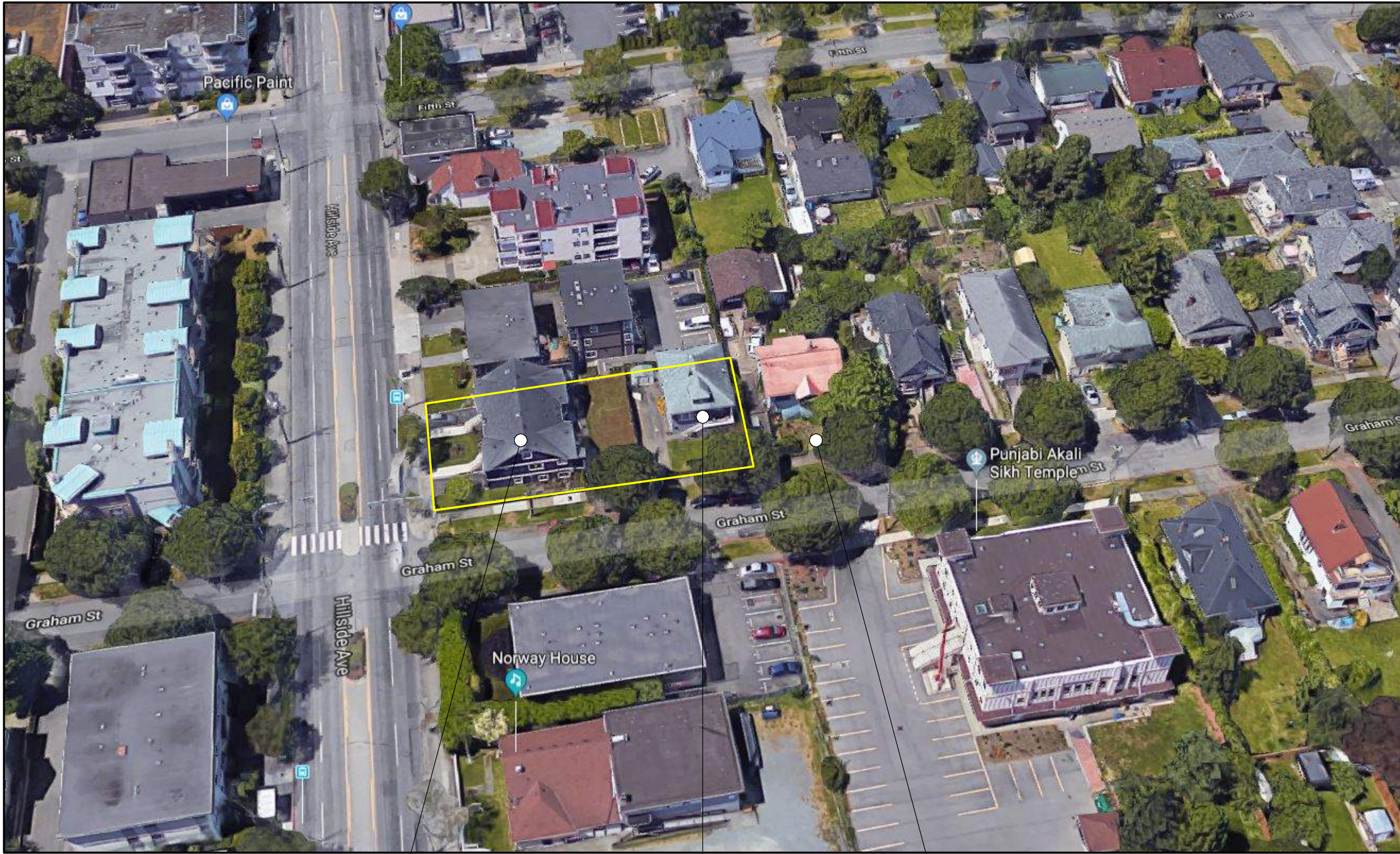


LOCATION PLAN
PROPOSED 4 UNITS TOWNHOUSE
2708 GRAHAM STREET



DUPLEX-
1050 HILLSIDE AVE
TO REMAIN

DWELLING
2708 GRAHAM STREET
TO BE REMOVED

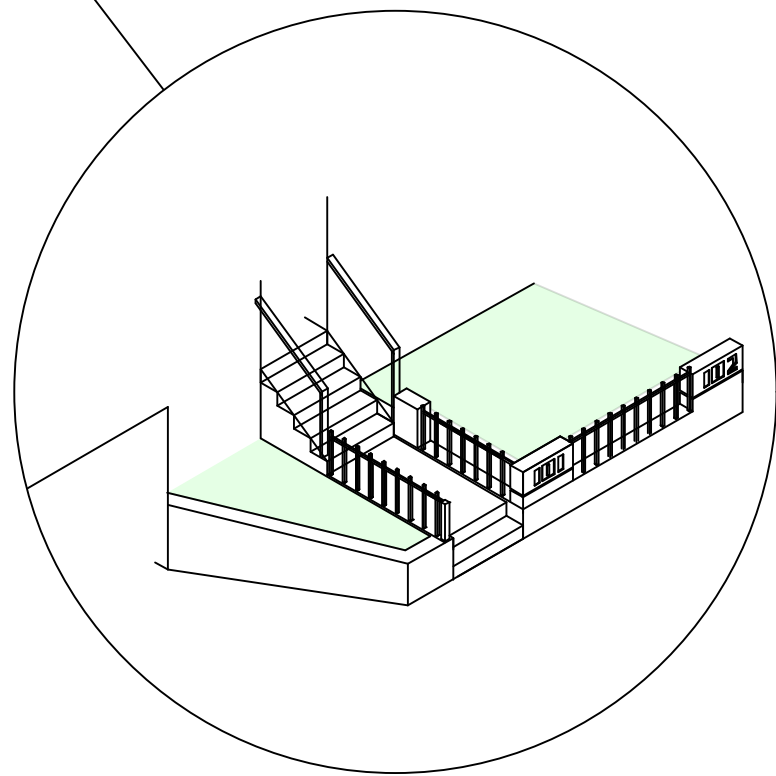
DWELLING
2718 GRAHAM ST
(INCLUDED IN
STREETSCAPE)



PROPOSED MATERIALS & COLORS

Colour Legend

- Hardy Lap Siding
Benjamin Moore 2128-30
- Horizontal Pre-finished Metal Siding
Benjamin Moore 2164-30
- Hardy Panels
Benjamin Moore 2111-70
- Black Vinyl Windows
- Trim, Barge Boards
Benjamin Moore 2132-20
- Doors
Benjamin Moore 2128-30



Revisions

Bubbled areas indicate revisions
compared to the previously
submitted plans

Received Date
December 17, 2018

- P1 - Location & Context
- P2 - Site Plan
- P3 - Elevations
- P4 - First Floor
- P5 - Second Floor
- P6 - Third Floor
- P7 - Section & Duplex Elevations
- P8- Existing Duplex Floor Plans

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V9B 0A6

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2708 GRAHAM STREET

DEVELOPMENT PERMIT WITH VARIANCE PRESENTATION

Date: 2018 Dec 14

1
P2

Site Plan
Scale: 1:100

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The Northerly 50 feet of Lot 4, Block 1,
Section 4, Victoria District, Plan 299
&

The Southerly 103 feet of Lot 4, Block 1,
Section 4, Victoria District, Plan 299
except the southerly 7.5 feet thereof taken for road
purposes as shown on said plan

Prop. Grade Calculation (See Elevations)

Pts A+B $((16.55+16.46)/2) \times 17.68 = 291.81$
Pts B+C $((16.46+16.70)/2) \times 11.10 = 184.04$
Pts CL+DL $((15.85+15.85)/2) \times 2.87 = 45.49$
Pts D+E $((16.80+16.86)/2) \times 6.99 = 117.64$
Pts EL+FL $((16.67+16.67)/2) \times 3.71 = 61.85$
Pts F+G $((16.86+16.90)/2) \times 6.99 = 117.99$
Pts GL+HL $((15.85+15.85)/2) \times 2.87 = 45.49$
Pts H+A $((16.83+16.55)/2) \times 11.10 = 185.26$

Total: 1049.57

$1049.57/63.31(\text{Perimeter}) = 16.58$ (Average Grade)

1/P2
REVISED DEC. 11, 2018

* - VARIANCE REQUIRED

PARKING SCHEDULE	SCHEDULE C	PROPOSED
PARKING STALLS	1.45 / UNIT = 9	6*
LONG TERM BICYCLE	1 / UNIT = 6	6
SHORT TERM BICYCLE	6 / BUILDING = 12	12

2/P2
ADDED DEC. 11, 2018

4/P2
REVISED
DEC. 11, 2018

4/P2
REVISED
DEC. 11, 2018

4/P2
REVISED
DEC. 11, 2018

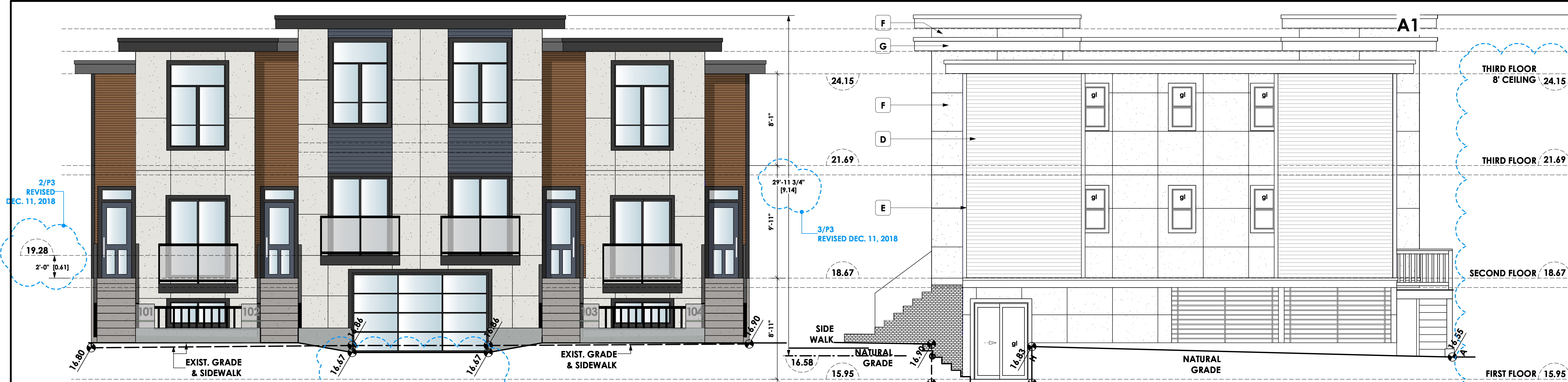
3/P2
REVISED DEC. 11, 2018

* - VARIANCE REQUIRED
** - EXISTING NONCONFORMING

SITE DATA		R3-2
ITEMS		PROPOSED
LOT AREA		911.93 SQ.M.
SITE COVERAGE(EX.DW.+		48.4%*(205 SQ.M.+
+PROP.TH.)		+236 SQ.M)
OPEN SIDE SPACE		38.8%(558 SQ.M)
SETBACKS		
-FRONT (SOUTH)		7.58 M.
-REAR (NORTH)		2.31 M*
-LEFT (WEST)		1.60 M.**/4.19 M.
-RIGHT (EAST)		2.42 M.**/2.42 M.*
EX.DUPLEX FLOOR AREA		255.9 SQ.M.
PROP.TH. FLOOR AREA		469.86 SQ.M.
TOTAL FLOOR AREA		725.76 SQ.M.
F.S.R.		0.80 TO 1.0
PARKING	7	6*

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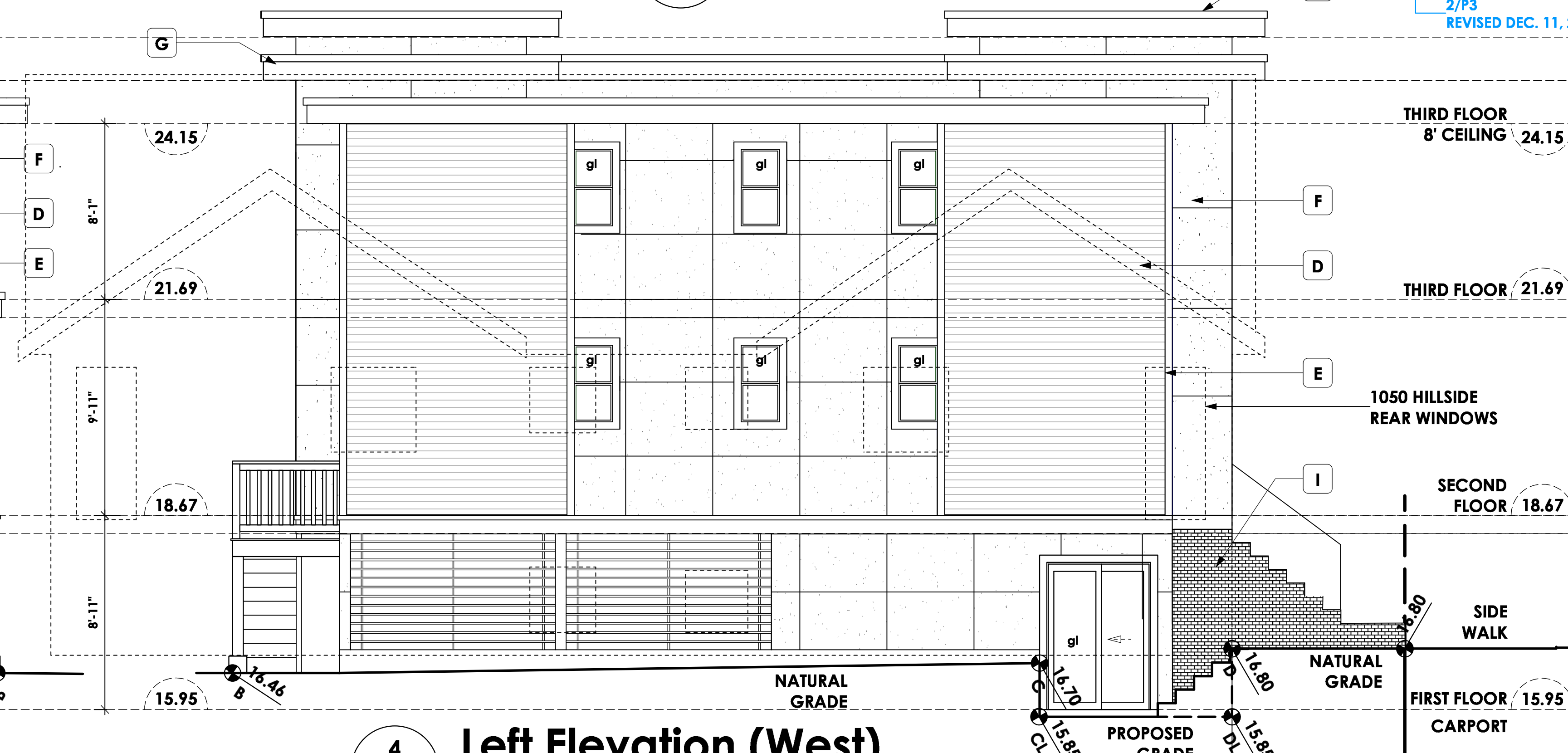


1
P4
Front Elevation (South)
Scale: 1/4" = 1'-0"

2
P4
Right Elevation (East)
Scale: 1/4" = 1'-0"



3
P4
Rear Side Elevation (North)
Scale: 1/4" = 1'-0"



4
P4
Left Elevation (West)
Scale: 1/4" = 1'-0"

- EXTERIOR APPLICATION**
- | | | | | | | | | | |
|---|------------------------------------|---|----------------------------------|---|---|---|--|---|--------------|
| A | TORCH ON ROOFING | C | VERTICAL WOOD SIDING | E | 1"X4" WINDOW & DOOR TRIM (metal flashing where req) | G | 1"X4" TRIM BOARD ON 2"X10" BARGE BOARD | I | BRICK VENEER |
| B | 1"X4" FASCIA BOARD ON 2"X10" BOARD | D | HORIZONTAL PRE-FIN. METAL SIDING | F | CONC. FIBRE PANELS | H | 42" FIN. HT. GUARD C/W S.P. GLAZING PANEL TO COMPLY W/ BC BLDG CODE 2006 9.8.8 | | |

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2708 GRAHAM STREET

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DOOR SCHEDULE

A	8/0 X 4/8 (2438 X 2032)
B	6/0 X 4/8 (1829 X 2032)
C	5/0 X 4/8 (1524 X 2032)
D	4/0 X 4/8 (1219 X 2032)
E	3/0 X 4/8 (914 X 2032)
F	2/10 X 4/8 (864 X 2032)
G	2/8 X 4/8 (813 X 2032)
H	2/6 X 4/8 (762 X 2032)
J	2/4 X 4/8 (711 X 2032)
K	2/0 X 4/8 (610 X 2032)
L	1/6 X 4/8 (508 X 2032)

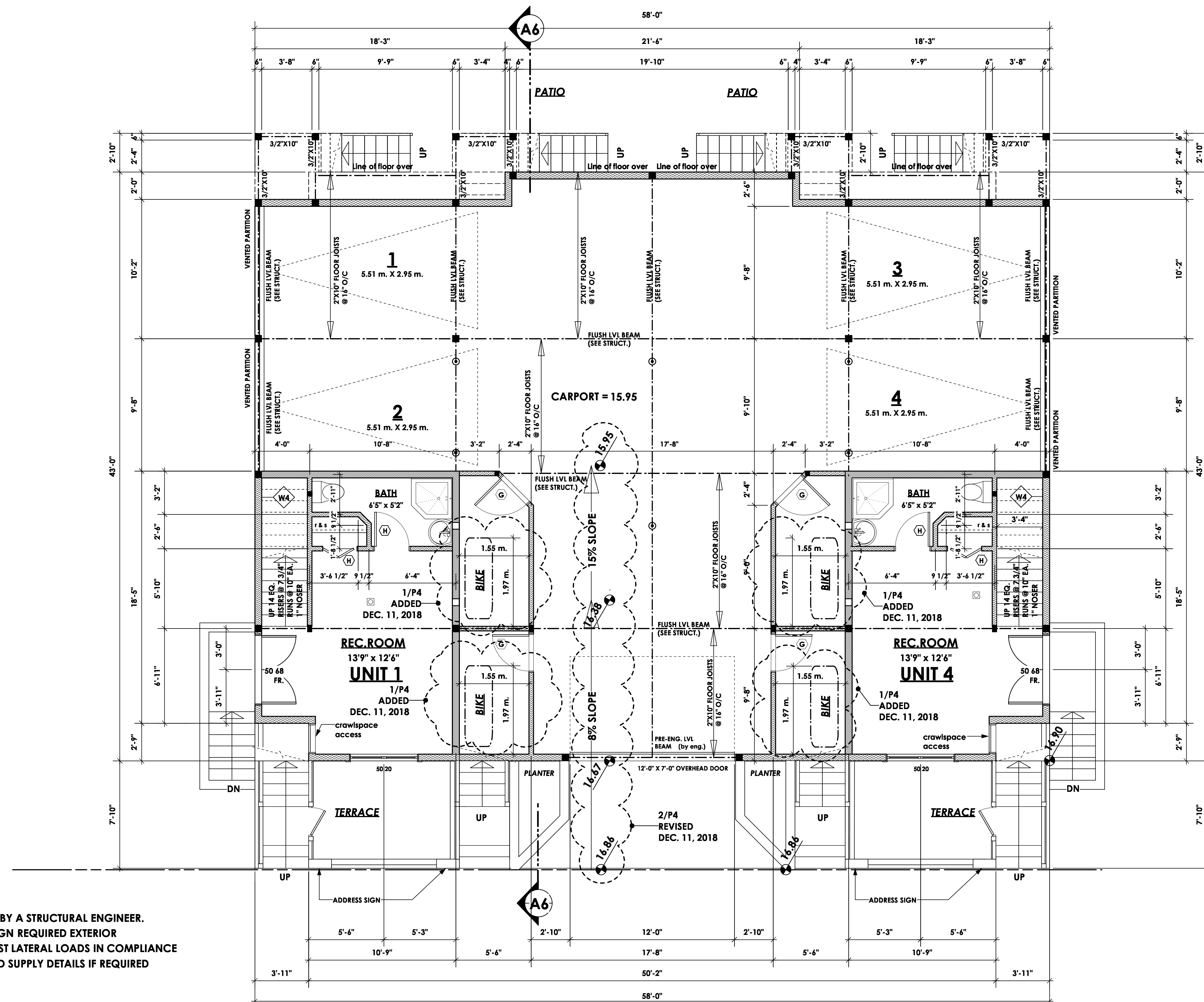
FRAMING WALL LEGEND

(SEE SECTION FOR COMPLETE ASSEMBLIES)

W1	8" CONC. FOUNDATION WALL (SEE STRUCT.)
W2	INTERIOR PARTITION 2X4 STUDS @ 16" O/C
W3	INTERIOR PARTITION 2X6 STUDS @ 16" O/C
W4	1 HR. F.R.R. (52 STC) PARTY WALL B.C.B.C. 2012 W8a 2 ROWS STAGGERED 2X4 STUDS @ 16" O/C ON COMMON 2X6 PLATE
W5	1 HR. F.R.R. EXTERIOR WALL B.C.B.C. 2012 EW1a 2X6 STUDS @ 16" O/C
W6	EXTERIOR WALL 2X6 STUDS @ 16" O/C
W7	EXTERIOR WALL 2X6 STUDS @ 16" O/C (EXTERIOR FINISHES BOTH SIDES)
W8	1 HR. RATED INTERIOR PARTITION B.C.B.C. 2012 W1a 2X6 STUDS @ 16" O/C

STRUCTURAL ENGINEER TO VERIFY EXTENT OF
ALL REQUIRED INTERIOR & EXTERIOR BRACEWALLS.
B.C. BLDG. CODE 2012 9.23.13.3.

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR BRACED WALL PANELS TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 2012 9.23.13.2 AND SUPPLY DETAILS IF REQUIRED



1 First Floor Plan
P5 Scale: 1/4" = 1'-0"

Unit 1: 287.17 sq.ft. (26.70 sq.m.)
Unit 4: 287.17 sq.ft. (26.70 sq.m.)
Total Units Floor Area: 574.34 sq.ft. (53.40 sq.m.)
Carport: 1725.05 sq.ft. (160.26 sq.m.)

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2708 GRAHAM STREET

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G	2/8 X 4/8 (813 X 2032)
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J	2/4 X 4/8 (711 X 2032)
K	2/0 X 4/8 (610 X 2032)
L	1/6 X 4/8 (508 X 2032)

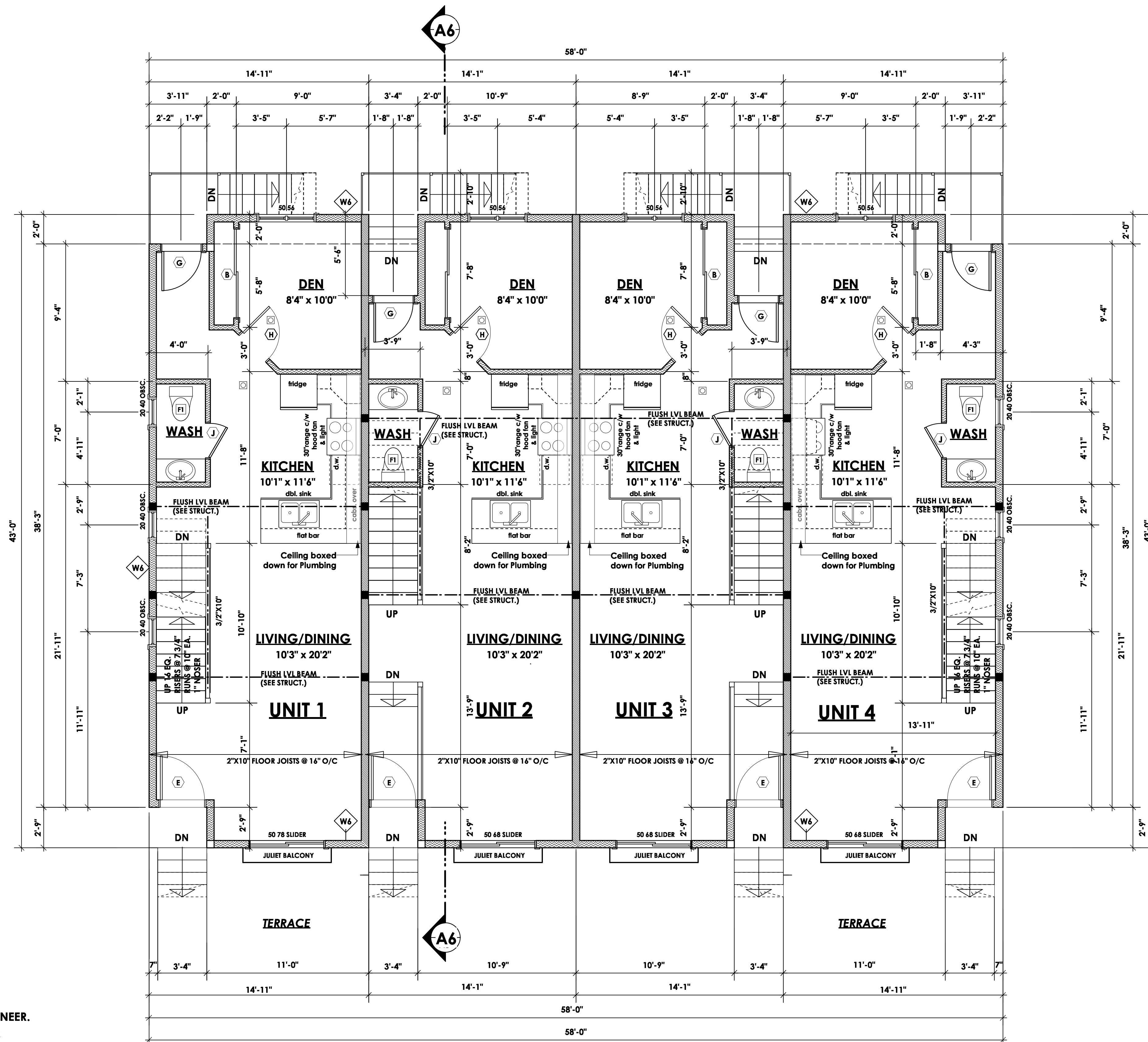
FRAMING WALL LEGEND

(SEE SECTION FOR COMPLETE ASSEMBLIES)

- W1 8" CONC. FOUNDATION WALL (SEE STRUCT.)
- W2 INTERIOR PARTITION
2X4 STUDS @ 16" O/C
- W3 INTERIOR PARTITION
2X6 STUDS @ 16" O/C
- W4 1 HR. F.R.R. (52 STC) PARTY WALL
B.C.B.C. 2012 W8a
2 ROWS STAGGERED 2X4 STUDS
@ 16" O/C ON COMMON 2X6 PLATE
- W5 1 HR. F.R.R. EXTERIOR WALL
B.C.B.C. 2012 EW1a
2X6 STUDS @ 16" O/C
- W6 EXTERIOR WALL
2X6 STUDS @ 16" O/C
(EXTERIOR FINISHES BOTH SIDES)
- W8 1 HR. RATED INTERIOR PARTITION
B.C.B.C. 2012 W1a
2X6 STUDS @ 16" O/C

STRUCTURAL ENGINEER TO VERIFY EXTENT OF
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B.C. BLDG. CODE 2012 9.23.13.3.

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WITH B.C. BUILDING CODE 2012 9.23.13.2 AND SUPPLY DETAILS IF REQUIRED



1
P6

Second Floor Plan

Scale: 1/4" = 1'-0"

Unit 1: 575.21 sq.ft. (53.44 sq.m.)
Unit 2: 582.60 sq.ft. (54.13 sq.m.)
Unit 3: 582.60 sq.ft. (54.13 sq.m.)
Unit 4: 575.21 sq.ft. (53.44 sq.m.)
Total Units Floor Area: 2315.62 sq.ft. (215.14 sq.m.)

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DOOR SCHEDULE

A	8/0 X 6/8 (2438 X 2032)
B	6/0 X 6/8 (1829 X 2032)
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D	4/0 X 6/8 (1219 X 2032)
E	3/0 X 6/8 (914 X 2032)
F	2/10 X 6/8 (864 X 2032)
G	2/8 X 6/8 (813 X 2032)
H	2/6 X 6/8 (762 X 2032)
J	2/4 X 6/8 (711 X 2032)
K	2/0 X 6/8 (610 X 2032)
L	1/6 X 6/8 (508 X 2032)

FRAMING WALL LEGEND

(SEE SECTION FOR COMPLETE ASSEMBLIES)

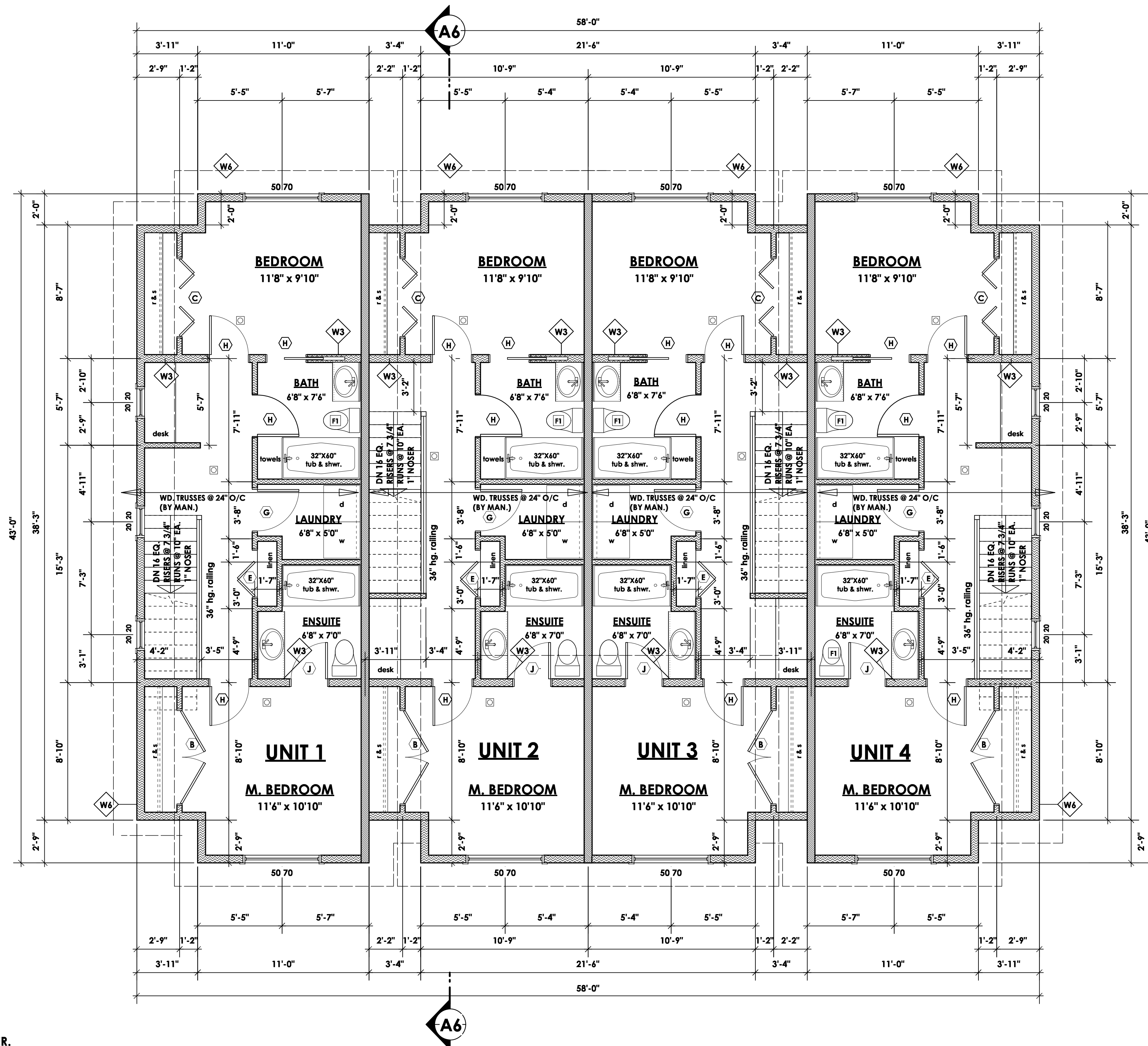
- W1 8" CONC. FOUNDATION WALL (SEE STRUCT.)
- W2 INTERIOR PARTITION 2X4 STUDS @ 16" O/C
- W3 INTERIOR PARTITION 2X6 STUDS @ 16" O/C
- W4 1 HR. F.R.R. (52 STC) PARTY WALL B.C.B.C. 2012 W8a 2 ROWS STAGGERED 2X4 STUDS @ 16" O/C ON COMMON 2X6 PLATE
- W5 1 HR. F.R.R. EXTERIOR WALL B.C.B.C. 2012 EW1a 2X6 STUDS @ 16" O/C
- W6 EXTERIOR WALL 2X6 STUDS @ 16" O/C (EXTERIOR FINISHES BOTH SIDES)
- W8 1 HR. RATED INTERIOR PARTITION B.C.B.C. 2012 W1a 2X6 STUDS @ 16" O/C

STRUCTURAL ENGINEER TO VERIFY EXTENT OF ALL REQUIRED INTERIOR & EXTERIOR BRACEWALLS. B.C. BLDG. CODE 2012 9.23.13.3.

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1 Third Floor
P7 Scale: 1/4" = 1'-0"

Unit 1: 540.00 sq.ft. (50.17 sq.m.)
Unit 2: 543.47 sq.ft. (50.49 sq.m.)
Unit 3: 543.47 sq.ft. (50.49 sq.m.)
Unit 4: 540.00 sq.ft. (50.17 sq.m.)
Total Units Floor Area: 2166.94 sq.ft. (201.32 sq.m.)



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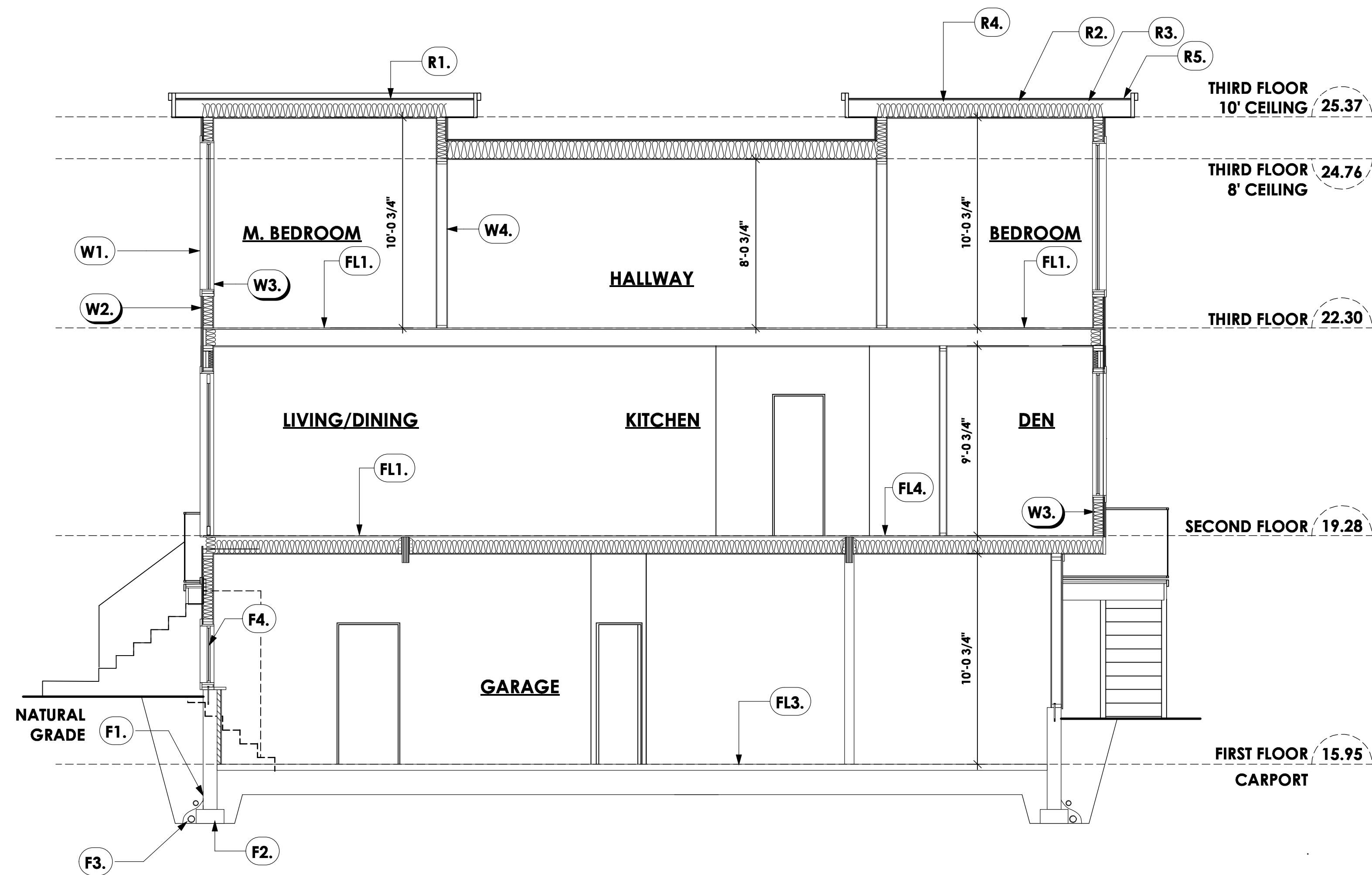
2708 GRAHAM STREET

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1 Cross Section A-A
P8 Scale: 1/4" = 1'-0"

Section Notes

Roofs

- R1. 2-PLY TORCH-ON ROOFING MEMBRANE (to comply w/ CGSB 37-GP-56M and CGSB-37-6P-9Ma) 1/2" ROOFING RECOVERY BOARD ON SLOPED TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 5/8" T&G PLYWOOD SHEATHING OR EQ. ON 2"x4" WOOD STRAPPING @16" O/C 2"x10" ROOF JOISTS @ 16" O.C. C/W R-28 F.G. BATT. INSULATION 6 MIL POLY'N V.B. 1/2" GYPSUM BOARD (provide adequate drainage flashing membrane "upstand"/ cant. flashing @ ext. wall.)
- R2. PROVIDE 2 1/2" CLEAR BETWEEN R-28 INSULATION AND SHEATHING.
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 150 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 7.19.1)
- R5. BUILT-IN GUTTER VENTED SOFFIT (see contractor)

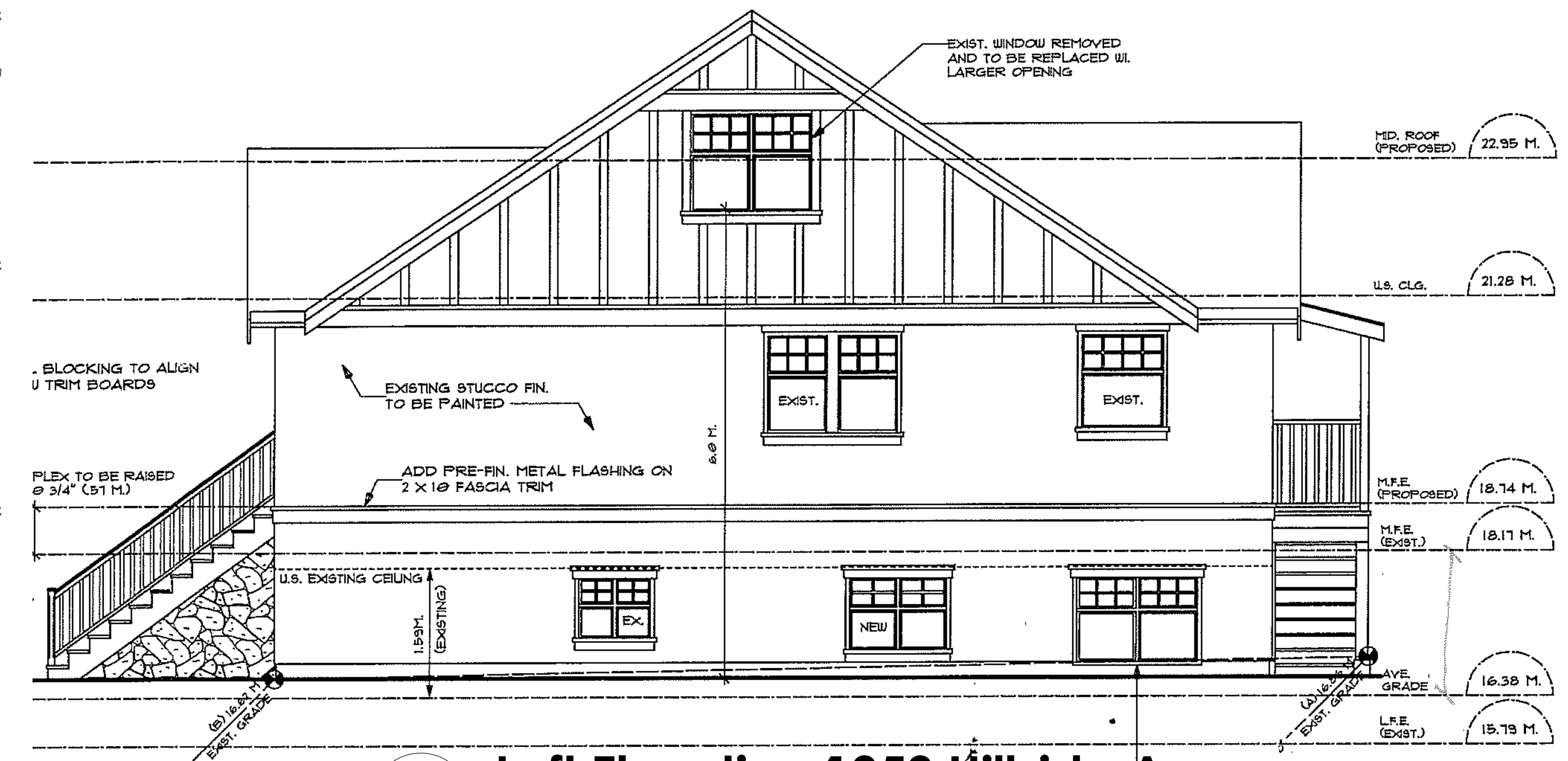
Floors and Walls

- FL1. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"x10" FLOOR JOISTS @ 16" OR 12" O/C C/W 2"x2" X-BRIDGING @ 7.0" O/C (max) 1/2" GYPSUM BOARD
- FL2. 3.5" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL3. 3.5" CONCRETE SLAB 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL4. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"x10" FLOOR JOISTS @ 16" OR 12" O/C C/W 2"x2" X-BRIDGING @ 7.0" O/C (max) R-28 INSULATION 6 MIL POLY'N V.B. 5/8" X-TYPE GYPSUM BOARD (floors over garages)

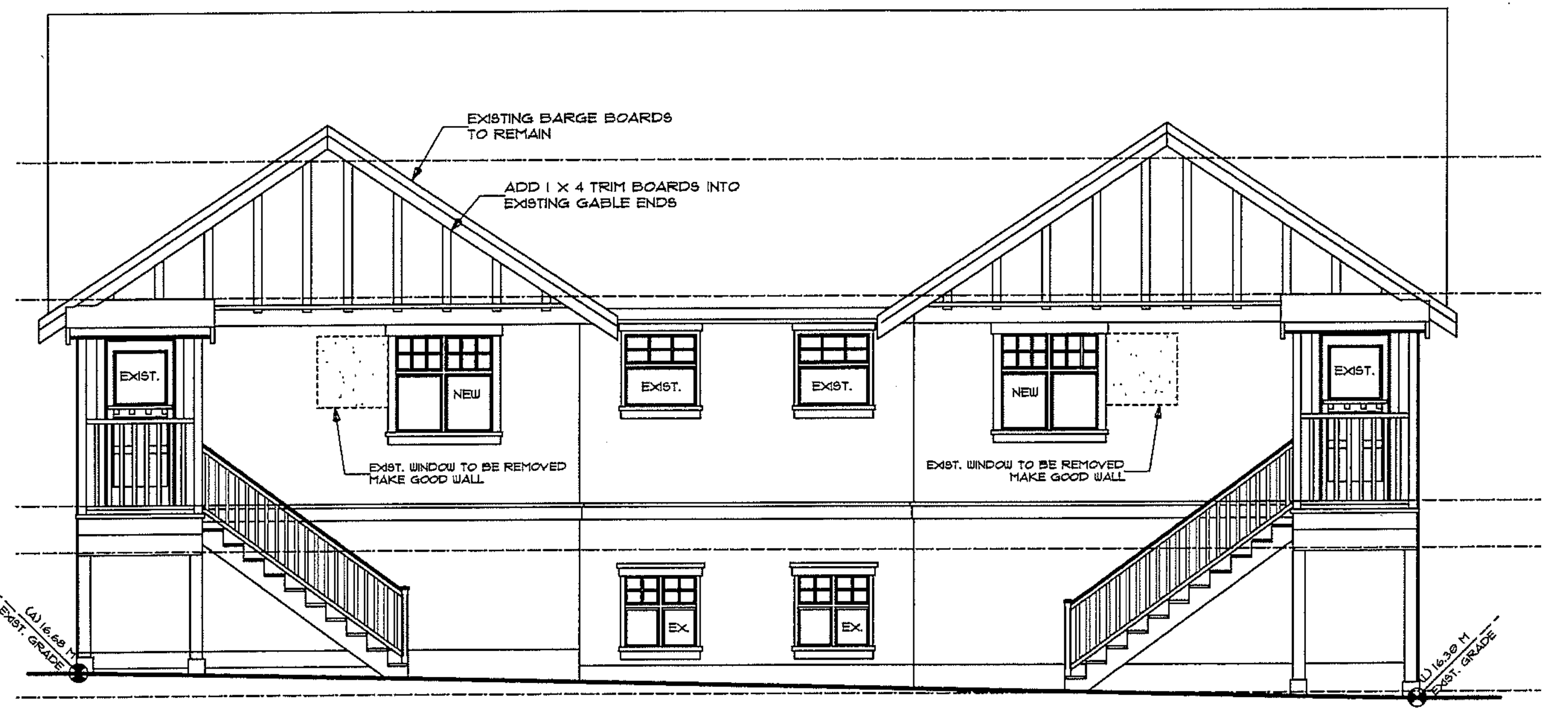
Foundation Walls

- W1. DOUBLE GLAZING IN THERMAL BREAK FRAMES 2/2"x10" LINTEL OVER (TYPICAL) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW MANUF. TO ENSURE ALL WINDOWS & DOORS TO COMPLY WITH B.C. BLDG. CODE 2012 9.7 & Victoria (M. Talmie) OPEN Terrain AAMA/ WDMA/CSA 101/1.5.2/ A440-08, NAFS & A440S1-09 Class R - PG45 (360) A3 RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. BRICK VENEER OR STUCCO ON 19mm (3/4") AIR SPACE / P.T. WOOD STRAPPING ON 2 LAYERS 30 MIN. BUILDING PAPER ON 1/2" PLYWOOD SHEATHING OR EQ. ON 2"x6" STUDS @ 16" O.C.
- W3. 1/2" GYPSUM BOARD ON 6 MIL POLY'N V.B. C/W R-20 INSULATION
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2"x4" STUDS @ 16" o/c OR 2"x6" STUDS @ 16" o/c (if noted)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2"x6" STUDS @ 16" o/c c/w R-20 INSULATION 6 MIL POLY'N V.B. 1/2" GYPSUM BOARD (between garage & living)

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c B/W ON UNDISTURBED SOIL (SOLID BEARING)
- F2. 14"x8" CONC. FOOTINGS C/W 2 # 4 BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2m) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY OR VERTICALLY FOR SLABS ABOVE FROST LINE. (verify with municipality depth of frost line)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY, VERIFY EXTENT ON SITE



2 Left Elevation 1050 Hillside Ave
P8 Scale: 1/4" = 1'-0"



3 Rear Elevation 1050 Hillside Ave
P8 Scale: 1/4" = 1'-0"

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PLANTING PLAN



ACER CIRCINATUM



CORNUS 'EDDIE'S WHITE WONDER'



LIQUIDAMBAR STYRACIFOLIA 'SLENDER SILHOUETTE'



DESCHAMPSIA CESPISOTA



PLANT LIST

ABB.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
TREES				
AC	4	5cm cal.	ACER CIRCINATUM	VINE MAPLE
CE	2	5cm cal.	CORNUS 'EDDIE'S WHITE WONDER'	EDDIE'S WHITE WONDER DOGWOOD
LS	3	5 cm cal.	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEET GUM
SHRUBS				
BS	52	#1	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	DWARF ENGLISH BOXWOOD
MA	20	#5	MAHONIA AQUIFOLIUM	OREGON GRAPE
PC	3	#5	PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK
RM	1	#5	RHODODENDRON 'MOONSTONE'	MOONSTONE RHODODENDRON
RS	4	#5	RIBES SANGUINEUM	RED FLOWERING CURRANT
TM	24	#5	TAXUS X MEDIA 'HICKSII'	HICK'S YEW
PERENNIALS, FERNS AND GRASSES				
DC	9	#1	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS
PM	29	#3	POLYSTICHUM MUNITUM	SWORD FERN
GROUNDCOVERS				
AU	46	4"	ARCTOSTAPHYLOS UVA URSI	KINNIKINNICK



ARCTOSTAPHYLOS UVA URSI



RIBES SANGUINEUM



PHYSOCARPUS CAPITATUS



TAXUS X MEDIA 'HICKSII'



POLYSTICHUM MUNITUM



RHODODENDRON 'MOONSHINE'

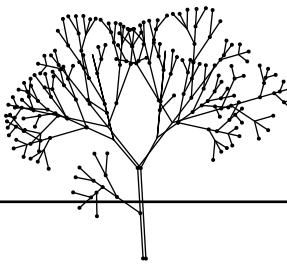


BUXUS SEMPERVIRENS 'SUFFRUTICOSA'



MAHONIA AQUIFOLIUM

GREENSPACE DESIGNS
sustainable landscape design



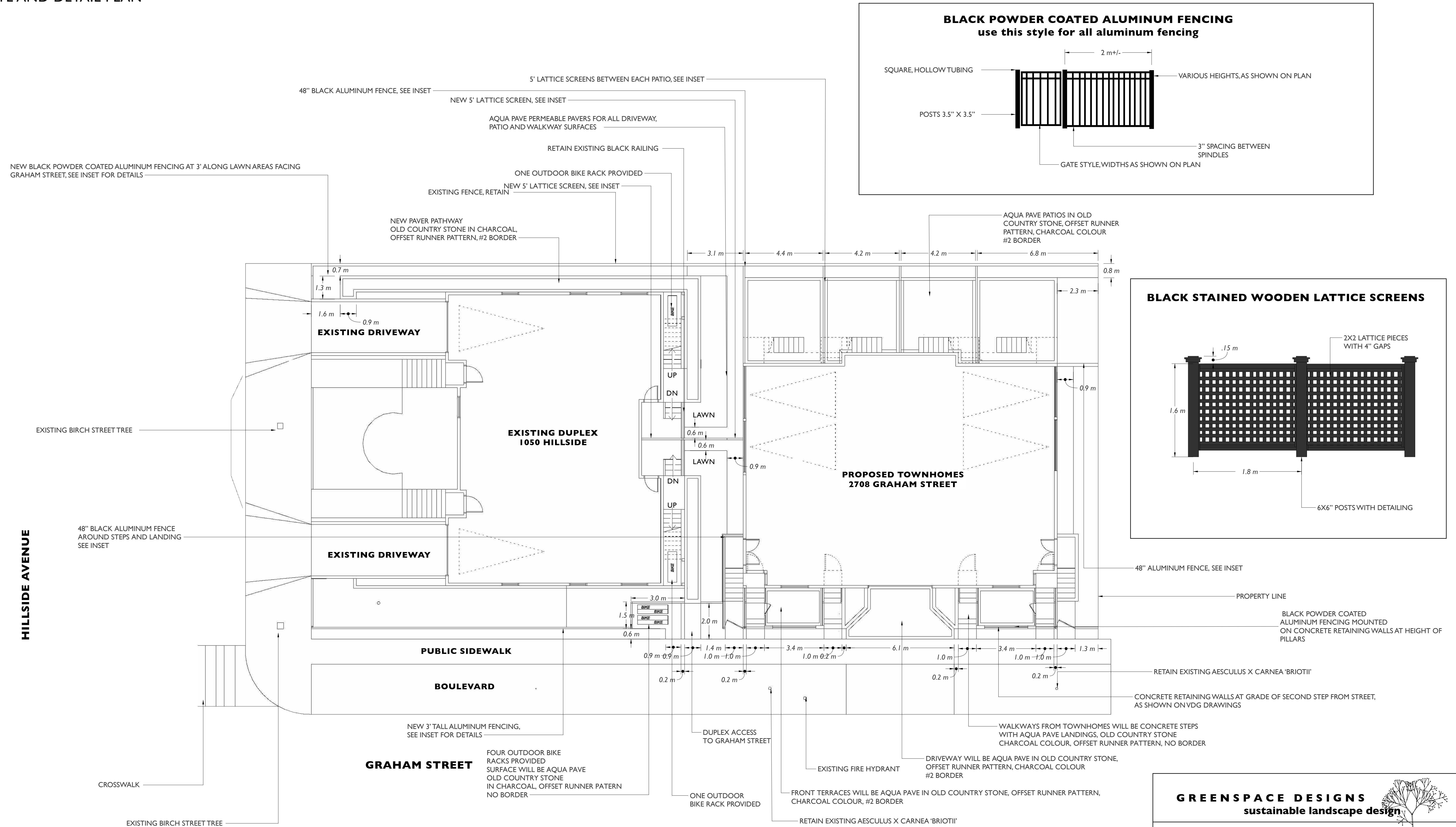
PROJECT TITLE ::
PROPOSED PLANTING PLAN for
ANDREW MILLS
1050 HILLSIDE AVE. and 2708 GRAHAM STREET, VICTORIA BC

PAGE TITLE ::
PLANTING PLAN, PAGE ONE OF TWO

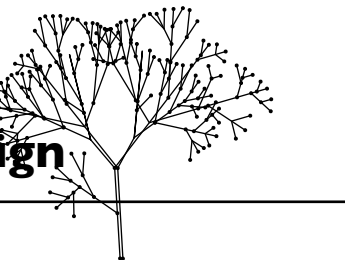
DATE ::
JUNE 5, 2017
revised AUGUST 16, 2017
revised JANUARY 31, 2018
revised DECEMBER 7, 2018

SCALE ::
1:96

SITE AND DETAIL PLAN



GREENSPACE DESIGNS
sustainable landscape design



:: PROJECT TITLE ::
 PROPOSED SITE PLAN for
 ANDREW MILLS
 1050 HILLSIDE AVE. and 2708 GRAHAM STREET, VICTORIA BC

:: PAGE TITLE ::
 SITE AND DETAIL PLAN, PAGE TWO OF TWO

:: DATE ::
 JUNE 5, 2017
 revised AUGUST 16, 2017
 revised JANUARY 31, 2018
 revised DECEMBER 7, 2018

:: SCALE ::
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