

PROJECT INFORMATION

CIVIC ADDRESS

1230 GRANT STREET  
1209, 1218, 1219, 1220, and 1226 NORTH PARK STREET  
1219 VINING STREET  
1235 CALEDONIA AVENUE  
1211 GLADESTONE AVENUE

LEGAL DESCRIPTION

LOT 4 VIP205 SECTION SR VICTORIA  
LOT 5 VIP205 SECTION SR VICTORIA  
LOT 6 VIP205 SECTION SR VICTORIA  
LOT 7 VIP205 SECTION SR VICTORIA  
N 56° OF LOT 8 VIP205 SECTION SR VICTORIA  
REM LOT 8 VIP205 SECTION SR VICTORIA  
LOT 9 VIP205 SECTION SR VICTORIA  
LOT 18 VIP205 SECTION SR VICTORIA  
LOT A SECTION 53, SPRING RIDGE, VIP55528

SITE AREA

8681.1 SM

PROJECT DESCRIPTION

THE PROJECT INVOLVES THE DEVELOPMENT OF 158 AFFORDABLE HOUSING RESIDENTIAL UNITS AND SUPPORT FACILITIES IN 2 APARTMENT AND 3 TOWNHOUSE BUILDINGS OVER ONE BASEMENT LEVEL OF PARKADE.

BUILDING HEIGHTS	BCBC	ZONING
APARTMENT 1	4 STOREYS	4 STOREYS, 12.0 M
APARTMENT 2	5 STOREYS	5 STOREYS, 14.78 M
TOWNHOUSE 1	3 STOREYS	4 STOREYS, 11.25 M
TOWNHOUSE 2	3 STOREYS	3 STOREYS, 10.65 M
TOWNHOUSE 3	3 STOREYS	3 STOREYS, 9.8 M

BUILDING AREAS

BCBC
APARTMENT 1
APARTMENT 2
TOWNHOUSE 1
TOWNHOUSE 2
TOWNHOUSE 3

GROSS BUILDING AREAS	BCBC	ZONING
PARKADE	3905 SM	275 SM*
* AREA OF PARKADE EXCLUDING EXTERIOR WALLS, VEHICLE AND BICYCLE PARKING AND CIRCULATION.		

APARTMENT 1		
LEVEL 1	800 SM	776 SM
LEVEL 2	872 SM	850 SM
LEVEL 3	872 SM	850 SM
LEVEL 4	723 SM	704 SM
TOTAL	3267 SM	3180 SM

APARTMENT 2		
LEVEL 1	789 SM	765 SM
LEVEL 2	656 SM	637 SM
LEVEL 3	831 SM	809 SM
LEVEL 4	831 SM	809 SM
LEVEL 5	690 SM	672 SM
TOTAL	3797 SM	3692 SM

TOWNHOUSE 1		
LEVEL 0	601 SM	566 SM
LEVEL 1	603 SM	581 SM
LEVEL 2	608 SM	592 SM
LEVEL 3	645 SM	633 SM
TOTAL	2457 SM	2372 SM

TOWNHOUSE 2		
LEVEL 0	645 SM	0 SM
LEVEL 1	607 SM	590 SM
LEVEL 2	607 SM	590 SM
LEVEL 3	645 SM	632 SM
TOTAL	2504 SM	1812 SM

TOWNHOUSE 3		
LEVEL 1	231 SM	222 SM
LEVEL 2	243 SM	235 SM
LEVEL 3	253 SM	246 SM
TOTAL	727 SM	703 SM

RESIDENTIAL UNIT SUMMARY

APARTMENTS 1 & 2

14 STUDIO @	34 SM
38 ONE BED @	47 - 49 SM
7 ACCESSIBLE ONE BED @	53 SM
14 TWO BED @	61 - 76 SM
5 ACCESSIBLE TWO BED @	71 SM
12 THREE BED @	78 - 88 SM
1 ACCESSIBLE THREE BED @	98 SM
6 FOUR BED @	98 - 118 SM
97 TOTAL	

TOWNHOUSES 1-3

55 TWO BED @	81 - 90 SM
2 ACCESSIBLE TWO BED @	104 SM
2 THREE BED @	118 SM
4 FOUR BED @	130 SM
61 TOTAL	

VEHICLE PARKING

PARKADE	112
SURFACE	0
TOTAL	112

BICYCLE PARKING

LONG TERM	194
SHORT TERM	30
TOTAL	224

VICTORIA ZONING BYLAW SUMMARY

ZONING

R-K  
R-2

USE

RESIDENTIAL

FLOOR SPACE RATIO

GROSS BUILDING FLOOR AREA (ZONING) / SITE AREA  
11759/8681.1 = 1.35

SITE COVERAGE

AREA OF LOT OCCUPIED BY ANY STRUCTURE/ SITE AREA  
3544/8681.1 = 41%

OPEN SITE SPACE

SITE AREA - (BUILDING AREA + SURFACE PARKING AREA)  
8681.1 - 3460 = 5221.1  
OPEN SITE SPACE/ SITE AREA  
5221.1/ 8681.1 = 49%

AVERAGE GRADE (GEODETIC)

(SEE SITE PLAN FOR GRADE CALCULATION).  
APARTMENT 1 33.5 M  
APARTMENT 2 33.4 M  
TOWNHOUSE 1 33.0 M  
TOWNHOUSE 2 32.6 M  
TOWNHOUSE 3 32.8 M

HEIGHT OF BUILDINGS

(AS MEASURED FROM AVERAGE GRADE).

APARTMENT 1	12.000 M
APARTMENT 2	14.780 M
TOWNHOUSE 1	11.250 M
TOWNHOUSE 2	10.650 M
TOWNHOUSE 3	9.800 M

VEHICLE PARKING

< 45 SM	2 X 14 = 2.8
45 - 70 SM	.5 X 58 = 29
> 70 SM	.75 X 86 = 64.5
SUBTOTAL	96.3 (96)
VISITOR	.1 X 158 = 15.8 (16)
TOTAL REQUIRED	112
PROVIDED	117

BICYCLE PARKING

LONG TERM	
< 45 SM	14 X 11 = 14
> 45 SM	1.25 X 144 = 180
TOTAL LONG TERM REQUIRED	194
TOTAL PROVIDED	194

SHORT TERM

RESIDENTIAL (THE GREATER OF)	.1 X 158 OR 6 X 5
TOTAL SHORT TERM REQUIRED	30
TOTAL PROVIDED	30

CODE ANALYSIS

REFERENCE DOCUMENT BCBC 2018,

PARKADE

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)  
BELOW GRADE PARKADE -  
GROUP F, DIVISION 3 - LOW HAZARD INDUSTRIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BELOW GRADE PARKADE CONSIDERED AS A SEPARATE BUILDING AND SEPARATED FROM THE FLOORS OF ALL BUILDINGS ABOVE BY A 2 HOUR FIRE SEPARATION IN ACCORDANCE WITH 3.2.1.2.

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.78 - GROUP F, DIVISION 3 - ANY HEIGHT, ANY AREA, SPRINKLERED  
FIRE SUPPRESSION - FULL SPRINKLERED  
ALLOWABLE HEIGHT - ANY HEIGHT  
ALLOWABLE AREA - ANY AREA  
CONSTRUCTION - NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 2 HOUR  
SUPPORTING WALLS AND STRUCTURE - 2 HOUR

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULL SPRINKLERED  
HEIGHT - 1 STOREY  
AREA - 3905 SM  
CONSTRUCTION - NON COMBUSTIBLE  
FLOOR ASSEMBLY - 2 HOUR  
SUPPORTING WALLS AND STRUCTURE - 2 HOUR

APARTMENT 1

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)  
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.51 - GROUP C, UP TO 4 STOREYS, SPRINKLERED  
FIRE SUPPRESSION - FULLY SPRINKLERED  
ALLOWABLE HEIGHT - 4 STOREYS  
ALLOWABLE AREA - 1800 SM (BASED ON FOUR STOREYS)  
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 1 HOUR  
SUPPORTING WALLS AND STRUCTURE - 1 HOUR  
ROOF ASSEMBLY - NONE

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED  
HEIGHT - 4 STOREYS  
AREA - 872 SM  
CONSTRUCTION - COMBUSTIBLE  
FLOOR ASSEMBLY - 1 HOUR  
SUPPORTING WALLS AND STRUCTURE - 1 HOUR  
ROOF ASSEMBLY - NONE

APARTMENT 2

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)  
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.50 - GROUP C, UP TO 6 STOREYS, SPRINKLERED  
FIRE SUPPRESSION - FULLY SPRINKLERED  
ALLOWABLE HEIGHT - 6 STOREYS & 18 M  
ALLOWABLE AREA - 1800 SM (BASED ON FIVE STOREYS)  
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 1 HOUR  
SUPPORTING WALLS AND STRUCTURE - 1 HOUR  
ROOF ASSEMBLY - 1 HOUR

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED  
HEIGHT - 5 STOREYS, 14.96 M  
AREA - 875 SM  
CONSTRUCTION - COMBUSTIBLE  
FLOOR ASSEMBLY - 1 HOUR  
SUPPORTING WALLS AND STRUCTURE - 1 HOUR  
ROOF ASSEMBLY - 1 HOUR

CODE ANALYSIS CONTINUED

TOWNHOUSE 1

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)  
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.54 - GROUP C, UP TO 3 STOREYS, SPRINKLERED  
FIRE SUPPRESSION - FULLY SPRINKLERED  
ALLOWABLE HEIGHT - 3 STOREYS  
ALLOWABLE AREA - 1800 SM (BASED ON THREE STOREYS)  
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF - NONE

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED  
HEIGHT - 3 STOREYS WITH BASEMENT  
AREA - 653 SM  
CONSTRUCTION - COMBUSTIBLE  
FLOOR ASSEMBLY - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF ASSEMBLY - NONE

TOWNHOUSE 2

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)  
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.54 - GROUP C, UP TO 3 STOREYS, SPRINKLERED  
FIRE SUPPRESSION - FULLY SPRINKLERED  
ALLOWABLE HEIGHT - 3 STOREYS  
ALLOWABLE AREA - 1800 SM (BASED ON THREE STOREYS)  
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF - NONE

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED  
HEIGHT - 3 STOREYS WITH BASEMENT  
AREA - 652 SM  
CONSTRUCTION - COMBUSTIBLE  
FLOOR ASSEMBLY - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF ASSEMBLY - NONE

TOWNHOUSE 3

OCCUPANCY CLASSIFICATIONS (TABLE 9.10.2.1)  
GROUP C - RESIDENTIAL

FIRE-RESISTANCE RATINGS (TABLE 9.10.8.1)

USE - RESIDENTIAL (GROUP C)  
MAXIMUM HEIGHT - 3 STOREYS  
MAXIMUM AREA - 600 SM  
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF ASSEMBLY - NONE

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED  
HEIGHT - 3 STOREYS WITH BASEMENT  
AREA - 392 SM  
CONSTRUCTION - COMBUSTIBLE  
FLOOR ASSEMBLY - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF ASSEMBLY - NONE

DRAWING INDEX

ARCHITECTURAL

A001 PROJECT INFORMATION  
A002 SURVEY

A101 PARKADE PLAN

A201 ARCHITECTURAL SITE PLAN  
A202 AVERAGE GRADE CALCULATIONS  
A203 L1 PLAN  
A204 L2 PLAN  
A205 L3 PLAN  
A206 L4 PLAN  
A207 L5 PLAN  
A208 ROOF PLAN

A301 ELEVATIONS - APARTMENT 1  
A302 ELEVATIONS - APARTMENT 2  
A303 ELEVATIONS - APARTMENT 2  
A304 ELEVATIONS - TOWNHOUSE 1  
A305 ELEVATIONS - TOWNHOUSE 2  
A306 ELEVATIONS - TOWNHOUSE 3  
A307 SHADOW STUDIES  
A308 VIEW ANALYSIS  
A309 VIEW ANALYSIS  
A310 VIEW ANALYSIS  
A311 PERSPECTIVE STUDIES  
A312 PERSPECTIVE STUDIES  
A313 SKYLINE ANALYSIS

A401 BUILDING SECTIONS  
A402 BUILDING SECTIONS  
A403 BUILDING SECTIONS  
A404 BUILDING SECTIONS

A601 L1 PLAN - APARTMENTS  
A602 L2 PLAN - APARTMENTS  
A603 L3 PLAN - APARTMENTS  
A604 L4 PLAN - APARTMENTS  
A605 L5 PLAN - APARTMENTS  
A606 TOWNHOUSE 1  
A607 TOWNHOUSE 1  
A608 TOWNHOUSE 2  
A609 TOWNHOUSE 2  
A610 TOWNHOUSE 3


A701 APARTMENT UNIT PLANS  
A702 APARTMENT UNIT PLANS  
A703 TOWNHOUSE S 1 & 2 UNIT PLANS  
A704 TOWNHOUSE 3 UNIT PLANS  
A705 AMENITY ROOM

CIVIL

19-028-REZONING CONCEPTUAL SERVICING

LANDSCAPE

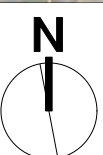
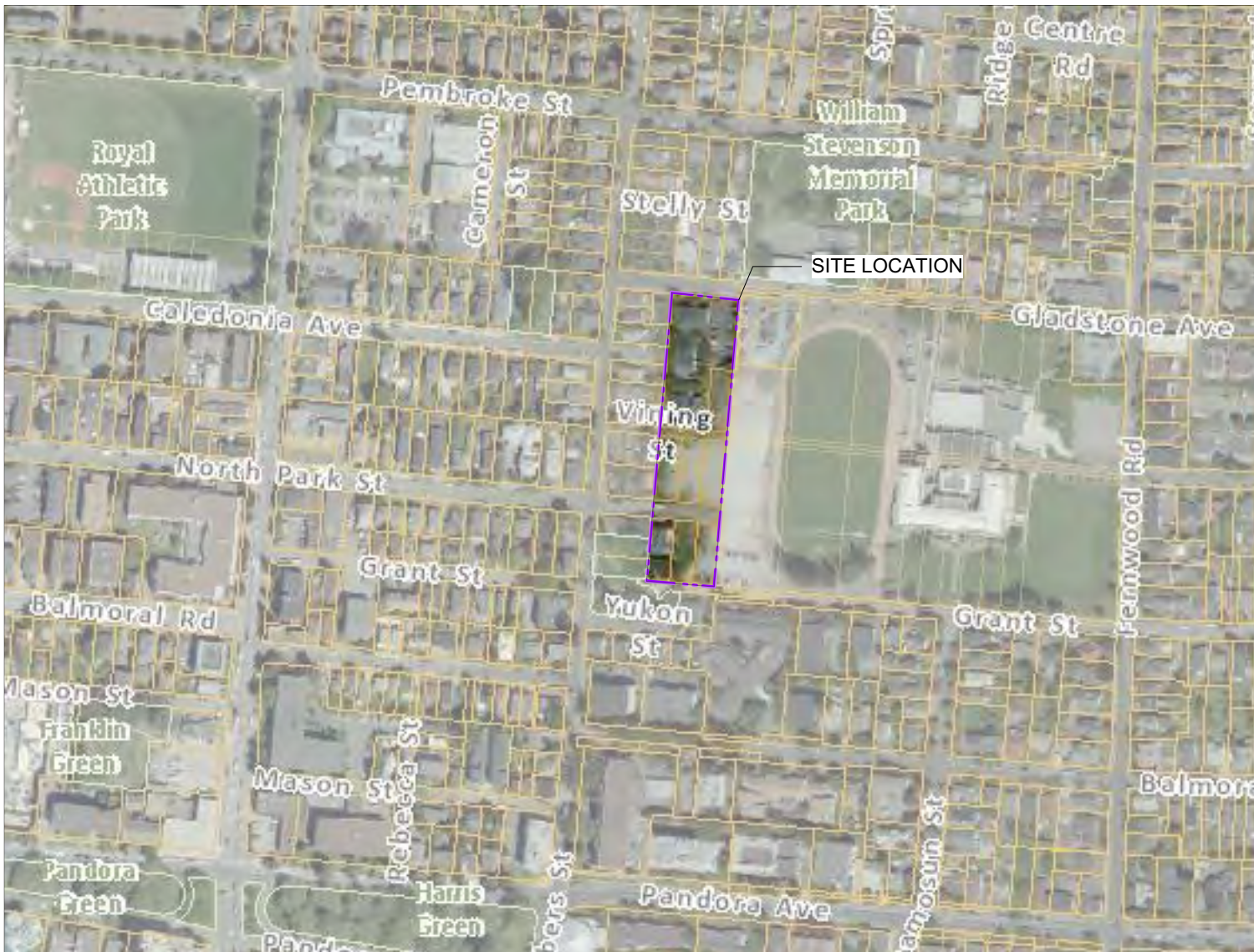
L1.01 LANDSCAPE OVERVIEW PLAN  
L1.02 LANDSCAPE MATERIALS SOUTH  
L1.03 LANDSCAPE MATERIALS NORTH  
L1.04 STORMWATER MANAGEMENT  
L1.05 TREE RETENTION & REMOVAL PLAN  
L3.01 PLANTING PLAN SOUTH  
L3.02 PLANTING PLAN NORTH  
L5.01 LANDSCAPE SECTIONS



## Revisions

Bubbled areas indicate revisions compared to the previously submitted plans


## Received Date: February 07, 2020



3	2019/08	ISSUED FOR COTW
2	2019/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	issuing title 1907 PROJECT INFORMATION
drawn by	FWP	checked by RAW
scale	SEE DRAWING	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

 <div><p>VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367</p></div>	<div><p>dHKarchitects</p><p>NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2X6 T 1-250-585-5810</p></div>
project name Caledonia Victoria, BC	
Project Information	
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drawn by A001	sheet no. 3

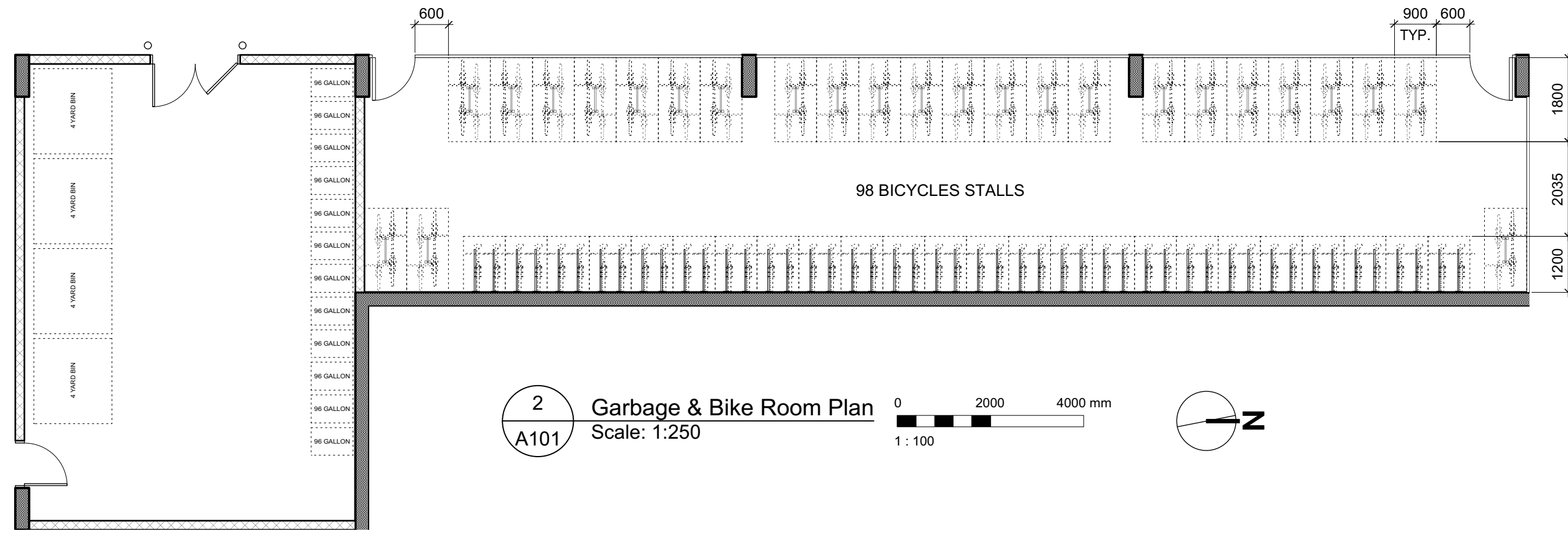
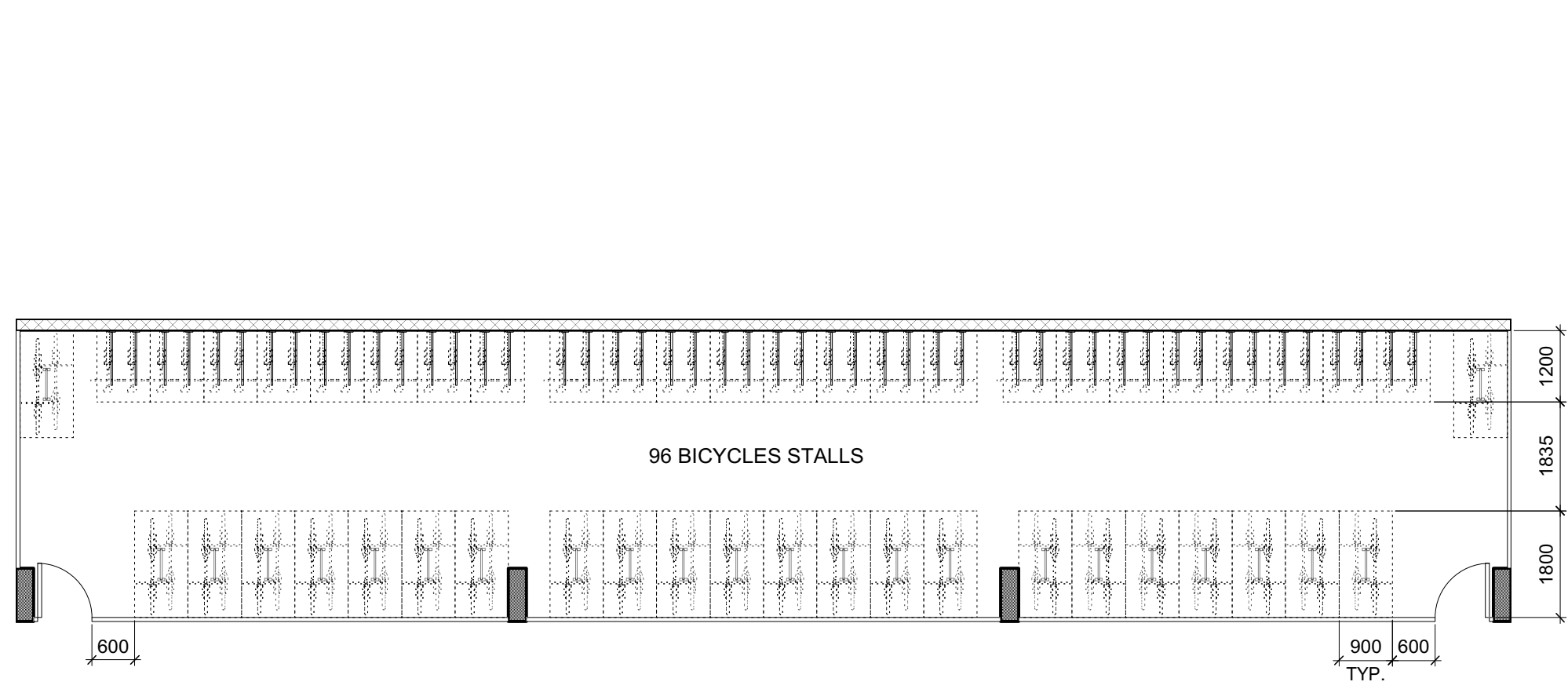






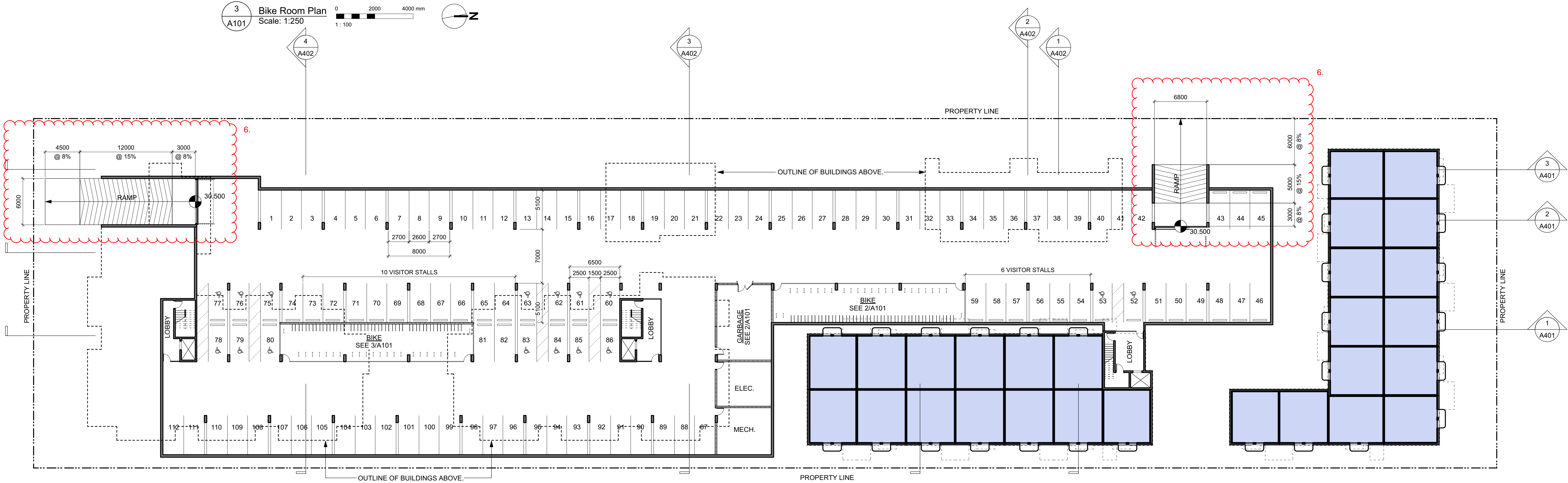
GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



3 Bike Room Plan  
Scale: 1:250

2 Garbage & Bike Room Plan  
Scale: 1:250



1 Parkade & LO Plan  
Scale: 1:250

VEHICLE PARKING CALCULATION	
UNITS < 45 SM	14 X .2 = 2.8
UNITS 45-70 SM	58 X .5 = 29
UNITS > 70 SM	86 X .75 = 64.5
SUBTOTAL	96.3 (96)
VISITOR	158 X .1 = 15.8 (16)
TOTAL REQUIRED	112
PROVIDED	117 (5 SURFACE)

LONG TERM BIKE PARKING CALCULATION	
UNITS < 45 SM	14 X 1 = 14
UNITS > 45 SM	144 X 1.25 = 180
TOTAL REQUIRED	194
PROVIDED	194

Rev	Date	Description
3	2010/08	ISSUED FOR COTW
2	2010/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

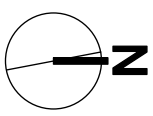
print date	SEPTEMBER 2019	drawing file	1907 A200 Plans.rvt
drawn by	FWP	checked by	RAW
scale	AS SHOWN	project number	1907

NOTE: All dimensions are shown in millimeters.

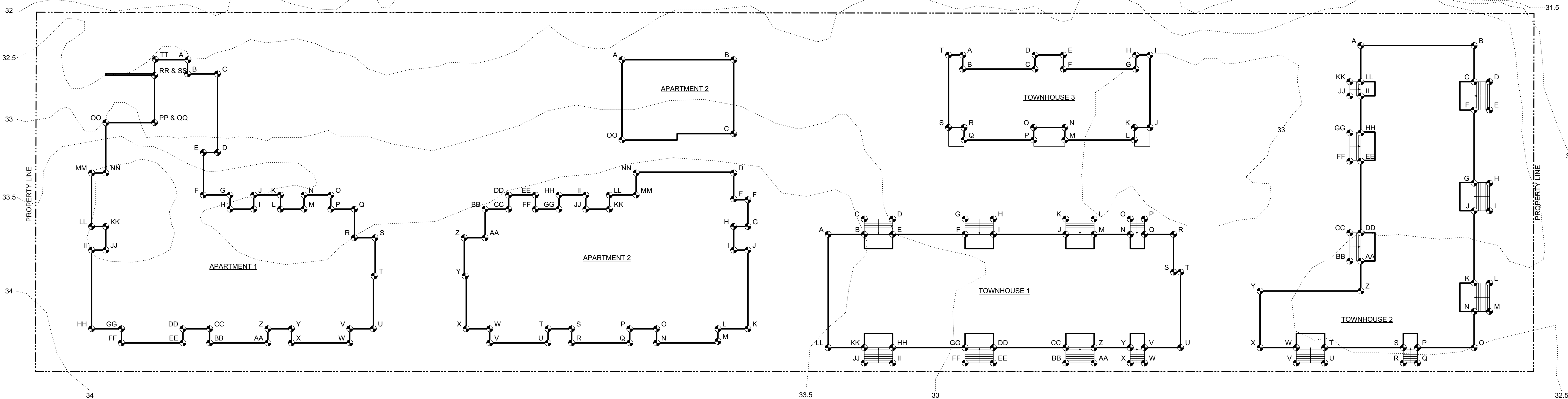
ISSUED FOR DP  
& REZONING

VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	
Parkade & LO Plan	
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drawing no. A101	sheet no. 3

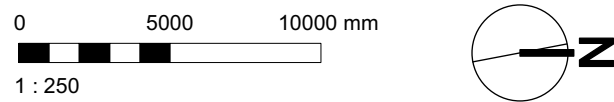








1 Average Grade Calculation  
A202 Scale: 1:250



GRADE CALCULATION							
APARTMENT 1							
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL	
A&B	32.5	32.6	2	32.6	1.8	58.6	
B&C	32.6	32.6	2	32.6	3.8	123.9	
C&D	32.6	33.3	2	33.0	10.0	329.5	
D&E	33.3	33.3	2	33.3	1.8	59.9	
E&F	33.3	33.8	2	33.6	5.4	181.2	
F&G	33.8	33.7	2	33.8	3.4	114.8	
G&H	33.7	33.5	2	33.6	1.8	60.5	
H&I	33.5	38.4	2	36.0	3.0	107.9	
I&J	38.4	33.5	2	36.0	1.8	64.7	
J&K	33.5	33.5	2	33.5	3.4	113.9	
K&L	33.5	33.4	2	33.5	1.8	60.2	
L&M	33.4	33.4	2	33.4	3.0	100.2	
M&N	33.4	33.5	2	33.5	1.8	60.2	
N&O	33.5	33.4	2	33.5	3.4	113.7	
O&P	33.4	33.3	2	33.4	1.8	60.0	
P&Q	33.3	33.3	2	33.3	3.0	99.9	
Q&R	33.3	33.5	2	33.4	3.6	121.4	
R&S	33.5	33.5	2	33.5	2.6	88.4	
S&T	33.5	33.7	2	33.6	4.9	163.6	
T&U	33.7	33.8	2	33.8	6.7	226.0	
U&V	33.8	33.8	2	33.8	3.0	101.4	
V&W	33.8	33.8	2	33.8	1.8	60.8	
W&X	33.8	33.8	2	33.8	7.4	250.1	
X&Y	33.8	33.8	2	33.8	1.8	60.8	
Y&Z	33.8	33.9	2	33.9	3.0	101.6	
Z&AA	33.9	33.9	2	33.9	1.8	61.0	
AA&BB	33.9	33.9	2	33.9	7.4	250.9	
BB&CC	33.9	33.9	2	33.9	1.8	61.0	
CC&DD	33.9	33.9	2	33.9	3.4	115.3	
DD&EE	33.9	33.9	2	33.9	1.8	61.0	
EE&FF	33.9	33.9	2	33.9	7.8	264.4	
FF&GG	33.9	33.9	2	33.9	1.8	61.0	
GG&HH	33.9	33.9	2	33.9	3.8	128.8	
HH&II	33.9	34.0	2	34.0	10.0	339.5	
II&JJ	34.0	34.0	2	34.0	1.9	62.9	
JJ&KK	34.0	34.0	2	34.0	3.0	100.3	
KK&LL	34.0	34.0	2	34.0	1.8	61.2	
LL&MM	34.0	34.0	2	34.0	6.8	231.2	
MM&NN	34.0	34.0	2	34.0	1.8	61.2	
NN&OO	34.0	33.0	2	33.5	6.3	211.6	
OO&PP	33.0	32.9	2	33.0	6.2	204.3	
QQ&RR	31.2	31.2	2	31.2	6.2	191.9	
SS&TT	32.6	32.5	2	32.6	1.9	61.8	
TT&A	32.5	32.5	2	32.5	6.3	205.2	
							GRADE = TOTAL/Perimeter 33.5
				Perimeter	167.5	5617.8	

GRADE CALCULATION							
APARTMENT 2							
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL	
A&B	32.7	32.8	2	32.8	14.2	465.1	
B&C	32.8	33.3	2	33.1	9.4	310.7	
C&D	33.3	33.5	2	33.4	5.0	167.0	
D&E	33.5	33.5	2	33.5	3.4	113.9	
E&F	33.5	33.5	2	33.5	1.8	60.3	
F&G	33.5	33.5	2	33.5	3.4	113.9	
G&H	33.5	33.5	2	33.5	1.8	60.3	
H&I	33.5	33.5	2	33.5	3.0	100.5	
I&J	33.5	33.5	2	33.5	1.8	60.3	
J&K	33.5	33.5	2	33.5	10.0	335.0	
K&L	33.5	33.6	2	33.5	3.8	127.4	
L&M	33.6	33.6	2	33.6	1.8	60.5	
M&N	33.6	33.6	2	33.6	7.8	262.1	
N&O	33.6	33.6	2	33.6	1.8	60.5	
O&P	33.6	33.6	2	33.6	3.4	114.2	
P&Q	33.6	33.6	2	33.6	1.8	60.5	
Q&R	33.6	33.7	2	33.7	7.4	249.0	
R&S	33.7	33.7	2	33.7	1.8	60.7	
S&T	33.7	33.7	2	33.7	3.0	101.1	
T&U	33.7	33.7	2	33.7	1.8	60.7	
U&V	33.7	33.7	2	33.7	7.4	249.4	
V&W	33.7	33.7	2	33.7	1.8	60.7	
W&X	33.7	33.7	2	33.7	3.0	101.1	
X&Y	33.7	33.6	2	33.7	6.7	225.3	
Y&Z	33.6	33.6	2	33.6	4.9	163.6	
Z&AA	33.6	33.6	2	33.6	2.6	88.7	
AA&BB	33.6	33.5	2	33.6	3.6	122.0	
BB&CC	33.5	33.5	2	33.5	3.0	100.5	
CC&DD	33.5	33.5	2	33.5	1.8	60.3	
DD&EE	33.5	33.6	2	33.6	3.4	114.1	
EE&FF	33.5	33.5	2	33.5	1.8	60.3	
FF&GG	33.5	33.5	2	33.5	3.0	100.5	
GG&HH	33.5	33.5	2	33.5	1.8	60.3	
HH&II	33.5	33.5	2	33.5	3.4	113.9	
II&JJ	33.5	33.5	2	33.5	1.8	60.3	
JJ&KK	33.5	33.5	2	33.5	3.0	100.5	
KK&LL	33.5	33.5	2	33.5	1.8	60.3	
LL&MM	33.5	33.5	2	33.5	3.4	113.9	
MM&NN	33.5	33.5	2	33.5	2.8	93.8	
NN&OO	33.5	33.3	2	33.5	4.6	153.1	
OO&A	33.3	32.7	2	33.0	10.2	336.6	
							GRADE = TOTAL/Perimeter 33.4
				Perimeter	164.0	5482.6	

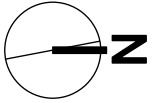
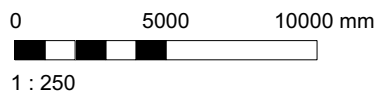
GRADE CALCULATION							
TOWNHOUSE 1							
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL	
A&B	33.6	33.5	2	33.6	4.6	153.2	
B&C	33.5	33.4	2	33.5	2.0	65.6	
C&D	33.4	33.0	2	33.2	3.6	119.5	
D&E	33.0	33.0	2	33.0	2.0	64.7	
E&F	33.0	32.9	2	33.0	9.2	303.1	
F&G	32.9	32.9	2	32.9	2.0	64.5	
G&H	32.9	32.9	2	32.9	3.6	118.4	
H&I	32.9	32.9	2	32.9	2.0	64.5	
I&J	32.9	32.8	2	32.9	9.2	302.2	
J&K	32.8	32.9	2	32.9	2.0	64.4	
K&L	32.9	33.0	2	33.0	3.6	118.6	
L&M	33.0	32.8	2	32.9	2.0	64.5	
M&N	32.8	32.7	2	32.8	4.6	150.7	
N&O	32.7	32.8	2	32.8	2.0	64.2	
O&P	32.8	32.9	2	32.9	1.8	59.1	
P&Q	32.9	32.7	2	32.8	2.0	64.3	
Q&R	32.7	32.9	2	32.8	3.7	121.4	
R&S	32.9	32.7	2	32.8	4.8	157.4	
S&T	32.7	32.7	2	32.7	0.9	29.4	
T&U	32.7	32.7	2	32.7	9.6	313.9	
U&V	32.7	32.7	2	32.7	4.6	150.4	
V&W	32.7	32.7	2	32.7	2.0	64.1	
W&X	32.7	32.8	2	32.8	1.8	59.0	
X&Y	32.8	32.8	2	32.8	2.0	64.3	
Y&Z	32.8	32.8	2	32.8	4.6	150.9	
Z&AA	32.8	32.8	2	32.8	2.0	64.3	
AA&BB	32.8	32.9	2	32.9	3.6	118.3	
BB&CC	32.9	32.9	2	32.9	2.0	64.5	
CC&DD	32.9	32.9	2	32.9	9.2	302.7	
DD&EE	32.9	32.9	2	32.9	2.0	64.5	
EE&FF	32.9	33.0	2	33.0	3.6	118.6	
FF&GG	33.0	33.0	2	33.0	2.0	64.7	
GG&HH	33.0	33.2	2	33.1	9.2	304.5	
HH&II	33.2	33.2	2	33.2	2.0	65.1	
II&JJ	33.2	33.3	2	33.3	3.6	119.7	
JJ&KK	33.3	33.3	2	33.3	2.0	65.3	
KK&LL	33.3	33.4	2	33.4	4.6	153.4	
LL&A	33.4	33.6	2	33.5	14.5	484.1	
							GRADE = TOTAL/Perimeter 33.0
				Perimeter	149.8	4941.8	

GRADE CALCULATION							
TOWNHOUSE 2							
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL	
A&B	32.7	32.6	2	32.7	14.4	471.6	
B&C	32.6	32.6	2	32.6	4.6	150.0	
C&D	32.6	32.6	2	32.6	2.0	63.9	
D&E	32.6	32.6	2	32.6	3.6	117.4	
E&F	32.6	32.6	2	32.6	2.0	63.9	
F&G	32.6	32.6	2	32.6	9.2	299.9	
G&H	32.6	32.6	2	32.6	2.0	63.9	
H&I	32.6	32.6	2	32.6	3.6	117.4	
I&J	32.6	32.6	2	32.6	2.0	63.9	
J&K	32.6	32.5	2	32.6	9.2	299.5	
K&L	32.5	32.5	2	32.5	2.0	63.7	
L&M	32.5	32.5	2	32.5	3.6	117.0	
M&N	32.5	32.5	2	32.5	2.0	63.7	
N&O	32.5	32.5	2	32.5	4.6	149.5	
O&P	32.5	32.5	2	32.5	7.2	234.0	
P&Q	32.5	32.5	2	32.5	2.0	63.7	
Q&R	32.5	32.5	2	32.5	1.8	58.5	
R&S	32.5	32.5	2	32.5	2.0	63.7	
S&T	32.5	32.5	2	32.5	10.0	325.0	
T&U	32.5	32.5	2	32.5	2.0	63.7	
U&V	32.5	32.6	2	32.6	3.6	117.2	
V&W	32.6	32.6	2	32.6	2.0	63.9	
W&X	32.6	32.6	2	32.6	4.6	150.0	
X&Y	32.6	32.6	2	32.6	7.2	234.7	
Y&Z	32.6	32.4	2	32.5	12.8	416.0	
Z&AA	32.4	32.5	2	32.5	3.8	123.3	
AA&BB	32.5	32.5	2	32.5	1.4	45.5	
BB&CC	32.5	32.5	2	32.5	3.6	117.0	
CC&DD	32.5	32.5	2	32.5	1.4	45.5	
DD&EE	32.5	32.8	2	32.7	9.2	300.4	
EE&FF	32.8	32.8	2	32.8	1.4	45.9	
FF&GG	32.8	32.8	2	32.8	3.6	118.1	
GG&HH	32.8	32.8	2	32.8	1.4	45.9	
HH&II	32.8	32.8	2	32.8	4.6	150.9	
II&JJ	32.8	32.9	2	32.9	1.4	46.0	
JJ&KK	32.9	32.9	2	32.9	1.8	59.2	
KK&LL	32.9	32.8	2	32.9	1.4	46.0	
LL&A	32.8	32.7	2	32.8	4.6	150.7	
							GRADE = TOTAL/Perimeter 32.6
				Perimeter	159.2	5189.9	





1  
A203  
L1 Plan  
Scale: 1:250



GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

UNIT COMPOSITION

APARTMENTS 1&2

UNIT TYPE	L1	L2	L3	L4	L5	TOTAL
STUDIO	4	4	4	2	-	14
1 BED	13	12	12	7	1	45
2 BED	1	1	2	8	8	20
3 BED	3	3	3	3	-	12
4 BED	-	2	3	1	-	6
TOTAL	21	22	24	21	9	97

TOWNHOUSES 1-3

UNIT TYPE	TOTAL
STUDIO	-
1 BED	-
2 BED	57
3 BED	2
4 BED	2
TOTAL	61

OVERALL DEVELOPMENT

UNIT TYPE	TOTAL
STUDIO	14
1 BED	45
2 BED	77
3 BED	14
4 BED	8
TOTAL	158

ACCESSIBLE UNITS

UNIT TYPE	TOTAL
STUDIO	-
1 BED	7
2 BED	7
3 BED	1
4 BED	-
TOTAL	15 (9%)

3	20/03/08	ISSUED FOR COTW
2	20/07/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vxd
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

**dHKarchitects**  
VICTORIA OFFICE  
977 Fort Street  
VICTORIA BC V8W 3K3  
T 1-250-658-3367

**CALEDONIA**  
VICTORIA BC

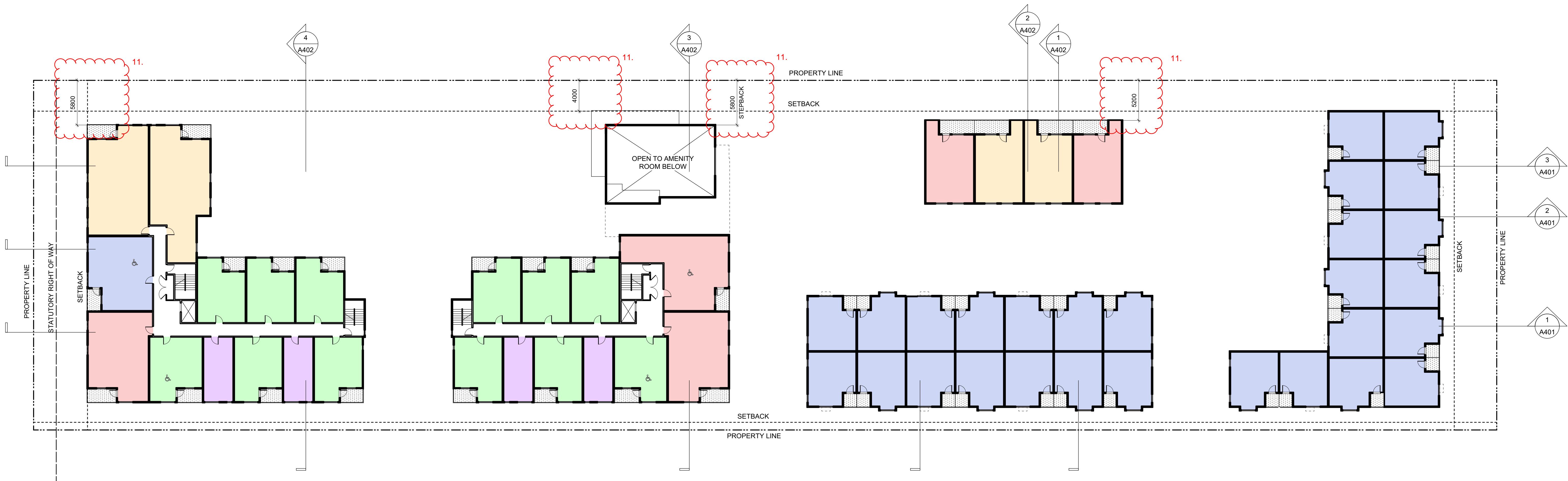
project name  
**Caledonia**  
Victoria BC

drawing no.  
**L1 Plan**

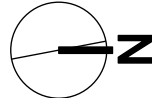
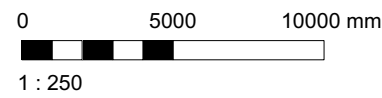
sheet no.  
**A203**

revision no.  
**3**





1  
A204  
L2 Plan  
Scale: 1:250



GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

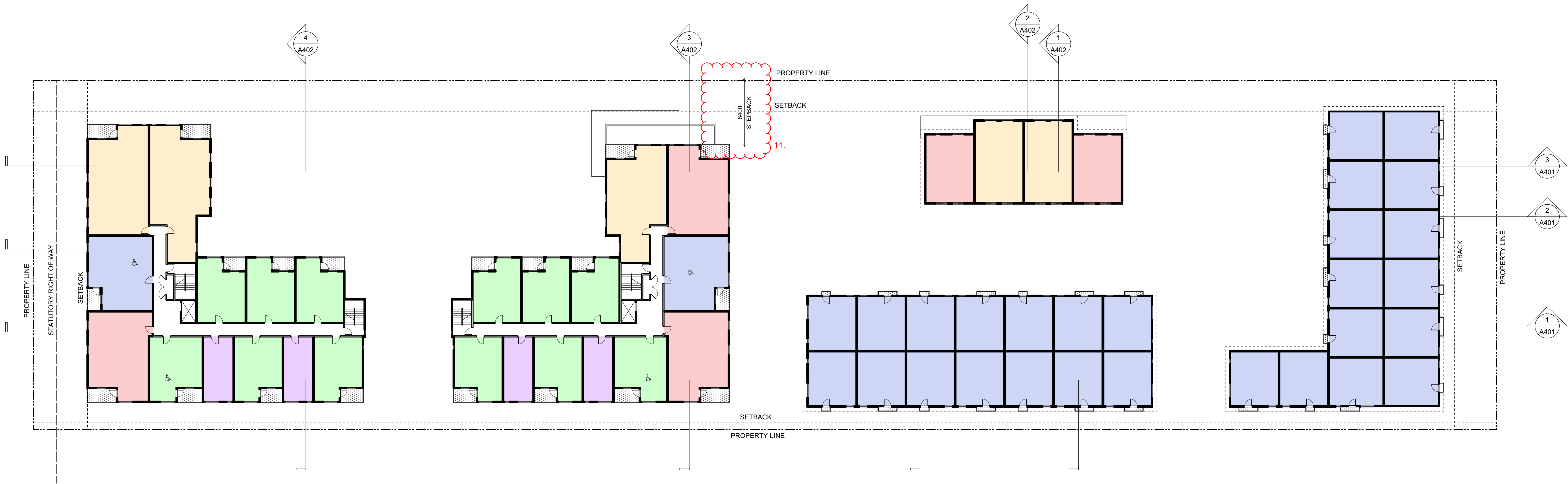
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2	2010/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

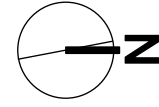
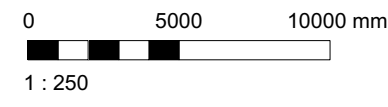
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& REZONING

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project name Caledonia Victoria BC	
drawing title L2 Plan	
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	sheet of 3





1  
A205  
L3 Plan  
Scale: 1:250


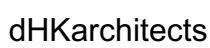


- GRAPHIC LEGEND:
- STUDIO
  - 1 BEDROOM
  - 2 BEDROOM
  - 3 BEDROOM
  - 4 BEDROOM
  - ACCESSIBLE

3	2010/08	ISSUED FOR COTW
2	2010/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

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project name Caledonia Victoria BC	
drawing title L3 Plan	
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	sheet of 3

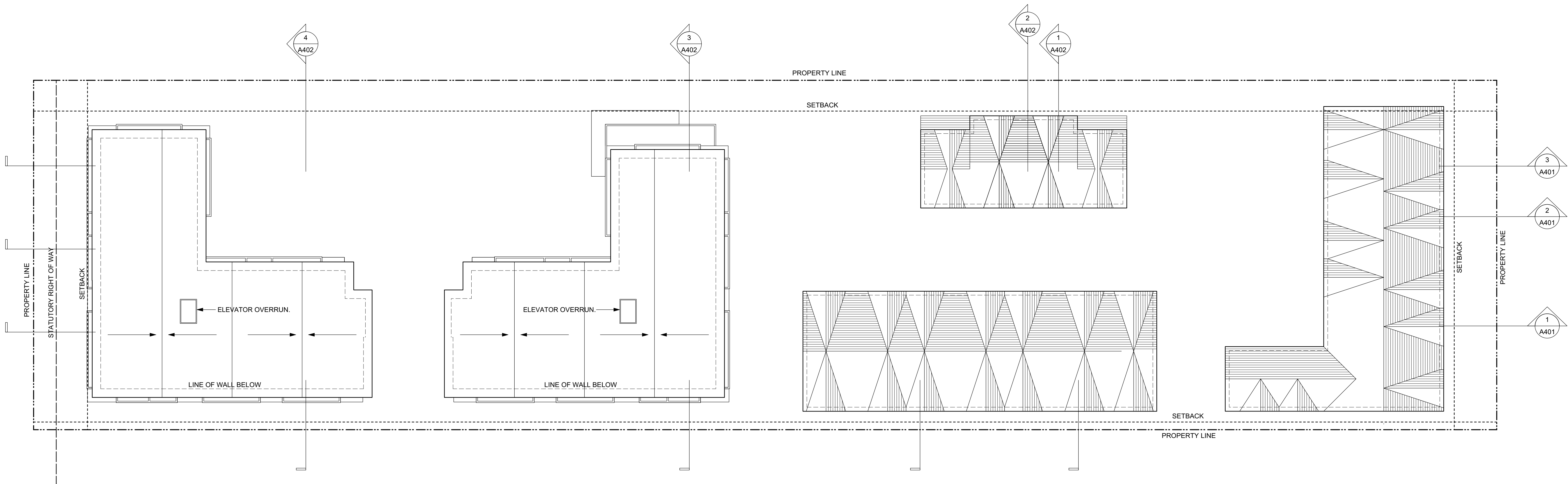




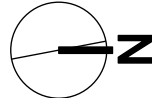
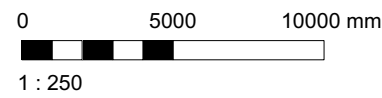









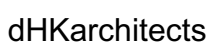
1  
A208  
Roof Plan  
Scale: 1:250



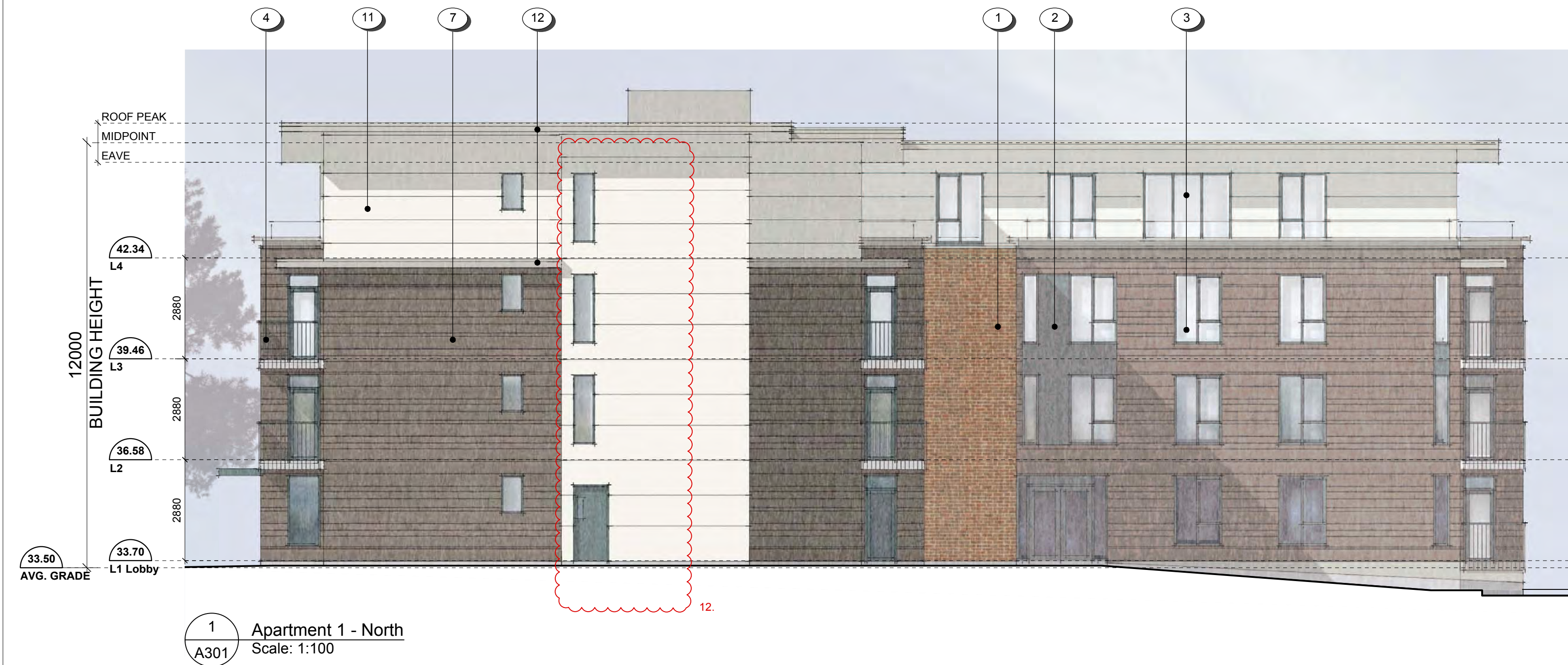
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	
drawing title Roof Plan	
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sheet no. A208	sheet of 3





#### COLOUR & MATERIALS LEGEND

- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - <i>Apartment 1 Only</i>             | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                                | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                             | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal       | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                                    | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                               | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown                     | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - <i>Apartment 2 Only</i> | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - <i>Apartment 2 Only</i>             | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                             | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                          | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                      | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey               | 26 | ACCENT PAINT COLOUR - Chartreuse               |

0 2500 5000mm  
1: 100

Rev	Date	Description
3	20/10/06	ISSUED FOR CD/TV
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

print date	SEPTEMBER 2019	drawing file	1907 A300 Elevations.vrx
drawn by	NLC	checked by	RAW
scale	1:100	project number	1907

NOTE: All dimensions are shown in millimeters.

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project name	Caledonia Victoria BC
drawing title	Elevations - Apartment 1
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	3





1 Apartment 2 - North  
A302 Scale: 1:100



2 Apartment 2 - South  
A302 Scale: 1:100

#### COLOUR & MATERIALS LEGEND

- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - Apartment 1 Only              | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                          | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                       | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                              | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                         | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown               | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - Apartment 2 Only  | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - Apartment 2 Only              | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                       | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                    | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey         | 26 | ACCENT PAINT COLOUR - Chartreuse               |

0 2500 5000mm  
1:100

3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A300 Elevations.vrx
drawn by	NLC	checked by RAW
scale	1:100	project number 1907

NOTE: All dimensions are shown in millimeters.

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& REZONING

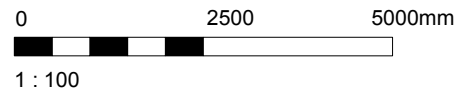
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project name	Caledonia
location	Victoria BC
drawing title	Elevations - Apartment 2
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	3





COLOUR & MATERIALS LEGEND


- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - <i>Apartment 1 Only</i>             | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                                | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                             | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal       | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                                    | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                               | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown                     | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - <i>Apartment 2 Only</i> | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - <i>Apartment 2 Only</i>             | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                             | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                          | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                      | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey               | 26 | ACCENT PAINT COLOUR - Chartreuse               |



3	20/02/06	ISSUED FOR CDTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A300 Elevations.vrx
drawn by	NLC	checked by RAW
scale	1:100	project number 1907

NOTE: All dimensions are shown in millimeters.

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project name <b>Caledonia</b> Victoria BC	
drawing <b>Elevations - Apartment 2</b>	
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<b>A303</b>	<b>3</b>





1 Townhouse 1 - North  
A304 Scale: 1:100



2 Townhouse 1 - East  
A304 Scale: 1:100



3 Townhouse 1 - South  
A304 Scale: 1:100



4 Townhouse 1 - West  
A304 Scale: 1:100

#### COLOUR & MATERIALS LEGEND

- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - <i>Apartment 1 Only</i>             | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                                | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                             | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal       | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                                    | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                               | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown                     | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - <i>Apartment 2 Only</i> | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - <i>Apartment 2 Only</i>             | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                             | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                          | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                      | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey               | 26 | ACCENT PAINT COLOUR - Chartreuse               |



0 2500 5000mm  
1:100

Rev	Date	Description
3	20/12/06	ISSUED FOR CDTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

print date	SEPTEMBER 2019	drawing file	1907 A300 Elevations.mxd
drawn by	NLC	checked by	RAW
scale	1:100	project number	1907

NOTE: All dimensions are shown in millimeters.

## ISSUED FOR DP & REZONING

 VICTORIA OFFICE 877 Fort Street Victoria BC V8V 3K3 T 1-250-668-3367	 NANAIMO OFFICE 102-5190 Durbin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	sheet no. A304
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1 Townhouse 2 - North  
Scale: 1:100  
A305



2 Townhouse 2 - East  
Scale: 1:100  
A305



3 Townhouse 2 - South  
Scale: 1:100  
A305



4 Townhouse 2 - West  
Scale: 1:100  
A305

COLOUR & MATERIALS LEGEND

- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - <i>Apartment 1 Only</i>             | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                                | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                             | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal       | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                                    | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                               | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown                     | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - <i>Apartment 2 Only</i> | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - <i>Apartment 2 Only</i>             | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                             | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                          | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                      | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey               | 26 | ACCENT PAINT COLOUR - Chartreuse               |


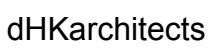
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1:100

Rev	Date	Description
3	20/02/06	ISSUED FOR CD/1W
2	20/01/15	ISSUED FOR ADR
1	19/12/16	RESPONSE TO PLANNING REVIEW

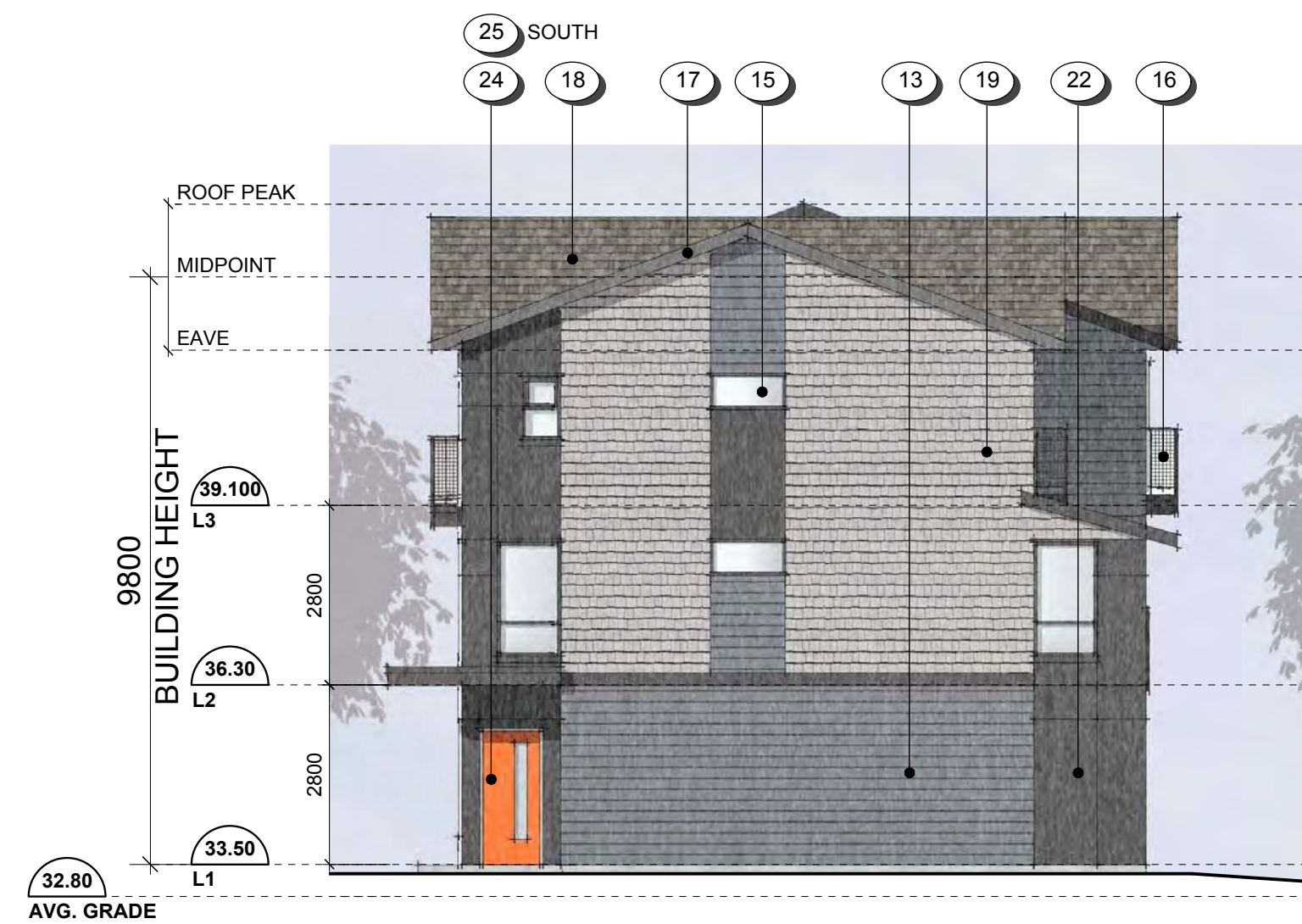
print date	SEPTEMBER 2019	drawing file	1907 A305 Elevations.vrx
drawn by	NLC	checked by	RAW
scale	1:100	project number	1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

 VICTORIA OFFICE 877 Fort Street Victoria BC V8V 2K3 T 1-250-668-3367	 NANAIMO OFFICE 102-5190 Durkin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	sheet no. A305
project name Elevations - Townhouse 2	sheet no. 3





1 Townhouse 3 - North (South sim.)  
Scale: 1:100



2 Townhouse 3 - East  
Scale: 1:100



3 Townhouse 3 - West  
Scale: 1:100

COLOUR & MATERIALS LEGEND



- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - <i>Apartment 1 Only</i>             | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                                | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                             | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal       | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                                    | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                               | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown                     | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - <i>Apartment 2 Only</i> | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - <i>Apartment 2 Only</i>             | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                             | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                          | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                      | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey               | 26 | ACCENT PAINT COLOUR - Chartreuse               |

0 2500 5000mm  
1 : 100

3	20/10/06	ISSUED FOR CDTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A306 Elevations.vrx
drawn by	NLC	checked by RAW
scale	1:100	project number 1907

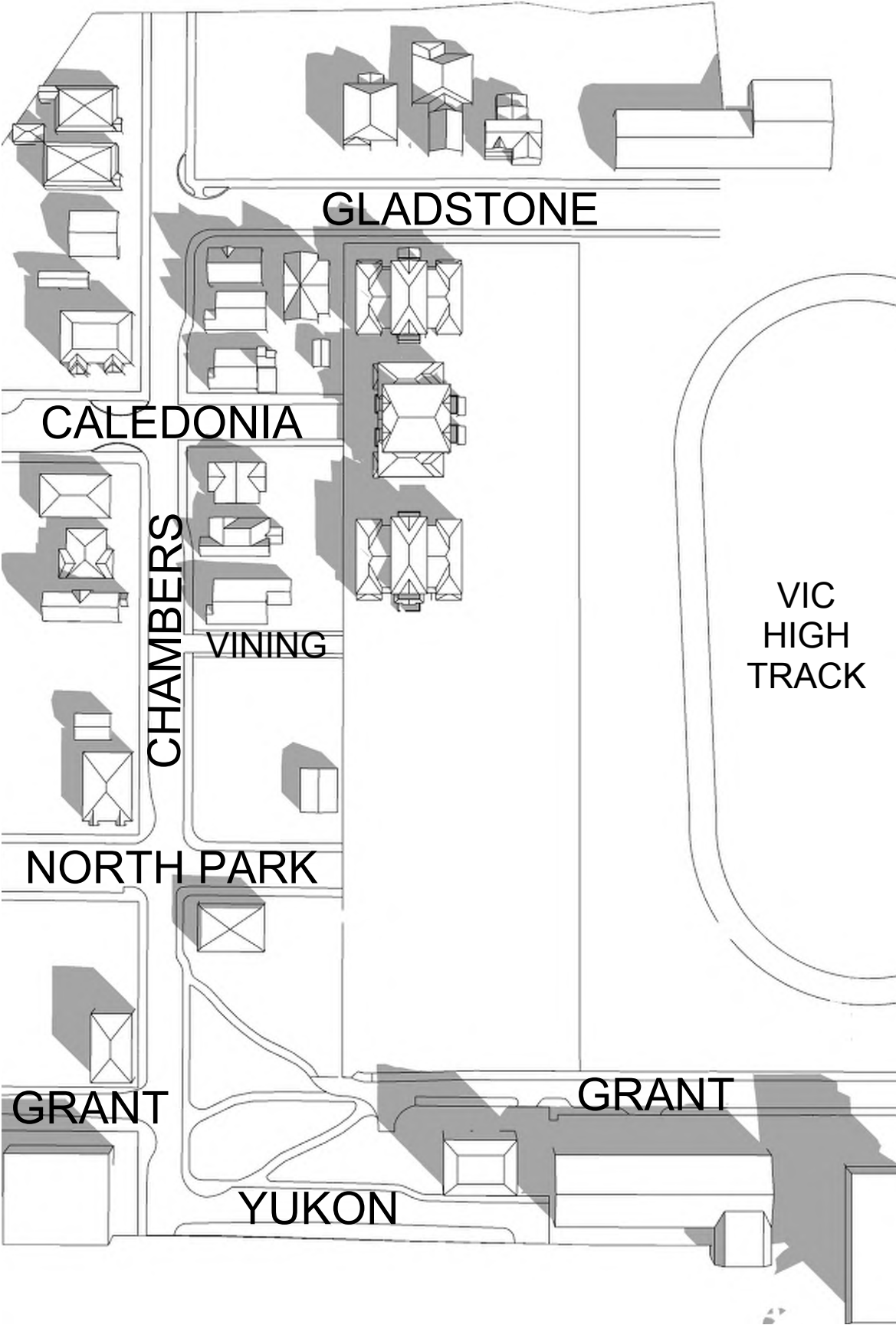
NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

 VICTORIA OFFICE 877 Fort Street Victoria BC V8V 3K3 T 1-250-668-3367	 NANAIMO OFFICE 102-5190 Dukin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	
drawing title Elevations - Townhouse 3	
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project no. A306	revision no. 3

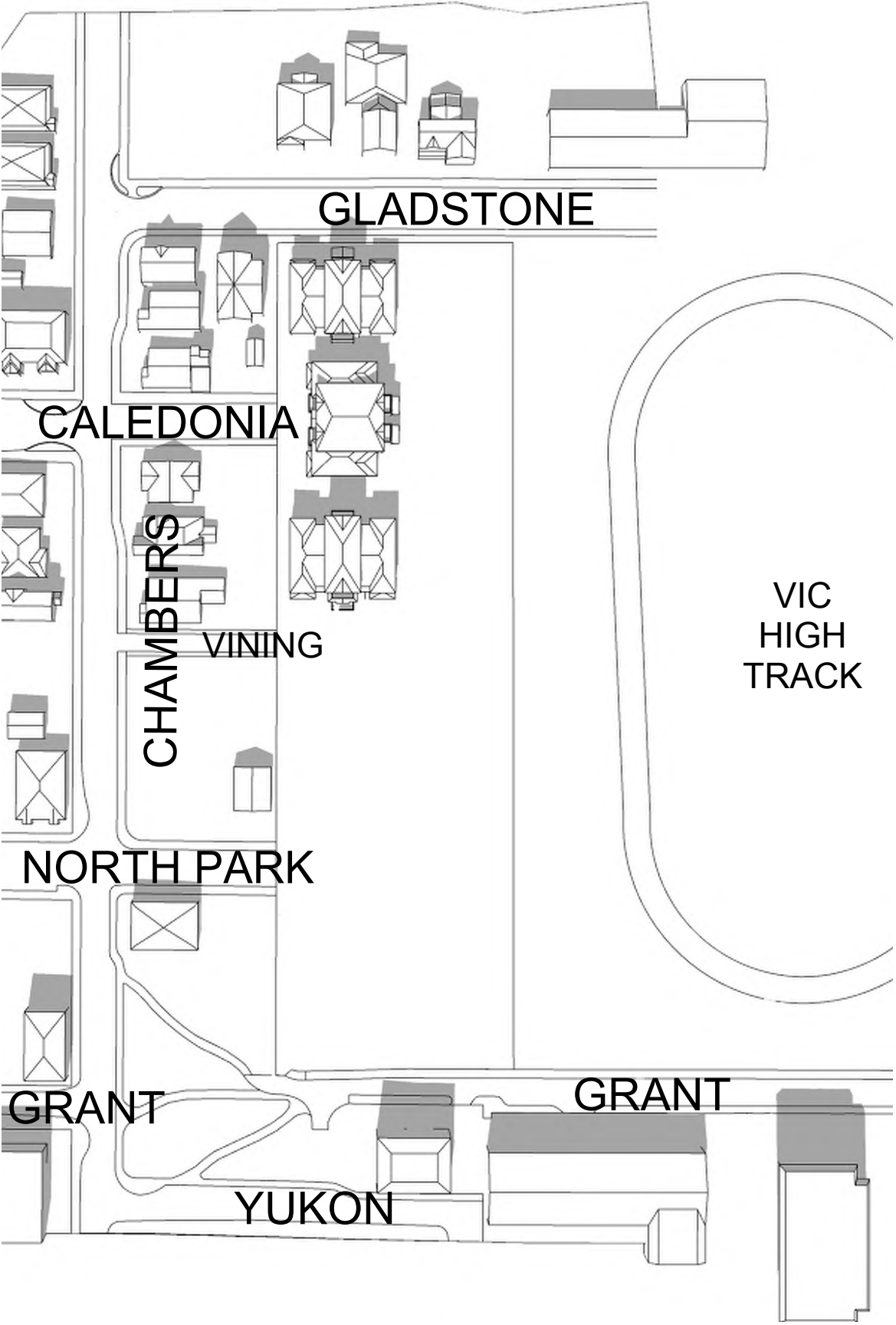


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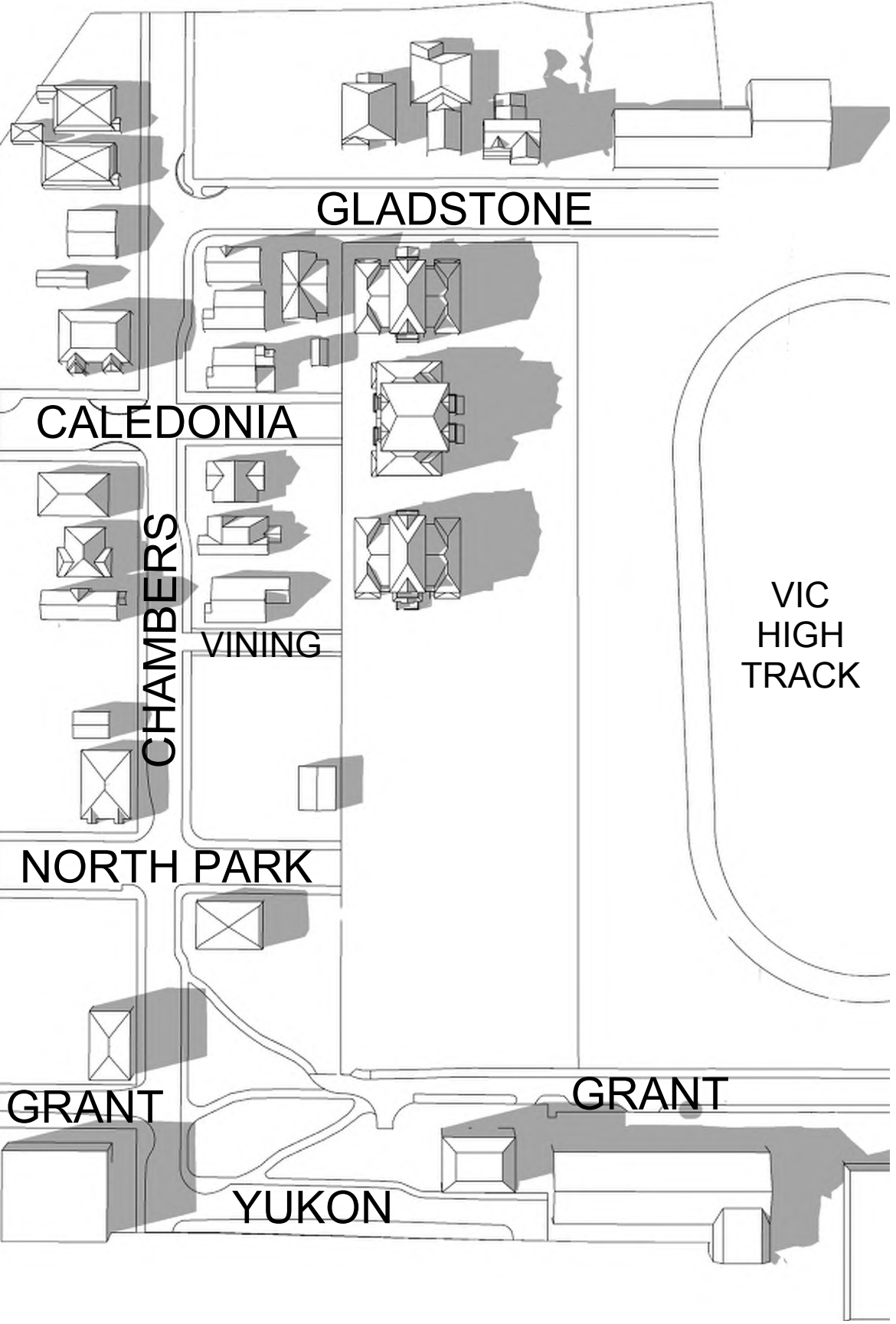
9:00AM - SEPTEMBER 21ST

EXISTING



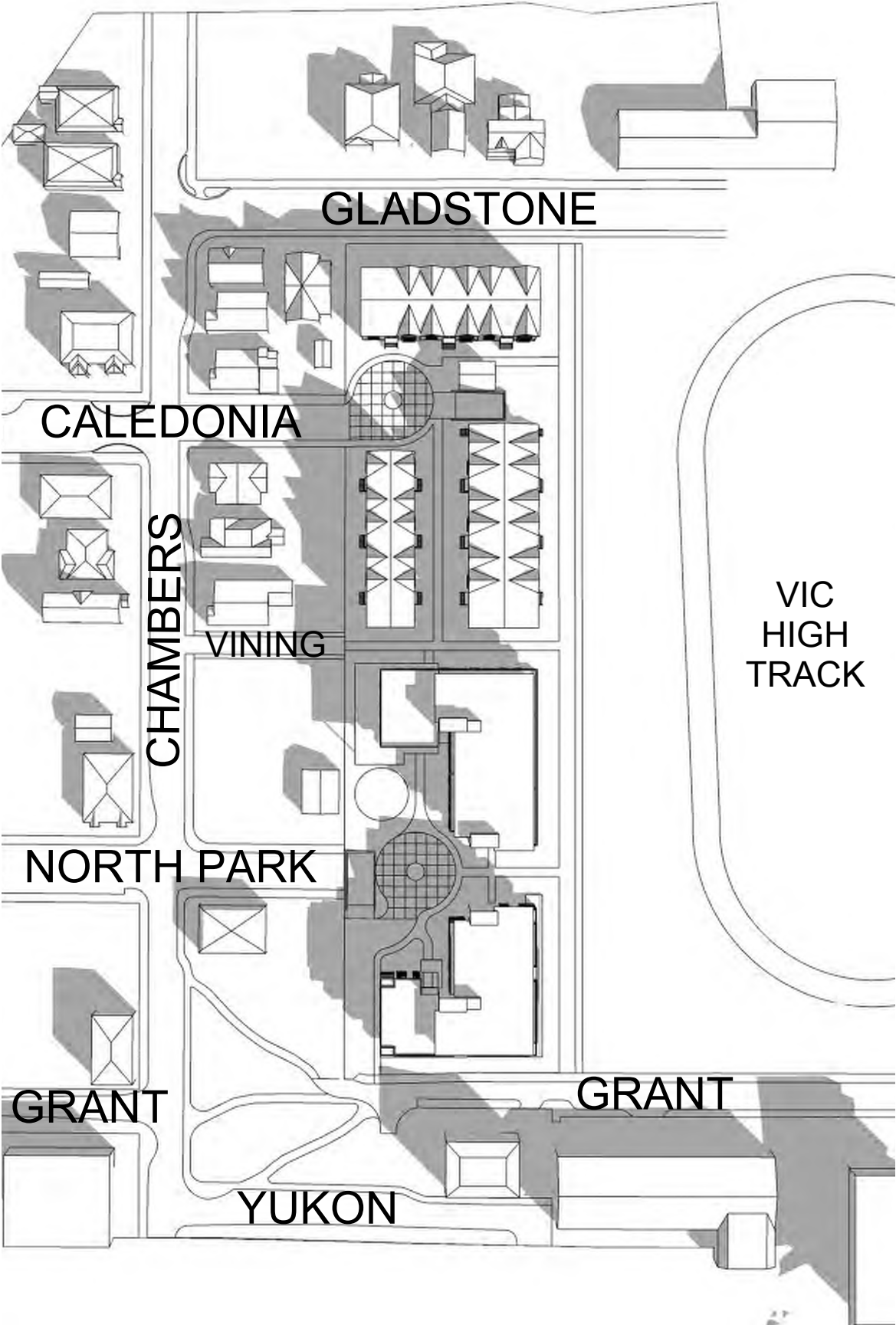
12:00PM - SEPTEMBER 21ST

EXISTING



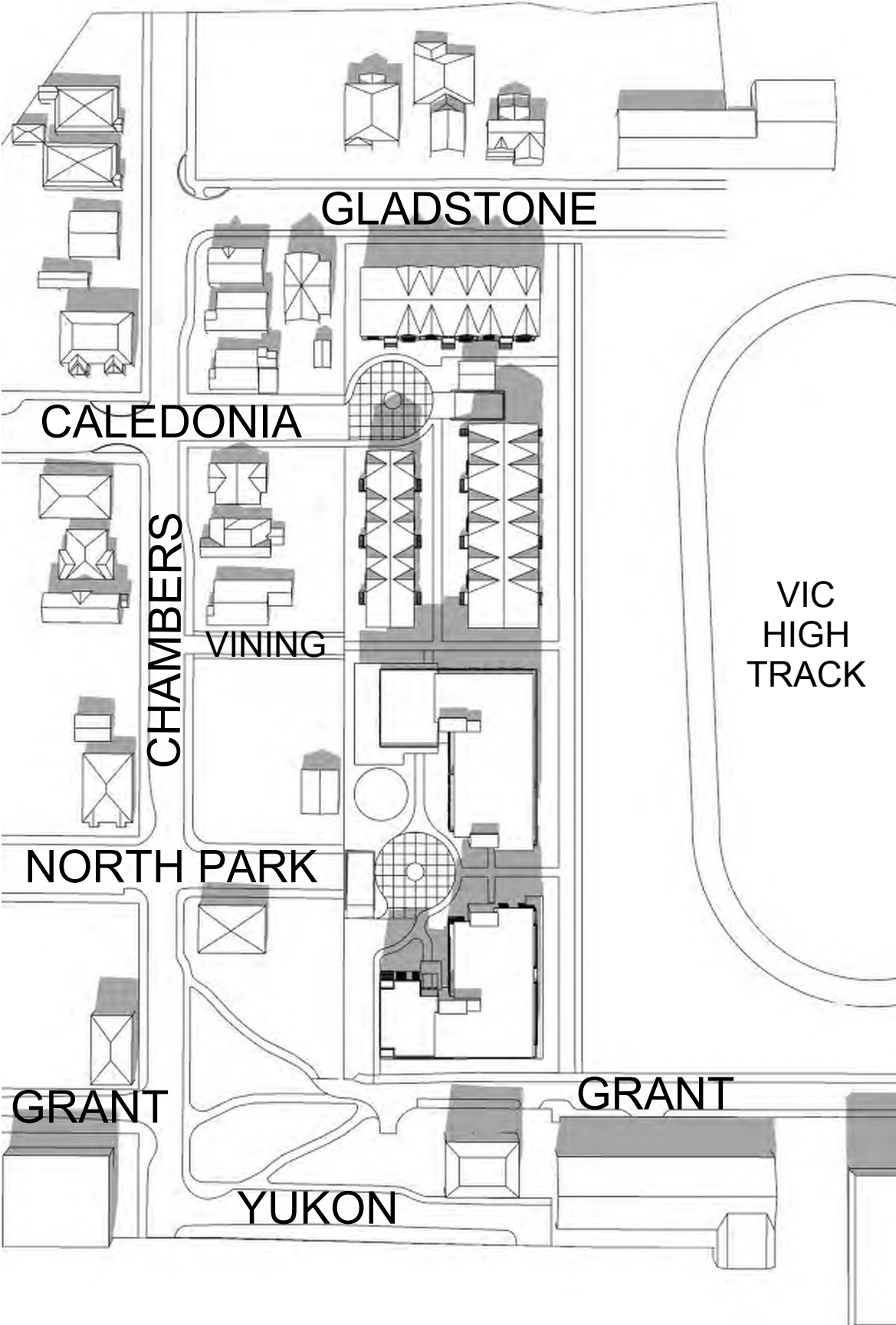
4:00PM - SEPTEMBER 21ST

PROPOSED



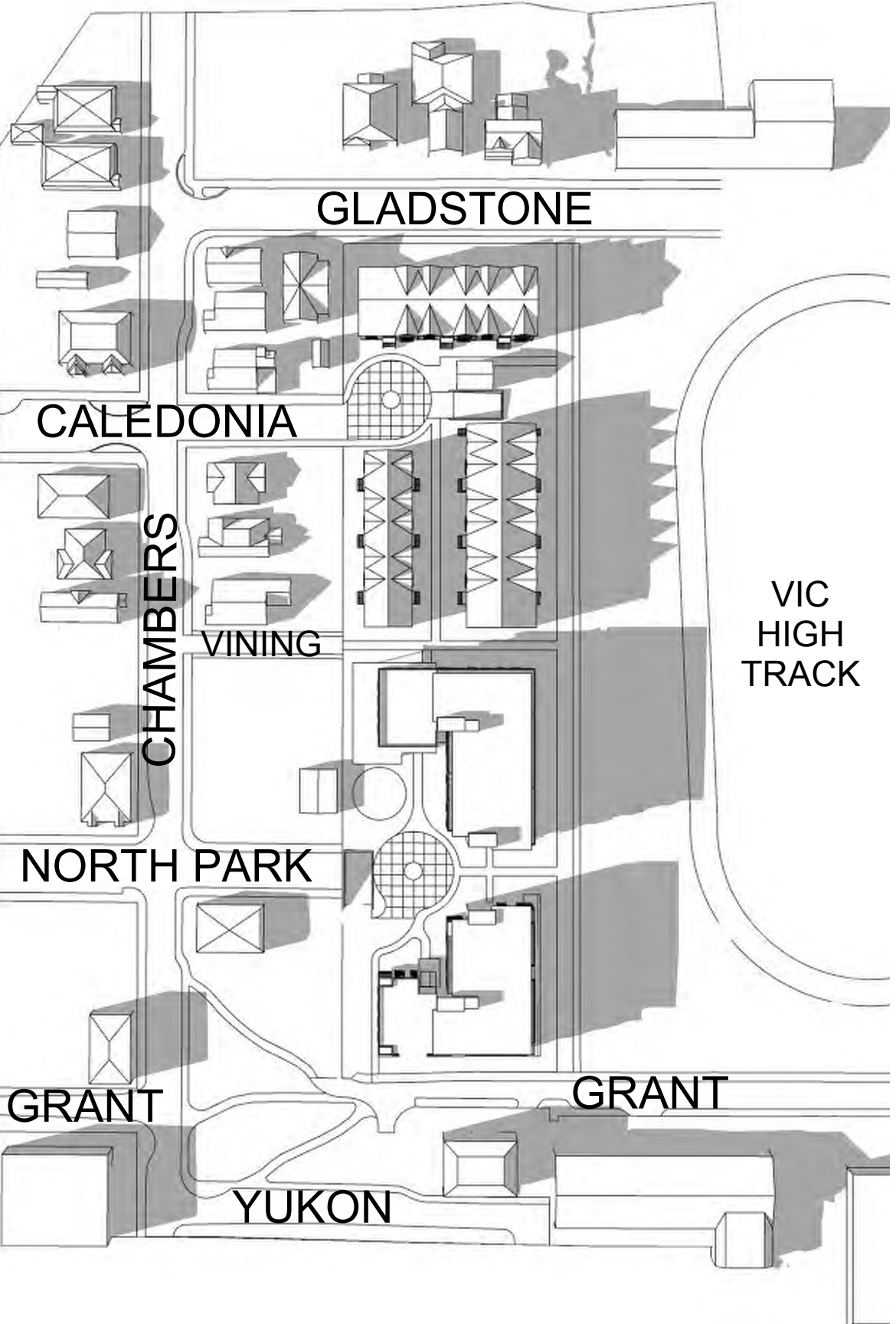
9:00AM - SEPTEMBER 21ST

PROPOSED



12:00PM - SEPTEMBER 21ST

PROPOSED




4:00PM - SEPTEMBER 21ST

3	2019/08	ISSUED FOR COTW	
2	2019/15	ISSUED FOR ADP	
1	19/12/16	RESPONSE TO PLANNING REVIEW	
Rev	Date	Description	
print date	SEPTEMBER 2019	1907 A310 View Analysis view	
drawn by	MLC	checked by	RAW
scale	n.l.s.	project number	1907

NOTE: All dimensions are shown in millimeters.

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project name <b>Caledonia</b> Victoria BC	
drawing title <b>Shadow Studies</b>	
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drawing no. <b>A307</b>	sheet no. <b>3</b>





BEFORE - LOOKING WEST - FROM VIC HIGH


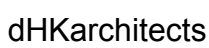


AFTER - LOOKING WEST - FROM VIC HIGH

3	2010/08	ISSUED FOR COTW
2	2009/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A310 View Analysis view
drawn by	NLC	checked by RAW
scale	n.t.s.	project number 1907

NOTE: All dimensions are shown in millimeters

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& REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	sheet no. 3
View Analysis	sheet no. A308
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BEFORE LOOKING WEST - FROM GRANT STREET



BEFORE - LOOKING WEST - FROM GLADSTONE AVENUE



AFTER LOOKING WEST - FROM GRANT STREET




AFTER LOOKING WEST - FROM GLADSTONE AVENUE

3	2010/08	ISSUED FOR COTW
2	2007/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A310 View Analysis.mxd
drawn by	NLC	checked by RAW
scale	N.T.S.	project number 1907

NOTE: All dimensions are shown in millimeters

ISSUED FOR DP  
& REZONING

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project name Caledonia Victoria BC	
View Analysis	
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	sheet of 3





BEFORE LOOKING EAST - FROM CALEDONIA AVE.



BEFORE LOOKING EAST - FROM NORTH PARK ST.



AFTER LOOKING EAST - FROM CALEDONIA AVE.




AFTER LOOKING EAST - FROM NORTH PARK ST.

3	2019/08	ISSUED FOR COTW
2	2019/11	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A310 View Analysis.mxd
drawn by	NLC	checked by RAW
scale	N.T.S.	project number 1907

NOTE: All dimensions are shown in millimeters

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& REZONING

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project name Caledonia Victoria BC	
document View Analysis	
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	sheet of 3





LOOKING SOUTH - GLADSTONE AVENUE



LOOKING EAST - NORTH PARK STREET




LOOKING EAST - VINING STREET

3	2010/08	ISSUED FOR COTW
2	2009/11/5	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A310 View Analysis view
drawn by	NLC	checked by RAW
scale	n.l.s.	project number 1907

NOTE: All dimensions are shown in millimeters

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project name Caledonia Victoria BC	
Perspective Studies	
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	sheet no. 3





TOWNHOUSES - AT GLADSTONE AVENUE



APARTMENT - AT GRANT STREET



INTERIOR COURTYARD - LOOKING NORTH




PLAYGROUND & AMENITY AREA - LOOKING NORTH

3	2010/08	ISSUED FOR COTW
2	2010/11	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A310 View Analysis view
drawn by	NLC	checked by RAW
scale	N.T.S.	project number 1907

NOTE: All dimensions are shown in millimeters.

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& REZONING**

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project name Caledonia Victoria BC	
Perspective Studies	
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	sheet no. 3





1 Context Elevations  
A313 Scale: 1: 300

3	20102006	ISSUED FOR COTW
1	1912116	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
1912116	1912116	drawing file: 1907 A308 Streetscape Elevations.vrx
Drawn by	FWP/NLC	checked by: RAW
Scale	AS SHOWN	project number: 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

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VICTORIA OFFICE  
977 Fort Street  
Victoria BC V8V 3K3  
T 1-250-658-3367

**NANAIMO OFFICE**  
102-5190 Dukin Way  
Nanaimo BC V9T 2K6  
T 1-250-585-5810

project name  
**Caledonia**  
Victoria BC

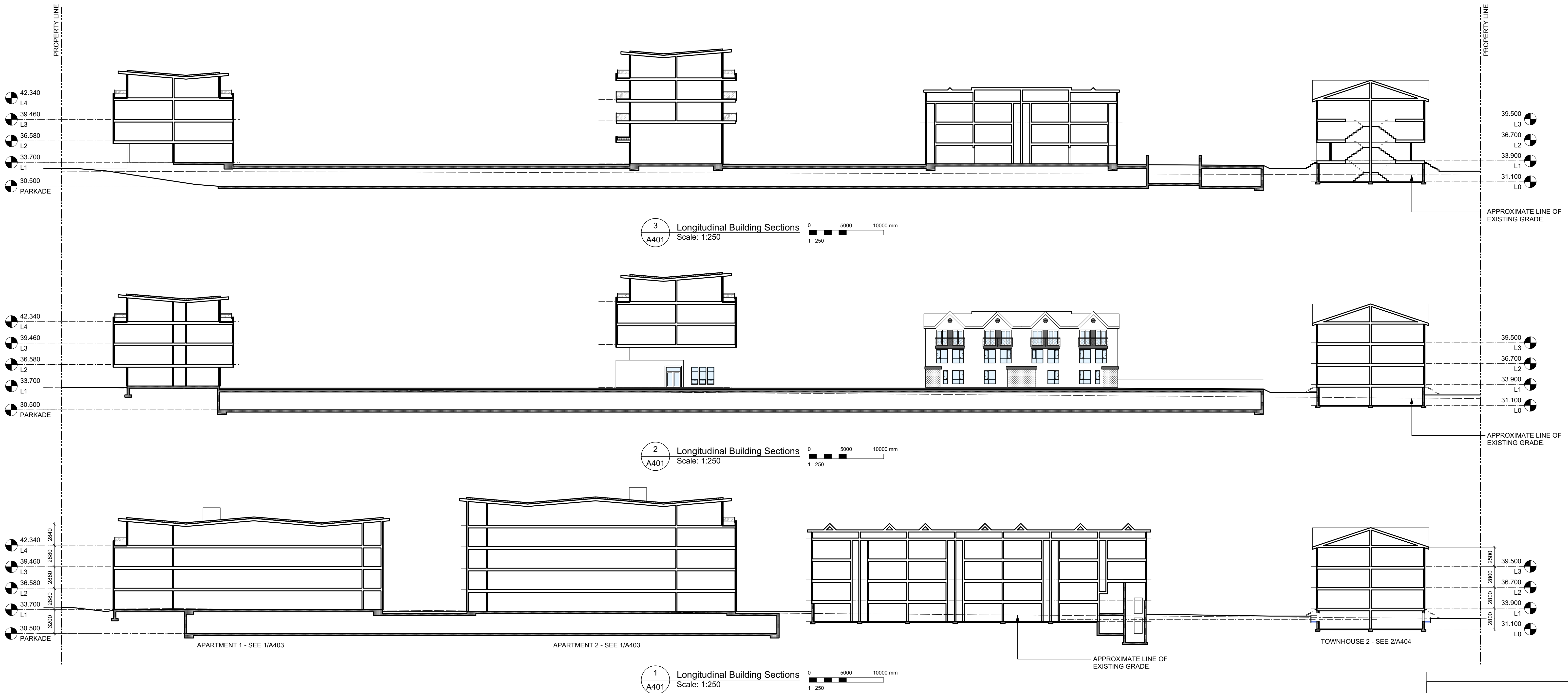
drawing title  
**Streetscape Elevations**

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revision no.  
**A313**

revision no.  
**3**






3	2010/08	ISSUED FOR COTW
2	2011/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

**dHKarchitects**

VICTORIA OFFICE  
977 Fort Street  
Victoria BC V8V 3K3  
T 1-250-608-3367

NANAIMO OFFICE  
102-5190 Dublin Way  
Nanaimo BC V9T 2K6  
T 1-250-585-5810

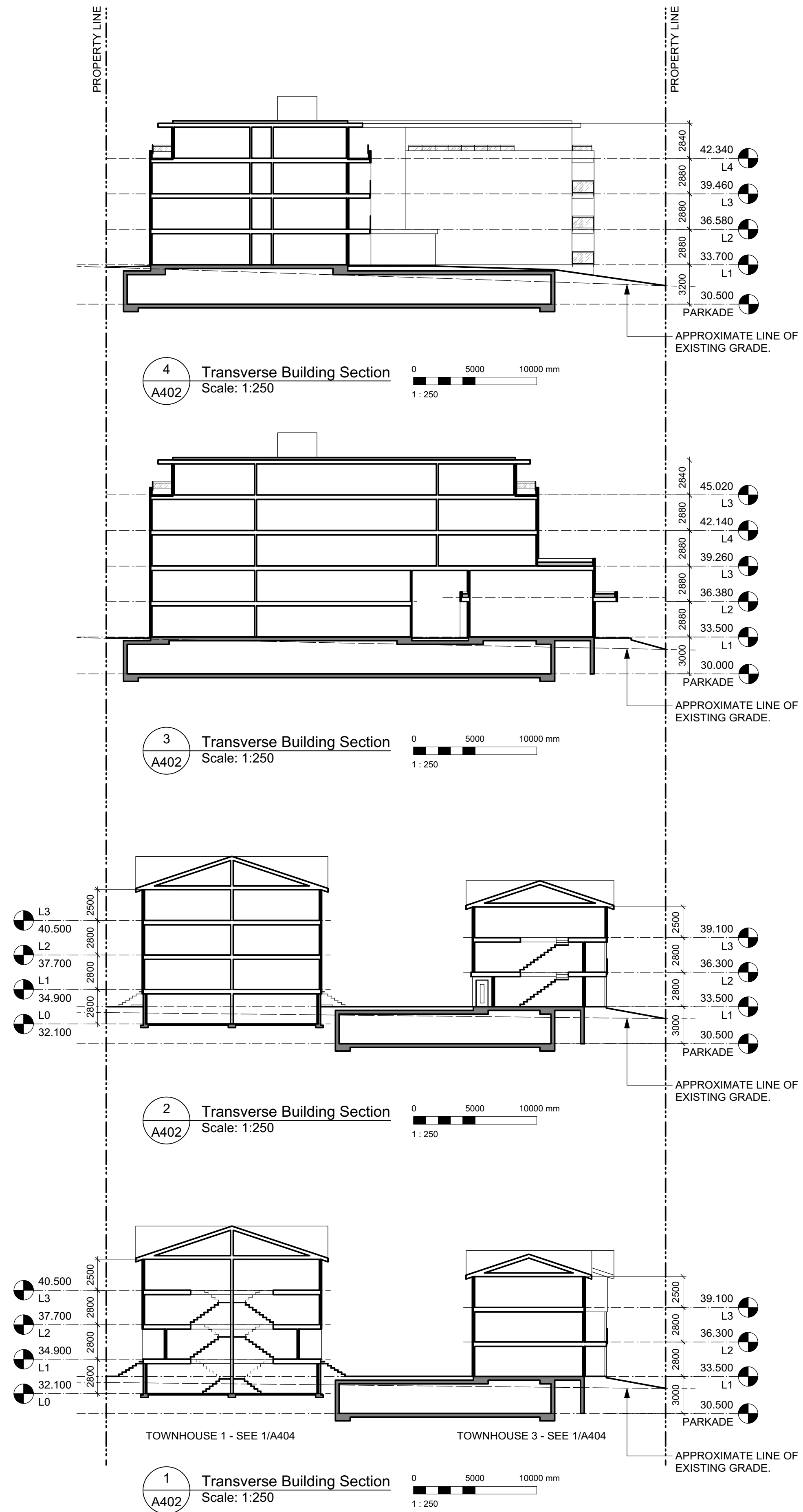
project name  
**Caledonia**  
Victoria BC

drawing no.  
**Building Sections**  
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sheet no.  
**A401**

sheet no.  
**3**






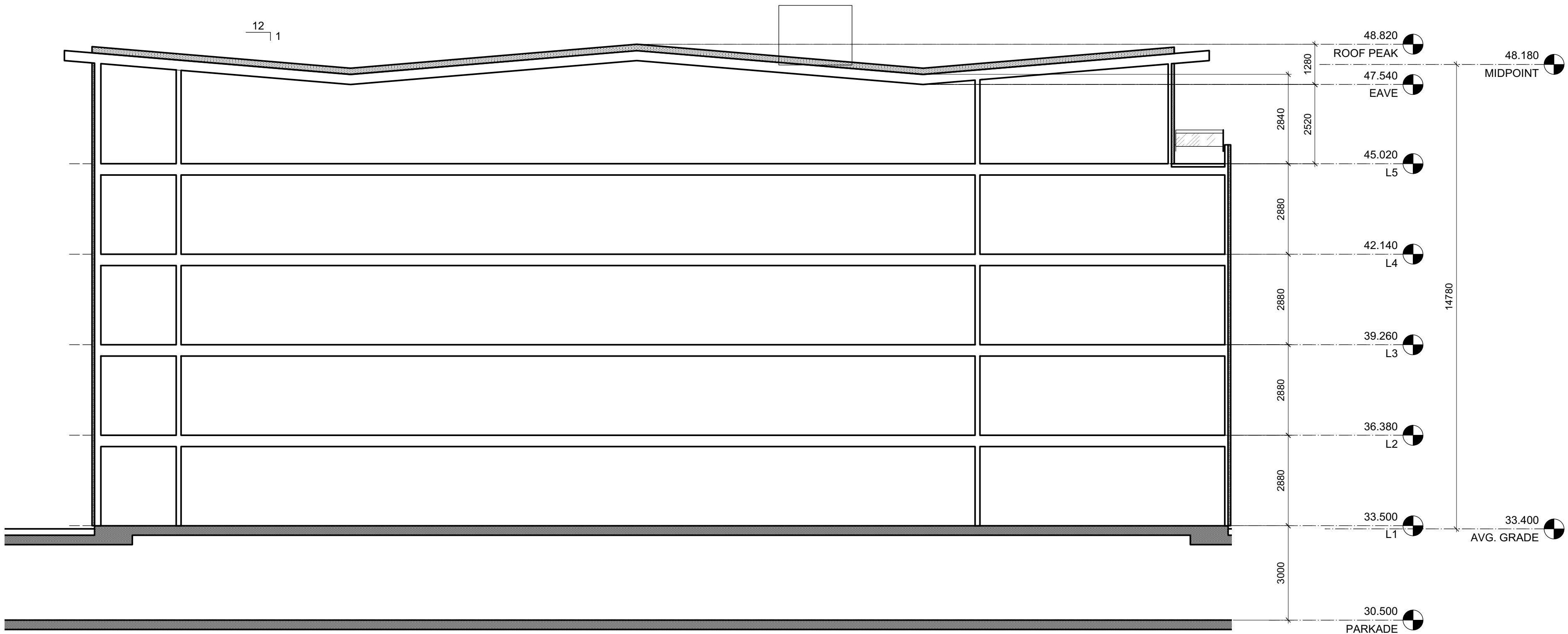
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2	2011/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

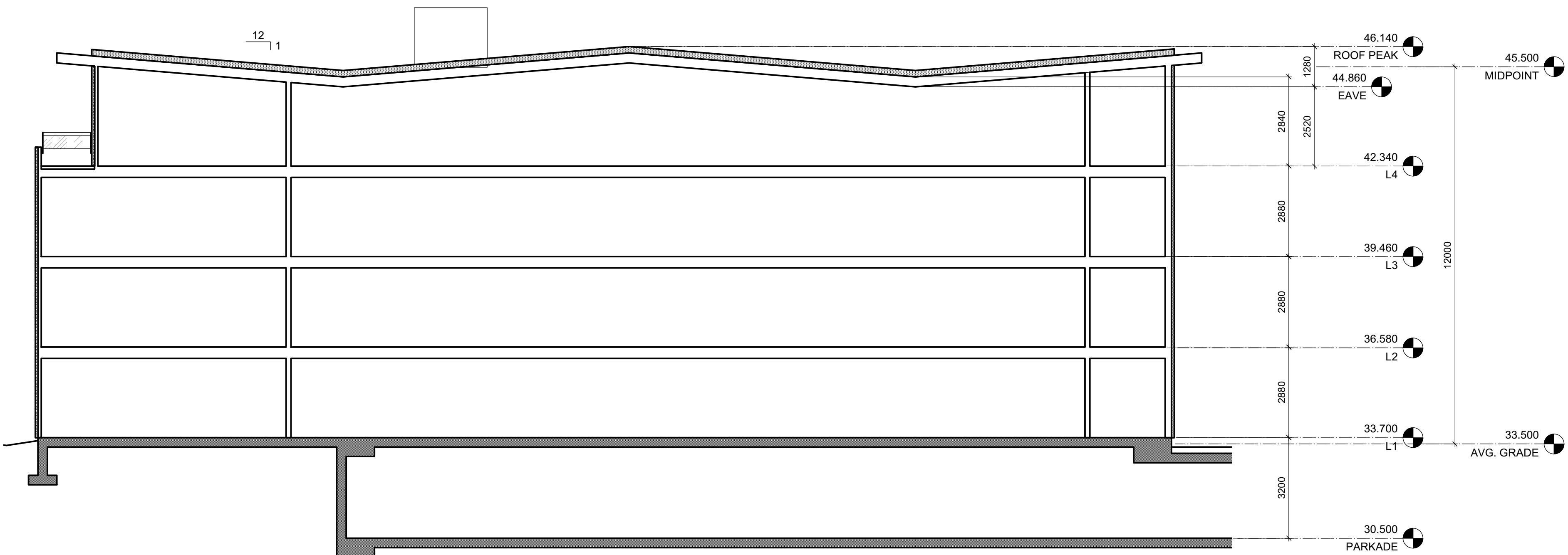
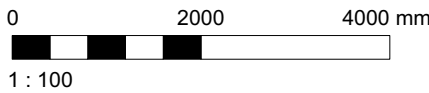
ISSUED FOR DP  
& REZONING

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VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	drawing no. A402 sheet no. 3
Building Sections	
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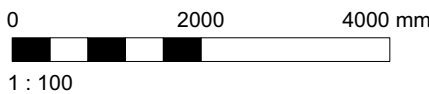




2 Apartment 2 Building Section  
A403 Scale: 1:100



1 Apartment 1 Building Section  
A403 Scale: 1:100





16. NEW SHEET.

3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

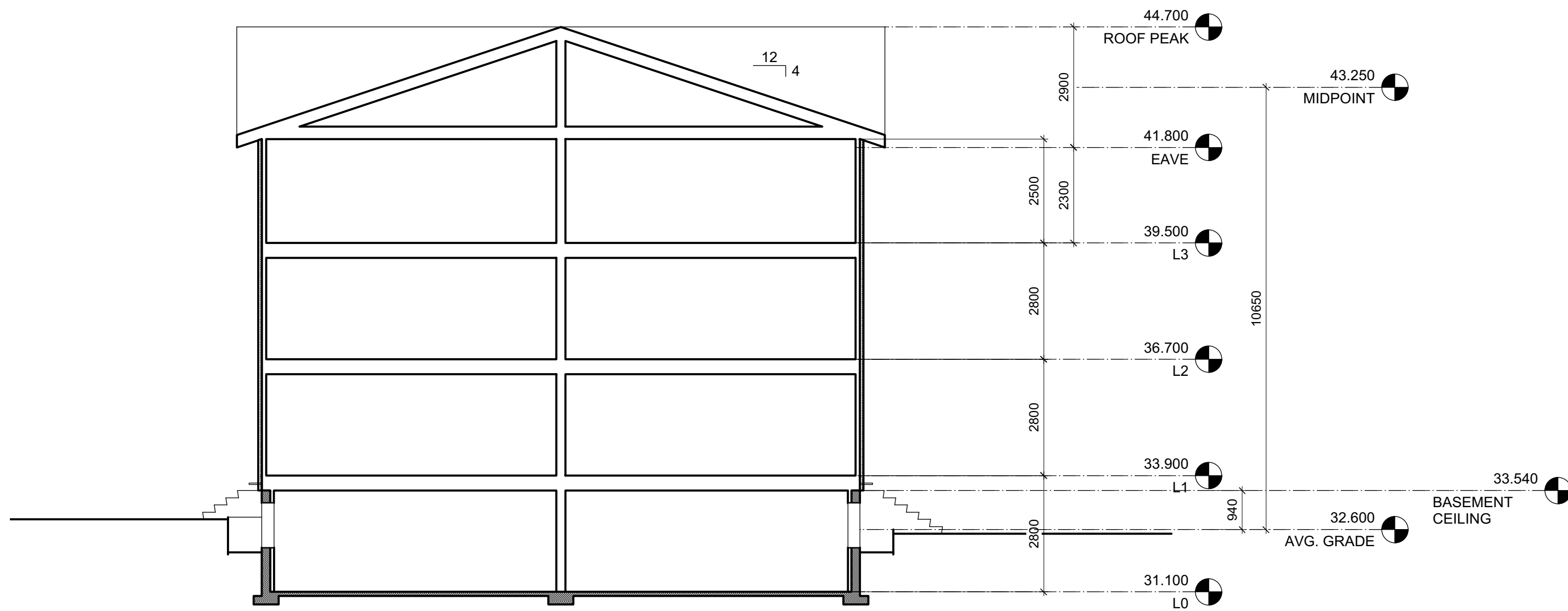
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ISSUED FOR DP  
& REZONING

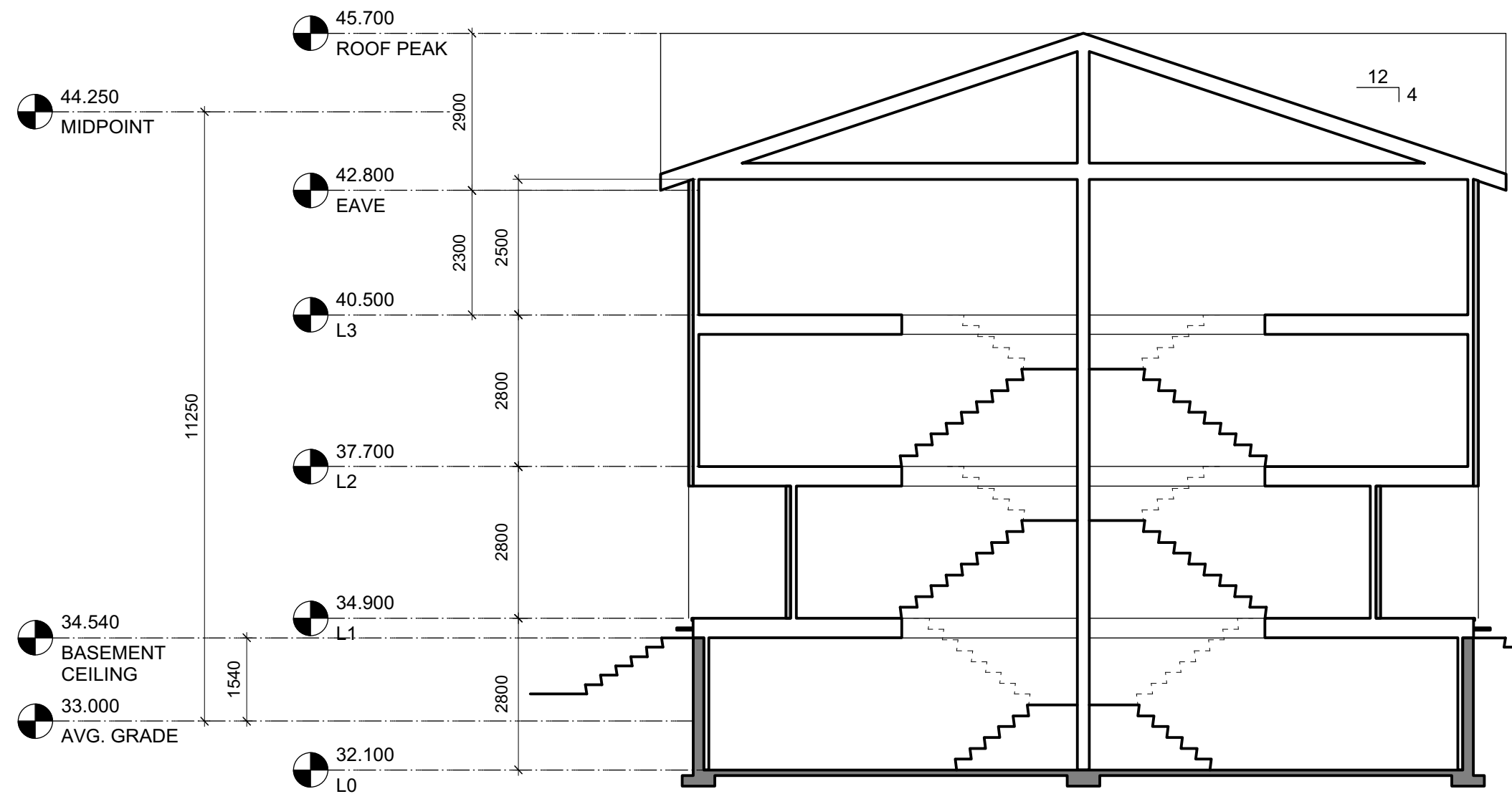
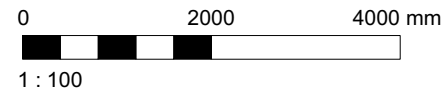
 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	drawing no. A403
Building Sections	sheet no. 3

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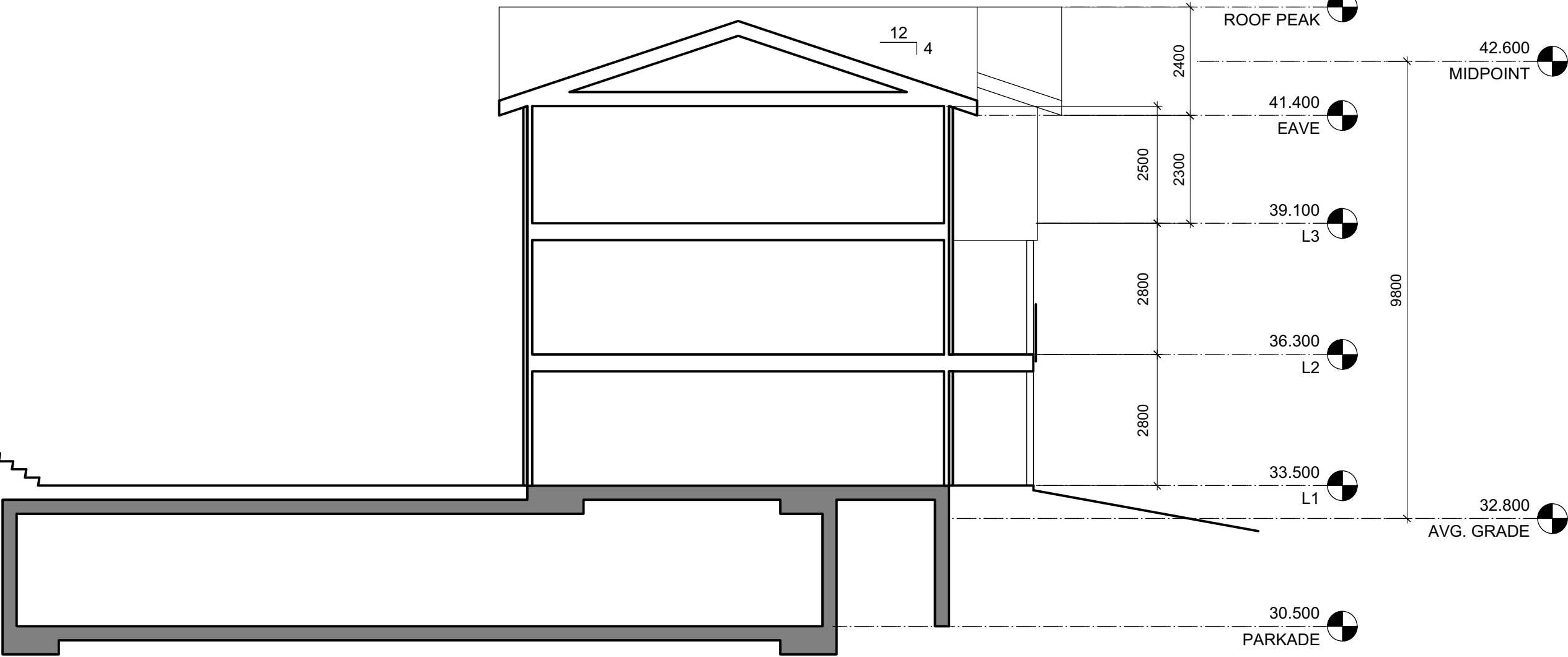
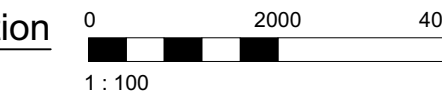




2 Townshouse 2 Building Section  
A404 Scale: 1:100



1 Townhouses 1 & 3 Building Section  
A404 Scale: 1:100




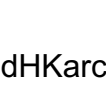
16. NEW SHEET.

Rev	Date	Description
3	2010/08	ISSUED FOR COTW
2	2010/11	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

drawn by	FWP	checked by	RAW
scale	AS SHOWN	project number	1907

NOTE: All dimensions are shown in millimeters.

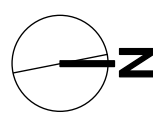
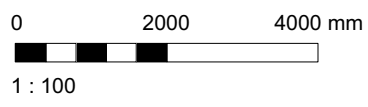
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& REZONING**

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	
Building Sections	
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sheet no. 3	

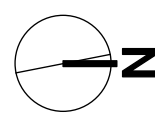
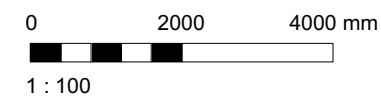




2 L1 Plan - Apartment 1  
Scale: 1:100



1 L1 Plan - Apartment 2  
Scale: 1:100



- GRAPHIC LEGEND:
- STUDIO
  - 1 BEDROOM
  - 2 BEDROOM
  - 3 BEDROOM
  - 4 BEDROOM
  - ACCESSIBLE

Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vxd
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

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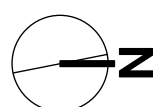
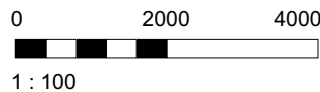
 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	drawing no. A601
drawing title L1 Plan - Apartments	sheet no. 3

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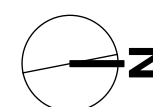
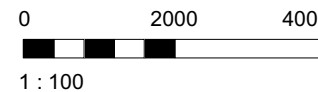




2 L2 Plan - Apartment 1  
Scale: 1:100



1 L2 Plan - Apartment 2  
Scale: 1:100



- GRAPHIC LEGEND:
- STUDIO
  - 1 BEDROOM
  - 2 BEDROOM
  - 3 BEDROOM
  - 4 BEDROOM
  - ACCESSIBLE

3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	Issued for 1907 A200 Plans view
Drawn by	FWP	checked by RAW
Scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

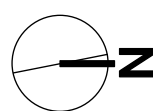
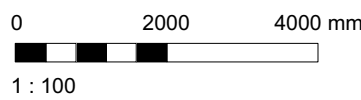
## ISSUED FOR DP & REZONING

	<b>dHKarchitects</b> VICTORIA OFFICE 977 Port Street Victoria BC V8V 3K3 T 1-250-608-3367	<b>NANAIMO OFFICE</b> 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name	Caledonia Victoria BC	
drawing title	L2 Plan - Apartments	
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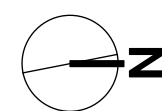
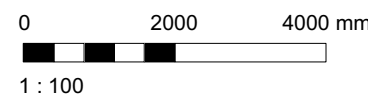




2 L3 Plan - Apartment 1  
Scale: 1:100



1 L3 Plan - Apartment 2  
Scale: 1:100



- GRAPHIC LEGEND:
- STUDIO
  - 1 BEDROOM
  - 2 BEDROOM
  - 3 BEDROOM
  - 4 BEDROOM
  - ACCESSIBLE

3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	Issued for 1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

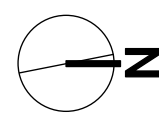
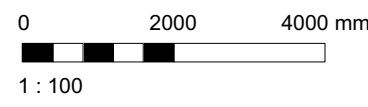
## ISSUED FOR DP & REZONING

	<b>dHKarchitects</b> VICTORIA OFFICE 977 Port Street Victoria BC V8V 3K3 T 1-250-608-3367	<b>NANAIMO OFFICE</b> 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name	Caledonia Victoria BC	
drawing title	L3 Plan - Apartments	
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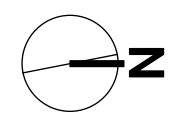
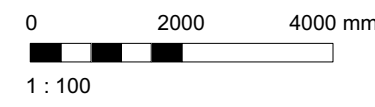




2 L4 Plan - Apartment 1  
Scale: 1:100



1 L4 Plan - Apartment 2  
Scale: 1:100



GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

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project name <b>Caledonia</b> Victoria BC	
project name <b>L4 Plan - Apartments</b>	
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	sheet no. <b>3</b>

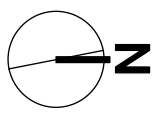




1  
A605

L5 Plan - Apartment 2  
Scale: 1:100

0 2000 4000 mm  
1 : 100




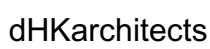
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- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

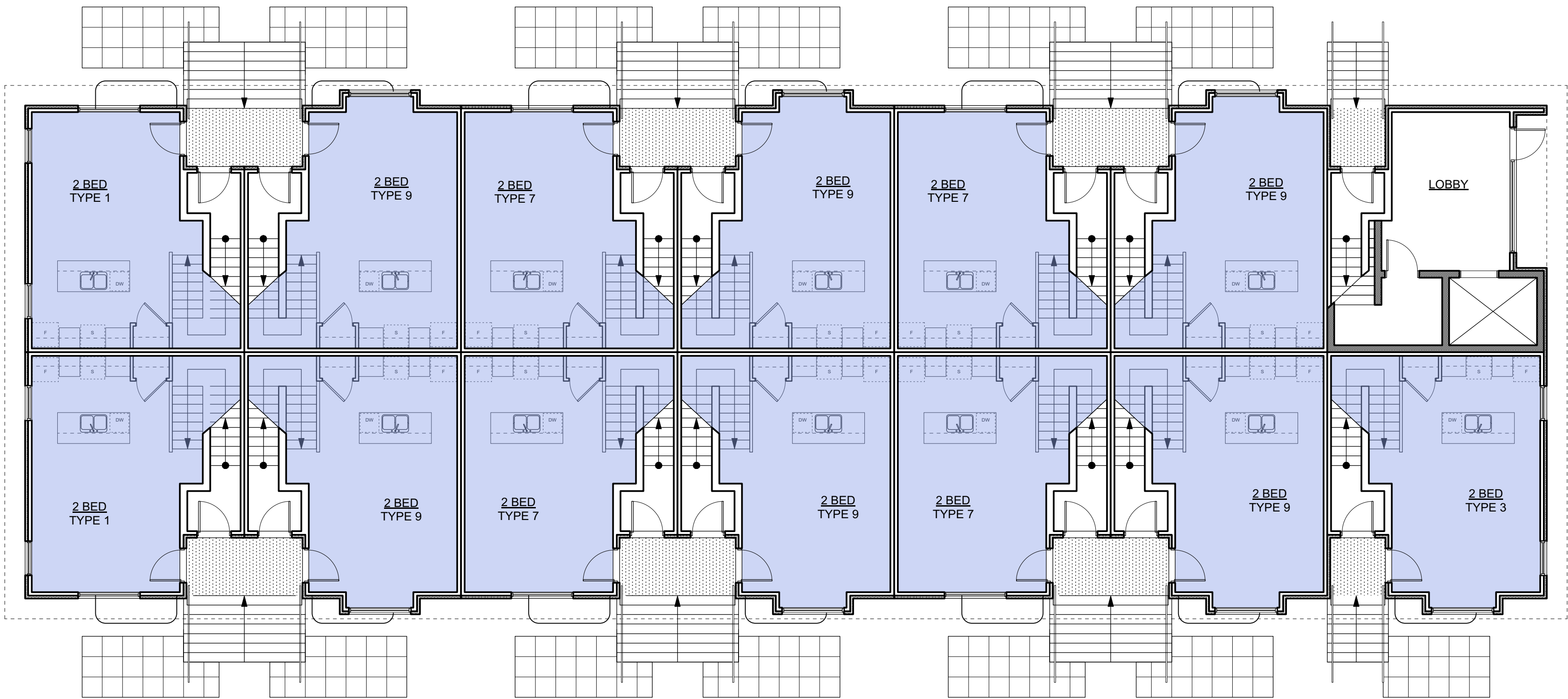
ISSUED FOR DP  
& REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	
drawing title L5 Plan - Apartments	
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	sheet no. 3



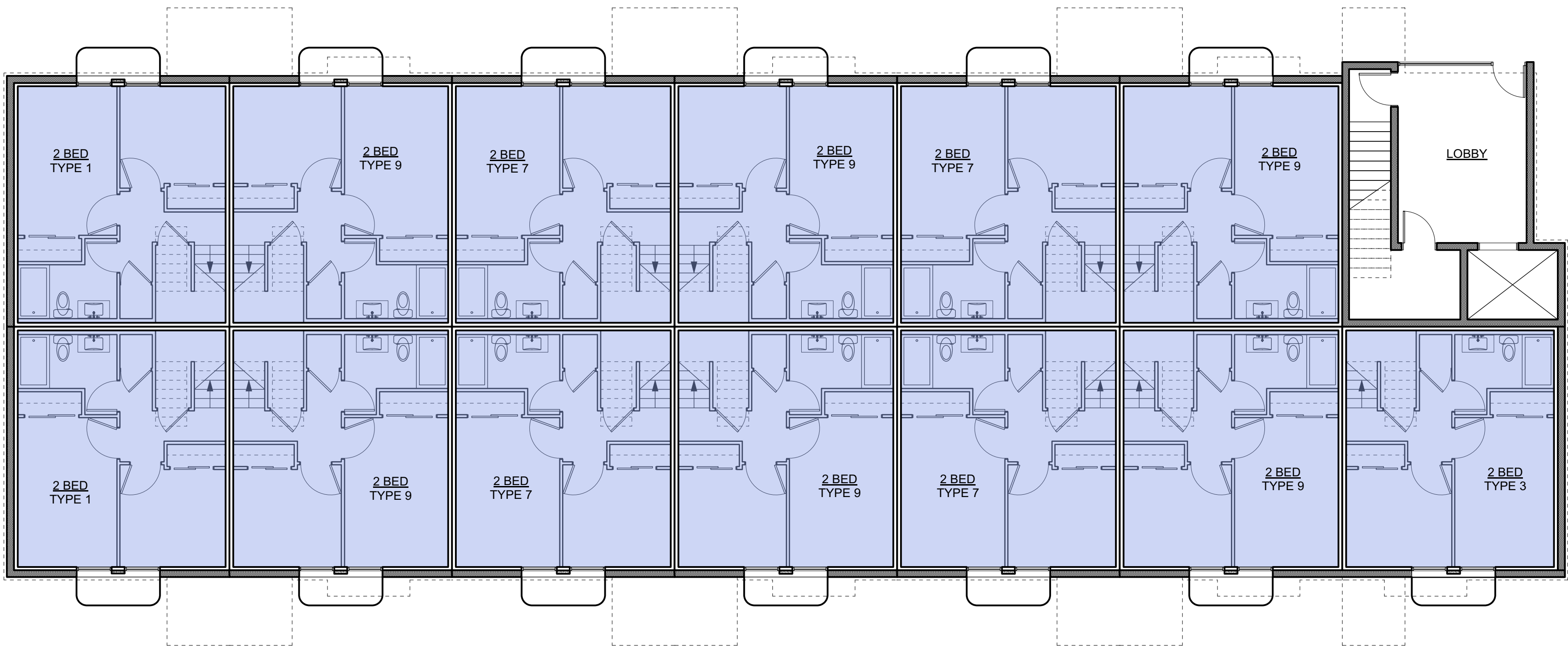
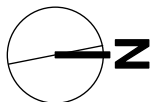
GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



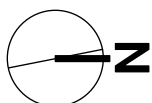
2 L1 Plan  
A606 Scale: 1:100

0 2000 4000 mm  
1:100



1 L0 Plan  
A606 Scale: 1:100

0 2000 4000 mm  
1:100



3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

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& REZONING

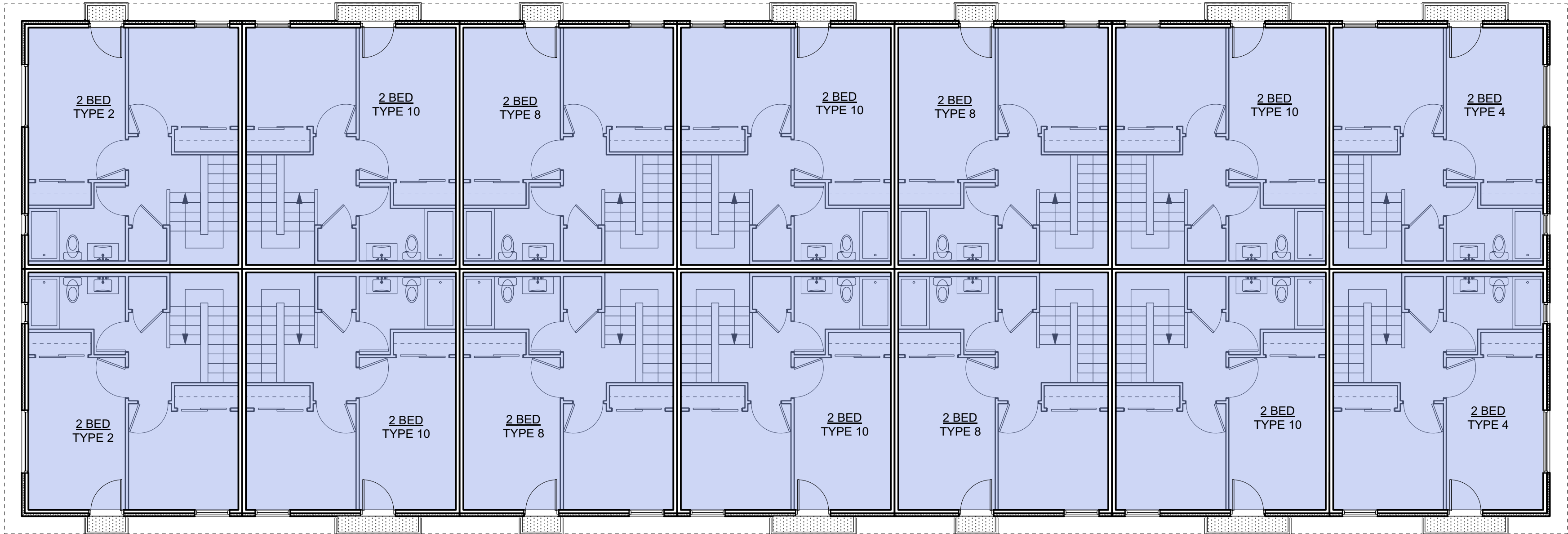
	dHKarchitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	drawing no. A606
drawing no. Townhouse 1	sheet no. 3

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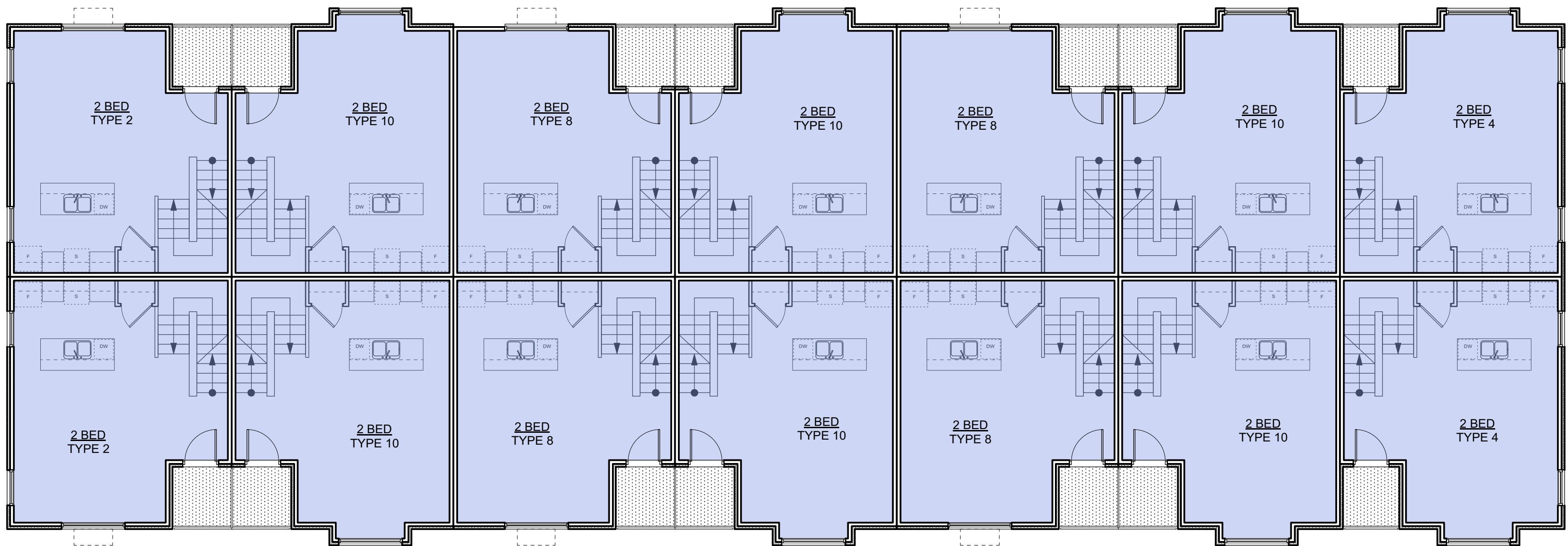
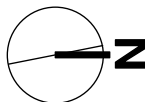
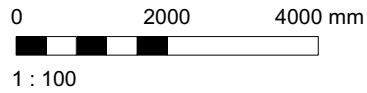


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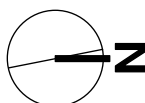
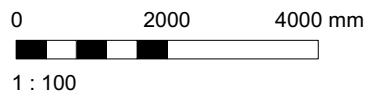
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



2 L3 Plan  
A607 Scale: 1:100



1 L2 Plan  
A607 Scale: 1:100



3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

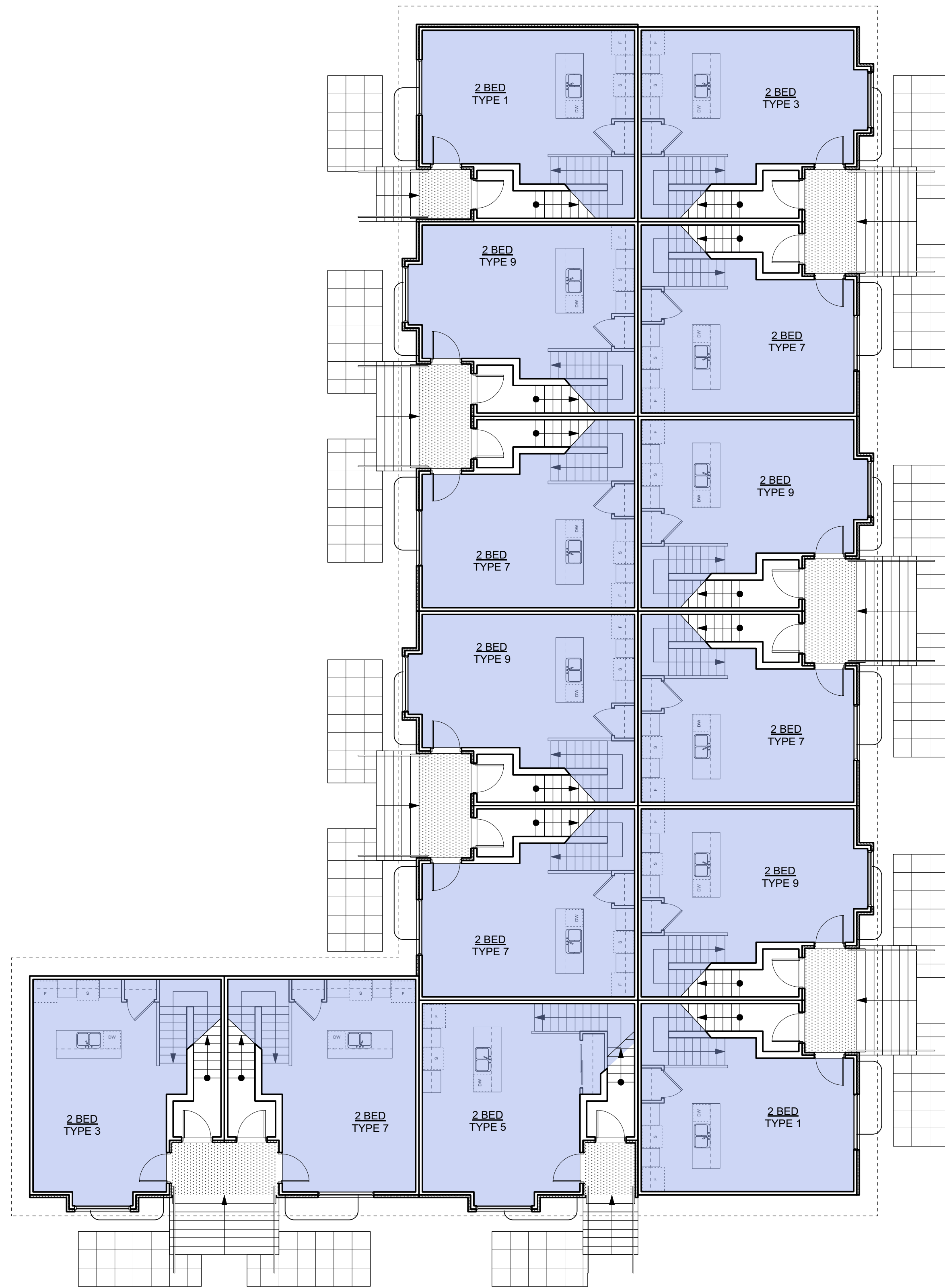
NOTE: All dimensions are shown in millimeters.

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& REZONING

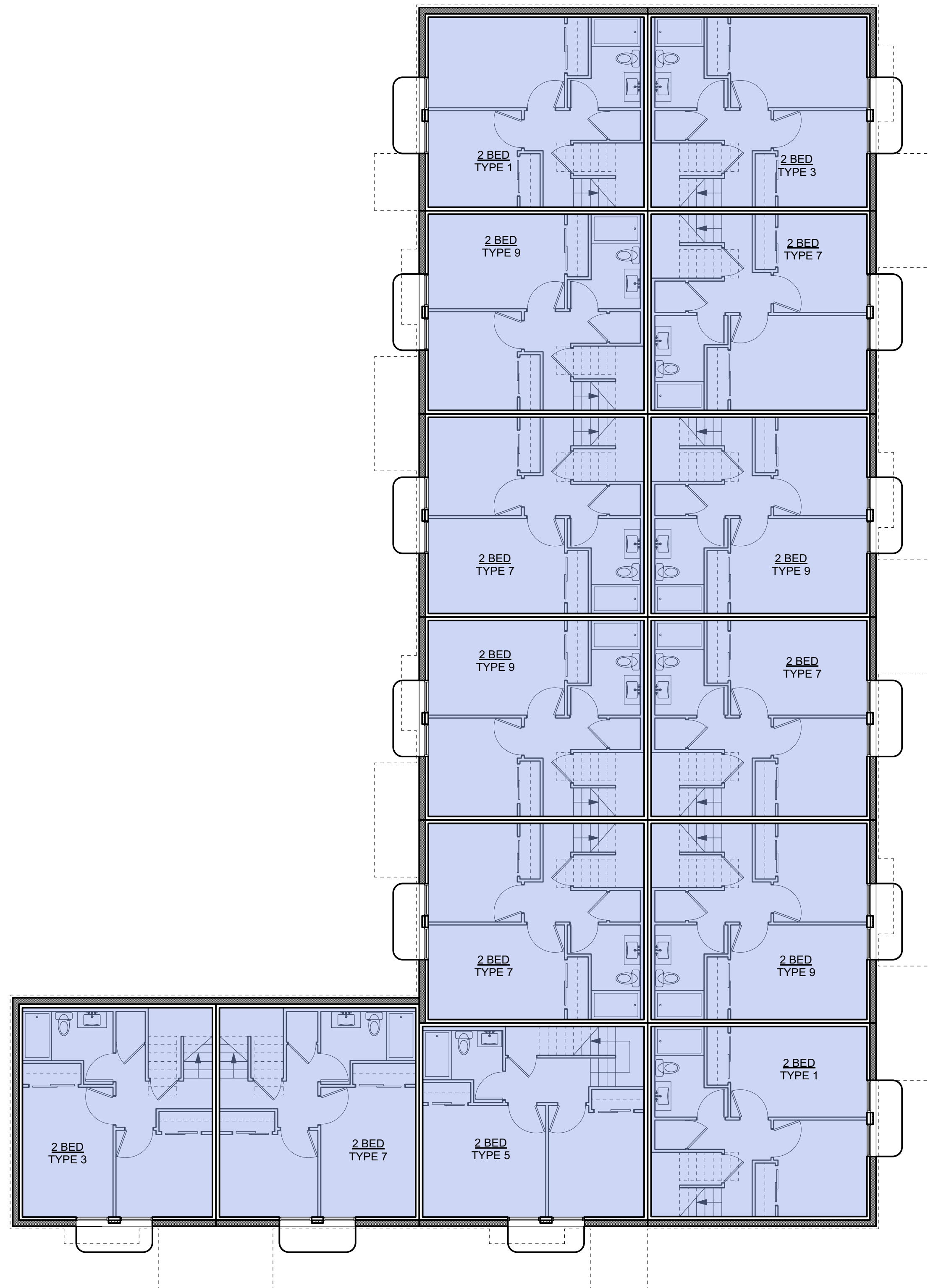
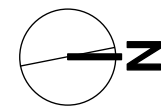
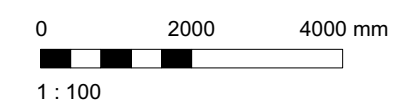
	dHKarchitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	drawing no. A607
drawing title Townhouse 1	sheet no. 3

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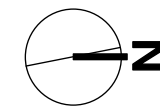
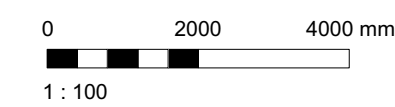




3  
A608



1  
A608



3	20/02/06	ISSUED FOR COTW	
2	20/01/15	ISSUED FOR ADP	
1	19/12/16	RESPONSE TO PLANNING REVIEW	
Rev	Date	Description	
year code	SEPTEMBER 2019		drawing file
drawn by	FWP	checked by	RAW
scale	AS SHOWN	project number	1907

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& REZONING

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**NAMANO OFFICE**  
102-5190 Dublin Way  
Nanaimo BC V8T 2G5  
T +250-585-5810

project name

**Caledonia**

Victoria BC

drawing title

**Townhouse 2**

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PROJECT NO.

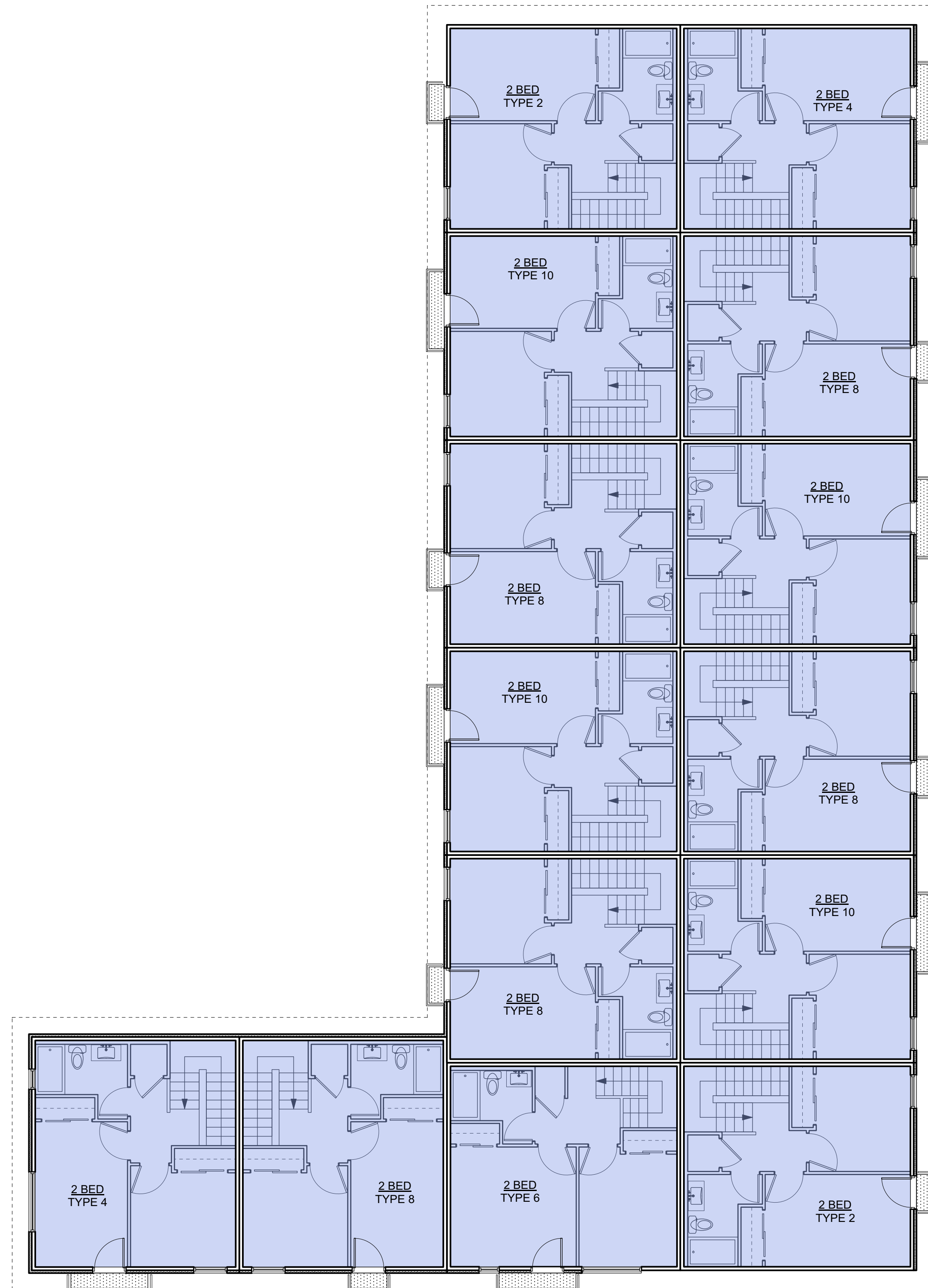
**A608**

VERSION NO.

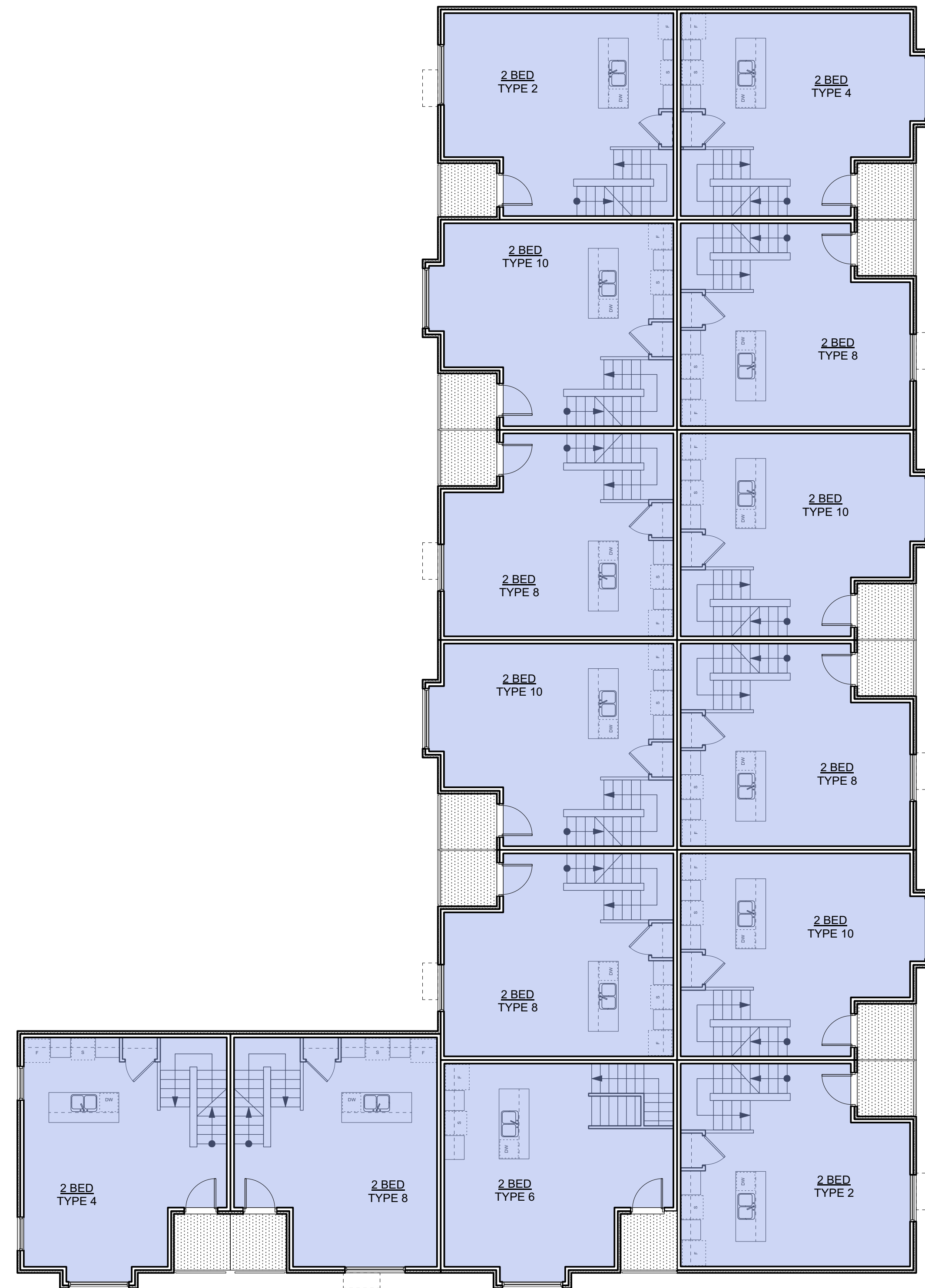
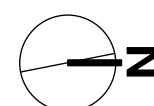
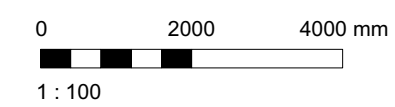
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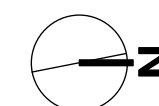
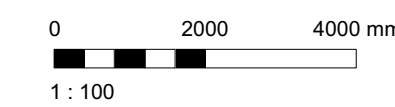
-  STUDIO  
 1 BEDROOM  
 2 BEDROOM  
 3 BEDROOM  
 4 BEDROOM  
 ACCESSIBLE



3 L3 Plan  
A609 Scale: 1:100




1 L2 Plan  
A609 Scale: 1:100



3	20/02/06		ISSUED FOR COTW
2	20/01/15		ISSUED FOR ADP
1	19/12/15		RESPONSE TO PLANNING REVIEW
File	Date	Description	
gnd date	SEPTEMBER 2019	checking file	1907 A200 Plans.vwx
drawn by	FWP	checked by	RAW
scale	AS SHOWN	project number	1907

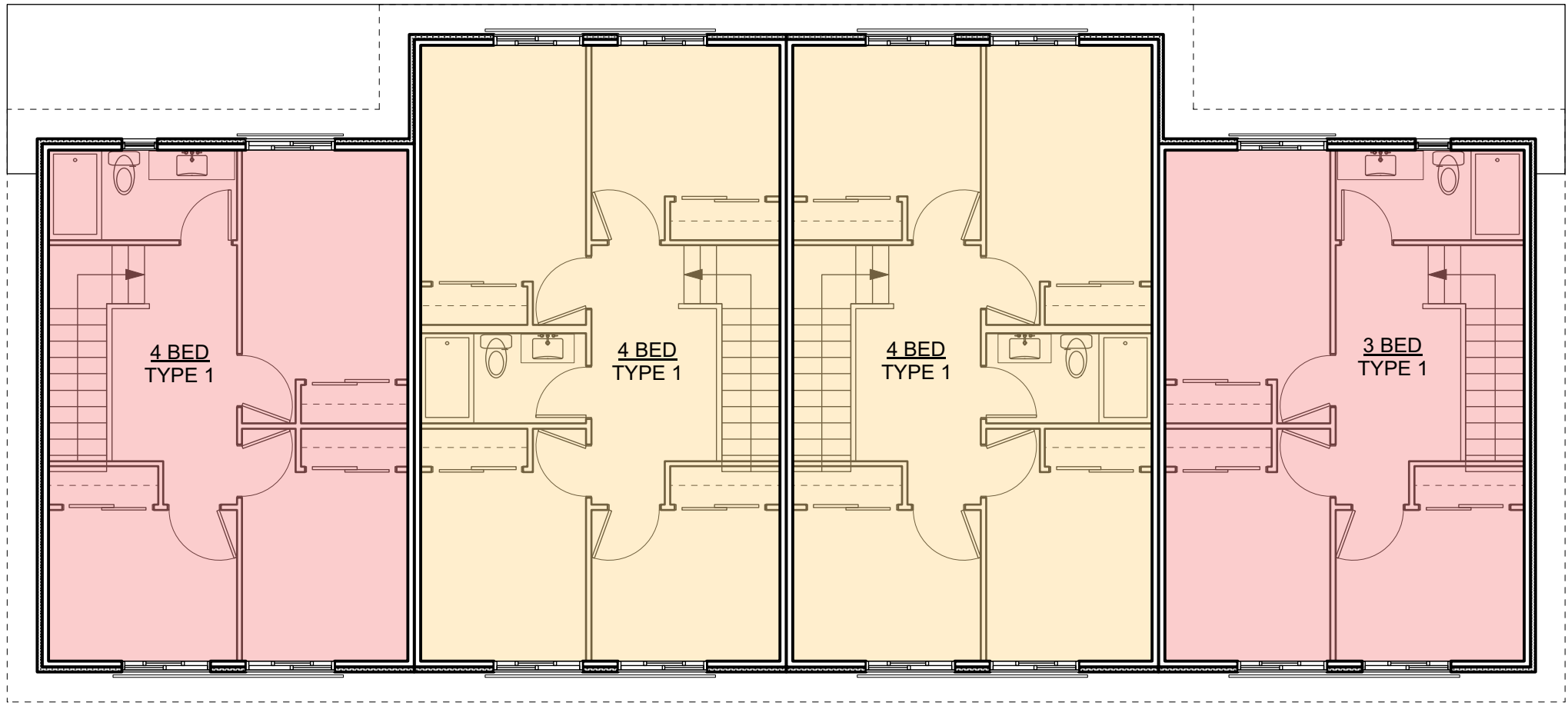
ISSUED FOR DP  
& REZONING

 <p><b>VICTORIA OFFICE</b>        9771 East Street        Victoria BC V8T 2K8        T 1-250-555-8367</p> <p>project name  <b>Caledonia</b>        Victoria BC</p>	<p><b>dHKarchitects</b></p> <p><b>NANAIMO OFFICE</b>        102-5150 Quiln Way        Nanaimo BC V9T 2K8        T 1-250-555-8310</p>
<p>Working On</p> <p><b>Townhouse 2</b></p> <p>CONCEPT - PRELIMINARY DESIGN - PERMITTING AND DESIGNING AND BUILDING ALL TRADES - FINISHING AND INSTALLATION OF THE PROJECT. THESE PLANS AND SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.</p>	<p>Project No.</p> <p><b>A609</b></p> <p>revision No.</p> <p><b>3</b></p>

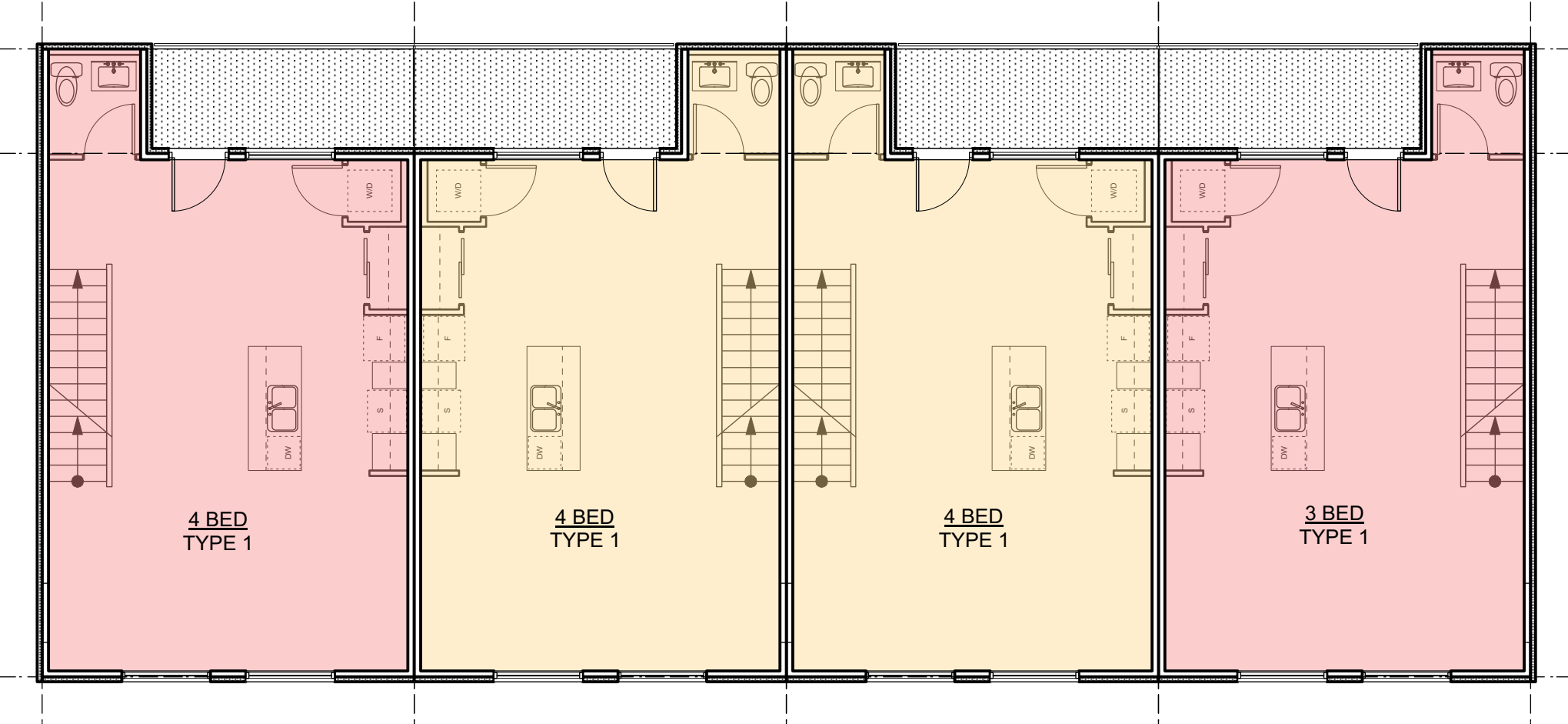


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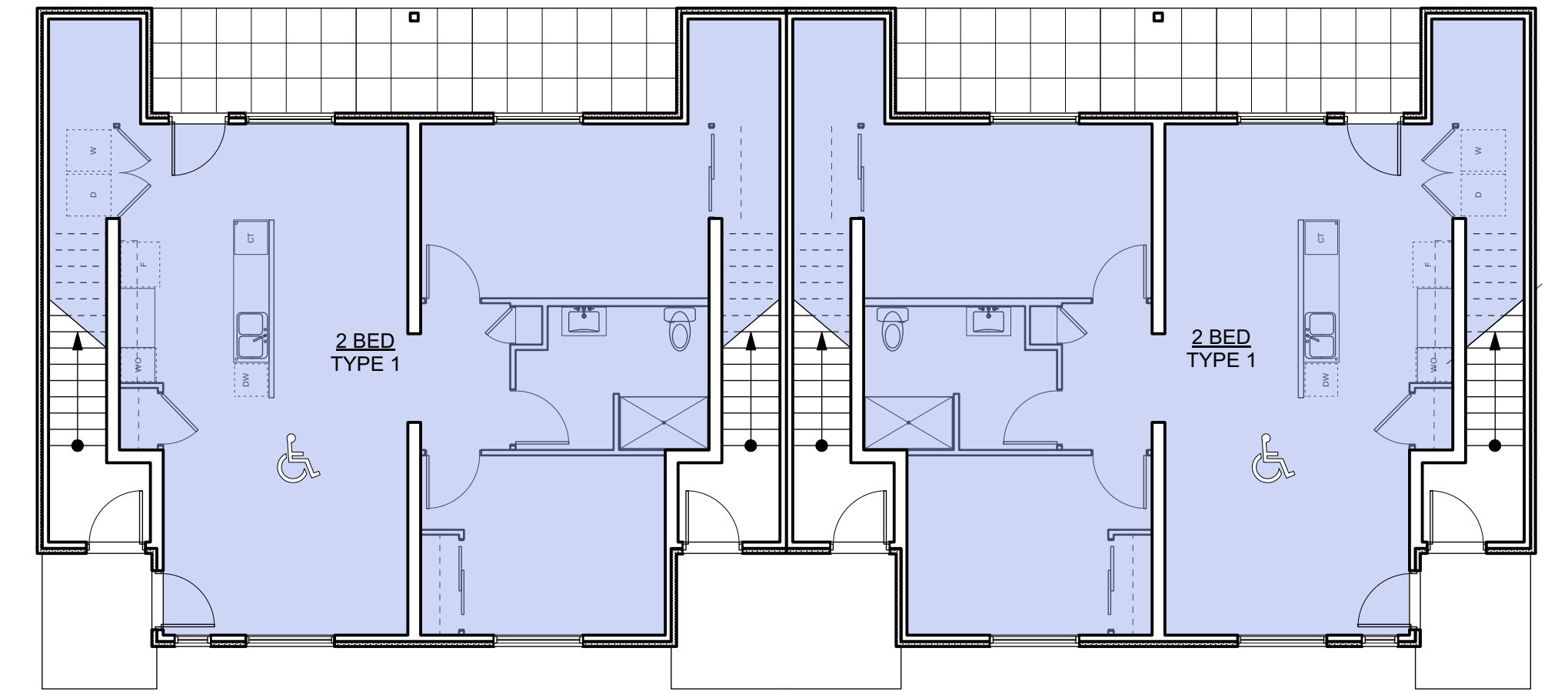
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



3 L3 Plan - Townhouse 3  
Scale: 1:100



2 L2 Plan - Townhouse 3  
Scale: 1:100




1 L1 Plan - Townhouse 3  
Scale: 1:100

3	2010/08	ISSUED FOR COTW
2	2010/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

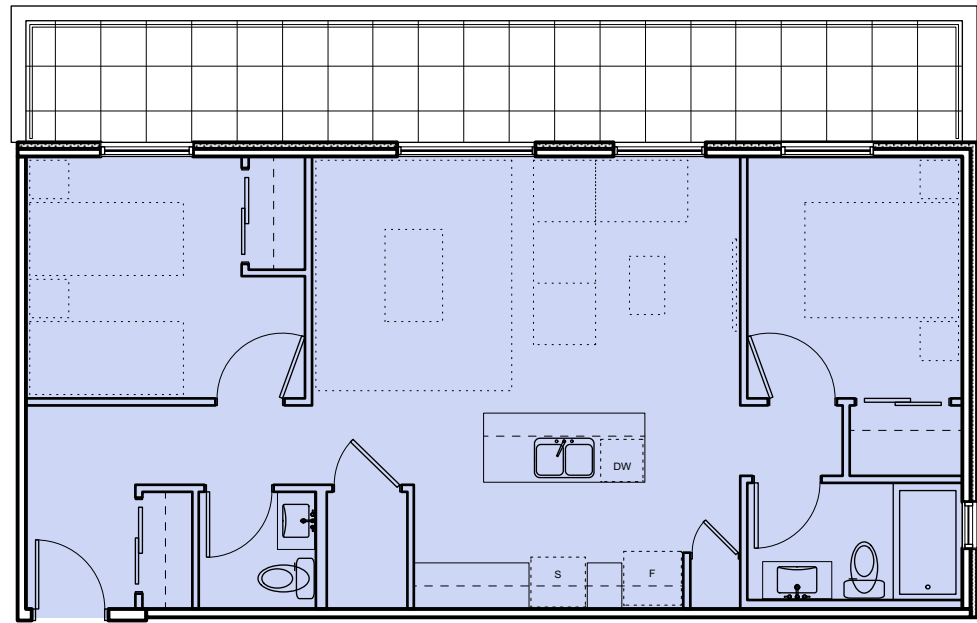
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& REZONING

	<b>dHKarchitects</b>
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name <b>Caledonia</b> Victoria BC	drawing no. <b>Townhouse 3</b>
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	sheet no. <b>3</b>

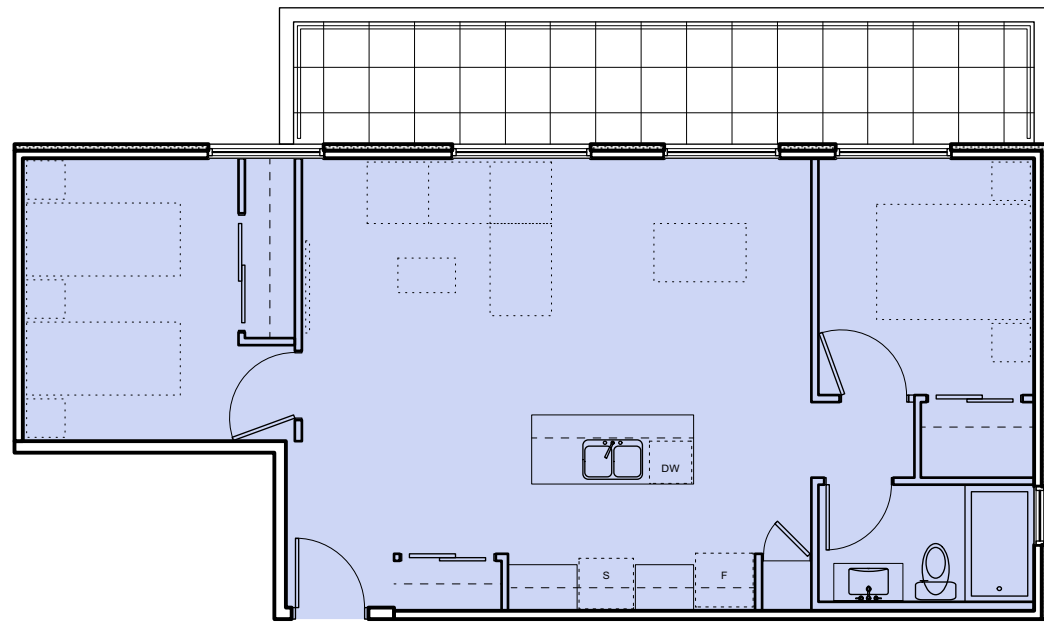


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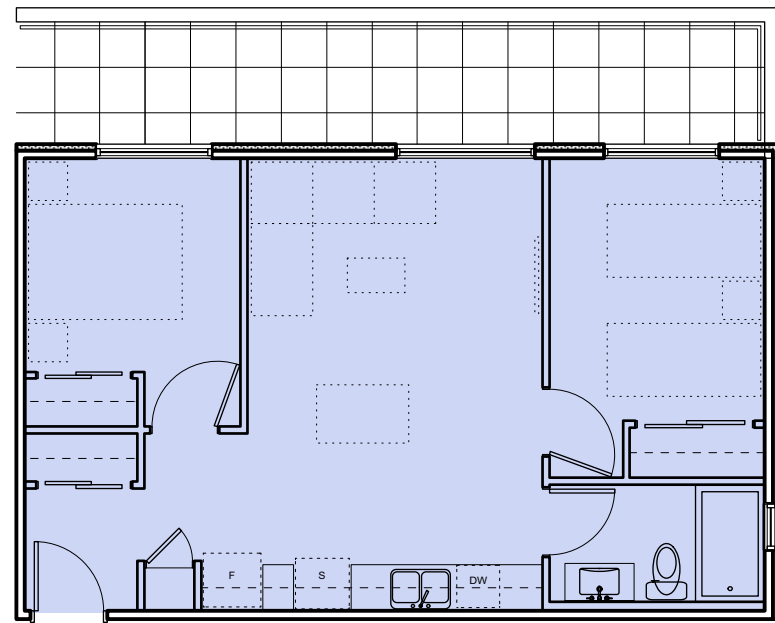
- STUDIO
- 1 BEDROOM
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- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



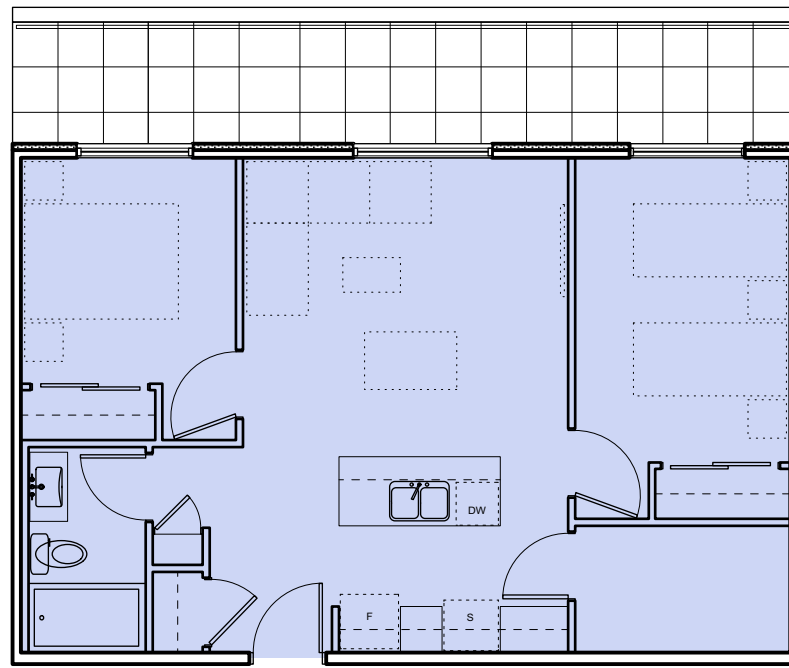
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QUANTITY 1  
14 2 Bed Type 7  
A701 Scale: 1:100



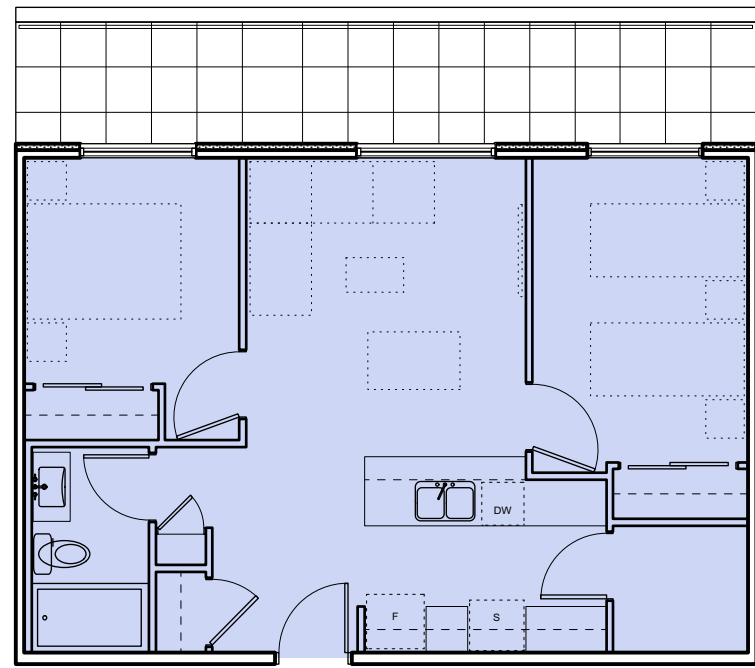
AREA 76 SM  
QUANTITY 1  
13 2 Bed Type 6  
A701 Scale: 1:100



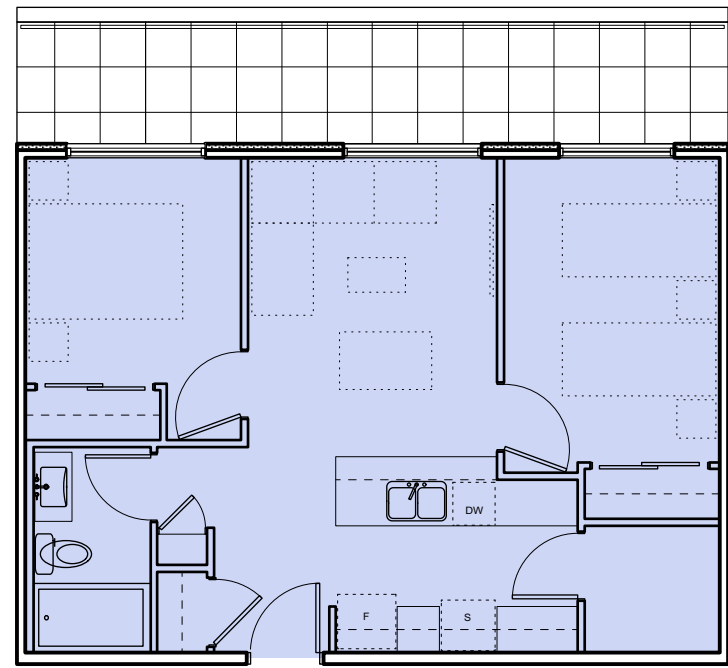
AREA 61 SM  
QUANTITY 3  
12 2 Bed Type 5  
A701 Scale: 1:100



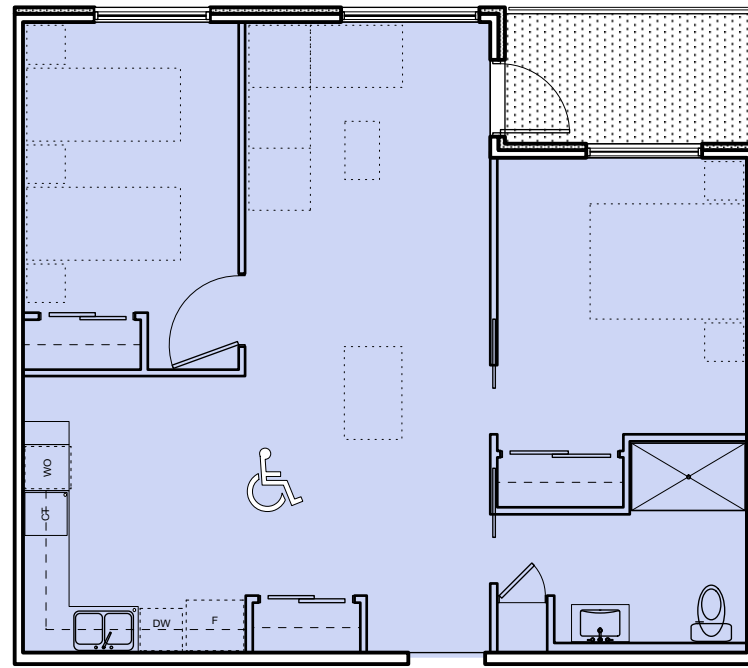
AREA 70 SM  
QUANTITY 4  
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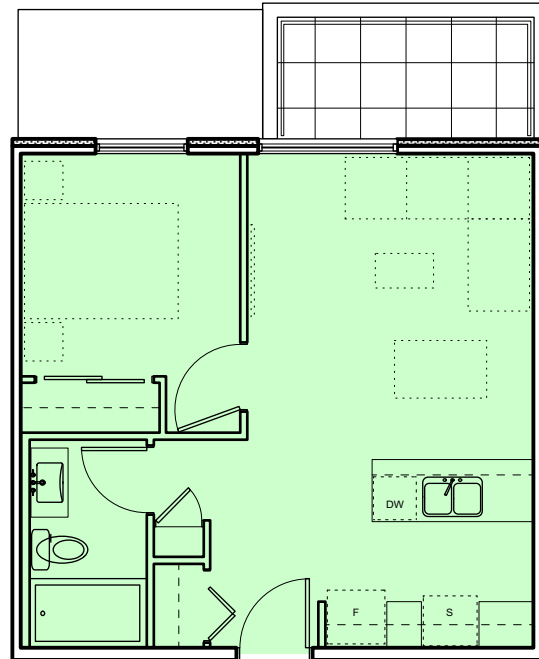
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A701 Scale: 1:100



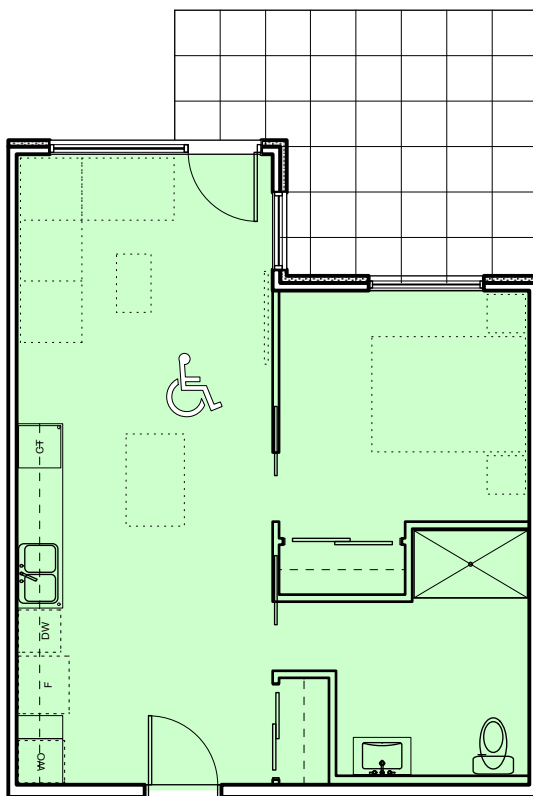
AREA 63 SM  
QUANTITY 2  
9 2 Bed Type 2  
A701 Scale: 1:100



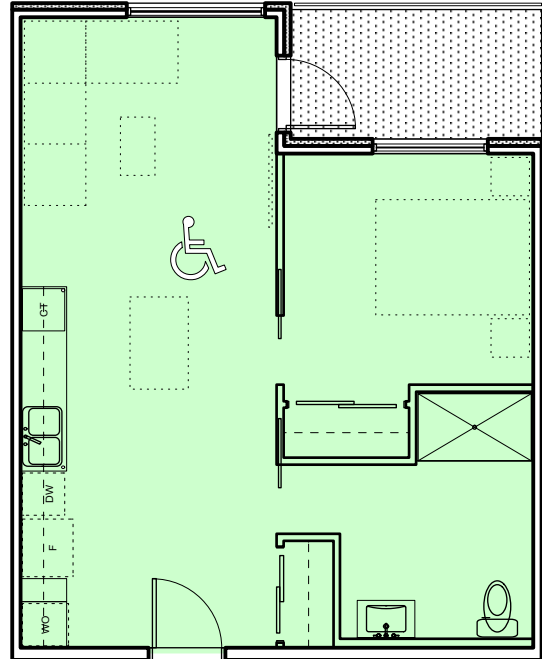
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QUANTITY 5  
8 2 Bed Type 1 - Accessible  
A701 Scale: 1:100



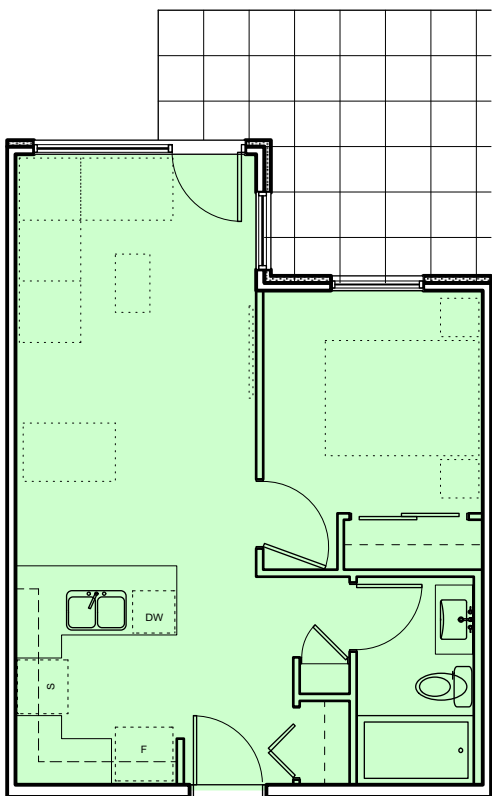
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QUANTITY 2  
7 1 Bed Type 3  
A701 Scale: 1:100



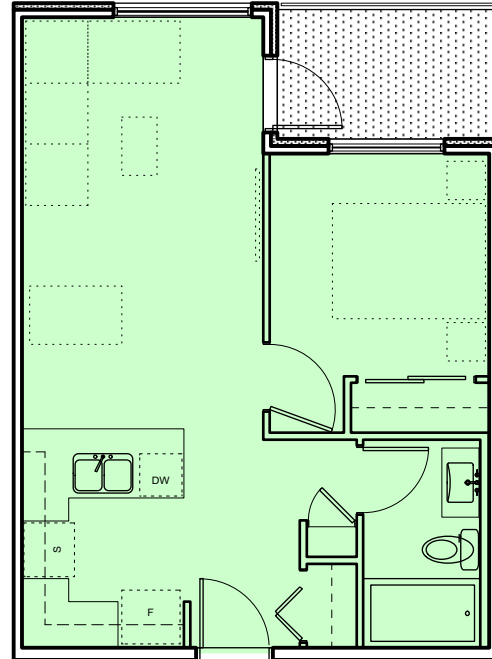
AREA 53 SM  
QUANTITY 2  
6 1 Bed Type 2B - Accessible  
A701 Scale: 1:100



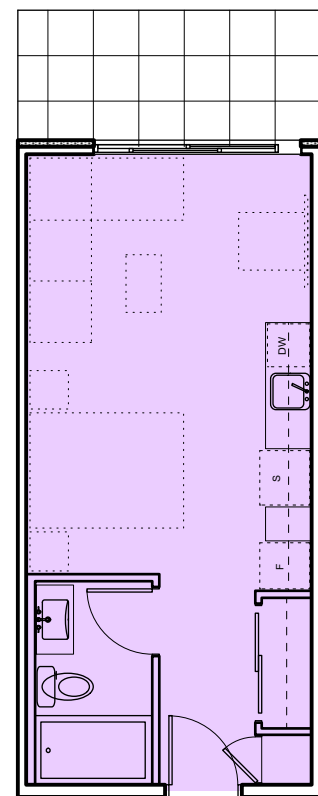
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A701 Scale: 1:100



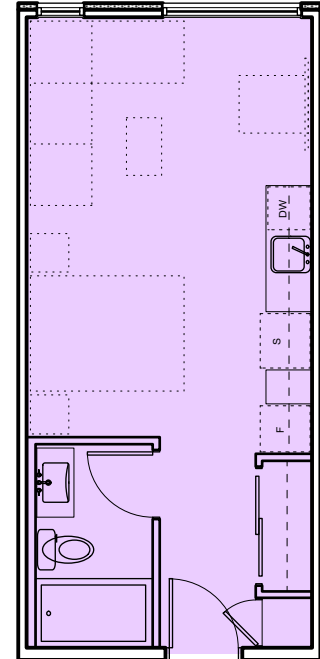
AREA 49 SM  
QUANTITY 4  
4 1 Bed Type 1B  
A701 Scale: 1:100



AREA 49 SM  
QUANTITY 32  
3 1 Bed Type 1A  
A701 Scale: 1:100



AREA 34 SM  
QUANTITY 4  
2 Studio Type 1B  
A701 Scale: 1:100



AREA 34 SM  
QUANTITY 10  
1 Studio Type 1A  
A701 Scale: 1:100

0 2000 4000 mm  
1 : 100

3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

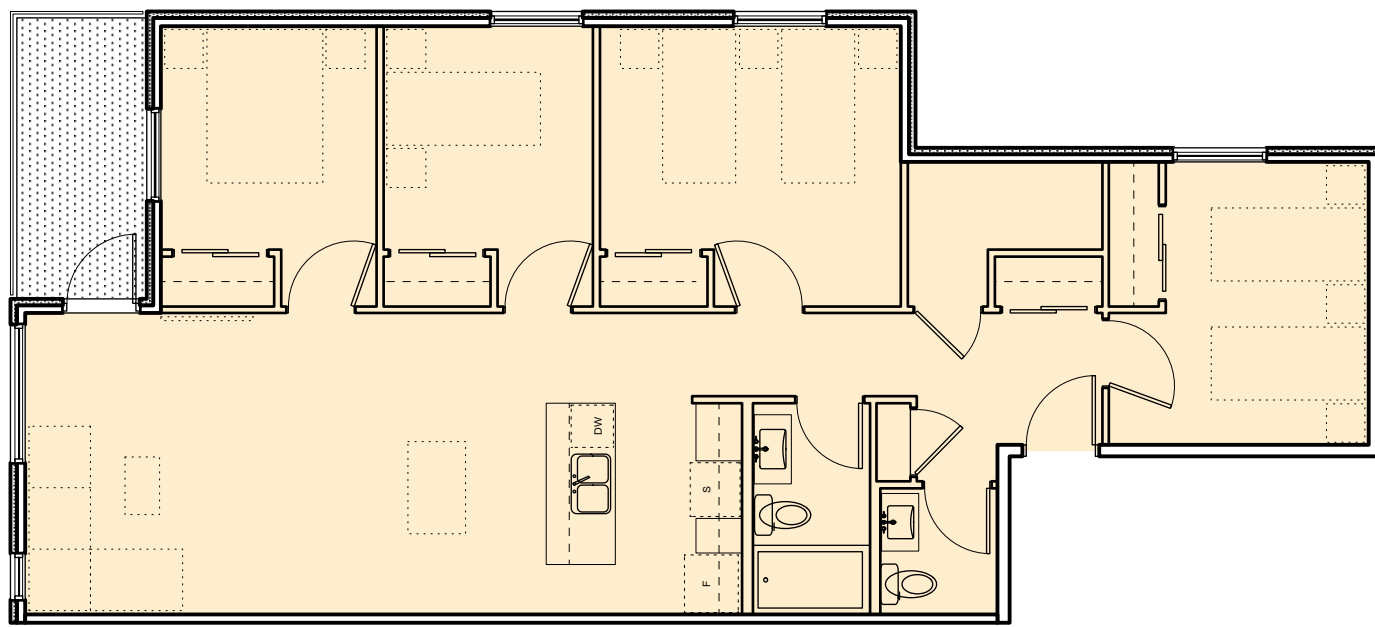
ISSUED FOR DP  
& REZONING

	<b>dHKarchitects</b>
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5198 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name <b>Caledonia</b> Victoria BC	drawing title <b>Apartment Unit Plans</b>
drawing no. <b>A701</b>	sheet no. <b>3</b>

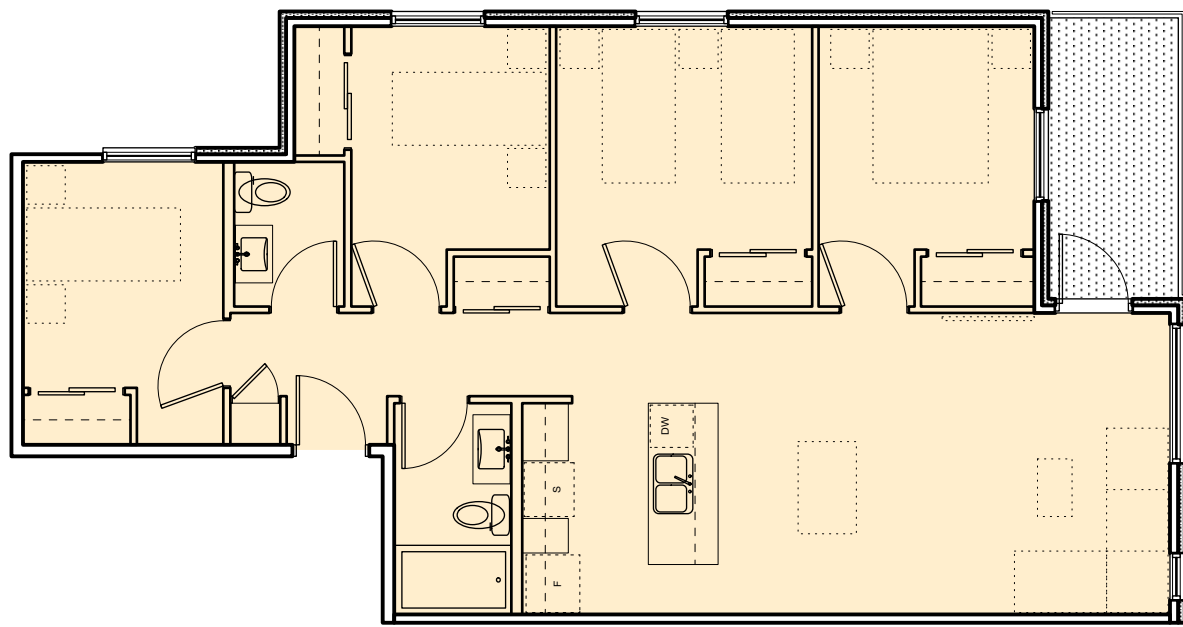


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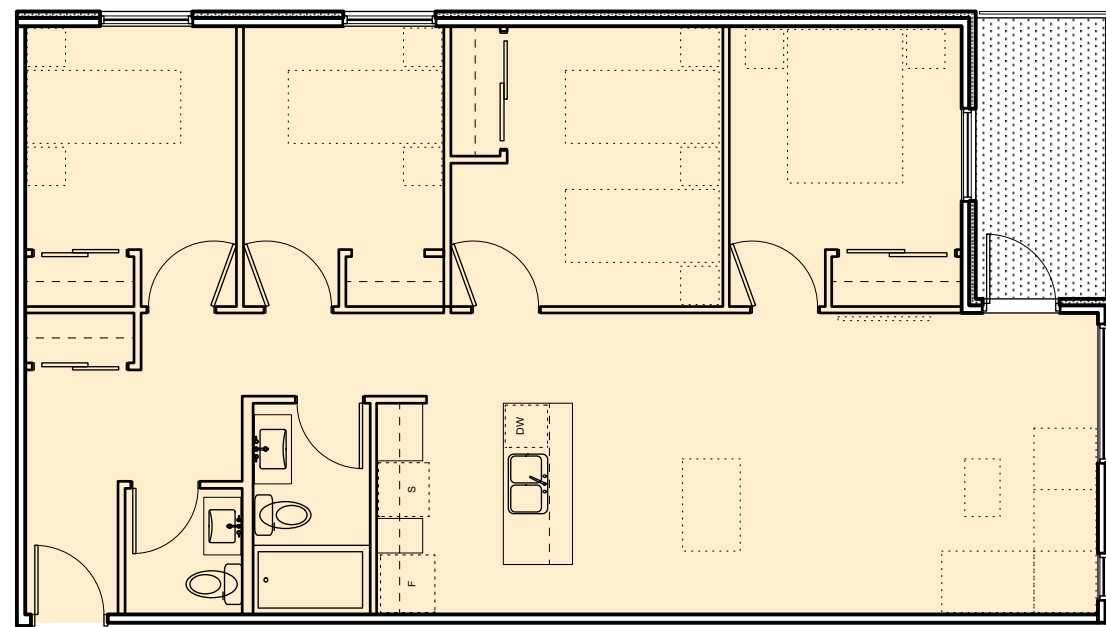
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



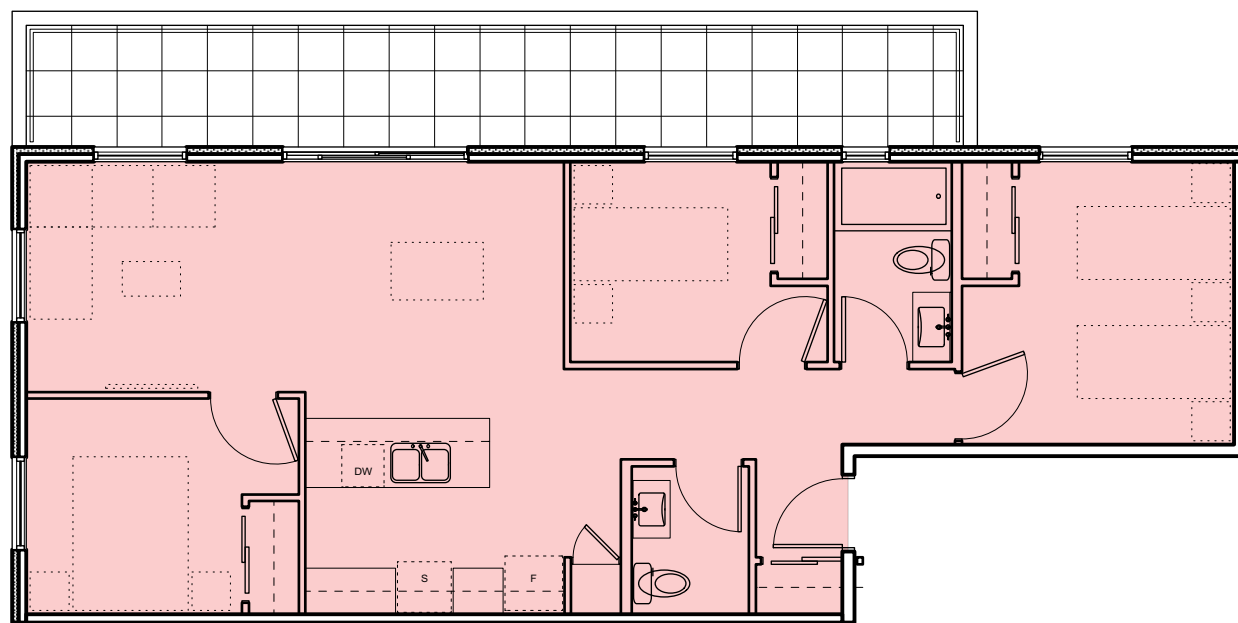
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QUANTITY 2  
9 4 Bed Type 3  
A702 Scale: 1:100



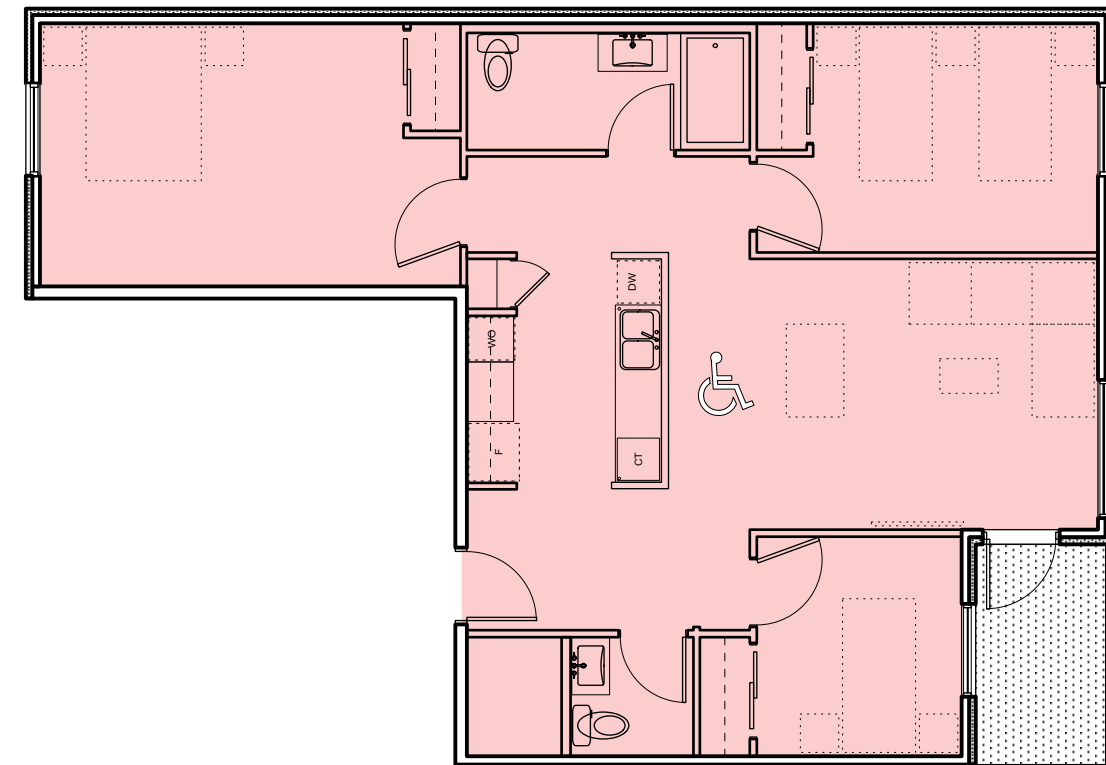
AREA 98 SM  
QUANTITY 2  
8 4 Bed Type 2  
A702 Scale: 1:100



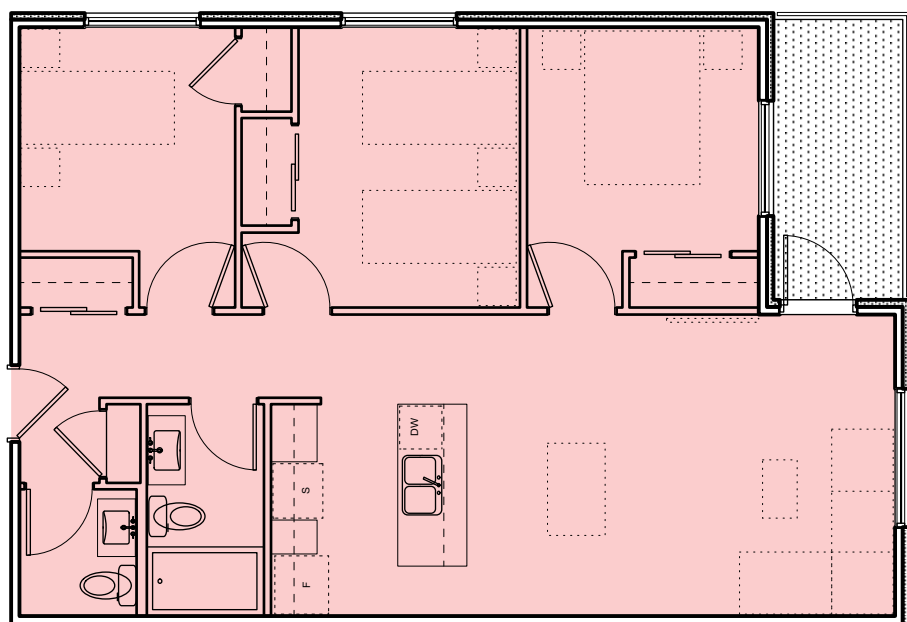
AREA 108 SM  
QUANTITY 2  
7 4 Bed Type 1  
A702 Scale: 1:100



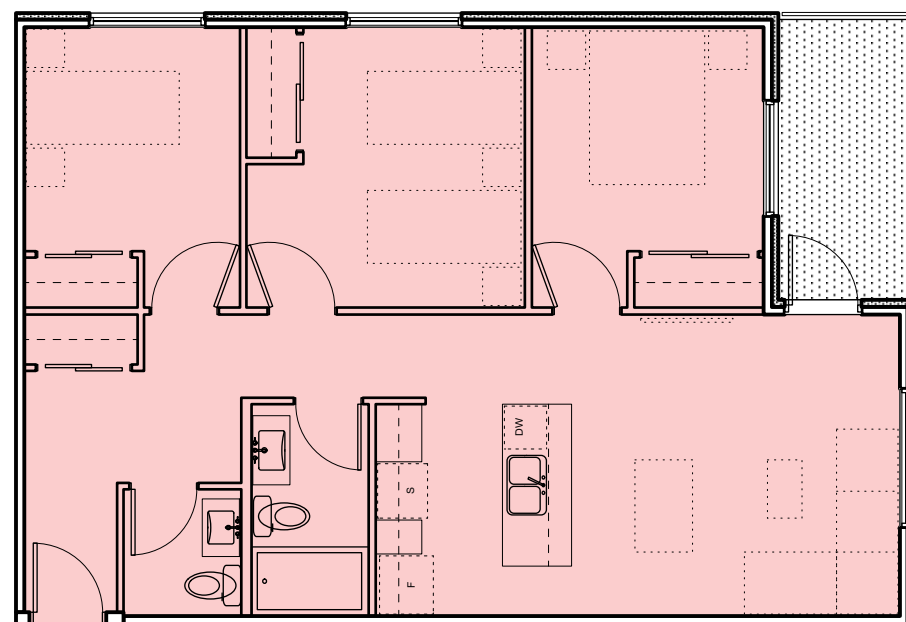
AREA 88 SM  
QUANTITY 1  
6 3 Bed Type 5  
A702 Scale: 1:100



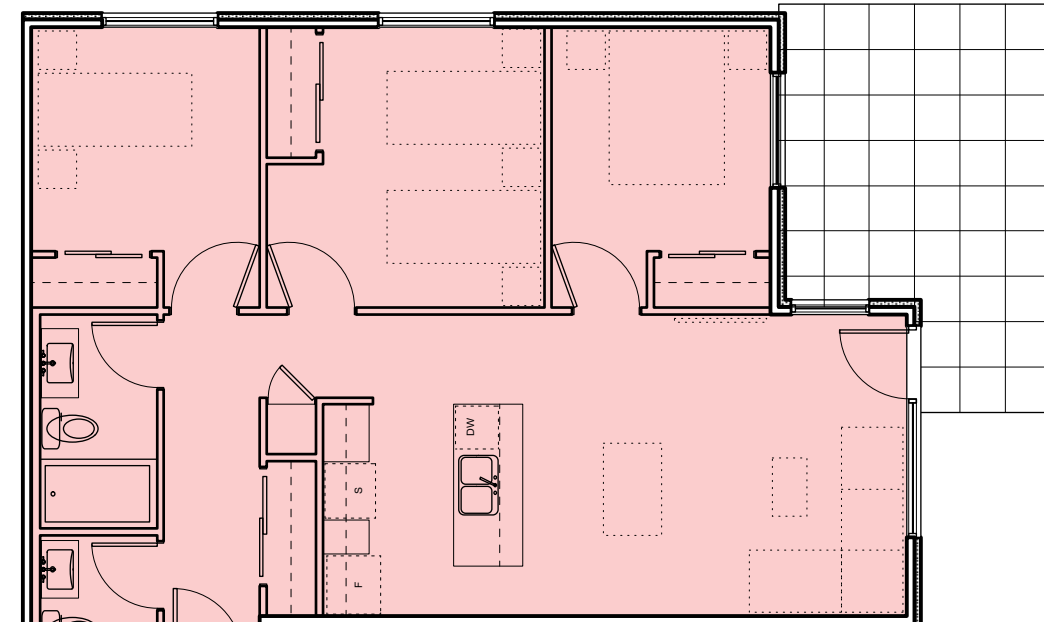
AREA 98 SM  
QUANTITY 1  
5 3 Bed Type 4 - Accessible  
A702 Scale: 1:100



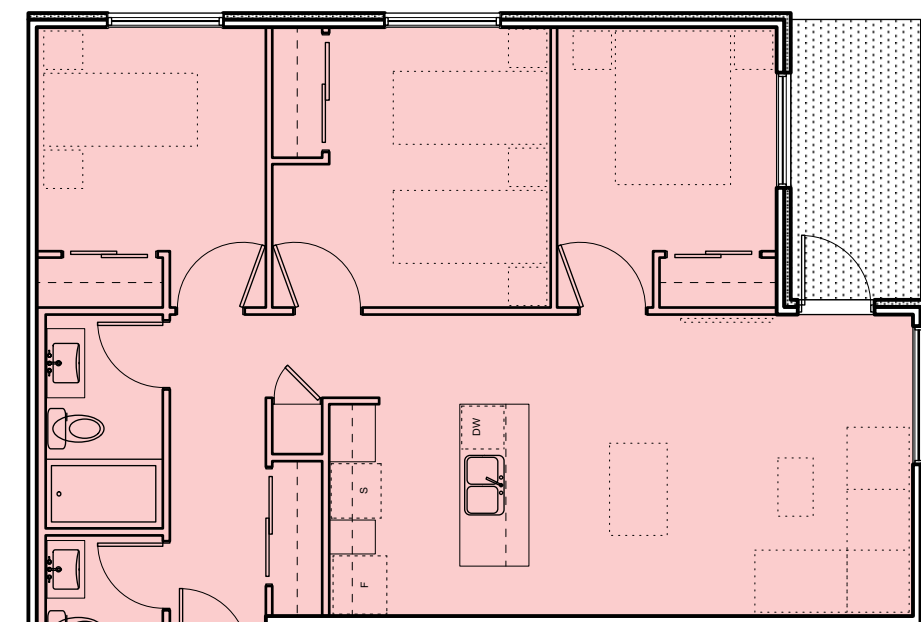
AREA 88 SM  
QUANTITY 1  
4 3 Bed Type 3  
A702 Scale: 1:100



AREA 88 SM  
QUANTITY 2  
3 3 Bed Type 2  
A702 Scale: 1:100



AREA 88 SM  
QUANTITY 2  
2 3 Bed Type 1B  
A702 Scale: 1:100



AREA 88 SM  
QUANTITY 5  
1 3 Bed Type 1A  
A702 Scale: 1:100

3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

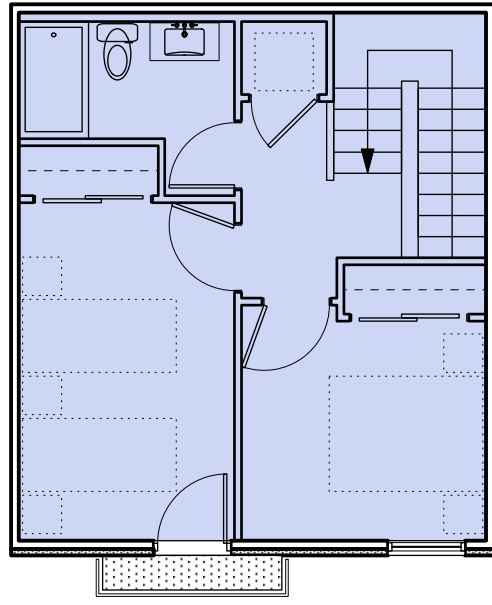
ISSUED FOR DP  
& REZONING

	dHKarchitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5198 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	drawing title Apartment Unit Plans
drawing no. A702	sheet no. 3



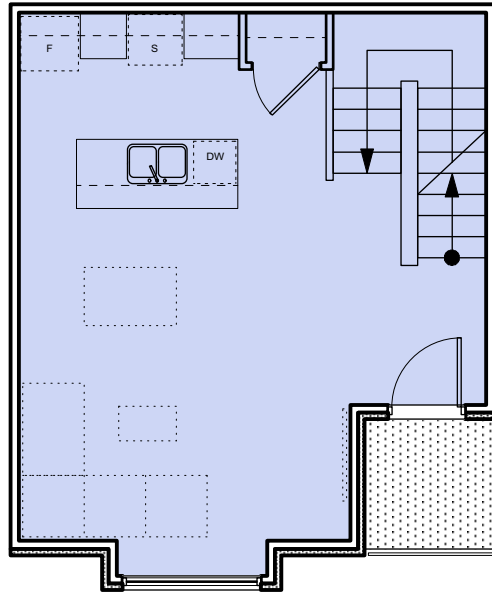
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- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

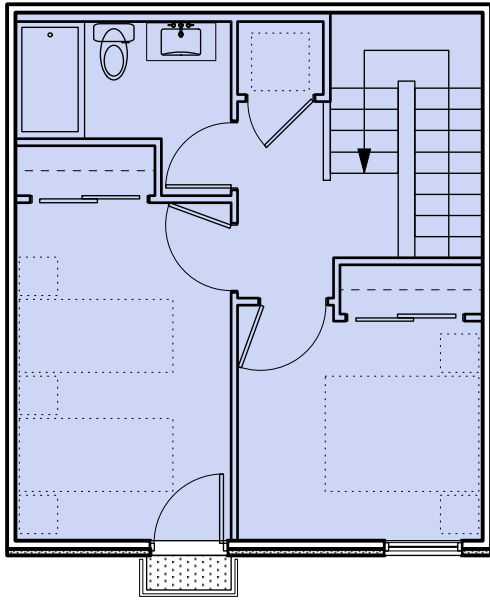


L3 - SECOND FLOOR

AREA  
QUANTITY 90 SM  
10  
2 Bed Type 10  
Scale: 1:100

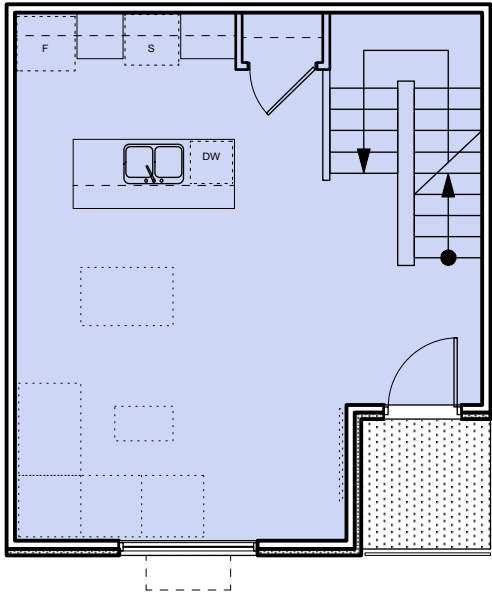


L2 - FIRST FLOOR

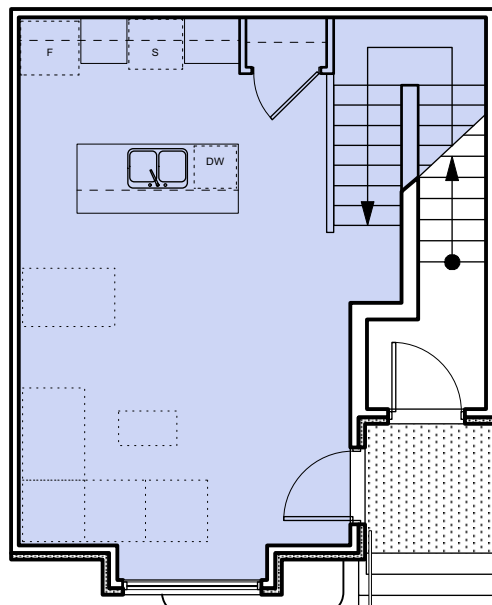


L3 - SECOND FLOOR

AREA  
QUANTITY 89 SM  
9  
2 Bed Type 8  
Scale: 1:100

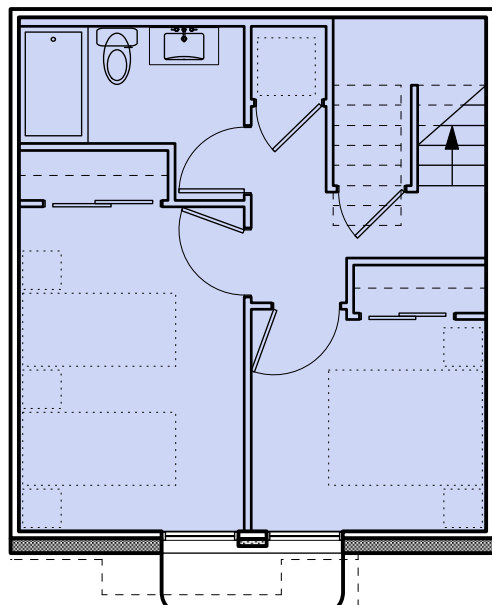


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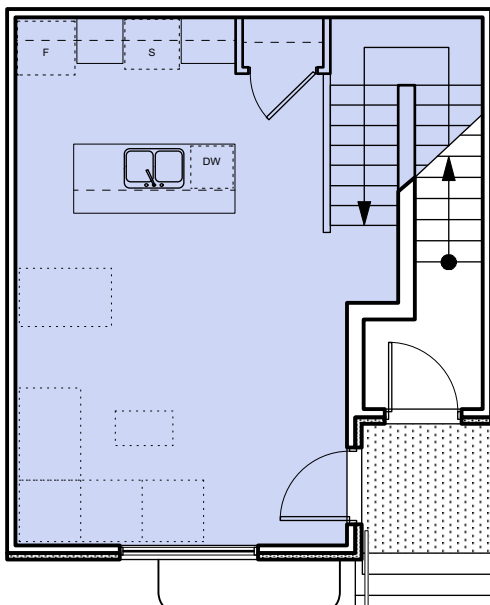


L1 - SECOND FLOOR

AREA  
QUANTITY 84 SM  
10  
2 Bed Type 9  
Scale: 1:100

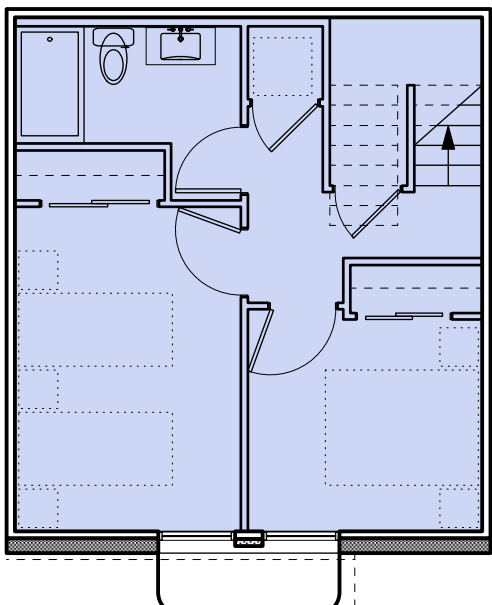


L0 - FIRST FLOOR



L1 - SECOND FLOOR

AREA  
QUANTITY 83 SM  
9  
2 Bed Type 7  
Scale: 1:100

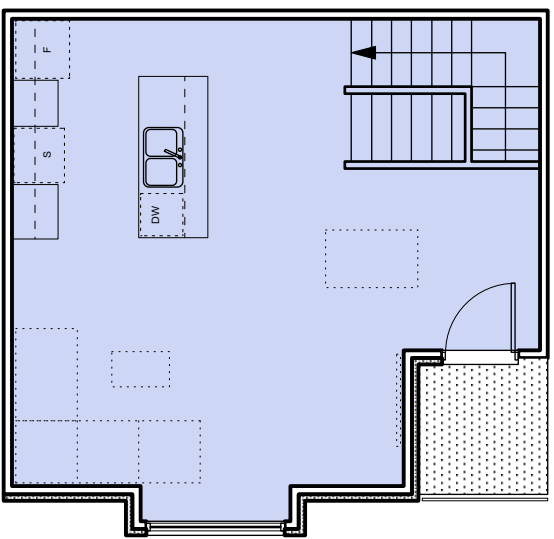


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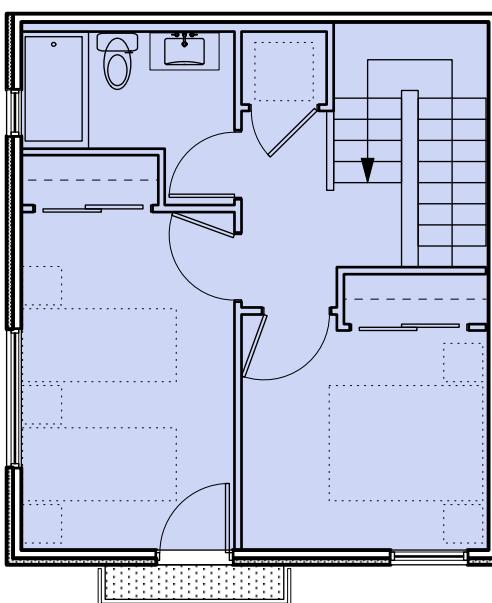


L3 - SECOND FLOOR

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QUANTITY 89 SM  
1  
2 Bed Type 6  
Scale: 1:100

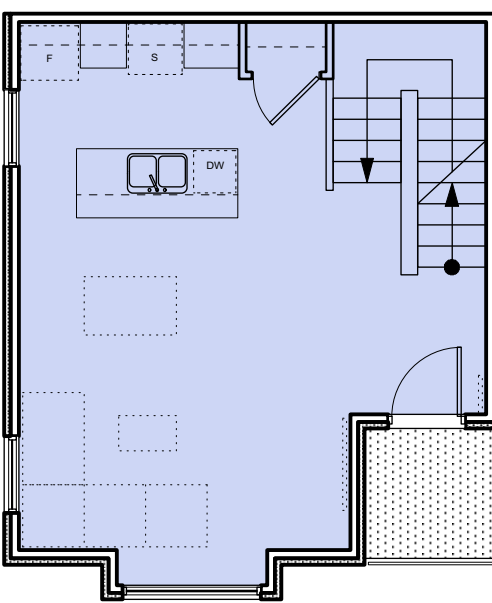


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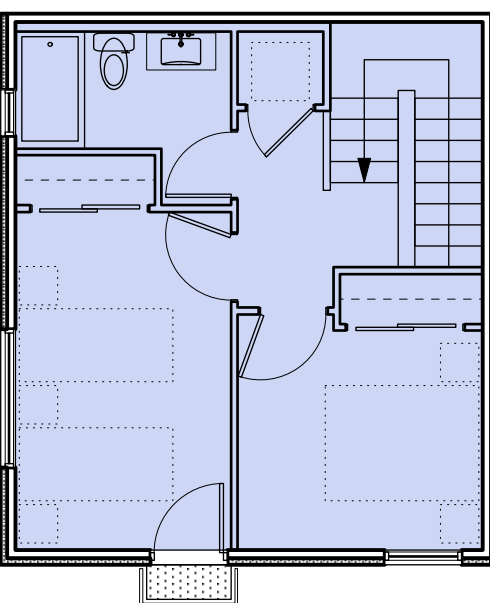


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4  
2 Bed Type 4  
Scale: 1:100

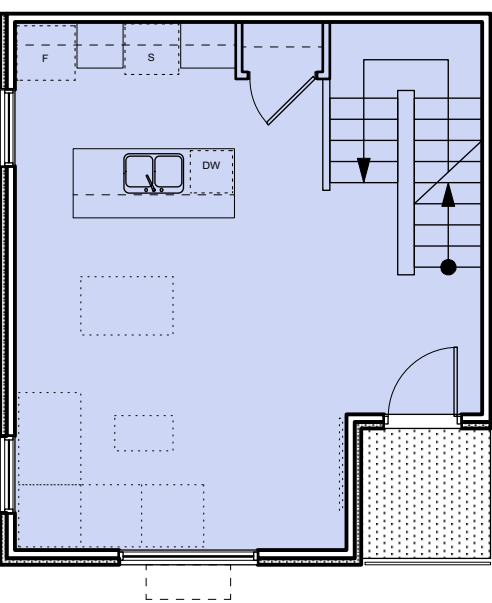


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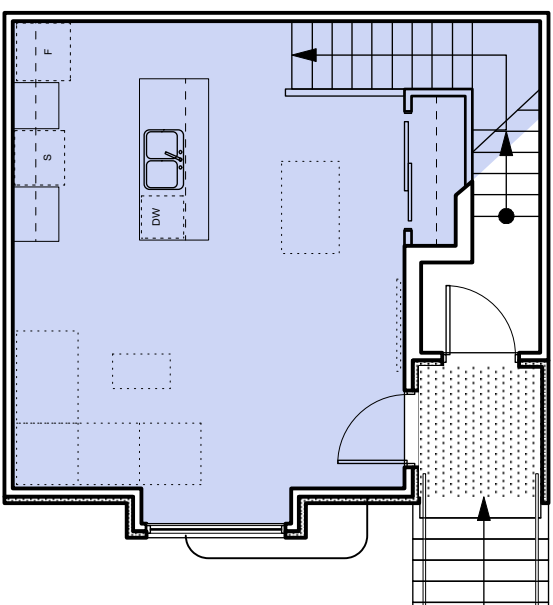


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QUANTITY 89 SM  
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2 Bed Type 2  
Scale: 1:100

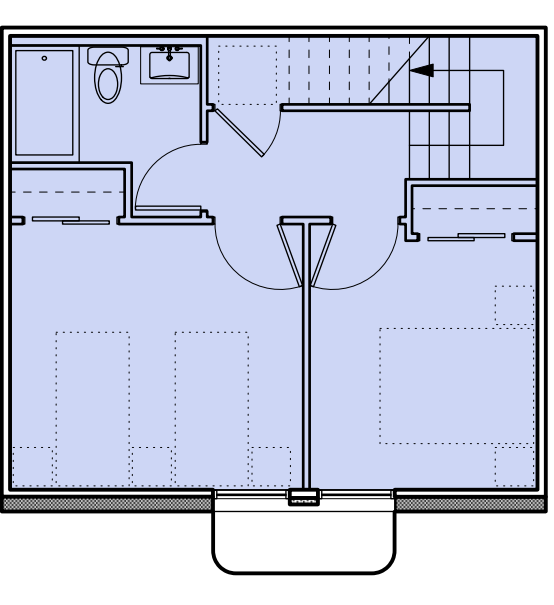


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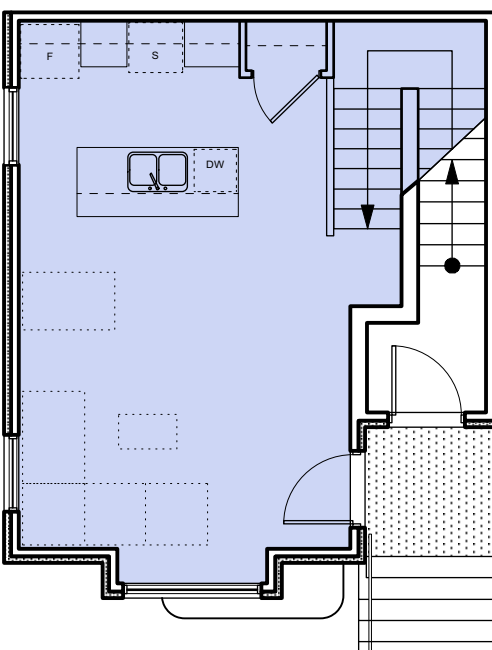


L1 - SECOND FLOOR

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QUANTITY 81 SM  
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2 Bed Type 5  
Scale: 1:100

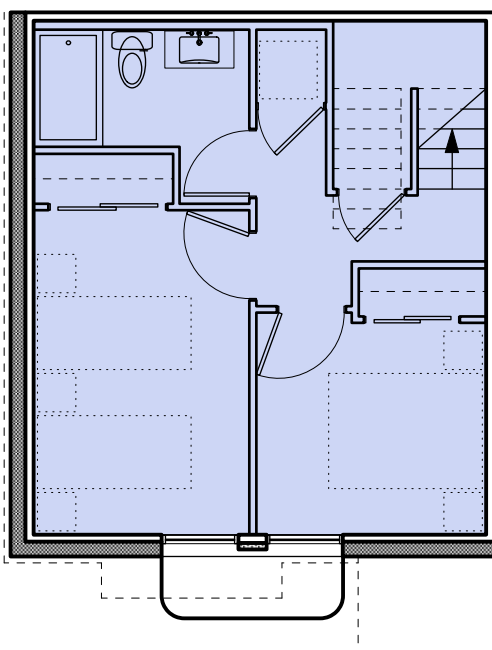


L0 - FIRST FLOOR

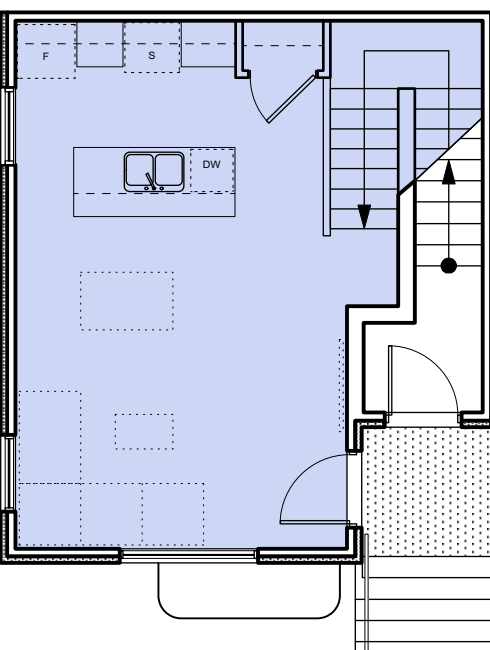


L1 - SECOND FLOOR

AREA  
QUANTITY 82 SM  
3  
2 Bed Type 3  
Scale: 1:100

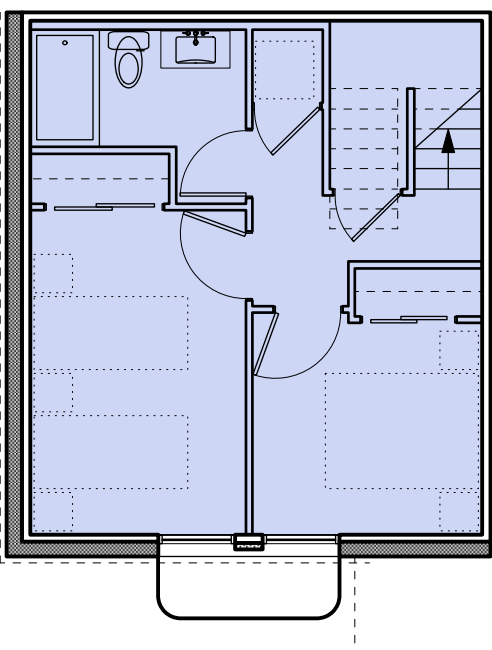


L0 - FIRST FLOOR



L1 - SECOND FLOOR

AREA  
QUANTITY 81 SM  
4  
2 Bed Type 1  
Scale: 1:100




L0 - FIRST FLOOR

3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

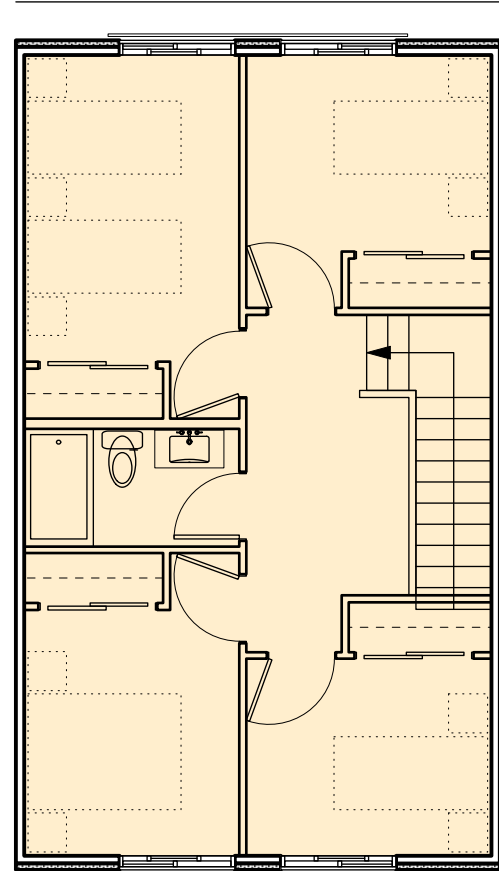
ISSUED FOR DP  
& REZONING

	<b>dHKarchitects</b>
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name <b>Caledonia</b> Victoria BC	drawing no. <b>Townhouses 1 &amp; 2 Unit Plans</b> A703
copyright reserved. THESE PLANS AND DESIGN ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHKARCHITECTS LTD. NO PART OF THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.	sheet no. <b>3</b>

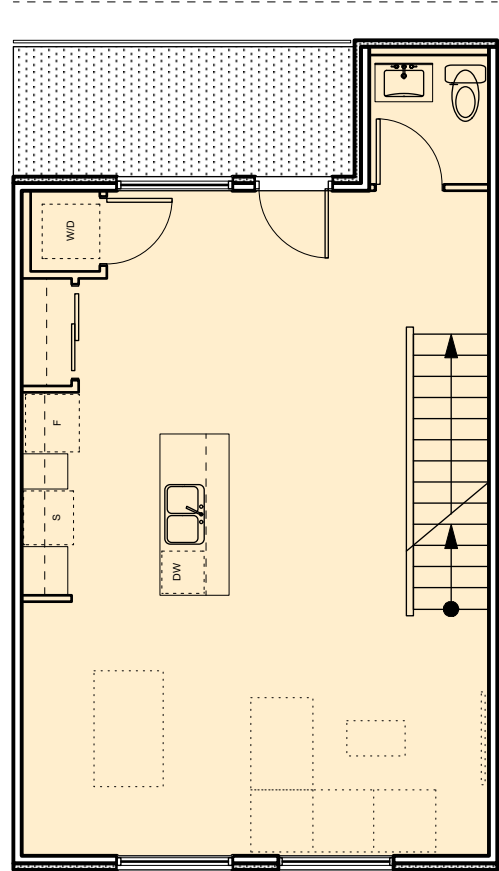


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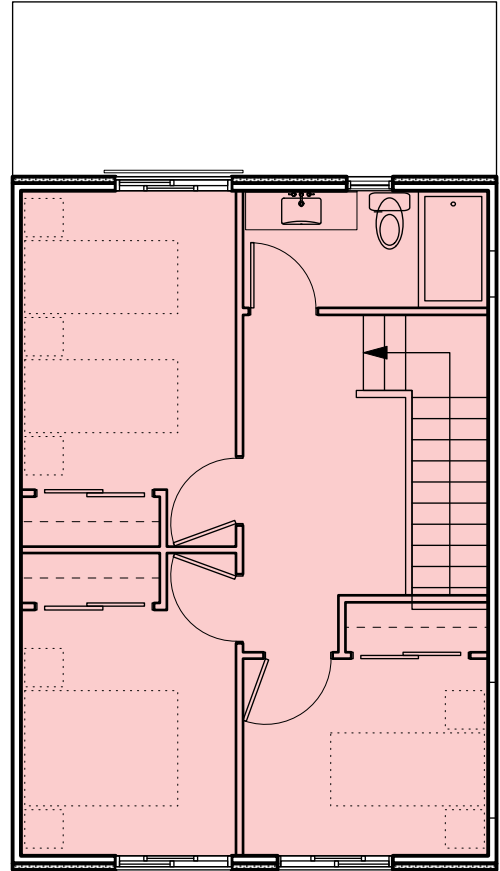
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



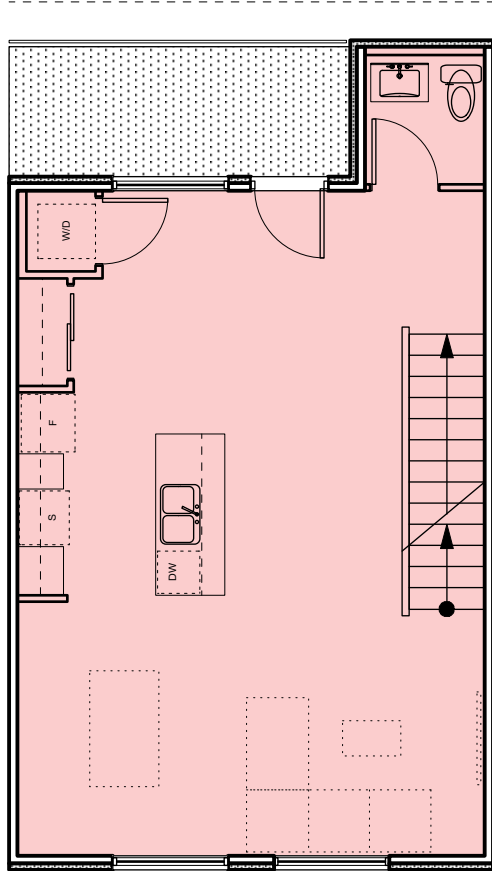
L1 - SECOND FLOOR  
AREA 130 SM  
QUANTITY 2  
3 4 Bed Type 1  
A704 Scale: 1:100



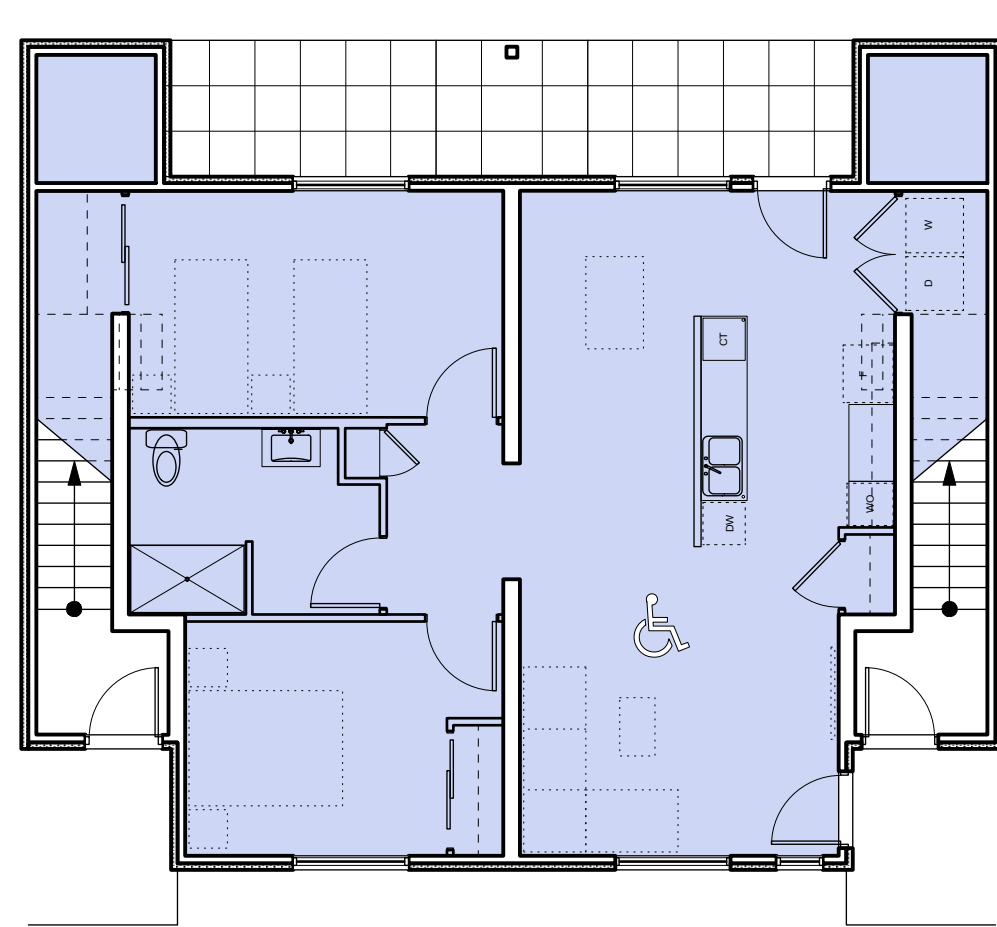
L0 - FIRST FLOOR



L1 - SECOND FLOOR  
AREA 118 SM  
QUANTITY 2  
2 3 Bed Type 1  
A704 Scale: 1:100



L0 - FIRST FLOOR



AREA 104 SM  
QUANTITY 2  
1 2 Bed Type 1 - Accessible  
A704 Scale: 1:100  
0 2000 4000 mm  
1: 100

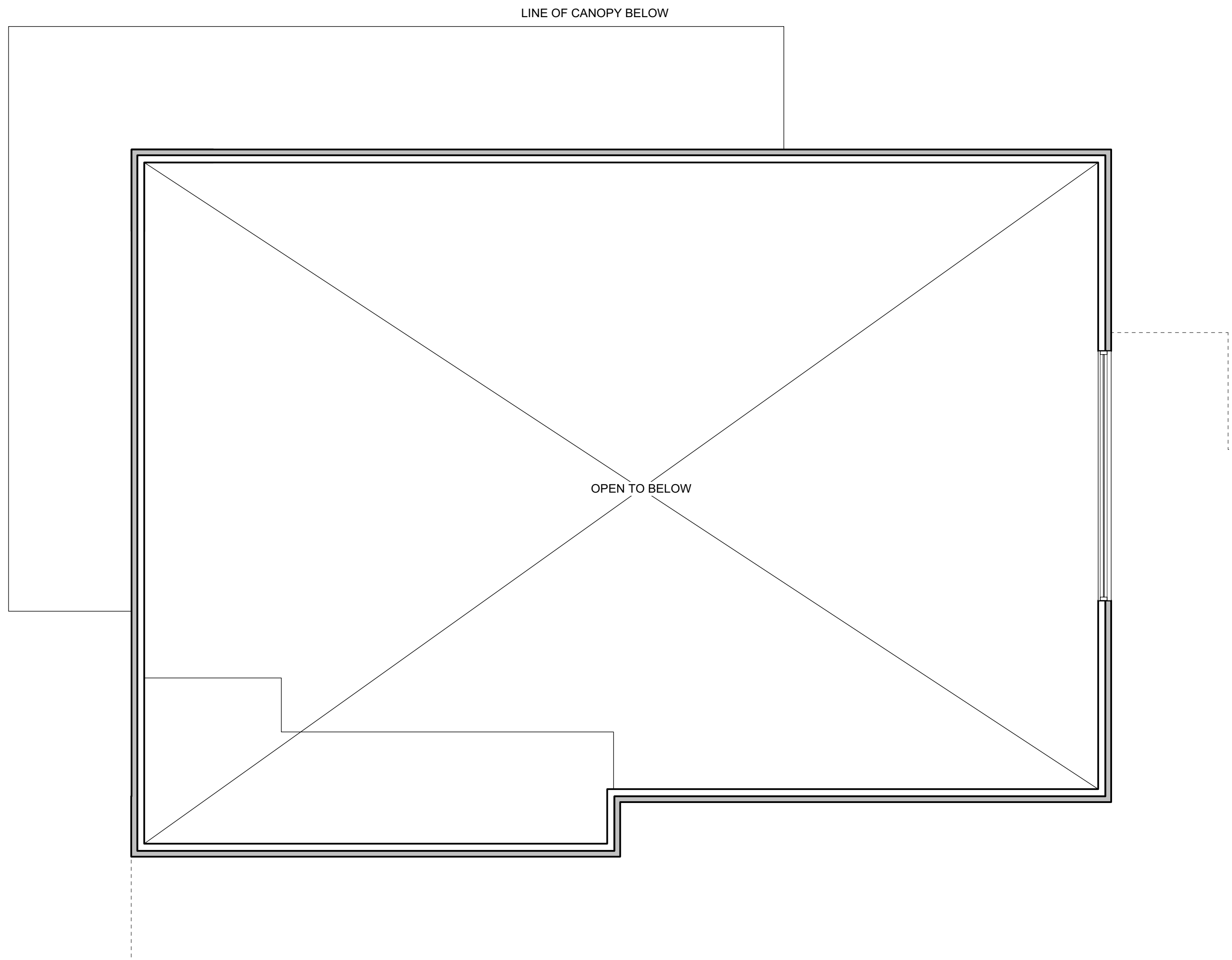
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2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

	dHKarchitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	drawing no. A704
revision no. Townhouse 3 Unit Plans	sheet no. 3

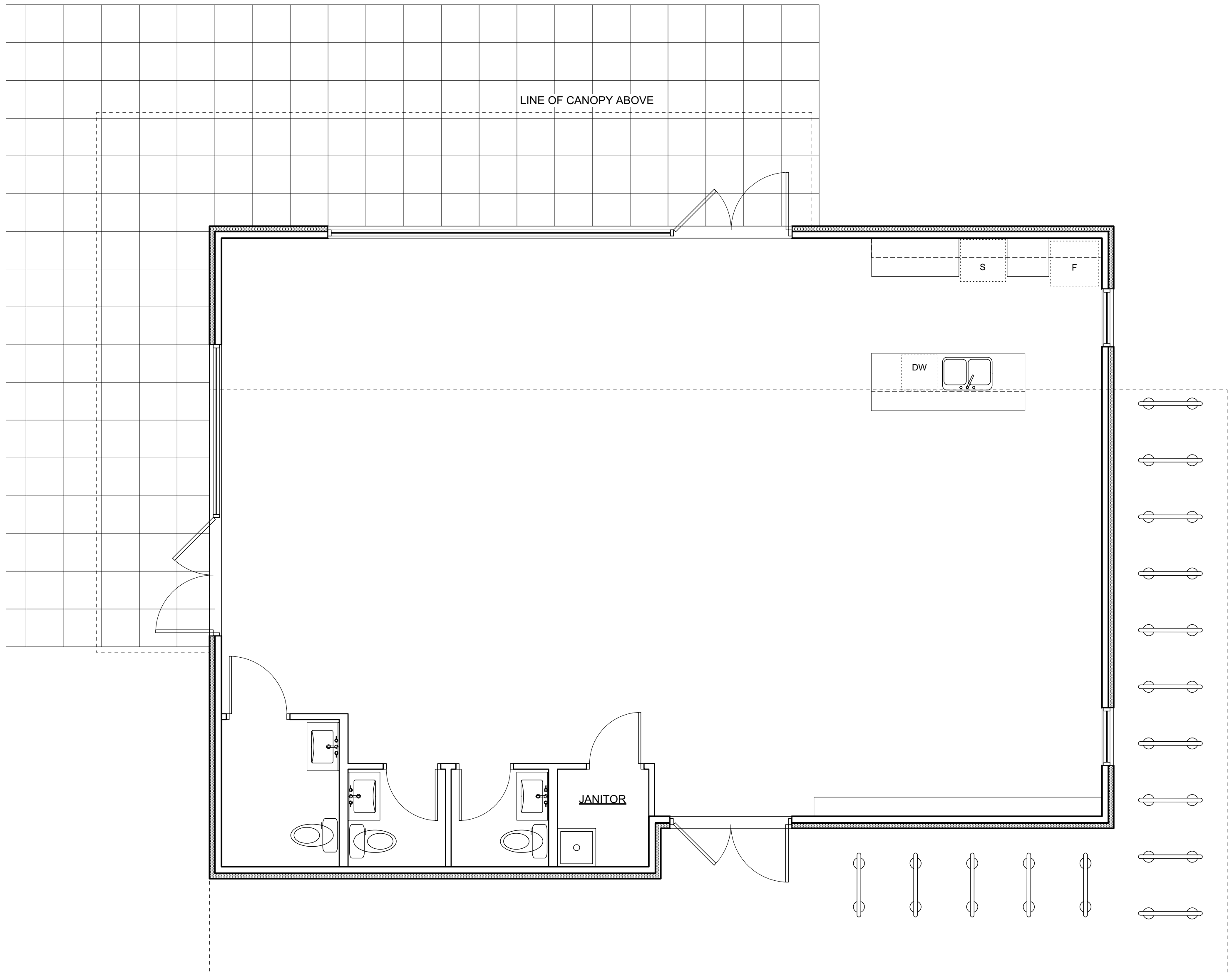




2  
A705  
Amenity Room - L2  
Scale: 1:50

0 1000 2000 mm  
1:50

→ Z



1  
A705  
Amenity Room - L1  
Scale: 1:50

GROSS AREA: 139 SM


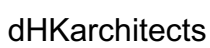
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→ Z

3	2010/08	ISSUED FOR COTW
2	2009/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

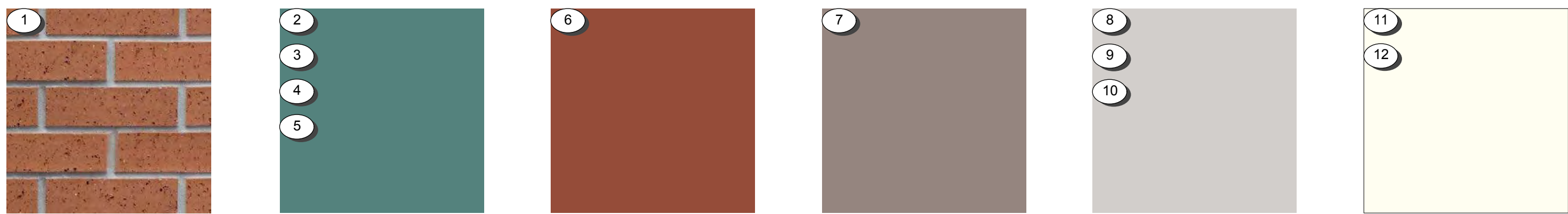
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ISSUED FOR DP  
& REZONING

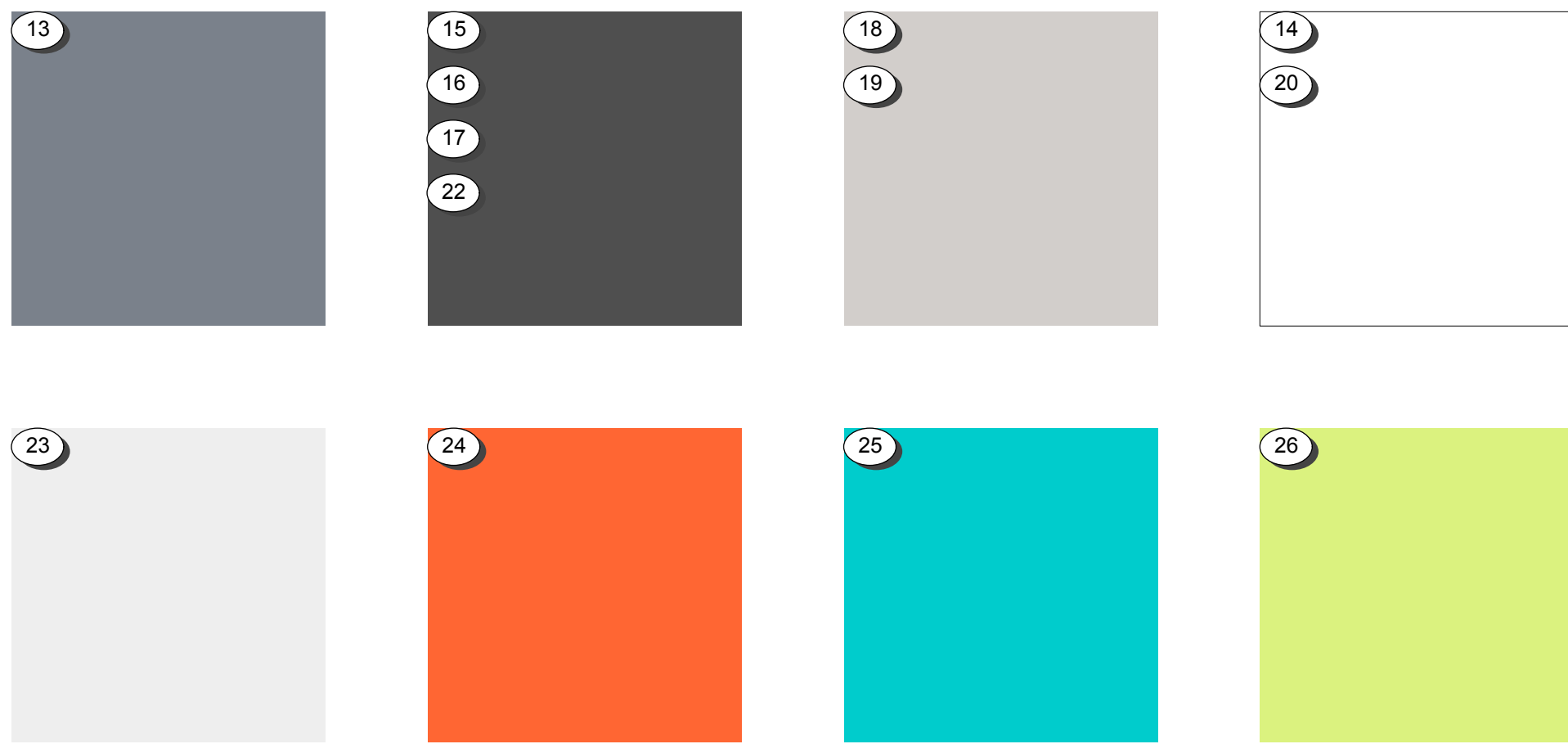
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project name Caledonia Victoria BC	drawing title Amenity Room
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	sheet no. 3



APARTMENTS 1 & 2



TOWNHOUSES 1, 2 & 3



COLOUR & MATERIAL LEGEND

- 1 BRICK VENEER - Red - *Apartment 1 Only*
- 2 FIBRE CEMENT PANEL - Teal
- 3 VINYL WINDOWS & DOORS - Teal
- 4 PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
- 5 METAL FLASHING - Teal
- 6 ACCENT PAINT COLOUR - Rust
- 7 FIBRE CEMENT LAP SIDING - Soft Brown
- 8 FIBRE CEMENT PANEL - Warm Grey - *Apartment 2 Only*
- 9 SOFFIT - Warm Grey - *Apartment 2 Only*
- 10 PAINTED CONCRETE - Warm Grey
- 11 FIBRE CEMENT PANEL - Warm White
- 12 SOFFIT - Warm White
- 13 FIBRE CEMENT LAP SIDING - Medium Blue-Grey

- 14 FIBRE CEMENT LAP SIDING - White
- 15 VINYL WINDOWS & DOORS - Dark Grey
- 16 PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey
- 17 METAL FLASHING - Dark Grey
- 18 ASPHALT SHINGLES - Warm Grey
- 19 FIBRE CEMENT SHINGLES - Warm Grey
- 20 VINYL WINDOWS & DOORS - White
- 21 METAL DOWNSPOUT & FLASHING - Light Warm Grey
- 22 FIBRE CEMENT PANEL - Dark Grey
- 23 FIBRE CEMENT PANEL - Light Grey
- 24 ACCENT PAINT COLOUR - Bright Orange
- 25 ACCENT PAINT COLOUR - Bright Blue
- 26 ACCENT PAINT COLOUR - Chartreuse

Rev	Date	Description
3	20/10/06	ISSUED FOR CD/TV
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

Sheet No.	Sheet Title	Project No.
1	Colours & Materials	1907

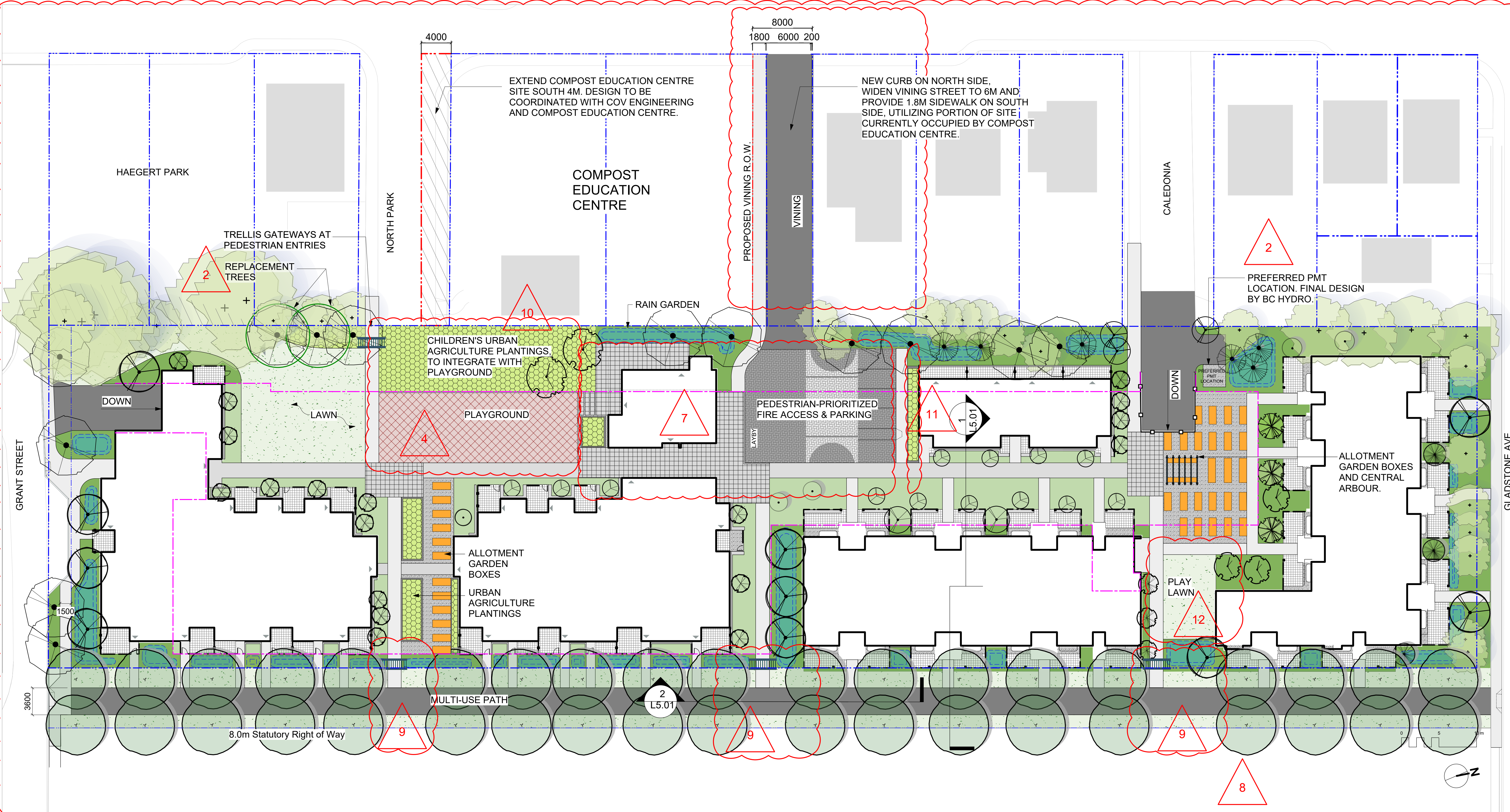
NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP & REZONING**

Project Name	Project No.	Revision No.
Caledonia Victoria BC	1907	3

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LANDSCAPE TYPOLOGIES



PLAY PLACES that foster fun and creativity.



RAIN GARDENS that slow & cleanse rainwater.



PERSONAL OUTDOOR AREAS that can be modified, beautified and funkified.



GATHERING PLACES that help neighbours get to know each other and support each other.



BICYCLE FACILITIES that make it easy for people of all ages to hop on their bikes.



PLANTINGS that provide food for birds, bees and butterflies.



OUTDOOR SOCIAL SPACES for gathering and sharing food.



PLANTINGS that provide beauty and food for people.



ACTIVE PLAY SPACES that support community sports.



PUBLIC ART that celebrates Fernwood's artistic spirit.



COMMUNITY GARDEN PLOTS that boost local food security.

NOT FOR CONSTRUCTION

rev no	description	date
5	For COTW	20.02.04
4	Issued for ADP	20.01.15
3	Issued for ADP	20.01.15
2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26

**Murdoch de Greeff INC**  
Landscape Planning & Design  
200 - 554 Cultural Road  
Victoria, BC V8Z 1G1  
Phone: 250.412-2891  
Fax: 250.412-2892

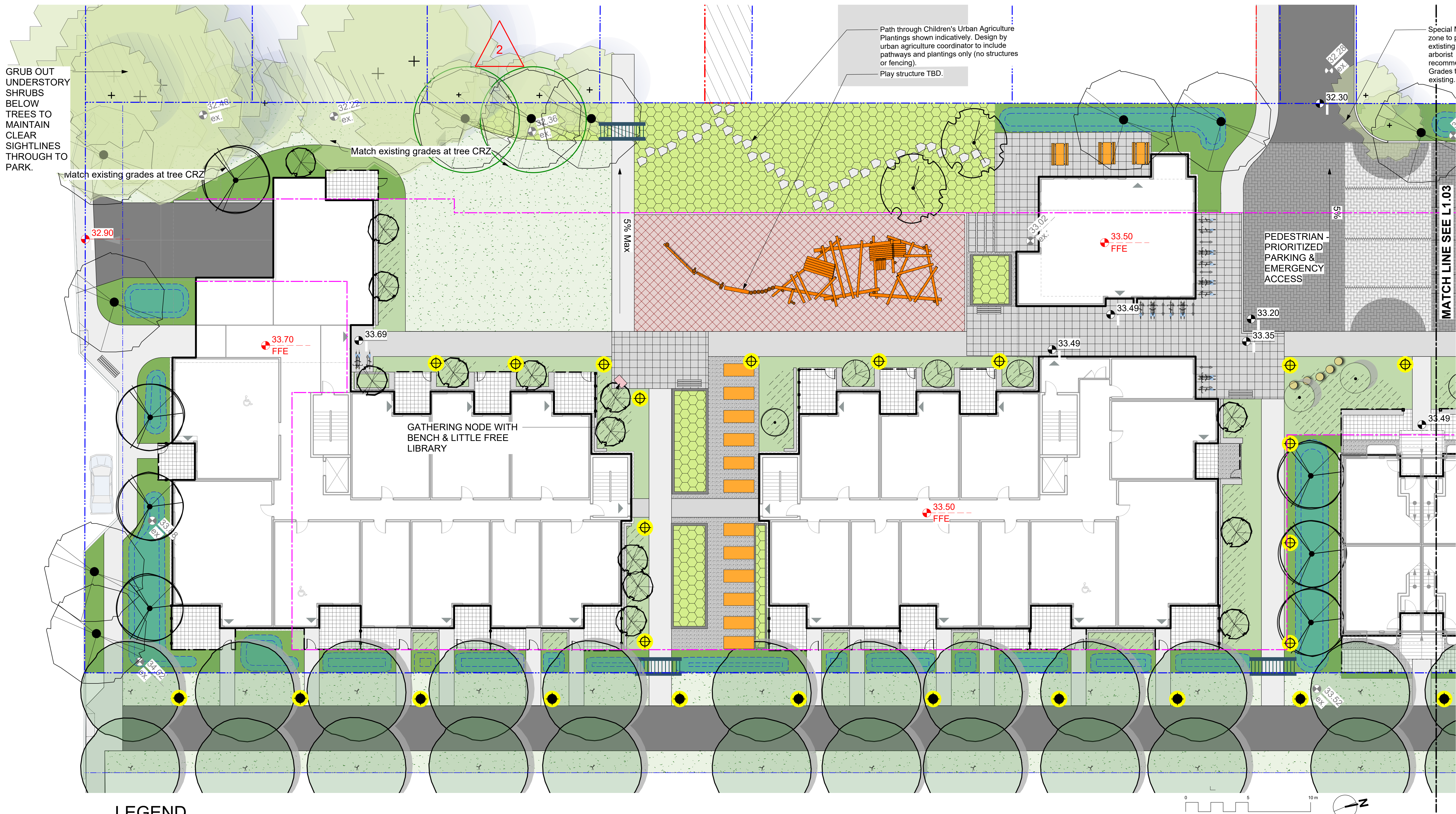
Feb. 5, 2020  
client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

project  
Caledonia Redevelopment  
Caledonia Ave.  
Victoria, BC

sheet title  
**Landscape Overview Plan**

project no.	119.18
scale	1: 250 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.





LEGEND

	Property line		Cast in Place Concrete Paving		Proposed Urban Agriculture Plantings		Trellis Gateway at Entries
	Extent of Parkade, below		Concrete Unit Paving, Type 1		Raised Planter for Common Urban Agriculture		Picnic Table
	Rain garden - TOP OF POOL		Concrete Unit Paving, Type 2		Lawn Area		Allotment Garden Box
	Rain garden - BOTTOM OF POOL		Decomposed Granite Surfacing (Loose)		Native Plant & Pollinator Planting Area: On Grade		Bench
	Existing Landscape Grade		Vehicular Concrete Unit Paving		Native Plant, Herb & Pollinator Planting Area: On Slab, 300mm depth.		Bike Rack (2 Stalls): Total 44 Stalls
	Architectural grade, provided for reference only		Asphalt Paving		Native Plant, Herb & Pollinator Planting Area: Mounded Soil on Slab, to 600mm depth.		Gravel Maintenance Edge, 300mm wide.
	Proposed Landscape Grade		Rubber Playground Surfacing		Existing Tree for Retention (Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).		Onsite Bollard Light: Landscape Forms Ashbery Path Light.
	TW Top of Wall		Rain Garden Area		Mixed Use Path Pedestrian Light: As per COV standard.		Replacement Tree
	BW Bottom of Wall						
	TOC Top of Curb						
	BC Bottom of Curb						
	TP Top of Pool						
	BP Bottom of Pool						
	TS Top of Stairs						
	BS Bottom of Stairs						
	Retaining/Planter Wall						
	Retaining/Planter Seating Wall						
	Landscape Screen, 1800 mm height.						
	Wood Picket Fence, 1000 mm height.						

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

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Murdoch de Greeff INC  
Landscape Planning & Design  
200 - 554 Cultural Road  
Victoria, BC V8Z 1G1  
Phone: 250.412.2891  
Fax: 250.412.2892

Feb. 5, 2020

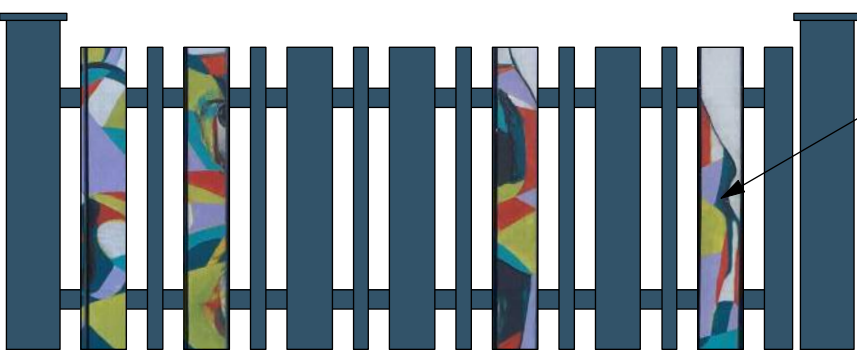
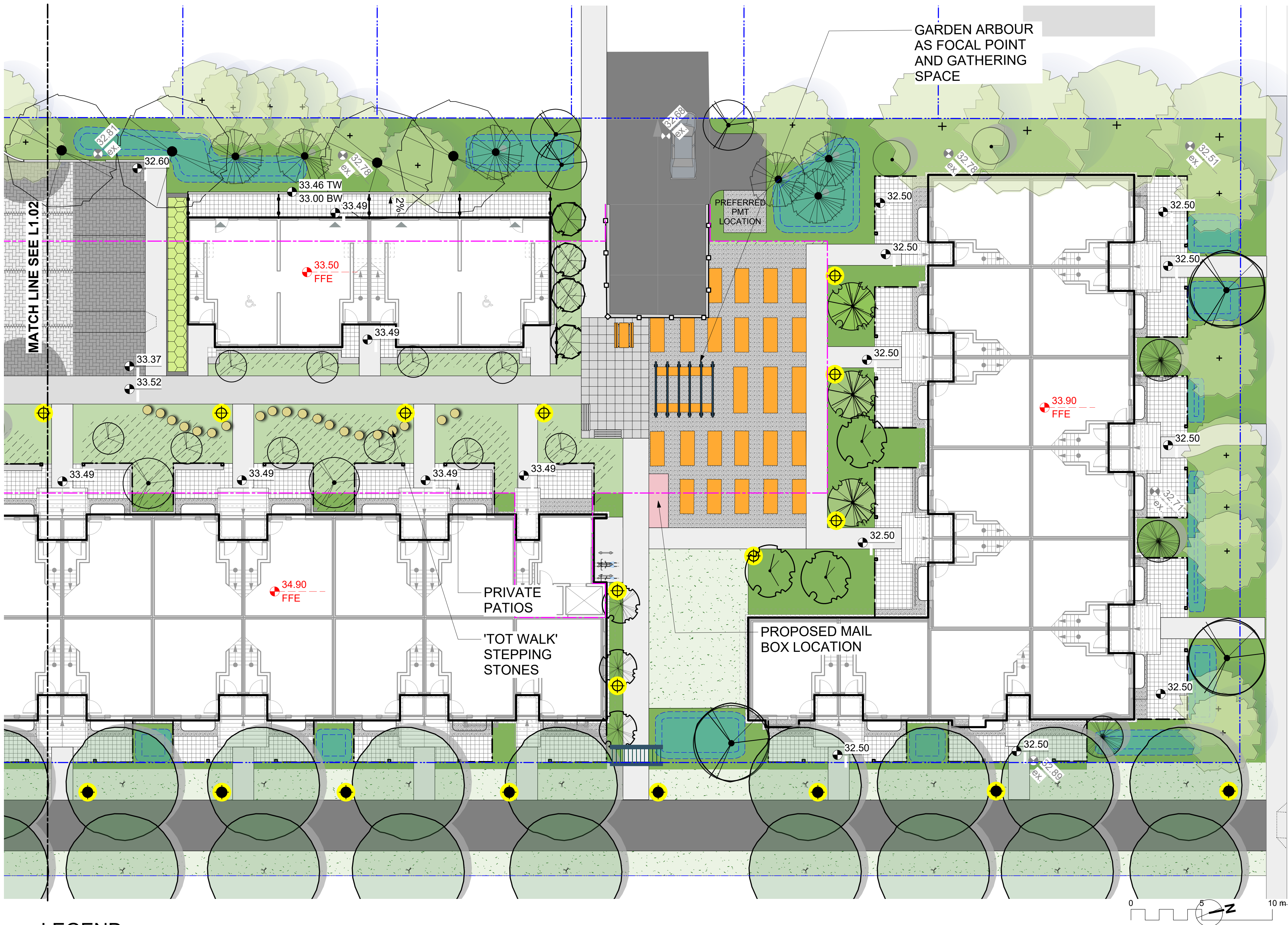
client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

project  
**Caledonia Redevelopment**  
Caledonia Ave.  
Victoria, BC

sheet title  
**Landscape Materials South**

project no. 119.18  
scale 1: 150 @ 24"x36"  
drawn by TB  
checked by PdG  
revision no. 2  
sheet no. **L1.02**





Proposed Picket Fence Detail

NOT FOR CONSTRUCTION

rev no	description	date
5	For COTW	20.02.04
4	Issued for ADP	20.01.15
2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26



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de Greeff

INC

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Victoria, BC V8Z 1G1

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Feb. 5, 2020






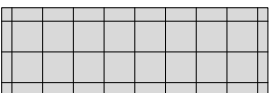
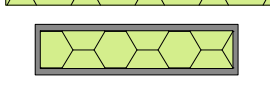
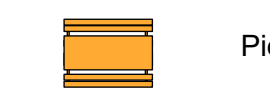

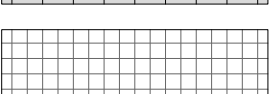



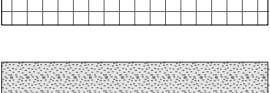

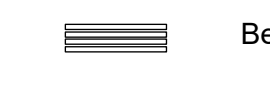



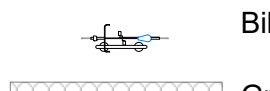






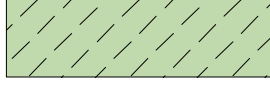


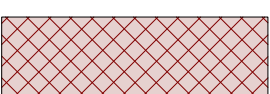
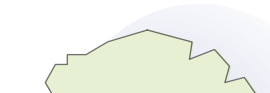



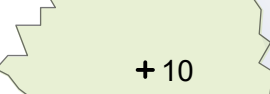













client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

project  
Caledonia Redevelopment  
Caledonia Ave.  
Victoria, BC

sheet title  
**Landscape  
Materials North**

project no.	119.18
scale	1: 150 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.

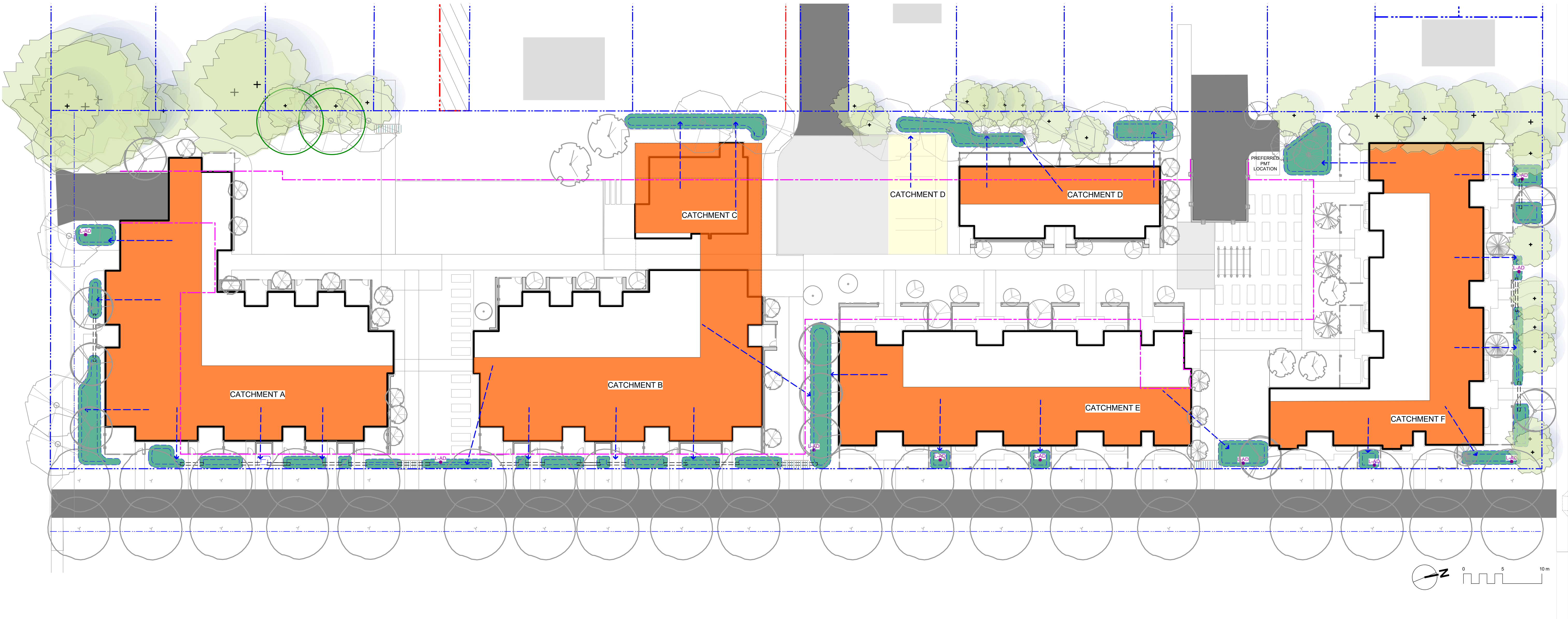
## LEGEND

	Property line		Cast in Place Concrete Paving		Proposed Urban Agriculture Plantings		Trellis Gateway at Entries
	Extent of Parkade, below		Concrete Unit Paving, Type 1		Raised Planter for Common Urban Agriculture		Picnic Table
	Rain garden - TOP OF POOL		Concrete Unit Paving, Type 2		Lawn Area		Allotment Garden Box
	Rain garden - BOTTOM OF POOL		Decomposed Granite Surfacing (Loose)		Native Plant & Pollinator Planting Area: On Grade		Bench
	Existing Landscape Grade		Vehicular Concrete Unit Paving		Native Plant, Herb & Pollinator Planting Area: On Slab, 300mm depth.		Bike Rack (2 Stalls): Total 44 Stalls
	Architectural grade, provided for reference only		Asphalt Paving		Native Plant, Herb & Pollinator Planting Area: Mounded Soil on Slab, to 600mm depth.		Gravel Maintenance Edge, 300mm wide.
	Proposed Landscape Grade		Rubber Playground Surfacing		Existing Tree for Retention (Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).		Onsite Bollard Light: Landscape Forms Ashbery Path Light. Mixed Use Path Pedestrian Light: As per COV standard.
	TW Top of Wall TP Top of Pool BW Bottom of Wall BP Bottom of Pool TOC Top of Curb TS Top of Stairs BC Bottom of Curb BS Bottom of Stairs		Rain Garden Area		Replacement Tree		
	Retaining/Planter Wall						
	Retaining/Planter Seating Wall						
	Landscape Screen, 1800 mm height.						
	Wood Picket Fence, 1000 mm height.						

## DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work





**Rain Garden Capacity Calculations**

Catchment Area	Contributing Impervious Area	Design Storm Runoff Volume Contributing to Rain Garden	Planter Growing Medium Depth	Stormwater Treatment Capacity per sq. m. of Rain Garden	Rain Garden Area	Rain Garden Capacity	Excess (+) or Deficient (-) Capacity	Soil Volume
	(sq. m.)	(cu. m./day)	(m.)	(cu. m./day)	(sq. m.)	(cu. m./day)	(cu.m./day)	(cu.m.)
Catchment A	560.0	28.0	0.60	0.8	40.0	30.0	2.0	24.0
Catchment B	420.0	21.0	0.60	0.8	25.0	18.8	-2.3	15.0
Catchment C	220.0	11.0	0.60	0.8	34.0	25.5	14.5	20.4
Catchment D	230.0	11.5	0.60	0.8	30.0	22.5	11.0	18.0
Catchment E	365.0	18.3	0.60	0.8	33.0	18.5	0.3	19.8
Catchment F	400.0	20.0	0.60	0.8	50.0	37.5	17.5	30.0
total	2195.0	109.8			212.0	152.8	43.0	127.2

**Assumptions**

- Design storm is a 2 year storm event which equals 5 cm of water, in a 24 hr period.
- Rain Garden design based on 150 mm live ponding plus 20% of the sand/ compost growing medium volume (assuming growing medium has 20% void space) with a minimum infiltration rate of 2 cm/hour (or 48 cm per day), via perforated underdrain.

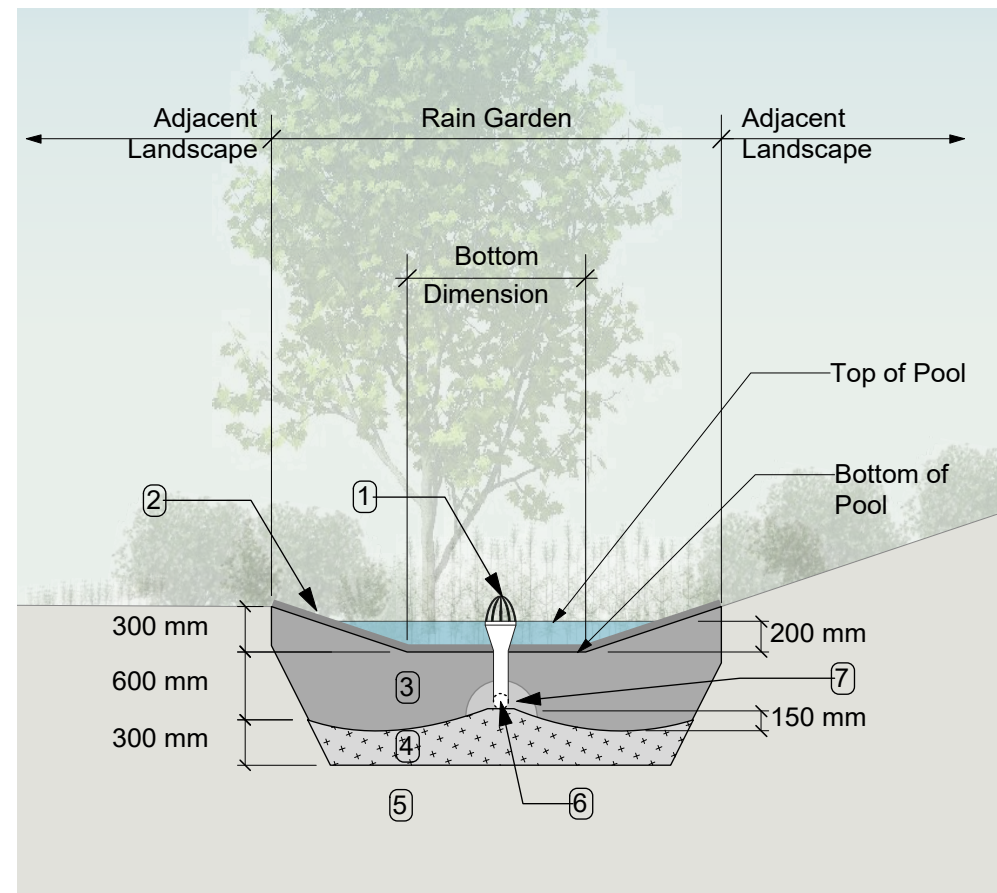
**RAIN WATER MANAGEMENT NOTES**

Water collected from portions of the building roofs flow to the rain gardens located throughout the site. Rain gardens have been situated on-grade.

Rain gardens are designed to capture, slow flows, and treat runoff. Rain gardens will be designed with underdrains and a high capacity overflow drain that will be connected to the onsite piped drainage system. The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area, which is the area required to manage Victoria's 2 year storm event.

Walkways will be sloped to drain to adjacent absorbant landscape. Larger paved areas such as driveways and turnarounds will be drained directly to the storm system.

Portions of the roof which cannot be easily connected to rain gardens will be drained directly to the storm system. The roof catchments are shown schematically and will be refined during detailed design.



**RAIN GARDEN MATERIALS**

- Overflow drain, 200 mm domed grate + adapter
- Composted mulch, 50 -70 mm depth
- Bio-retention growing medium, 600 mm depth
- Scarified/tilled subgrade, 300 mm depth
- Existing subgrade/native material
- 100 mm diameter (min) perforated pipe
- 25 mm diameter drain rock, 100 mm depth

**Typical Rain Garden**  
Scale: 1:50

**LEGEND**

- Property line
- Extent of Parkade, below
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Existing Landscape Grade
- Architectural grade, provided for reference only
- Proposed Landscape Grade
- TW Top of Wall TP Top of Pool
- BW Bottom of Wall BP Bottom of Pool
- TOC Top of Curb TS Top of Stairs
- BC Bottom of Curb BS Bottom of Stairs
- Rain Garden on Grade
- Roof Drains to Rain Garden
- Hardscape Drains to Rain Garden
- Roof / Road / Hardscape Drains Directly to Storm System
- Flow Path (Schematic)
- Rain Garden Overflow Drain to Storm System
- Culvert Rain Garden Connection

NOT FOR CONSTRUCTION

Feb. 5, 2020

client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

project  
**Caledonia Redevelopment**  
Caledonia Ave.  
Victoria, BC

sheet title

**Stormwater Management**

project no. 119.18

scale 1:### @ 24"x36"

drawn by TB

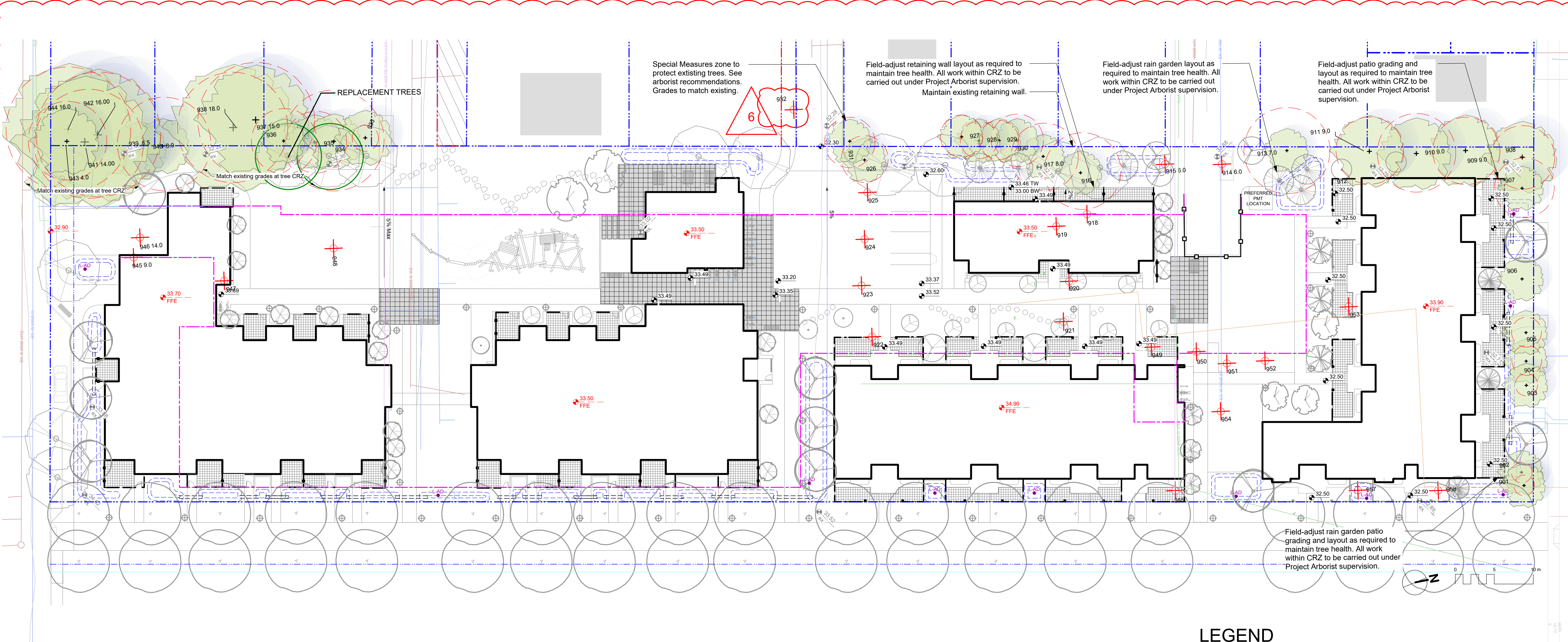
checked by PdG

revision no. sheet no.

2

**L1.04**





DRAWING NOTES

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- 5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- 6. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- 7. Landscape installation to carry a 1 year warranty from date of acceptance.
- 8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- 9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- 10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

RETAINED TREE SUMMARY\*

TREE TAG #	DBH (cm)	Species	Bylaw Protected?
901	11	Tulip Tree	no
902	11	Tulip Tree	no
903	12	Tulip Tree	no
904	16	Tulip Tree	no
905	16	Tulip Tree	no
906	25	Tulip Tree	no
907	32	Tulip Tree	no
908	34	Tulip Tree	no
909	36	English oak	no
910	42	English oak	no
911	36	English oak	no
912	46	Sycamore maple	no
913	46	Red oak	no
916	41	Red oak	no
917	36	Red oak	no
926	25	Red maple	no
927	23	Zebra cedar	no
928	20	Zebra cedar	no
929	21	Zebra cedar	no
930	28	Zebra cedar	no
931	27	Douglas fir	no
933	14	Eastern white cedar	no
934	54	Edible chestnut	no
935	33	Edible chestnut	no
936	35	Western redcedar	no
937	58	Scotch elm	no
938	42,56,49,59	Scotch elm	yes
939	33	Scotch elm	no
940	33	Scotch elm	no
941	25,39,38,28,29	Scotch elm	yes
942	27,33,23,34,22	Scotch elm	yes
944	35,25,40,41	Scotch elm	yes

TOTAL TREES TO BE RETAINED: 32

\* Based on Arborist's Report recieved from Dogwood Tree Services, 09/25/2019. Refer to Arborist report for details on tree conditions and Arborist recommendations.

REMOVED TREE SUMMARY\*

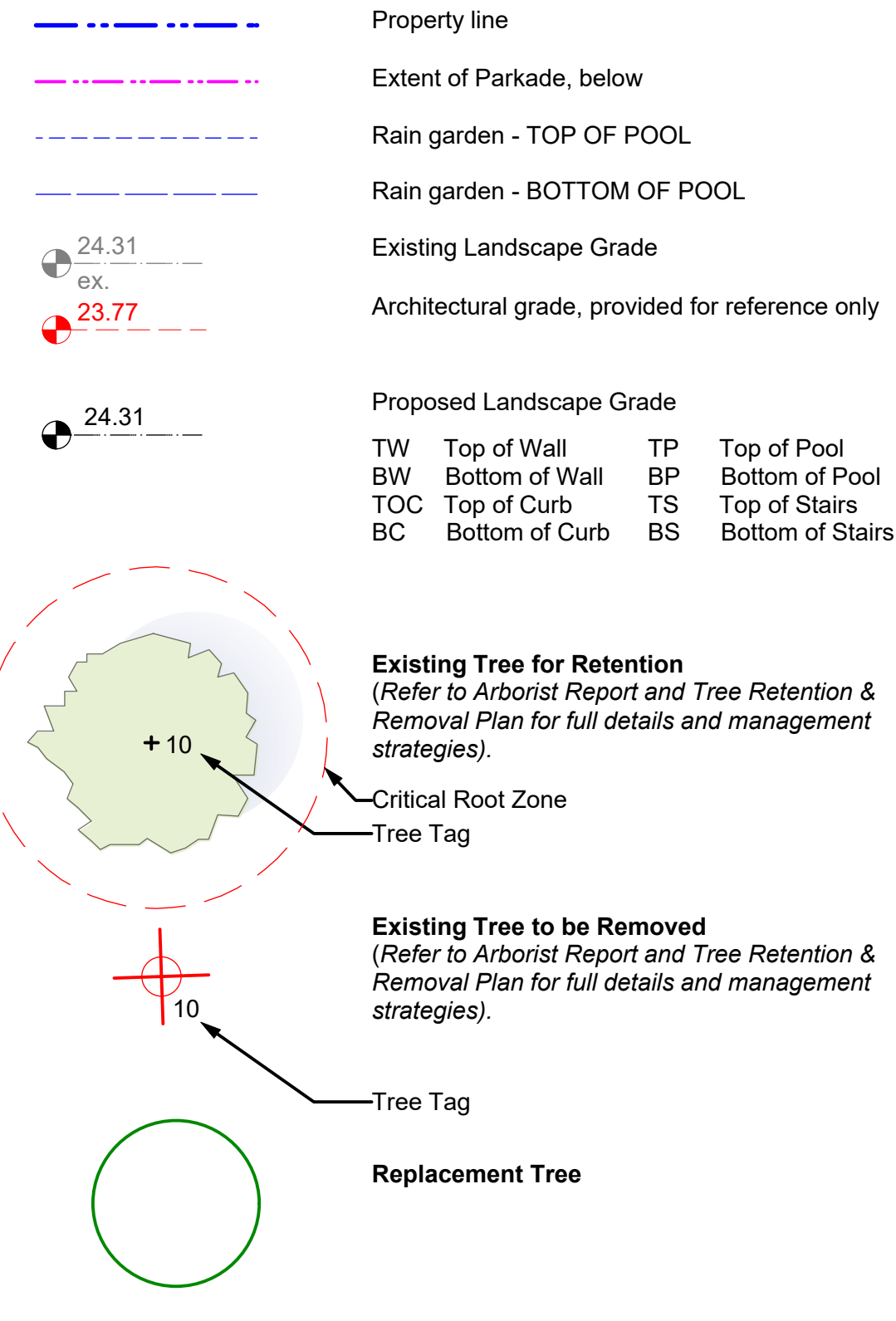
TREE TAG #	DBH (cm)	Species	Bylaw Protected?
914	45	Norway maple	no
915	43	Red oak	no
918	34	Red oak	no
919	30	Tulip Tree	no
920	20	Tulip Tree	no
921	33	Tulip Tree	no
922	24	Red maple	no
923	30	Tulip Tree	no
924	20	Tulip Tree	no
925	41	Tulip Tree	no
932	74	Bluegum	no
943	42	Pear	no
945	36	Oregon ash	no
946	68	Douglas fir	yes
947	37	Pear	no
948	30	Ellwood juniper	no
949	25	Red maple	no
950	22	Tulip tree	no
951	19	Red maple	no
952	18	Red maple	no
953	32	Red maple	no
954	13	Tulip tree	no
955	35	Red maple	no
956	10	Eastern white cedar	no
957	24	Red oak	no
958	23	Red oak	no

TOTAL TREES TO BE REMOVED: 26  
TOTAL PROTECTED TREES TO BE REMOVED\*: 1

\* Based on Arborist's Report recieved from Dogwood Tree Services, 09/25/2019. Refer to Arborist report for details on tree conditions and Arborist recommendations.

\*\* Based on pre Oct. 24th, 2019 Tree Bylaw requirements.

LEGEND



NOT FOR CONSTRUCTION

Murdoch de Greeff INC  
Landscape Planning & Design  
200 - 554 Cuthbert Road  
Victoria, BC V8Z 1G1  
Phone: 250.412-2891  
Fax: 250.412-2892

Feb. 5, 2020

client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

project  
Caledonia Redevelopment  
Caledonia Ave.  
Victoria, BC

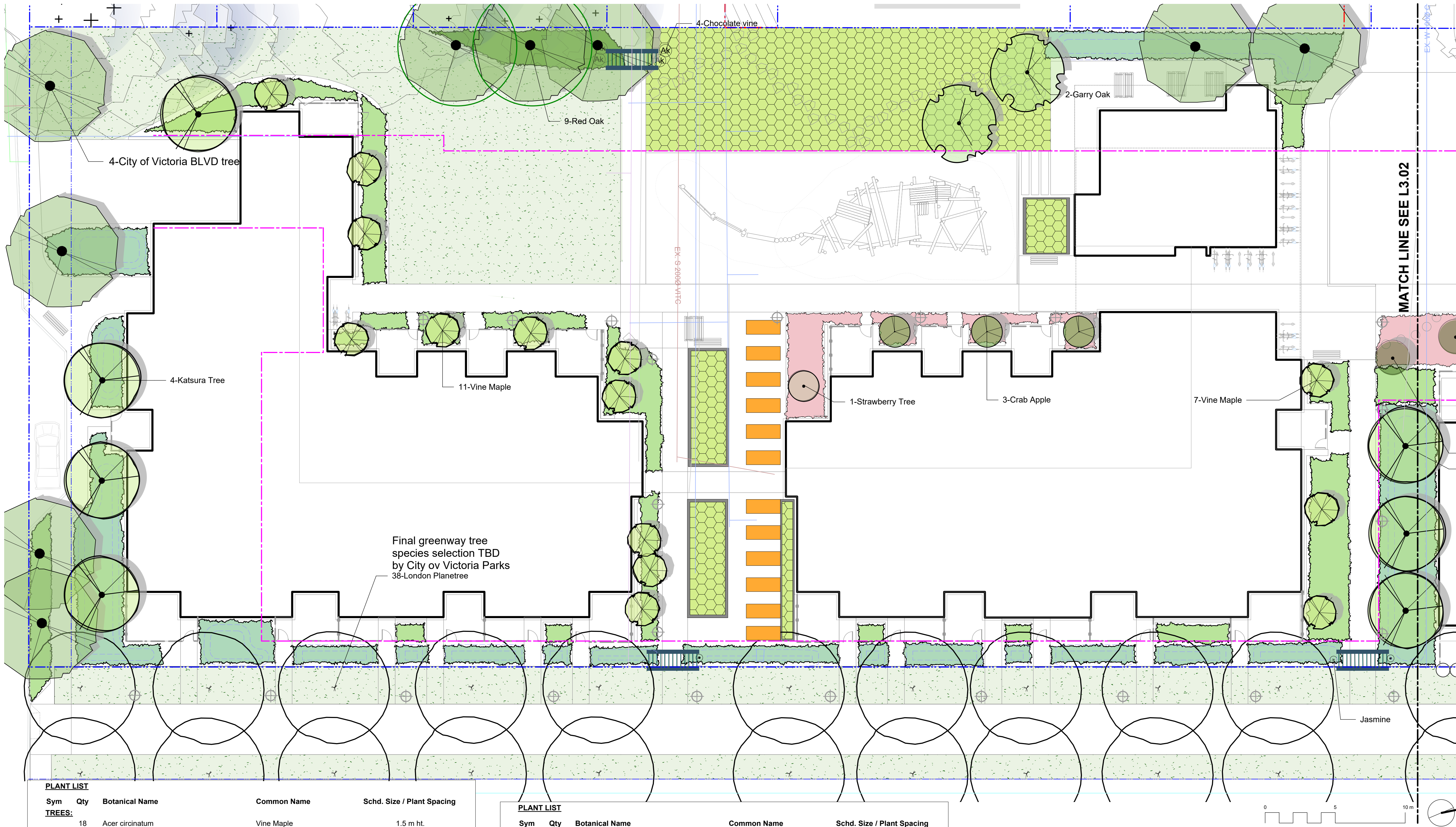
sheet title

**Tree Retention & Removal Plan**

project no.	119.18
scale	1: 250 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.

2  
**L1.05**





**BOULEVARD PLANTING NOTES**

1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
2. Boulevard trees will be place a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
3. Final selection and placement of boulevard trees to be determined through consultation with municipal parks staff.
4. Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
5. Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
6. Boulevard irrigation point of connection to be 19 mm service from existing water connection on Grant Street, refer to Civil drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
7. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.

3

**GENERAL PLANTING NOTE**

1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.

**ON-SLAB TREE PLANTING NOTES**

1. For on-slab landscape and rain planter installations, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier in most applications.
2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
3. A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas:  
a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

**PLANT LIST**

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
<b>TREES:</b>				
18		Acer circinatum	Vine Maple	1.5 m ht.
1		Arbutus unedo	Strawberry Tree	1.2 m ht, b&b
3		Calocedrus decurrens	Incense Cedar	1.5 m ht,b&b
10		Cercidiphyllum japonicum	Katsura Tree	5.0cm cal, b&b
4		City of Victoria BLVD tree	As PER COV Parks	5.0cm cal, b&b
2		Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multistem, 1.2 m ht, b&b
2		Cornus mas 'Golden Glory'	Cornelian Cherry Dogwood	4.0 cm cal, b&b
1		Corylus 'Felix'	Felix Hazlenut	1.5m height, b&b
2		Corylus 'Jefferson'	Jefferson Hazlenut	1.5m height, b&b
2		Ficus carica 'Mission'	Black Mission Fig	#10 pot
13		Malus 'Sugar tyme'	Crab Apple	#10 pot, Min 1.2m ht
3		Oxydendrum arboreum	Sourwood Tree	multistem, 1.5m ht, b&b
38		Picea omonika	Serbian Spruce	1.5m ht, b&b
3		Platanus acerifolia	London Planetree	4.0 cm cal, b&b
6		Pseudotsuga menziesii	Douglas Fir	1.5m ht, b&b
5		Quercus garryana	Garry Oak	4.0cm cal, b&b
9		Quercus rubra	Red Oak	5.0cm cal, b&b
<b>HERB &amp; POLLINATOR PLANTINGS</b>				
Ana	210	Aster novae-angliae	New England Aster	#1 pot
Cx	24	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot / 1.8 m O.C.
Ep	204	Echinacea purpurea	Purple Coneflower	#1 pot
Lws	151	Lavandula x intermedia 'White Spike'	White Spike Lavandin	#1 pot
Oi	24	Origanum laevigatum 'Herrenhausen'	Garden Oregano	#1 pot
Rrs	204	Rosa rugosa 'Schneekoppe'	Snow Pavement Rose	#2 pot
Rof	51	Rosmarinus officinalis	Rosemary	#2 pot
Rf	204	Rudbeckia fulgida	Black-Eyed Susan	#1 pot
Ssm	210	Salvia 'sylvestris 'Mainacht'	May Night Salvia	#1 pot
Slo	24	Salvia officinalis	Culinary Sage	#1 pot
St	287	Stipa tenuissima	Mexican Feathergrass	#1 pot
Vsb	24	Vaccinium 'Sunshine Blue'	Blueberry	#3 pot
<b>VINES</b>				
Pac	2	Passiflora caerulea	Blue Passionflower	#1 pot
Jn	4	Jasminum nudiflorum	Jasmine	#1 pot
Ak	4	Akebia quinata	Chocolate vine	#2 pot
Act	4	Actinidia arguta	Hardy Kiwi	#2 pot

**PLANT LIST**

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
<b>RAIN GARDEN PLANTS:</b>				
Co	931	Carex obnupta	Slough Sedge	#1 pot
Csc	104	Cornus sericea	Red-twig Dogwood	#3 pot
Csk	416	Cornus sericea 'Kelseyii'	Dwarf Red-twigged Dogwood	#1 pot
Jcg	931	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Spn	22	Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	#1 pot
Sd	22	Spiraea douglasii	Hardhack	1
<b>NATIVE &amp; EDIBLE SHRUB PLANTINGS</b>				
Co	14	Carex obnupta	Slough Sedge	#1 pot
Csc	2	Cornus sericea	Red-twig Dogwood	#3 pot
Csk	6	Cornus sericea 'Kelseyii'	Dwarf Red-twigged Dogwood	#1 pot
Fve	142	Fragaria vesca	Woodland Strawberry	Sp3 30cm o.c.
Gsh	314	Gaultheria shallon	Salal	#1 pot, 40cm o.c.
Jcg	14	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Mn	3	Mahonia nervosa	Oregon Grape Holly	#1 pot 40cm o.c.
Myo	108	Myrica californica	Pacific Wax Myrtle	#3 pot
Oo	220	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
Phi	32	Philadelphus lewisii	Mock Orange	1.8
Pm	525	Polystichum munitum	Sword Fern	#1 pot
Ruc	142	Ribes uva-crispa	Gooseberry	#2 pot
Rn	211	Rosa nutkana	Nootka Rose	#1 pot
Spn	0	Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	#1 pot
Sd	32	Spiraea douglasii	Hardhack	1
Sa	211	Symphoricarpos alba	Snowberry	#1 pot
Vsb	24	Vaccinium 'Sunshine Blue'	Blueberry	#3 pot
Bbd	15	Vaccinium 'Blue Crop' & 'Duke'	Blueberry 'Blue Crop' & 'Duke'	#3 pot
Vo	81	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
Vh	220	Vancouveriana hexandra	Inside-out Flower	0.3

**PLANTING LEGEND**

**NATIVE SHRUB PLANTINGS**

- Sword Fern
- White Spike Lavandin
- Black-Eyed Susan
- Salal
- Evergreen Huckleberry

**RAIN GARDEN PLANTINGS**

- Soft Common Rush
- Hardhack
- Slough Sedge
- Dwarf Arctic Blue Leaf Willow
- Red-twig Dogwood
- Dwarf Red-twigged Dogwood

**URBAN AGRICULTURE ZONE**

- Plantings to be designed & managed by Community Partner, Volunteers and Residents.

**ALLOTMENT GARDEN BOX**

- 

**HERBS & POLLINATOR PLANTINGS**

- Purple Coneflower
- White Spike Lavandin
- New England Aster
- Black-Eyed Susan
- May Night Salvia
- Snow Pavement Rose
- Mexican Feathergrass
- Feather Reed Grass
- Blueberry
- Rosemary
- Culinary Sage
- Garden Oregano

**SHADY NATIVE & EDIBLE PLANTINGS**

- Salal
- Gooseberry
- Sword Fern
- Hardhack
- Woodland Strawberry
- Mock Orange
- Evergreen Huckleberry
- Redwood Sorrel
- Inside-out Flower

**LAWN AREA**

- 

**SCREENING HEDGE**

- Pacific Wax Myrtle

NOT FOR CONSTRUCTION

5	For COTW	20.02.04
4	Issued for ADP	20.01.15
2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26
rev no	description	date

**Murdoch de Greeff INC**  
Landscape Planning & Design  
200 - 554 Cuthbert Road  
Victoria, BC V8Z 1G1  
Phone: 250.412.2891  
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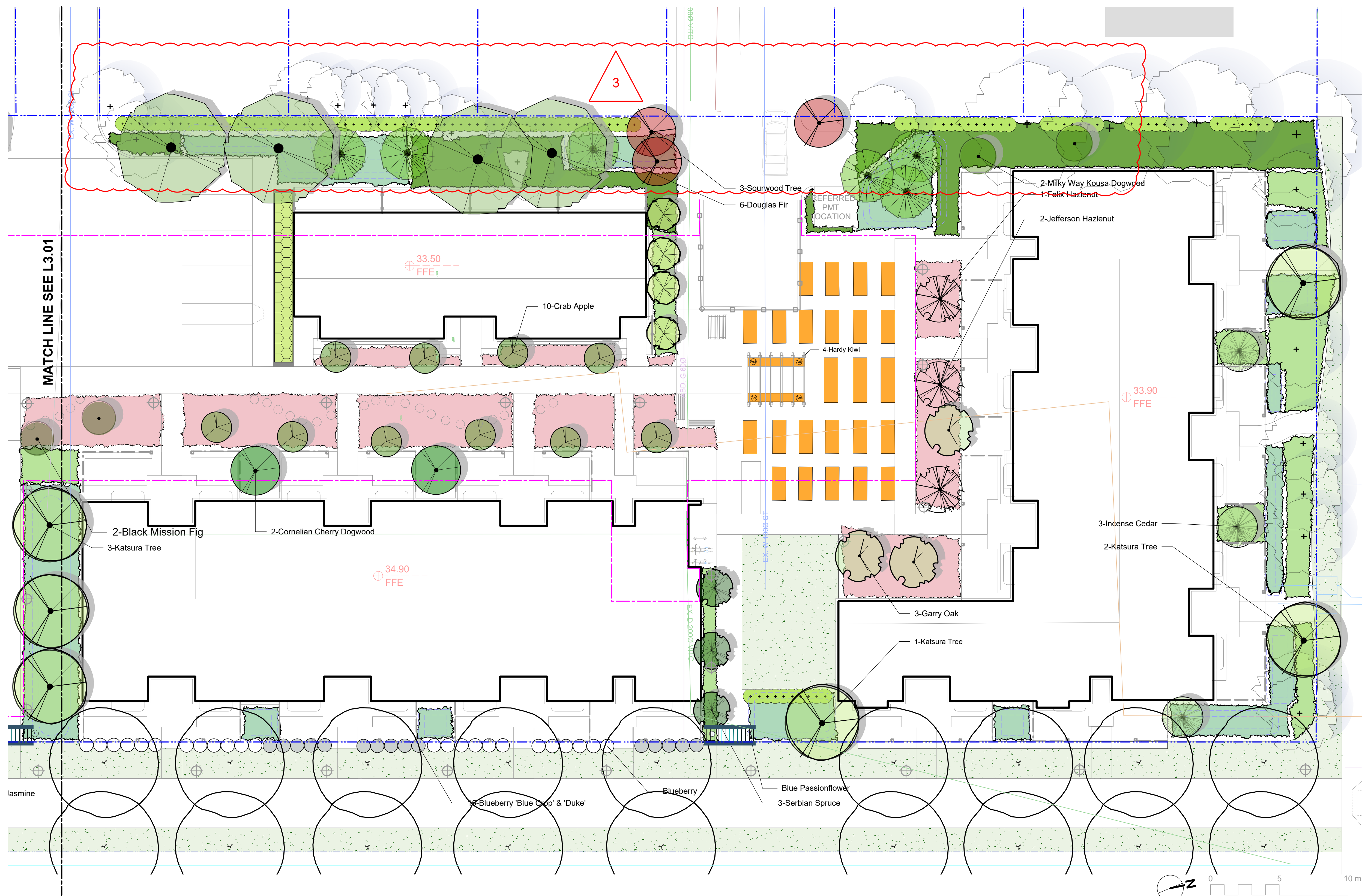
Feb. 5, 2020

client	<b>CRD Housing Corporation</b> 631 Fisgard Ave. Victoria, BC
project	Caledonia Redevelopment Caledonia Ave. Victoria, BC
sheet title	

**Planting Plan South**

project no.	119.18
scale	1: 150 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.





**BOULEVARD PLANTING NOTES**

1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
2. Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
3. Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
4. Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
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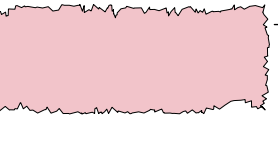



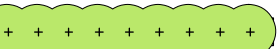


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1. For on-slab landscape and rain planter installations, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier in most applications.
2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
3. A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the following conditions exist in on-grade planting areas: a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

**PLANTING LEGEND**

<b>NATIVE SHRUB PLANTINGS</b>  Sword Fern Snowberry Evergreen Huckleberry Salal	<b>HERBS &amp; POLLINATOR PLANTINGS</b>  Purple Coneflower White Spike Lavandin New England Aster Black-Eyed Susan May Night Salvia Snow Pavement Rose Mexican Feathergrass Feather Reed Grass Blueberry Rosemary Culinary Sage Garden Oregano	<b>SHADY NATIVE &amp; EDIBLE PLANTINGS</b>  Salal Gooseberry Sword Fern Hardhack Woodland Strawberry Mock Orange Evergreen Huckleberry Redwood Sorrel Inside-out Flower
<b>RAIN GARDEN PLANTINGS</b>  Soft Common Rush Hardhack Slough Sedge Dwarf Arctic Blue Leaf Willow Red-twig Dogwood Dwarf Red-twigged Dogwood	<b>LAWN AREA</b> 	<b>SCREENING HEDGE</b>  Pacific Wax Myrtle
<b>URBAN AGRICULTURE ZONE</b>  Plantings to be designed & managed by Community Partner, Volunteers and Residents.		
<b>ALLOTMENT GARDEN BOX</b> 		

PLANT LIST SEE L3.01

NOT FOR CONSTRUCTION



Feb. 5, 2020		
client	<b>CRD Housing Corporation</b> 631 Fisgard Ave. Victoria, BC	
project	Caledonia Redevelopment Caledonia Ave. Victoria, BC	
sheet title	<b>Planting Plan North</b>	
project no.	119.18	
scale	1: 150	@ 24"x36"
drawn by	TB	
checked by	PdG	
revision no.		sheet no.
		<b>L3.02</b>





1 Section at Pedestrian Allee and Townhouses  
Scale: 1:50



2 Section at Pedestrian Walkway  
Scale: 1:50

NOT FOR CONSTRUCTION

rev no	description	date
5	For COTW	20.02.04
4	Issued for ADP	20.01.15
2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26



Feb. 5, 2020

client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

project  
Caledonia Redevelopment  
Caledonia Ave.  
Victoria, BC

sheet title  
**Landscape Sections**

project no.	119.18
scale	1: 250 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.

2

L5.01