

	dHxArchitects	
VICTORIA OFFICE 107 Fort Street Victoria BC V8V 3K3 T: 250-582-5367		NANAIMO OFFICE 102-5180 Dublin Way Nanaimo BC V9T 2K8 T: 250-852-5810
project name	The Duck's Building	
1312-1324 Broad Street Victoria, BC V8T 1G1		
client	Project Data	
Architectural Services Contracted with dHx Architects, Inc. for the full range of architectural services including conceptual design, schematic design, design development, construction documents, construction administration and post occupancy evaluation. The project was completed in 2012.	drawing title	number
	A001	5

LOT A OF PLAN 3564, LOT 1
AND LOT 2 OF PLAN 5500,
REM LOT 159A AND REM LOT
160A, VICTORIA DISTRICT

MUNICIPALITY
VICTORIA

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This document was prepared for the exclusive use of our client, CHARD DEVELOPMENT LTD.

*This document is intended for use as a topographic plan. It is based on Land Title Office records, and does not represent a boundary survey. Critical lot dimensions and areas must be confirmed by a proper cadastral survey.

Explorer Land Surveying INC., accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made or actions taken based on this document.



Elevations are geodetic based on Integrated survey monument 17-33 in the City of Victoria at elevation 17.88m.

Note: Only trees with Trunk greater than 0.20m are identified.
Consult Arborist to verify tree species

Grade shots are taken at the point marked X

-  - denotes storm manhole
 -  - denotes Water valve
 -  - denotes fire hydrant
 -  - denotes catch basin
 -  - denotes Lamp Standard
 -  - denotes Cable box
 -  - denotes Light box
 -  - denotes Hydro
 -  - denotes Sign
 -  - denotes Unmarked manhole
- MFE - denotes Main Floor Elevation (Door Sill)
- P:XXX.XXX - denotes Parapet Height
-  - denotes Water manhole

Measurements are taken from the exterior finishing of the buildings.

CERTIFIED CORRECT

Lot dimensions are correct according to Land Title Office records.

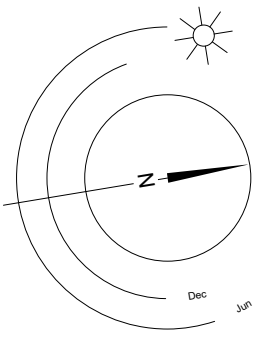
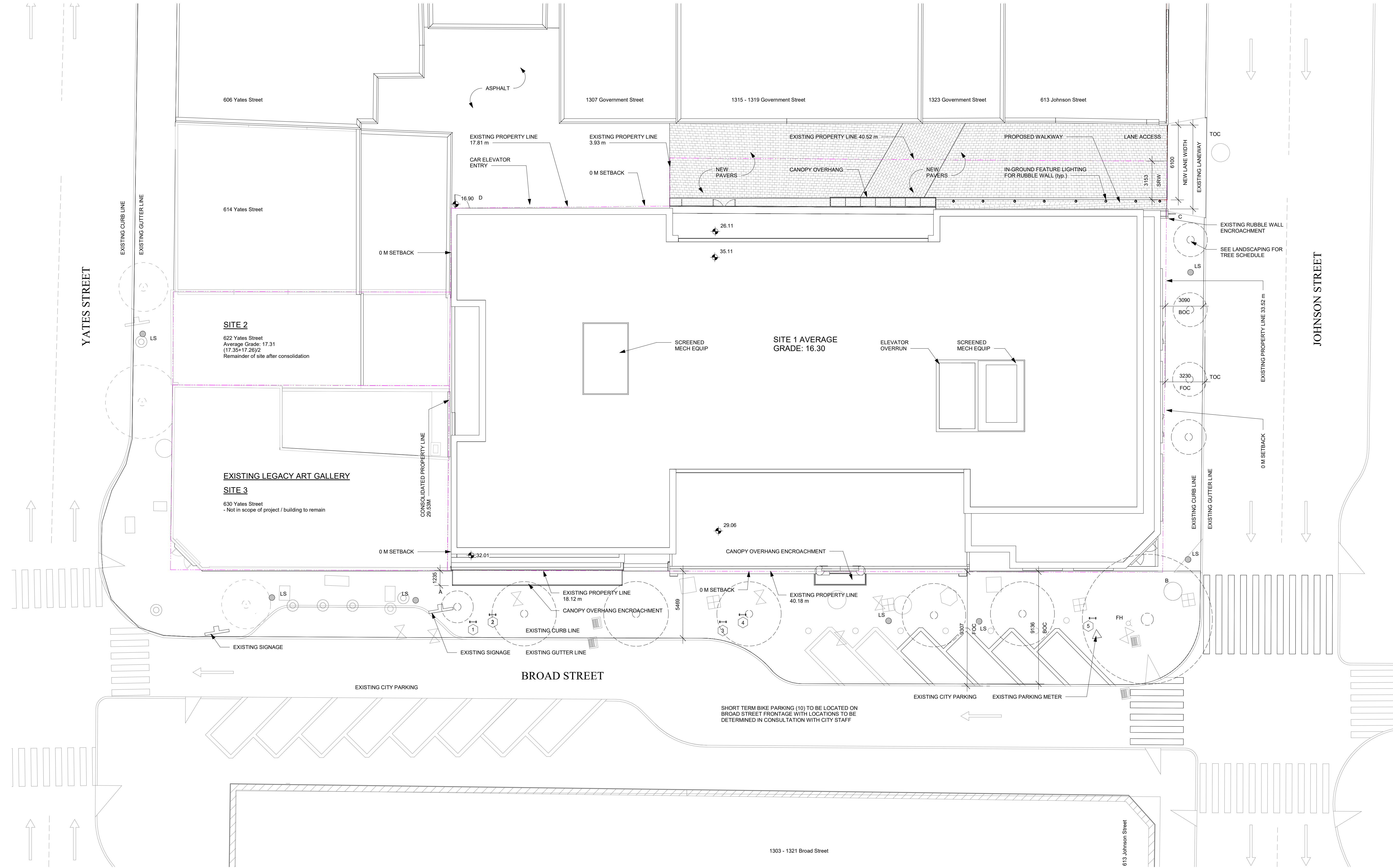
Kenneth KC Ng, BCLS
Field Survey - 15 December, 2016
Dated this 16th of December, 2016

This document is not valid unless originally signed
and sealed or digitally signed with Juricert digital signature.
Info: <https://www.juricert.com>

R#	Date	Description
plot date	Issue Date	drawing file
drawn by	Author	checked by
scale	project number	172

NOTE: All dimensions are shown in millimeters.

	dHKArchitects	
VICTORIA OFFICE 9777 Fort Street Victoria BC V8W 3K3 T +250-618-3307		NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T +250-880-5810
project name	The Duck's Building 1312-1324 Broad Street Victoria, BC	



Site Notes:

Existing Bike Rack

Average Grade

The Duck's Building Redevelopment	Point	Point Value	Grade Points	Average of Points	Distance	
	A	17.33	A+B	16.60	57.70	957.53
	B	15.86	B+C	15.49	29.30	453.86
	C	15.12	C+D	16.01	57.70	923.78
	D	16.90	D+A	17.12	29.30	501.47
	Average Grade				Perimeter	Sum
					174.00	2836.64

Existing Duck's Building	Point	Point Value	Grade Points	Average of Points	Distance	
	A	17.02	A+B	16.44	40.31	662.70
	B	15.86	B+C	15.49	29.30	453.86
	C	15.12	C+D	15.74	40.31	634.48
	D	16.36	D+A	16.69	29.30	489.02
	Average Grade				Perimeter	Sum
					139.22	2240.05

Rev	S	Date	Issue Date	Description	Revision
5		Feb-04-20			Revision 5
3		Nov-01-19			Revision 3
2		Oct-08-19			Revision 2
1		Sept-05-19			Revision 1

NOTE: All dimensions are shown in millimeters.

dHKarchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

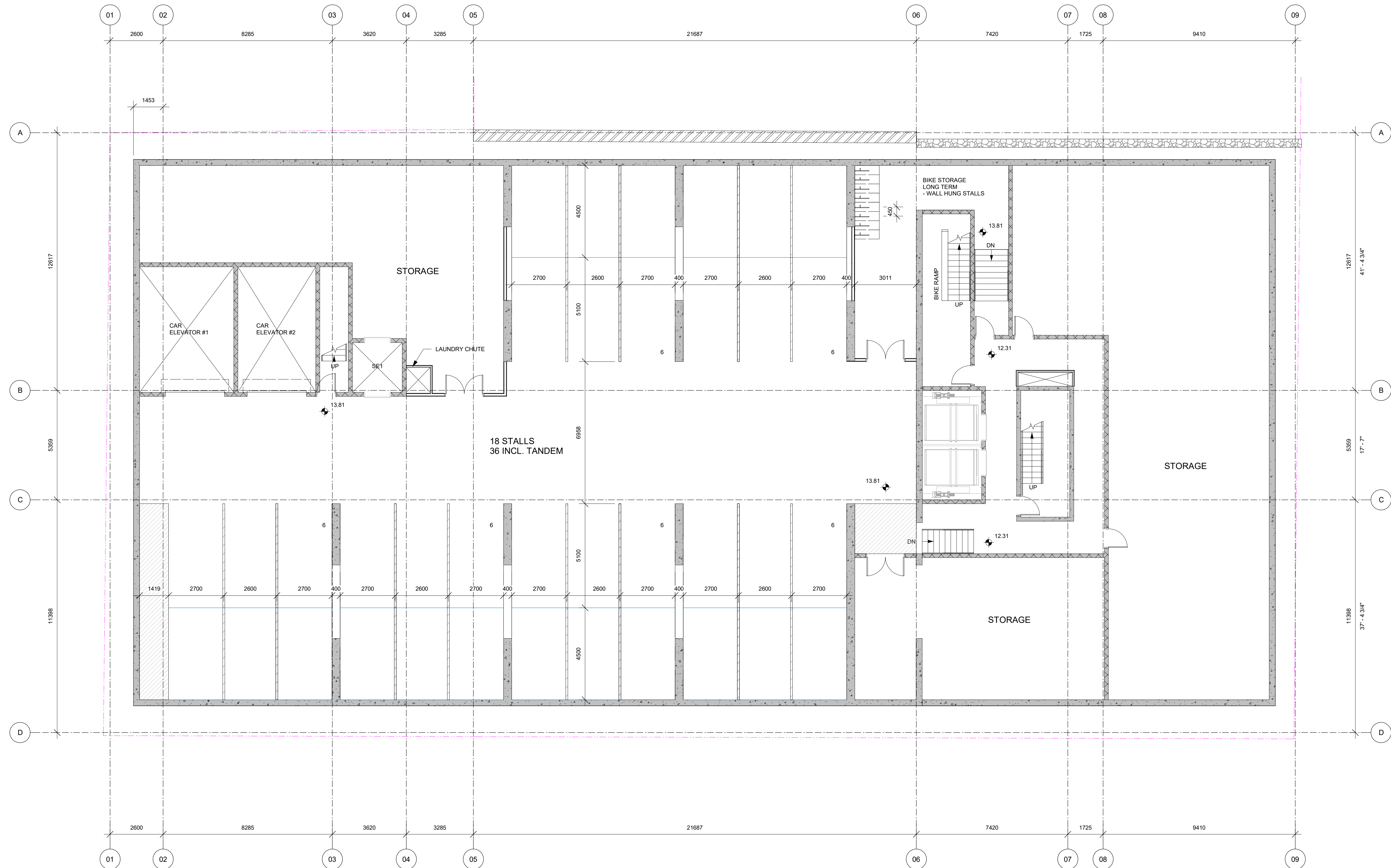
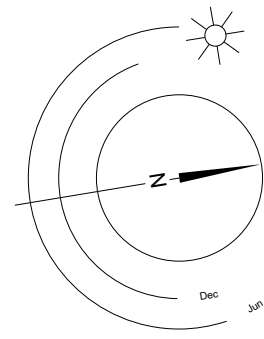
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 2R1

Site Plan

drawing no.
A101

revision no.
5



1 Parkade Lv 1 - Overall
A202 SCALE: 1 : 100

Rev	S	Date	Issue Date	Revised By	Revision
5		Feb-04-20			Revision 5
4		Jan-08-20			Revision 4
3		Nov-01-19			Revision 3
2		Oct-08-19			Revision 2
1		Feb-04-20			Revision 1

NOTE: All dimensions are shown in millimeters.

**dHK**architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

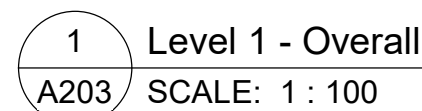
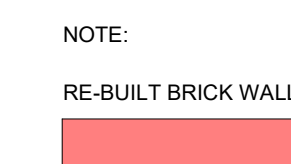
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

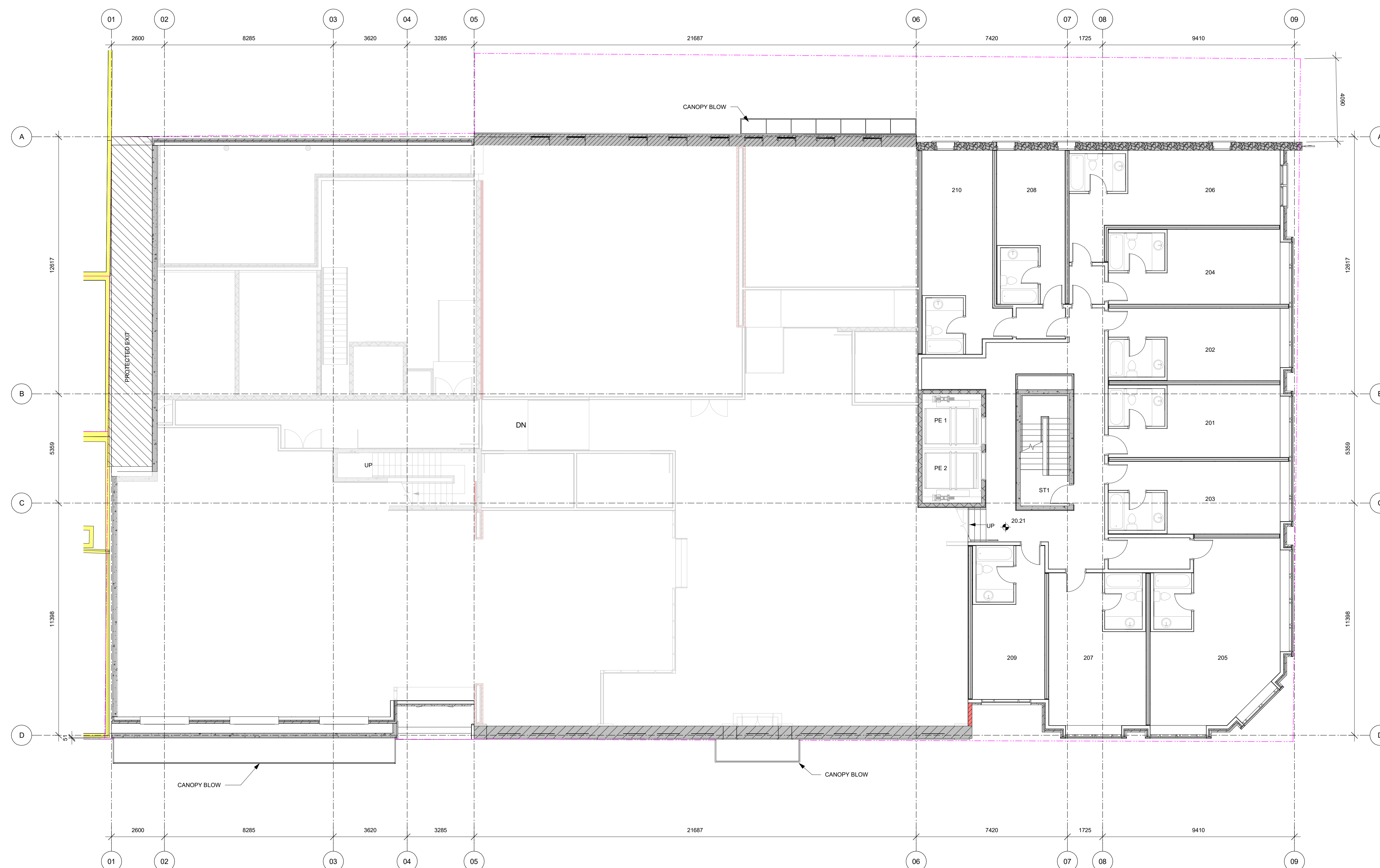
P1 Parking Plan

author
A202

revision no.
5



NOTE: All dimensions are shown in millimeters.

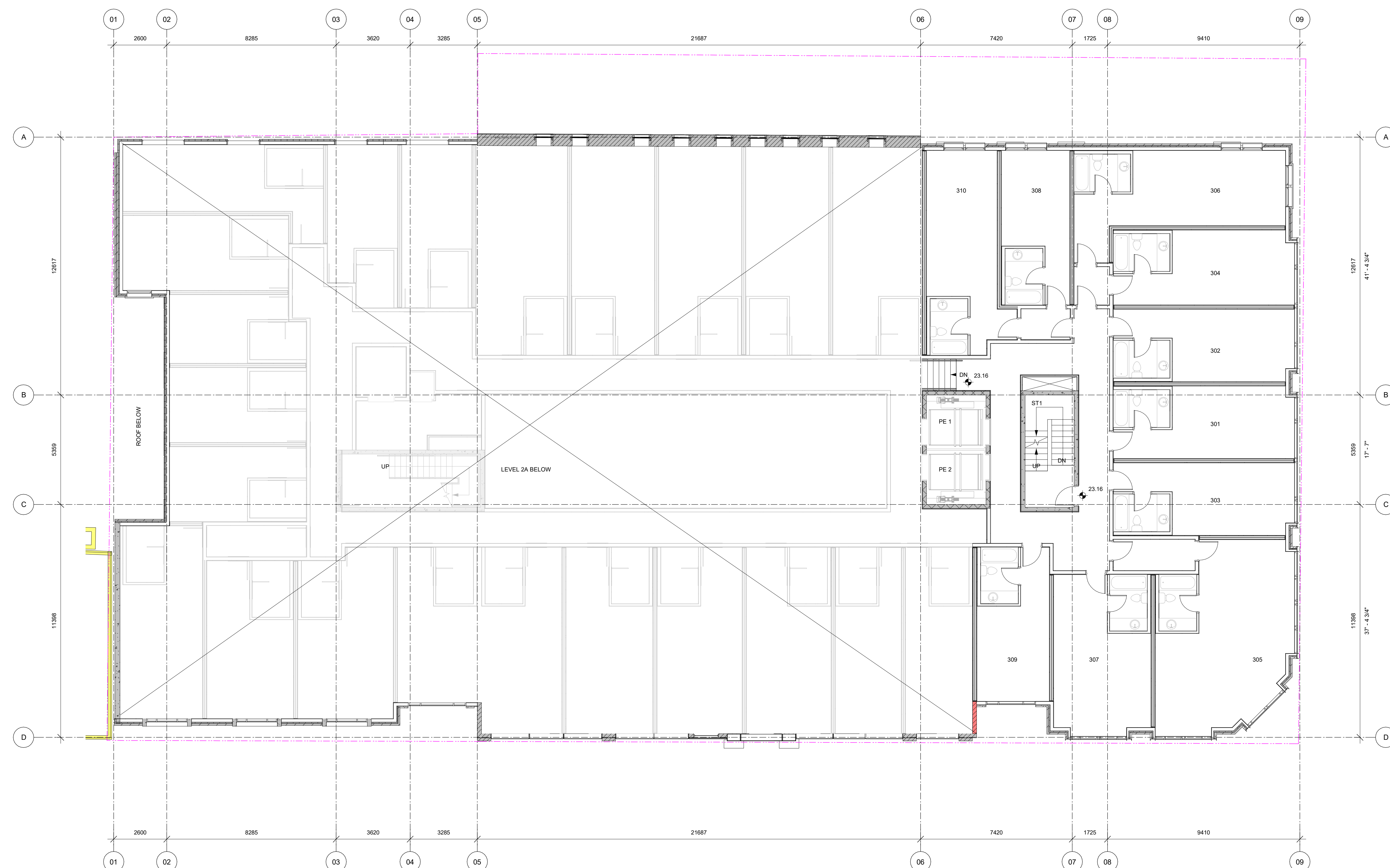


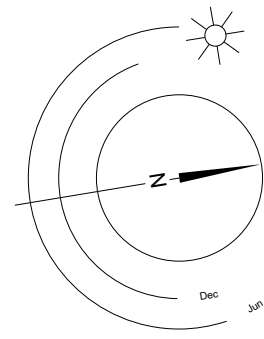
The image is a large, stylized graphic of a building facade, likely a skyscraper, with a grid of windows. The windows contain various text elements:

- Top Left Window:** dHKA logo (a red square with a white 'd' and 'KA' in white text).
- Top Center Window:** dHKArchitects
- Second Row, Left Window:** VICTORIA OFFICE
- Second Row, Center Window:** 977 Fort Street
- Second Row, Right Window:** NANAIMO OFFICE
- Third Row, Left Window:** CIBC V&V 3K3
- Third Row, Center Window:** T1+250-656-3387
- Third Row, Right Window:** 102-5190 Dublin Way
- Bottom Row, Left Window:** project name
- Bottom Row, Center Window:** The Duck's Building
- Bottom Row, Right Window:** Nanaimo BC V9T 2K1

The building is set against a background of a city skyline at night, with lights visible in the windows and the surrounding area.







1 Level 4 - Overall
A207 SCALE: 1 : 100

Rev	S	Date	Issue Date	Revised By	Revised Date
5		Feb-04-20	Revision 5		
4		Jan-08-20	Revision 4		
2		Oct-08-19	Revision 2		

NOTE: All dimensions are shown in millimeters.

**dHK**architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

revision
Level 4

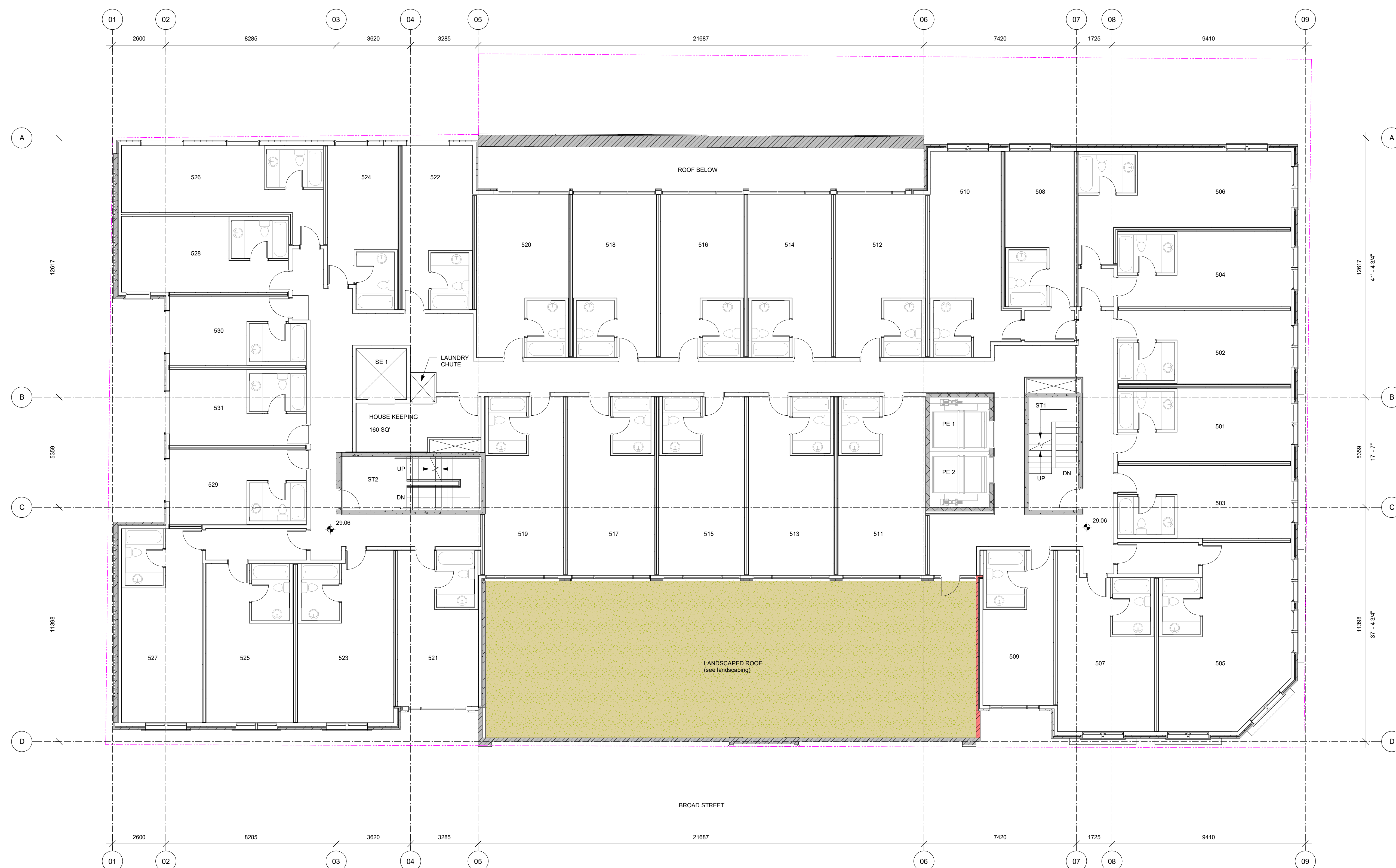
drawn by
A207

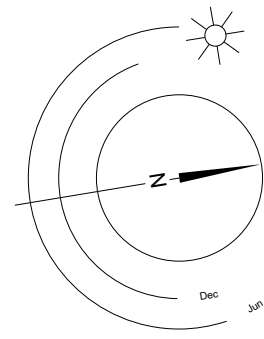
checked by
A207

project number
1721

revision no.
5

revision date
Feb-04-20





1 Level 6 - Overall
A209 SCALE: 1 : 100

5	Feb-04-20	Revision 5	
4	Jan-08-20	Revision 4	
2	Oct-08-19	Revision 2	
Rev	5	Date	Feb-04-20
		Description	Revision 5
part date	Issue Date		drawing file
drawn by	Author	checked by	Checker
scale	1 : 100	project number	1721

NOTE: All dimensions are shown in millimeters.

**dHKarchitects**

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

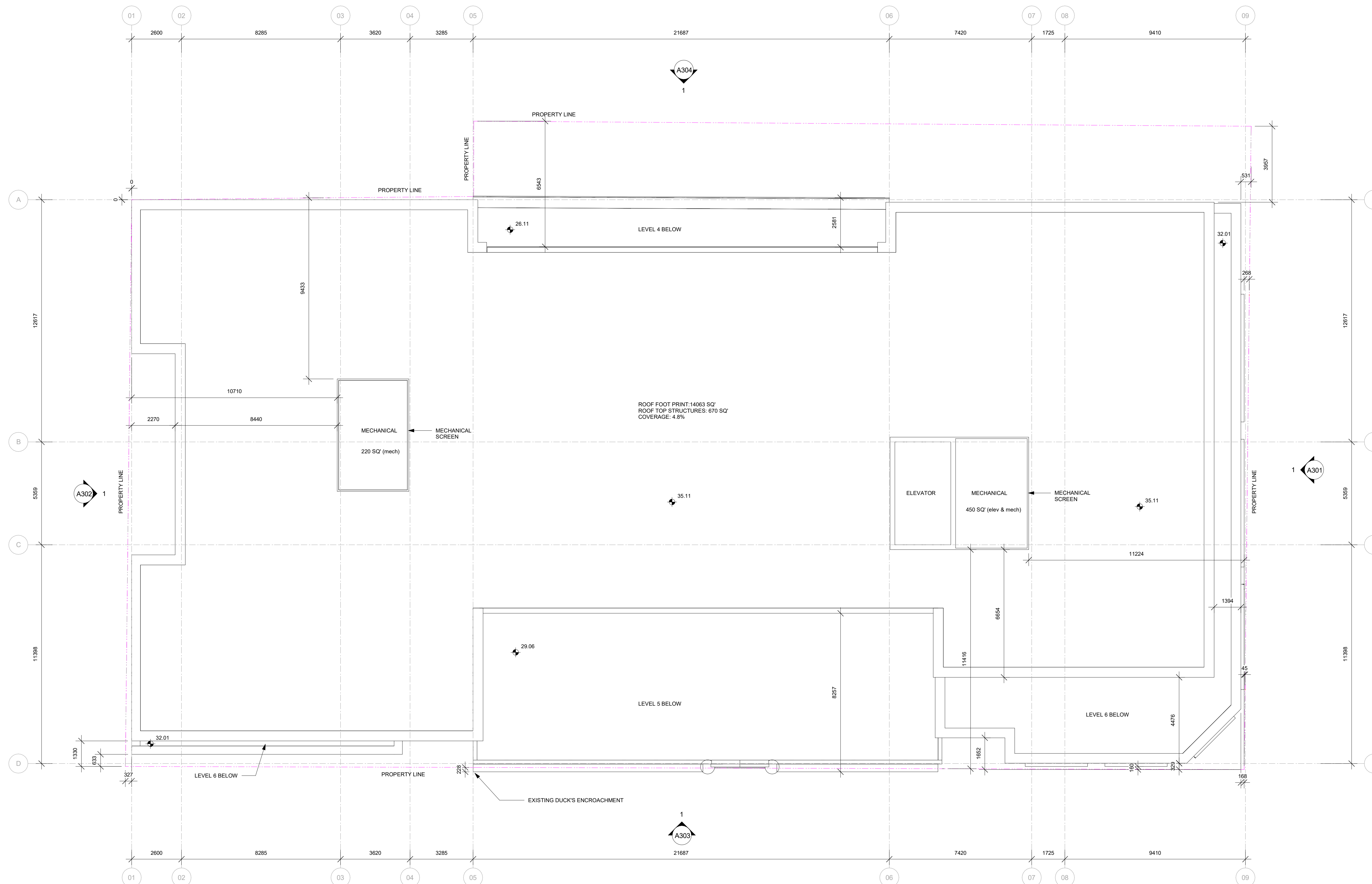
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

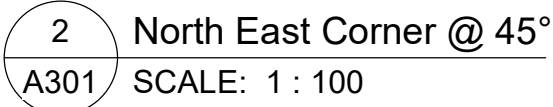
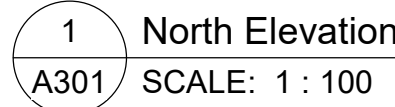
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

revision
Level 6

drawing no.
A209

revision no.
5





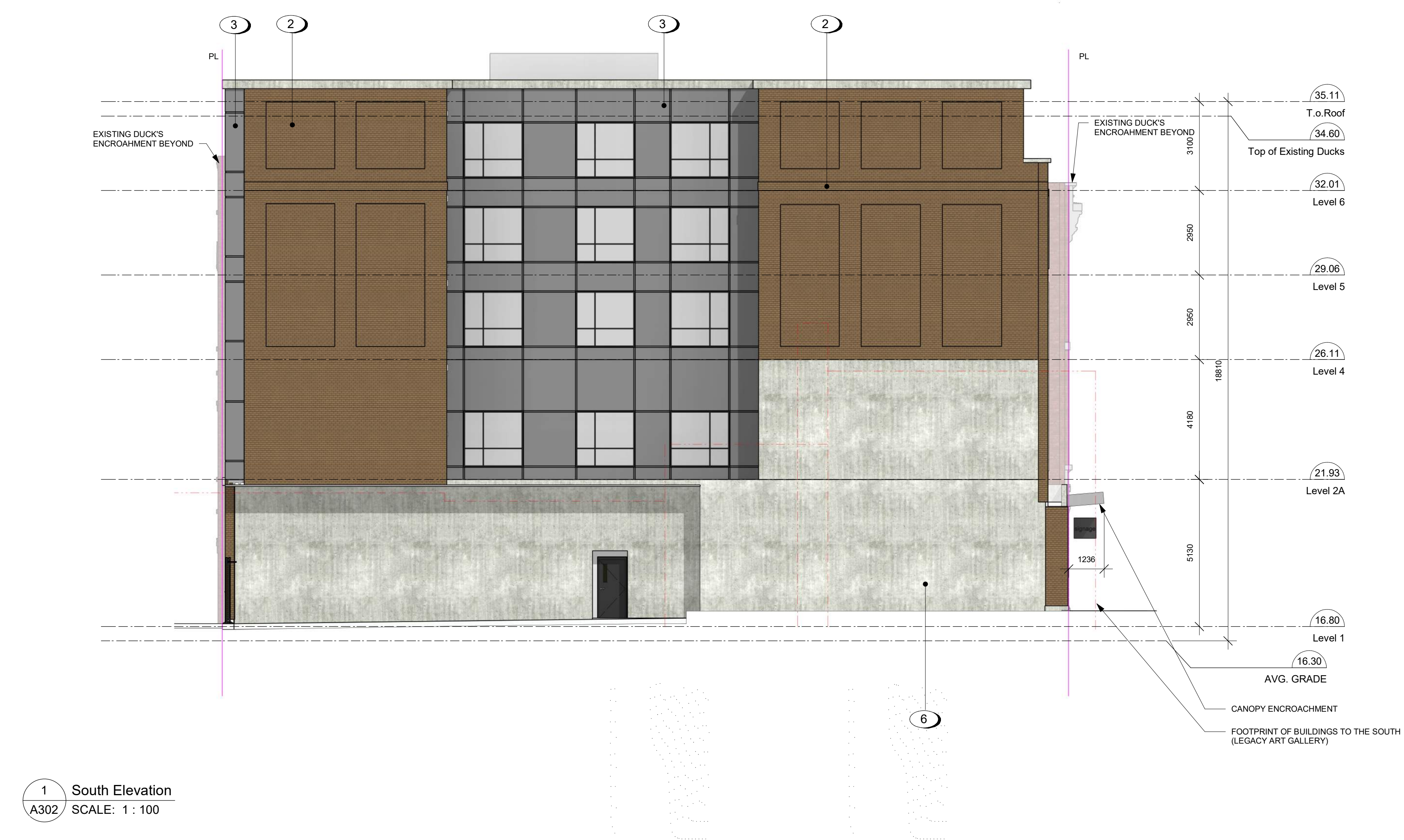
- 1 Brick Masonry Veneer Cladding - Forest Blend
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Canopy - Steel & Glass
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- 14 Hollow Metal Door



NOTE: All dimensions are shown in millimeters

	dHKArchitects	
VICTORIA OFFICE 707 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367		NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V8T 2K8 T 1-250-685-0810
project name		
The Duck's Building 1312-1324 Broad Street Victoria, BC		
drawing title		
North Elevation CONCEPT DESIGN: THESE FUTURE ARCHITECTS AND HILL AND ALL. THEY REMAIN THE PROPERTY OF THESE FUTURE ARCHITECTS. THIS DRAFT IS FOR THE PROJECT PHASE AND MAY BE REUSED BY THESE FUTURE ARCHITECTS.	drawing no.	revision no.
	A301	5

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1 South Elevation
A302 SCALE: 1 : 100

Material Schedule South

- 1 Brick Masonry Veneer Cladding - Forest Blend
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Canopy - Steel & Glass
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- 14 Hollow Metal Door

BRICK AND TILE COLOUR

2 BRICK MASONRY VENEER CLADDING
- WHEAT



3 METAL PANEL - LT GREY



1 BRICK MASONRY VENEER CLADDING
- FOREST BLEND



4 METAL PANEL - DK GREY



Rev	S	Date	Issue Date	Revising file	Author	checked by	Checker
5		Feb-04-20	Revision 5				
4		Jan-08-20	Revision 4				
3		Nov-01-19	Revision 3				
Rev	S	Date	Feb-04-20	Revising file	Author	checked by	Checker
Issue Date							
As indicated							
project number							1721

NOTE: All dimensions are shown in millimeters.

dHkArchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8T 2K3

drawing title
South Elevation

drawing no.
A302

revision no.
5



CONSERVATION STRATEGY

- BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)
- EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)
- EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)
- IRON COLUMNS TO BE RETAINED (typ.)
- ORIGINAL CORBELLED CORNICE DETAILING W/ BRACKETS AND TRIANGULAR PEDIMENT TO BE PRESERVED (typ.)
- PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)
- RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)
- NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)
- STONE LINTELS TO BE PRESERVED (typ.)

Material Schedule East

- 1 Brick Masonry Veneer Cladding - Forest Blend
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Canopy - Steel & Glass
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- 14 Hollow Metal Door

BRICK AND TILE COLOUR

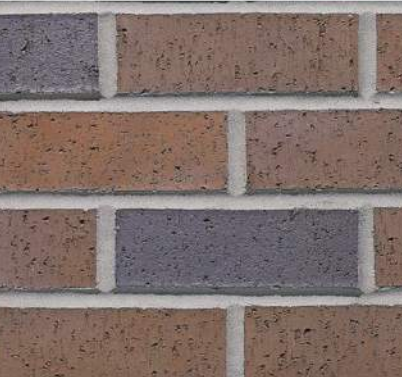
- 2 BRICK MASONRY VENEER CLADDING - GOLDEN ROD



- 3 METAL PANEL - LT GREY



- 1 BRICK MASONRY VENEER CLADDING - FOREST BLEND



- 4 METAL PANEL - DK GREY



Rev	S	Date	Issue Date	Revised By	Revision
5		Feb-04-20			Revision 5
4		Jan-08-20			Revision 4
3		Nov-01-19			Revision 3

NOTE: All dimensions are shown in millimeters.

dHKarchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 2R1

drawing title
East Elevation

drawing no.
A303

revision no.
5



BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)

EXTERIOR BRICK WALLS TO BE PRESERVED (typ.

EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)

IRON COLUMNS TO BE RETAINED (typ.)

ORIGINAL CORBELLED CORNICE DETAILING W/ BRACKETS AND TRIANGULAR
PEDIMENT TO BE PRESERVED (typ.)

PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)

RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.

NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC
APPEARANCE (typ.)

STONE LINTELS TO BE PRESERVED (typ.)

Material Schedule West

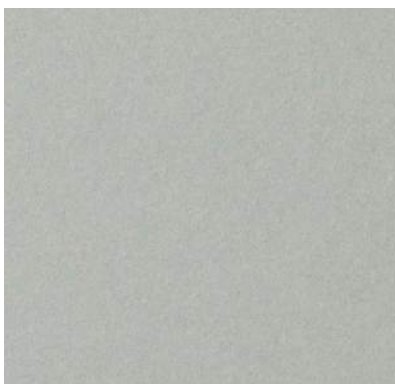
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- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Canopy - Steel & Glass
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- 14 Hollow Metal Door

BRICK AND TILE COLOUR

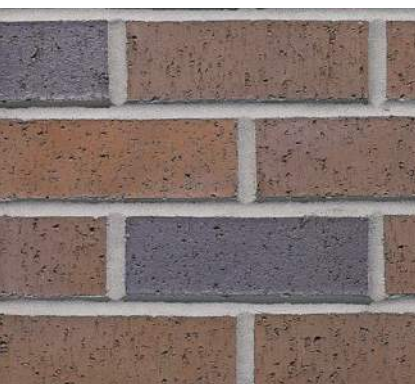
- 2 BRICK MASONRY VENEER CLADDING
- WHEAT



- 3 METAL PANEL - LT GREY



- 1 BRICK MASONRY VENEER CLADDING
- FOREST BLEND



- 4 METAL PANEL - DK GREY



5	Feb-04-20	Revision 5			
3	Nov-01-19	Revision 3			
2	Oct-08-19	Revision 2			
Rev	5	Date	Feb-04-20	Description	Revision 5
print date	Issue Date		drawing file		
drawn by	Author		checked by	Checker	
scale	As indicated		project number	1721	

NOTE: All dimensions are shown in millimeters

duck **dHKA** architects

VICTORIA OFFICE
977 Fort Pitt Street
Victoria BC V8T 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 3K8
T 1-250-585-5810

project name

The Duck's Building
1312-1324 Broad Street
Victoria, BC **V8T 1G1**

drawing no.

West Elevations

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drawing no.

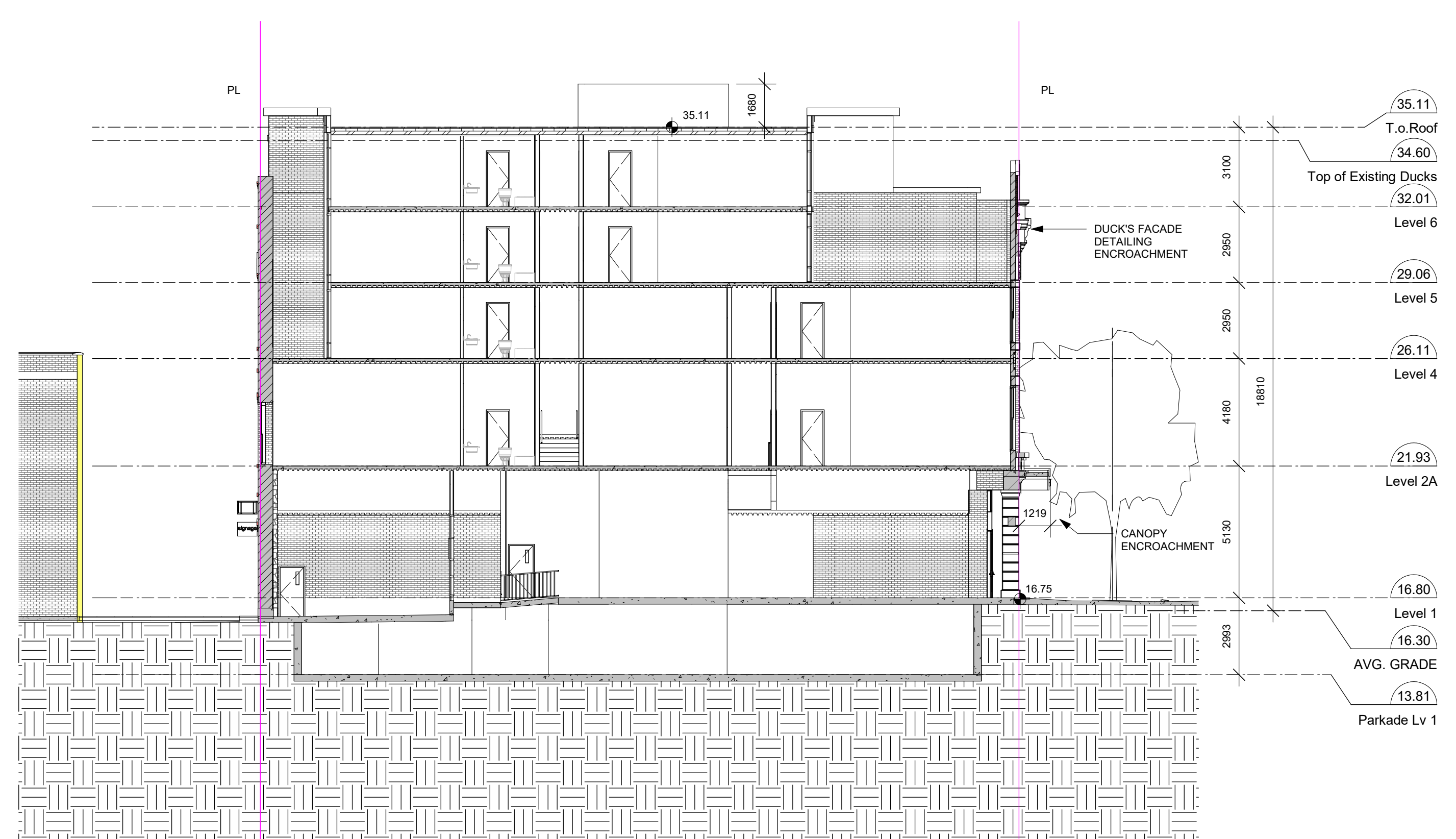
A304

revision no.

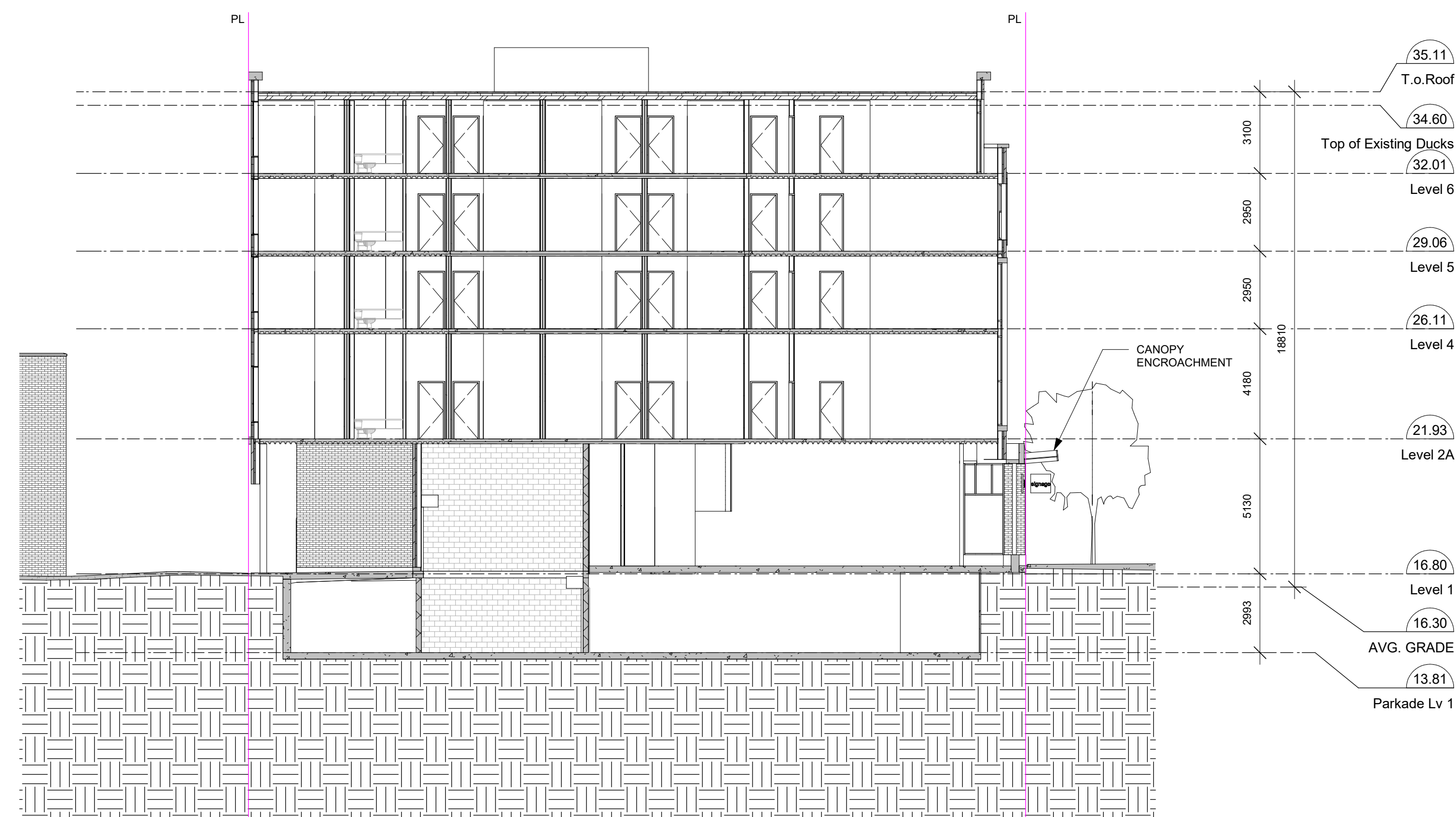
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1 Section E-W North
A401 SCALE: 1 : 150



2 Section E-W Ducks
A401 SCALE: 1 : 150



3 Section E-W South
A401 SCALE: 1 : 150

5	Feb-04-20	Revision 5	
4	Jan-08-20	Revision 4	
Rev	5	Date	Feb-04-20
		Description	Revision 5
plot date		Issue Date	drawing file
drawn by	Author	checked by	Checker
scale	1 : 150	project number	1721

NOTE: All dimensions are shown in millimeters.



AUDIO VIDEO REPLAY
620 JOHNSON STREET

605 - 613 JOHNSON STREET

605 - 613 JOHNSON STREET

dHKAarchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T: 250-628-3367

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K1
T: 250-885-5810

project name

The Duck's Building
1312-1324 Broad Street
Victoria, BC ⁸₈⁸₈

drawing title

Site Context

CONCEPT RENDERING: "HALLS AND STAIRS"
DESIGNED HERE AND AT dHKA. THIS RENDERING
REPRESENTS THE PROPOSED INTERIOR ADAPTIVITIES
FOR USE FOR THE PROJECT. SKETCHES AND
RENDERINGS ARE NOT TO BE USED FOR ANY OTHER
PURPOSES WITHOUT WRITTEN PERMISSION.

drawing no.

A501

project no.



JOHNSON STREET

LONDON FLATS
1313 BROAD STREET

ROBINSON'S OUTDOOR STORE
1307 STREET

METTA YOGA
1303 BROAD STREET

YATES STREET

1 Broad Street Context Facing East
A502



606 - 614 JOHNSON STREET

AUDIO VIDEO REPLAY
620 JOHNSON STREET

BROAD STREET



BEST WESTERN
636 JOHNSON STREET

2 Johnson Street Context Facing North
A502



1298 BROAD STREET SQUARE



AUDIO VIDEO REPLAY
620 JOHNSON STREET



631 - 635 JOHNSON STREET

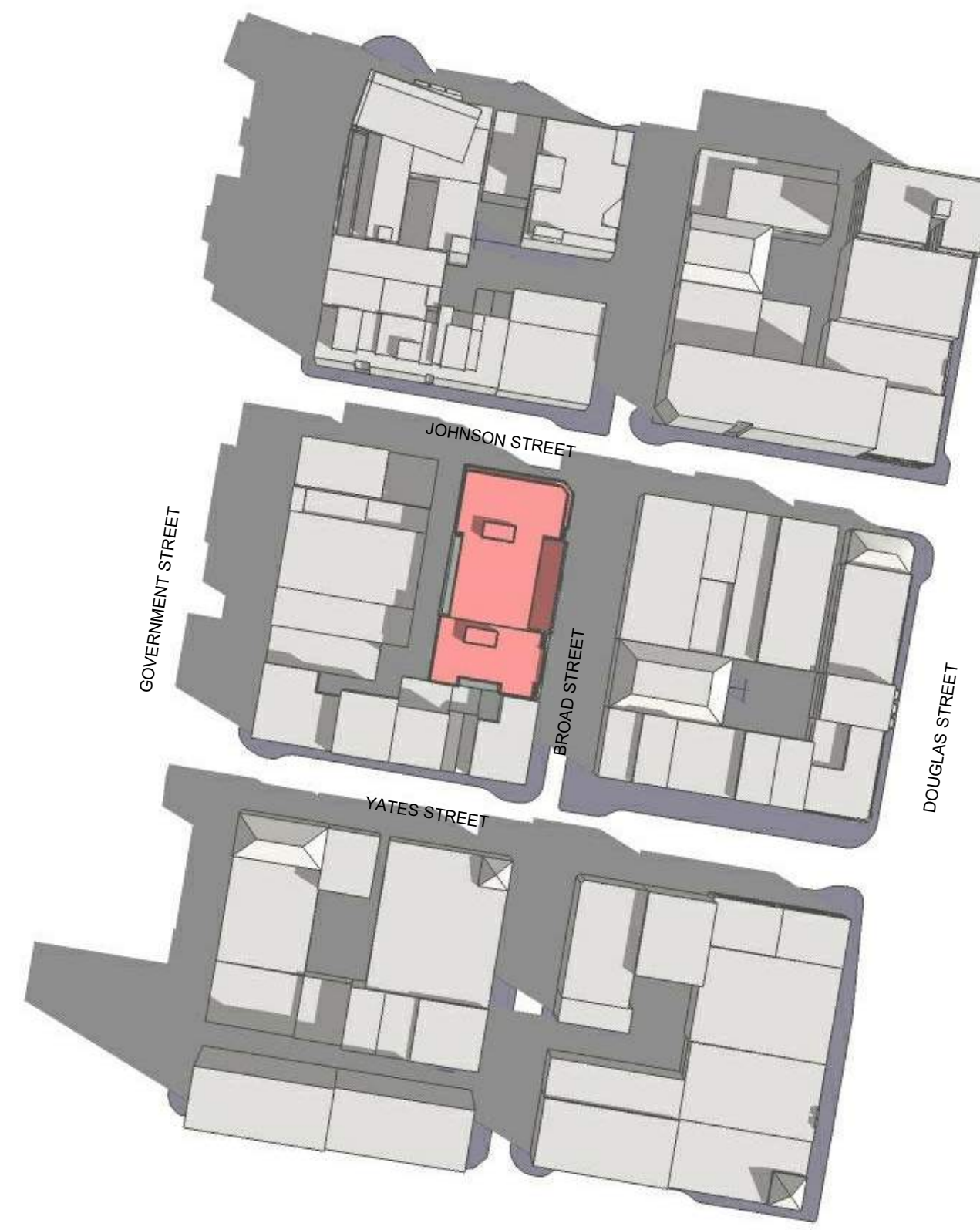


605 - 613 JOHNSON STREET

Rev.	Date	Description
plot date	Issue Date	drawing file
drawn by	Author	checked by Checker
scale	1 : 250	project number 1721

NOTE: All dimensions are shown in millimeters.

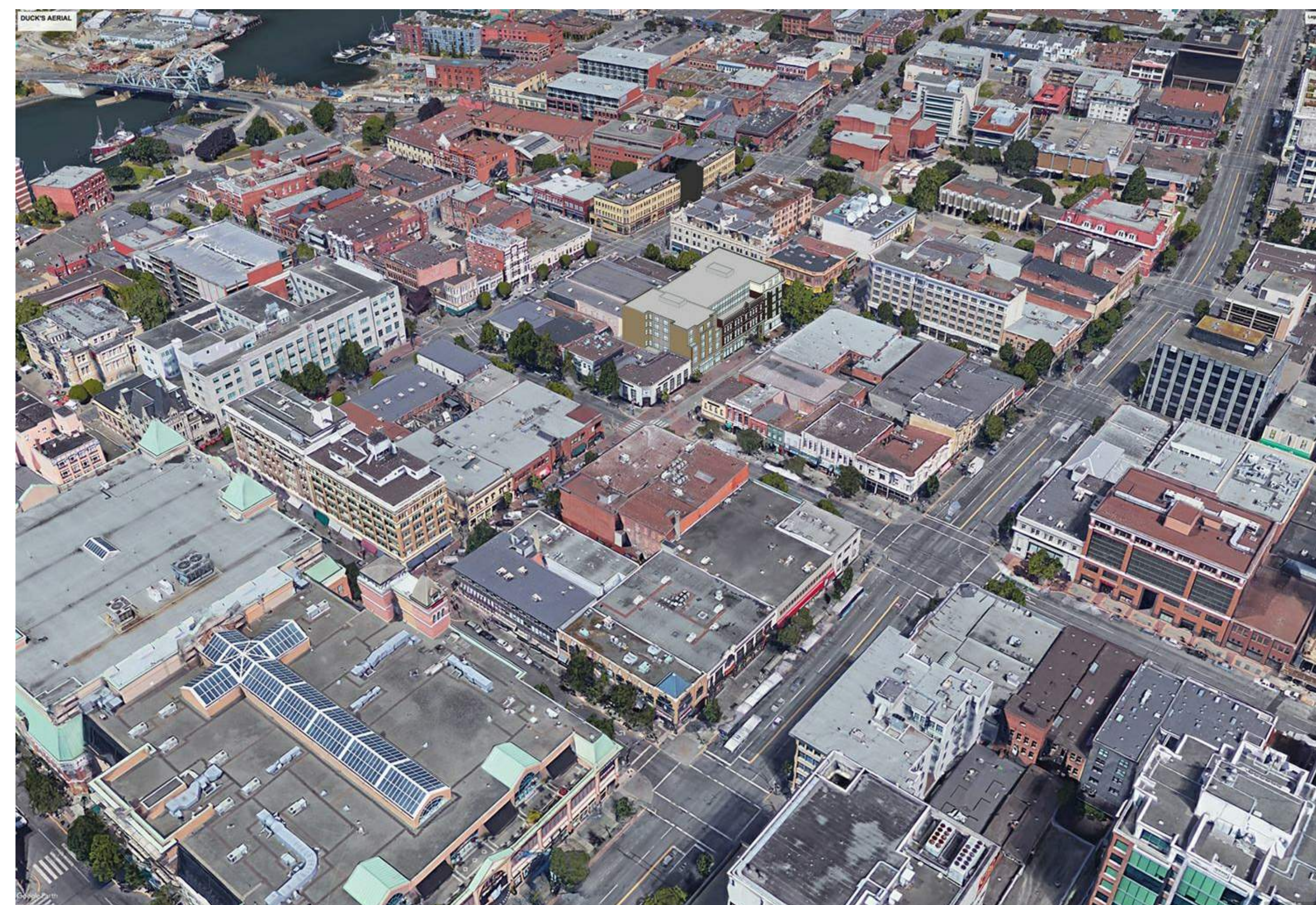
NOTE: All dimensions are shown in millimeters.



Equinox 9am

Equinox Noon

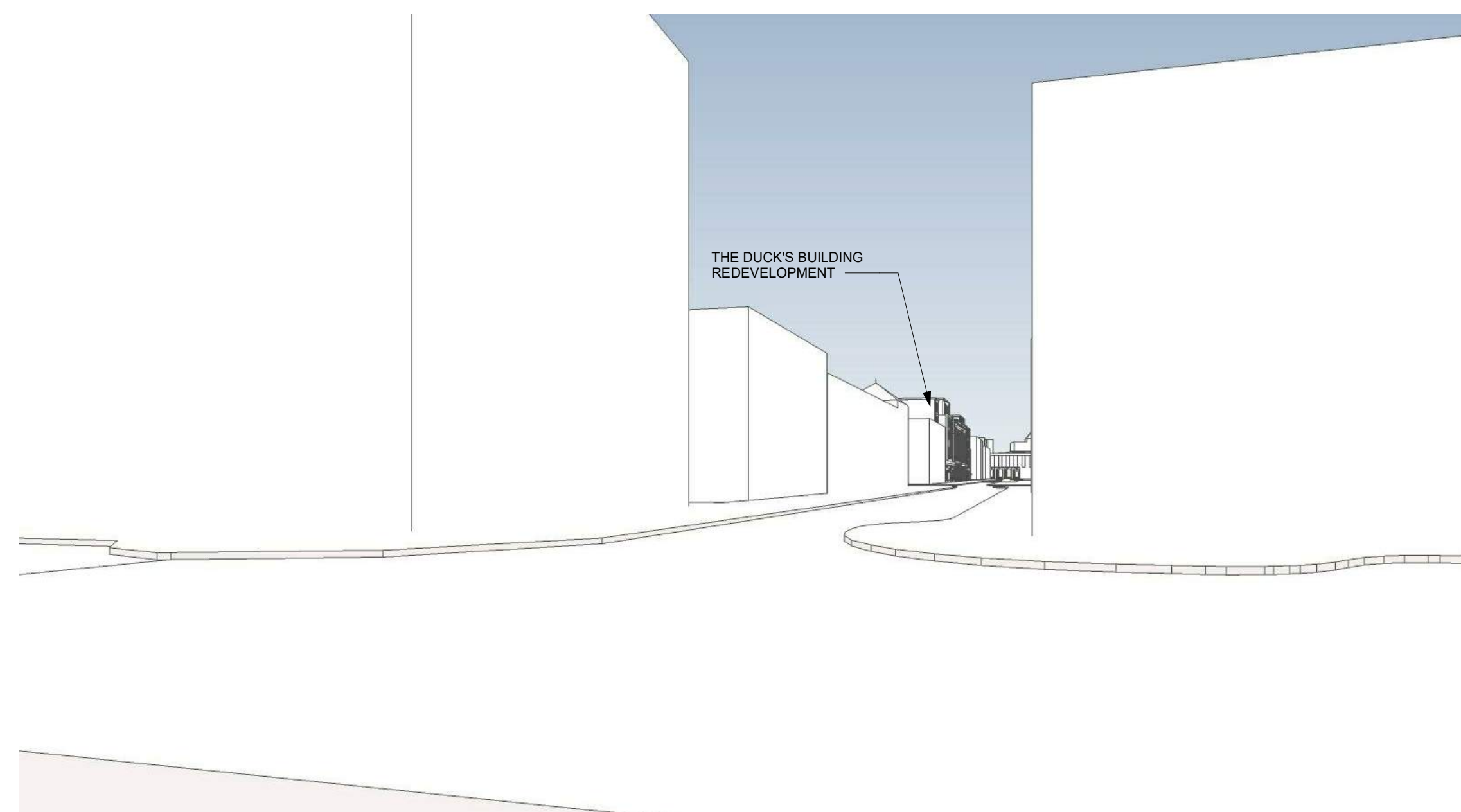
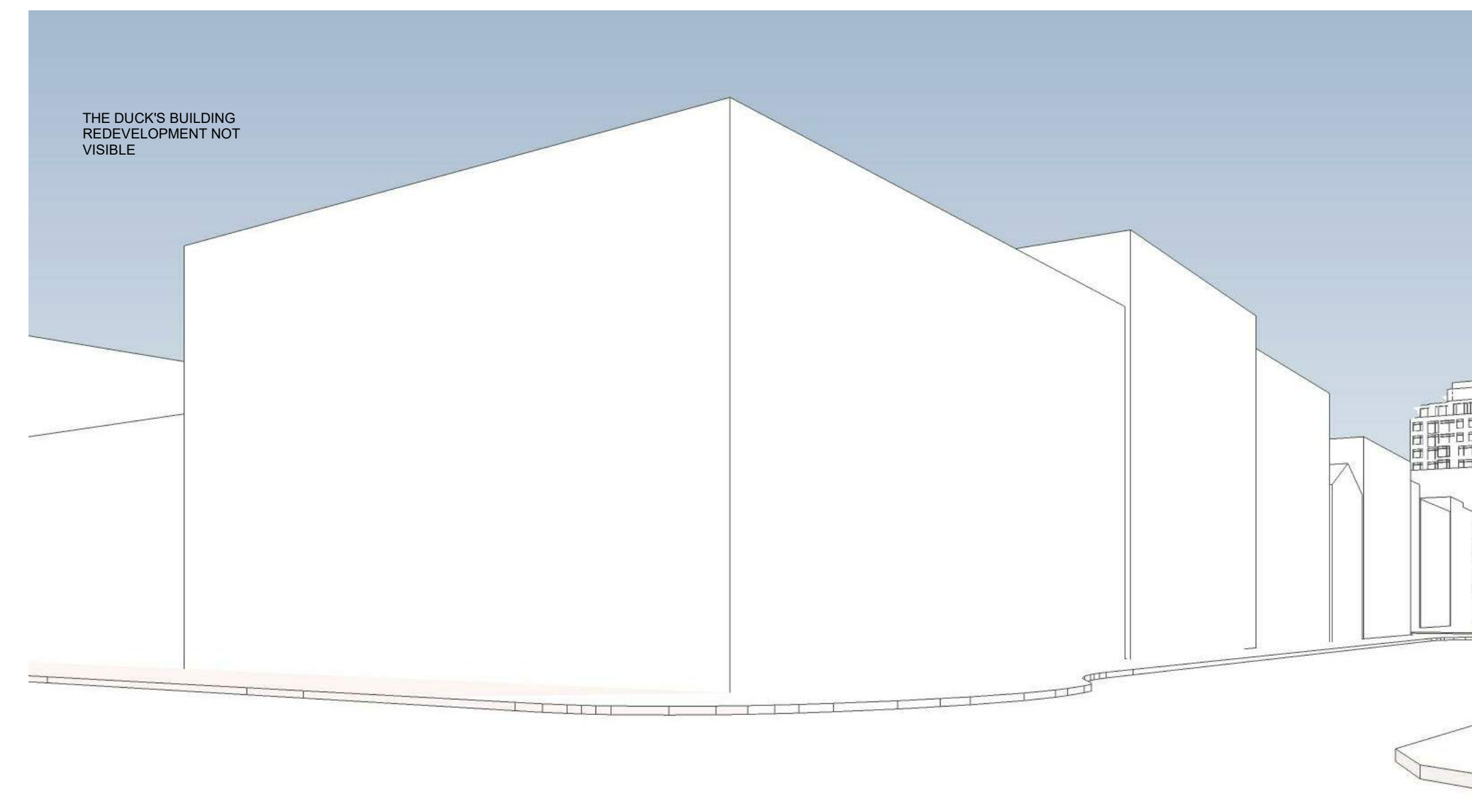
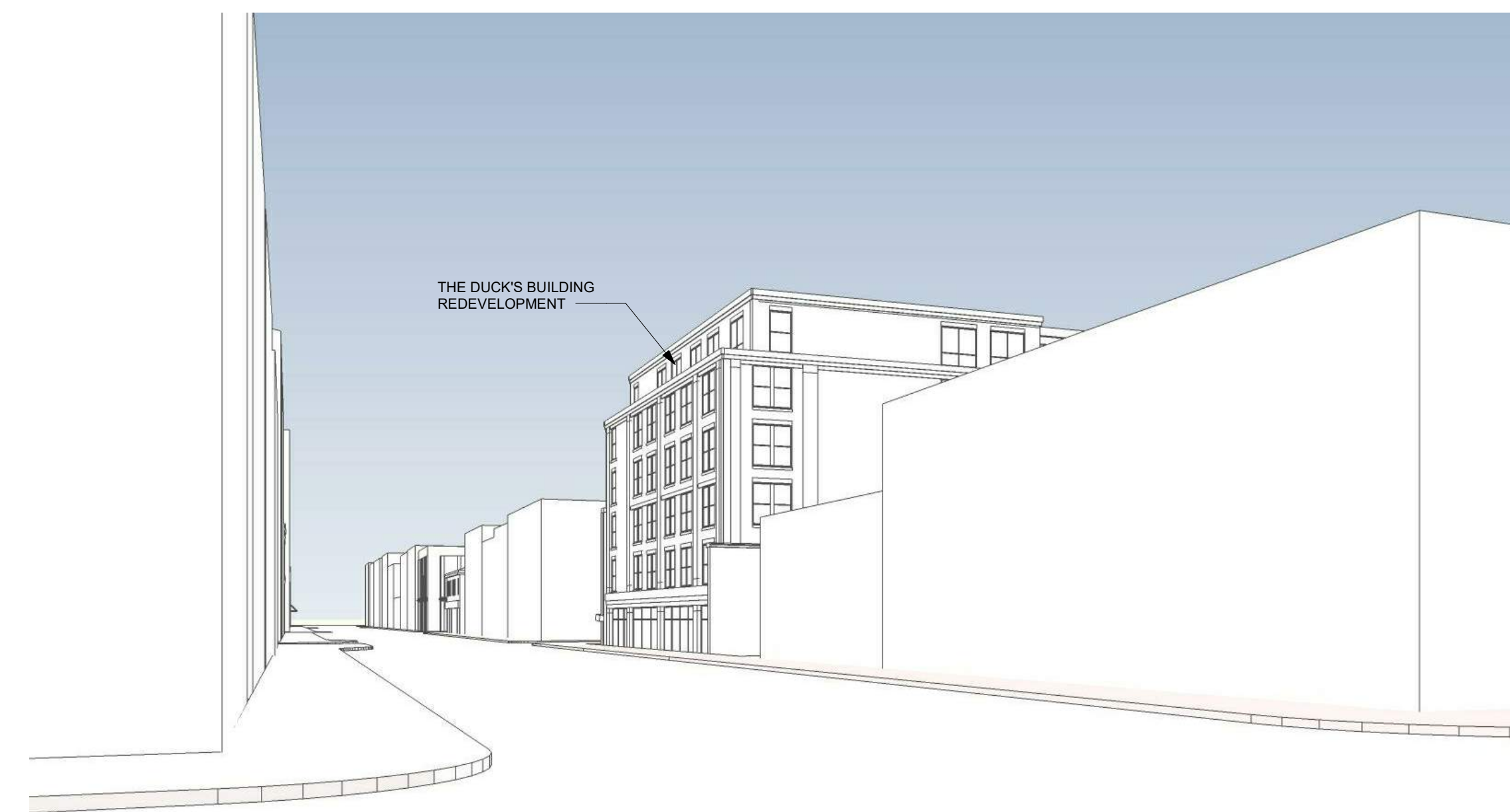
Equinox 3pm



Rev	Date	Description	
plot date	Issue Date	drawing file	
drawn by	Author	checked by	Checker
scale	As indicated	project number	1721

NOTE: All dimensions are shown in millimeters.

NOTE: All dimensions are shown in millimeters.



Rev	Date	Description
print date	Issue Date	drawing file
drawn by	Author	checked by
scale	1 : 1	project number
		1721

NOTE: All dimensions are shown in millimeters.



dHKarchitects

VICTORIA OFFICE
102-1590 Dublin Way
Victoria BC V8T 2K8
T 1-250-685-9816

NANAIMO OFFICE

102-1590 Dublin Way
Nanaimo BC V9T 2K8
T 1-250-685-9816

project name

The Duck's Building

1312-1324 Broad Street
Victoria, BC

drawing title

Urban Context

CONCEPT REQUIRED: THESE PLANS AND DRAWINGS ARE FOR THE URBAN CONTEXT OF THE PROJECT. THE CLIENT HAS AGREED TO BE USED FOR THE PROJECT SHOWN HERE. THEY ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF dHKarchitects.

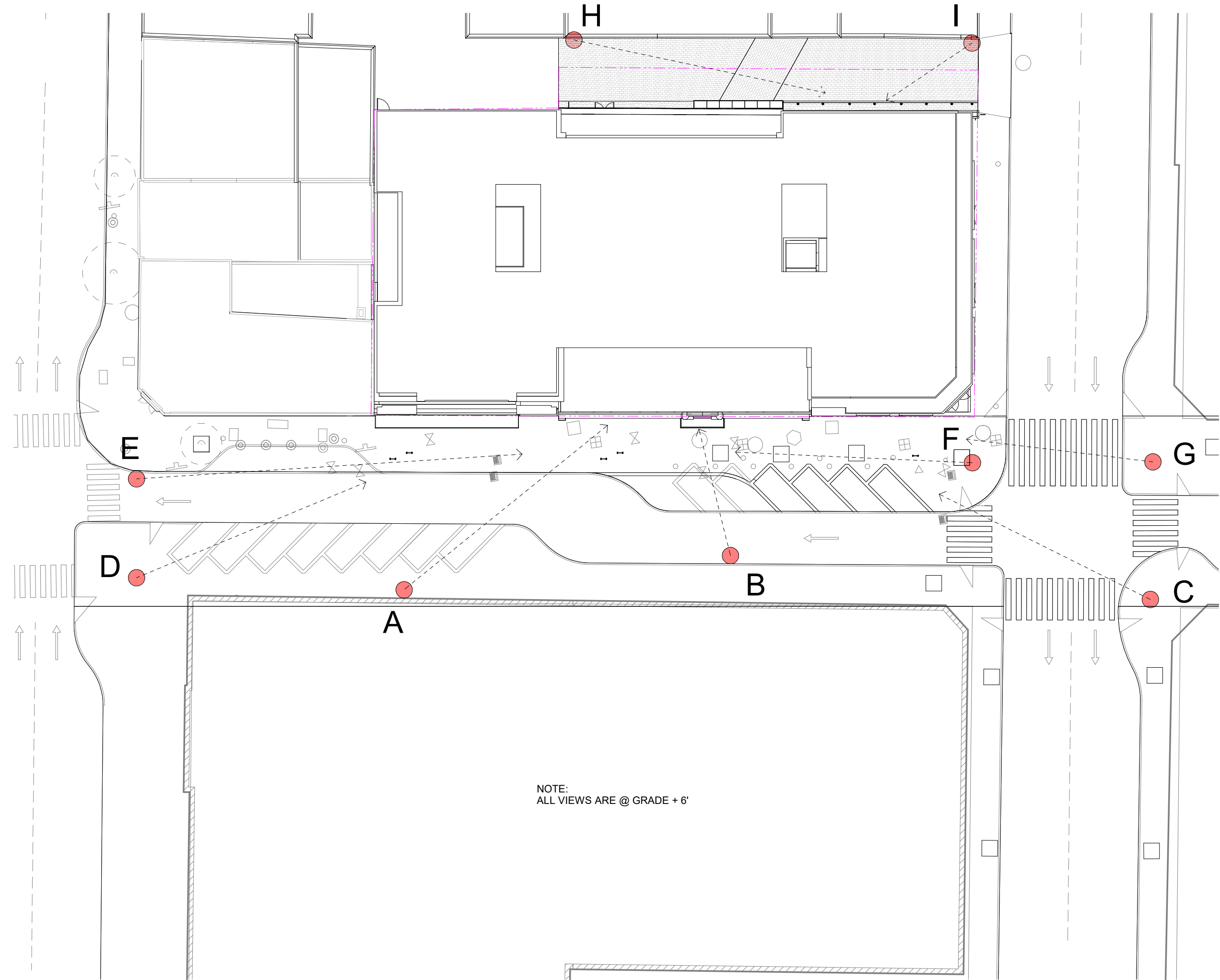
drawing no.

A504

revision no.



Rev	Date	Description
print date	Issue Date	drawing file
drawn by	Author	checked by
scale		project number
		1721



1 Key Plan Sheet View Images
A506 SCALE: 1 : 350



3 Broad Street - South Building & Ducks
A506 B



2 Yates to Johnson East
A506 A



4 Broad & Johnson
A506 C

4	Jan-08-20	Revision 4			
1	Sept-05-19	Revision 1			
Rev	4	Date	Jan-08-20	Description	Revision 4
Jan Date	Issue Date	Working File			
drawn by	Author	checked by			Checker
scale	1 : 350	project number			1721

NOTE: All dimensions are shown in millimeters.

dHkArchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

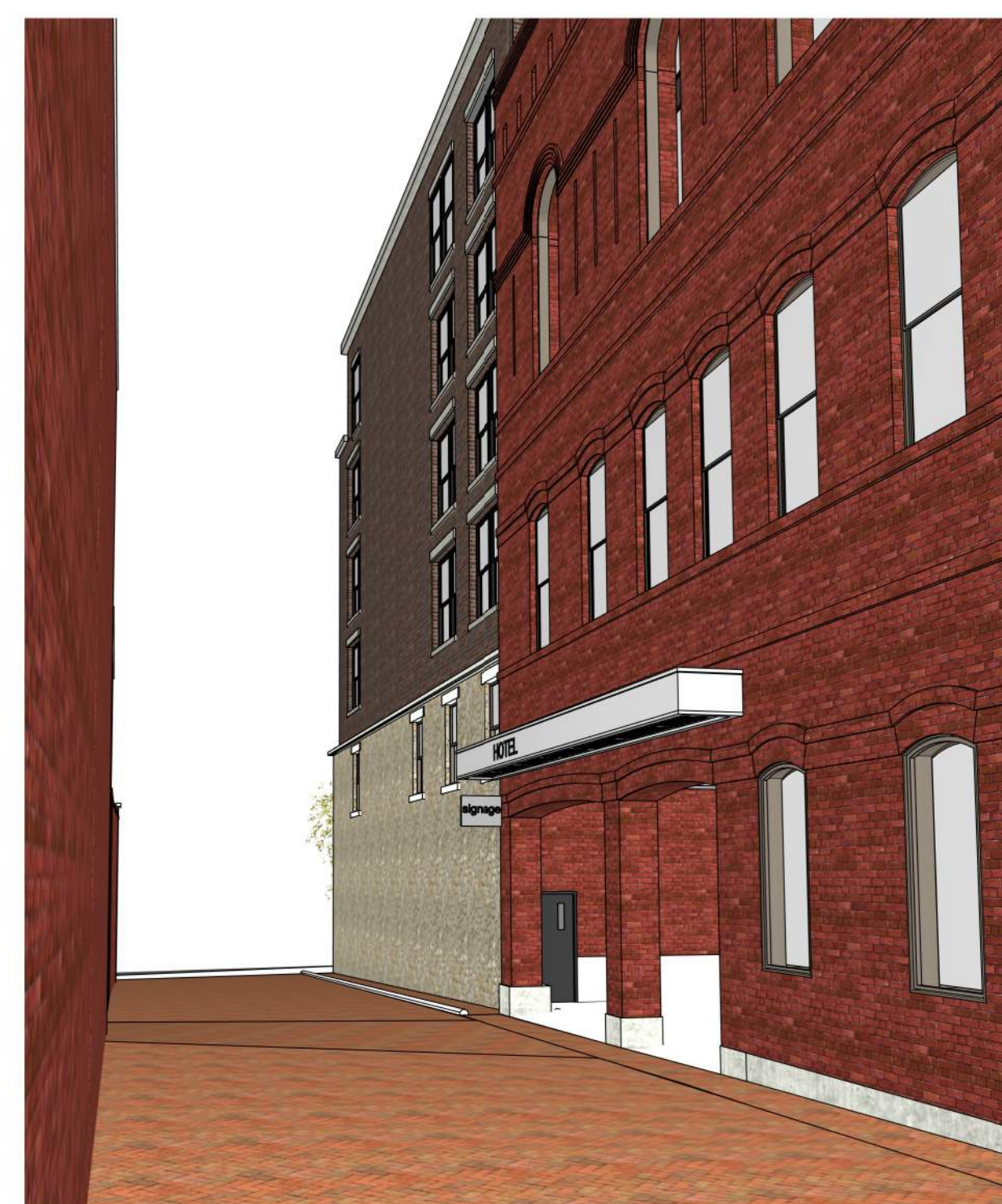
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

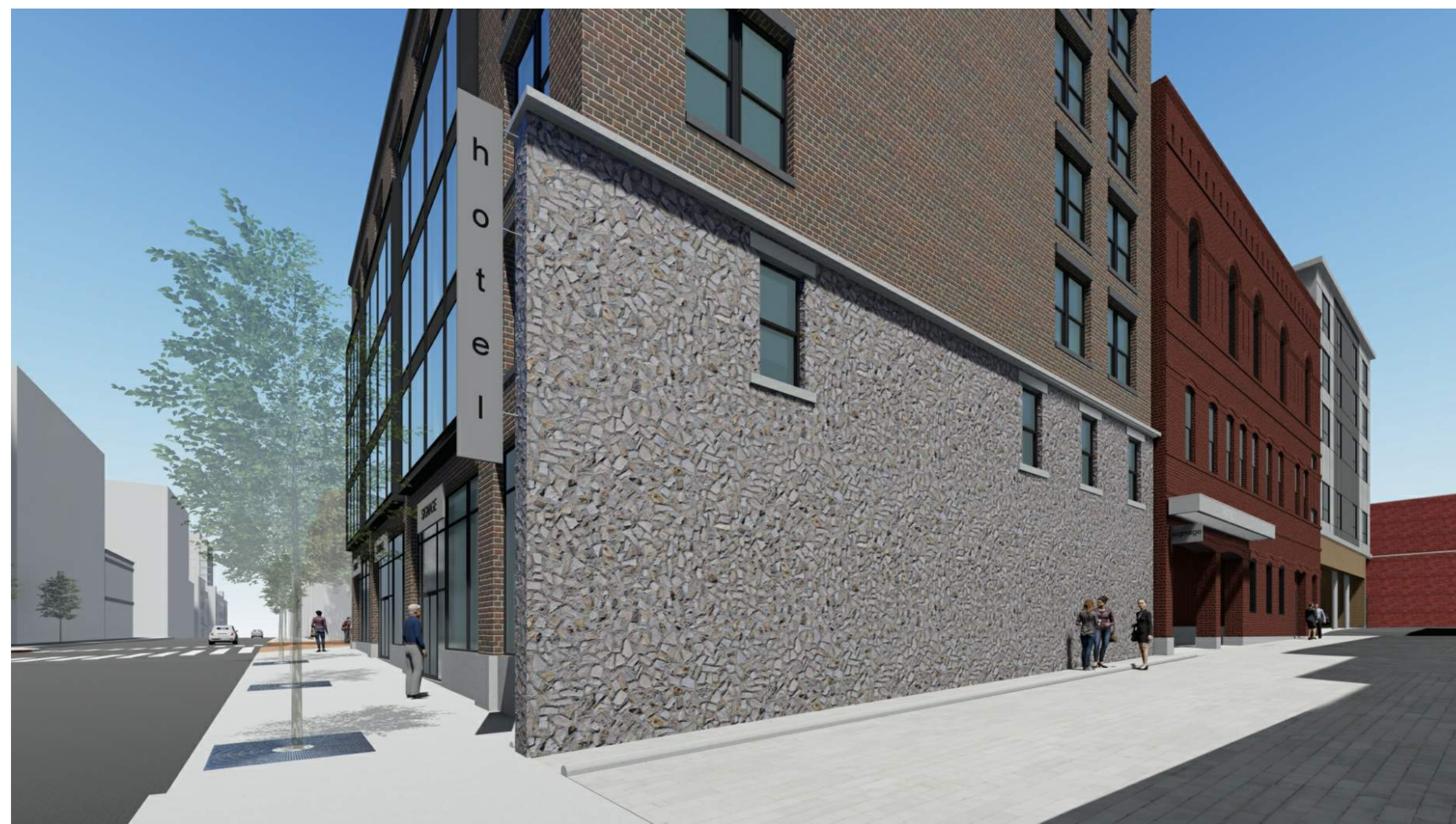
perspective studies

drawn by
A506

revision no.
4



4	Jan-08-20		Revision 4		
2	Oct-08-19		Revision 2		
Rev	4	Date	Jan-08-20	Description	Revision
print data		Issue Date		drawing file	
drawn by		Author		checked by	Checked
scale				project number	17



4	Jan-08-20	Revision 4	
Rev	4	Date	Jan-08-20
		Description	Revision 4
plot date		Issue Date	drawing file
drawn by		Author	Checker
scale		project number	1721

NOTE: All dimensions are shown in millimeters.

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project name

The Duck's Building
1312-1324 Broad Street
Victoria, BC V8T 1G1

drawing title

Perspective Studies

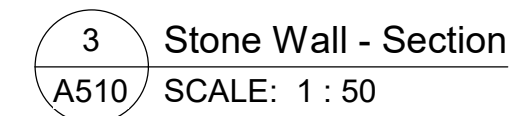
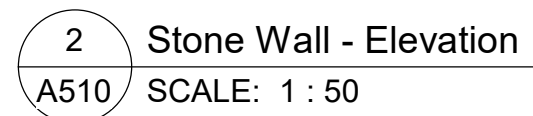
CONCEPT DEVELOPED: THESE PLANS AND
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drawing no.

A508

revision no.

4



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 Nanaimo BC V8T 2X8
 T1-250-685-0810

project name

The Duck's Building
 1312-1324 Broad Street
 Victoria, BC V8T 1G1

drawing by

Stone Wall

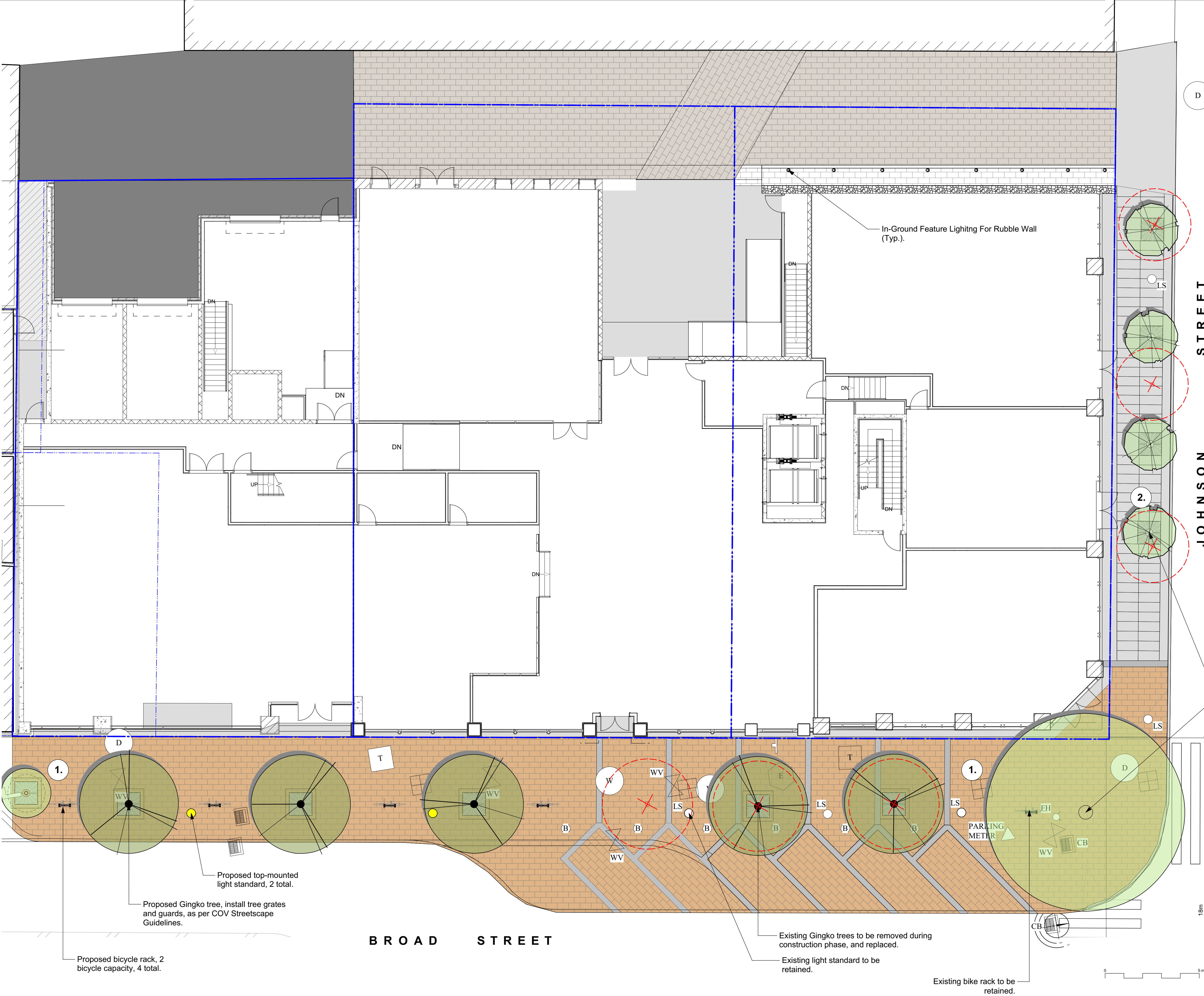
drawing no.

A510

revision no.

3

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LEGEND

Property line

LANDSCAPE MATERIALS

- Broad Street Paving, to match existing paving on Broad Street (retained and reinstated as necessary on street frontage)
- Broad Street building entrances - Cast in Place Concrete Paving
- Old Town Paving - Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Pavers, as per COV Streetscape Guidelines.
- Vehicular Paving in Laneway - Concrete Unit Paving. Abbotsford Concrete Standard Series 80mm thickness, or approved equivalent.
- Pedestrian Paving in Laneway - Concrete Unit Paving. Abbotsford Concrete Standard Series, or approved equivalent.
- Vehicular Paving in Services areas of Laneway - Asphalt Paving
- Bicycle rack, 2 bicycle capacity, to meet City of Victoria standards. 4 total.
- Top mounted light standard, to match existing Broad Street fixtures. 2 total.

- Existing Tree to be Retained
- Existing Tree to be Removed

LANDSCAPE ELEMENTS

- Broad Street Landscape. Existing Pin Oak to be retained, 5 - Ginkgo trees to be removed and 5 - Ginkgo trees to be replanted, install 2 - new top-mounted light standards, and 4 - new bike racks. All streetlighting and site furnishings to match existing, and meet City of Victoria Streetscape Guidelines.
- Johnson Street. Old Town Paving - Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines. Existing trees to be removed and replaced. Species to be confirmed, in consultation with City of Victoria Parks department.

Proposed Columnar Beech tree, install tree grates and guards, as per COV Streetscape Guidelines.

Existing Pin Oak tree to be retained. Tree protection measures to be determined by Project Arborist at time of Building Permit Application.

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- All boulevard trees to be irrigated with dedicated irrigation system as per City of Victoria specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

rev no	description	date
4	DP REV 5	20.02.04
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

Murdoch de Greeff INC
Landscape Planning & Design
200 - 524 Cultural Road
Victoria, BC V8Z 1G1
Phone: 250.412.2881
Fax: 250.412.2892

client
CHARD DEVELOPMENT

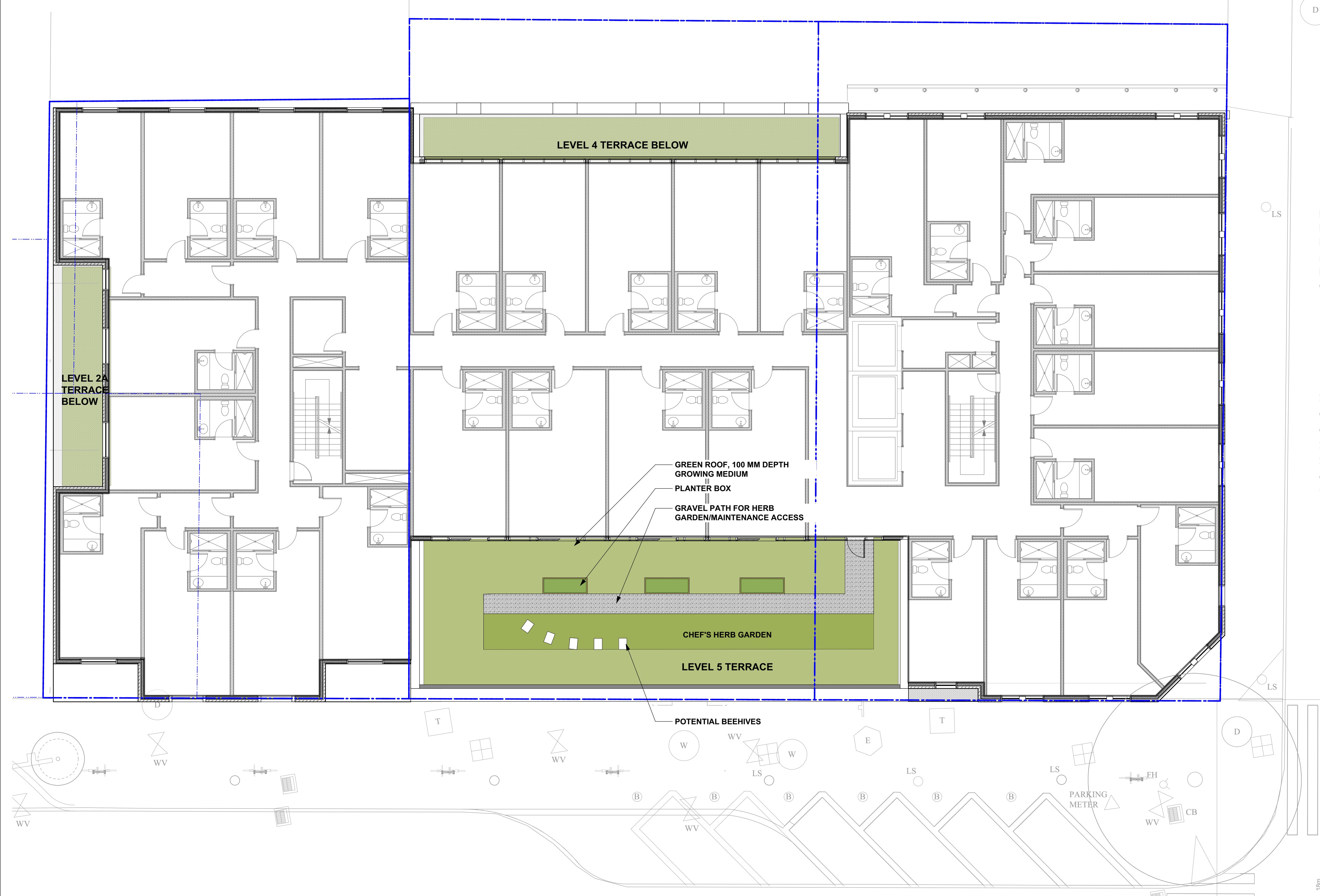
project
DUCKS BLOCK
REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC
sheet title

Landscape Materials
Plan - At Grade

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG

revision no.	sheet no.
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3 L1.01



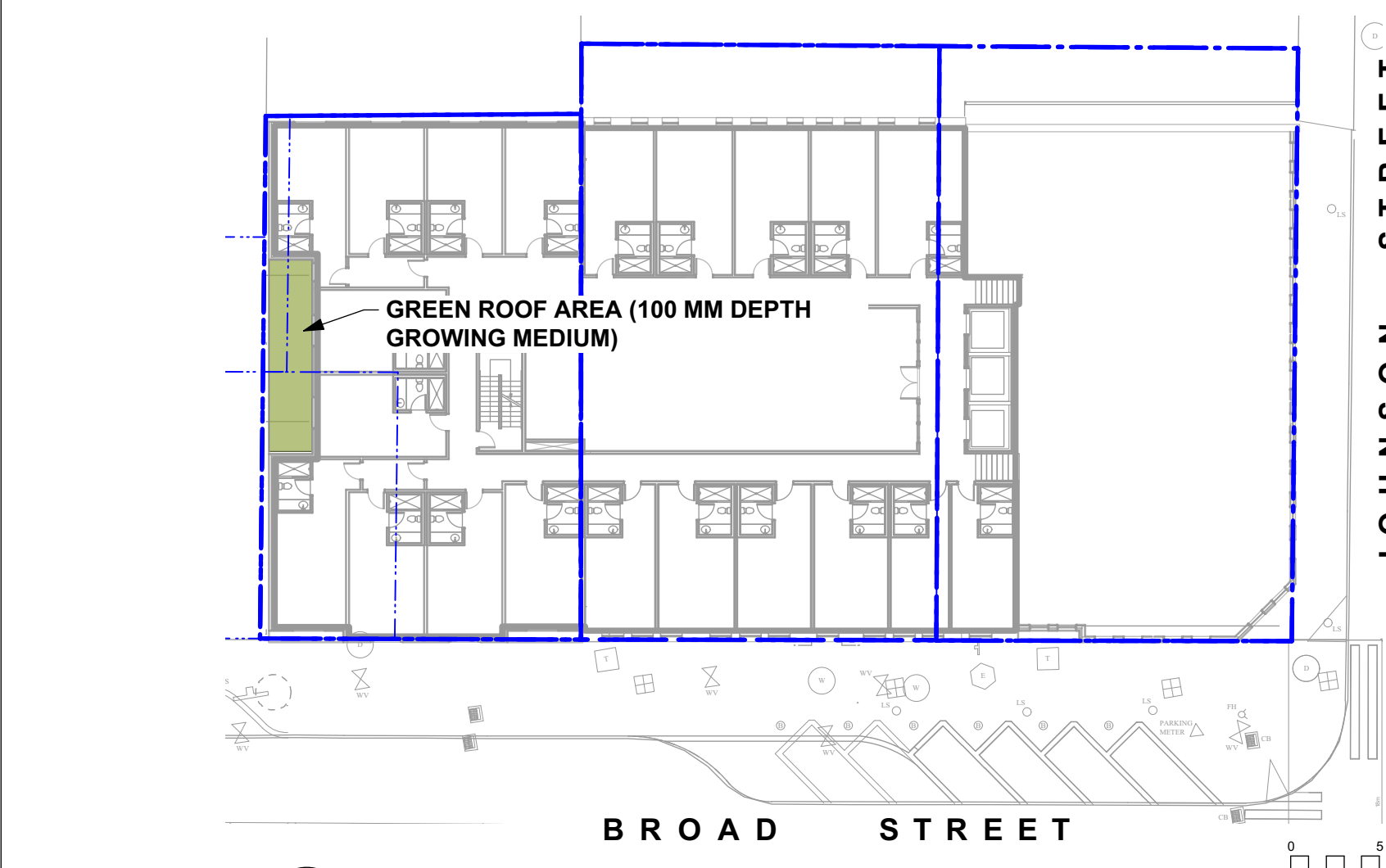
LEGEND

Property line

LANDSCAPE MATERIALS

Gravel pathway for maintenance access

Green roof area. 100 mm depth growing medium



1 Level 2A Landscape Plan
Scale: 1:350



2 Level 4 Landscape Plan
Scale: 1:350

- DRAWING NOTES
1.

DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2.

All plan dimensions in metres and all detail dimensions in millimetres.
3.

Plant quantities on Plans shall take precedence over plant list quantities.
4.

Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5.

Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6.

Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
7.

All boulevard trees to be irrigated with dedicated irrigation system as per City of Victoria specifications.
8.

Landscape installation to carry a 1 year warranty from date of acceptance.
9.

Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
10.

General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
11.

Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

rev no	description	date
4	DP REV 5	20.02.04
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

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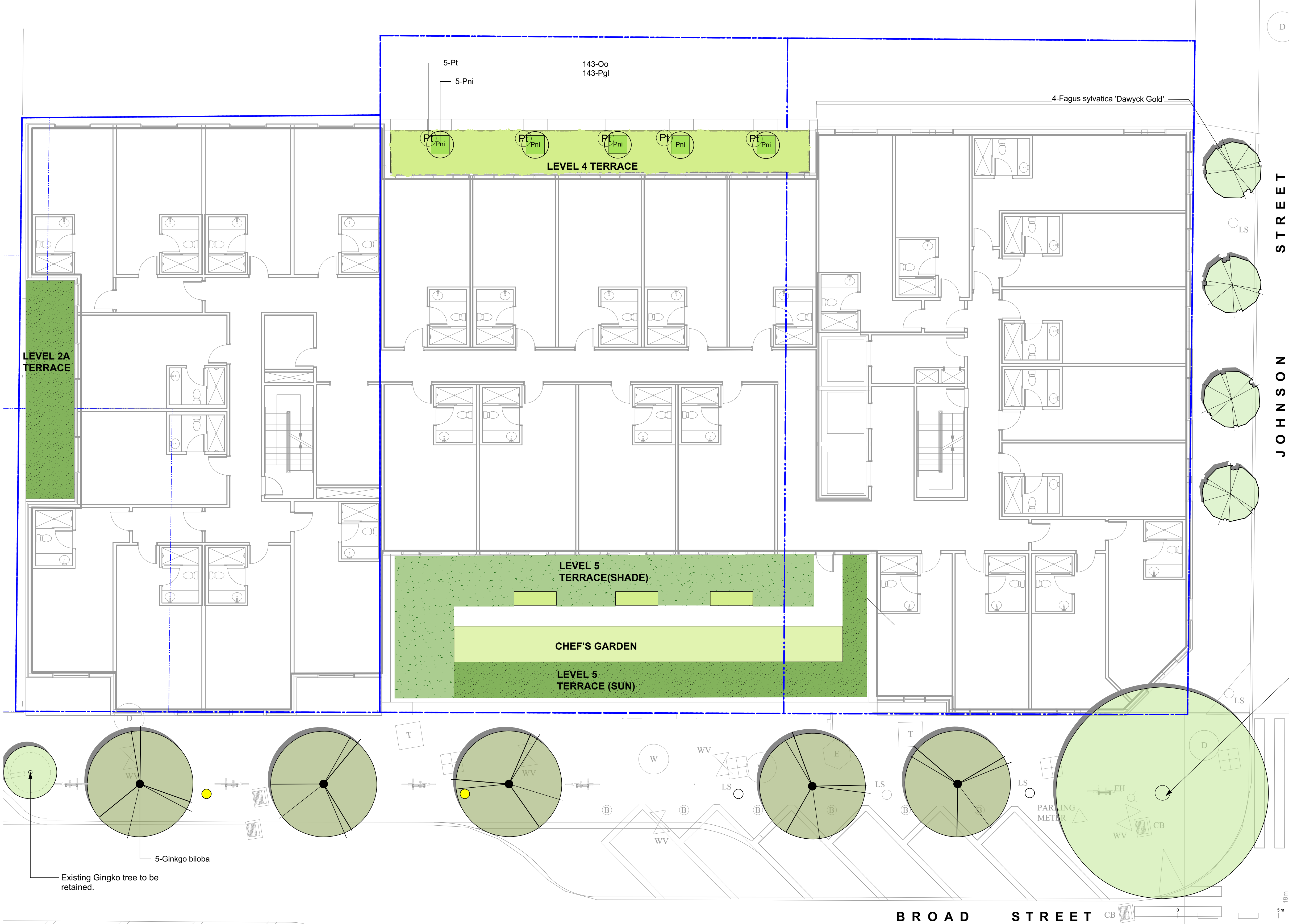
client
CHARD DEVELOPMENT

project
DUCKS BLOCK
REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

sheet title
Landscape Materials
Plan - Terrace
Levels

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.

3 L1.02



PLANT LIST - LEVEL 1

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
4		Fagus sylvatica 'Dawyc Gold'	Columnar Golden European Beech	6.0 cm cal, b&b
5		Ginkgo biloba	Maidenhair Tree	7.0cm cal, b&b

PLANT LIST - LEVEL 2A

SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 26.1 sq m

20%	Sedum acre
20%	Sedum album 'Coral Carpet'
20%	Sedum kamtschaticum
20%	Sedum rupestre
20%	Sedum spurium

PLANT LIST - LEVEL 4

143	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
5	Parthenocissus tricuspidata	Boston Ivy	#1 pot
5	Phyllostachys nigra	Black Bamboo	#5 pot
143	Polystichum glycyrrhiza	Licorice Fern	Sp3
0			

PLANT LIST - LEVEL 5

CHEF'S GARDEN

71	Allium schoenoprasum	Chives	Sp3, 30cm o.c.
71	Artemisia dracunculul	French Tarragon	Sp3, 30cm o.c.
71	Mentha spicata	Spearmint	Sp3, 30cm o.c.
71	Origanum vulgare hirtum	Greek Oregano	Sp3, 30cm o.c.
71	Rosmarinus officinalis	Rosemary	Sp3, 30cm o.c.
71	Salvia officianlis 'Minumus'	Dwarf Sage	Sp3, 30cm o.c.
71	Thymus vulgaris	English Thyme	Sp3, 30cm o.c.

GREEN ROOF AREA - SUN

SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 43.1 sq m

20%	Sedum acre
20%	Sedum album 'Coral Carpet'
20%	Sedum kamtschaticum
20%	Sedum rupestre
20%	Sedum spurium

GREEN ROOF AREA - SHADE

133	Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.
133	Cornus canadensis	Bunchberry	Sp3, 30cm o.c.
133	Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.
133	Gaultheria shallon	Salal	Sp3, 30cm o.c.
133	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
133	Polypodium glycyrrhiza	Licorice Fern	Sp3, 30cm o.c.

PLANTING NOTES

- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
- Final selection of boulevard trees to be determined through consultation with City of Victoria Parks staff.

DRAWING NOTES

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NOT FOR CONSTRUCTION

Planting Plan