




6th Floor, 205 - 10th Avenue SE
Calgary, AB Canada T2P 1E3
403.279.7000
www.s2architecture.com



DISCOVERY STREET SUPPORTIVE HOUSING

RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS - 2025.01.03



Revisions
Received Date:
February 4, 2025

Design Team

CLIENT:

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S2ARCHITECTURE



COVER SHEET

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221943

NOT FOR
CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centerline of demising walls, unless noted otherwise on the drawing.

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REVISION	DATE
21 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2025.01.03

SCALE
DATE: 1/31/2025 9:28:08 AM
DRAWN BY: MD/ALN/BJ
CHECKED BY: CZ

DRAWING NO.

DP0.0

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Municipal Address

722 and 726 DISCOVERY STREET
VICTORIA, B.C.
CANADA

Legal Address

LOT 755 & 756, VICTORIA CITY, PID 009-382-119 & 009-382-151

By-Law Zoning

CURRENT ZONING: R-108 MULTIPLE DWELLING
PROPOSED ZONING: SITE-SPECIFIC ZONE (RESIDENTIAL RENTAL TENURE)

Site Summary

SITE AREA: 1,348.6m² (0.33 ac)
PROPOSED BUILDING FOOTPRINT: 573.00 m²
PROPOSED BUILDABLE ENCLOSURE: 62.00 m²
TOTAL FOOTPRINT: 635.00m²

Site Coverage

SITE AREA: 1,348.6m² (0.33 ac)
SITE COVERAGE: 613.00m² (45.4%)
OPEN SITE SPACE: 735.6m² (54.6%)

By-Law Setback

PROPOSED BUILDING SETBACKS
FROM (DISCOVERY STREET): 10.0m
REAR (NORTH): 4.0m
SIDE (EAST): 2.5m
SIDE (WEST): 3.5m

Proposed Development

REST HOME - CLASS C (SUPPORTIVE HOUSING)
BUILDING CLASSIFICATION AS PER B.C. BUILDING CODE:
BUILDING C: GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED

Building Height

MAXIMUM PRINCIPAL BUILDING HEIGHT: 31.0m
MAXIMUM ALLOWABLE PROJECTIONS ABOVE PRINCIPAL BUILDING HEIGHT:
• PARAPETS: 1.0m
• ROOFTOP STRUCTURES: 5.0m
PROPOSED BUILDING HEIGHT: +/-27.0m
PROPOSED PARAPET HEIGHT: +/-1.0m
PROPOSED ROOFTOP STRUCTURES: +/-2.1m
TOTAL PROPOSED BUILDING HEIGHT: 30.27m

Floor Space Ratio

MAXIMUM PERMITTED F.S.R.	PROPOSED F.S.R.
3.5	3.47

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES, AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

GROSS FLOOR AREA	GFA (SQM)
LEVEL 1	613
LEVEL 2	581
LEVEL 3	581
LEVEL 4	581
LEVEL 5	581
LEVEL 6	581
LEVEL 7	581
LEVEL 8	581
TOTAL GFA	4,660

Dwelling Unit Count

UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY	% OF TOTAL
AT/A2	STUDIO	33.36	74	82%
A3	ACCESSIBLE STUDIO	34	8	8%
A3	ADAPTABLE STUDIO	34	8	8%
TOTAL			90	100.0%

Motor Vehicle Parking Requirements

DESCRIPTION	UNIT COUNT	AREA (m ²)	FACTOR	REQUIRED	PROVIDED
UNITS - RESIDENTIAL	90	N/A	0.2 STALLS PER UNIT	18	0
UNITS - VISITOR	90	N/A	0.1 STALLS PER UNIT	9	0
EMPLOYEE AREAS	N/A	96	1 STALL PER 80 m ²	1	0
TOTAL PARKING				28	0

NOTE: PARKING CALCULATIONS PROVIDED BY CITY OF VICTORIA PLANNING ON JUNE 15, 2022.

NOTE: THE PURPOSE OF THIS DEVELOPMENT IS FOR SUPPORTIVE HOUSING IN WHICH THE RESIDENTS TYPICALLY DO NOT OWN VEHICLES OR DRIVE. BASED UPON PREVIOUS PROJECT EXPERIENCE AND SUBSEQUENT TRAFFIC AND PARKING ANALYSIS, NO PARKING IS TO BE REQUIRED OR PROVIDED ON SITE.

Bicycle Parking Requirements

DESCRIPTION	UNIT COUNT	QUANTITY	FACTOR	REQUIRED	PROVIDED
UNIT COUNT	90	1 PER UNIT	90	30	

NOTE: LONG TERM PARKING COUNT INCLUDES:
25 WALL MOUNTED BIKE STALLS
5 FLOOR MOUNTED BIKE STALLS

Waste & Recycling Requirements

DESCRIPTION	QUANTITY	FACTOR	REQUIRED	PROVIDED
UNIT COUNT	90	0.1	9	9

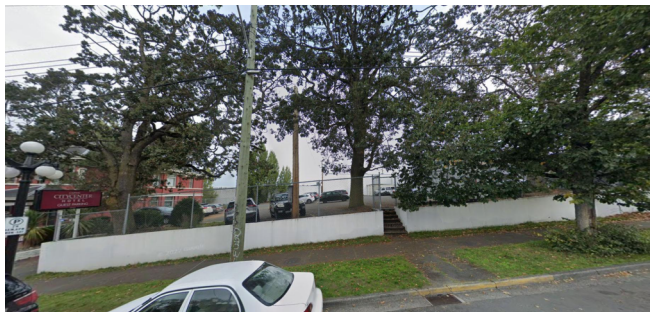
SUFFICIENT SPACE HAS BEEN PROVIDED FOR A MIN. OF ONE COLLECTION CONTAINER FOR GARBAGE, ONE COLLECTION CONTAINER FOR RECYCLABLE MATERIALS, AND TWO COLLECTION CONTAINERS FOR FOOD AND YARD WASTE MATERIALS TO ACCOMMODATE THE TOTAL WASTE VOLUME. THE FOLLOWING IS A LIST OF CONTAINERS PROVIDED:

- 4yd³ WASTE BIN
- 4yd³ RECYCLE BIN
- TWO 189L ORGANICS BINS

NOTE: DUE TO THE SIZE OF THE DEVELOPMENT, BI-WEEKLY WASTE PICK-UP IS BEING PROPOSED.



1 Looking North-West
DP0.1



2 Looking North
DP0.1



3 Looking North-East
DP0.1



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PROJECT STATISTICS & SITE PHOTOS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
221943

NOT FOR CONSTRUCTION

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REVISION	DATE
21 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2025.01.03

SCALE	1:50
DATE	1/31/2025 9:28:19 AM
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CHECKED BY	CZ

DRAWING NO. DP0.1

Printed: 4/15/2022 2:54 PM User: Project: 22-00605

REV	DATE	DESCRIPTION	BY	CHK
1	2022-04-18	RESOLVED LOT BOUNDARIES	MLE	HC
0	2022-03-09	ORIGINAL PLAN PREPARED	MLE	HC
ISS/REV	YYYY-MM-DD	DESCRIPTION	DRN	CHK

CLIENT:	BC HOUSING MANAGEMENT COMMISSION
CLIENT REF. NO.:	

GeoVerra

795 Market Street
Victoria, BC V8T 0B4
t: 250-342-9767 • www.geoverra.com

PROJECT:	722 & 726 DISCOVERY STREET VICTORIA, BC
PROJECT NO.:	22-00605
SCALE:	As-Noted
DISCIPLINE:	GEOMATICS

TITLE:	TOPOGRAPHIC SURVEY
DRAWING NO.:	22-00605-001-TOPO01-R1
SHEET NO.:	1 OF 1

Certified Correct this 18th day of April, 2022
Geoffrey Hobbs
QUCXHE
G.M. Hobbs, BCLS 752

This plan represents the best information available at the time of survey. GeoVerra Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

Overhead lines are diagrammatic only and may not include all connections.

Tree diameters are taken at breast height. Tree symbols are diagrammatic only to show relative sizes.

Vertical Datum CGVD28 (HTV2.0).

Elevations are to geodetic datum, derived from geodetic control monument 17-3. Published Elevation = 7.987m.

Contour interval = 0.2 m.

Date of Field Survey: February 28, 2022.

Legal Description:
LOT 755 VICTORIA CITY (PID: 009-382-151)
LOT 756 VICTORIA CITY (PID: 009-382-232)

LEGEND

- denotes catchbasin
- denotes catchbasin/manhole
- denotes drain
- denotes sewer manhole
- denotes water manhole
- denotes water valve
- denotes curb stop
- denotes water vault
- denotes gas meter
- denotes hydro pole
- denotes hydro pole with light
- denotes hydro pole with transformer
- denotes lamp pole
- denotes sign
- denotes fence
- denotes non-mountable curb
- denotes curb letdown
- denotes edge of pavement
- denotes edge of gravel
- denotes center line of road
- denotes building overhang
- denotes overhead wire
- denotes building outline
- denotes deciduous tree, species and diameter
- denotes spot elevation
- denotes property line

The intended plot size of this plan is 594mm in width by 420mm in height (ISO A2 size) when plotted at a scale of 1:200

All distances are in metres and decimals thereof.

Site Survey - General Notes

1. THIS DRAWING IS FOR REFERENCE ONLY. S2 ARCHITECTURE TAKES NO RESPONSIBILITY FOR ANY DISCREPANCIES FOUND

4 2 0 4 8 12



S2 architecture

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SITE SURVEY

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22-00605

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REVISION	DATE
4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

SCALE: 1:1
DATE: 1/31/2025 9:29:19 AM
DRAWN BY: MD/AM
CHECKED BY: CZ

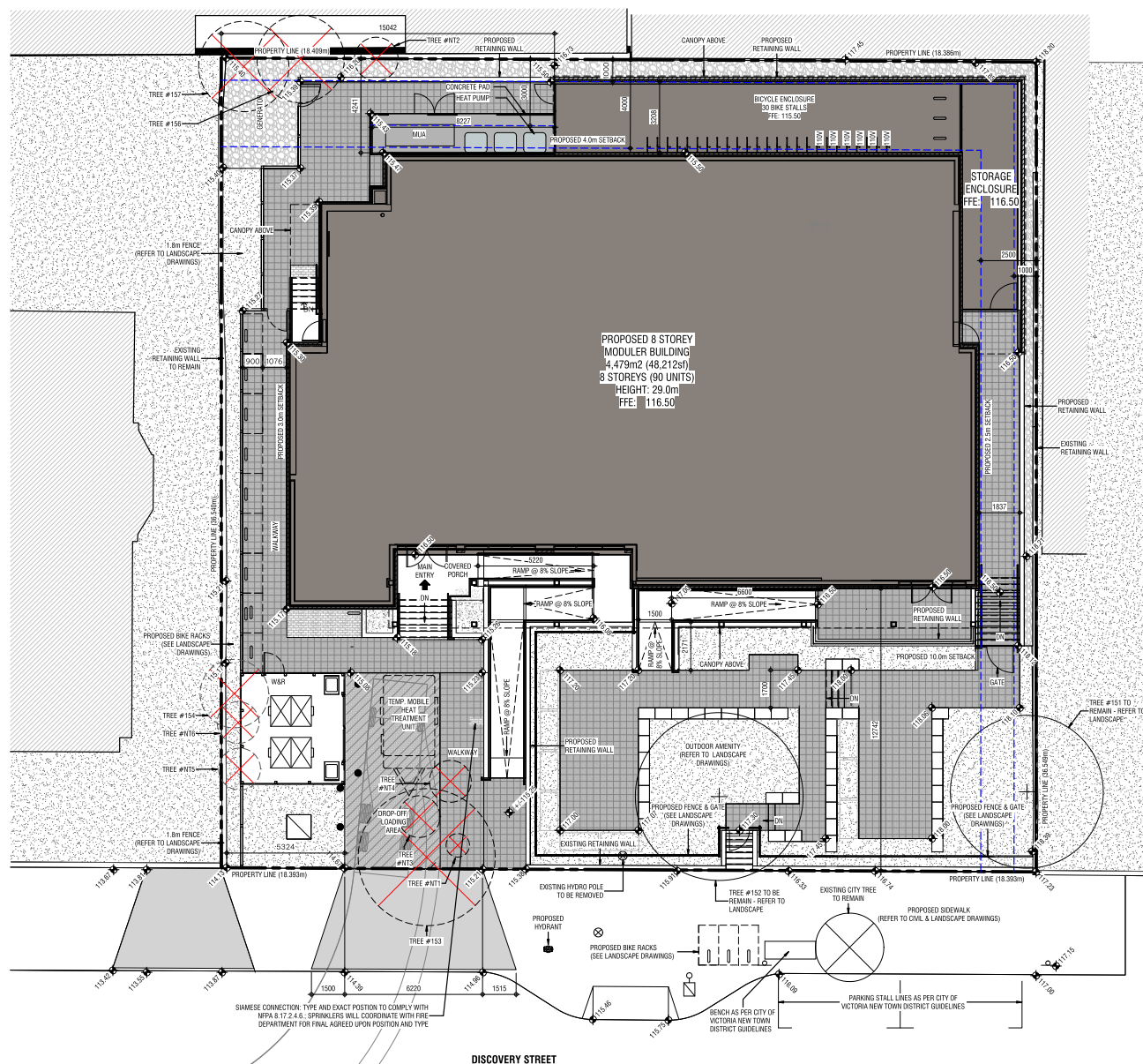
DRAWING NO. **DP0.3**

Site Plan - General Notes

1. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION.
2. REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES.

Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF CONCRETE
- INDICATES EXTENT AND LOCATION OF UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF HEAVY DUTY UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF CONCRETE DRIVEWAY
- INDICATES EXTENT AND LOCATION OF SHALE GRAVEL - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF LANDSCAPED AREA - REFER TO LANDSCAPING
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES LINE OF FENCE
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF BUILDING SHIMASE CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF PROPOSED POWER POLE
- INDICATES LOCATION OF EXISTING POWER POLE
- INDICATES LOCATION OF PROPOSED GUARD BOLLARD
- INDICATES LOCATION OF BIKE RACK
- INDICATES NO PARKING SIGN
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION
- INDICATES TREE TO BE REMOVED - REFER TO LANDSCAPE FOR DETAILS



1 Site Plan

DPI:0 SCALE:1:100



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SITE PLAN

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET,
VICTORIA, B.C.
BC HOUSING

221943

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REVISION	DATE
21 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2025.01.03

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DRAWN BY	MJ/ALV/ML
CHECKED BY	CZ
























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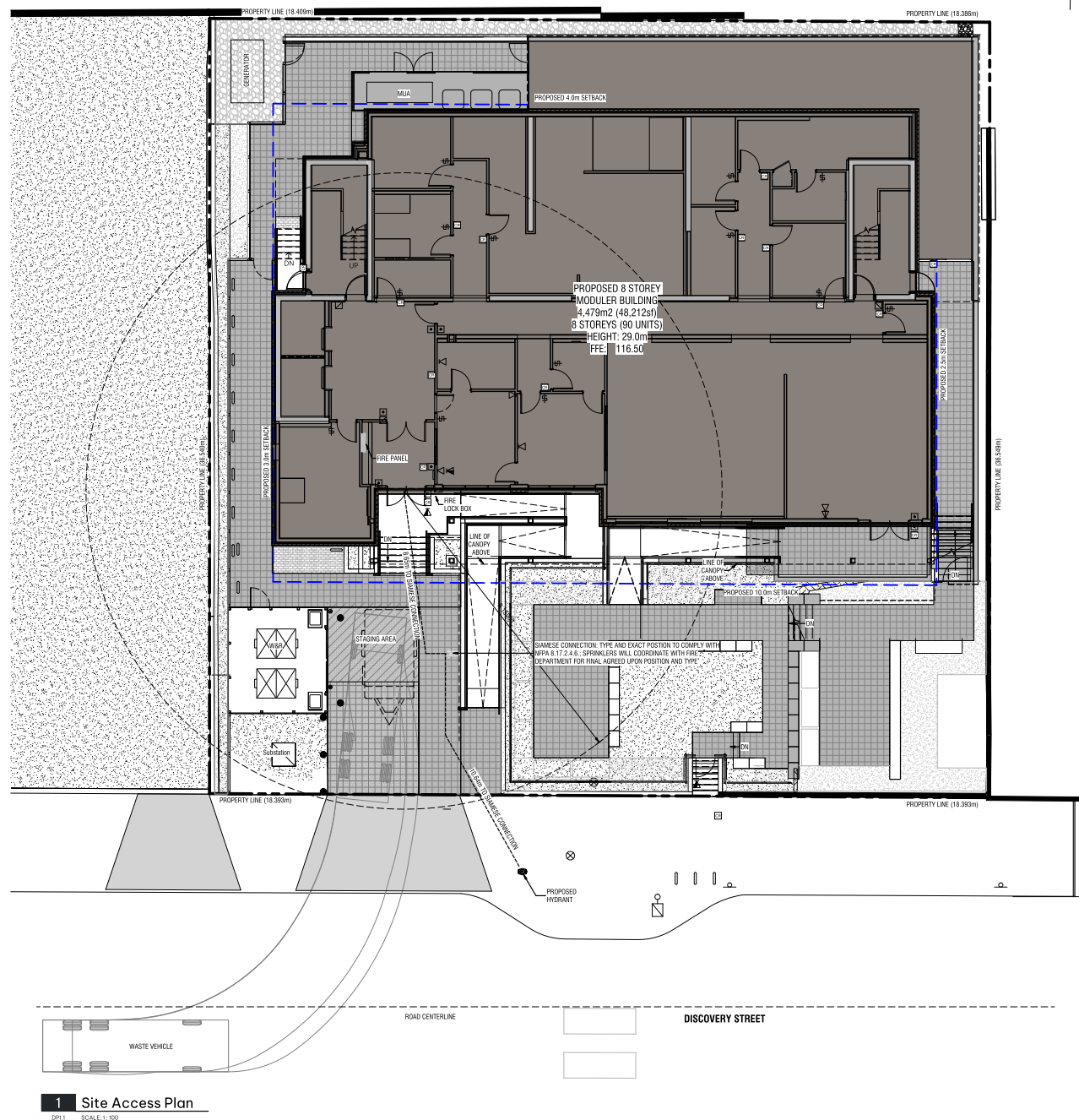
DP1.0

Site Plan - General Notes	
1.	REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION.
2.	REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES

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2. REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES

Site Plan - Symbol Legend

- | | |
|---|--|
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|  | INDICATES EXTENT AND LOCATION OF CONCRETE DRIVEWAY |
|  | INDICATES EXTENT AND LOCATION OF SHALE GRAVEL - REFER TO LANDSCAPE |
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|  | INDICATES LOCATION OF BUILDING SIAMMSE CONNECTION |
|  | INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL |
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|  | INDICATES LOCATION OF BIKE RACK |
|  | INDICATES NO PARKING SIGN |
|  | INDICATES EXISTING GEODETIC SPOT ELEVATION |
|  | INDICATES PROPOSED GEODETIC SPOT ELEVATION |
|  | INDICATES TREE TO BE REMOVED - REFER TO LANDSCAPE FOR DETAILS |



1 Site Access Plan

DPI:1 SCALE:1:100



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W&R ACCESS AND FIRE CONNECTION PLAN

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221249

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REVISION	DATE
6 RE-ISSUED FOR DEVELOPMENT PERMIT	09.18.21
10 LAND USE & D.P. SUBMISSION	04.29.21

SCALE	As indicated
DATE	1/31/2025 9:30:05 AM
DRAWN BY	MD/AN/KM
CHECKED BY	CZ

DRAWING NO.

DP1.1

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ENLARGED W&R

DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
221243

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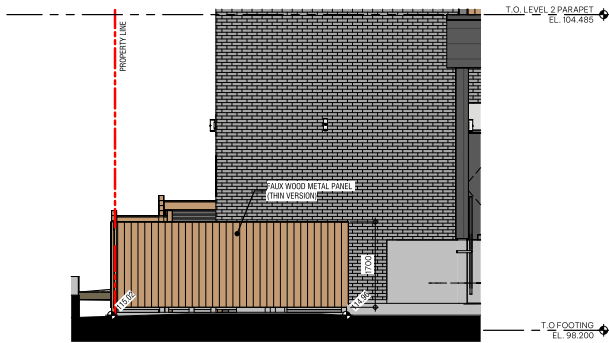
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21 RESPONDING TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2025 01 03

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DRAWN BY	MW/M
CHECKED BY	CZ

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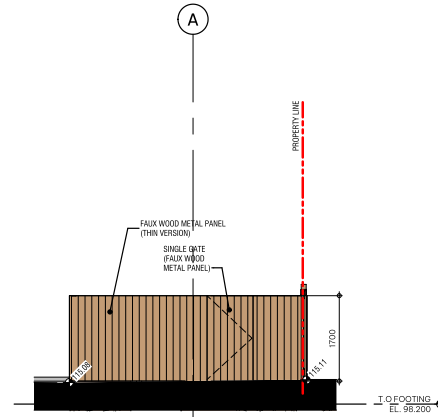
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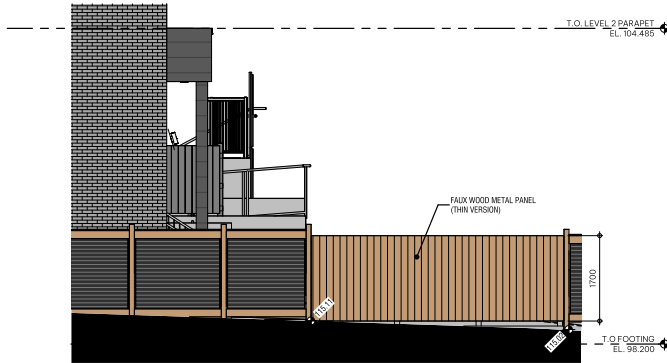
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DP1.2 SCALE: 1:50



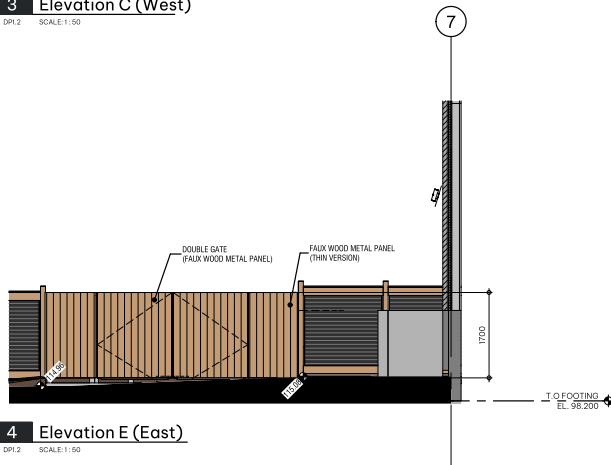
2 Elevation B (North)

DP1.2 SCALE: 1:50



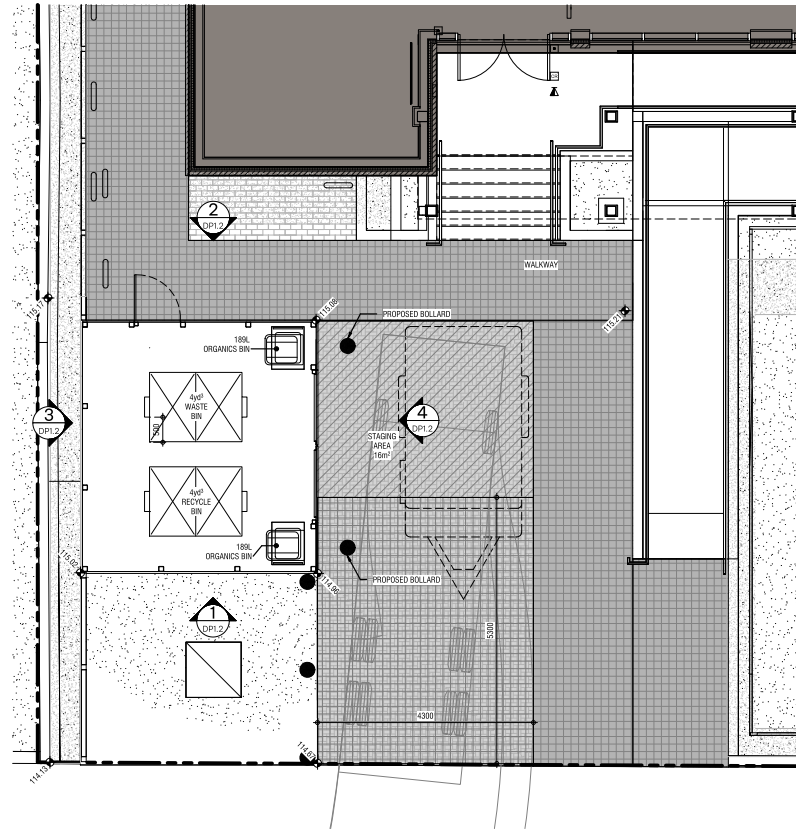
3 Elevation C (West)

DP1.2 SCALE: 1:50



4 Elevation E (East)

DP1.2 SCALE: 1:50



5 Enlarged W&R & Bicycle Enclosure

DP1.2 SCALE: 1:50



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DISCOVERY STREET SUPPORTIVE HOUSING

VICTORIA, B.C.
BC HOUSING

140
221247

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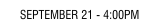
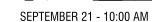
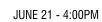
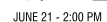
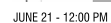
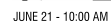
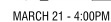
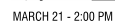
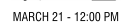
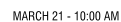
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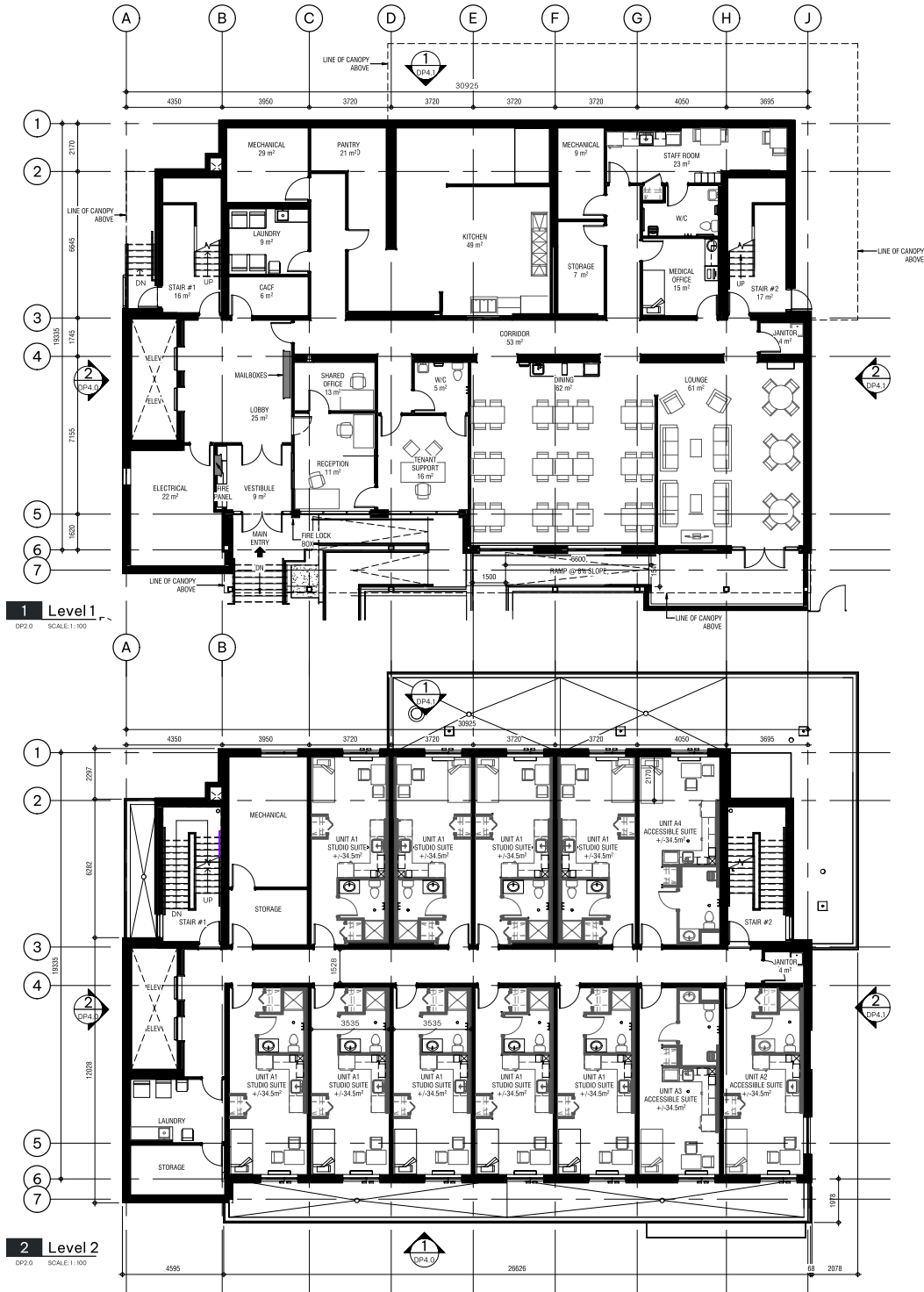
REVISION		DATE
4	DP RE-SUBMISSION	07.04.21
5	ISSUED FOR SCHEMATIC TENDER	07.10.21
10	LAND USE & D.P. SUBMISSION	04.29.22

SCALE	
DATE	1/31/2025 9:46:24 AM
DRAWN BY	KM
CHECKED BY	CZ

DRAWING NO.

DP1.4

[illegible]



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LEVEL 1 & 2 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
221243

NOT FOR CONSTRUCTION

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REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

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DRAWING NO.

DP2.0

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1 Level 3
DP2.1 SCALE: 1/100



2 Level 4
DP2.1 SCALE: 1/100



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LEVEL 3 & 4 FLOOR PLANS

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BC HOUSING

22143

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REVISION	DATE
4 DP RE-SUBMISSION	07/04/2023
5 ISSUED FOR SCHEMATIC TENDER	07/10/2023
10 LAND USE & D.P. SUBMISSION	04/29/2022

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LEVEL 5 & 6 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22193

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REVISION	DATE
4 DP RE-SUBMISSION	07/04/2023
5 ISSUED FOR SCHEMATIC TENDER	07/10/2023
10 LAND USE & D.P. SUBMISSION	04/29/2022

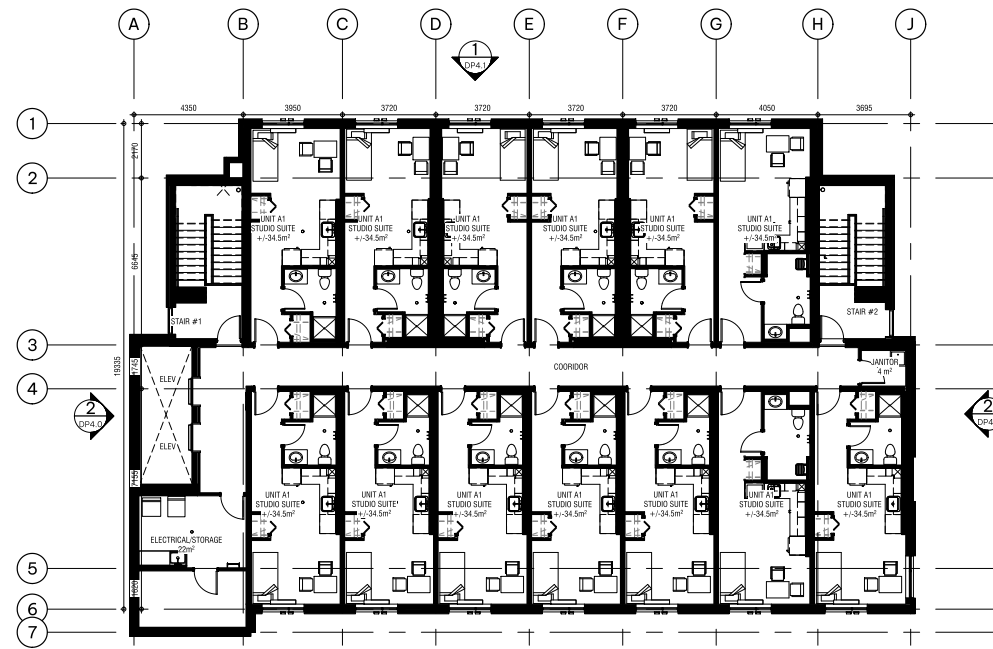
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DP2.2



1 Level 7
DP2.3 SCALE: 1:100



2 Level 8
DP2.3 SCALE: 1:100



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LEVEL 7 & 8 FLOOR PLANS

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BC HOUSING

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REVISION	DATE
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10 LAND USE & D.P. SUBMISSION	04/29/2022

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DP2.3

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ROOF PLAN

DISCOVERY STREET SUPPORTIVE HOUSING

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BC HOUSING

221243

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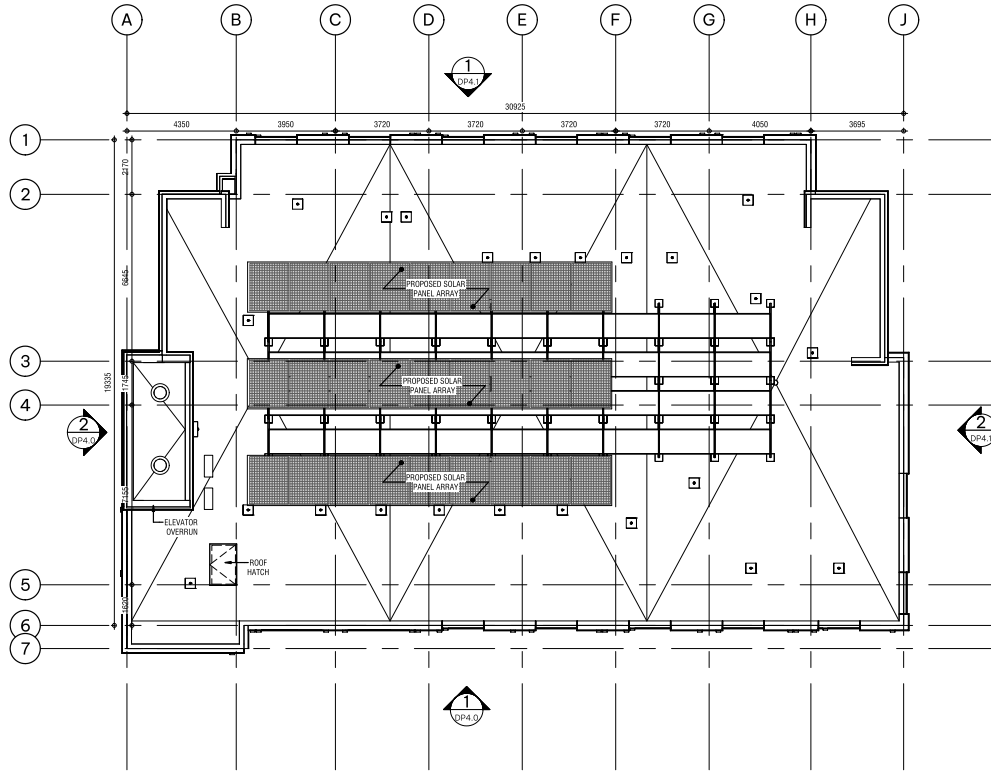
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REVISION	DATE
10 LAND USE & D.P. SUBMISSION	04-29-2022
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15

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DP2.4



1 Roof Plan

DP2.4 SCALE 1:100

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NOTE: Dimensions are for reference only and are subject to change based on construction documentation.



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UNIT PLANS

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BC HOUSING

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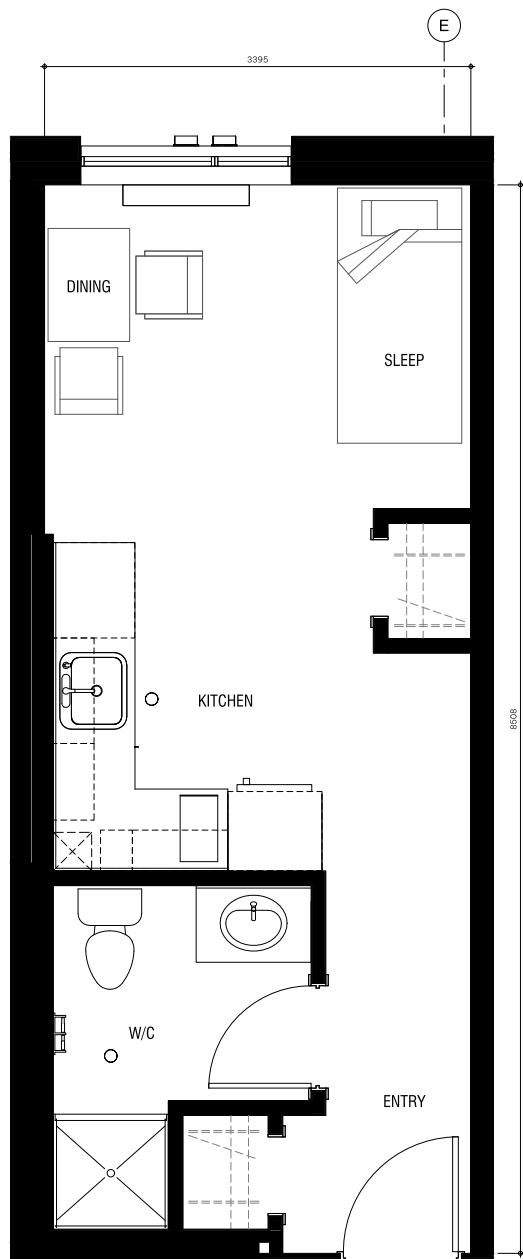
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5 ISSUED FOR SCHEMATIC TENDER	07.10.2023

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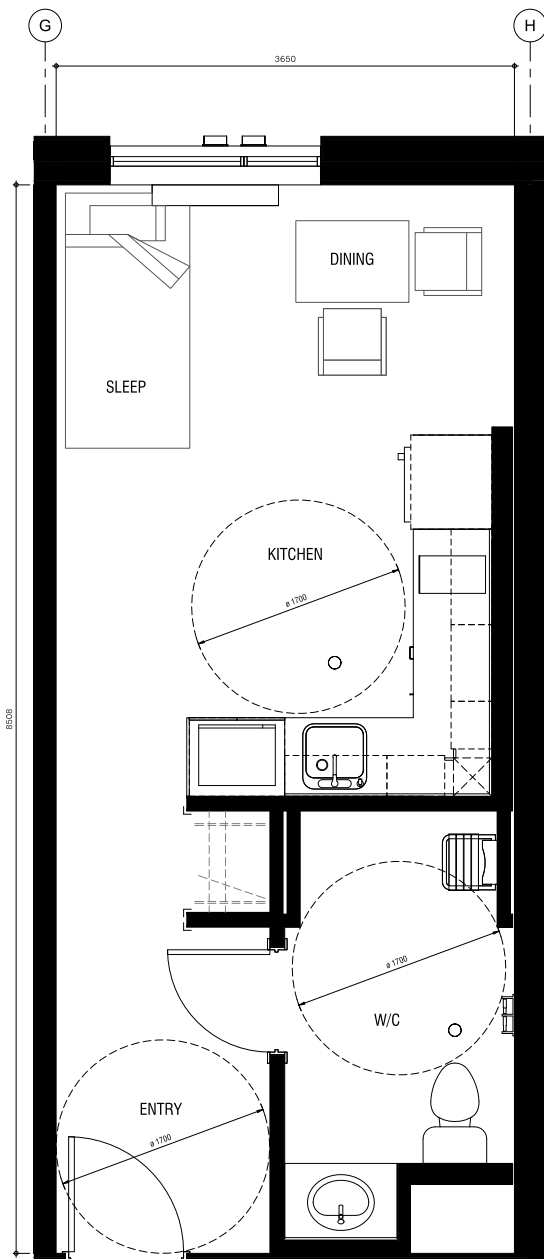
DP2.5

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1 Unit A1 - Typical Studio Unit | ±34.5sqm

DP2.5 SCALE: 1:20



2 Unit A2/A3 - Accessible & Adaptable Units | ±34.5sqm

DP2.5 SCALE: 1:20

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REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
21 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2025.01.03

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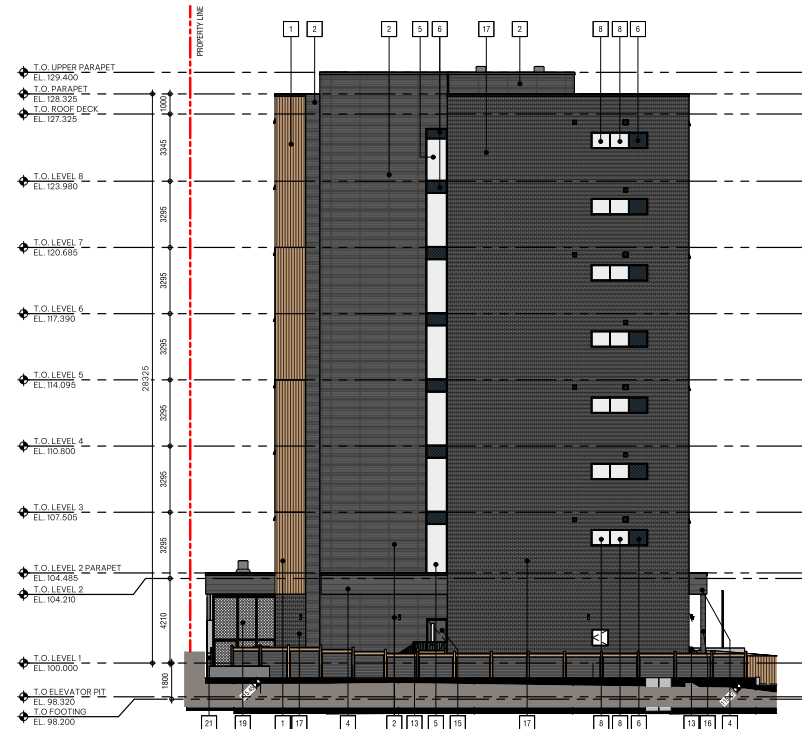
Elevation - Code Legend

- 1 VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE
- 2 COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED)
- 3 PVC WINDOW - PROTEST GLASS - BLACK FRAME
- 4 METAL PANEL - CHARCOAL
- 5 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS
- 6 METAL PLATE SPANDREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL
- 7 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - DOUBLE DOORS
- 8 PVC WINDOW - VISION GLASS - BLACK FRAME
- 9 CONCRETE UPSTAND C/W COMPOSIT METAL CLADDING - DARK GREY
- 10 P.T. DECK SKIRTING - GOLDEN OAK TONE
- 11 P.T. WOOD DECKING - GOLDEN OAK TONE
- 12 P.T. WOOD STAIRS - GOLDEN OAK TONE
- 13 METAL HANDRAIL/GUARD - BLACK
- 14 DOUBLE DOOR C/W CHARCOAL FRAME, GLASS INSERT AND DOUBLE SIDELIGHTS
- 15 HOLLOW FRAME STEEL DOOR - CHARCOAL
- 16 PAINTED HEAVY TIMBER COLUMNS - BLACK
- 17 MODULAR BRICK - MIXED GREY
- 18 POTENTIAL SOLAR PANEL ARRAY
- 19 CHAIN LINK FENCE
- 20 CONCRETE MASONRY UNIT
- 21 CONCRETE RETAINING WALL



1 South Elevation

DP4.0 SCALE: 1/125



2 West Elevation

DP4.0 SCALE: 1/125



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BUILDING ELEVATIONS

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BC HOUSING
221943

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REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONDING TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

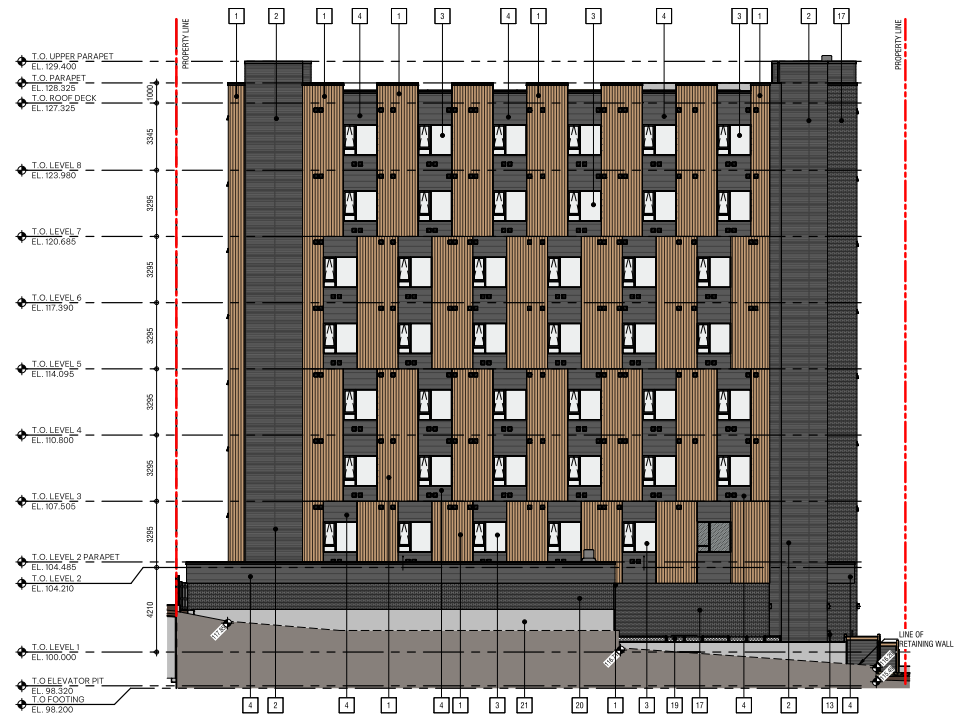
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CHECKED BY	CZ

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DP4.1

Elevation - Code Legend

- | | |
|----|--|
| 1 | VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE |
| 2 | COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED) |
| 3 | PVC WINDOW - FROSTED GLASS - BLACK FRAME |
| 4 | METAL PANEL - CHARCOAL |
| 5 | SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS |
| 6 | METAL PLATE SPANDREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL |
| 7 | SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - DOUBLE DOORS |
| 8 | PVC WINDOW - VISION GLASS - BLACK FRAME |
| 9 | CONCRETE UPSTAND C/W COMPOSIT METAL CLADDING - DARK GREY |
| 10 | P.T. DECK SKIRTING - GOLDEN OAK TONE |
| 11 | P.T. WOOD DECKING - GOLDEN OAK TONE |
| 12 | P.T. WOOD STAIRS - GOLDEN OAK TONE |
| 13 | METAL HANDRAIL/GUARD - BLACK |
| 14 | DOUBLE DOOR C/W CHARCOAL FRAME, GLASS INSERT AND DOUBLE SIDELIGHTS |
| 15 | HOLLOW FRAME STEEL DOOR - CHARCOAL |
| 16 | PAINTED HEAVY TIMBER COLUMNS - BLACK |
| 17 | MODULAR BRICK - MIXED GREY |
| 18 | POTENTIAL SOLAR PANEL ARRAY |
| 19 | CHAIN LINK FENCE |
| 20 | CONCRETE MASONRY UNIT |
| 21 | CONCRETE RETAINING WALL |



1 North Elevation

DP4.1 SCALE:1:125



2 East Elevation

DP4.1 SCALE:1:125

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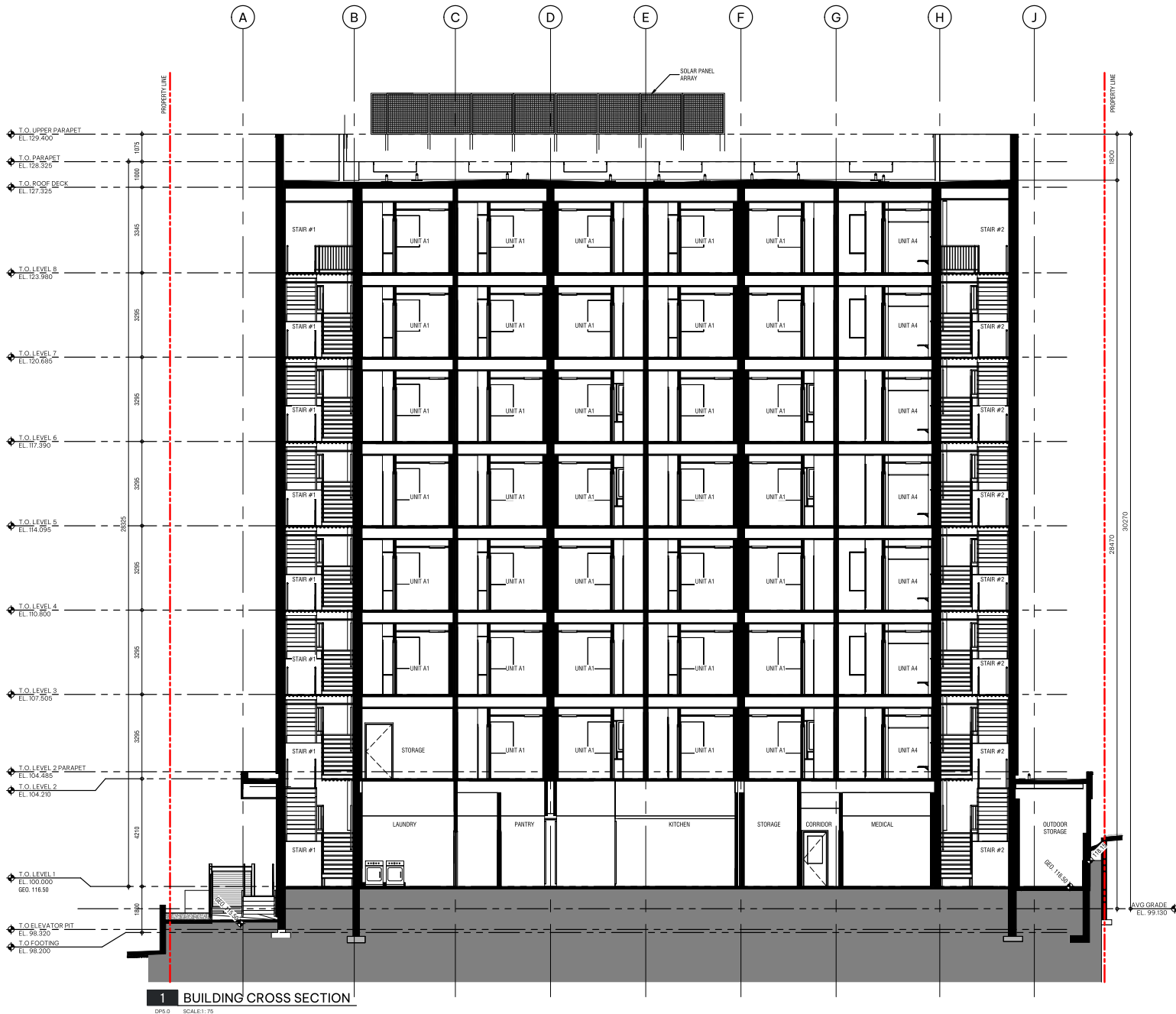
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14 ISSUED FOR DELEGATED OP SUBMISSION	2024 08 15
21 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2025 01 03

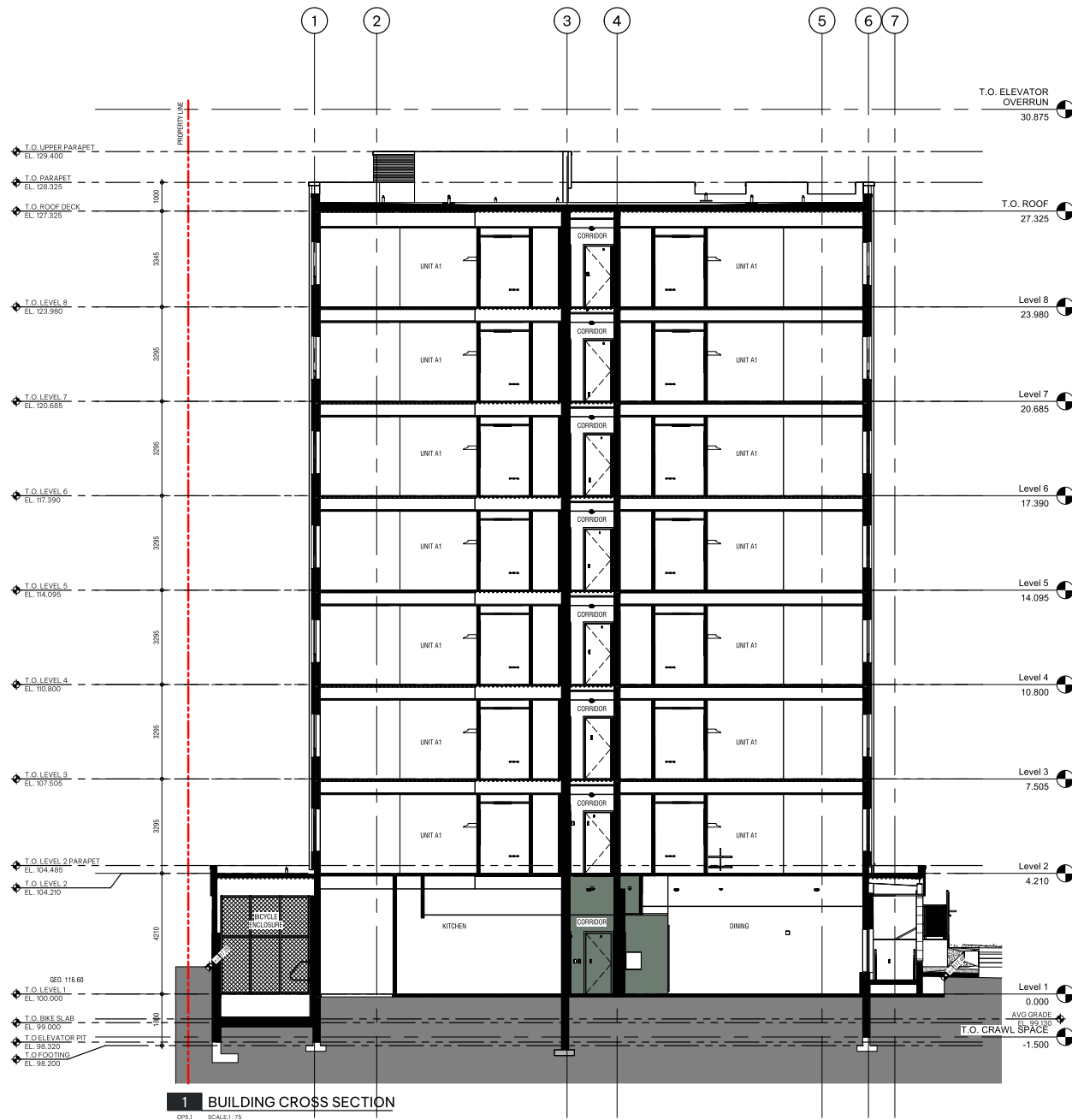
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DP5.0

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1 BUILDING CROSS SECTION

DP5.1 SCALE: 1/75



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BUILDING SECTIONS

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722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
221243

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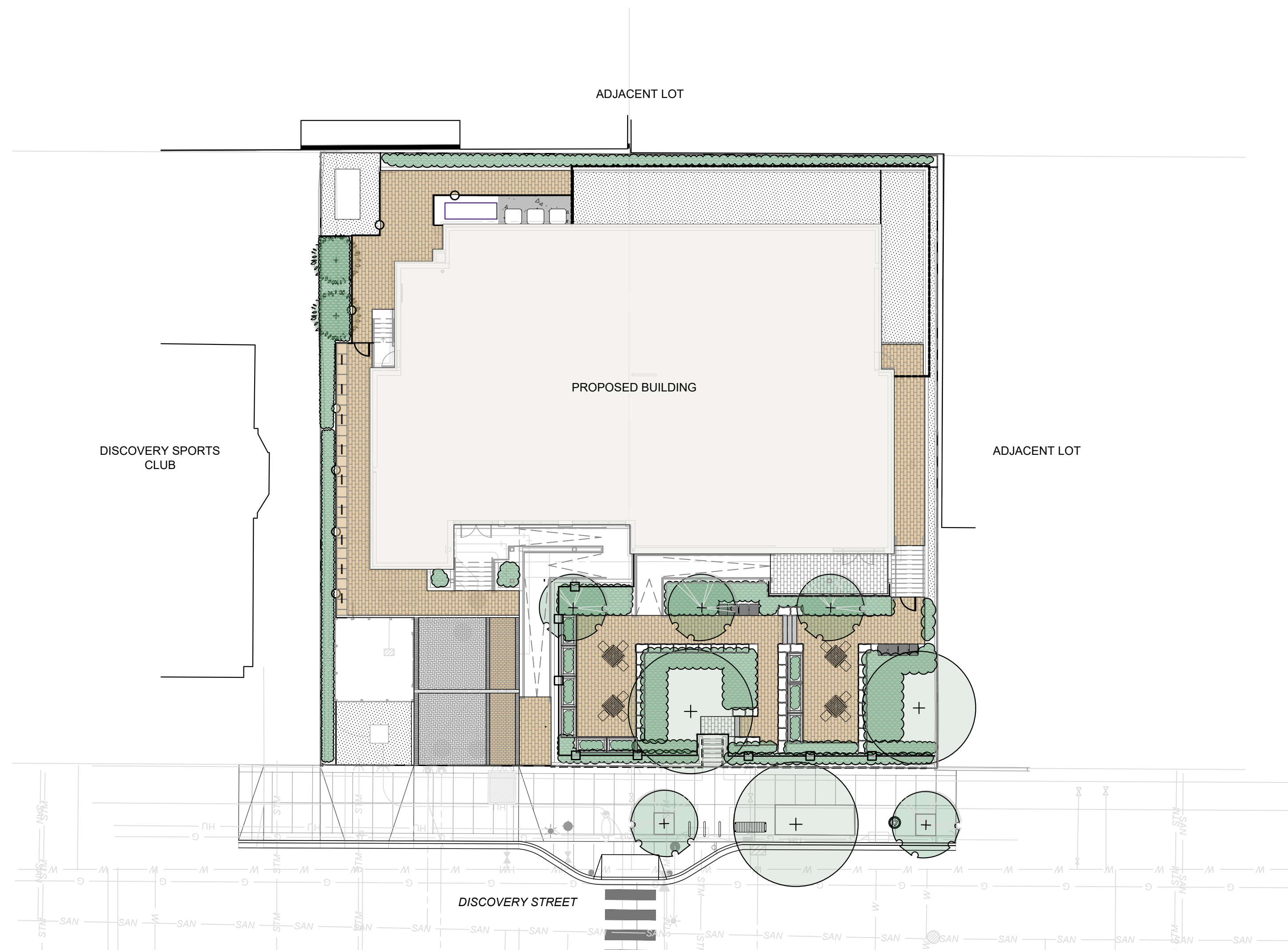
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REVISION	DATE
4 DP RE-SUBMISSION	07/04/2023
5 ISSUED FOR SCHEMATIC TENDER	07/10/2023
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15

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DP5.1



BCH DISCOVERY STREET

722, 726 / 732 Discovery Street, Victoria, B.C.

RESPONSE TO DDP COMMENTS

DRAWING LIST

L-00	COVER
L-01	NOTES
L-02	TREE REPLACEMENT & STORMWATER AREA PLAN
L-03	LANDSCAPE PLAN
L-04	PLANTING PLAN
L-05	PLANTING DETAILS
L-06	HARDSCAPE DETAILS
L-07	SITE FURNISHING DETAILS
L-08	FENCING DETAILS
L-09	SOIL CELL SECTION

WSP LANDSCAPE ARCHITECTURE

GURPREETH SINGH
PROJECT MANAGER
Email: Gurpreeth.Singh@wsp.com
Phone: (778) 940 - 1327

RENZO CORTES
Landscape Designer
Email: glennrenzo.cortes@wsp.com
Phone: (226) 203-8444

PROJECT NOTES

CANADIAN LANDSCAPE STANDARD:

Landscape installation to be compliant with Canadian Landscape Standards (full document applies). It is expected that Landscape Contractors will have a current copy of the document (digital or hardcopy) present with them on site.

RFI'S:

Questions (RFI's) pertaining to landscape to be immediately submitted to Contract Administrator for clarification whom will contact Landscape Architect for response.

AS-BUILTS:

Contractor is expected to provide a copy of marked up as-builts noting any construction changes at the time of substantial performance of the project.

SUBMITTALS:

Submittals on landscape include but are not limited to:

- a. Shop drawings on all specified furnishings including notes on colour and dimensions
- b. Shop drawings on all custom site elements (i.e. walls, railings, fences, etc.) including notes on colour, finishes and dimensions
- c. A growing medium (or amended soil profile, if required) submittal compliant with the Canadian Landscape Standard
- d. Seed or sod mix designs (Canada No. 1 grade) as defined within with drawings and in compliance with Canadian Landscape Standards
- e. A request for the Landscape Architect to pre-review trees/shrubs for the project at the nursery in advance of delivery to site. Note that the Landscape Architect requires this process for reviews to occur immediately upon award as to prevent issues with timeline. If quantities of a shrub or tree are minimal, photo submittals will be reviewed as an alternate.
- f. ORGAC MULCH to be organic composted mulch, compliant with Canadian Landscape Standards (dark brown colour). Submit 11 sample or website information prior to purchase.
- g. Unit paving and hard-surface materials to be submitted for verification on colour, size and pattern, and compaction.
- h. Mix design and supplier information of hard surface poured or placed materials (i.e. aggregates, concrete, asphalt), including base preparation materials and affiliated compaction testing
- i. Primer and paint submittals, if required for project

LANDSCAPE SCHEDULE

The contractor is to supply a schedule outlining the intended dates for landscape installation. The contractor is to request (with 72h notice) a review for tree protection fencing, tree stake layout, and substantial completion. Additional key meetings identified for requested by the landscape architect at project kick-off or in construction are to be provided with 72h notice. Examples of critical reviews are outlined below. The contractor is expected to provide weekly emails summarizing progress on landscape and the 'look ahead' of the intended schedule for the following week.

LANDSCAPE CRITICAL REVIEWS:

Landscape critical review meetings include (but are not limited to):

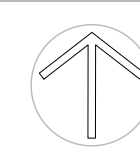
- a. Tree protection fencing setup requires a review by the arborist prior to construction.
- b. Project kick-off on landscape, and review of stockpile and preservation of existing materials
- c. Mobilization and preparation/installation of hard surfaces or drainage features (i.e. raingardens), if specified within landscape drawings
- d. Tree stakes to be provided for review of tree placements to demonstrate compliance and offsets from utilities. Alignment of tree plantings to be reviewed.
- e. Mobilization of soils and furnishing works (requires furnishings to be reviewed after delivery to site to review for damages). Note that soils may be tested up to 2 times for verification of compliancy of mix at the Contractor's cost, if material is suspected to be non-compliant. See notes above on submittals.
- f. Mobilization of custom works (i.e. wooden walkways or custom benches), if applicable to contract, will be required for a critical review meeting of proposed layout and connections.
- g. Delivery of the plant material to site (mobilization of planting works)
- h. General progress reviews for installation of soft landscape materials (trees, ground covers, shrubs, lawns, etc).
- i. Substantial and total performance of the landscape
- j. Commissioning reviews, if required



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

PROJECT
BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C.

CLIENT
BC Housing

CONSULTANT
WSP

ORIGINAL SIZE 60.96cm x 91.44cm [24" x 36"]				SEALED	DESIGN BY	MJH	SHEET TITLE	COVER
14	25/01/23	REVISED BASED ON CITY COMMENTS	RC		DRAWN BY	ER / RC		
13	25/01/06	RESPONSE TO DDP COMMENTS			CHECKED BY	GS / TC		
12	24/12/20	REISSUED FOR BP	RC		PROJECT #	211-01847-00	SHEET NO.	
11	24/11/22	RESPONSE TO DDP COMMENTS			SCALE			
NO.	DATE	DESCRIPTION	BY			N/A		
							L-00	

SITE LEGEND



SITE FURNISHING LEGEND



STORM WATER INFILTRATION AREAS

SHRUB SPECIES

81% of total proposed species are either native, food-bearing and/or pollinator habitat.
 * Native Species
 ** Food-bearing Species
 *** Pollinator Species

TREE PROTECTION NOTES:

- PLANTING NOTES

ESTABLISHMENT MAINTENANCE FOR PLANTING BEDS
Landscape Maintenance to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Maintenance to be compliant with "Level 2" (weeds no larger than 2" diameter) in accordance with Canadian Landscape Standard.

ESTABLISHMENT MAINTENANCE FOR LAWN SPACES
Lawns that are constructed with sod are to be 100% established and in accordance with Canadian Landscape Standards. Sodded lawns should appear evenly integrated with adjacent rolls and non-visible for edges or lifts in finish. Seeded lawns are to be evenly covered and established with vigorous growth. All lawns to appear with vigorous growth and maintenance with a minimum of 2 cuttings to a 60mm height for substantial review. Incidentally mow to a continued 60mm height until the time of substantial completion. Do not allow lawns to exceed an 80mm height between cuttings.

ESTABLISHMENT WATERING
Landscape watering to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Establishment watering to be compliant with Canadian Landscape Standards. Landscapes to be maintained at 75% moisture content availability in soils, as defined in 'Establishment Watering' requirements of the Canadian Landscape Standard. Ensure landscape is watered adequately to prevent detriment to plant health prior to use of irrigation system. If a water ban is in place within the city, notify Contract Administrator.

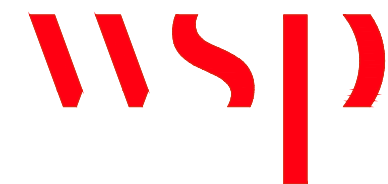
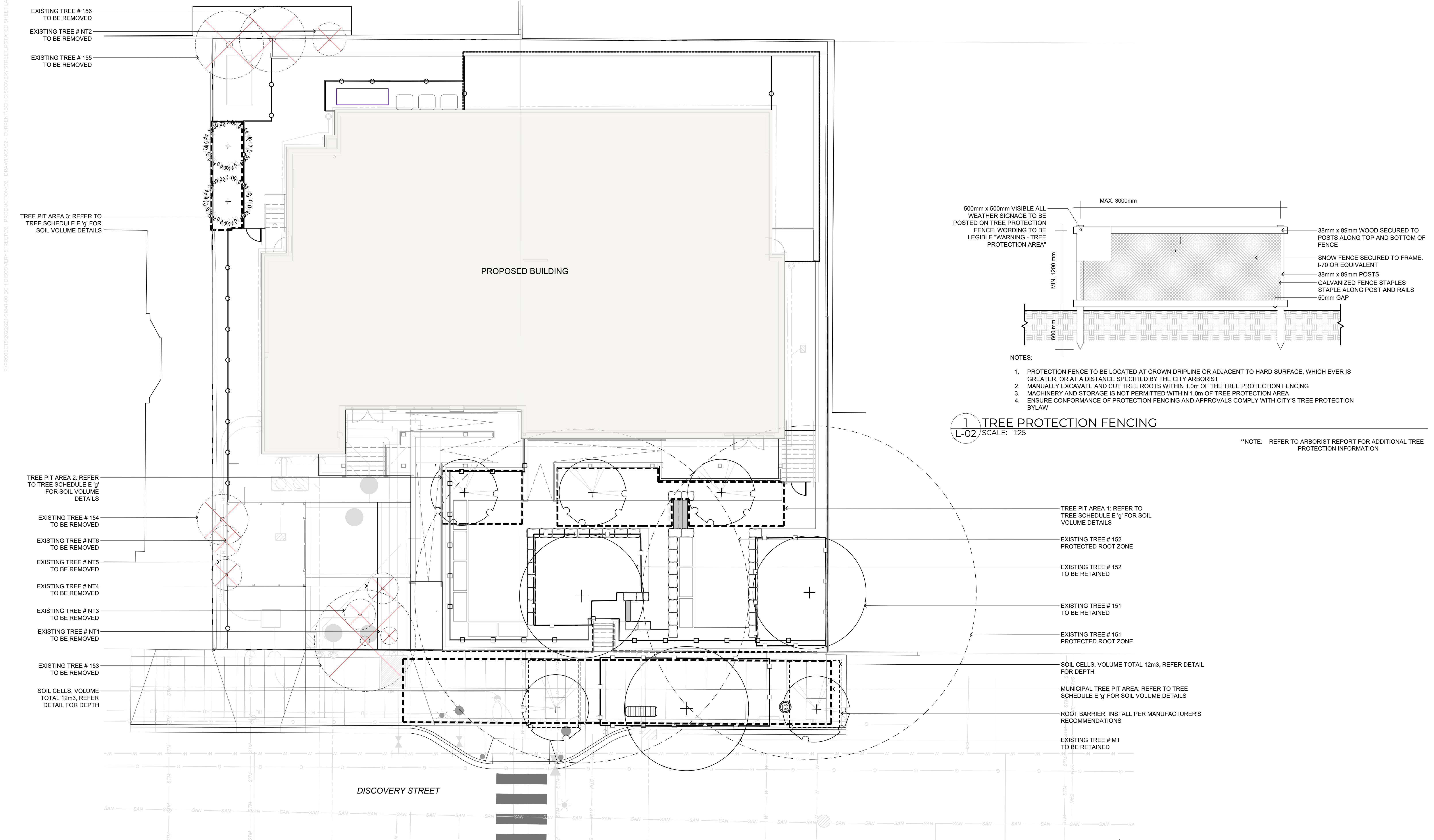
TREE REPLACEMENT SCHEDULES "C"

TREE IMPACT SUMMARY

	Count	Multiplier	Total		Protected trees removed	0	1	0
Onsite tree minimum	Protected trees removed	6	1	6	Offsite Tree Minimum	Replacement trees proposed per Schedule "E", part 1 or 3		0
	Replacement trees proposed per Schedule "E", Part 1		1	0		Replacement trees proposed per Schedule "E", part 2	0.5	0
	Replacement trees proposed per Schedule "E", Part 2	5	0.5	2.5		Total Replacement trees proposed		0
	Replacement trees proposed per Schedule "E", Part 3		1	0		Offsite replacement tree deficiency		0
	Total replacement trees proposed			2		Onsite trees proposed of cash-in-lieu		4
Onsite tree minimum	Onsite replacement tree deficiency		4	Cash-in-lieu	Offsite trees proposed for cash-in-lieu		0	
	Tree minimum on lot				7	Proposed cash-in-lieu		\$8000
	Protected trees retained (other than specimen trees)	2	1		2			
	Specimen trees retained	0	3		0			
	Tree per lot deficiency				5			

****NOTE: TABLES AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST**

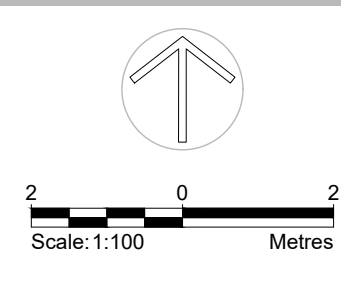
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PROJECT
BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C.
CLIENT
BC Housing
CONSULTANT
WSP



ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")			
14	25/01/23	REVISED BASED ON CITY COMMENTS	RC
13	25/01/06	RESPONSE TO DDP COMMENTS	RC
12	24/12/20	REISSUED FOR BP	RC
11	24/11/22	RESPONSE TO DDP COMMENTS	RC
NO.	DATE	DESCRIPTION	BY

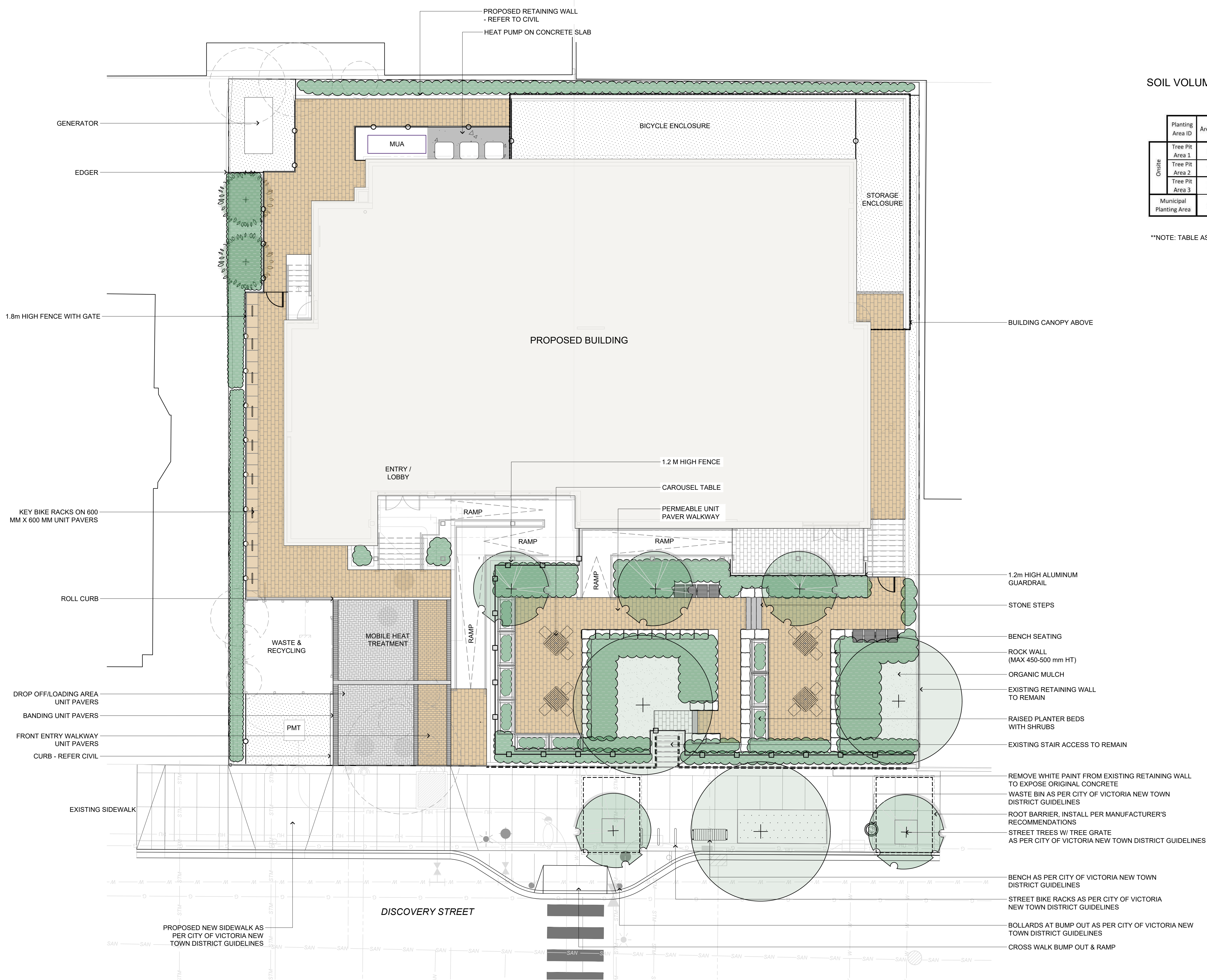
SEALED	
DESIGN BY	MJH
DRAWN BY	ER / RC
CHECKED BY	GS / TC
PROJECT #	211-01841-00
SCALE	1:100

DESIGN BY	MJH
DRAWN BY	ER / RC
CHECKED BY	GS / TC
PROJECT #	211-01841-00
SCALE	1:100

SHEET TITLE	TREE MANAGEMENT & REPLACEMENT PLAN
SHEET NO.	

L-02

P:\PROJECTS\2022\2021-08\4-00 BCH DISCOVERY STREET\02 - PRODUCTION\02 - DRAWINGS\02 - CURRENT\BCH DISCOVERY STREET_LAYOUTS.DWG



SOIL VOLUME SCHEDULE E 'g'

	Planting Area ID	Area M2	Soil Depth	Estimated soil volume	Proposed Replacement Trees			Soil Volume Required			
					Small (ea)	Medium (ea)	Large (ea)	Small (m3)	Medium (m3)	Large (m3)	Total (m3)
Onsite	Tree Pit Area 1	38	1	38 m3		2			30		30
	Tree Pit Area 2	15	1	15 m3		1			15		15
	Tree Pit Area 3	12	1	12 m3	1			12			12
Municipal Planting Area		97	0.92	89 m3	2	1		12	15		27

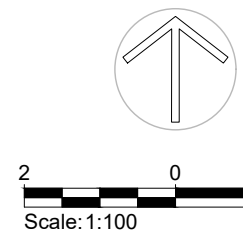
**NOTE: TABLE AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

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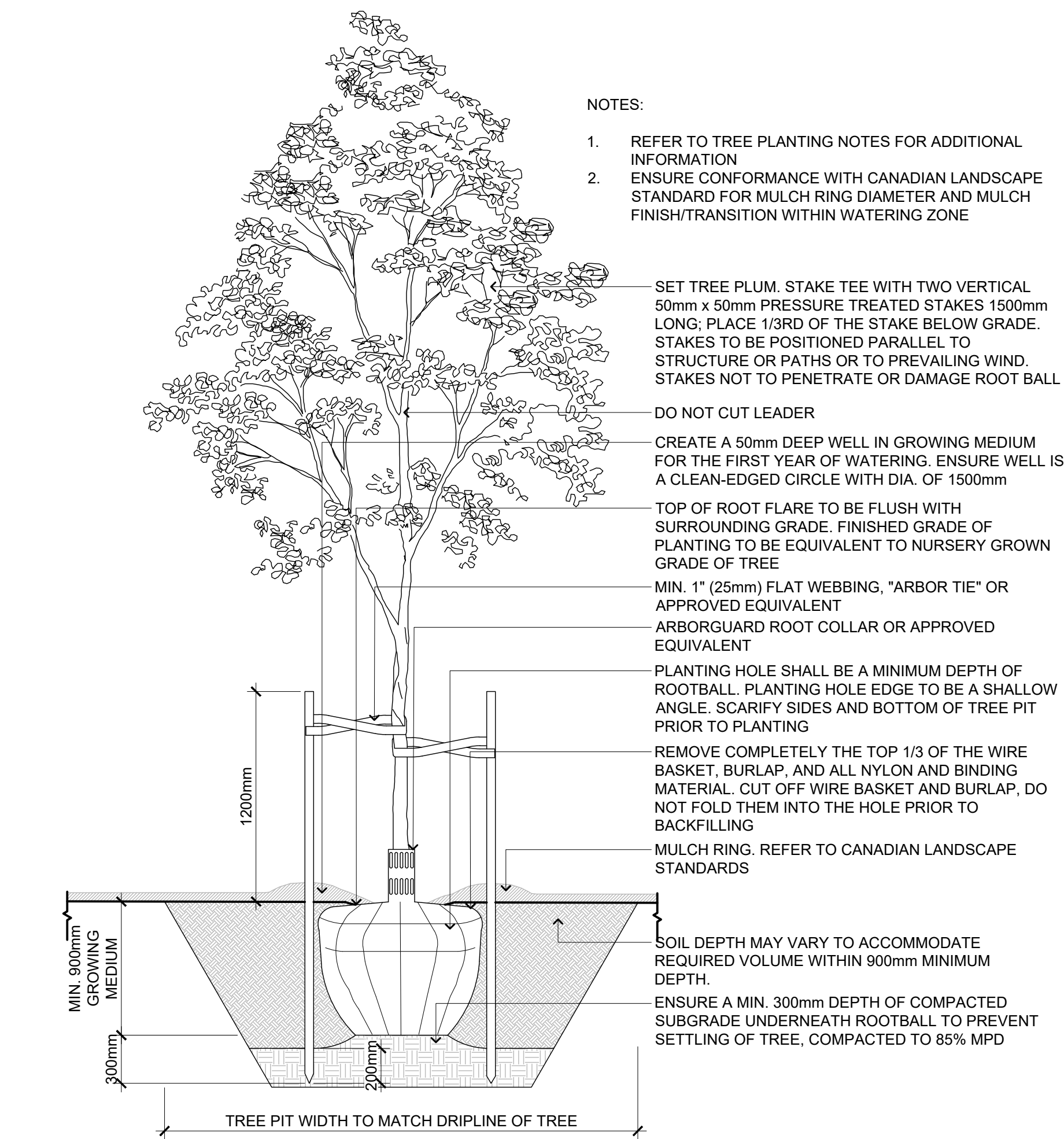
ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")			
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11	24/11/22	RESPONSE TO DDP COMMENTS	RC
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		DRAWN BY	ER / RC	
		CHECKED BY	GS / TC	SHEET NO.
		PROJECT #	211-01841-00	
		SCALE	1:100	

LANDSCAPE PLAN

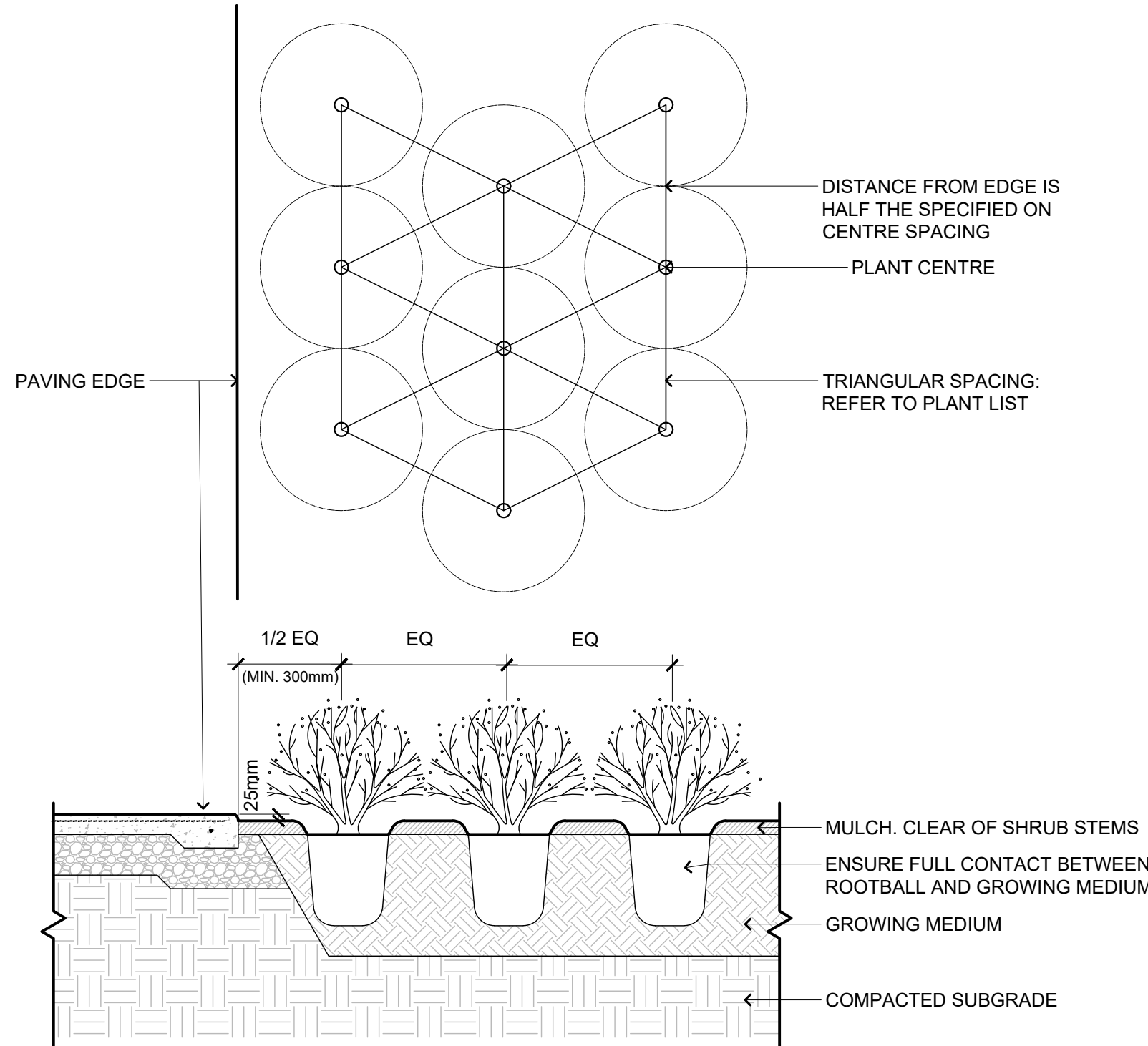
L-03





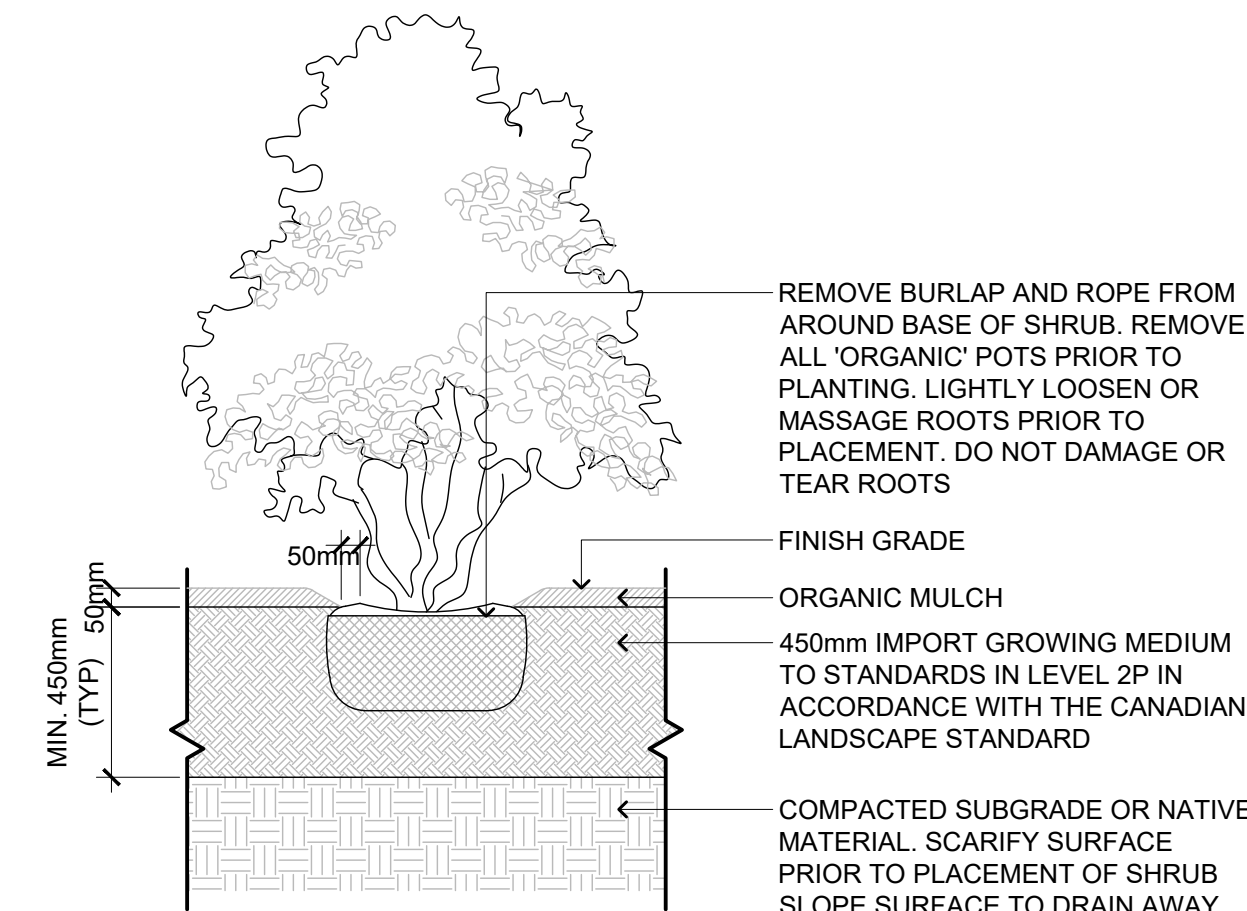
NOTES:

1. REFER TO TREE PLANTING NOTES FOR ADDITIONAL INFORMATION
2. ENSURE CONFORMANCE WITH CANADIAN LANDSCAPE STANDARD FOR MULCH RING DIAMETER AND MULCH FINISH/TRANSITION WITHIN WATERING ZONE



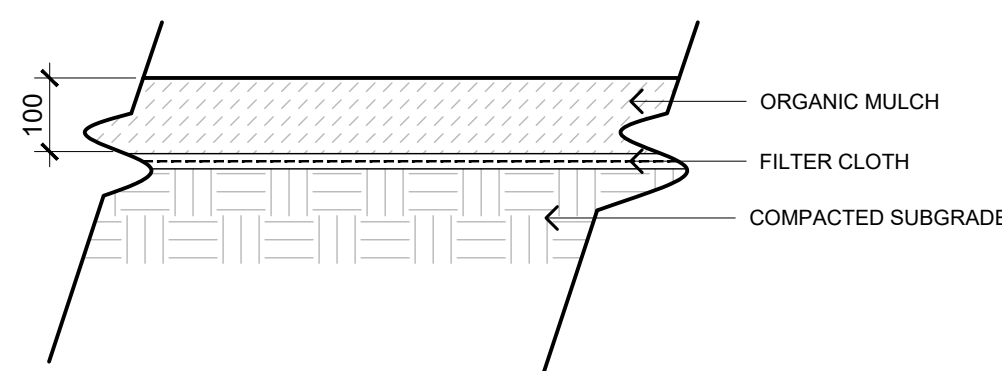
NOTES:

1. REFER TO CANADIAN LANDSCAPE STANDARD FOR COMPACTION AND PREPARATION REQUIREMENTS FOR PLANTING BEDS
2. REFER TO TYPICAL SHRUB PLANTING DETAILS FOR INFORMATION ON MULCH AND GROWING MEDIUM
3. ENSURE MATURE SHRUB FORM WILL NOT OVERHANG WALKWAY
4. COMPACTION RATE TO BE 95% MPD UNLESS OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT



NOTES:

1. SHRUB TO BE PLANTED LEVEL WITH FINISH GRADE
2. COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB
3. PLANTING PIT MUST BE FREE DRAINING
4. DISTURBED SUBGRADE, NATIVE MATERIAL, OR IMPORT FILL TO BE SUITABLY COMPACTED IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARDS TO PREVENT SETTLEMENT OF ROOTBALL. PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD, DISEASED, DAMAGED, OR DEFECTIVE BRANCHES IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD
5. REFER TO GEOTECHNICAL REPORT FOR COMPACTION RATES UNLESS OTHERWISE SPECIFIED



1 TREE PLANTING
L-05 SCALE: 1:25

2 SHRUB SPACING DETAIL
L-05 SCALE: 1:15

3 SHRUB PLANTING DETAIL
L-05 SCALE: 1:20

4 ORGANIC MULCH
L-05 SCALE: 1:10

**SUPPLEMENTARY STANDARD
DETAIL DRAWINGS**

GUIDELINES FOR WORKING AROUND CITY TREES

The City of Victoria and it's residents highly value their city trees. These trees remove toxins from the air, produce oxygen, reduce ground water erosion, aid in climate control, provide wildlife habitat, and increase property value. City trees grow in difficult conditions and are easily injured. Small injuries to the roots, trunk or branches can take years to heal or may even result in the tree dying or having to be removed

Before starting work around trees please contact the Parks Division at 250-361-0600 or MIKE #3605 and a City arborist will be happy to meet on site to assist in developing a tree protection plan and discuss possible options.

You can also help protect our trees by following these guidelines.

PLEASE:

- Drive or park equipment on an established road or driveway. If you must drive or work within 5 meters of a tree, please protect the roots by covering them with plywood or another suitable material.
- Protect the tree's branches and trunk when operating equipment in the vicinity.
- Fuel equipment on a hard surface and not near trees.
- Contact a city arborist when excavating or trenching within 5 meters of a tree.
- Wash off cement debris or any other toxic material on a hard surface away from all trees.
- Store debris or building material on hard surfaces. If you must use the grass area under the tree please stay 5 meters away from all trees or protect the roots by covering them with plywood or another suitable material
- Do not fasten anything to trees.
- Contact a city arborist if roots need to be cut or removed.
- Report all tree damage to Parks.

2011

WORKING AROUND TREES

REVISIONS

DRAWING NUMBER:
SD P2

**SUPPLEMENTARY STANDARD
DETAIL DRAWINGS**

PREPARATION NOTES:

1. CONTAINER GROWN: REMOVE COMPLETELY FROM CONTAINER
2. BURLAP AND ROPE: REMOVE TOP 1/3 OF COVERING
3. WIRE AND BURLAP: REMOVE TOP 1/3 OF WIRE, ROPE AND BURLAP COVERING WITHOUT DAMAGING ROOTBALL. REMOVE ALL TWINE.

DO NOT PRUNE LEADER
PRUNE ONLY DEAD OR DAMAGED BRANCHES

2-2 1/2" (64mm) ROUND PRESSURE TREATED STAKES Ø 8" (244mm) LENGTH. STAKE AT EDGES OF THE ROOTBALL IN LINE WITH ROADWAY. ON EXPOSED SITES STAKE IN LINE WITH PREVAILING WIND. VERTICAL STAKES TO BE DRIVEN 600 mm INTO GROUND.

40mm NYLON WEBBING

1.0m DIAMETER BARK MULCH RING SAUCER OVER ROOTBALL 150mm DEPTH

TREES MUST BE PLANTED WITH NO MORE THAN A 50 mm DEPTH FROM FINISHED GRADE TO THE TOP OF THE ROOT BALL

GROWING MEDIA SHALL MEET B.C. LANDSCAPE STANDARD TABLES 6-3 (SECTION 32 91 21- MMCD 2009) ALL SOIL PROPERTIES MUST MEET THIS STANDARD. DEPTH GROWING MEDIA TO BE PLACED AND TRAMPED IN 100 mm LIFTS

GRASS BOULEVARD

ROOT BARRIER 450 mm x 4.0M LENGTH

BROOM FINISH CONCRETE SIDEWALK

700 mm COMPACTED SUBGRADE TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER

ASPHALT ROADWAY REFER TO CIVIL DWS

COMPACTED SUBGRADE TO 98% S.P.D.

SCARIFY BOTTOM OF PIT

NOTES:

ALL TREES SHALL MEET OR EXCEED THE CITY OF VICTORIA TREE SPECIFICATIONS

ROOT BARRIER REQUIRED ON BLVD 2.0m OR LESS WIDE OR AS SPECIFIED BY THE DIRECTOR OF PARKS.

ROOT BARRIER REQUIRED PENDING TREE SPECIES AND/OR BLVD WIDTH.

2011

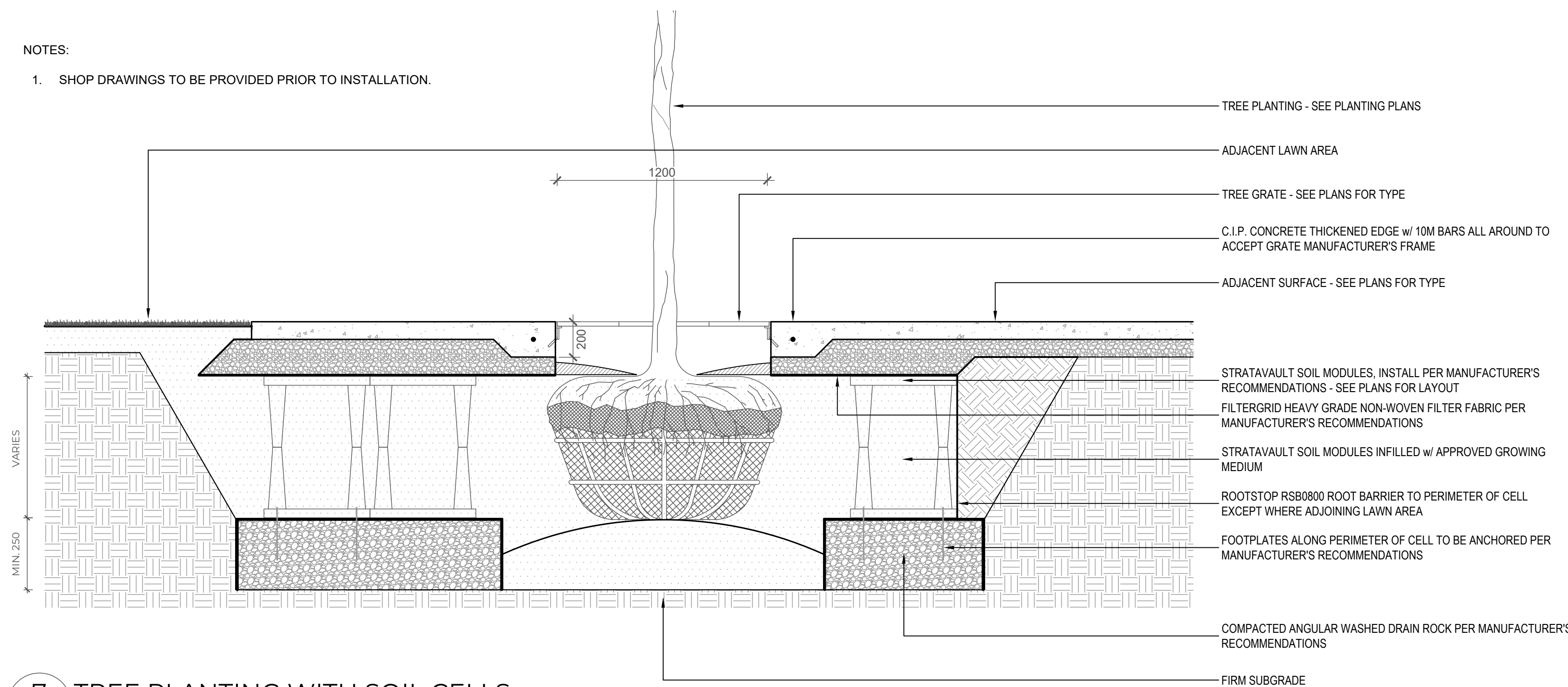
TREE PLANTING IN BOULEVARD

REVISIONS

DRAWING NUMBER:
SD P4

NOTES:

1. SHOP DRAWINGS TO BE PROVIDED PRIOR TO INSTALLATION.



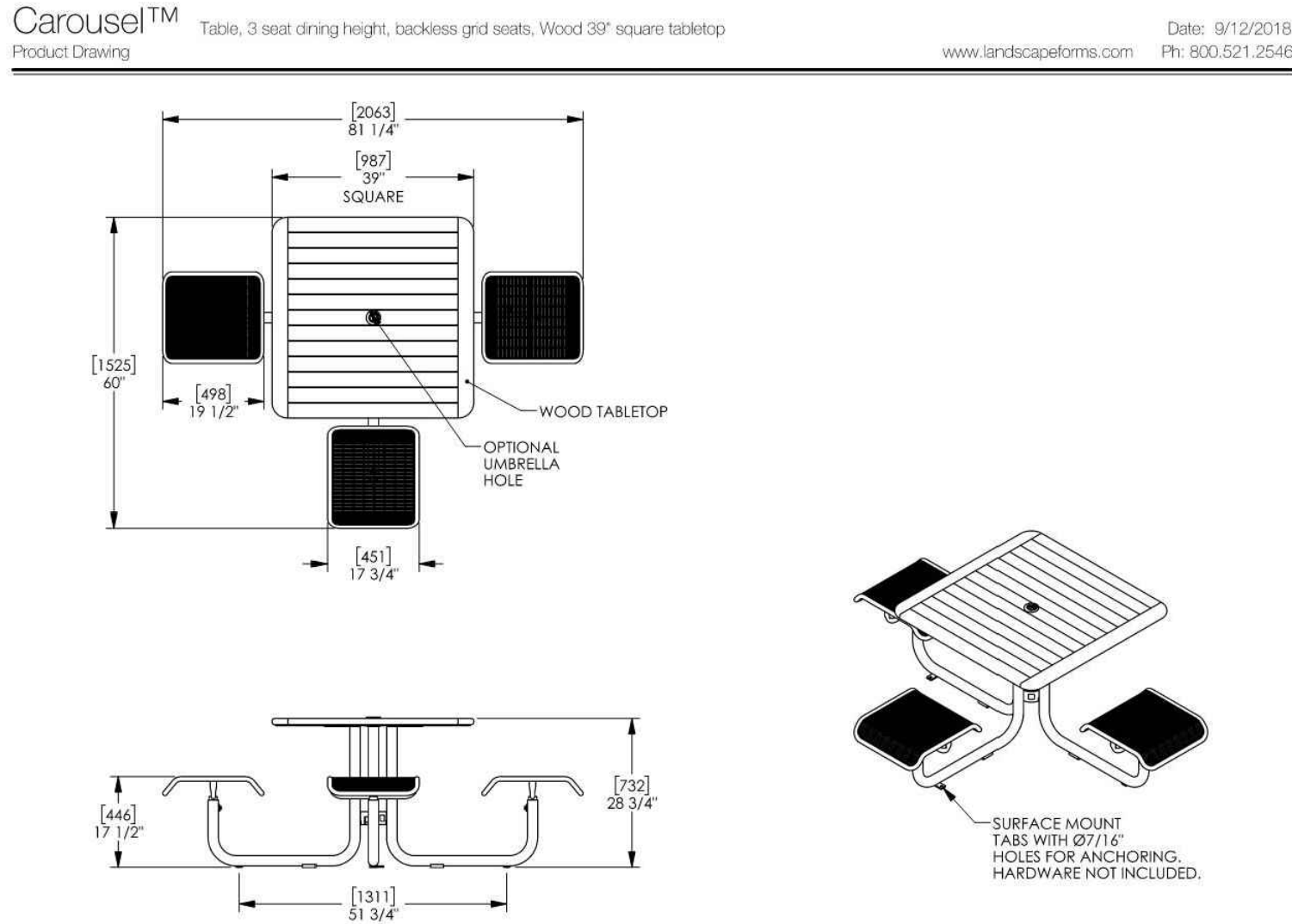
5 CoV - DETAIL SD P2 - WORKING AROUND TREES
L-05 SCALE: NTS

6 CoV - SD P4 - TREE PLANTING IN BOULEVARD
L-05 SCALE: NTS

7 TREE PLANTING WITH SOIL CELLS
L-05 SCALE: 1:20



P:\PROJECTS\2022\2021-08\41-00 BCH DISCOVERY STREET\02 - DRAWINGS\02 - CURRENT\DISCOVERY STREET DETAILS\ROTATED BASE BROWWG



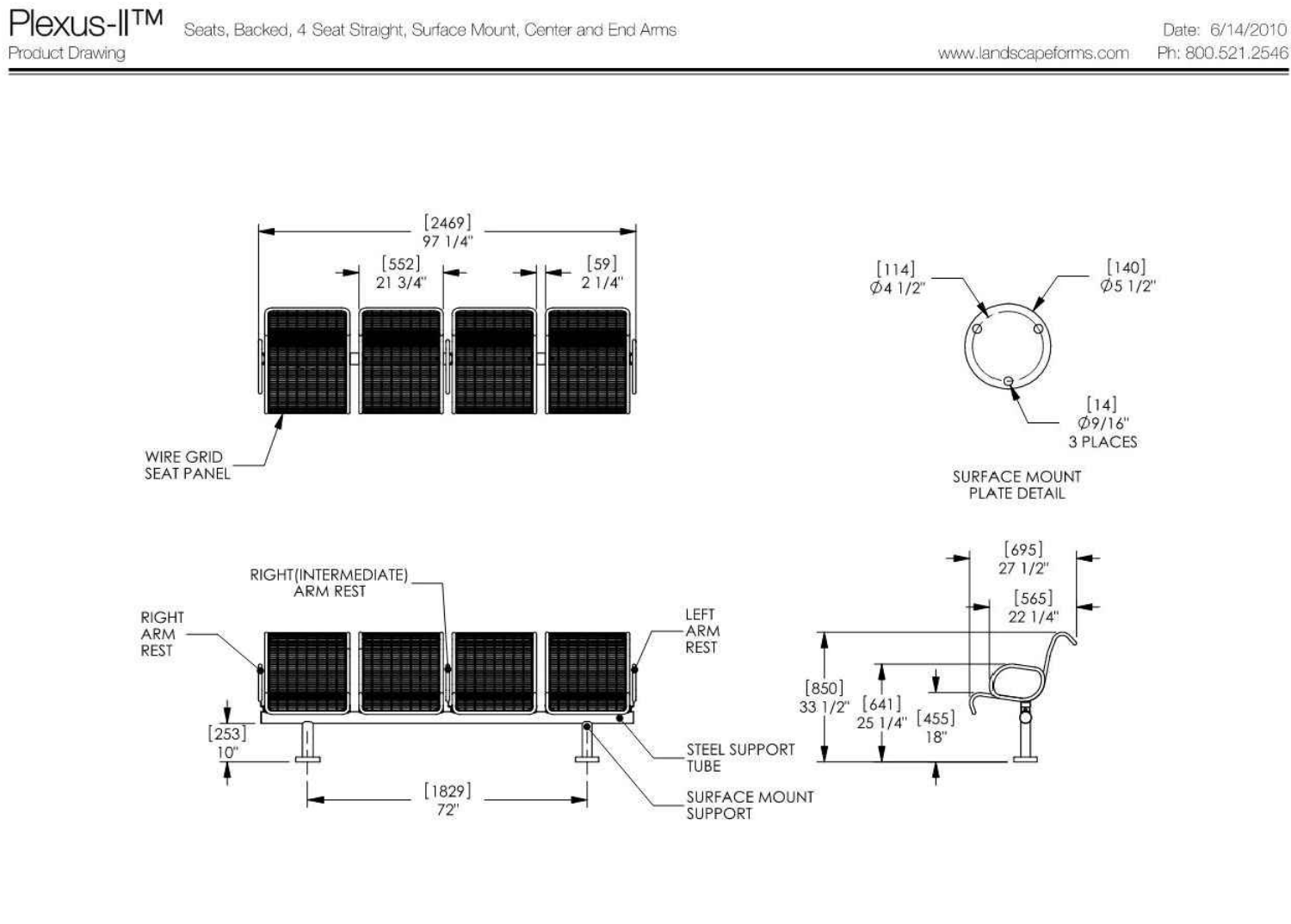
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Dimensions are in inches (mm)

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COLOUR: WOOD / BLACK

1 CAROUSEL TABLE

L-07 SCALE: N.T.S.



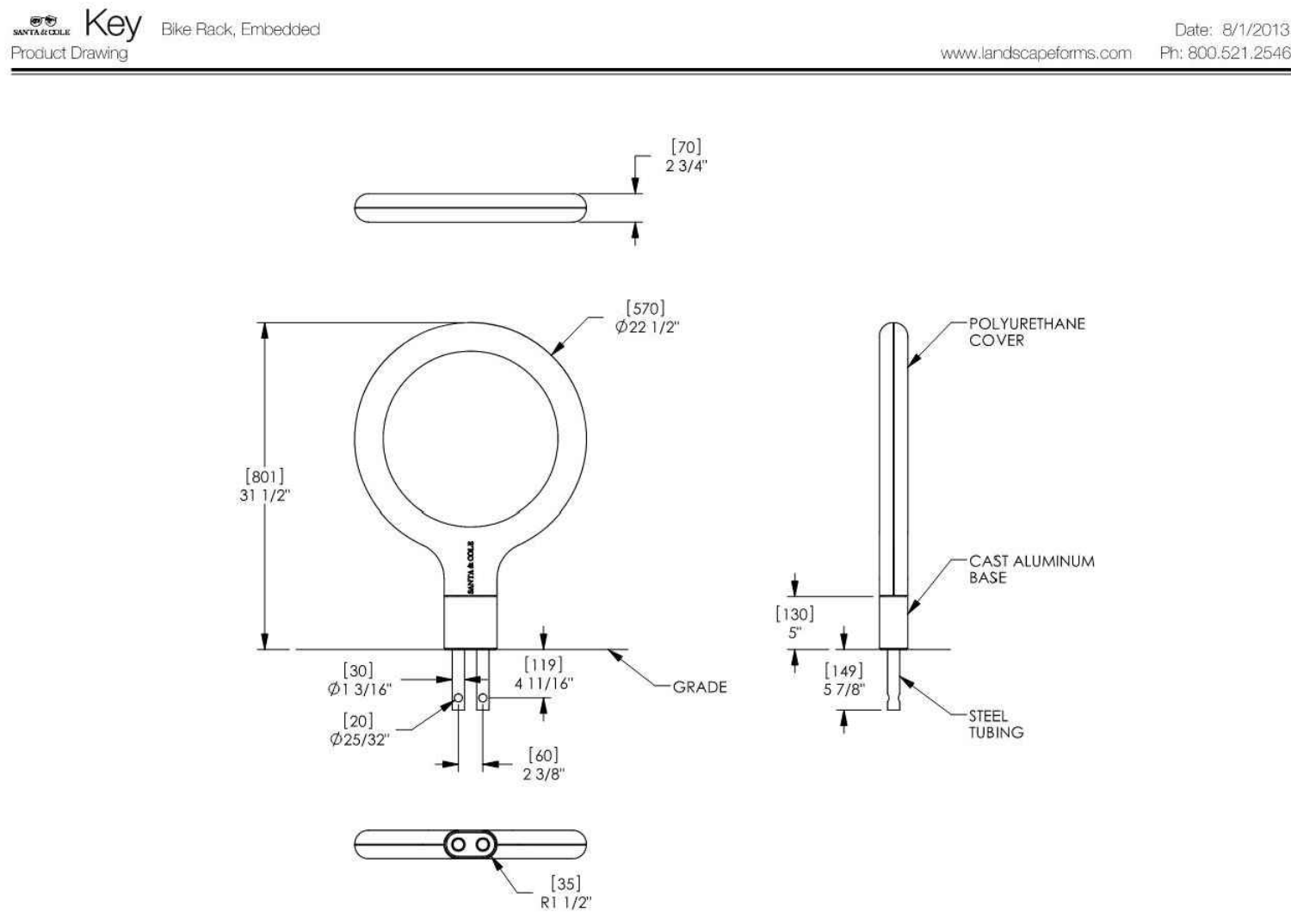
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COLOUR: BLACK

2 BENCH SEATING

L-07 SCALE: N.T.S.



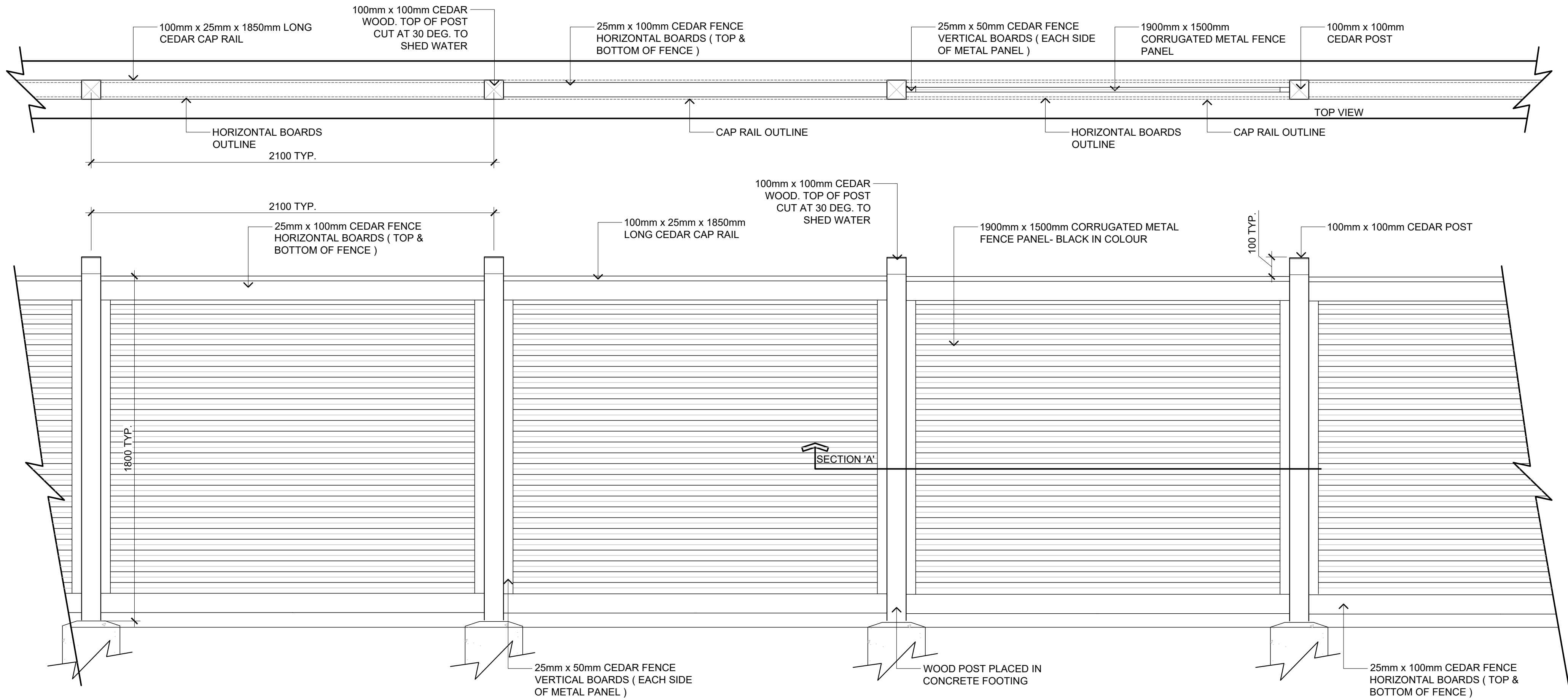
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Dimensions are in inches (mm)
European Community Design: RCD 005500847

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COLOUR: GREY

3 KEY BIKE RACK

L-07 SCALE: N.T.S.



5 1.8m HIGH FENCE

L-07 SCALE: 1:15



T 800-716-5305
F 617-660-6363
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SALES@MAGLIN.COM

MLB300B-M

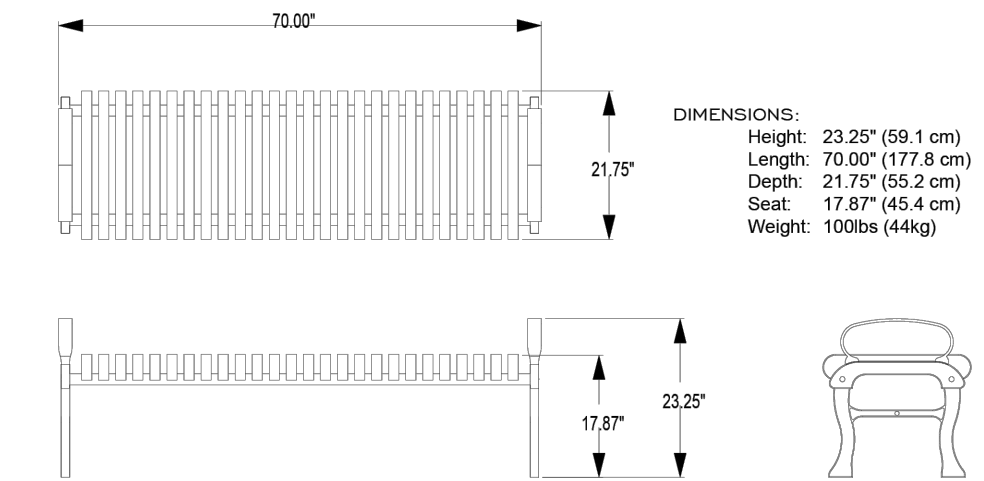
MATERIALS: Bench ends are made from solid cast aluminum. The seat employs 1/2" steel tube and flat bar straps or ipe wood slats.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bench is delivered pre-assembled. Holes (Ø.5") are provided in each foot for securing to base.

TO SPECIFY: Select MLB300B-M
Choose:
- Powdercoat Color

COMPLEMENTARY PRODUCTS:
- MLB300-M
- MLVR550-32
- MBR200 Series



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4 MODERN STREET BENCH

L-07 SCALE: N.T.S.



MODEL: RAISED PLANTER
SIZE: 6' L X 3' W X 3' H
SUPPLIER: ZOFF'S GREENHOUSE PLANTER

Install as per manufacturer's standard. Each planter requires the manufacturer's staining package and poly liner.

6 CEDAR PLANTER

L-07 SCALE: N.T.S.



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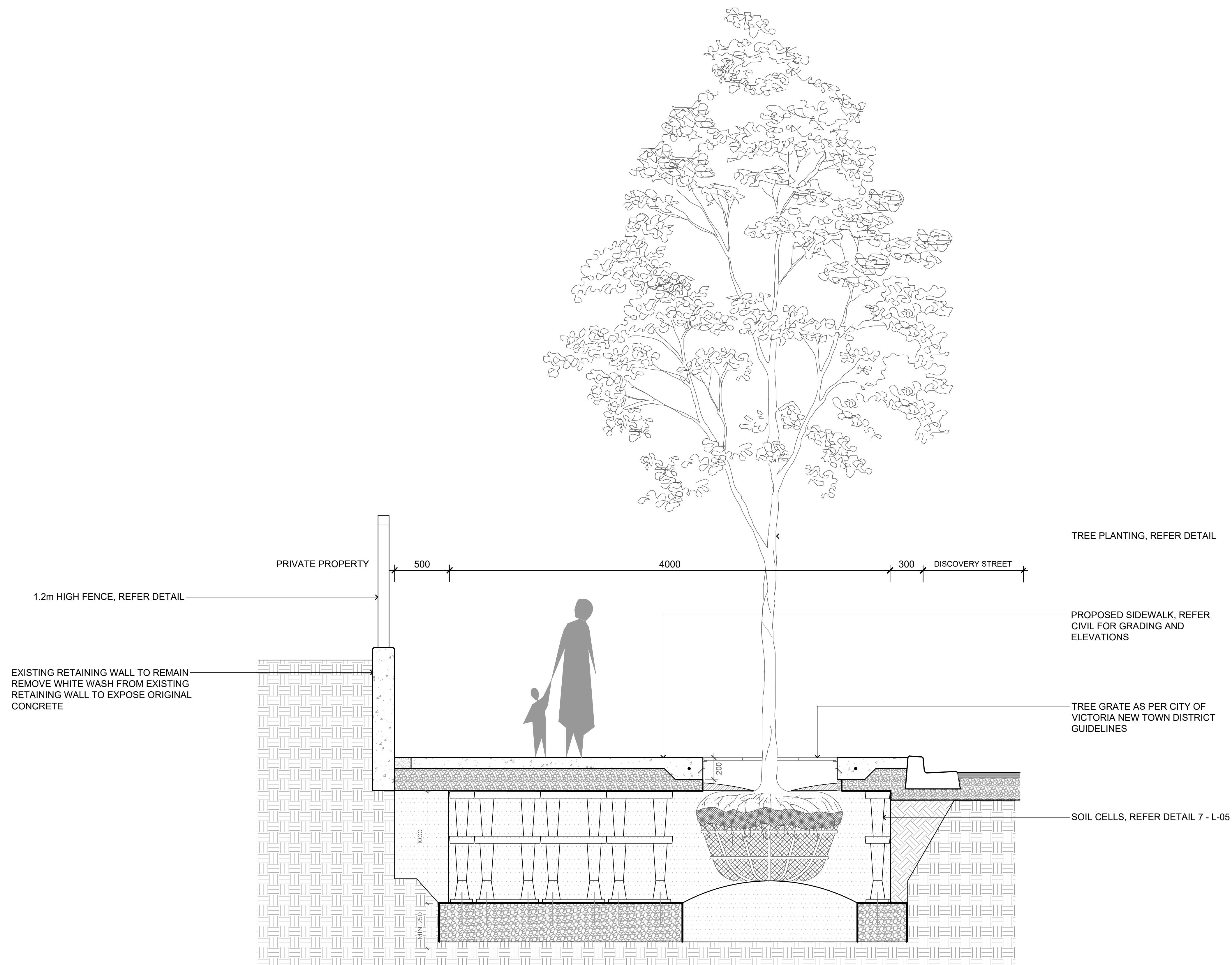
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CHECKED BY GS / TC
PROJECT # 211-01841-00
SCALE AS SHOWN

SHEET TITLE
SITE FURNISHING DETAILS
SHEET NO.

L-07





1 TYPICAL SOIL SECTION - SOIL CELLS
L-09 SCALE: 1:20