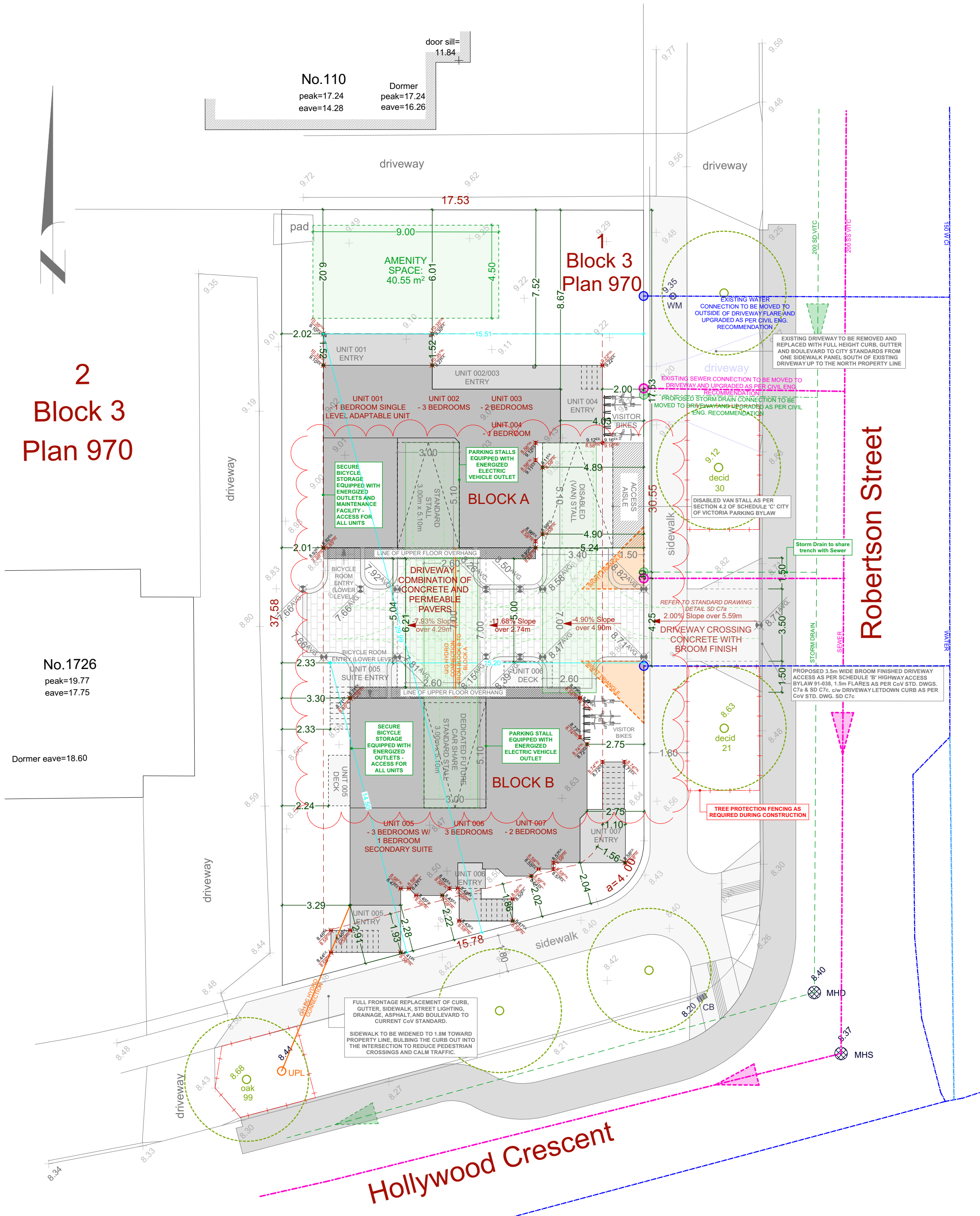


28
Block 3
Plan 970

- CB ■ - denotes - catch basin
MHD ⊗ - denotes - manhole - storm drain
MHS ⊗ - denotes - manhole - sewer
UPL ○ - denotes - utility pole with light
WM ⊗ - denotes - water meter
- denotes - existing elevation

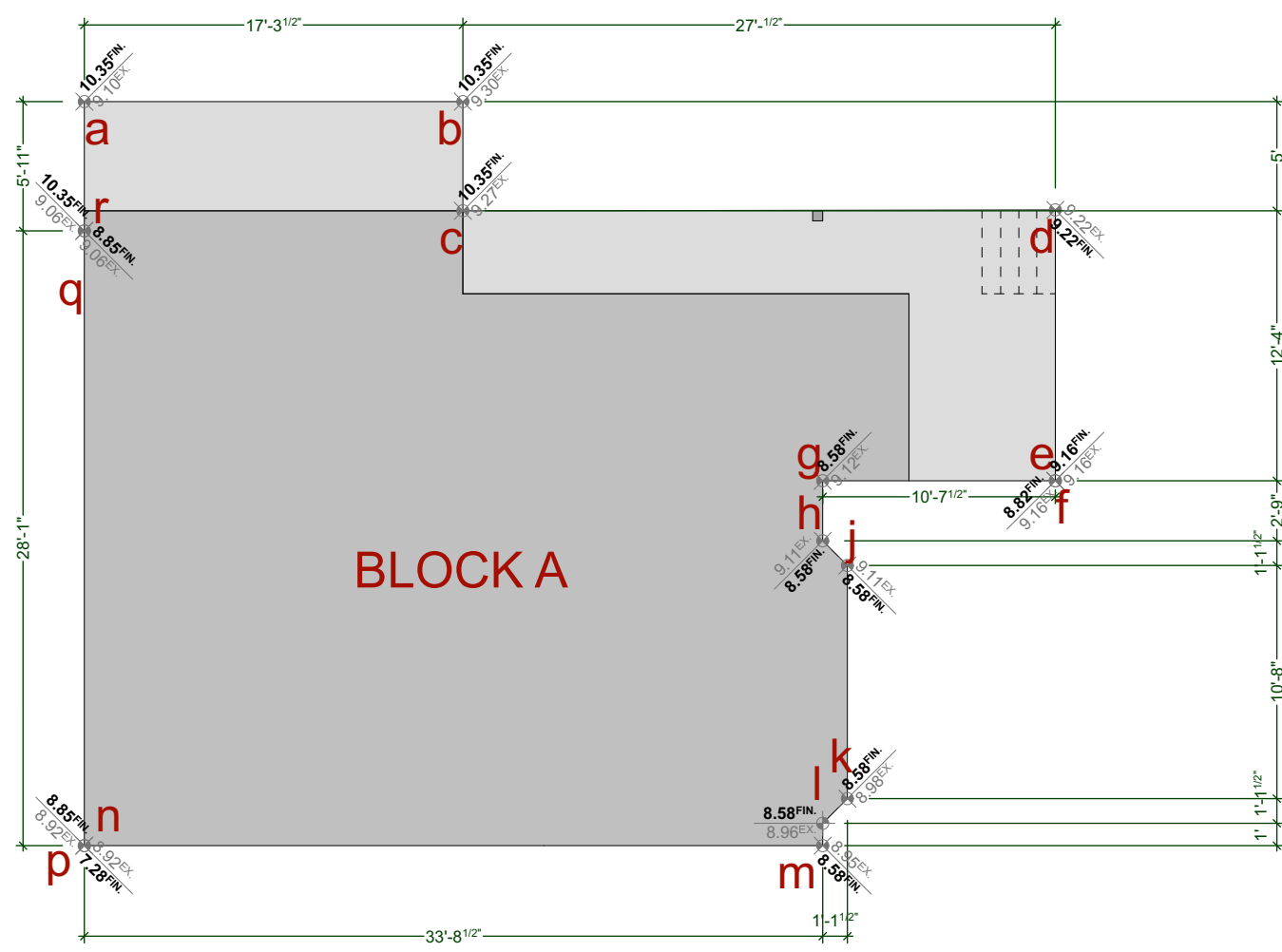
Tree diameters are in centimetres.
Lot Area = 616.53 m²



PROPOSED SITE PLAN
SCALE = 1 : 150

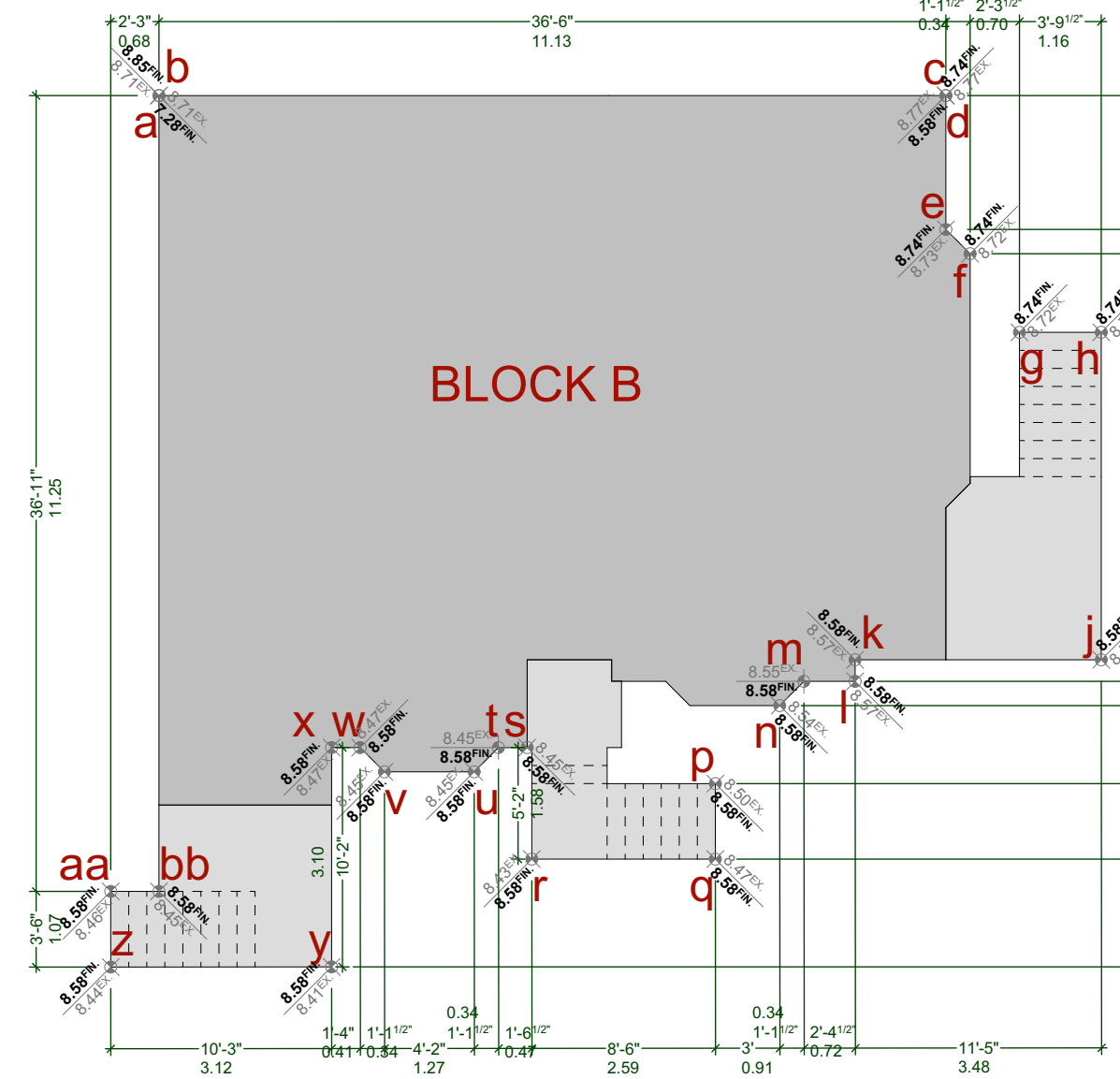
PROJECT DATATABLE - MULTI FAMILY DWELLING			
Address	1734 Hollywood Cres		
Lot Size	616.53m ² (6,636.27 ft ²)		
Zoning	R1-G - MISSING MIDDLE BYLAW - SCHEDULE P		
	BLOCK A	BLOCK B	REQUIRED
Location			
Lot Width***	17.53m***		20m
Building to be within 36m of two streets	29.99m	15.20m	-
All buildings to be within 20m of a street	15.51m	14.50m	-
Floor Area			
Upper Floor Area	90.61m ² (975.34 ft ²)	98.66 m ² (1,061.98 ft ²)	-
Main Floor Area	91.84m ² (988.60 ft ²)	98.92 m ² (1,064.81 ft ²)	-
Lower Floor Area	88.64m ² (954.12 ft ²)	100.11 m ² (1,077.54 ft ²)	-
Basement Floor Area	52.82m ² (568.55 ft ²)	59.44 m ² (639.81 ft ²)	-
Bicycle Storage Area	17.12m ² (184.28 ft ²)	17.12 m ² (184.28ft ²)	-
Floor Space Ratio	0.923 (568.78 m ² (6,124.39 ft ²))		1.1 (678.18m ² (7,299.87 ft ²))
Height			
Average grade	8.77m Geo. (37.17 ft)	8.40m Geo. (38.32 ft)	-
Building Height (maximum)	11.33m (37.17 ft)	11.68m (38.32 ft)	11.00m - Flat roofs 12.00m - All other roofs
Setbacks, Projections			
Street setback (Robertson) (minimum) (South)	2.00m (6.56 ft)	2.75m (9.02 ft)	2.00m (6.56 ft)
Street setback (Hollywood) (minimum) (East)	-	2.02m (6.63 ft)	2.00m (6.56 ft)
Maximum projections into all setbacks: - steps, ramp, porch	-	1.93m (6.33 ft)	2.00m (6.56 ft)
North setback (minimum)	6.01m (Habitable) (19.72 ft)	21.95m (Habitable) (72.01 ft)	6.00m (Habitable) 2.00m (Non-hab.)
West setback (minimum)	2.01m (Non-hab.) (6.60 ft)	2.24m (Non-hab.) (7.34 ft)	6.00m (Habitable) 2.00m (Non-hab.)
Eave projections into setback (maximum)	0.65m (2.13 ft)	0.65m (2.13 ft)	0.75m (2.46 ft)
Building separation (minimum)	5.04m (16.54 ft)	5.04m (16.54 ft)	5.00m (16.40 ft)
Site Coverage			
Site coverage (maximum)	39.85% (245.69m ²) (2,644.59ft ²)		40.00% (246.61m ²) (2,654.49ft ²)
Open Site Space (minimum)	45.25% (278.98m ²) (3,002.92ft ²)		45.00% (277.44m ²) (2,986.34ft ²)
Amenity Space (35m ² or 6.5% of lot area and min 4.5m in length on all sides)	14.13% (87.13m ²) (937.86ft ²)		6.50% (40.08m ²) (431.42ft ²)
Site Impervious Areas		43.15% (266.03m ²) (2,863.52ft ²)	
Permeable Areas		56.85% (350.50m ²) (3,772.75ft ²)	
Rainwater Management Areas		56.85% (350.50m ²) (3,772.75ft ²)	
Parking			
Bicycle Parking	BLOCK A	BLOCK B	REQUIRED
Bicycle Storage - Long Term Storage Spaces (2 per unit; 1 per secondary unit) - Short Term Storage Spaces (Not required)	8 long term spaces 6 short term spaces	7 long term spaces 6 short term spaces	• 15 long term spaces • 5 visitor spaces per bldg
Oversized Bicycle Storage	1 oversized space	1 oversized space	15% of total stalls 2 spaces
Energized Bicycle Spaces	4 energized	4 energized	50% of total stalls 8 spaces
Bicycle Maintenance Facility c/w Bicycle Repair Stand	1 facility	1 facility	1 Required in each bike room
Van Accessible Parking	1 - Van accessible parking space located close to Block A (contains adaptable unit)		1 Required
EV Equipped Parking One parking space dedicated for future use by a car share vehicle on the lot secured through a car share parking space SRW on the terms in Schedule R	1 - Standard EV equipped parking space	1 - Dedicated future car share (SRW) EV equipped parking space	0.15 Parking spaces per unit up to a maximum of 1 car share vehicle parking space 2 Spaces Required

***VARIANCE REQUIRED



Grade Points	Avg. Off Points	Distance Between	Totals
b / c	9.10 + 9.30 / 2 = 9.20	5.27	45.45
b / d	9.30 + 9.27 / 2 = 9.29	1.52	14.12
c / d	9.27 + 9.22 / 2 = 9.25	0.25	76.31
d / e	9.22 + 9.16 / 2 = 9.19	3.76	34.55
f / g	8.82 + 8.58 / 2 = 8.70	3.24	28.19
g / h	8.58 + 8.58 / 2 = 8.58	0.84	7.21
h / i	8.58 + 8.58 / 2 = 8.58	0.34	2.92
i / j	8.58 + 8.58 / 2 = 8.58	3.25	27.89
k / l	8.58 + 8.58 / 2 = 8.58	0.34	2.92
l / m	8.58 + 8.58 / 2 = 8.58	0.31	2.68
m / n	8.58 + 7.28 / 2 = 7.93	10.28	81.52
p / q	8.85 + 8.85 / 2 = 8.85	6.56	75.76
r / a	9.06 + 9.10 / 2 = 9.08	1.80	16.34
Total:			419.87
Permitter:			47.76
AVG. GRADE =			8.77

ALLOWED HEIGHT (12.00m) (8.77 + 12.00m) 20.77m



Grade Points	Avg. Off Points	Distance Between	Totals
b / c	7.28 + 8.58 / 2 = 7.93	11.13	88.26
d / e	8.74 + 8.73 / 2 = 8.74	1.89	16.52
f / g	8.73 + 8.72 / 2 = 8.73	0.34	2.97
h / i	8.72 + 8.72 / 2 = 8.72	0.70	6.10
j / k	8.72 + 8.71 / 2 = 8.72	1.16	10.12
l / m	8.71 + 8.58 / 2 = 8.65	4.83	40.05
n / o	8.58 + 8.57 / 2 = 8.58	3.48	29.86
p / q	8.57 + 8.57 / 2 = 8.57	0.30	2.57
r / s	8.57 + 8.55 / 2 = 8.56	0.72	6.16
t / u	8.55 + 8.54 / 2 = 8.55	0.34	2.91
v / w	8.54 + 8.50 / 2 = 8.52	1.10	9.37
x / y	8.50 + 8.47 / 2 = 8.49	1.07	9.08
z / a	8.47 + 8.43 / 2 = 8.45	2.59	20.70
b / c	8.43 + 8.45 / 2 = 8.44	1.58	13.34
d / e	8.45 + 8.45 / 2 = 8.45	0.47	3.97
f / g	8.45 + 8.45 / 2 = 8.45	0.34	2.97
h / i	8.45 + 8.45 / 2 = 8.45	1.27	10.73
j / k	8.45 + 8.47 / 2 = 8.46	0.34	2.86
l / m	8.47 + 8.47 / 2 = 8.47	0.41	3.47
n / o	8.47 + 8.41 / 2 = 8.44	3.10	26.16
p / q	8.41 + 8.44 / 2 = 8.43	3.12	26.30
r / s	8.44 + 8.46 / 2 = 8.45	1.07	9.04
t / u	8.46 + 8.45 / 2 = 8.46	0.68	5.75
v / w	8.44 + 8.46 / 2 = 8.45	1.07	9.04
x / y	8.45 + 8.71 / 2 = 8.58	11.25	95.53
Total:			454.75
Permitter:			54.15
AVG. GRADE =			8.40

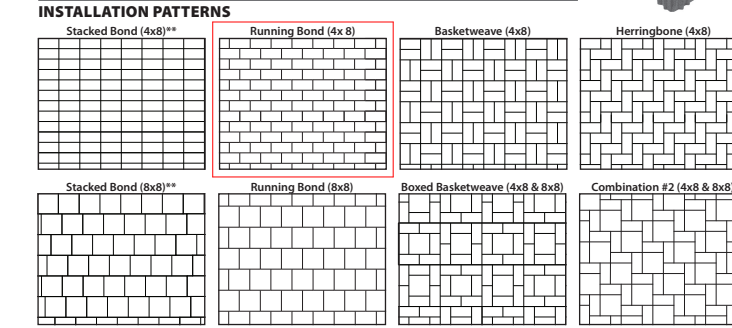
ALLOWED HEIGHT (12.00m) (8.40 + 12.00m) 20.40m

ECO-PRIORA



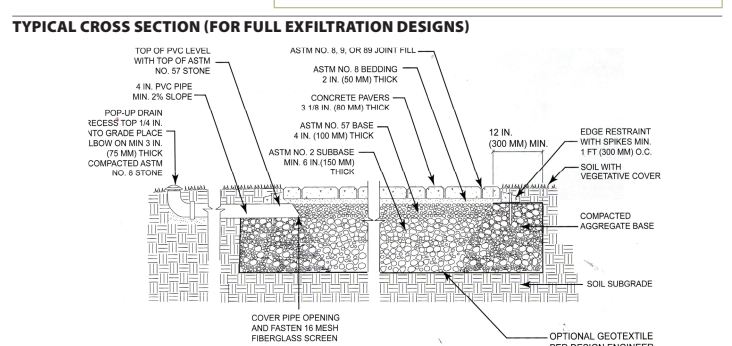
PRODUCT DATA*	Weight (kg)	Weight (lb)	Volume (m ³)	Volume (ft ³)	Net Weight (kg)	Net Weight (lb)
1.0m x 0.6m x 0.04m	4.0	8.8	0.024	0.00085	3.6	7.9
0.6m x 0.3m x 0.04m	1.0	2.2	0.006	0.00021	0.9	2.0

STANDARD SPECIFICATION
Eco-Priora is manufactured to the same high quality specifications as all other Mutual Materials permeable paving products and meets or exceeds the requirements in ASTM C 1363, "Standard Specification for Solid Concrete Interlocking Paving Units".



AVAILABLE COLORS
Custom colors are available. For more information please contact your Mutual Materials sales representative.

PERMEABLE PAVING DESIGN
For more specific and detailed instructions, please contact your Mutual Materials sales representative.



MUTUAL MATERIALS LOCATIONS	WASHINGTON	OREGON	IDAHO	MONTANA
Bellevue	Bellevue	Bellevue	Bellevue	Bellevue
Bellevue	Bellevue	Bellevue	Bellevue	Bellevue
Bellevue	Bellevue	Bellevue	Bellevue	Bellevue
Bellevue	Bellevue	Bellevue	Bellevue	Bellevue

NAFS REQUIREMENTS:
Performance Grade of 30
Water Test Pressure of 160 Pa

GENERAL NOTES
ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.
ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.
DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE
-SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR

SITE PLAN
ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR
ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER
ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.
CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.
CONCRETE AND FOUNDATIONS
ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.

IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.
GARAGE & CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPa
FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2800 psi (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.
ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED.
ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE.
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

LUMBER, FRAMING AND BEAMS
BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.
ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.
ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

TRUSSES
TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACKING.
ROOFING
ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.
PLUMBING & ELECTRICAL
ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

FLASHING
ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING.
ALL ROOFING SHALL INCORPORATE STEP FLASHING.
ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.
DOORS - ROUGH OPENING SIZES
FRAME OPENING 1 1/4" WIDER THAN DOOR
FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81.5".
MISC.
CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19

NEITHER JAVADESIGNS INC. NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:
- INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.
- CONFORMITY OF PLANS TO SITE.
- ERRORS AND OMISSIONS
- ANY HOUSE BUILT FROM THESE PLANS

SHEET
NUMBER

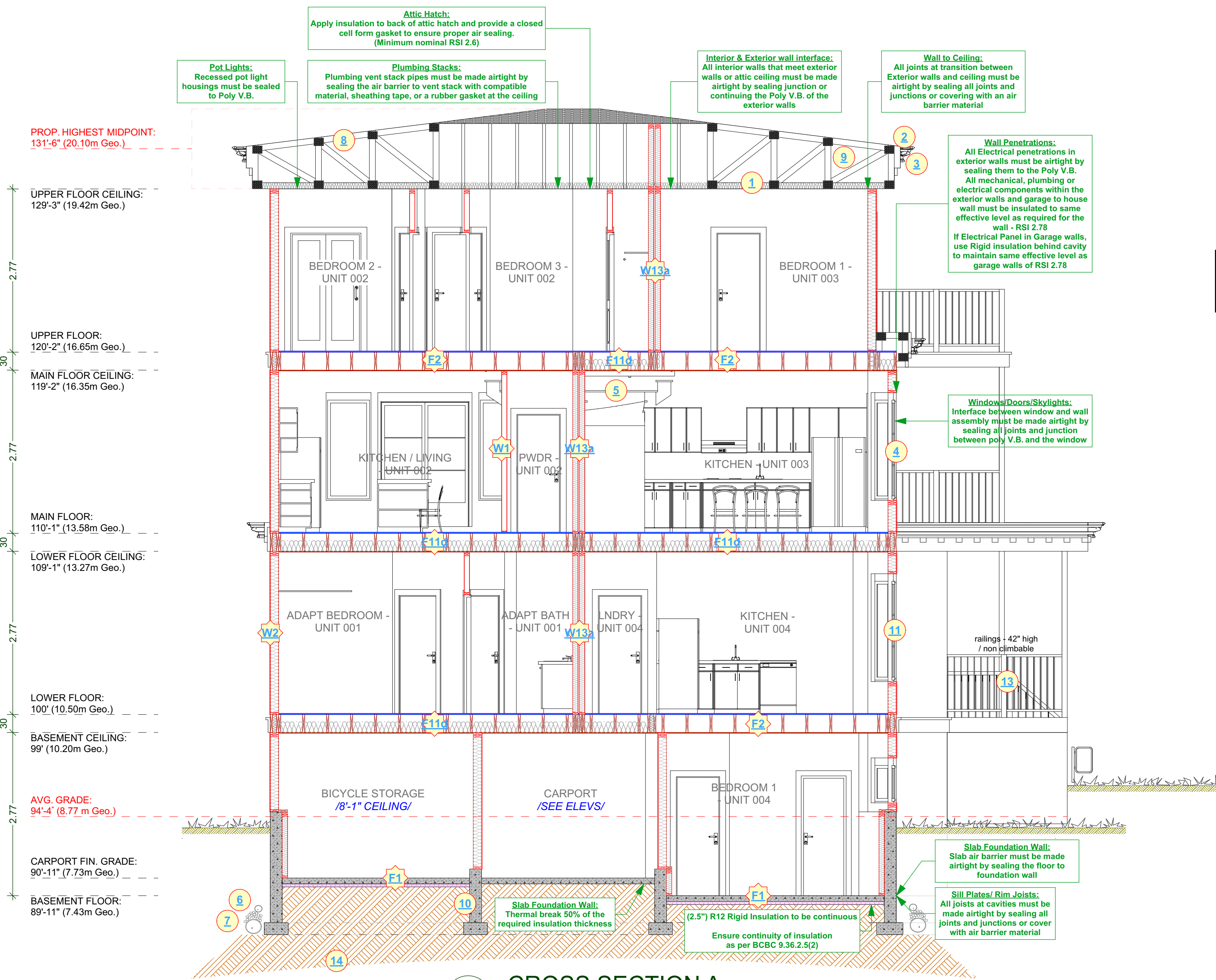
A1

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
LOT 1. 1734 HOLLYWOOD CRESCENT,
VICTORIA

DRAWING NAME:
PROPOSED SITE PLAN,
GRADE PLANS AND DATA TABLE
DRAWING SCALE:
SEE DRAWINGS

ISSUE DATE:
SEPT 02, 2025
DRAWN BY:
NS
CHECKED BY:
KL

JAVA DESIGNS
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CROSS SECTION A

HEAT SOURCES: HEAT PUMPS WITH
HWT ON DEMAND FOR ALL UNITS

CONSTRUCTION NOTES:

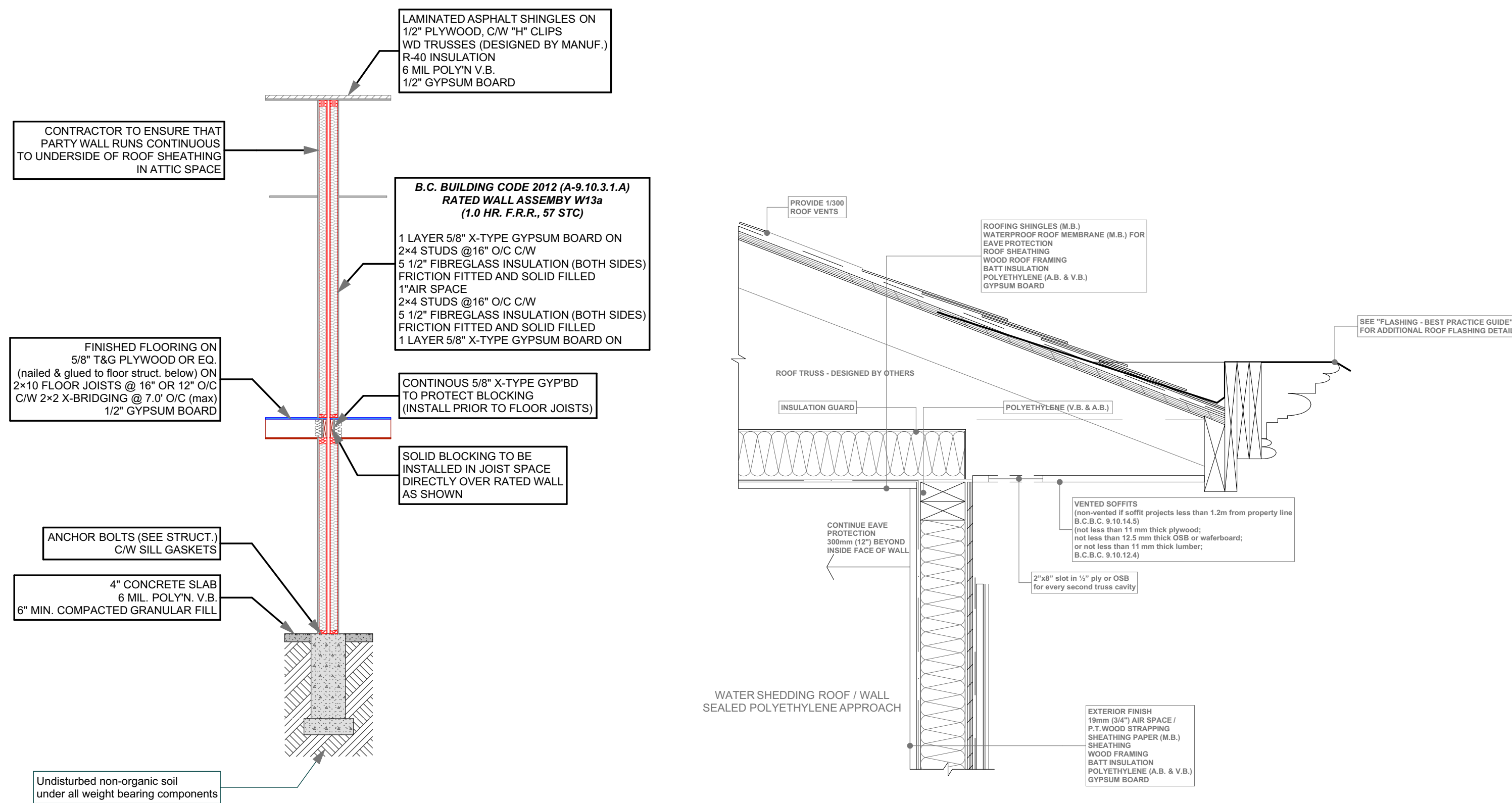
- R40 insulation, 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 6.91
- Continuous gutters
- Aluminum Gutters and Vented Soffits- Roof overhangs as per plans
- All windows vinyl, supply rain pan under, rainscreen as per BCBC Windows in doors to be safety glass
- Stairs: 7 5/8" rise, 10.04" tread, 1" nosing with continuous handrail.
- Provide drains to perimeter system
- 4" drainless with 6" rock over
- Provide roof vents: vent 1/300 - See Soffit Detail
- Eave protection to 12" beyond heated wall
- 8" concrete wall on 8"x16" conc. ftgs. - 2#4 bar cont. - R12 rigid insulation - 2 coats damproffing
- caulk over and around all exterior openings
- 10" X 10" post saddle on 8" plaster 2'x2'6" conc. footing. NOT SHOWN
- 42" Non climbable Continuous Handrail.
- Undisturbed non-organic soil

CONSTRUCTION ASSEMBLIES:

- 4" concrete floor on compacted granular fill, 6 mil poly VB
- 2x12 Floor Joist 16" O.C. typ. Nail and Glue 3/4" T&G plywood X bridging @ 6" O.C. typ.
- Low slope asphalt shingles, building paper, 7/16" O.S.B. (or 1/2" plywood) , Engineered Trusses designer by supplier @ 24" O.C. typ.
- 2x4 framing 16" O.C. typ. 1/2" drywall finish throughout
- Exterior Finish, 3/4" air space, Pressure treated strapping, 2 layers 30 mm building paper, 1/2" sheathing, 2x6 studs at 16" O.C., R-20 Batt insulation, 6 MIL Poly V.B., 1/2" Drywall. (See elevations)
- DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 - two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 - one subfloor layer of 11mm sanded plywood, or OSB or waterboard
 - one subfloor layer of 15.9mm plywood, OSB or waterboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

"ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS"
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION - ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST HAVE U-VALUE LESS THEN 1.80 (AS PER TABLE 9.36.2.7.A) - GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

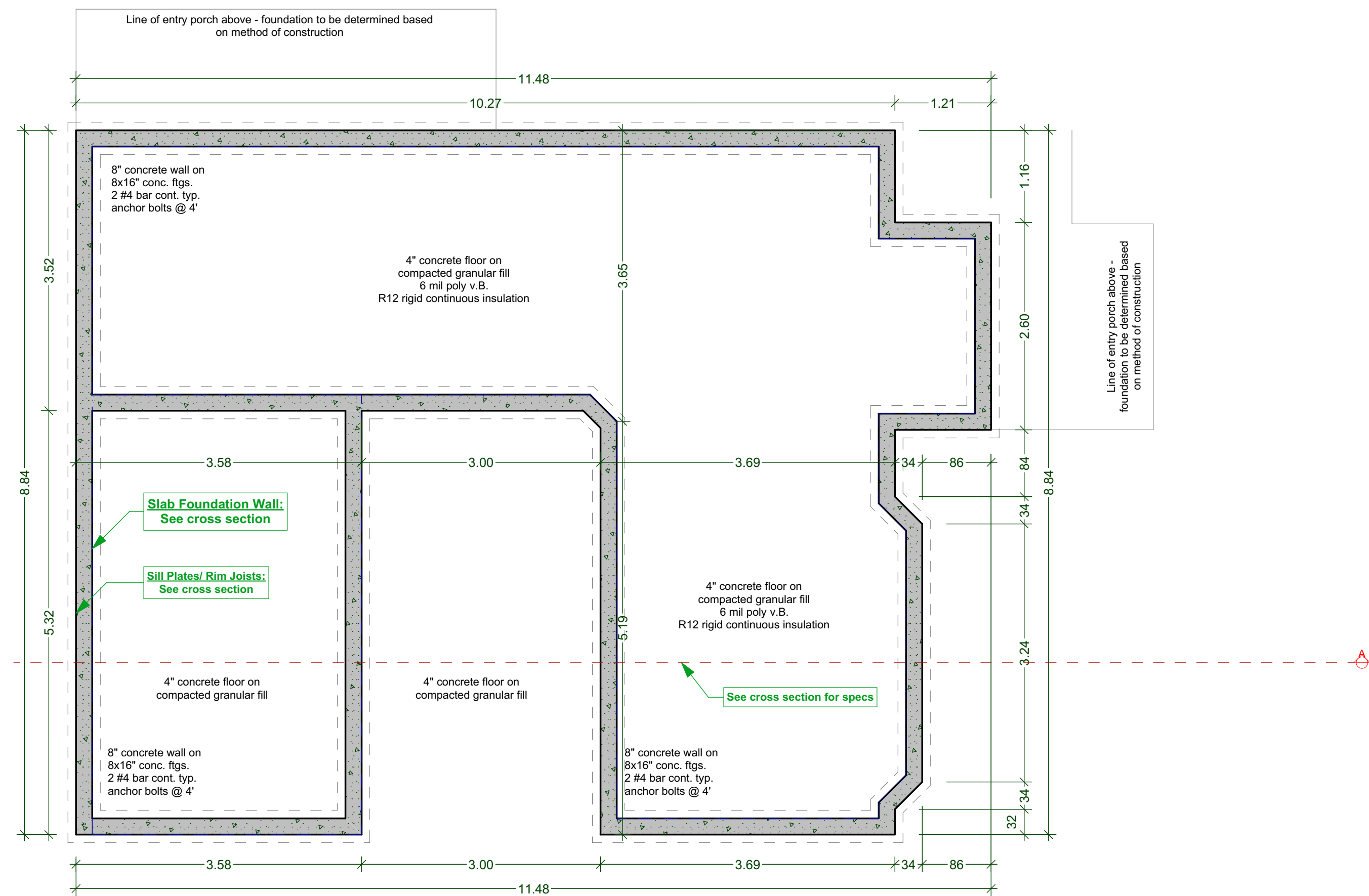


W13a - PARTY WALL DETAIL

SCALE: 1/4" = 1' - 0"

SOFFIT DETAIL

SCALE: 1" = 1' - 0"



A

FOUNDATION PLAN (ON SLAB)



CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

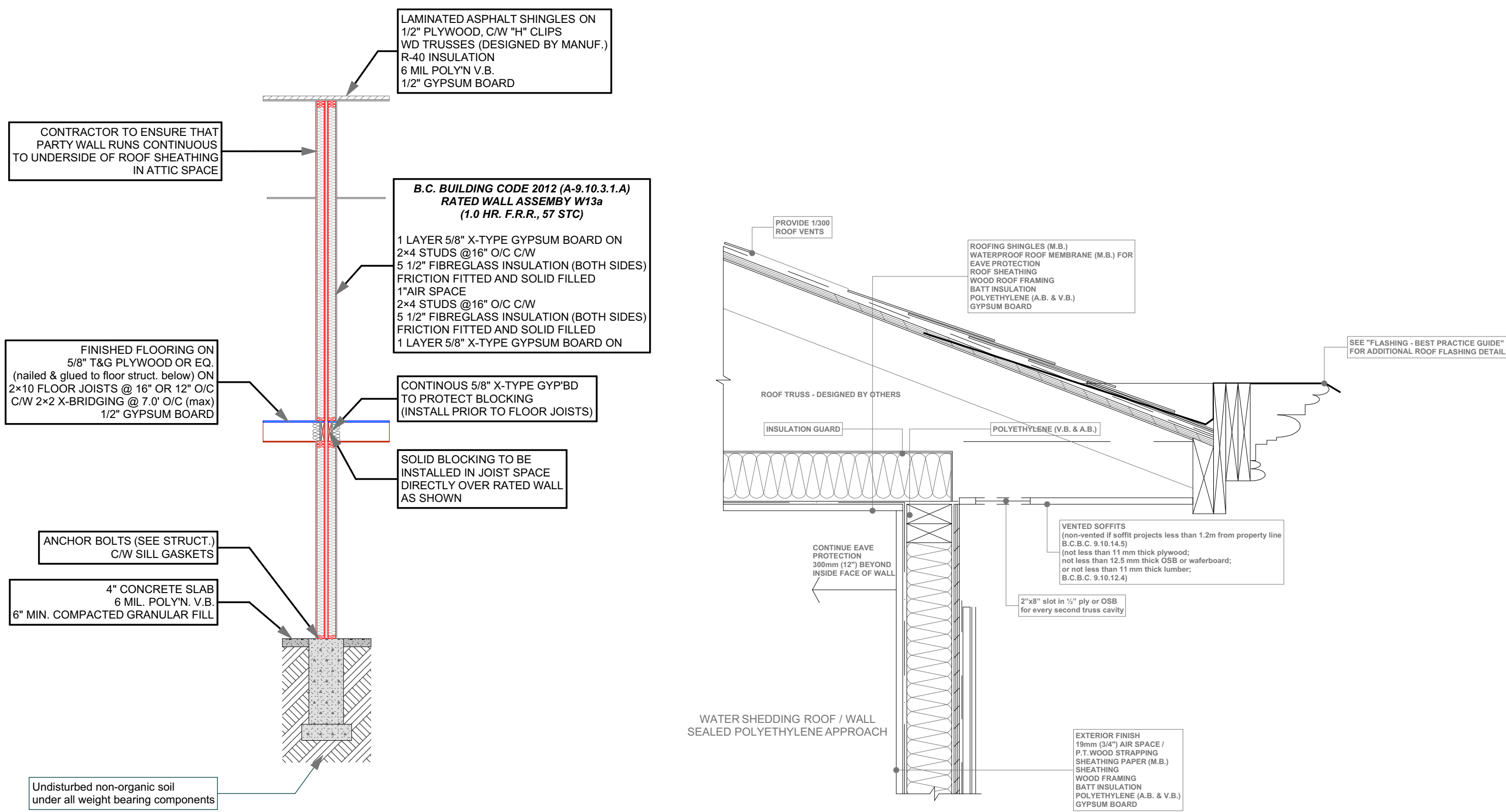
DRAWING NAME: CROSS SECTION - BLOCK A
FOUNDATION PLAN AND SOFFIT
DETAIL
DRAWING SCALE: SEE DRAWINGS

ISSUE DATE: SEPT 02, 2025
DRAWN BY: NS
CHECKED BY: KL

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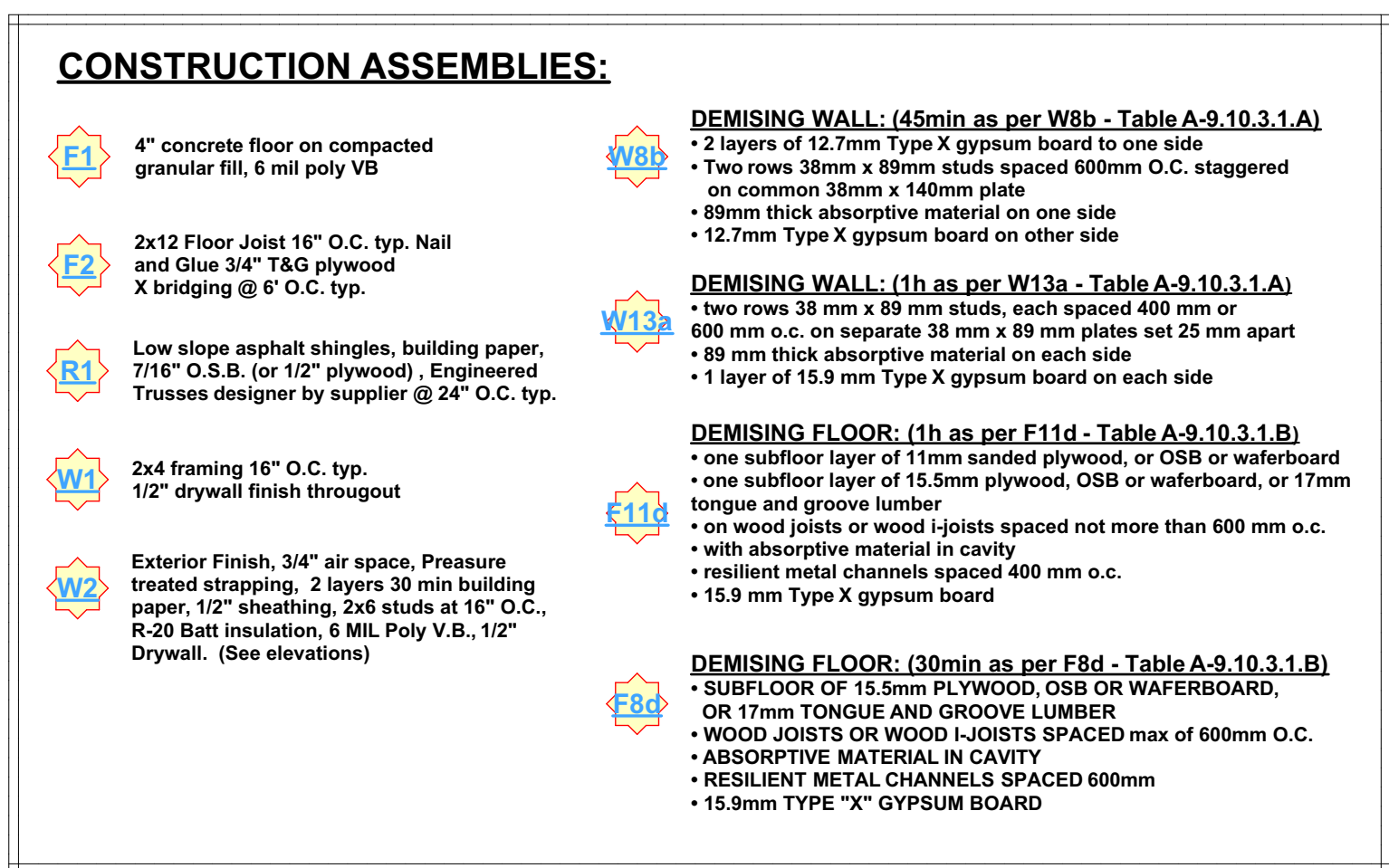
SHEET NUMBER

A2



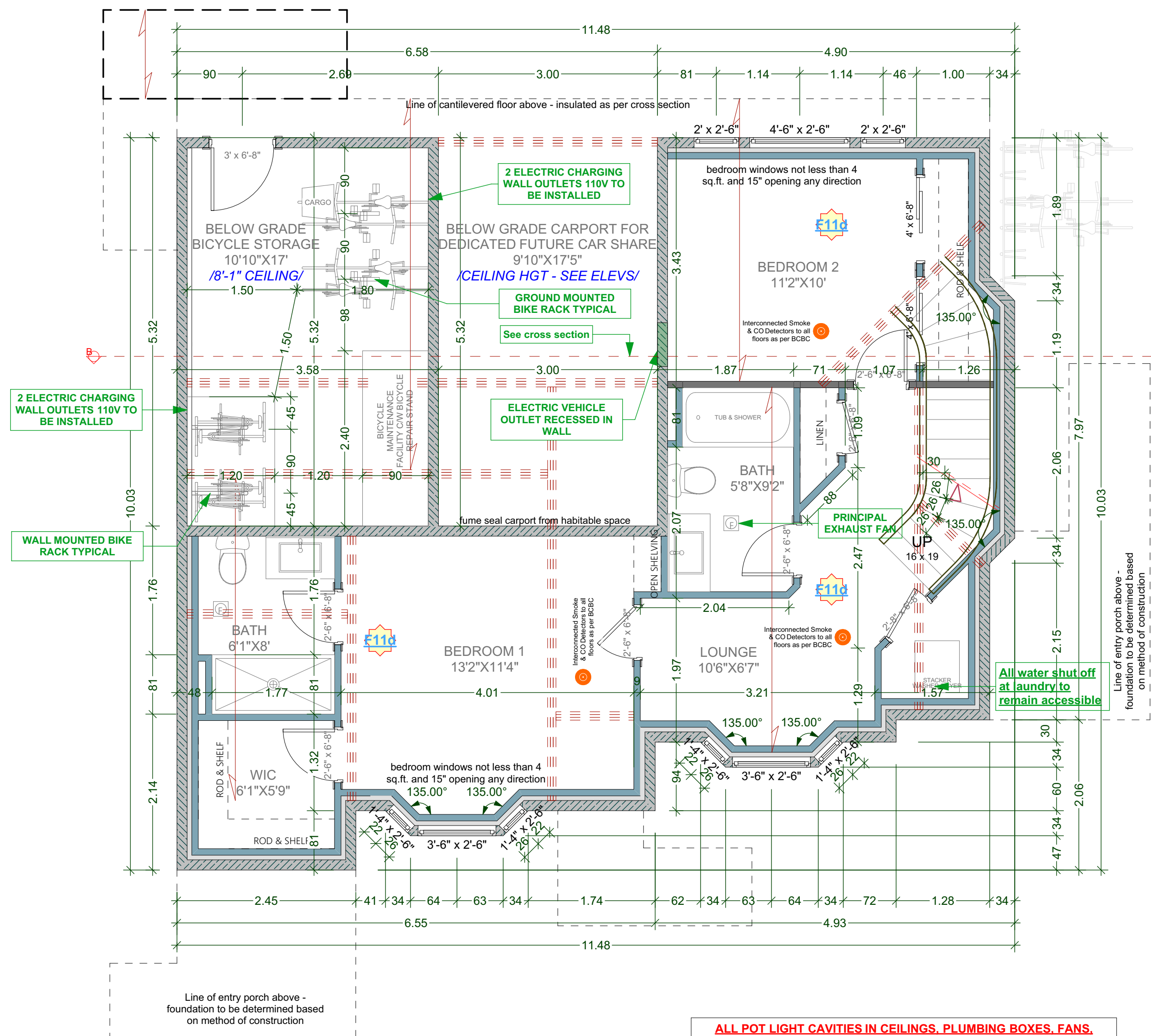
SOFFIT DETAIL

SCALE : 1" = 1' - 0"



ADD INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARM CONFORMING TO ARTICLE 9.37.2.19.
 (g) SECONDARY DWELLING UNIT TO BE SEPARATED FROM PRIMARY DWELLING UNIT BY A FIRE SEPARATION
 HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN **30 min.** AS PER 9.37.2.15.(b)

****ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS****
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION. -ONE
EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST HAVE
U-VALUE LESS THEN 1.80 (AS PER TABLE 9.36.2.7.A) -GARAGE VEHICULAR DOORS MUST BE MINIMUM
NOMINAL RSI OF 1.1



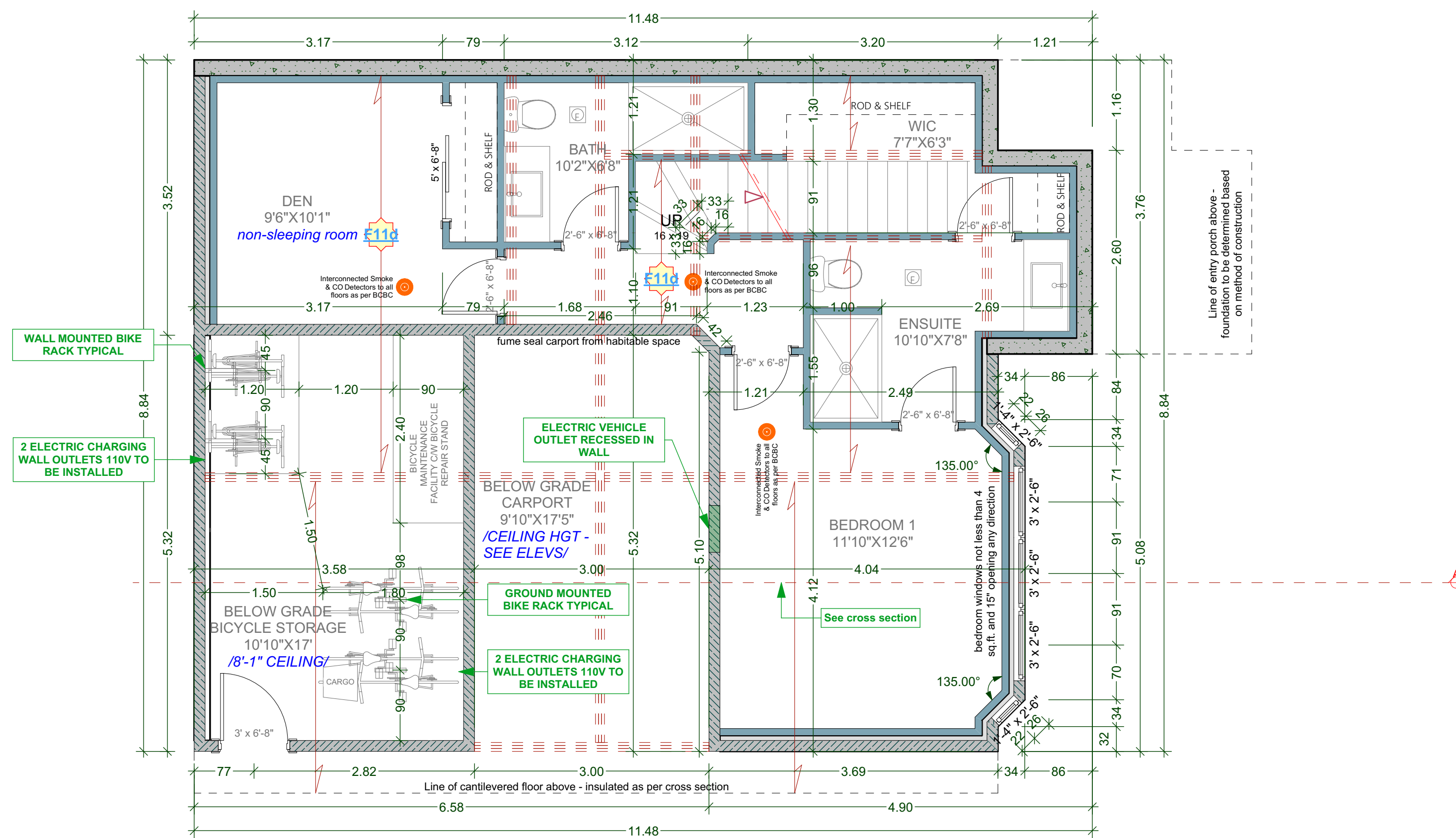
B BASEMENT FLOOR PLAN

UNIT 007 AREA: 639.81 Sq Ft
BICYCLE AREA: 184.28 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS,
ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED
AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
• two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
• 89 mm thick absorptive material on each side
• 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
• one subfloor layer of 11mm sanded plywood, or OSB or waferboard
• one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
• on wood joists or wood joists spaced not more than 600 mm o.c.
• with absorptive material in cavity
• resilient metal channels spaced 400 mm o.c.
• 15.9 mm Type X gypsum board



A BASEMENT FLOOR PLAN

UNIT 004 AREA: 568.55 Sq Ft
BICYCLE AREA: 184.28 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS,
ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED
AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
• two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
• 89 mm thick absorptive material on each side
• 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
• one subfloor layer of 11mm sanded plywood, or OSB or waferboard
• one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
• on wood joists or wood joists spaced not more than 600 mm o.c.
• with absorptive material in cavity
• resilient metal channels spaced 400 mm o.c.
• 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

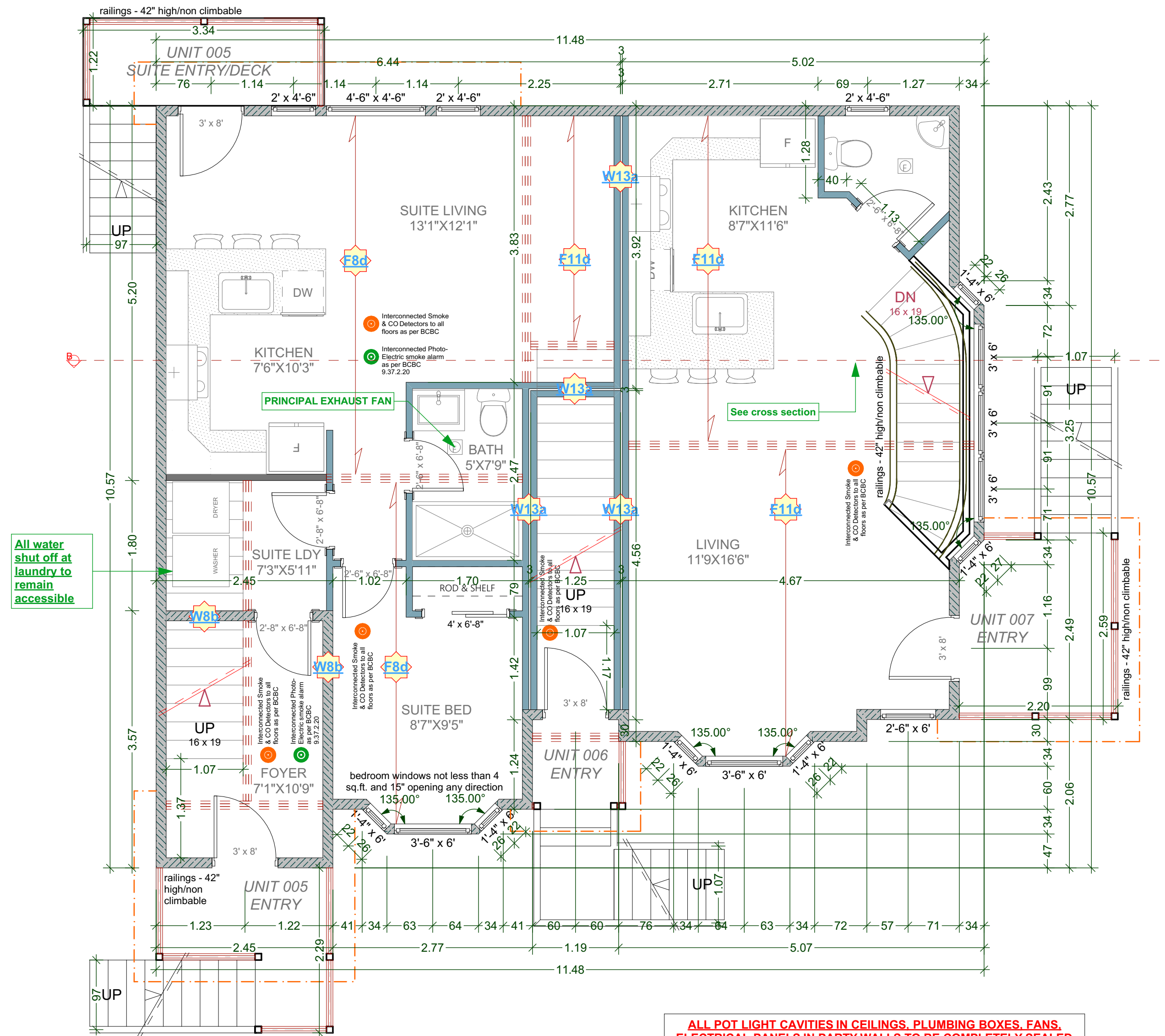
DRAWING NAME:
**PROPOSED
BASEMENT FLOOR PLANS**
DRAWING SCALE:
1/4"=1'-0"

ISSUE DATE:
SEPT 02, 2025
DRAWN BY:
NS
CHECKED BY:
KL

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NUMBER

A4



B LOWER FLOOR PLAN



UNIT 005 SUITE AREA: 503.83 Sq Ft
 UNIT 005 AREA: 84.02 Sq Ft
 UNIT 006 AREA: 59.32 Sq Ft
 UNIT 007 AREA: 430.37 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

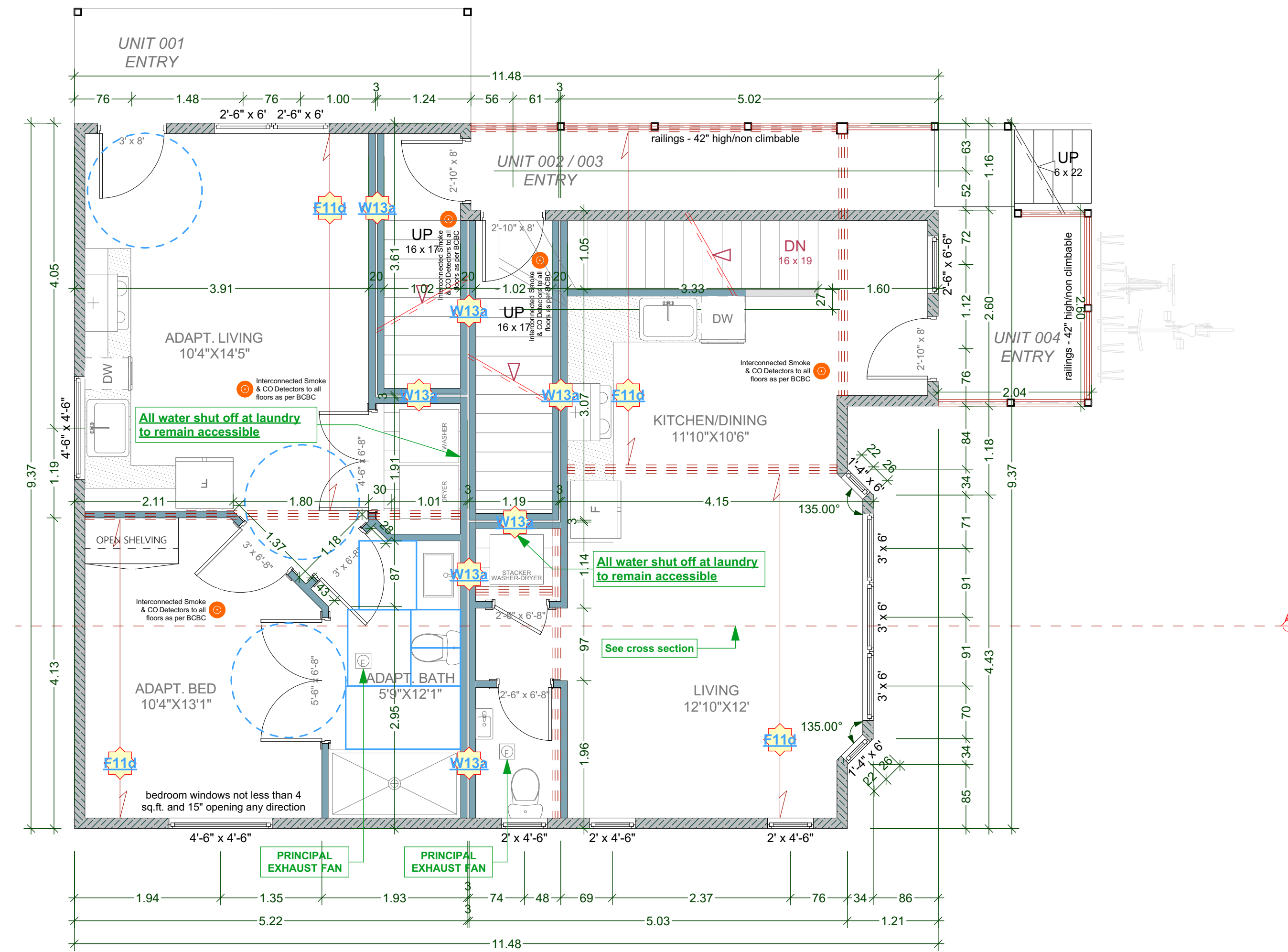
DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

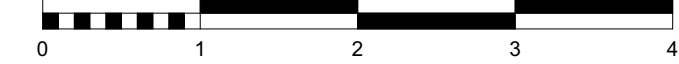
ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS.....IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING FLOOR: (30min as per F8d - Table A-9.10.3.1.B)
 • SUBFLOOR OF 15.5mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER
 • WOOD JOISTS OR WOOD I-JOISTS SPACED max of 600mm O.C.
 • ABSORPTIVE MATERIAL IN CAVITY
 • RESILIENT METAL CHANNELS SPACED 600mm
 • 15.9mm TYPE 'X' GYPSUM BOARD

DEMISING WALL: (45min as per W8b - Table A-9.10.3.1.A)
 • 2 layers of 12.7mm Type X gypsum board to one side
 • Two rows 38mm x 89mm studs spaced 600mm O.C. staggered on common 38mm x 140mm plate
 • 89mm thick absorptive material on one side
 • 12.7mm Type X gypsum board on other side



A LOWER FLOOR PLAN



UNIT 001 AREA: 451.24 Sq Ft
 UNIT 002 AREA: 43.52 Sq Ft
 UNIT 003 AREA: 51.14 Sq Ft
 UNIT 004 AREA: 408.22 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

CUSTOMER:
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 ADDRESS:
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VICTORIA

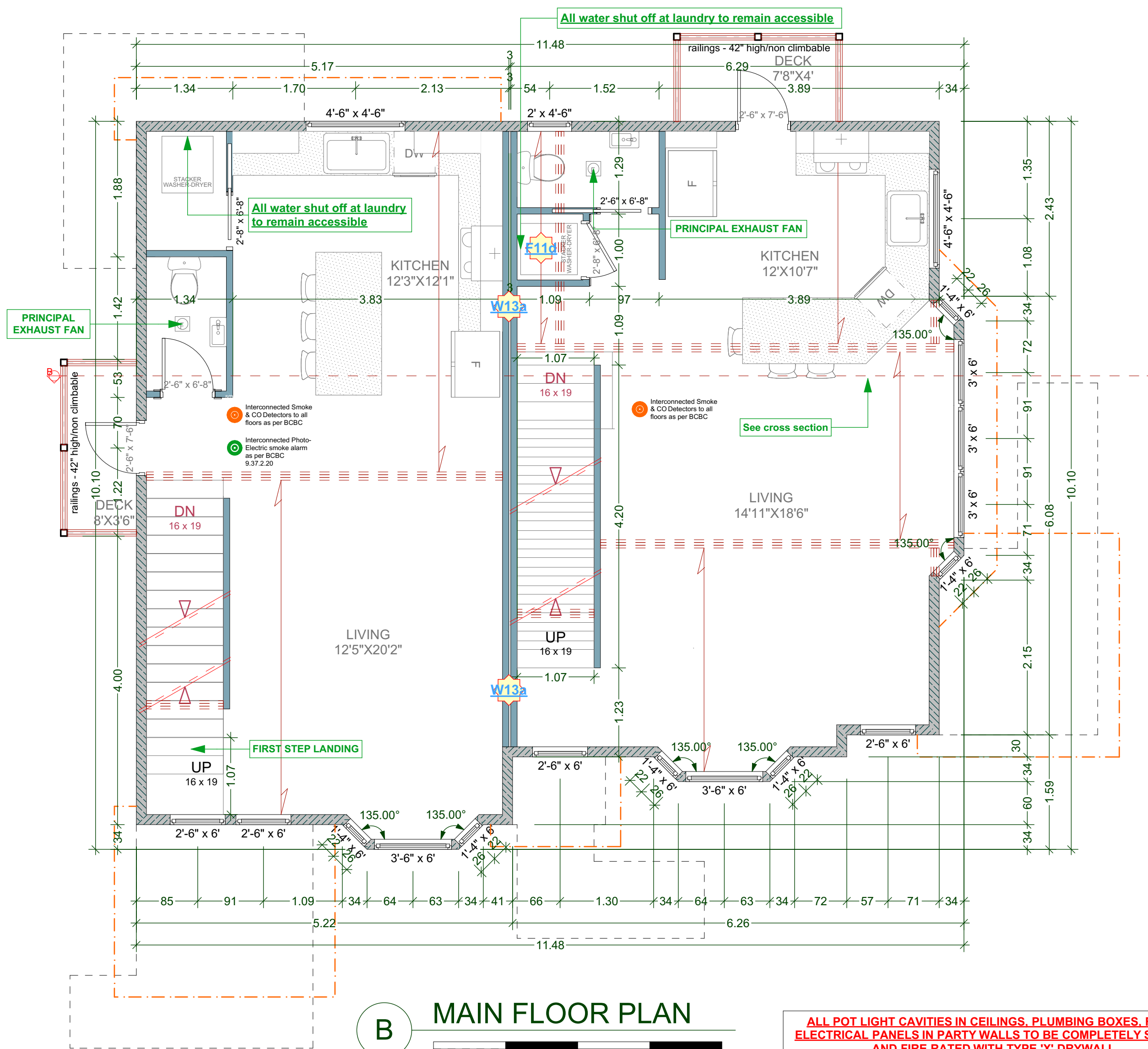
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PROPOSED LOWER FLOOR PLANS
 DRAWING SCALE:
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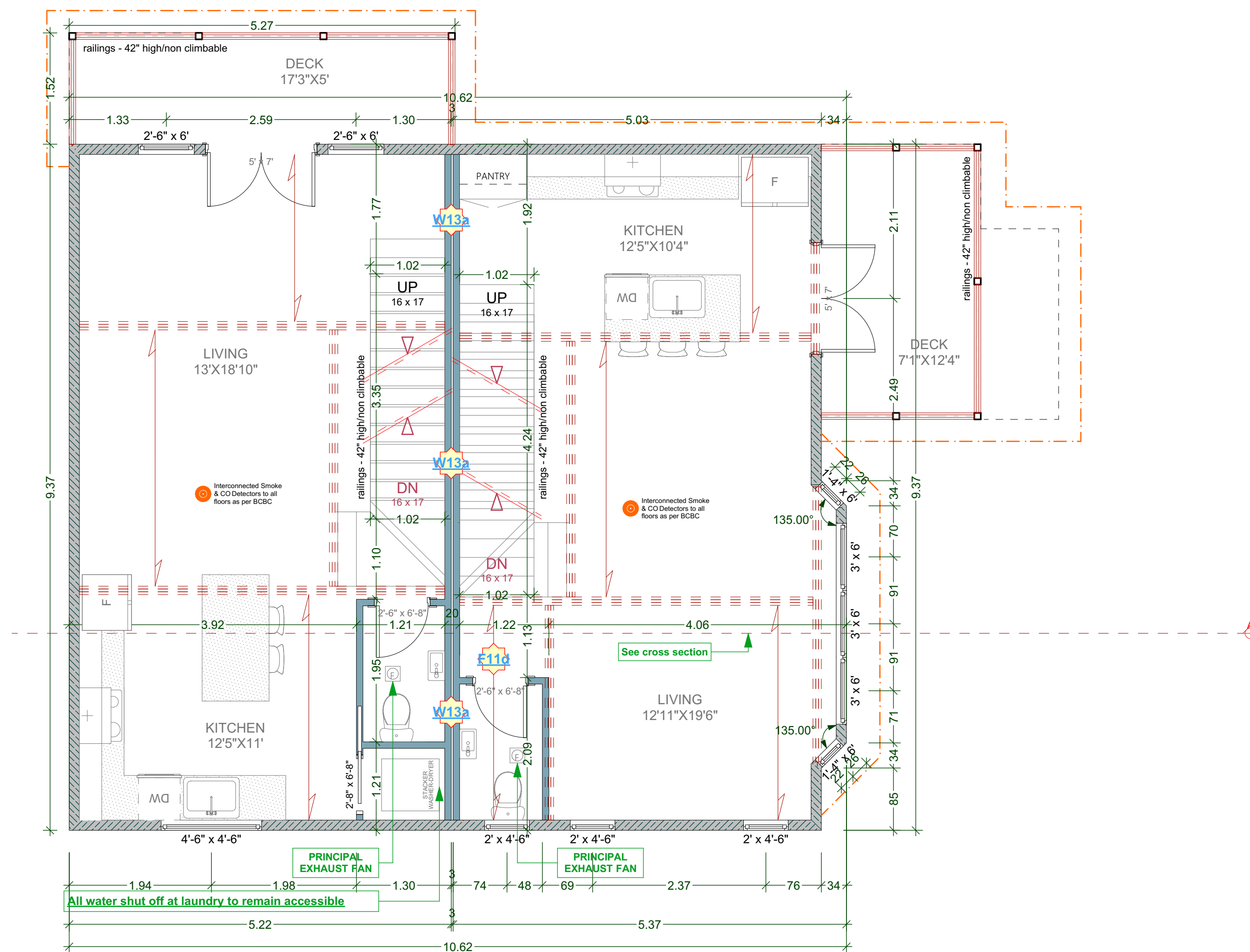


B MAIN FLOOR PLAN

UNIT 005 AREA: 517.42 Sq Ft
UNIT 006 AREA: 547.39 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

- DEMISING WALL:** (1h as per W13a - Table A-9.10.3.1.A)
- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR:** (1h as per F11d - Table A-9.10.3.1.B)
- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.2 mm Type X gypsum board



A MAIN FLOOR PLAN

UNIT 002 AREA: 497.16 Sq Ft
UNIT 003 AREA: 491.44 Sq Ft

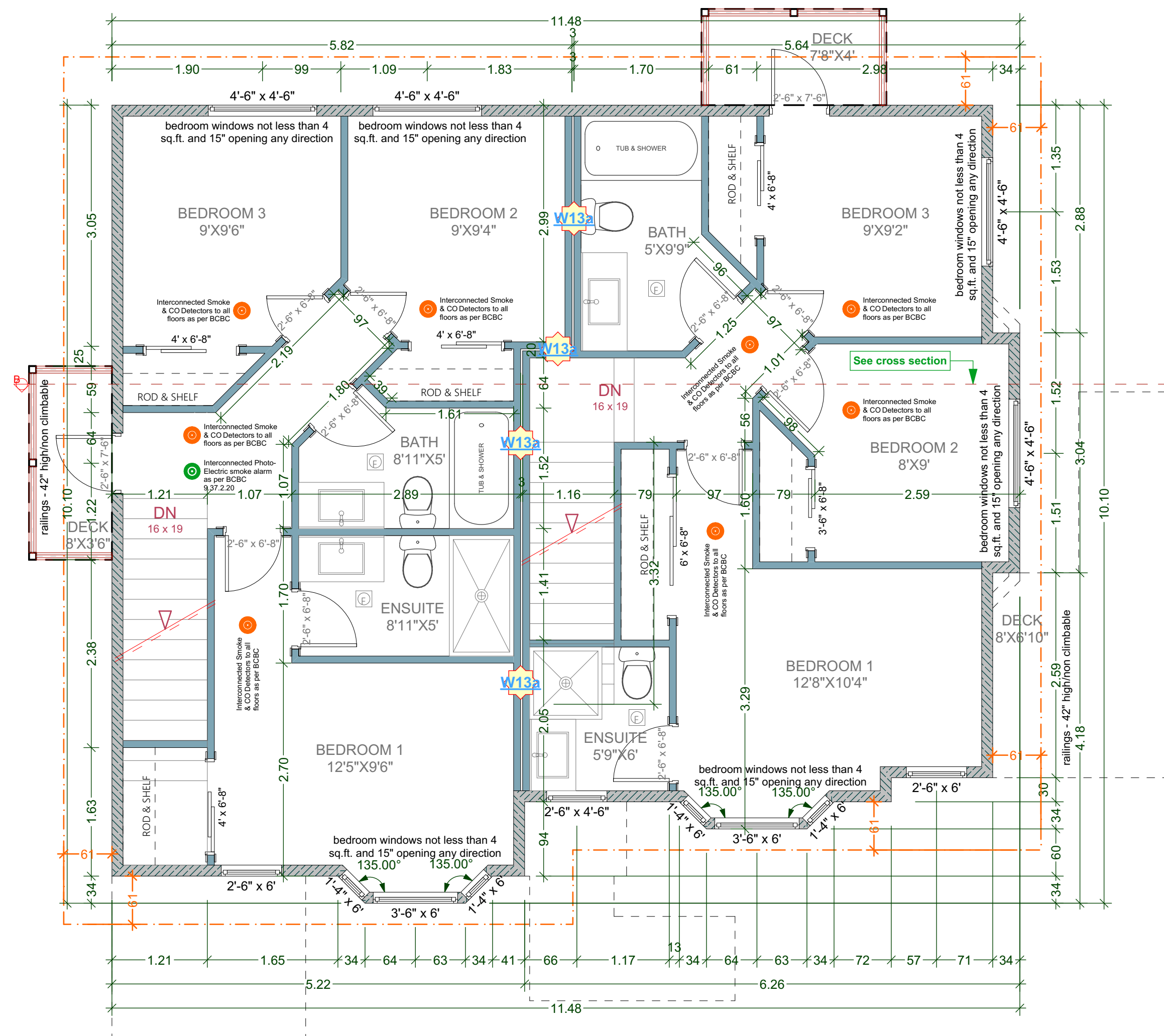
ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

- DEMISING WALL:** (1h as per W13a - Table A-9.10.3.1.A)
- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR:** (1h as per F11d - Table A-9.10.3.1.B)
- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**PROPOSED
MAIN FLOOR PLANS**
DRAWING SCALE:
1/4"=1'-0"

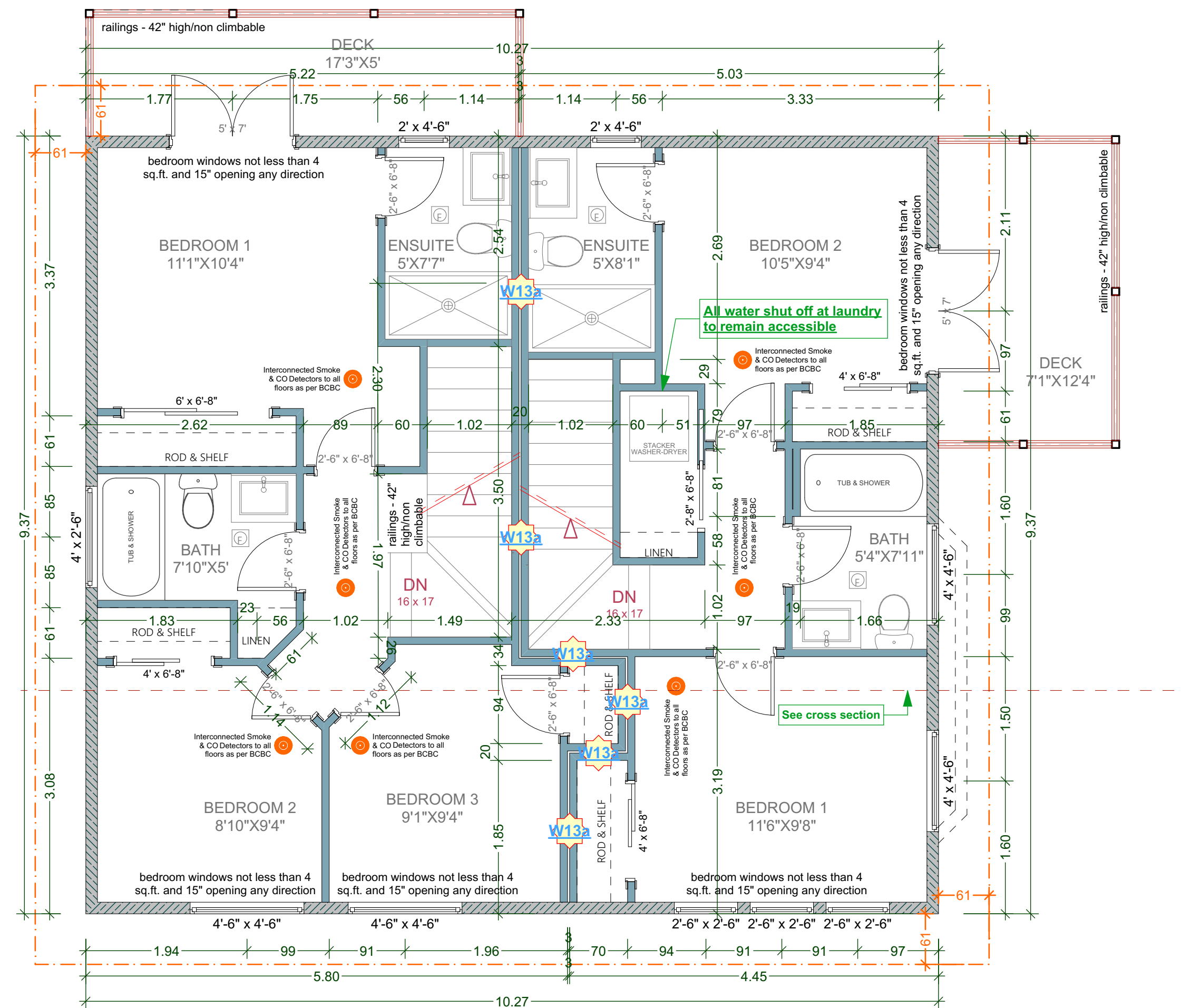
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B UPPER FLOOR PLAN

UNIT 005 AREA: 537.99 Sq Ft
UNIT 006 AREA: 523.99 Sq Ft

- ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**
- DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)**
- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)**
- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board



A UPPER FLOOR PLAN

UNIT 002 AREA: 524.06 Sq Ft
UNIT 003 AREA: 451.28 Sq Ft

- ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**
- DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)**
- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)**
- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

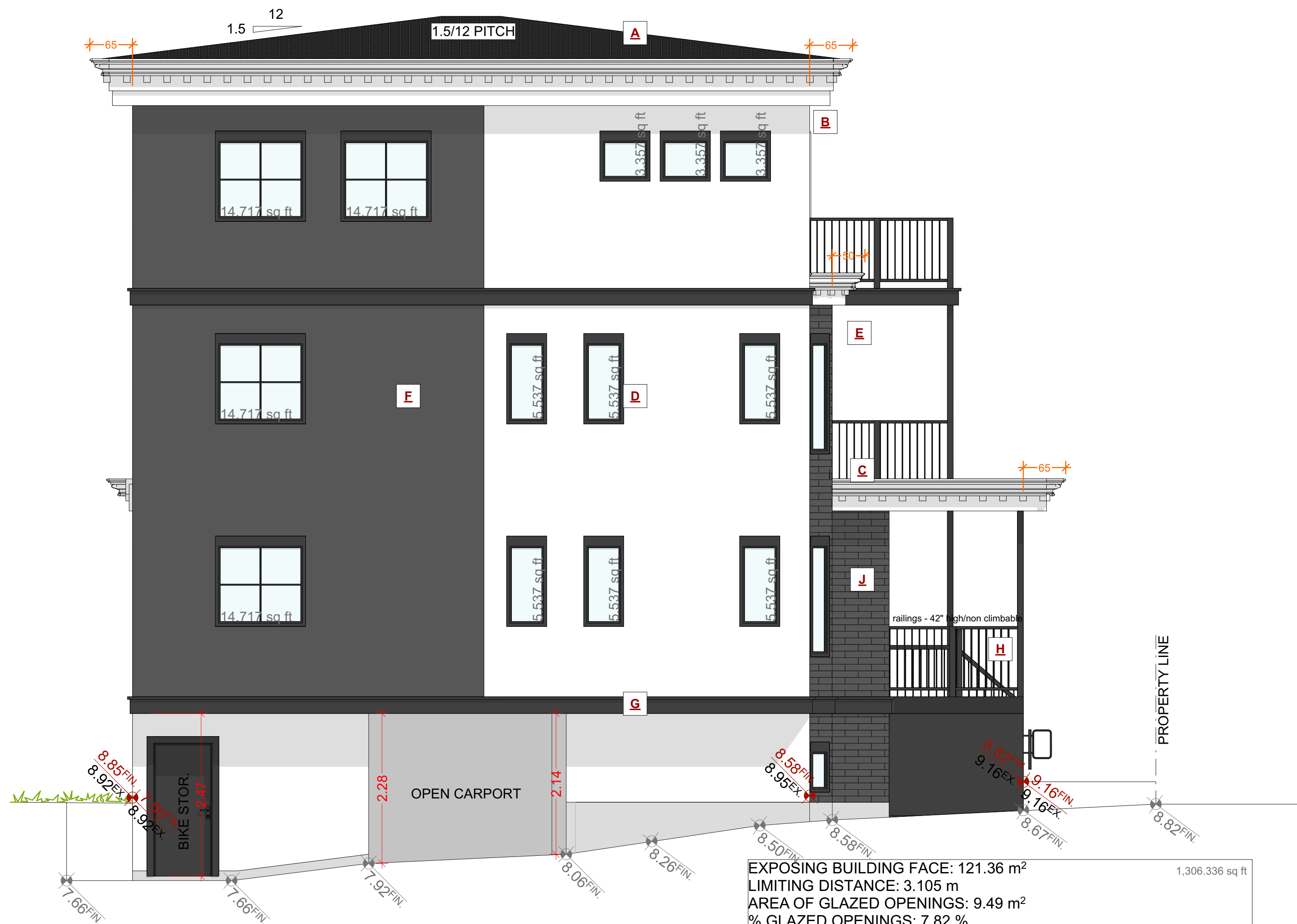
DRAWING NAME:
**PROPOSED
UPPER FLOOR PLANS**
DRAWING SCALE:
1/4"=1'-0"

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B PROPOSED SOUTH ELEVATION

HOLLYWOOD CRES.



A PROPOSED SOUTH ELEVATION

EXPOSING BUILDING FACE: 121.36 m²
LIMITING DISTANCE: 3.105 m
AREA OF GLAZED OPENINGS: 9.49 m²
% GLAZED OPENINGS: 7.82 %
45 min FIRE-RESISTANCE RATING: not required
TYPE OF CLADDING: no limits
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00 %
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 9.71 m²

EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND: 2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS: ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS: PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA: ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1. 1734 HOLLYWOOD CRESCENT, VICTORIA

DRAWING NAME: PROPOSED SOUTH ELEVATIONS
DRAWING SCALE: 1/4"=1'-0"

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1726 HOLLYWOOD CRES
SCALE: 1/4" = 1' - 0"



HOLLYWOOD CRES.

EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANIF SPECS	F WALL FINISH:
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND:
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS:
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA:

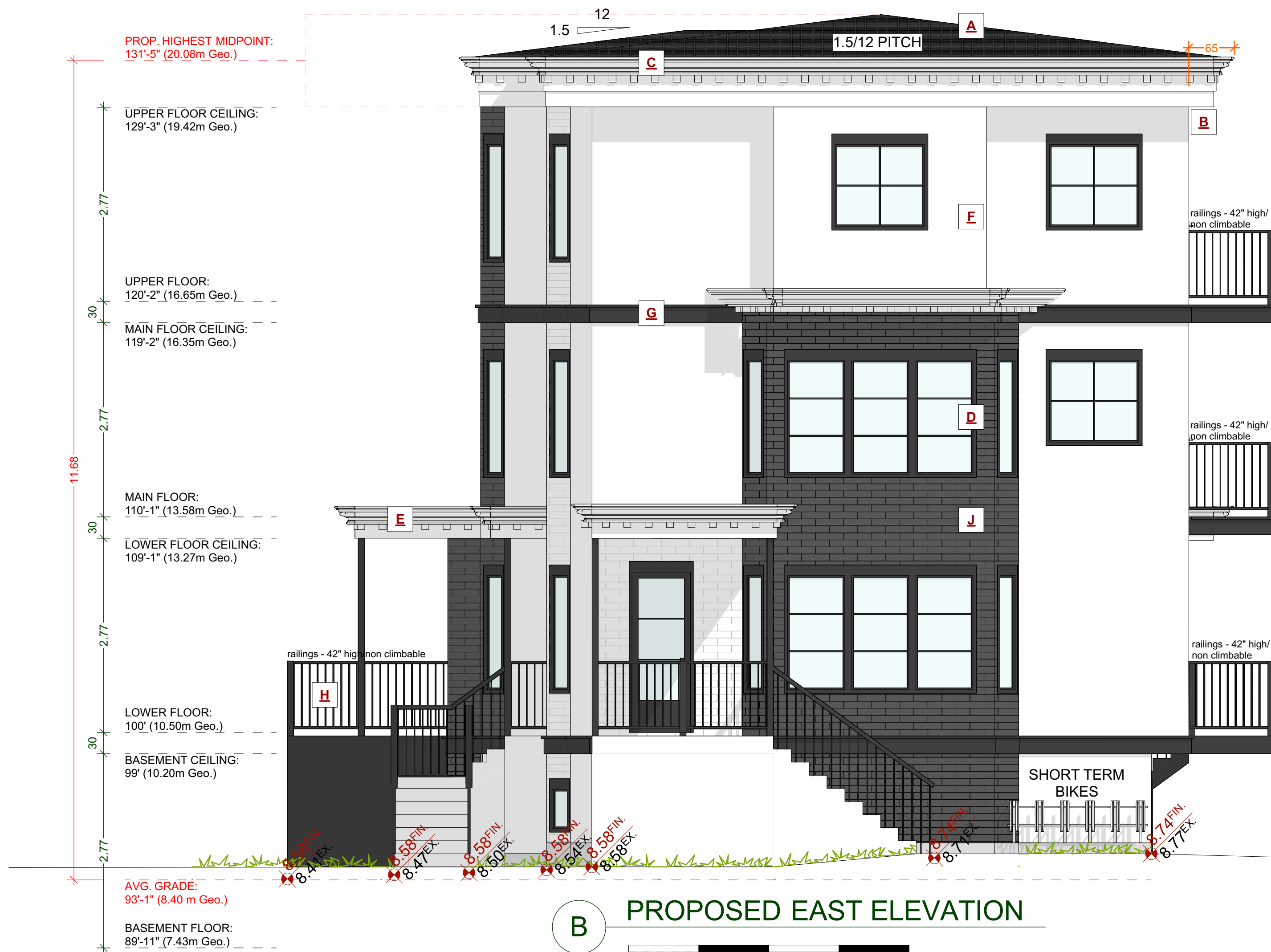
ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1. 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**PROPOSED HOLLYWOOD
CRES STREETSCAPE**
DRAWING SCALE:
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EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS	G BELLY BAND: 2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS: ALUMINIUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS: PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA: ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**PROPOSED REAR AND
RIGHT ELEVATIONS**
DRAWING SCALE:
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ALLOWABLE 10.50m HEIGHT FOR HOUSEPLEX

17.24m PEAK

****ALL WINDOWS MUST COMPLY WITH CBCB AND NAFS REQUIREMENTS****
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER: **AMIT AND KARISHMA SETHI**
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VICTORIA

DRAWING NAME: **PROPOSED ROBERTSON STREET STREETSCAPE**

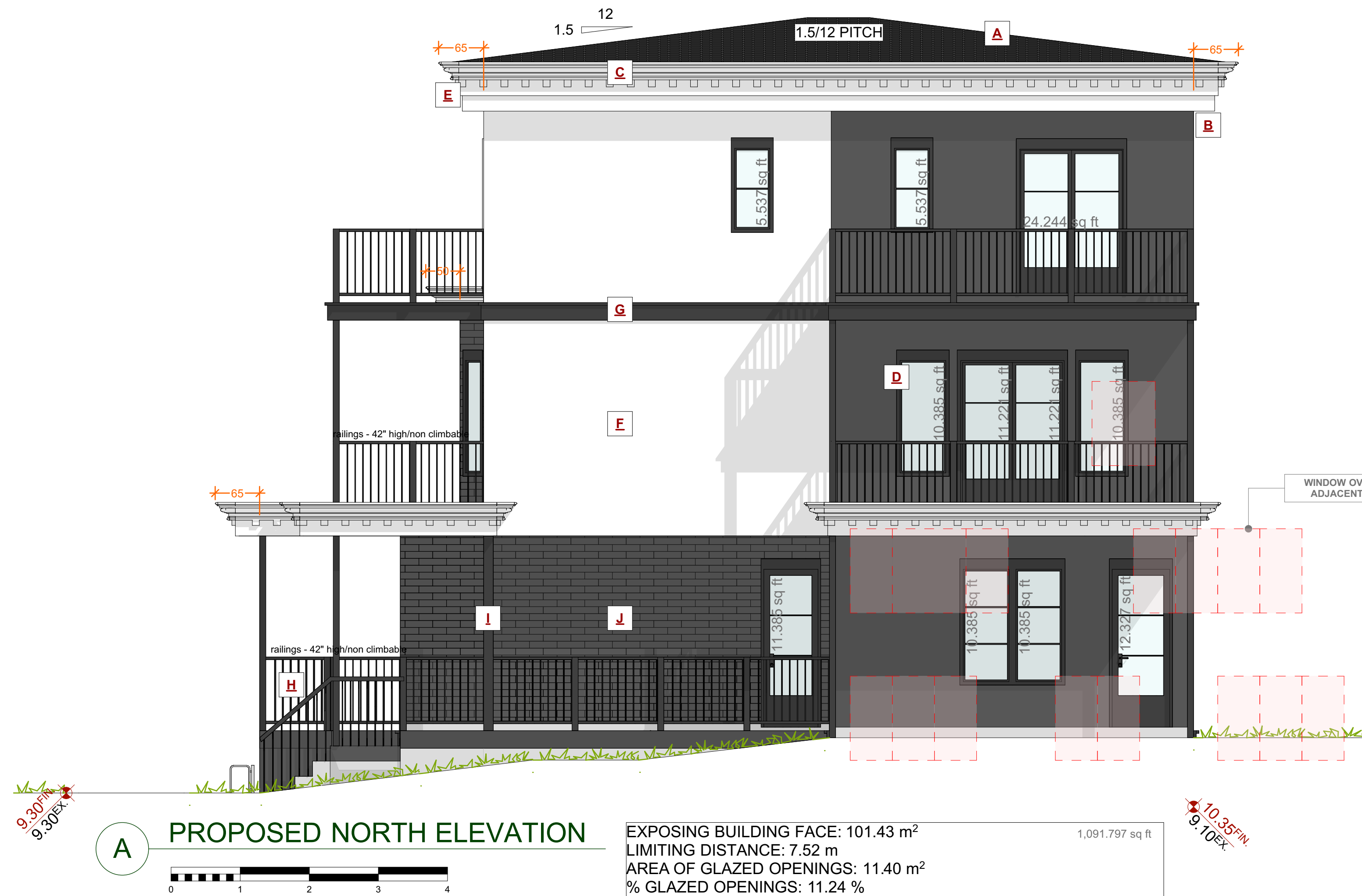
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EXPOSING BUILDING FACE: 101.43 m²
LIMITING DISTANCE: 7.52 m
AREA OF GLAZED OPENINGS: 11.40 m²
% GLAZED OPENINGS: 11.24 %
45 min FIRE-RESISTANCE RATING: not required
TYPE OF CLADDING: no limits
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 55.75 %
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 56.55 m²



EXPOSING BUILDING FACE: 132.21 m²
LIMITING DISTANCE: 3.105 m
AREA OF GLAZED OPENINGS: 10.53 m²
% GLAZED OPENINGS: 7.97 %
45 min FIRE-RESISTANCE RATING: not required
TYPE OF CLADDING: no limits
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00 %
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 10.58 m²

EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND: 2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS: ALUMINIUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS: PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA: ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6. ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1. 1734 HOLLYWOOD CRESCENT, VICTORIA

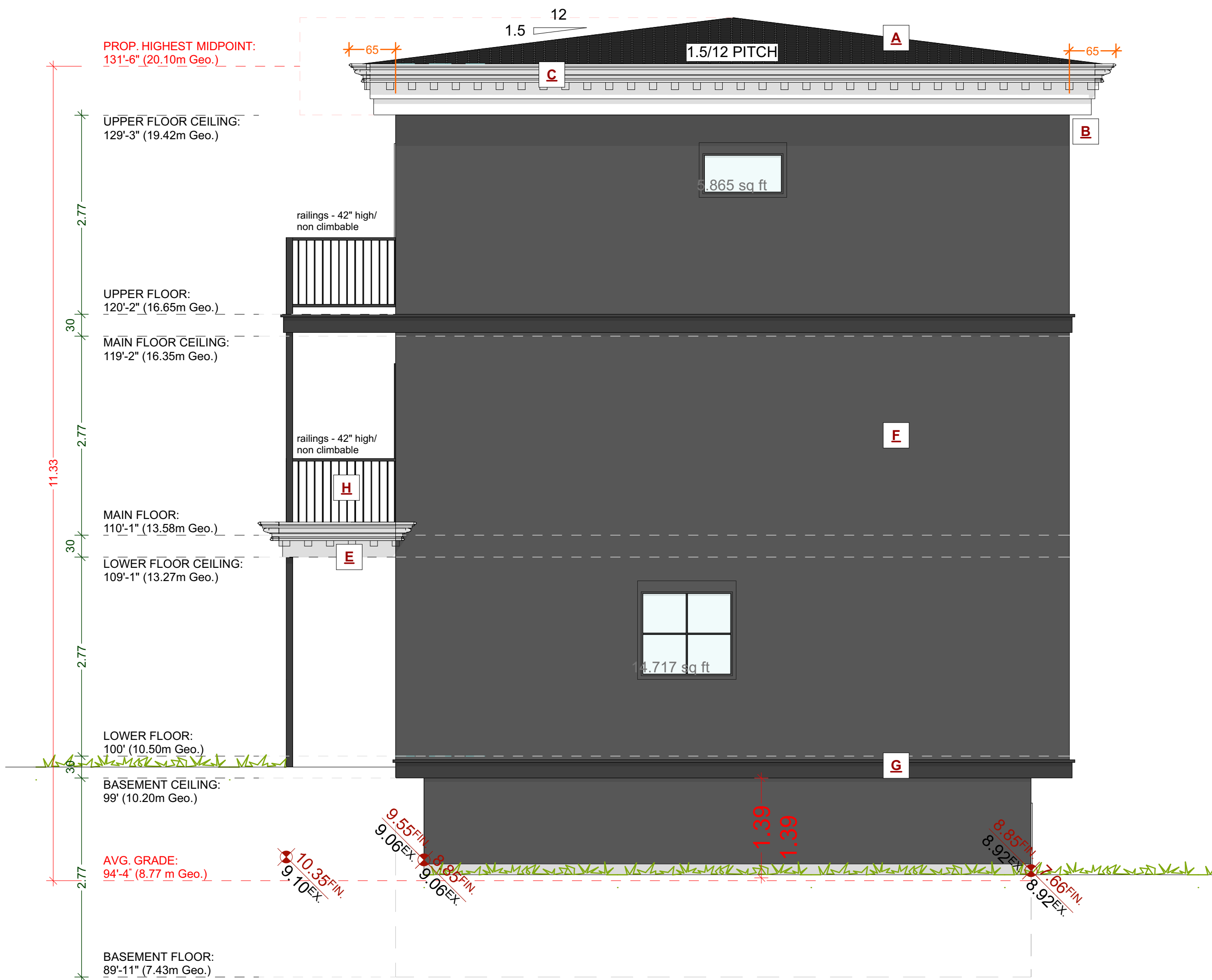
DRAWING NAME: PROPOSED WEST ELEVATIONS
- BLOCK A AND B
DRAWING SCALE: 1/4"=1'-0"

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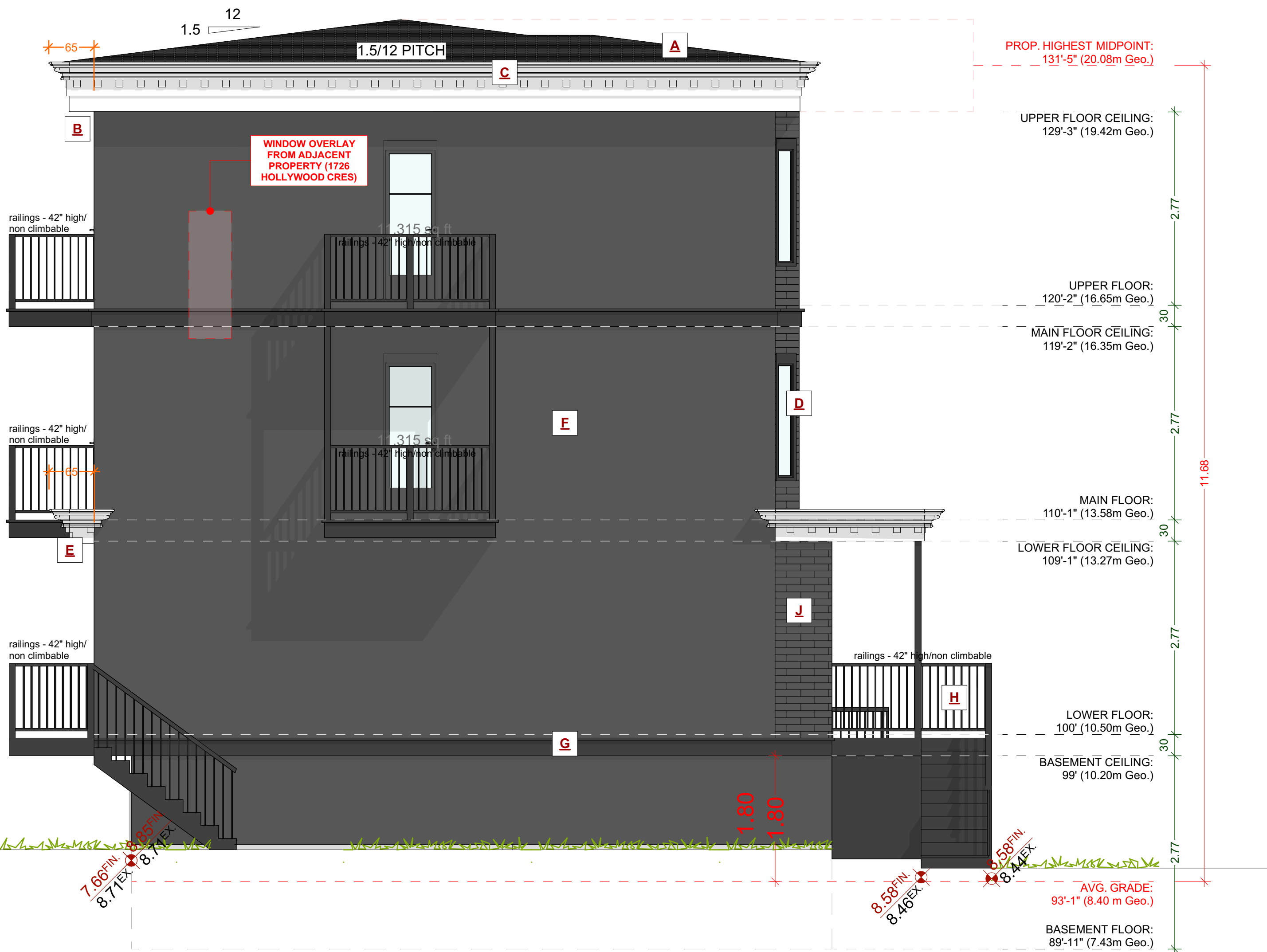
SHEET
NUMBER

A12



A PROPOSED WEST ELEVATION

EXPOSING BUILDING FACE: 97.83 m² 1,052.999 sq ft
LIMITING DISTANCE: 2.01 m
AREA OF GLAZED OPENINGS: 1.91 m²
% GLAZED OPENINGS: 1.95 %
45 min FIRE-RESISTANCE RATING: not required
TYPE OF CLADDING: no limits
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 9.00 %
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 8.81 m²



B PROPOSED WEST ELEVATION

EXPOSING BUILDING FACE: 108.29 m² 1,165.612 sq ft
LIMITING DISTANCE: 3.29 m
AREA OF GLAZED OPENINGS: 2.10 m²
% GLAZED OPENINGS: 1.94 %
45 min FIRE-RESISTANCE RATING: not required
TYPE OF CLADDING: no limits
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 10.00 %
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 10.83 m²

EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	F WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND: 2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS: ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
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E	DENTAL BLOCKS:	3x4 DECORATIVE DENTAL BLOCKS WIN ROOF MOULDING AND TRIM - PAINTED / STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA: ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

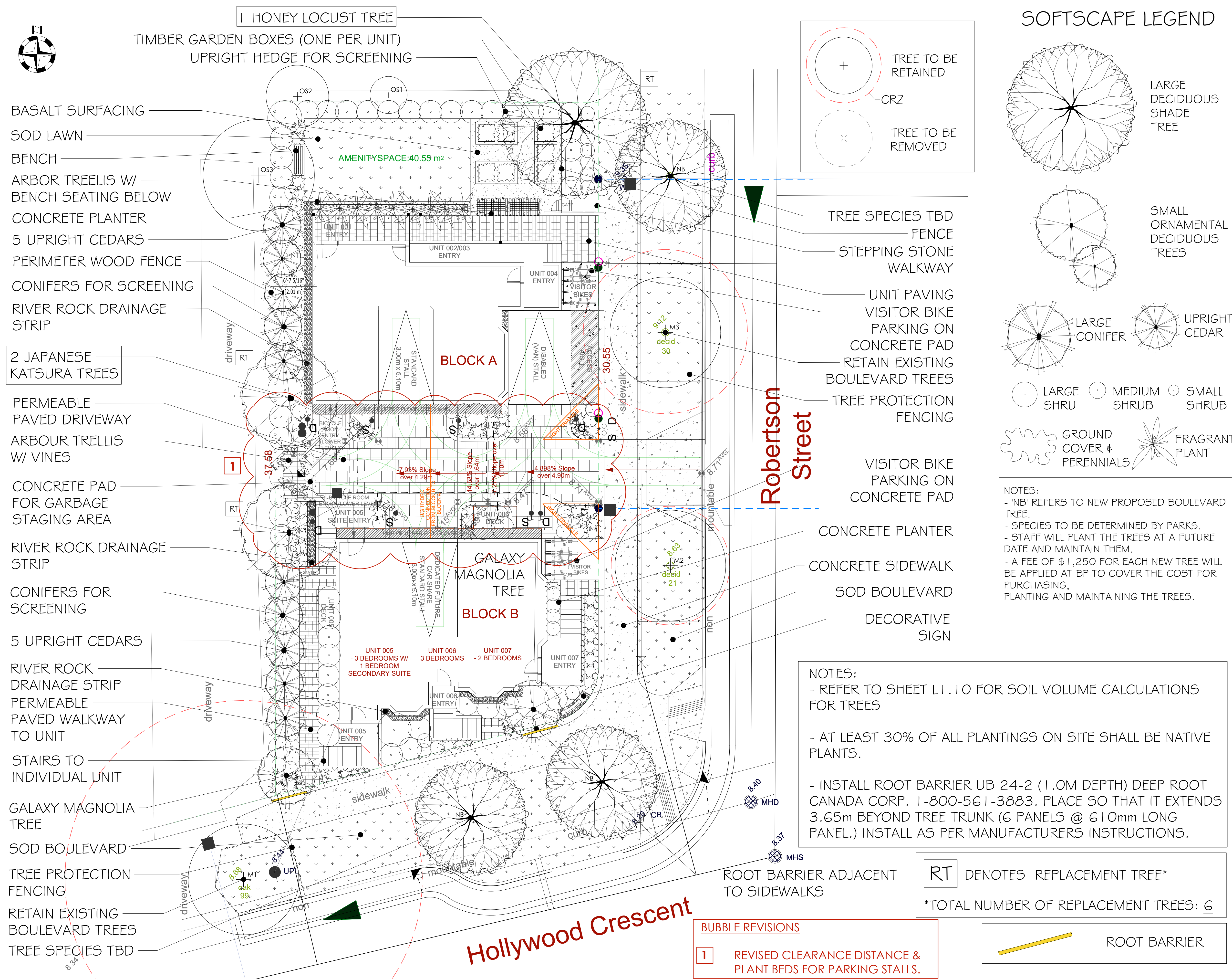
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-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6. ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

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LARGE
DECIDUOUS
SHADE
TREE

SMALL
ORNAMENTAL
DECIDUOUS
TREES

LARGE
CONIFER

UPRIGHT
CEDAR

LARGE SHRUB

MEDIUM SHRUB

SMALL SHRUB

GROUND COVER & PERENNIALS

FRAGRANT PLANT

	KEY	COMMON NAME	BOTANICAL NAME	SIZE
TREES	KAT	Katsuma Tree	<i>Cercidiphyllum japonicum</i>	7 cm Cal.
	GLED	Honey Locust	<i>Gleditsia inacanthos</i> var. 'Shademaster'	7 cm Cal.
	MAGN	Galaxy Magnolia	<i>Magnolia x Galaxy</i>	6 cm Cal
LARGE SHRUBS	PIER	Lily of the Valley	<i>Pieris japonica</i> var. 'Forest Flame'	#5 Pot
	CEAN	California Lilac	<i>Ceanothus</i> var. 'Victoria'	1.5 m Ht.
	THUJ	Upright Cedar	<i>Thuja occidentalis</i> var. 'Smaragd'	1.5 m Ht.
	LRHA	Rhododendron	Rhododendron var. 'Pink Wallopel'	#5 Pot
	LRHB	Rhododendron	Rhododendron var. 'Gomer Waterer'	#5 Pot
	NINE	Pacific Ninebark	<i>Physocarpus capitatus</i> var. 'Diablo'	#5 Pot
	MAH	Oregon Grape	<i>Mahonia aquifolium</i>	
MEDIUM SHRUBS	ALAT	Dwarf Burning Bush	<i>Euonymus alata</i> var. 'Compacta'	#5 Pot
	MAHC	Dwarf Oregon Grape	<i>Mahonia aquifolium</i> var. 'Compacta'	#2 Pot
	VACC	Evergreen Huckleberry	<i>Vaccinium ovatum</i> var. 'Thunderbird'	#2 Pot
	MRPA	Rhododendron	Rhododendron var. 'Unique'	#5 Pot
	MRHB	Rhododendron	Rhododendron var. 'Christmas Cheer'	#5 Pot
	DOG	Variegated Dogwood	<i>Cornus alba</i> var. 'Ivory Halo'	#2 Pot
	ABE	Glossy Abelia	<i>Abelia x grandiflora</i> var. 'Edward Goucher'	#2 Pot
	DVID	David Viburnum	<i>Viburnum davidi</i>	#1 Pot
	SALA	Salal	<i>Gaultheria shallon</i>	
SMALL SHRUBS	DWPF	Dwarf Lily of the Valley	<i>Pieris japonica</i> var. 'Debutante'	#1 Pot
	EUOF	Creeping Euonymus	<i>Euonymus fortunei</i> var. 'Emerald & Gold'	#1 Pot
	AZAP	Evergreen Azalea	<i>Azalea japonica</i> var. 'Gumpo Pink'	#2 Pot
	AZAW	Evergreen Azalea	<i>Azalea japonica</i> var. 'Gumpo White'	#2 Pot
	DWRH	Dwarf Rhododendron	Rhododendron var. 'Bow Bells' & 'Jock'	#2 Pot
	POLY	Sword Fern	<i>Polystichum munitum</i>	#1 Pot
	ILEX	Japanese False Holly	<i>Ilex crenata convexa</i>	#1 Pot
	WHEA	December Red Heather	<i>Erica carnea</i> var. 'December Red'	#1 Pot
	SNOW	Snowberry	<i>Symphoricarpos albus</i>	#1 Pot
	SFGF	Goldflame Spiraea	<i>Spiraea bumalda</i> var. 'Gold Flame'	#1 Pot
GROUND COVERS	DWMO	Dwarf Mock Orange	<i>Philadelphus lewisii</i> var. 'Snowdwarf'	#1 Pot
	MARN	Cascade Oregon Grape	<i>Mahonia nervosa</i>	#1 Pot
PERENNIALS & GRASSES	BEAR	Bearberry	<i>Arctostaphylos uva-ursi</i> var. 'Vancouver Jade'	5P4
	COTO	Trailing Cotoneaster	Cotoneaster	5P5
	GAUL	Wintergreen	<i>Gaultheria procumbens</i>	
PERENNIALS & GRASSES	CARX	Variegated Sedge	<i>Carex morrowi</i> var. 'Ice Dance'	#1 Pot
	HEUC	Coral Bells	<i>Heuchera mcrantha</i> var. 'Bressingham Bronze'	5P5
	LAV	English Lavender	<i>Lavandula angustifolia</i> var. 'Hidcote'	5P5
	TEST	Flame Sedge	<i>Carex testacea</i>	5P5
	KARL	Feather Reed Grass	<i>Calamagrostis acutifolia</i> var. 'Karl Foerster'	5P5
	JUNC	Common Rush	<i>Juncus effusus</i>	5P5
	HEMI	Dwarf Daylily	<i>Heemerocallis middendorfi</i> var. 'Stella D'oro'	5P5
VINES	CLEM	Montana Clematis	<i>Clematis montana</i> var. 'Elizabeth'	#5 Pot
	ARM	Evergreen Clematis	<i>Clematis armandi</i>	#5 Pot

1. CONTAINER GROWN: REMOVE COMPLETELY FROM CONTAINER

2. BURLAP & ROPE: REMOVE TOP 1/3 OF COVERING

3. WIRE & BURLAP: REMOVE TOP 1/3 OF WIRE, ROPE & BURLAP COVERING WITHOUT DAMAGING ROOT BALL. REMOVE ALL TWINE.

40 MM NYLON WEBBING

1.0 M DIAMETER BARK - MULCH RING SAUCER OVER ROOTBALL 150 MM DEPTH

GROWING MEDIA SHALL MEET B.C. LANDSCAPE STANDARD TABLES 6-3 (SECTION 32 91 21 - MMCD 2009) ALL SOIL PROPERTIES MUST MEET THIS STANDARD. DEPTH GROWING MEDIA TO BE PLACED AND TRAMPED IN 100 MM LIFTS

ASPHALT ROADWAY. REFER TO CIVIL DRAWINGS

ROOT BARRIER 450 MM x 4.0 M LENGTH

COMPACTED SUBGRADE TO 98% S.P.D.

SCARIFY BOTTOM OF PIT

DO NOT PRUNE LEADER. PRUNE ONLY DEAD OR DAMAGED BRANCHES

2-2 1/2" (64MM) ROUND PRESSURE TREATED STAKES @ 8' 0" (2440MM) LENGTH. STAKE AT EDGES OF THE ROOTBALL IN LINE WITH ROADWAY. ON EXPOSED SITES STAKE IN LINE WITH PREVAILING WIND. VERTICAL STAKES TO BE DRIVEN 600 MM INTO GROUND.

TREES MUST BE PLANTED WITH NO MORE THAT A 50 MM DEPTH FROM FINISHED GRADE TO THE TOP OF THE ROOT BALL

GRASS BOULEVARD

ROOT BARRIER 450 MM x 4.0 M LENGTH

BROOM FINISHED CONCRETE SIDEWALK

700 MM COMPACTED STRUCTURAL SOIL TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER

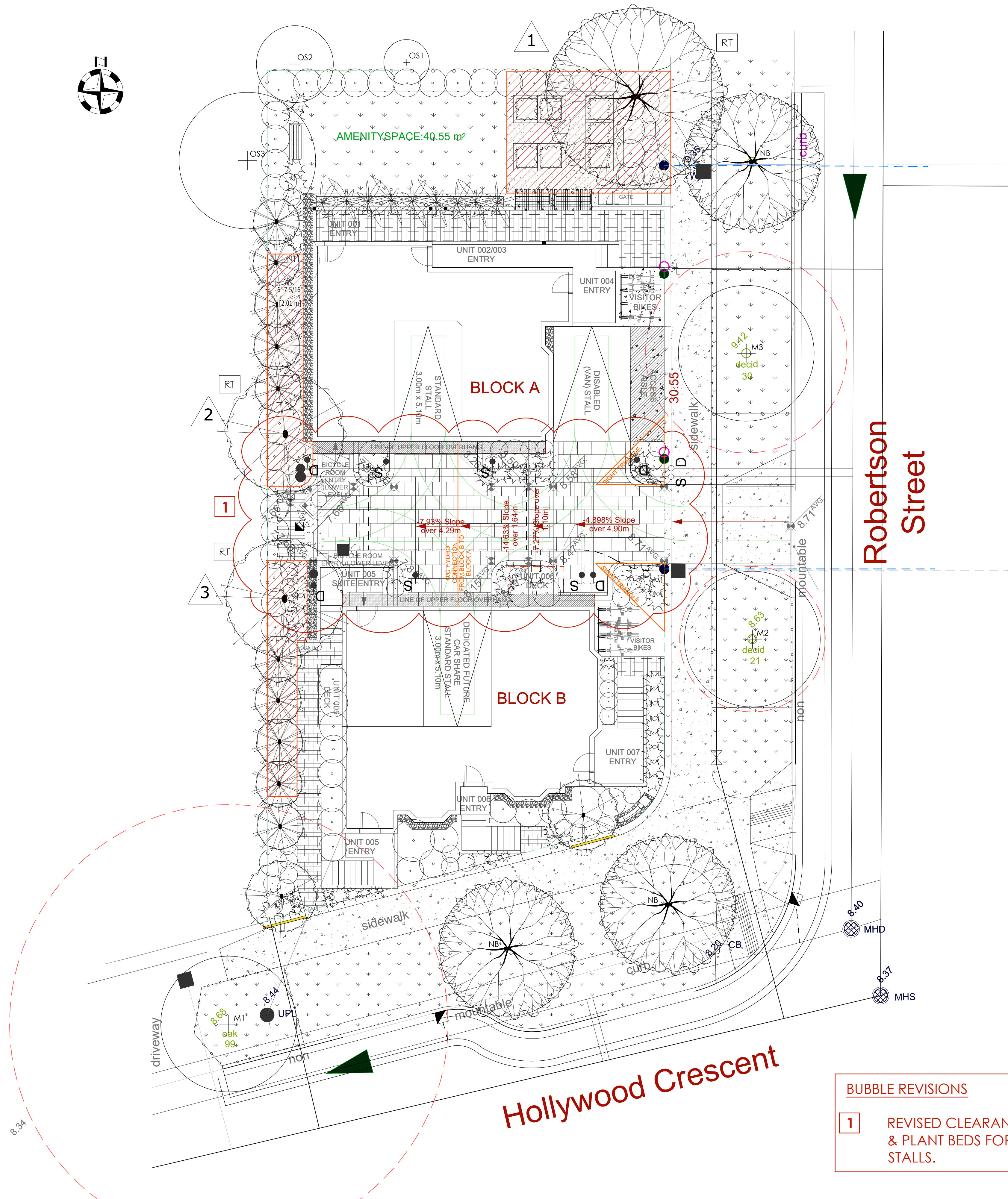
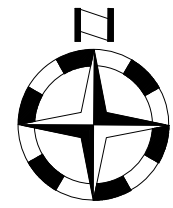
NOTES:

ALL TREES SHALL MEET OR EXCEED THE CITY OF VICTORIA TREE SPECIFICATIONS.

ROOT BARRIER REQUIRED ON BLVD 2.0 M OR LESS WIDE OR AS SPECIFIED BY THE DIRECTOR OR PARKS.

ROOT BARRIER REQUIRED PENDING TREE SPECIES & OR BOULEVARD WIDTH.

LI SCALE $3/4^1 = 1^1 - 0^0$



ROW #	TREE SIZE	MIN. SPACING
1	SMALL TREE (SCHEDULE "E", PART 2)	2.0M
2	MEDIUM TREES (SCHEDULE "E", PART 1)	4.0M
3	LARGE TREES (SCHEDULE "E", PART 1)	6.0M

NOTE:
SOIL CELLS TO BE STRATAVAULT 45 STRUCTURAL MODULES (450 kPa/65.3 psi loads)

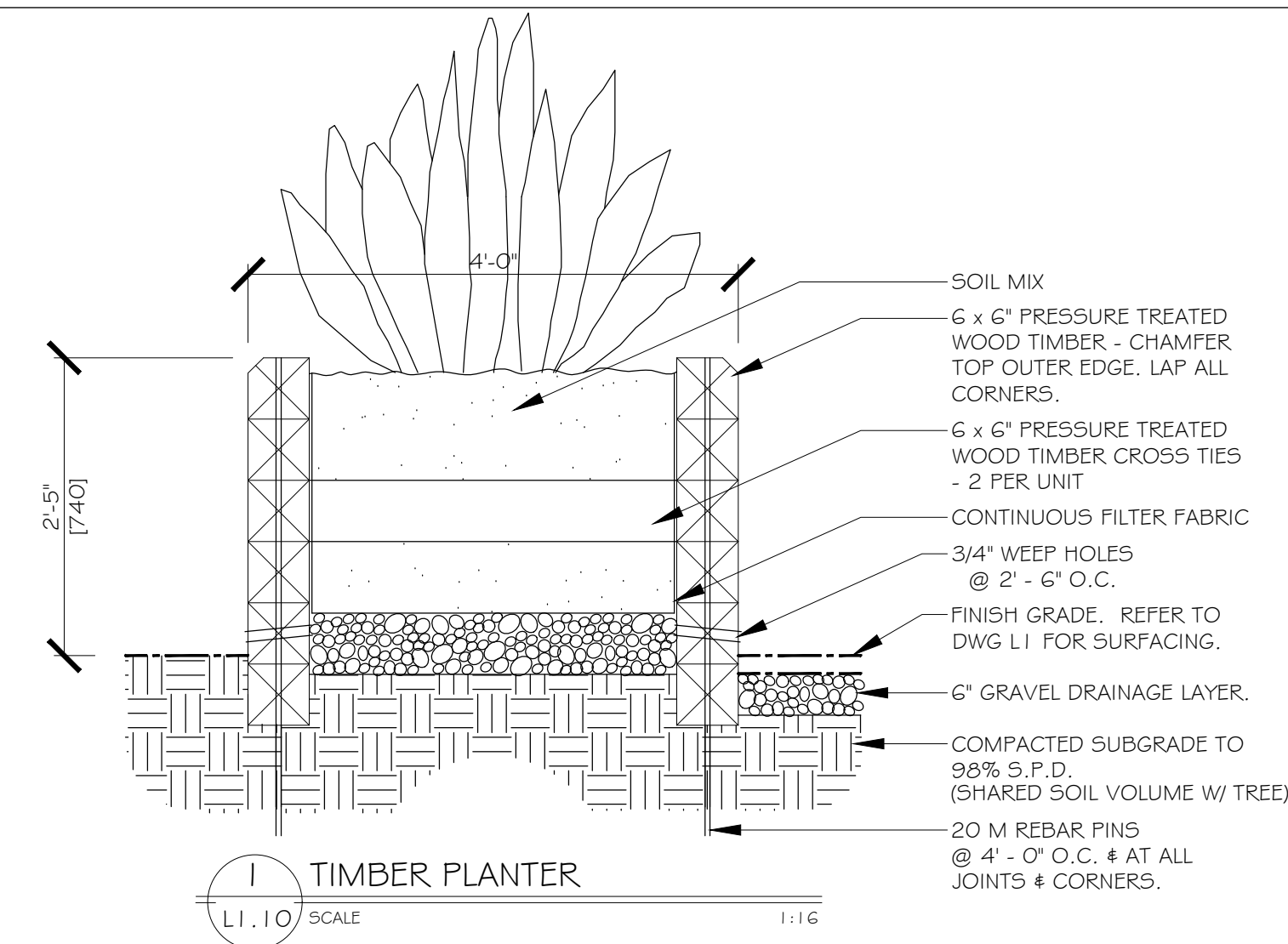
CONTACT: CITY GREEN URBAN LANDSCAPE SOLUTIONS
PHONE: 1-888-999-3990

SOIL VOLUME REQUIREMENTS*			
ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

				Replacement Trees Proposed			Soil Volume Required (m³)			
Planting Area ID	Area (m²)	Soil Volume Multiplier*	A Estimated Soil Vol. (m³)	B # Small	C # Medium	D # Large	B # Small	C # Medium	D # Large	Total**
				ONSITE						
1	39	1.0M	37			1			1	30
2	15	1.0M	15		1			1		15
3	15	1.0M	15		1			1		15

Notes:
(1) All soil volume calculations are for replacement trees only
(2) All replacement trees are ONSITE
(3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table
(4) All replacement trees meet soil volume requirements for this project.

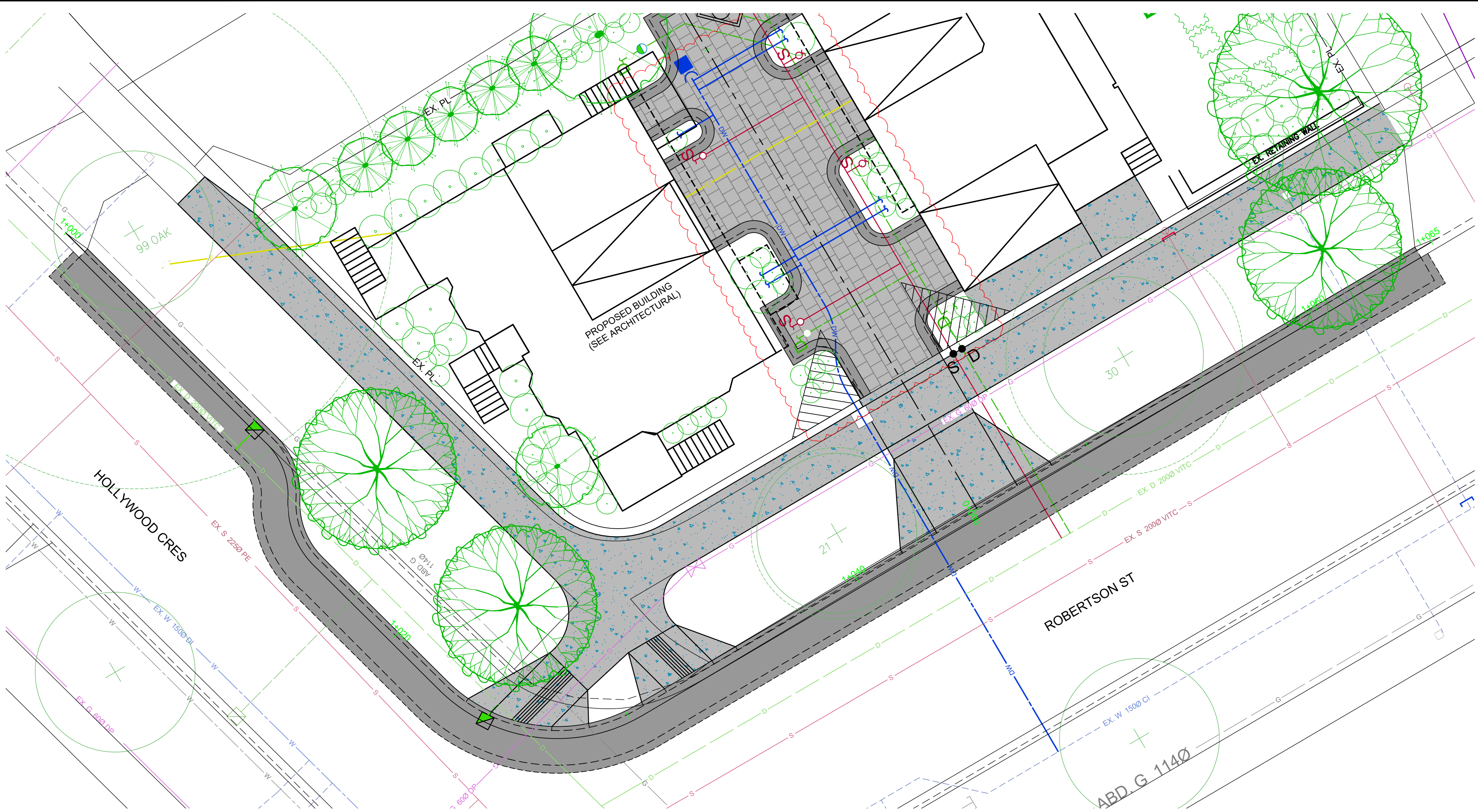
USABLE PLANTING SOIL VOLUME FOR EACH REPLACEMENT TREE



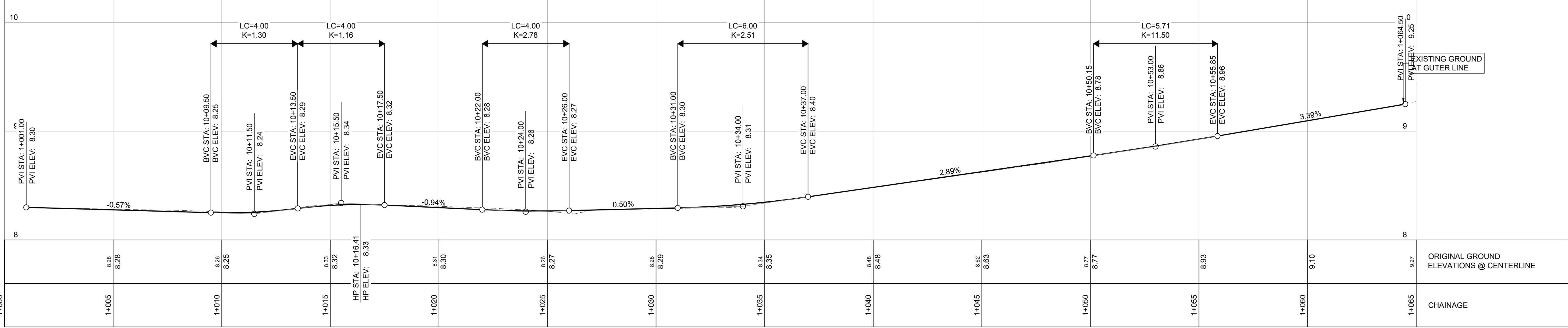
REV. DATE	NUMBER	DESCRIPTION
07-29-24	1	LANDSCAPE DP SET
08-28-24	2	LANDSCAPE DP SET - REVISED
10-24-24	3	LANDSCAPE DP SET - REVISED
11-01-24	4	LANDSCAPE DP SET - RESUBMISSION
05-29-25	5	RESPONSE TO PARKS
08-12-25	6	REVISED DP

DATE	AUGUST 12, 2025
SCALE	1:100
DRAWN BY	BF/RF





GUTTER LINE PLAN
H1:100



GUTTER LINE PROFILE
H1:100, V1:20

#	#	#
4	2025-08-22	UPDATED PARKING AND PLANT BEDS
3	2025-07-03	LANDSCAPE UPDATED
2	2025-05-09	CONCEPTUAL SITE SERVICING PLAN
1	2024-11-25	CONCEPTUAL SITE SERVICING PLAN
0	2024-09-13	CONCEPTUAL SITE SERVICING PLAN
Rev	Date	Description

#	#	#
GS	IM	IM
GS	GS	IM
GS	GS	IM
GS	GS	IM
Drawn	Design	App'd

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BENCHMARK
ALL ELEVATION REFER TO CONTROL MONUMENT : -
LOCATED AT : -
ELEVATION : -

0 1:20 1
0 1:100 5

ORIGINAL DWG SIZE: ANSI D (22" x 34")

McElhanney

500 - 3960 Quadra Street,
Victoria BC V8X 4A3
Tel. 250 370 9221

PERMIT TO PRACTICE

McElhanney Ltd.
PERMIT NUMBER: 1003299

Engineers and Geoscientists of
British Columbia

Approved Sealed

AMIT SETHI
526 GURUNANK LANE, VICTORIA, BC V9C 0M2

1734 HOLLYWOOD CRESCENT
GUTTER LINE PLAN & PROFILE

Drawing No.
C01

Project Number
2024-21-035-00

Rev.
4

DATE: 2025-08-22 08:30 FILE: X:\22411\Civil\Projects\21-035-00_1734 Hollywood Crescent\110.0 DRAWINGS\10.4 Sheets\21-035-CL-CSP - Profiles.dwg McElhanney ANS D - 2024-02-05

Rev	Date	Description	Drawn	Design	App'd
0	2024-09-13	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM
1	2024-11-25	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM
2	2025-05-09	CONCEPTUAL SITE SERVICING PLAN	GS	GS	IM
3	2025-07-03	LANDSCAPE UPDATED	GS	GS	IM
4	2025-08-22	UPDATED PARKING AND PLANT BEDS	GS	IM	IM

#	#	#	#	#	#
#	#	#	#	#	#
#	#	#	#	#	#

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BENCHMARK
ALL ELEVATION REFER TO CONTROL MONUMENT: -
LOCATED AT: -
ELEVATION: -

0

1:20

1

0

1:100

5

ORIGINAL DWG SIZE: ANSI D (22" x 34")

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1734 HOLLYWOOD CRESCENT
SITE DRIVEWAY PLAN & PROFILE

Drawing No.	
C02	
Project Number	Rev.
2024-21-035-00	4

