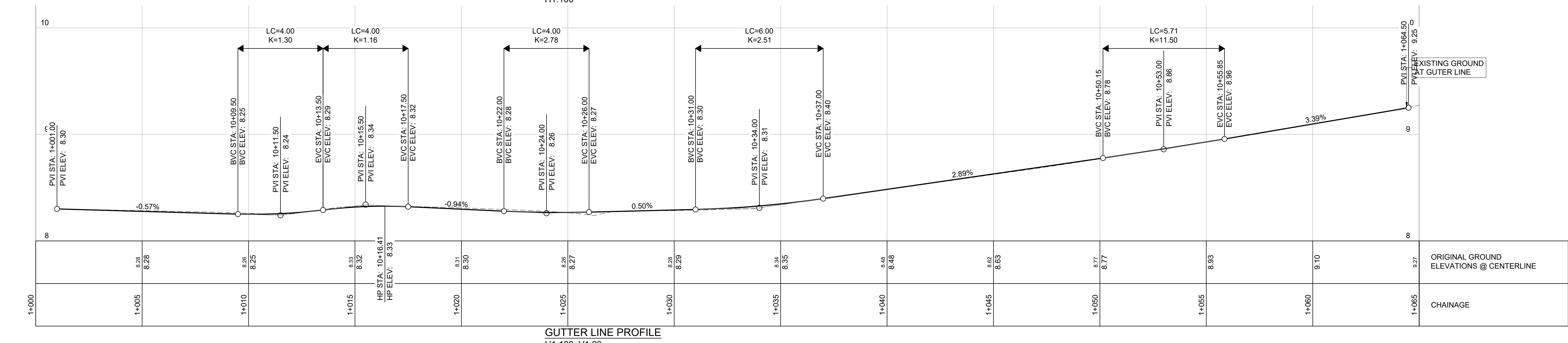
Approved Sealed

526 GUR
1734 HO
CONCEPTU

AMIT SETHI
UNANK LANE, VICTORIA, BC V9C 0M2

**HOLLYWOOD CRESCENT
AL SITE SERVICING PLAN**

Drawing No.	
C00	
Project Number	Rev.
2024-21-035-00	4

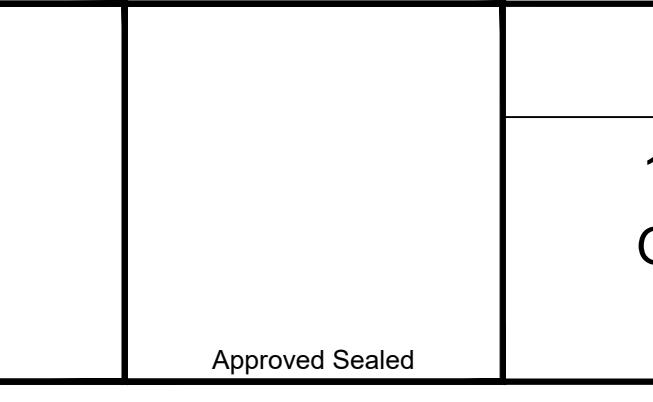
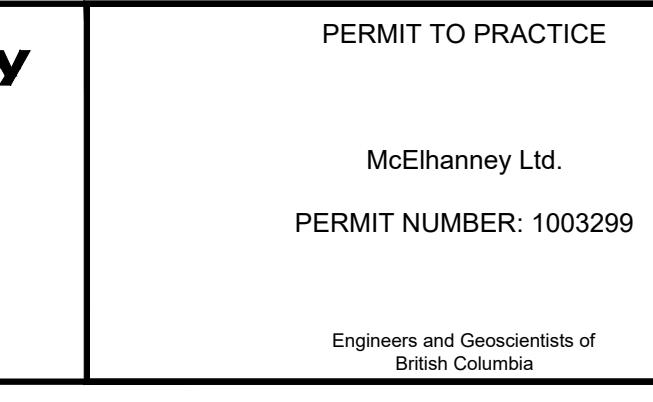
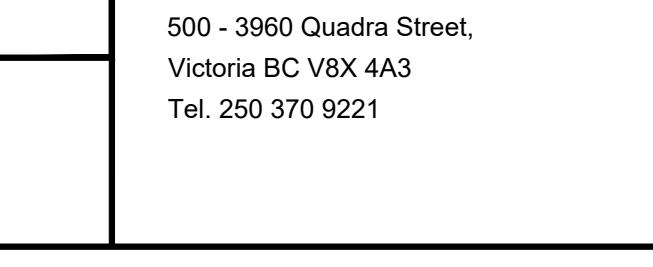
GUTTER LINE PLAN
H1:100GUTTER LINE PROFILE
H1:100, V1:20

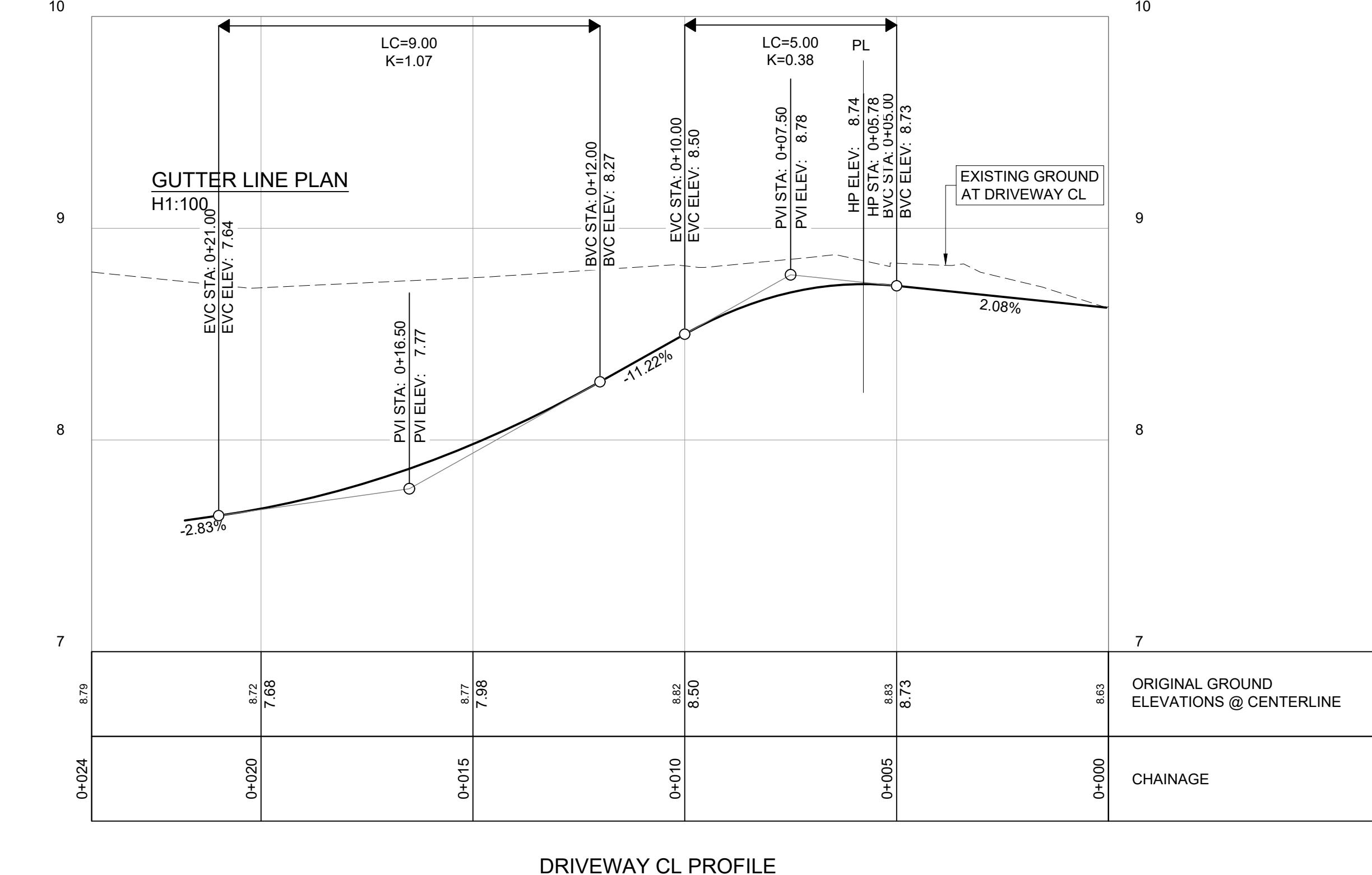
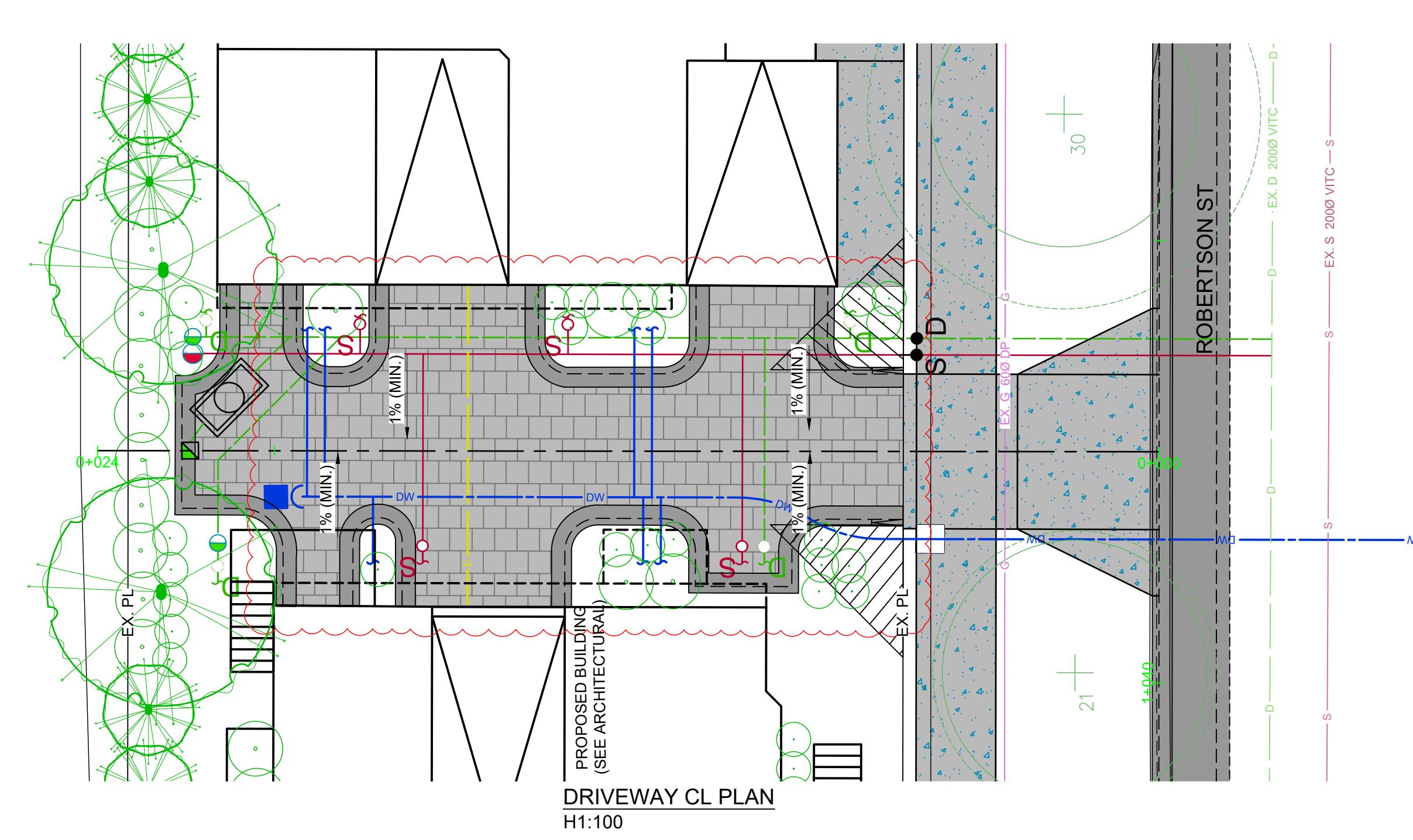
#	#	#	#	#	#	#	#	#
4	2025-08-22	UPDATED PARKING AND PLANT BEDS	GS	IM	IM	IM	IM	IM
3	2025-07-03	LANDSCAPE UPDATED	GS	GS	IM	IM	IM	IM
2	2025-05-09	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM	IM	IM	IM
1	2024-11-25	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM	IM	IM	IM
0	2024-09-13	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM	IM	IM	IM
Rev	Date	Description	Drawn	Design	App'd			

Drawn

Design

App'd





#	#	#	#	#	#	#	#
#	#	#	#	#	#	#	#
4	2025-08-22	UPDATED PARKING AND PLANT BEDS	GS	IM	IM		
3	2025-07-03	LANDSCAPE UPDATED	GS	GS	IM		
2	2025-05-09	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM		
1	2024-11-25	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM		
0	2024-09-13	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM		
Rev	Date	Description	Drawn	Design	App'd		

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BENCHMARK
ALL ELEVATION REFER TO CONTROL MONUMENT: -
LOCATED AT: -
ELEVATION: -

ORIGINAL DWG SIZE: ANSI D (22" x 34")



500 - 3960 Quadra Street,
Victoria BC V8X 4A3
Tel. 250 370 9221

DRIVEWAY CL PROFILE
H1:100, V1:20

PERMIT TO PRACTICE
McElhanney Ltd.
PERMIT NUMBER: 1003299
Engineers and Geoscientists of
British Columbia

AMIT SETHI
526 GURUNAK LANE, VICTORIA, BC V9C 0M2
1734 HOLLYWOOD CRESCENT
SITE DRIVEWAY PLAN & PROFILE
Approved Sealed

Drawing No.
C02
Project Number
2024-21-035-00
Rev.
4
DESTROY ALL PRINTS BEARING PREVIOUS REVISION