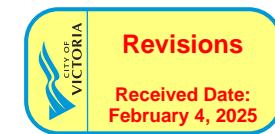




DISCOVERY STREET SUPPORTIVE HOUSING

RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS - 2025.01.03



Design Team

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S2ARCHITECTURE



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CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datum, and report any discrepancies to the Architect prior to construction. Dimensions are shown in metres. All dimensions are nominal, except for clearances of 100 mm for interior partitions, and clearance of 60 mm for exterior walls, unless noted otherwise on the drawing.

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REVISION	DATE
21	RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS 2025.01.03

SCALE	DATE
DRAWN BY	1/31/2025 9:28:08 AM
CHECKED BY	MD/AN/KM
APPROVED BY	CZ

DRAWING NO.

DP.0

Vicinity Map 									
Municipal Address <p>722 and 726 DISCOVERY STREET VICTORIA, B.C. CANADA</p>									
Legal Address <p>LOT 755 & 756, VICTORIA CITY, PID 009-382-119 & 009-382-151</p>									
By-Law Zoning <p>CURRENT ZONING: R-108 MULTIPLE DWELLING PROPOSED ZONING: SITE-SPECIFIC ZONE (RESIDENTIAL RENTAL TENURE)</p>									
Site Summary <table border="1"> <tr> <td>SITE AREA:</td> <td>1,348.6m² (0.33 ac)</td> </tr> <tr> <td>PROPOSED BUILDING FOOTPRINT:</td> <td>575.00 m²</td> </tr> <tr> <td>PROPOSED DWELLING COUNT:</td> <td>24</td> </tr> <tr> <td>TOTAL FOOTPRINT:</td> <td>635.00m²</td> </tr> </table>		SITE AREA:	1,348.6m ² (0.33 ac)	PROPOSED BUILDING FOOTPRINT:	575.00 m ²	PROPOSED DWELLING COUNT:	24	TOTAL FOOTPRINT:	635.00m ²
SITE AREA:	1,348.6m ² (0.33 ac)								
PROPOSED BUILDING FOOTPRINT:	575.00 m ²								
PROPOSED DWELLING COUNT:	24								
TOTAL FOOTPRINT:	635.00m ²								
Site Coverage <table border="1"> <tr> <td>SITE AREA:</td> <td>1,348.6m² (0.33 ac)</td> </tr> <tr> <td>SITE COVERAGE:</td> <td>613.00m² (45.4%)</td> </tr> <tr> <td>OPEN SITE SPACE:</td> <td>735.6m² (54.6%)</td> </tr> </table>		SITE AREA:	1,348.6m ² (0.33 ac)	SITE COVERAGE:	613.00m ² (45.4%)	OPEN SITE SPACE:	735.6m ² (54.6%)		
SITE AREA:	1,348.6m ² (0.33 ac)								
SITE COVERAGE:	613.00m ² (45.4%)								
OPEN SITE SPACE:	735.6m ² (54.6%)								
By-Law Setback <p>PROPOSED BUILDING SETBACKS FRONT (DISCOVERY STREET): 10.0m REAR (NORTH): 4.0m SIDE (EAST): 2.5m SIDE (WEST): 3.0m</p>									
Proposed Development <p>REST HOME - CLASS C (SUPPORTIVE HOUSING) BUILDING CLASSIFICATION AS PER B.C. BUILDING CODE: BUILDING C: GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED</p>									
Building Height <p>MAXIMUM PRINCIPAL BUILDING HEIGHT: 31.0m MAXIMUM ALLOWED PROJECTIONS ABOVE PRINCIPAL BUILDING HEIGHT: <ul style="list-style-type: none"> PARAPETS: 1.3m ROOFTOP STRUCTURES: 5.0m </p> <p>PROPOSED BUILDING HEIGHT: +/27.0m PROPOSED PARAPET HEIGHT: +/1.0m PROPOSED ROOFTOP STRUCTURES: +/2.1m</p> <p>TOTAL PROPOSED BUILDING HEIGHT: 30.27m</p>									
Floor Space Ratio <table border="1"> <tr> <td>MAXIMUM PERMITTED F.S.R.</td> <td>PROPOSED F.S.R.</td> </tr> <tr> <td>3.5</td> <td>3.47</td> </tr> </table>		MAXIMUM PERMITTED F.S.R.	PROPOSED F.S.R.	3.5	3.47				
MAXIMUM PERMITTED F.S.R.	PROPOSED F.S.R.								
3.5	3.47								
Waste & Recycling Requirements <p>SUFFICIENT SPACE HAS BEEN PROVIDED FOR A MIN. OF ONE COLLECTION CONTAINER FOR GARBAGE, ONE COLLECTION CONTAINER FOR RECYCLABLE MATERIALS, AND TWO COLLECTION CONTAINERS FOR GLASS AND VARIOUS WASTE MATERIALS TO ACCOMMODATE THE TOTAL WASTE VOLUME. THE FOLLOWING IS A LIST OF CONTAINERS PROVIDED:</p> <ul style="list-style-type: none"> 4x90L WASTE BIN 1x90L GLASS BIN 2x180L ORGANICS BINS <p>NOTE: DUE TO THE SIZE OF THE DEVELOPMENT, BI-WEEKLY WASTE PICK-UP IS BEING PROPOSED.</p>									



1 Looking North-West
(DPO.1)



2 Looking North
(DPO.1)



3 Looking North-East
(DPO.1)

This drawing supersedes previous issue. Do not scale these drawings.

Verify all dimensions, elevations and datum, and report any discrepancies to the Architect prior to construction. Dimensions are shown in metres. All dimensions are approximate, except for site for interior partitions, and centres of enclosing walls, unless noted otherwise on the drawing.

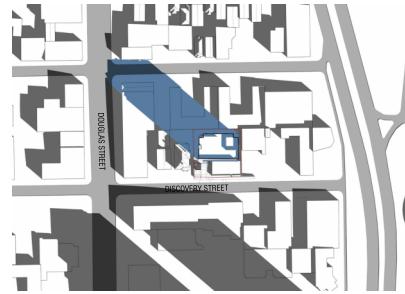
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REVISION DATE
21 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS 2025.01.03

SCALE 1:50
DATE 1/31/2025 9:28:19 AM
DRAWN BY MD/AN/KM
CHECKED BY C2

DRAWING NO.

DP0.1



MARCH 21 - 10:00 AM



MARCH 21 - 12:00 PM



MARCH 21 - 2:00 PM



MARCH 21 - 4:00PM



JUNE 21 - 10:00 AM



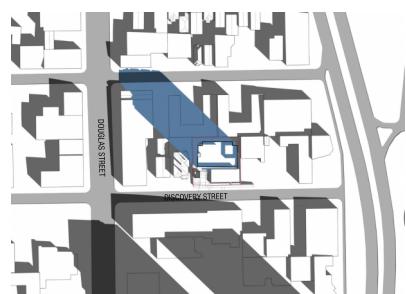
JUNE 21 - 12:00 PM



JUNE 21 - 2:00 PM



JUNE 21 - 4:00PM



SEPTEMBER 21 - 10:00 AM



SEPTEMBER 21 - 12:00 PM



SEPTEMBER 21 - 2:00 PM



SEPTEMBER 21 - 4:00PM



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22125

SHADOW STUDY

DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.

DISCOVERY STREET SUPPORTIVE HOUSING

722

NOT FOR CONSTRUCTION

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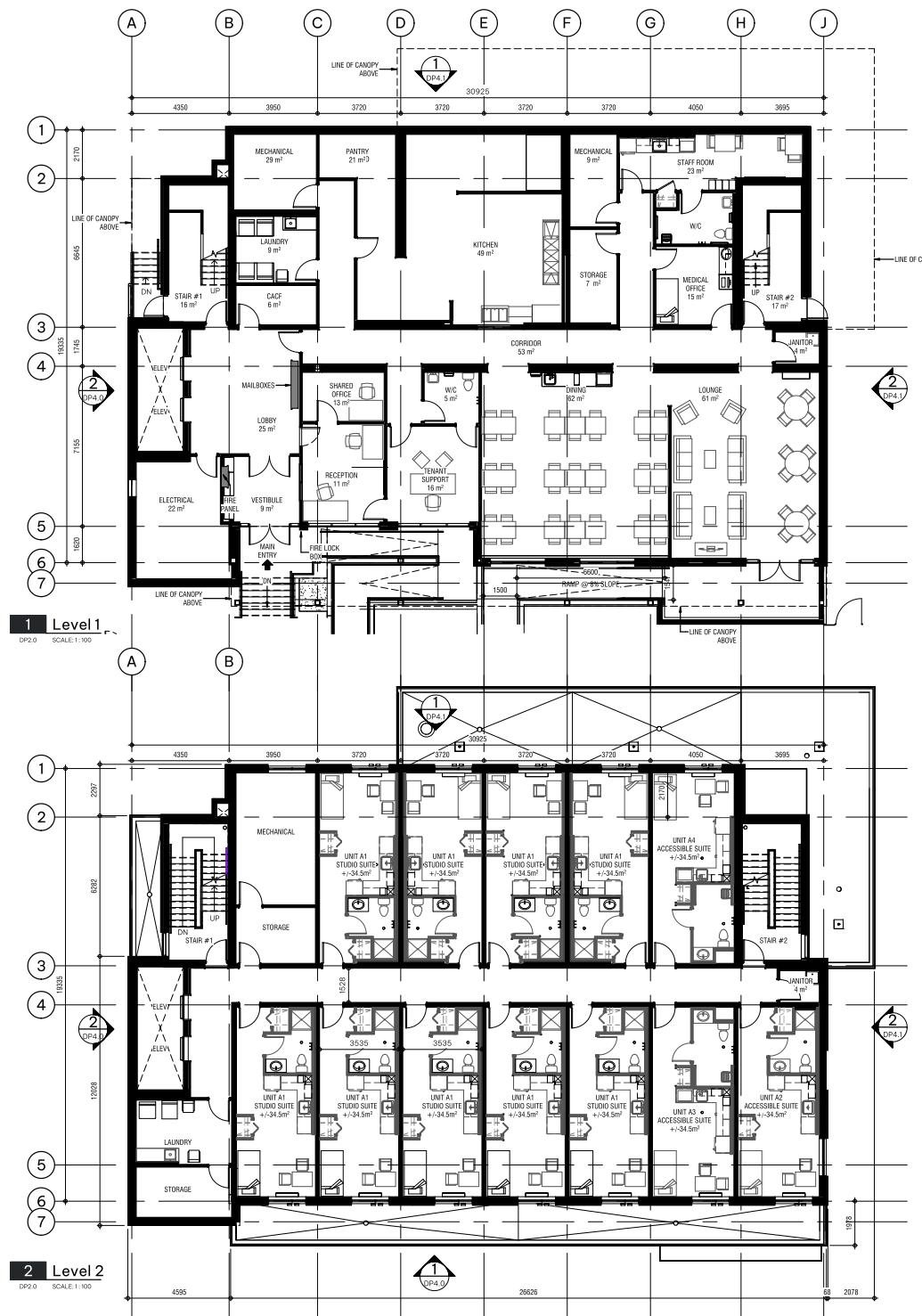
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REVISION	DATE
4	DP RE-SUBMISSION 07.04.2023
5	ISSUED FOR SCHEMATIC 07.10.2023
10	TENDER
10	LAND USE & D.P. SUBMISSION 04.29.2022

SCALE	DATE
1/31/2025 9:46:24 AM	
DRAWN BY KM	
CHECKED BY C2	

DRAWING NO.

DP1.4



DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.

22/1425

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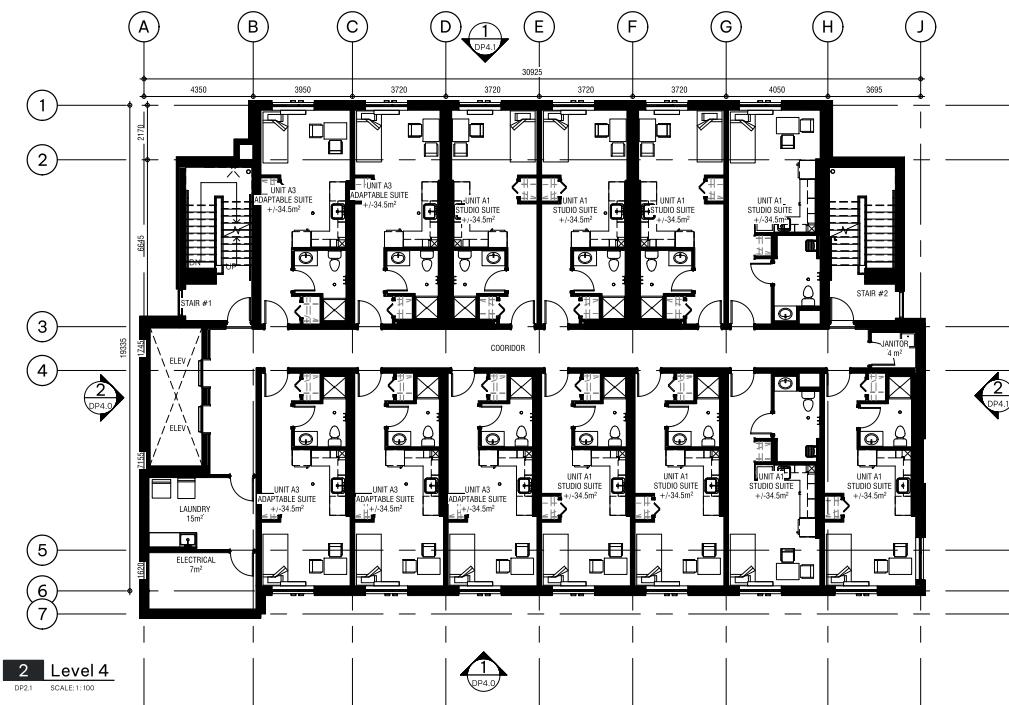
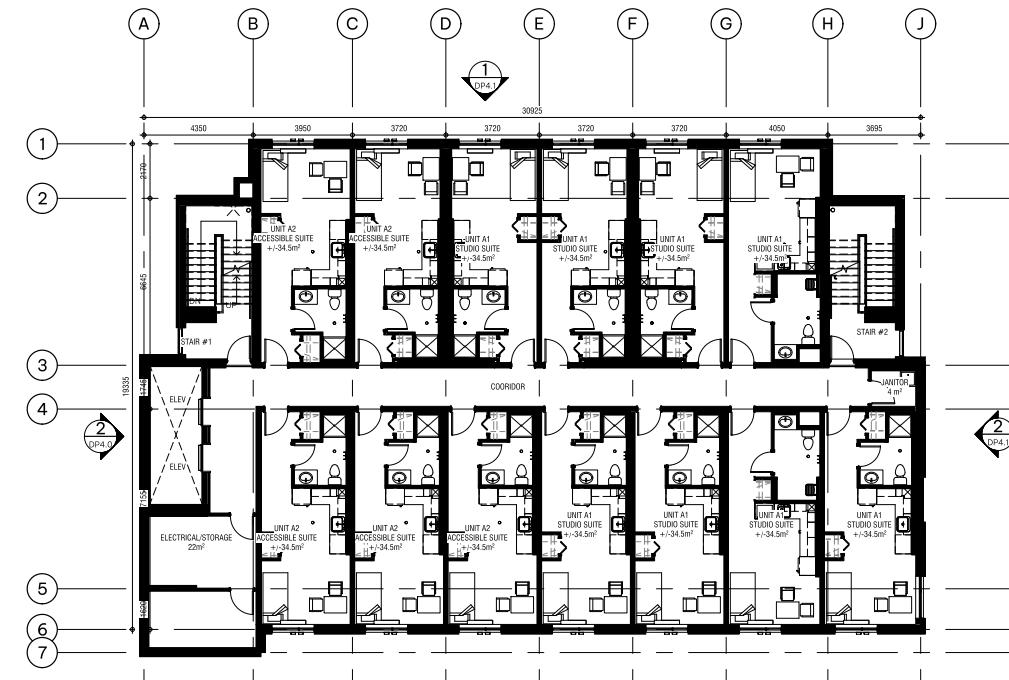
Verify all dimensions, elevations and datum, and report any discrepancies to the Architect for construction. Dimensions are to be taken from the outer faces of exterior walls, and the faces of stud for interior partitions, and centres of exterior walls, unless noted otherwise on the drawing.

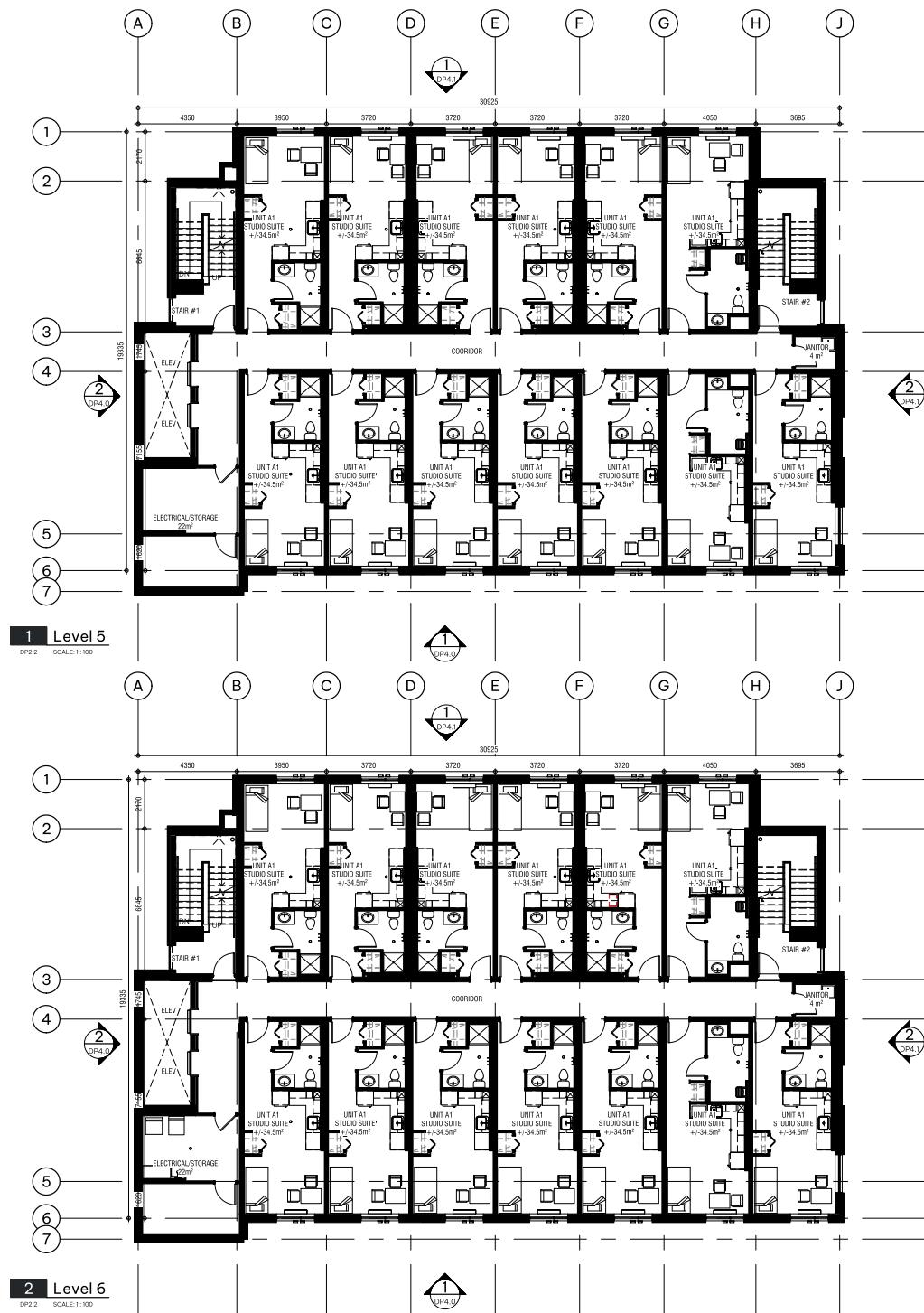
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REVISION	DATE
4 DP RE-SUBMISSION	07/04/2023
5 ISSUES FOR SCHEMATIC	07/10/2023
10 LAND USE & D.P. TENDER	
10 LAND USE & D.P. SUBMISSION	04/29/2022

SCALE 1 : 100
DATE 1/31/2023 9:50:31 AM
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DRAWING NO. DP2.1






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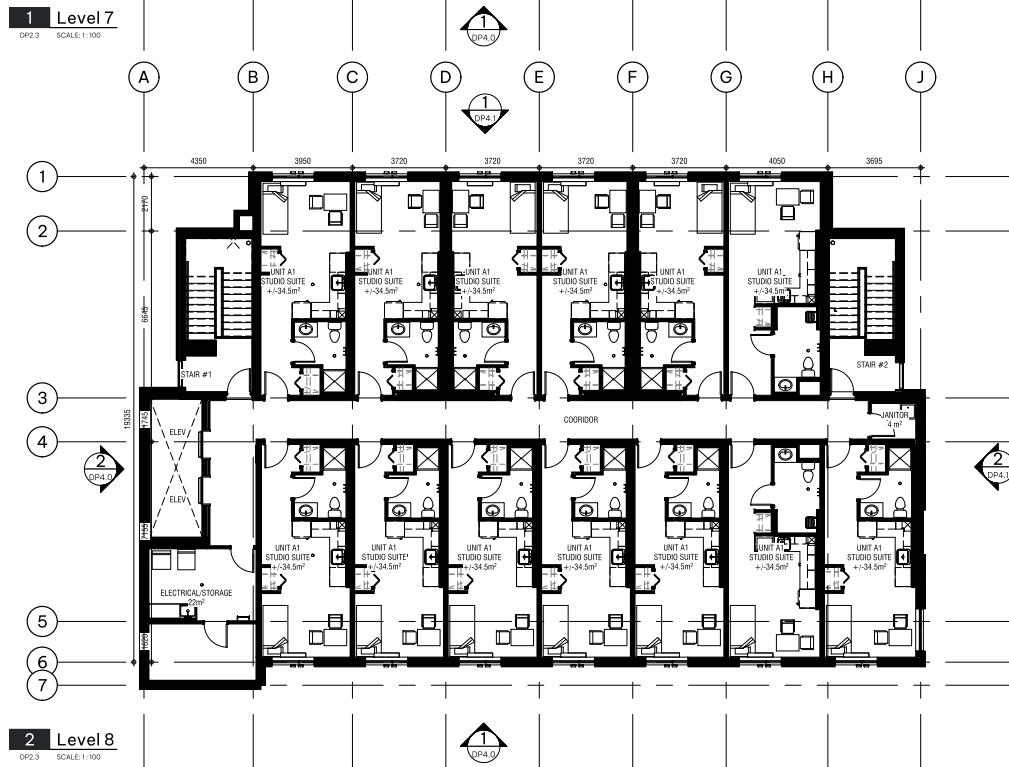
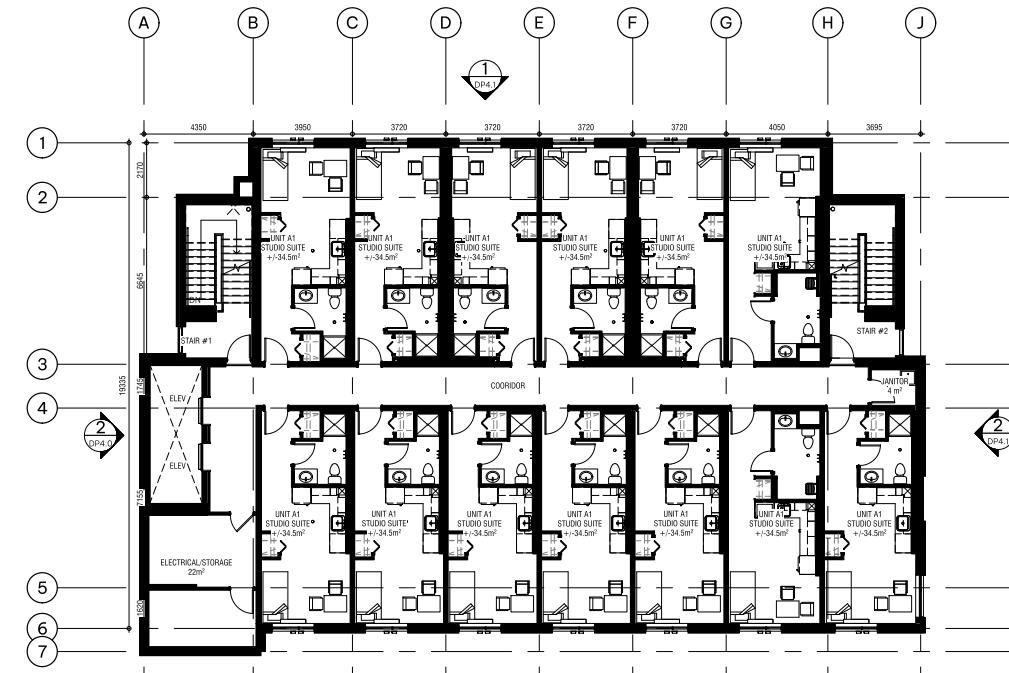
Verify all dimensions, elevations and datum, and report any discrepancies to the Architect for construction. Dimensions are given in metres. All dimensions are net dimensions, except for clearances for interior partitions, and clearance of enclosing walls, unless noted otherwise on the drawing.

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REVISION	DATE
4	DP RE-SUBMISSION
5	ISSUED FOR SCHEMATIC
10	TENDER
	04.10.2022

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 DATE 1/31/2025 9:50:48 AM
 DRAWN BY MD/AN/KM
 CHECKED BY C2

DRAWING NO. DP.2.3



NOTE: Dimensions are for reference only and are subject to change based on construction documentation.

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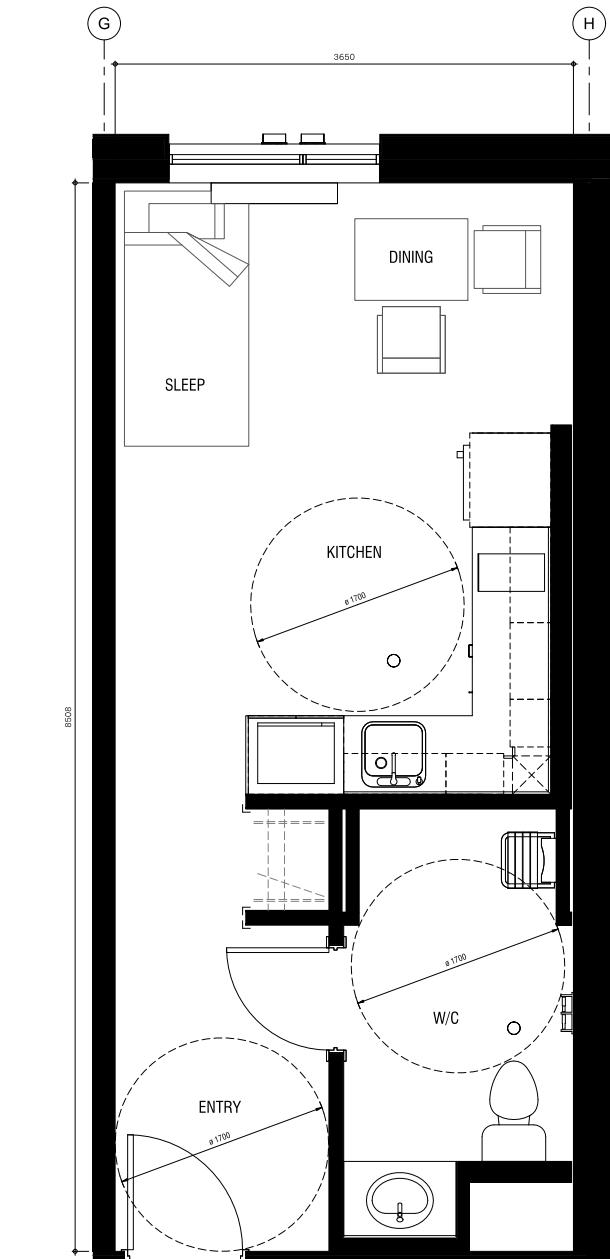
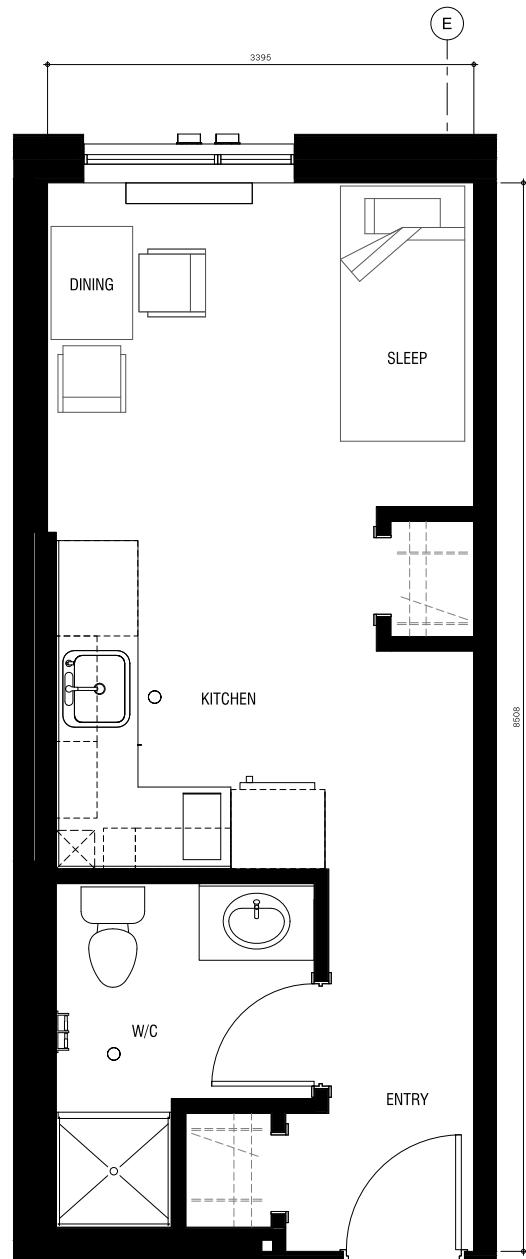
6th Floor, 201 - 12th Avenue SW
Calgary, AB, Canada T2R 0E9
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UNIT PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/12/23



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Verify all dimensions, elevations and datum, and report any discrepancies to the Architect prior to construction. Dimensions are in metres. All dimensions are net dimensions, including thickness of slab for interior partitions, and centrelines of exterior walls, unless noted otherwise on the drawing.

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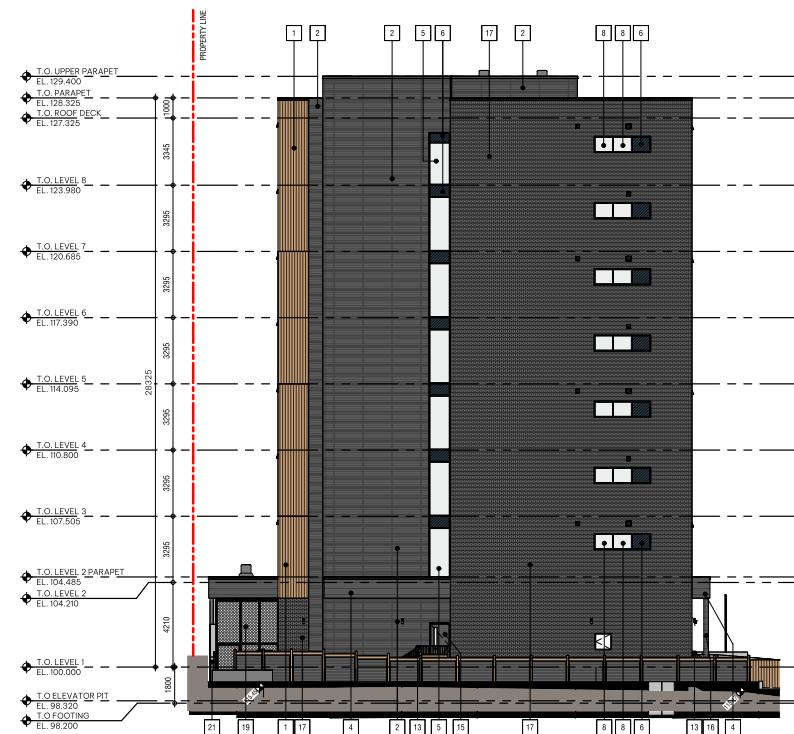
REVISION	DATE
5	ISSUED FOR SCHEMATIC TENOR 07.10.2023

SCALE	1 : 20
DATE	1/31/2025 9:51:08 AM
DRAWN BY	Author
CHECKED BY	Checker

DRAWING NO. DP2.5

DP2.5

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Elevation - Code Legend	
1	VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE
2	COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED)
3	PVC WINDOW - FROSTED GLASS - BLACK FRAME
4	METAL PANEL - CHARCOAL
5	SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS
6	METAL PLATE SPANDREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL
7	SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - DOUBLE DOORS
8	PVC WINDOW - VISION GLASS - BLACK FRAME
9	CONCRETE UPSTAND C/W COMPOSITE METAL CLADDING - DARK GREY
10	P.T. DECK SKIRTING - GOLDEN OAK TONE
11	P.T. WOOD DECKING - GOLDEN OAK TONE
12	P.T. WOOD STAIRS - GOLDEN OAK TONE
13	METAL HANDRAIL/GUARD - BLACK
14	DOUBLE DOOR C/W CHARCOAL FRAME, GLASS INSERT AND DOUBLE SIDELIGHTS
15	HOLLOW FRAME STEEL DOOR - CHARCOAL
16	PAINTED HEAVY TIMBER COLUMNS - BLACK
17	MODULAR BRICK - MIXED GREY
18	POTENTIAL SOLAR PANEL ARRAY
19	CHAIN LINK FENCE
20	CONCRETE MASONRY UNIT
21	CONCRETE RETAINING WALL

BUILDING ELEVATIONS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.

BC HOUSING

22/04/25



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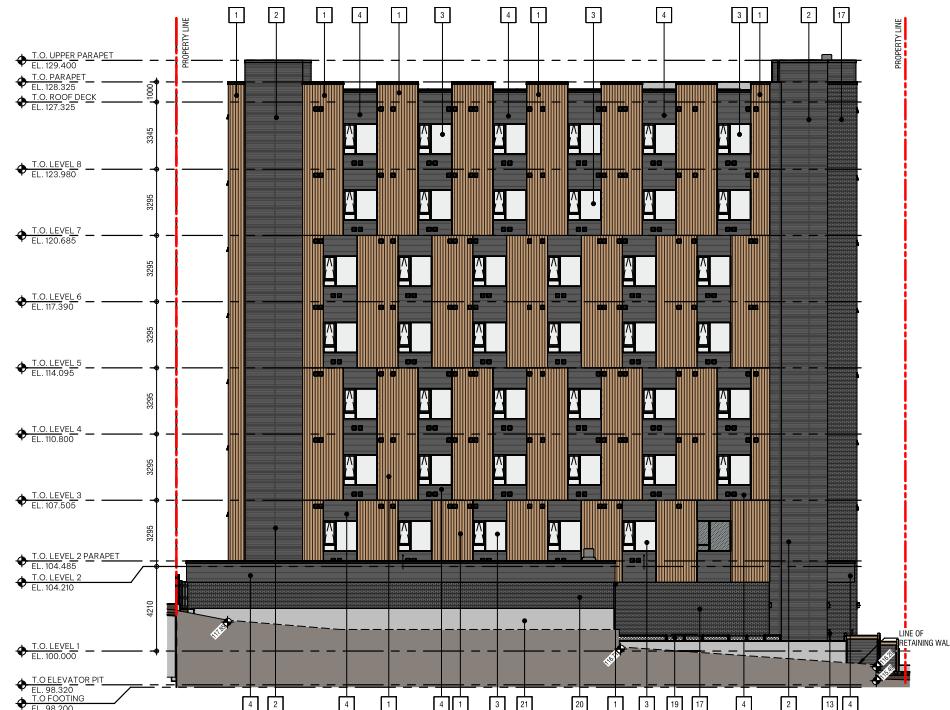
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REVISION DATE
 14 ISSUED FOR DELEGATED DP 2024.08.15
 SUBMISSION
 21 RESPONSE TO DELEGATED 2025.01.03
 DEVELOPMENT PERMIT COMMENTS

SCALE As indicated
 DATE 1/31/2025 9:51:24 AM
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DRAWING NO.

DP4.0



1 North Elevation

004.1 SCALE 1:12



2 | East Elevation

004.1 8GMLF1-12

Elevation - Code Legend

- 1 VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE
- 2 COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED)
- 3 PVC WINDOW - FROSTED GLASS - BLACK FRAME
- 4 METAL PANEL - CHARCOAL
- 5 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS
- 6 METAL PLATE SPANEREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL
- 7 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - DOUBLE DOORS
- 8 PVC WINDOW - VISION GLASS - BLACK FRAME
- 9 CONCRETE UPSTAND C/W COMPOSIT METAL CLADDING - DARK GREY
- 10 P.T. DECK SKIRTING - GOLDEN OAK TONE
- 11 P.T. WOOD DECKING - GOLDEN OAK TONE
- 12 P.T. WOOD STAIRS - GOLDEN OAK TONE
- 13 METAL HANDRAIL/GUARD - BLACK
- 14 DOUBLE DOOR C/W CHARCOAL FRAME, GLASS INSERT AND DOUBLE SIDELOOPS
- 15 HOLLOW FRAME STEEL DOOR - CHARCOAL
- 16 PAINTED HEAVY TIMBER COLUMNS - BLACK
- 17 MODULAR BRICK - MIXED GREY
- 18 POTENTIAL SOLAR PANEL ARRAY
- 19 CHAIN LINK FENCE
- 20 CONCRETE MASONRY UNIT
- 21 CONCRETE RETAINING WALL

DYNAMIC ELEVATIONS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221243

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CONSTRUCTION

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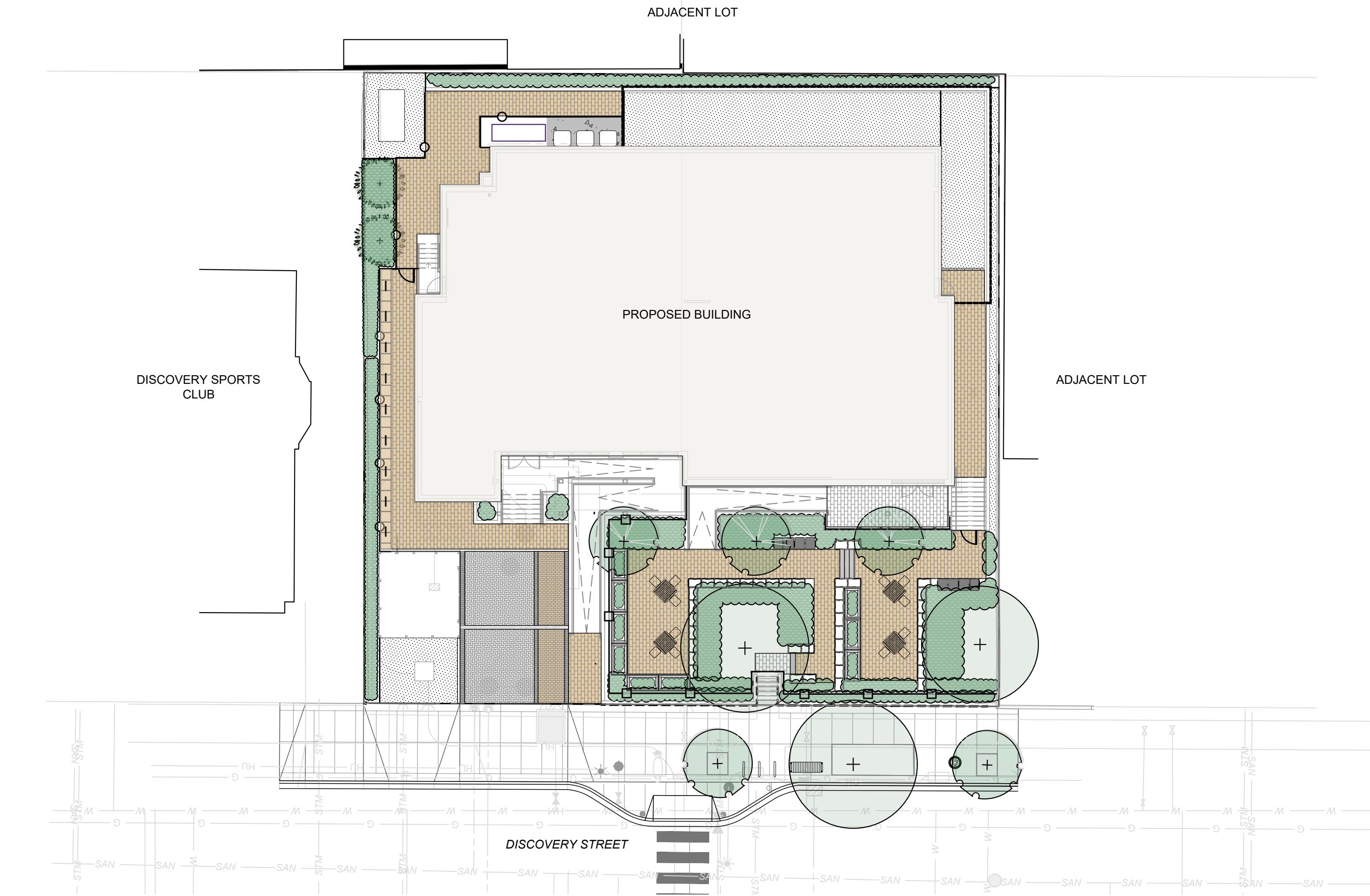
Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising

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DRAWING

DP4.1



PROJECT NOTES

CANADIAN LANDSCAPE STANDARD:

Landscape installation to be compliant with Canadian Landscape Standards (full document applies). It is expected that Landscape Contractors will have a current copy of the document (digital or hardcopy) present with them on site.

RFI'S:

Questions (RFI's) pertaining to landscape to be immediately submitted to Contract Administrator for clarification whom will contact Landscape Architect for response.

AS-BUILTS:

Contractor is expected to provide a copy of marked up as-builts noting any construction changes at the time of substantial performance of the project.

SUBMITTALS:

Submittals on landscape include but are not limited to:

- Shop drawings on all specified furnishings including notes on colour and dimensions
- Shop drawings on all custom site elements (i.e. walls, railings, fences, etc.) including notes on colour, finishes and dimensions
- A growing medium (or amended soil report, if required) submittal compliant with the Canadian Landscape Standard
- Seed or sod mix designs (Canada No. 1 grade) as defined within with drawings and in compliance with Canadian Landscape Standards
- A request for the Landscape Architect to pre-review trees/shrubs for the project at the nursery in advance of delivery to site. Note that the Landscape Architect requires this process for reviews to occur immediately upon award as to prevent issues with timeline. If quantities of a shrub or tree are minimal, photo submittals will be reviewed as an alternate.
- ORGANIC MULCH to be organic composted mulch, compliant with Canadian Landscape Standards (dark brown colour). Submit 1L sample or website information prior to purchase
- Unit paving and hard-surface materials to be submitted for verification on colour, size and pattern, and compaction.
- Mix design and supplier information of hard surface poured or placed materials (i.e. aggregates, concrete, asphalt), including base preparation materials and affiliated compaction testing
- Primer and paint submittals, if required for project

LANDSCAPE SCHEDULE

The contractor is to supply a schedule outlining the intended dates for landscape installation. The contractor is to request (with 72h notice) a review for tree protection fencing, tree stake layout, and substantial completion. Additional key meetings identified for requested by the landscape architect at project kick-off or in construction are to be provided with 72h notice. Examples of critical reviews are outlined below. The contractor is expected to provide weekly emails summarizing progress on landscape and the 'look ahead' of the intended schedule for the following week.

LANDSCAPE CRITICAL REVIEWS:

Landscape critical review meetings include (but are not limited to):

- Tree protection fencing setup requires a review by the arborist prior to construction
- Project kick-off on landscape, and review of stockpile and preservation of existing materials
- Mobilization and preparation/installation of hard surfaces or drainage features (i.e. raingardens), if specified within landscape drawings
- Tree stakes to be provided for review of tree placements to demonstrate compliance and offsets from utilities. Alignment of tree plantings to be reviewed.
- Mobilization of soils and furnishing works (requires furnishings to be reviewed after delivery to site to review for damages). Note that soils may be tested up to 2 times for verification of complicity of mix at the Contractor's cost, if material is suspected to be non-compliant. See notes above on submittals
- Mobilization of custom works (i.e. wooden walkways or custom benches), if applicable to contract, will be required for a critical review meeting of proposed layout and connections
- Delivery of the plant material to site (mobilization of planting works)
- General progress reviews for installation of soft landscape materials (trees, ground covers, shrubs, lawns, etc)
- Substantial and total performance of the landscape
- Commissioning reviews, if required

BCH DISCOVERY STREET

722, 726 / 732 Discovery Street, Victoria, B.C.

RESPONSE TO DDP COMMENTS

DRAWING LIST

L-00	COVER
L-01	NOTES
L-02	TREE REPLACEMENT & STORMWATER AREA PLAN
L-03	LANDSCAPE PLAN
L-04	PLANTING PLAN
L-05	PLANTING DETAILS
L-06	HARDSCAPE DETAILS
L-07	SITE FURNISHING DETAILS
L-08	FENCING DETAILS
L-09	SOIL CELL SECTION

WSP LANDSCAPE ARCHITECTURE

GURPREETH SINGH
PROJECT MANAGER
Email: Gurpreeth.Singh@wsp.com
Phone: (778) 940 - 1327

RENZO CORTES
Landscape Designer
Email: glennrenzo.cortes@wsp.com
Phone: (226) 203-8444

SITE LEGEND & LANDSCAPE MATERIALS LEGEND

SITE LEGEND

	PROPERTY LINE
	EXISTING FENCE TO BE REMOVED
	TREE PROTECTION FENCING Refer to detail and arborist report.
	TREE TO BE RETAINED Provide tree protection fencing. Refer to detail and arborist report.
	REPLACEMENT / PROPOSED TREE
	REPLACEMENT TREE SOIL VOLUME (m³)
	SOIL CELLS
	TREE TO BE REMOVED

HARDSCAPE LEGEND

	CONCRETE Pedestrian rated access - 100mm thick
	GRAVEL Refer to detail for aggregates size and depth.
	AQUAPAVE PERMEABLE PAVERS - AMENITY SPACE & WALKWAYS Size: 110mm x 221.5mm x 80mm Colour: Harvest Supplier: Belgard
	CLASSIC STANDARD - DROP OFF/LOADING AREA Size: 112.5mm x 225mm x 80mm (4 7/16" x 8 7/8" x 3 1/8") Colour: Natural Supplier: Belgard
	CLASSIC STANDARD - FRONT ENTRY WALKWAY AREA Size: 112.5mm x 225mm x 80mm (4 7/16" x 8 7/8" x 3 1/8") Colour: Harvest Supplier: Belgard
	CLASSIC STANDARD - BANDING UNIT PAVERS Size: 112.5mm x 225mm x 80mm (4 7/16" x 8 7/8" x 3 1/8") Colour: Charcoal Supplier: Belgard
	TEXADA HYDRA-PRESSED PAVERS - BIKE RACKS Size: 610mm x 610mm x 50mm (24" x 24" x 2") Colour: Natural Supplier: Belgard
	ORGANIC MULCH At 100mm depth with filter fabric

SITE FURNISHINGS LEGEND

SITE FURNISHING LEGEND

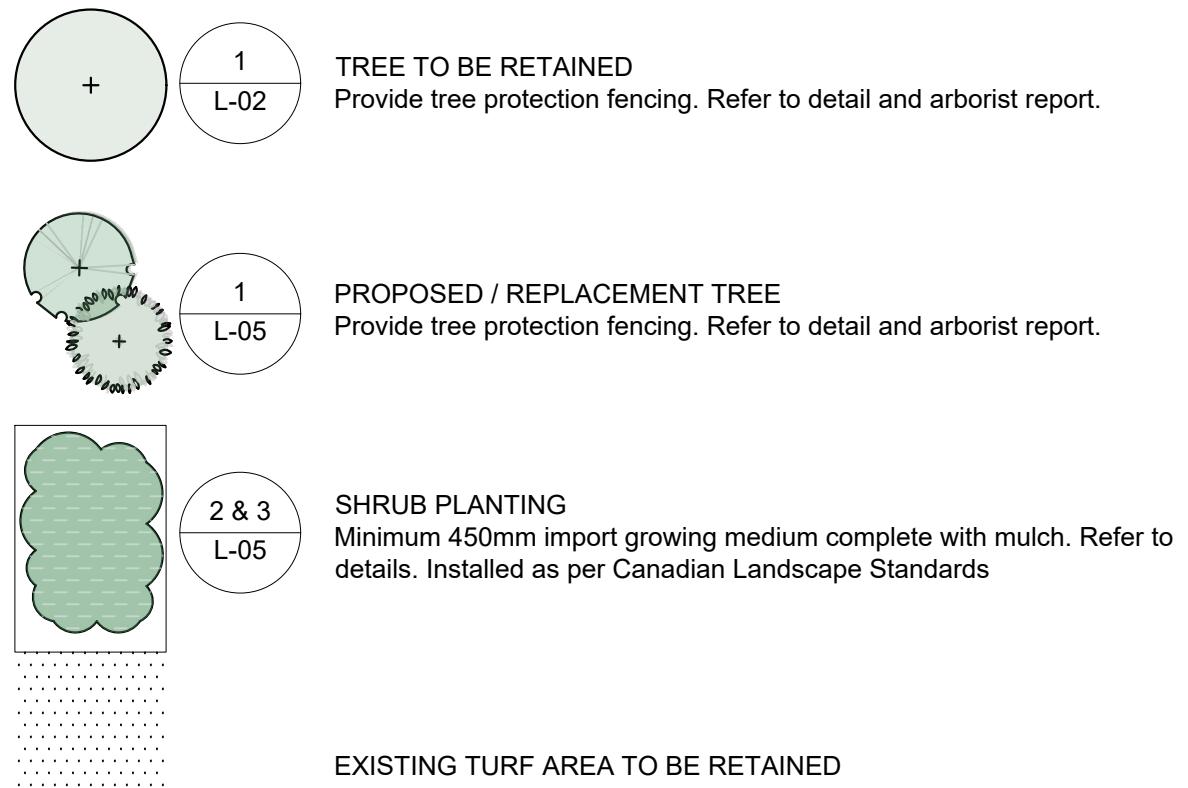
	1 TABLE SEATING Refer to detail for product specifications and sizes.
	2 BENCH SEATING Refer to detail for product specifications and sizes.
	5 STONE STEPS Refer to detail
	6 ROCK EDGE SEAT WALL- 0.50m W x 0.75m L x 0.45m H.
	3 KEY BIKE RACK Refer to detail for product specifications and sizes.

STORM WATER AREAS & PLANTING PLAN LEGEND

STORM WATER INFILTRATION AREAS



SOFTSCAPE LEGEND



TREE SPECIES

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	3	Magnolia Kobus	Kobus magnolia	B&B, 6cm cal., 1.8m ht standard	As shown
	3	Magnolia Stellata 'Royal Star'	Star Magnolia	B&B, 6cm cal., 1.8m ht standard	As shown

SHRUB SPECIES

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
AD	27	Aruncus dioicus ***	Goat's Beard	#2 Pot, full	1200mm o.c.
AM	20	Achillea millefolium ***	Common yarrow	#2 Pot, full	600mm o.c.
AU	65	Arctostaphylos uva-ursi ***	Kinnikinnick	#2 Pot, full	600mm o.c.
GS	6	Gaultheria shallon ***	Salal	#2 Pot, full	900mm o.c.
JC	1	Juniperus communis **	Common juniper	#2 Pot, full	2200mm o.c.
JS	15	Juniperus scopulorum 'Blue Arrow' **	'Blue Arrow' juniper	#2 Pot, full	1200mm o.c.
LP	92	Lavandula x intermedia 'Provence' ***	Provence lavender	#2 Pot, full	600mm o.c.
LC	19	Lonicera ciliosa ***	Orange honeysuckle	#2 Pot, full	1200mm o.c.
ND	19	Nandina domestica 'Gulf Stream' ***	'Gulf Stream' dwarf nandina	#2 Pot, full	900mm o.c.

81% of total proposed species are either native, food-bearing and/or pollinator habitat.

- * Native Species
- ** Food-bearing Species
- *** Pollinator Species

TREE PROTECTION NOTES & PLANTING NOTES

TREE PROTECTION NOTES:

- Refer to arborist report prepared by Capital Tree Service Inc. Reference made to Arborist report for all Tree Numbers, Diameters and Canopy sizes.
- Existing trees to remain protected as indicated on drawings. Contractor to provide tree protection fencing in accordance with the arborist report, and City of Victoria Tree By-law and request review from project arborist prior to mobilization. Arborist will provide any cut-back or health management to trees as deemed required from a public health and safety perspective. Contractor to be present for tree protection fencing review with arborist, and make any adjustments to protection fencing requested under arborist supervision.

PLANTING NOTES

The following are core requirements of plant selection and installation:

- a. Plants are to be regionally sourced, with preference on local nurseries. Key plants or tree species that cannot be locally sourced should be explored for regional availability within the cascade region, complete from BC south through Washington, Oregon and California.
- b. Preparation and fine grading of soft landscapes (lawns, planting beds, trees) to be in accordance with Canadian Landscape Standards.
- c. Composted ORGANIC MULCH to be continuously provided within plantings beds (unless stated otherwise), at a 50mm depth, increasing to 100mm depth in tree watering well locations. Watering wells to be 1m diameter around trees, in accordance with Canadian Landscape Standards.
- d. Plant materials are to be protected and stored to prevent damage from freezing or weather events prior to installation. Protect and insulate material in accordance with Canadian Landscape Standards as required.
- e. Depths of growing medium to be as follows: 900mm depth required for trees and 450mm depth required for shrubs within all new planting beds, in accordance with 'Level 2P' mix design as defined in the Canadian Landscape Standard. New lawn spaces are to receive 150mm depth growing medium, in accordance with 'Level 2L' mix design as defined in the Canadian Landscape Standard.
- f. Lawn restoration, if required, to meet flush with existing and demonstrate even blend and complete establishment and integration with existing lawn.
- g. Lawn material (i.e. sod or seed/over-seed or hydrose) to be provided in accordance with drawing notes. Ensure mix design submitted is provided of product. Sod (if required) is to be non-netted. Seed (if required) is to be evenly distributed. Hydroseeds (if required) is to be applied in even distribution in accordance with manufacturer's specifications. Hydroseeds to include tackifier in accordance with manufacturer's blend. Incidentally increase tackifier under the guidance of the supplier in winter months in applications where slope stability is required.
- h. Parks shall be contacted prior to planting the trees to inspect the planting areas, growing medium, root barriers, and trees. Trees shall be inspected for pests, diseases and defects. Following completed planting, mulching, staking, and installation of tree grates a final inspection is required.
- i. Applicant is responsible for procuring and planting the proposed municipal trees.

ESTABLISHMENT MAINTENANCE FOR PLANTING BEDS

Landscape Maintenance to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Maintenance to be compliant with 'Level 2' (weeds no larger than 2" diameter) in accordance with Canadian Landscape Standard.

ESTABLISHMENT MAINTENANCE FOR LAWN SPACES

Lawns that are constructed with sod are to be 100% established and in accordance with Canadian Landscape Standards. Sodded lawns should appear evenly integrated with adjacent rolls and non-visible for edges or lifts in finish. Seeded lawns are to be evenly covered and established with vigorous growth. All lawns to appear with vigorous growth and maintenance with a minimum of 2 cuttings to a 60mm height for substantial review. Incidentally mow to a continued 60mm height until the time of substantial completion. Do not allow lawns to exceed an 80mm height between cuttings.

ESTABLISHMENT WATERING

Landscape watering to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Establishment watering to be compliant with Canadian Landscape Standards. Landscapes to be maintained at 75% moisture content availability in soils, as defined in 'Establishment Watering' requirements of the Canadian Landscape Standard. Ensure landscape is watered adequately to prevent detriment to plant health prior to use of irrigation system. If a water ban is in place within the city, notify Contract Administrator.

TREE REPLACEMENT SCHEDULES "C"

TREE IMPACT SUMMARY

Tree Status	Protected Trees	Trees to be removed	New or replacement trees to be planted	Non-protected trees counted as replacements	Net change
Onsite Trees	8	10	5	0	-2
Offsite Trees	0	2	0	0	0
Municipal Trees	1	2	N/A	N/A	0
Total	9	10	5	0	-2

Onsite minimum replacement tree	Protected trees removed	Count		Multiplier	Total	Offsite Tree Minimum	Protected trees removed	Replacement trees proposed per Schedule "E", part 1 or 3	Replacement trees proposed per Schedule "E", part 2	Total Replacement trees proposed
		Protected trees removed	Replacement trees proposed per Schedule "E", part 1 or 3							
Part 1				1	0					0
Part 2		5	0.5	2.5	0					0
Total Replacement trees proposed					0					0
Onsite replacement tree deficiency					0					0
Cash-in-lieu					4					4
Onsite trees proposed for cash-in-lieu					0					0
Offsite trees proposed for cash-in-lieu					0					0
Proposed cash-in-lieu					8000					8000

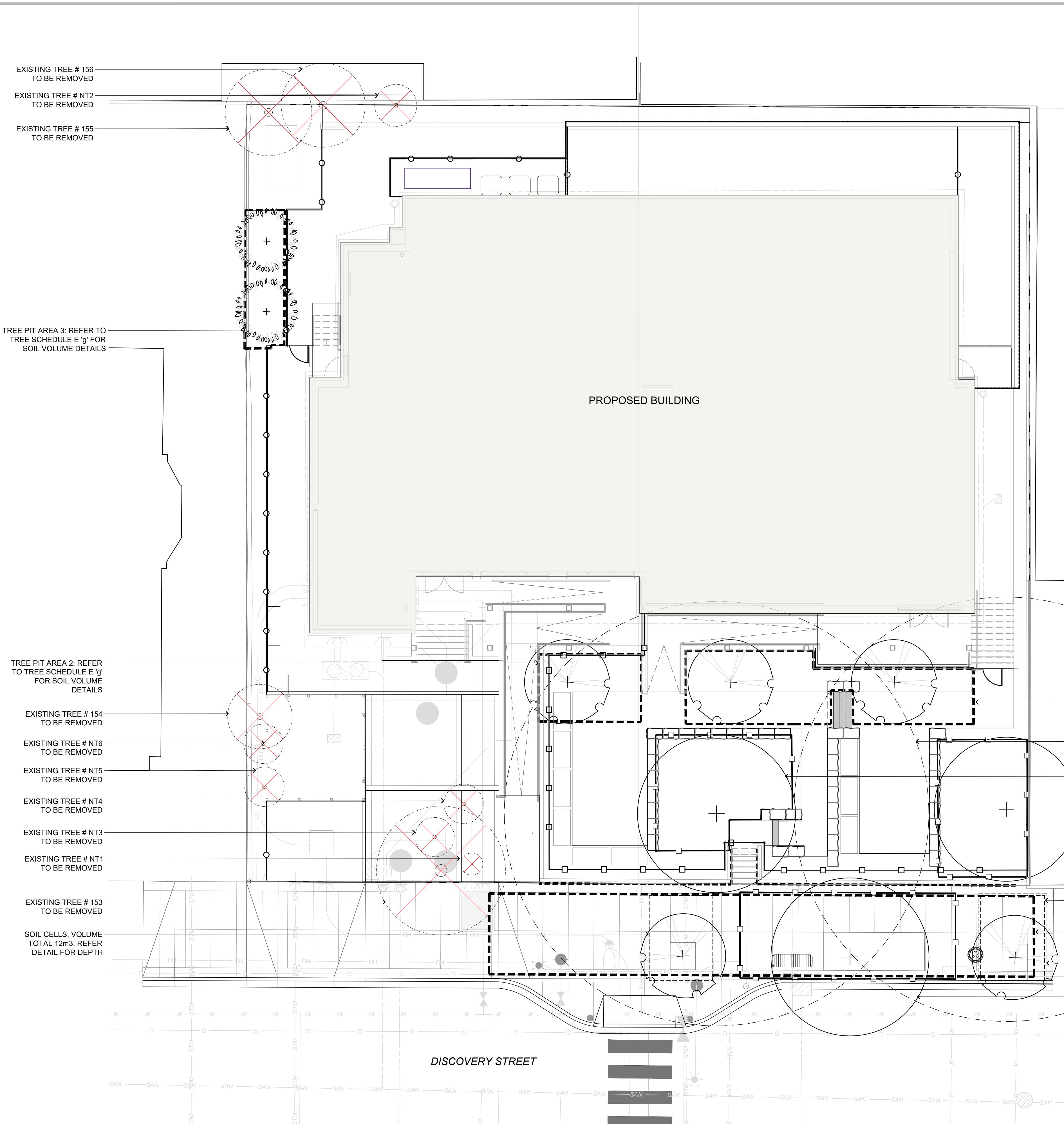
**NOTE: TABLES AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST

ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")	SEALED	DESIGN BY	MJH	SHEET TITLE
14 25/01/23	REVISED BASED ON CITY COMMENTS	RC	DRAWN BY	ER / RC
13 25/01/06	RESPONSE TO DDP COMMENTS	RC	CHECKED BY	GS / TC
12 24/12/20	REISSUED FOR BP	RC	PROJECT #	21-01841-00
11 24/11/22	RESPONSE TO DDP COMMENTS	RC	SCALE	N/A
NO. DATE	DESCRIPTION	BY		

NOTES

L-01





LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

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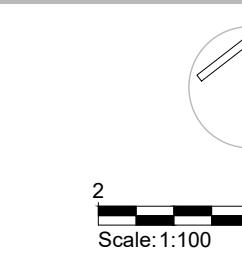
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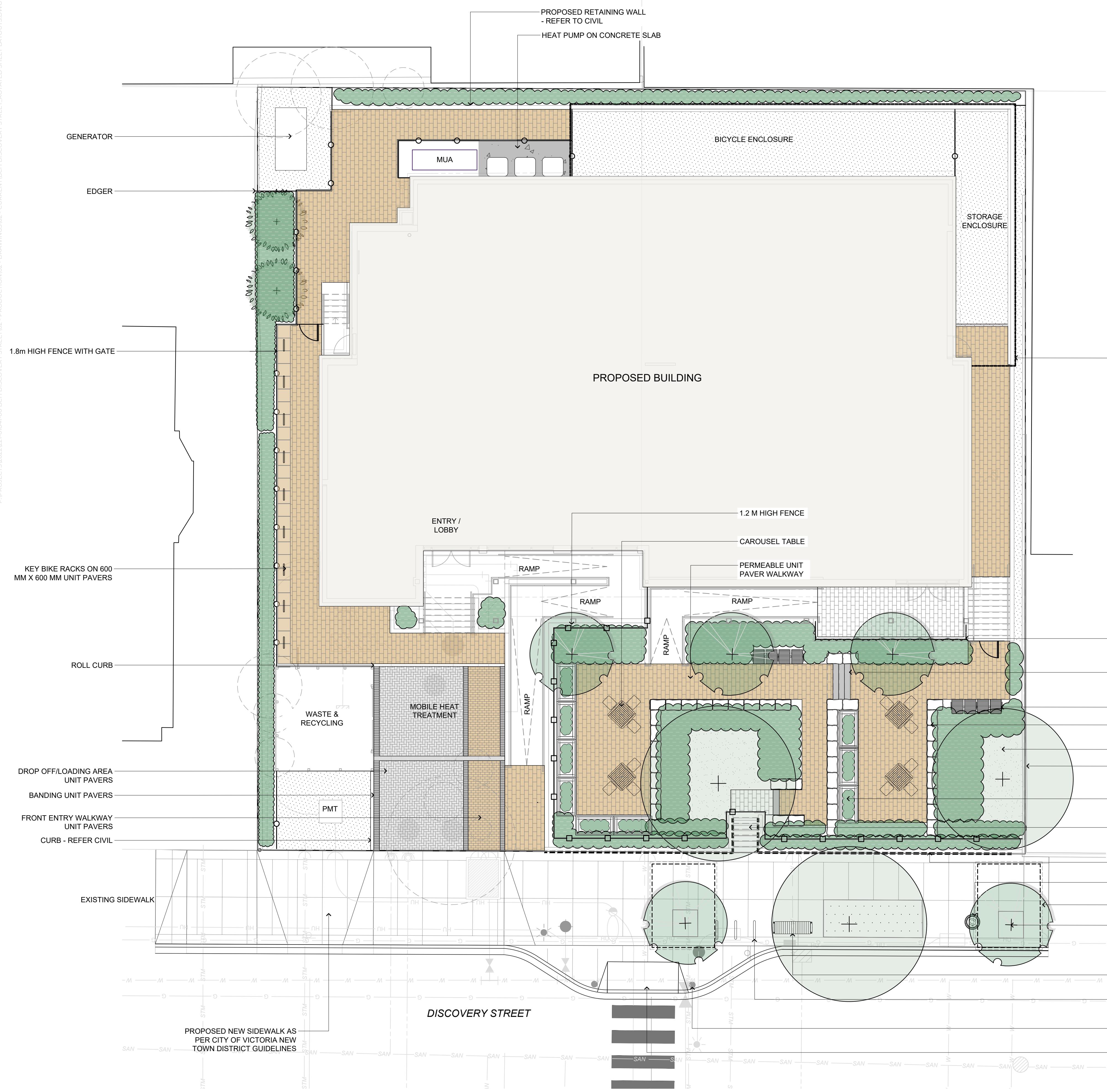
A horizontal banner for the BCH Discovery Street project. The banner features the project name in large, bold, black letters at the top, followed by the address and city in a smaller, regular black font. Below the project name, there are sections for 'CLIENT' and 'CONSULTANT' with their respective names in bold black letters. The 'CLIENT' section includes a small note about the transfer of material and fees. The 'CONSULTANT' section includes a note about the use of CAD information. The bottom of the banner has a decorative pattern of small circles.



Metres 2	ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")			
	14	25/01/23	REVISED BASED ON CITY COMMENTS	RC
	13	25/01/06	RESPONSE TO DDP COMMENTS	RC
	12	24/12/20	REISSUED FOR BP	RC
	11	24/11/22	RESPONSE TO DDP COMMENTS	RC
NO.		DATE	DESCRIPTION	BY

SEALED	DESIGN BY	MjH	SHEET TITLE
	DRAWN BY	ER / RC	TREE MANAGEMENT & REPLACEMENT PLAN
	CHECKED BY	GS / TC	
	PROJECT #	211-01841-00	SHEET NO.
	SCALE	1:100	L-02

ET TITLE
**TREE MANAGEMENT &
REPLACEMENT PLAN**

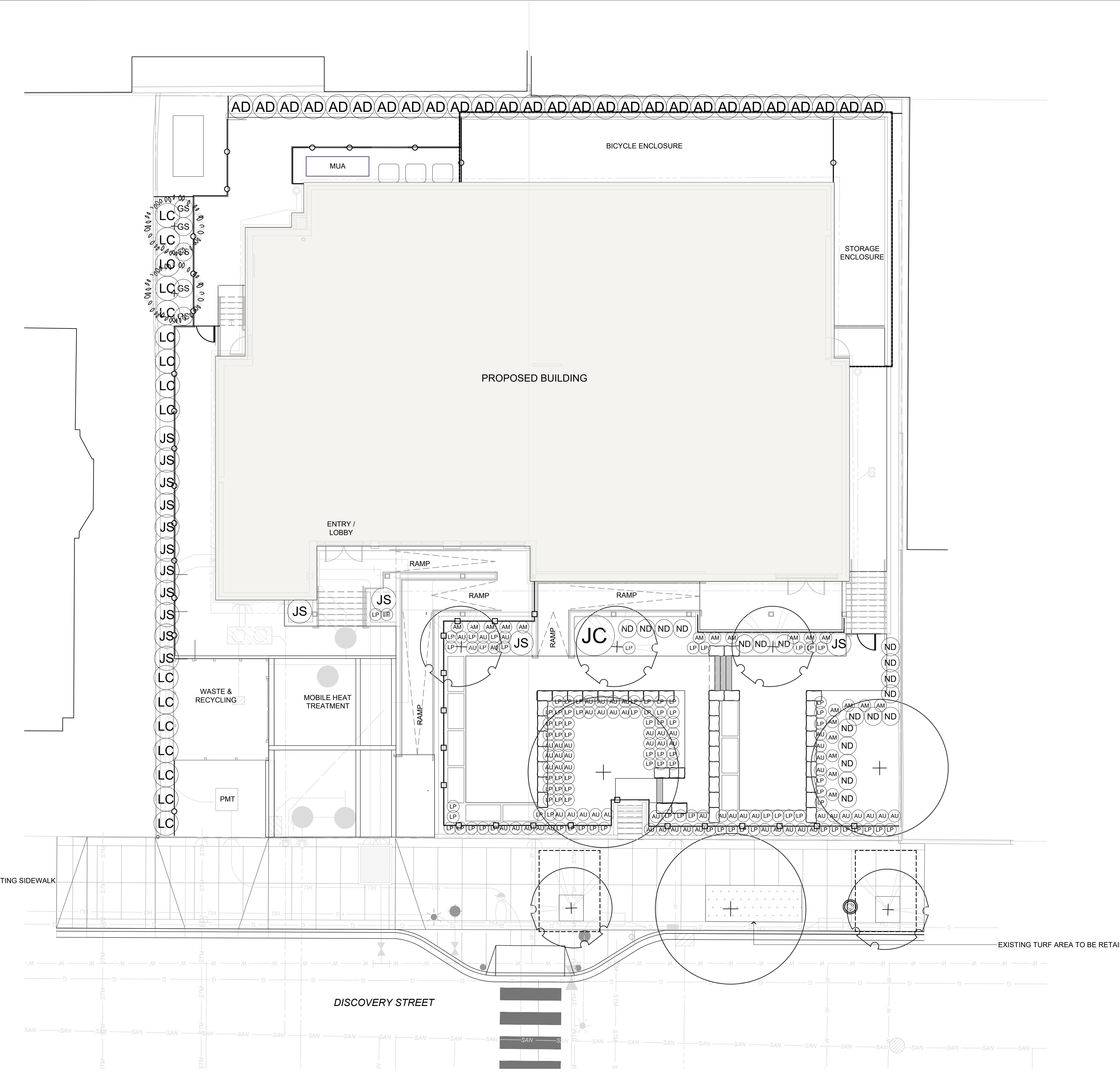


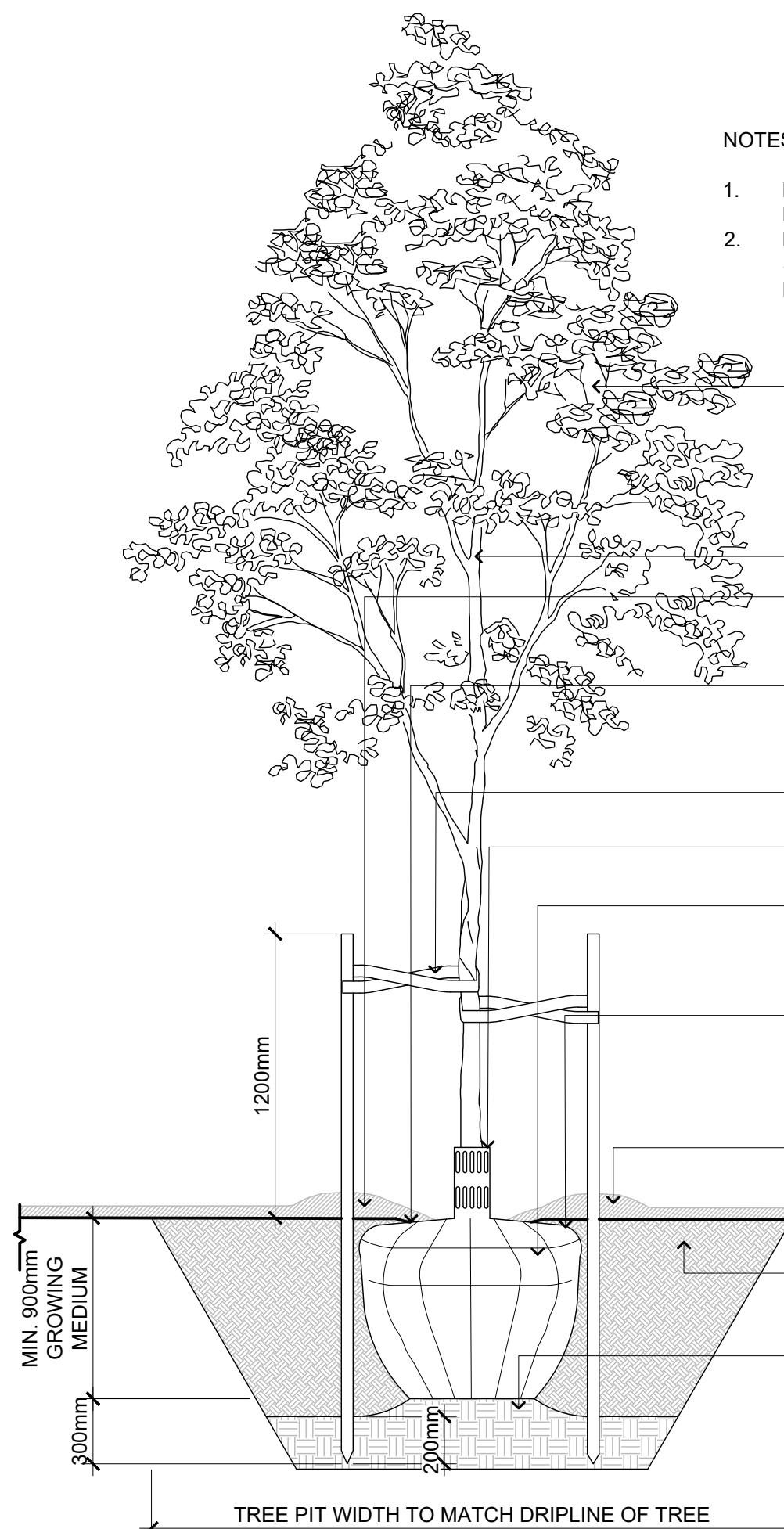
SOIL VOLUME SCHEDULE E 'g'

	Planting Area ID	Area M2	Soil Depth	Estimated soil volume	Proposed Replacement Trees			Soil Volume Required			
					Small (ea)	Medium (ea)	Large (ea)	Small (m3)	Medium (m3)	Large (m3)	Total (m3)
Onsite	Tree Pit Area 1	38	1	38 m3		2			30		30
	Tree Pit Area 2	15	1	15 m3		1			15		15
	Tree Pit Area 3	12	1	12 m3	1			12			12
	Municipal Planting Area	97	0.92	89 m3	2	1		12	15		27

**NOTE: TABLE AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST



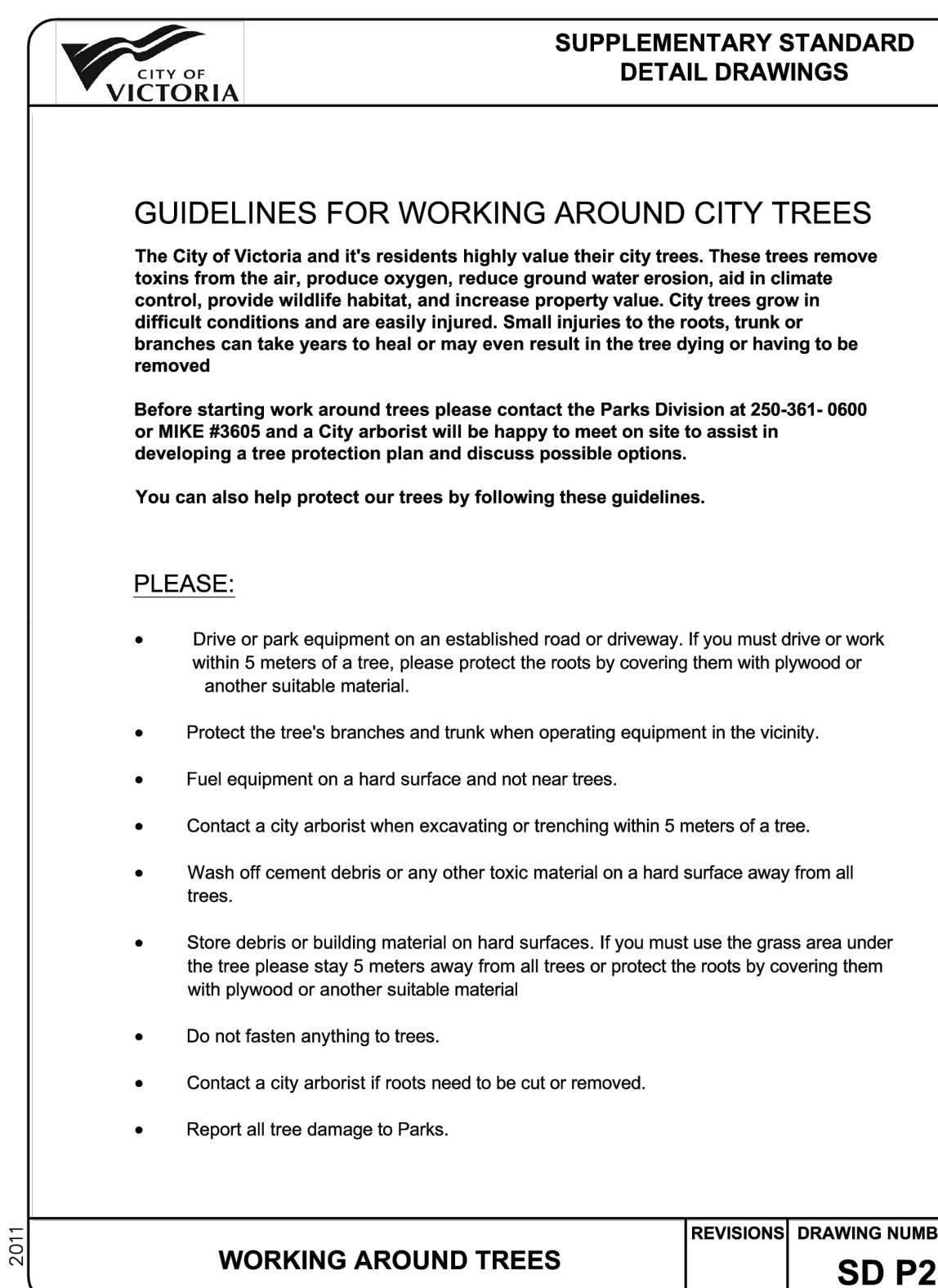




1 TREE PLANTING

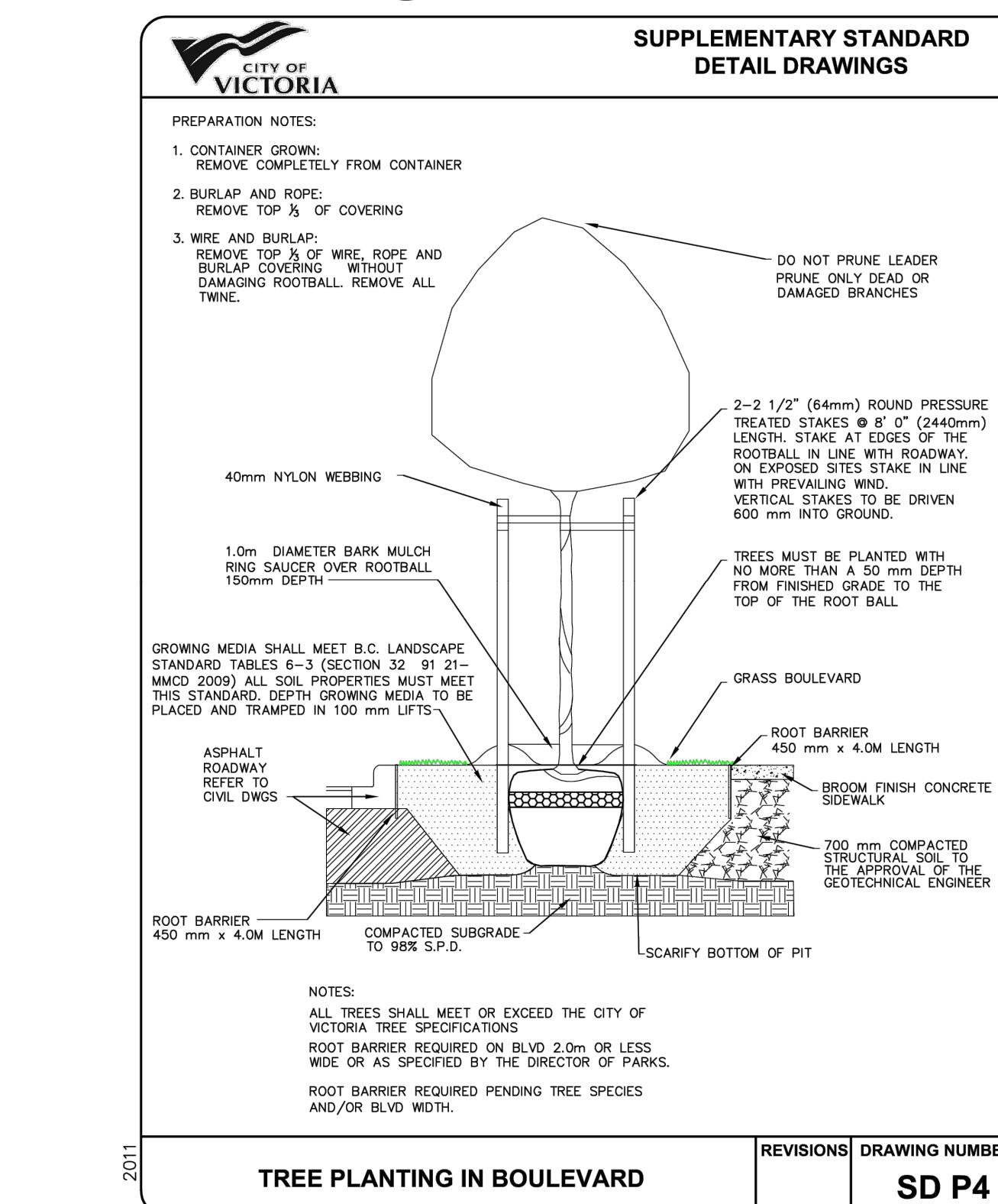
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L-05 SCALE: 1:25

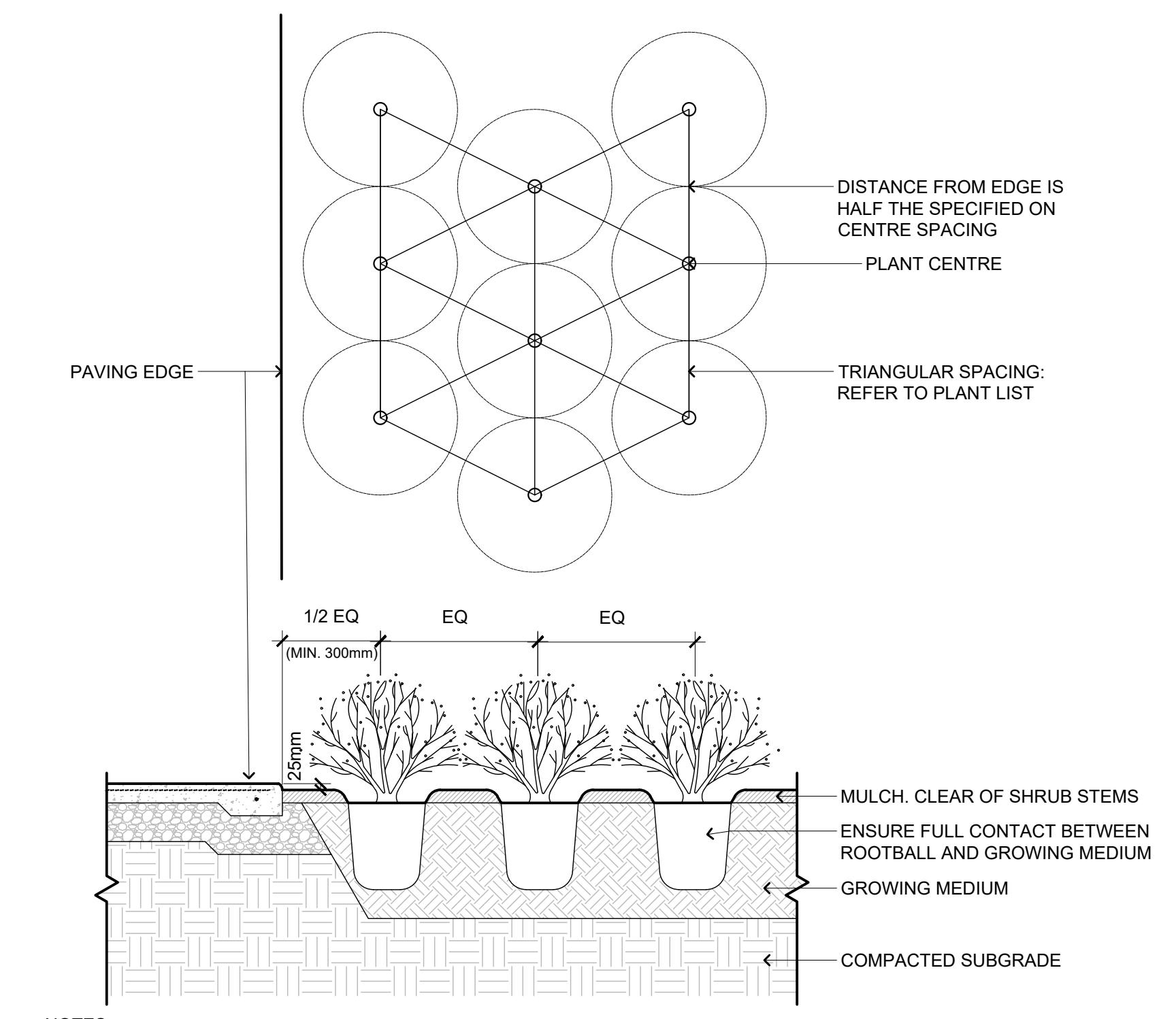


5 CoV - DETAIL SD P2 - WORKING AROUND TREES
L-05 SCALE: NTS

L-05 SCALE: NT

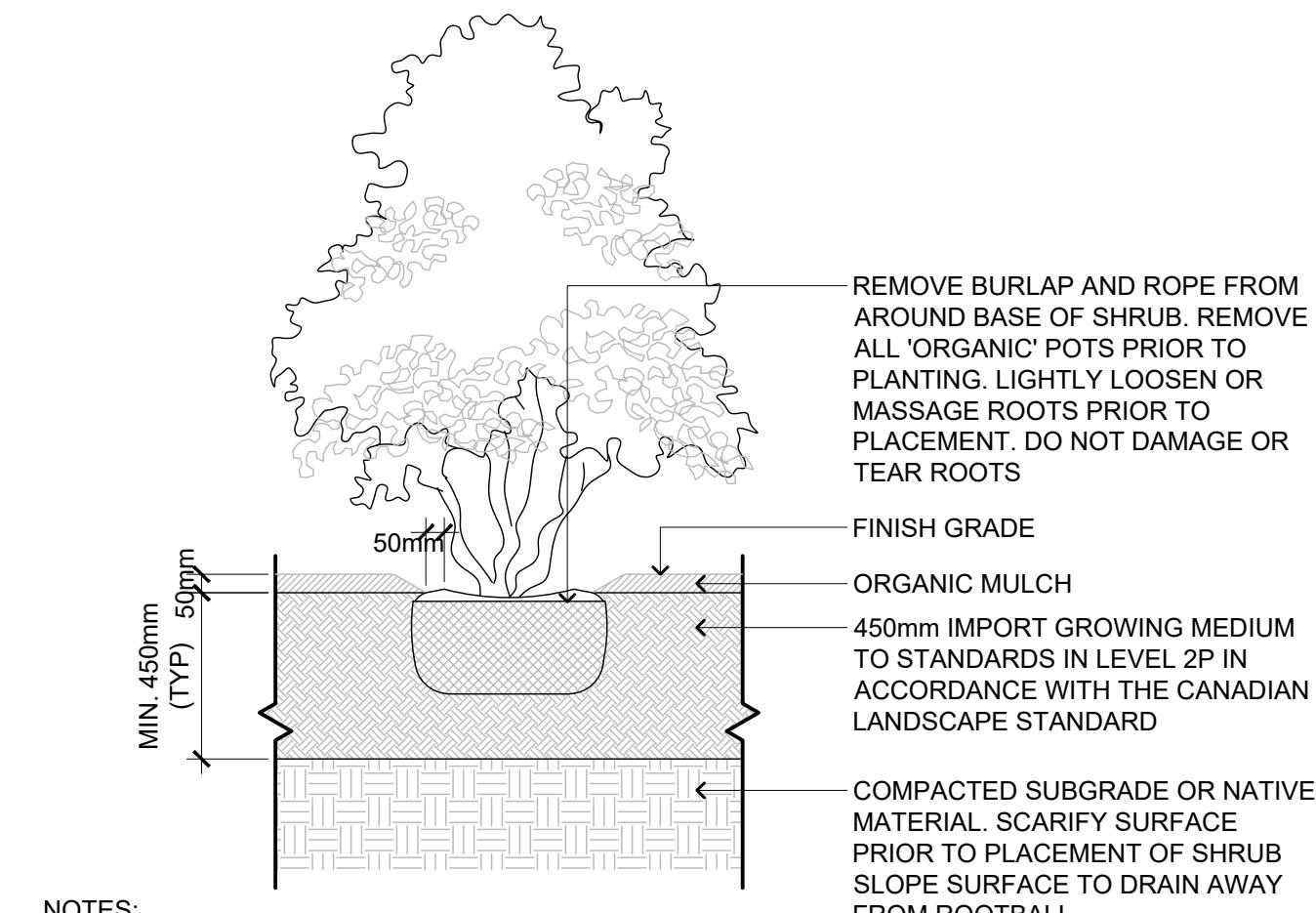


6 CoV - SD P4 - TREE PLANTING IN BOULEVARD
L-05 SCALE: NTS



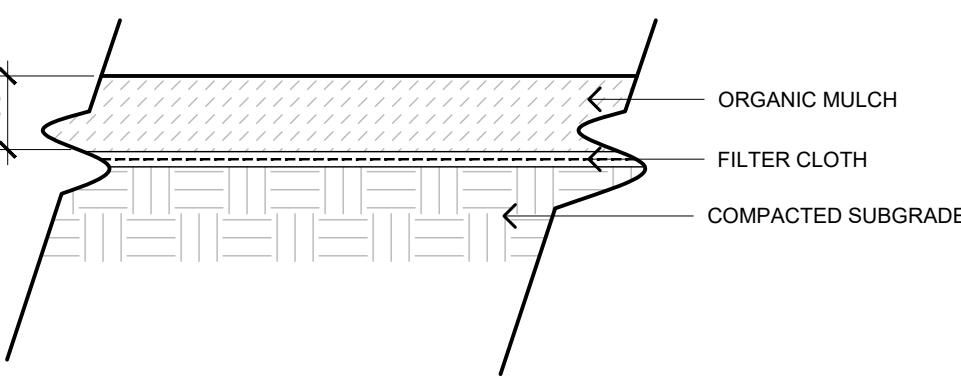
2 SHRUB SPACING DETAIL
L-05 SCALE: 1:15

L-05 SCALE: 1



3 SHRUB PLANTING DETAIL
L-05 SCALE: 1:20

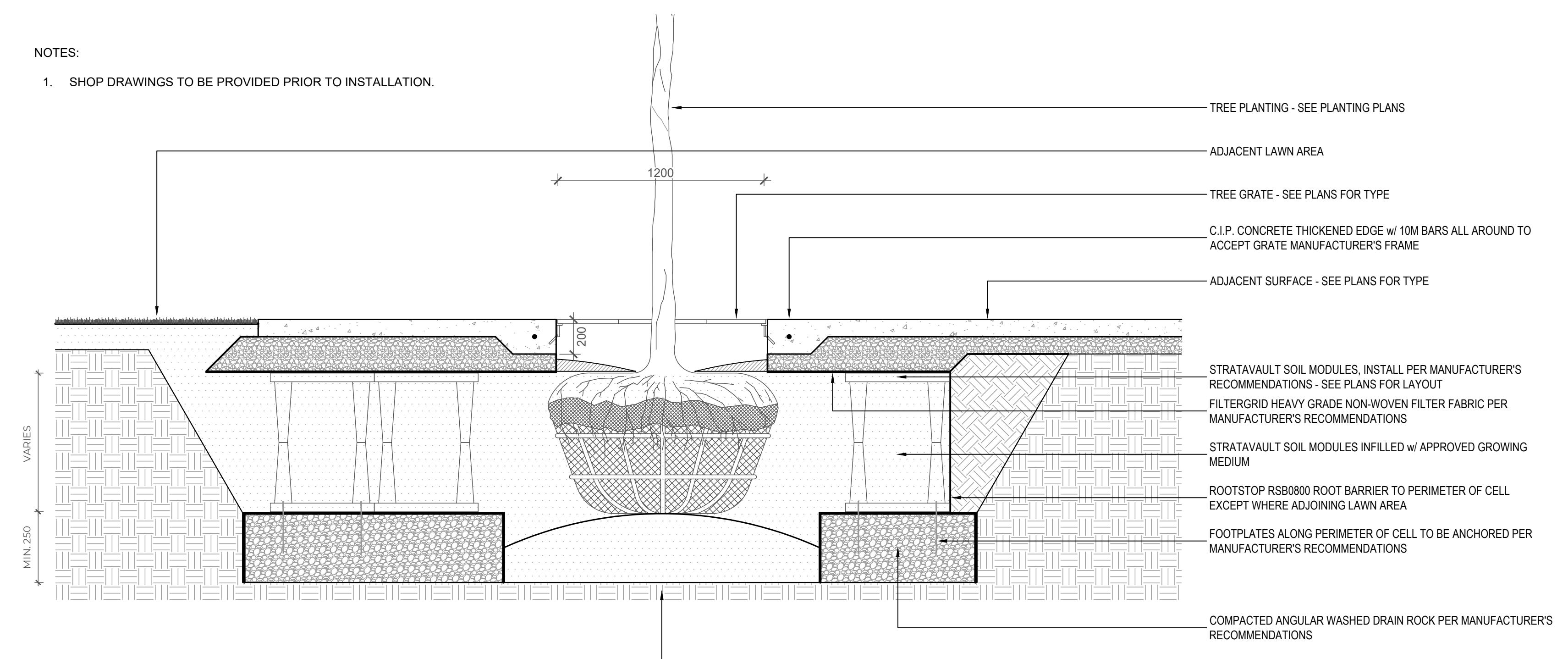
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4 ORGANIC MULCH

L-05 SCALE: 1:10

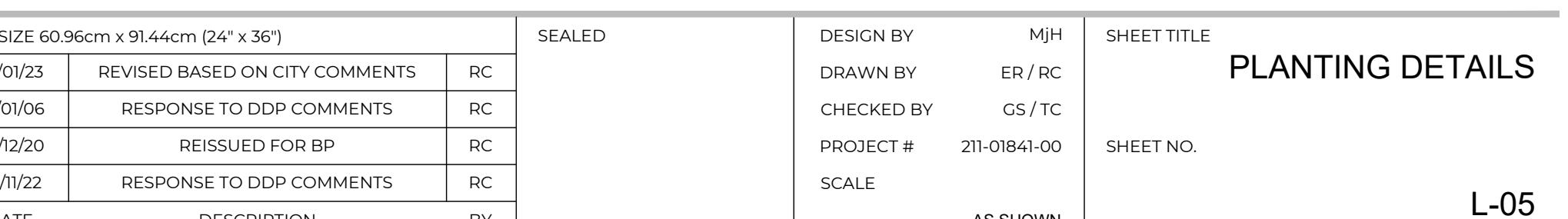
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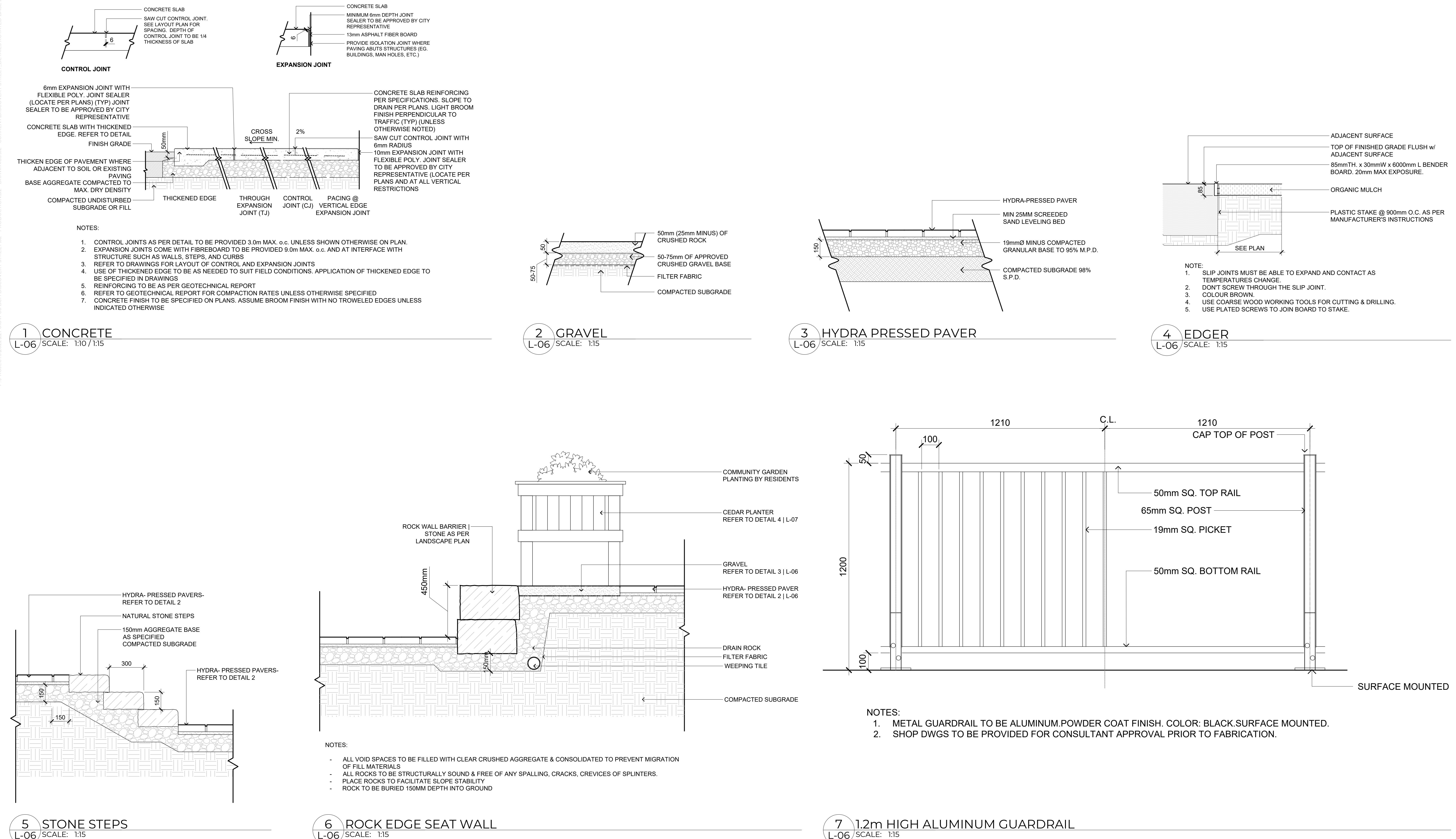


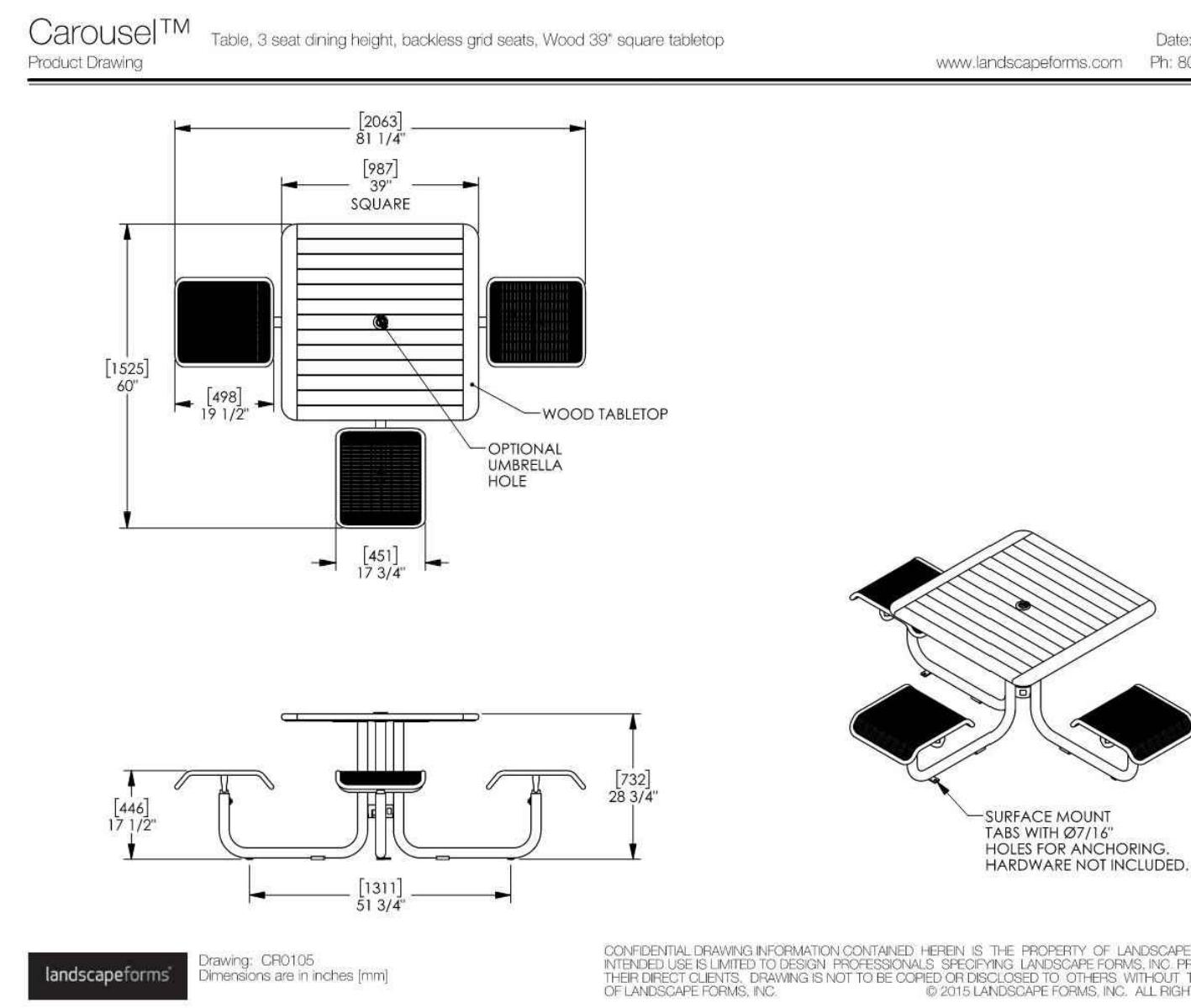
7 TREE PLANTING WITH SOIL CELLS

L-05 SCALE: 1:20

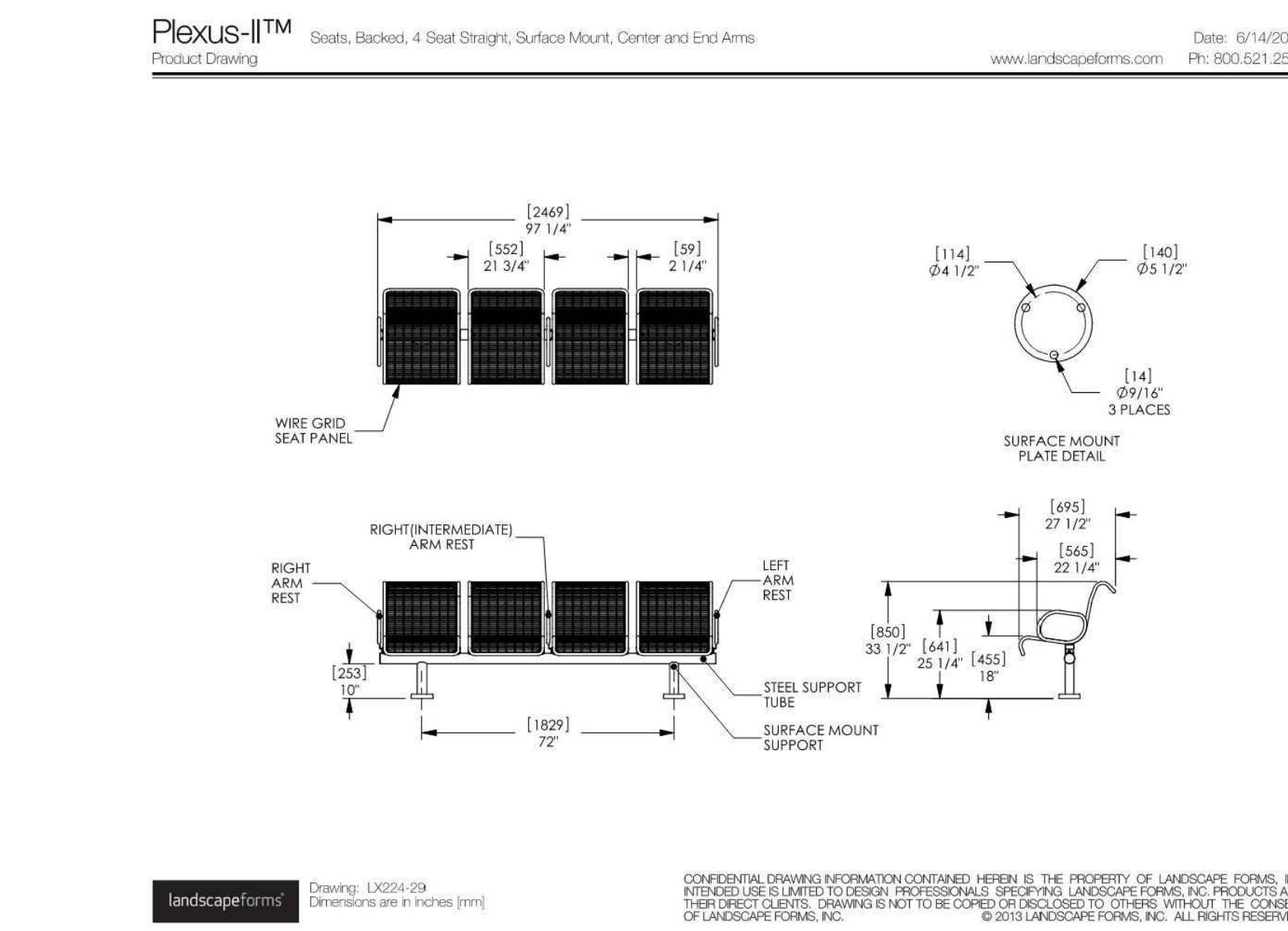
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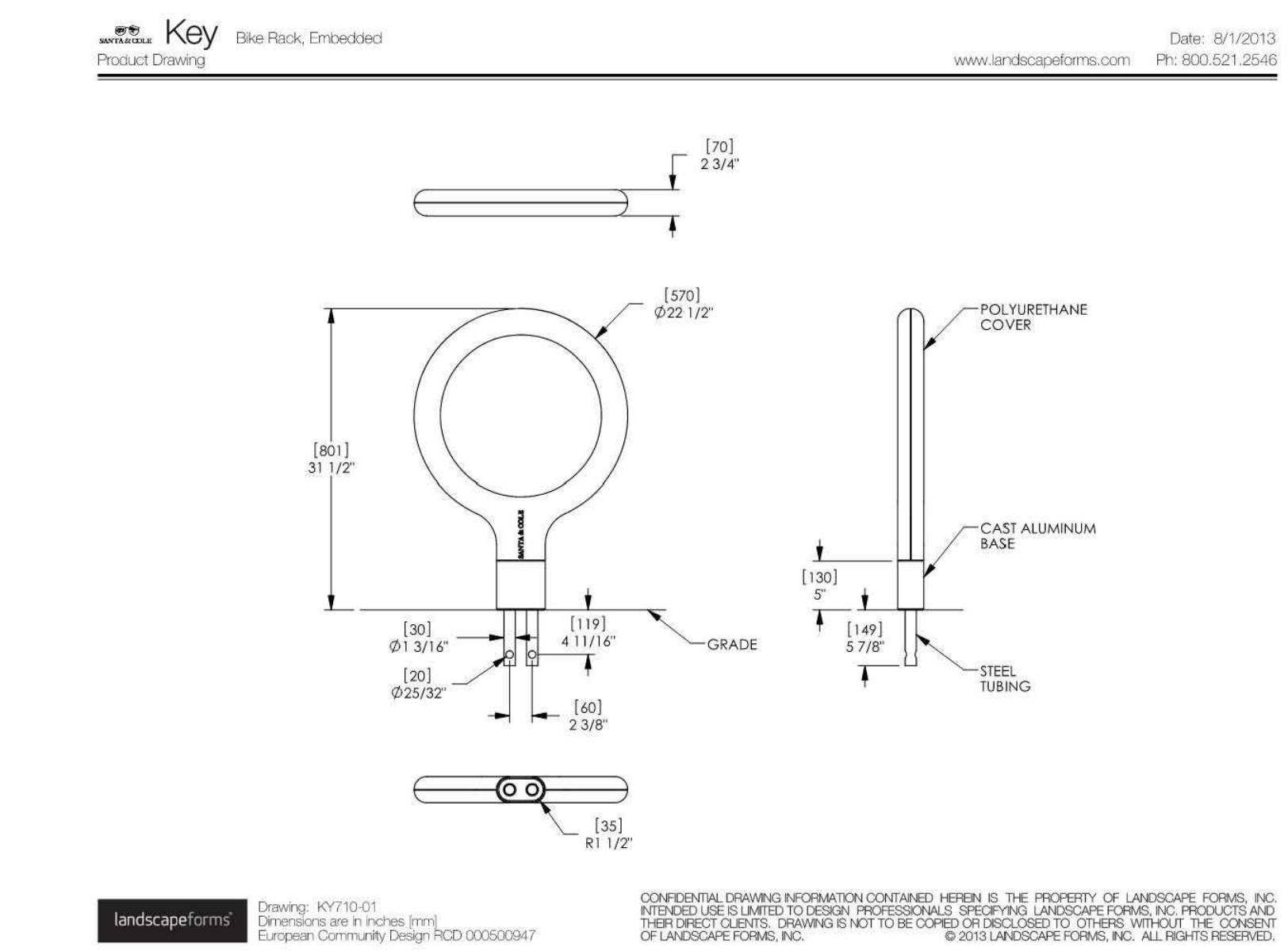




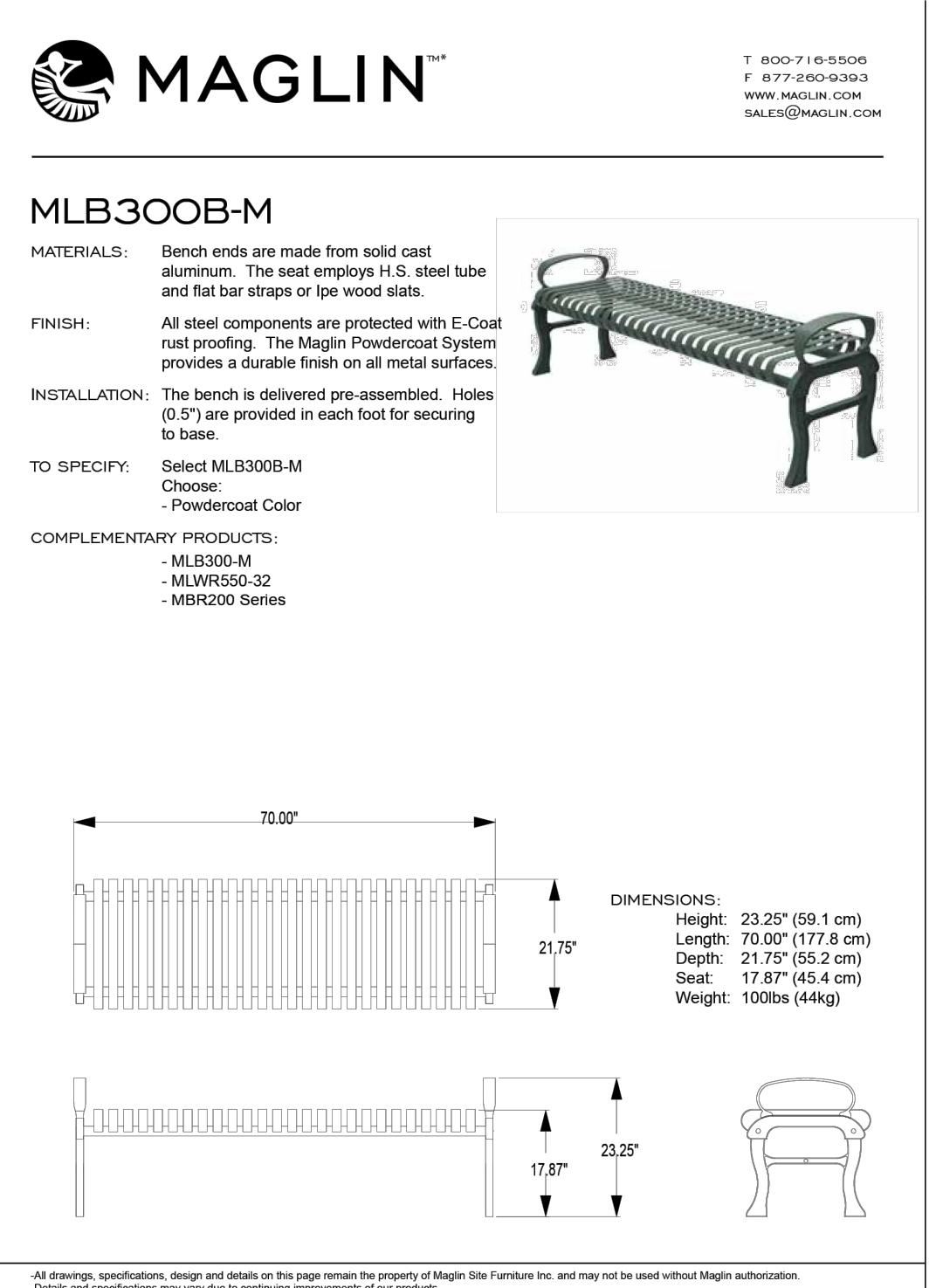
COLOUR: WOOD / BLACK



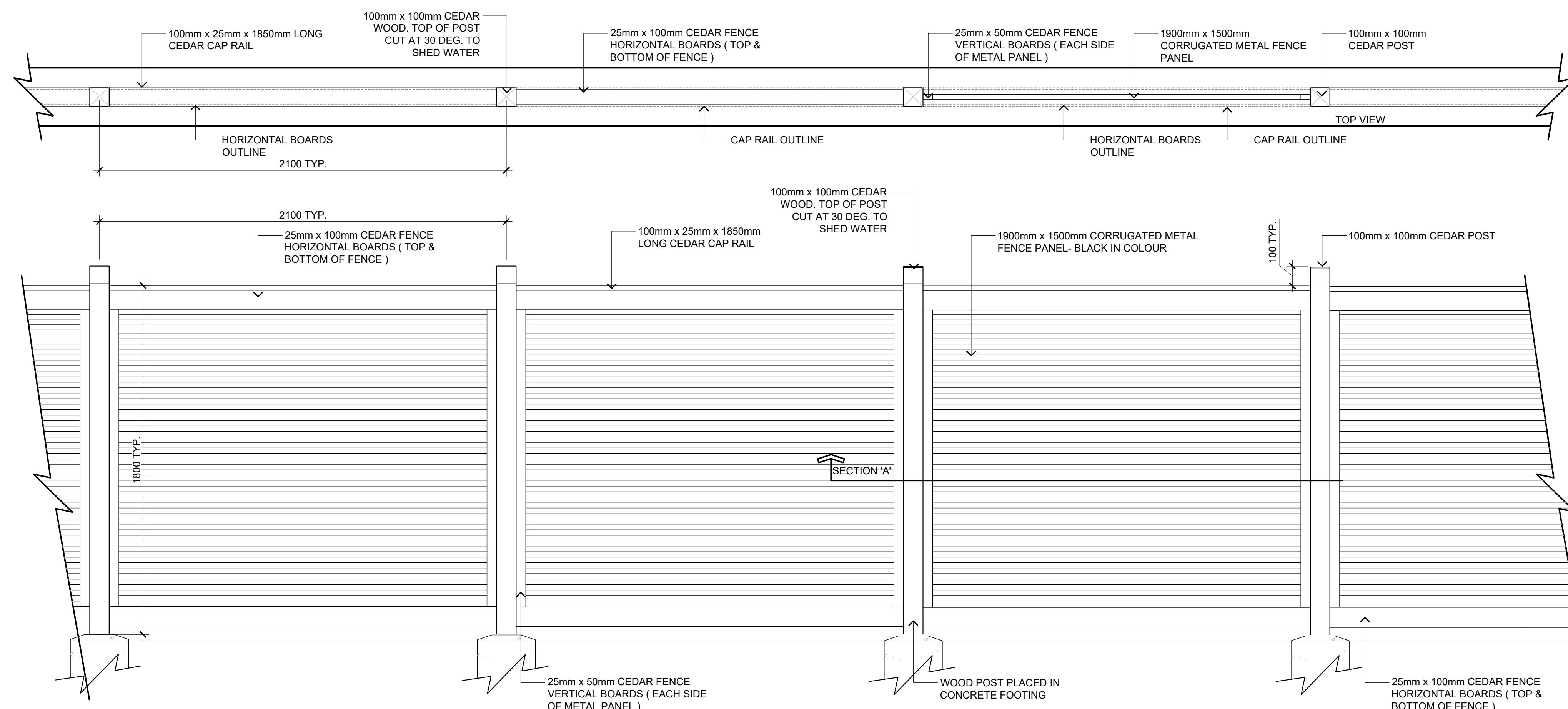
COLOUR: BLACK



COLOUR: GREY



4 MODERN STREET BENCH
-07 SCALE: N.T.S.



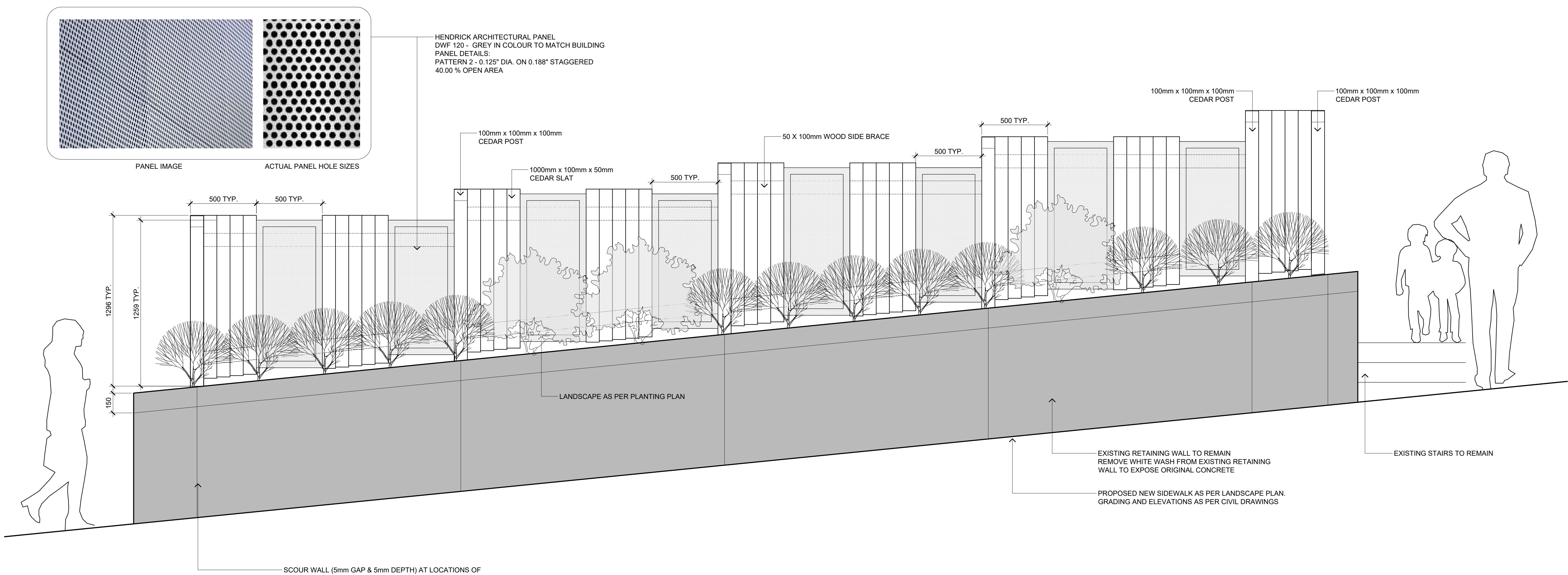
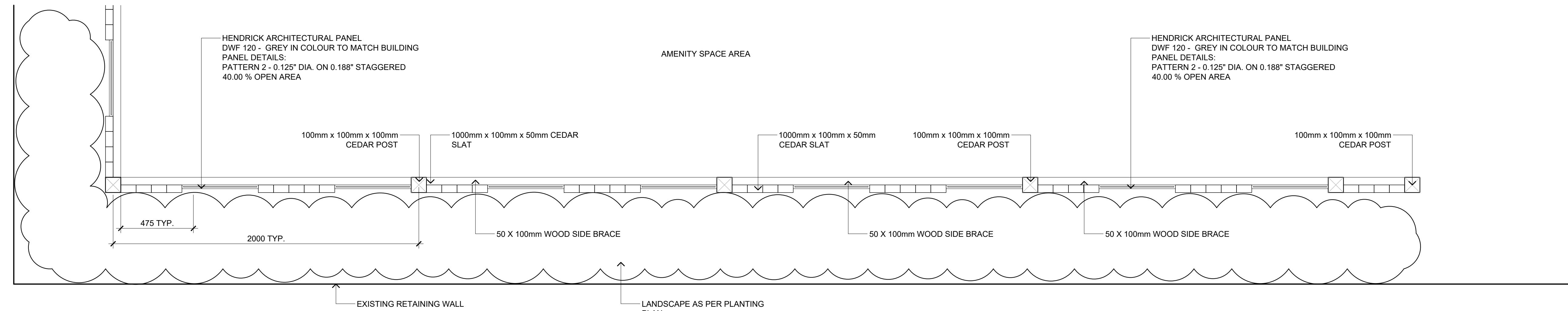
5 1.8m HIGH FENCE
L-07 SCALE: 1:15



MODEL: RAISED PLANTER
SIZE: 6' L X 3' W X 3' H
SUPPLIER: ZOFF'S GREENHOUSE PLANTER

Install as per manufacturer's standard. Each planter requires the manufacturer's staining package and poly liner.





1 1.2m HIGH FENCE
L-08 SCALE: 1:15



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PROJECT

BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C.

CLIENT

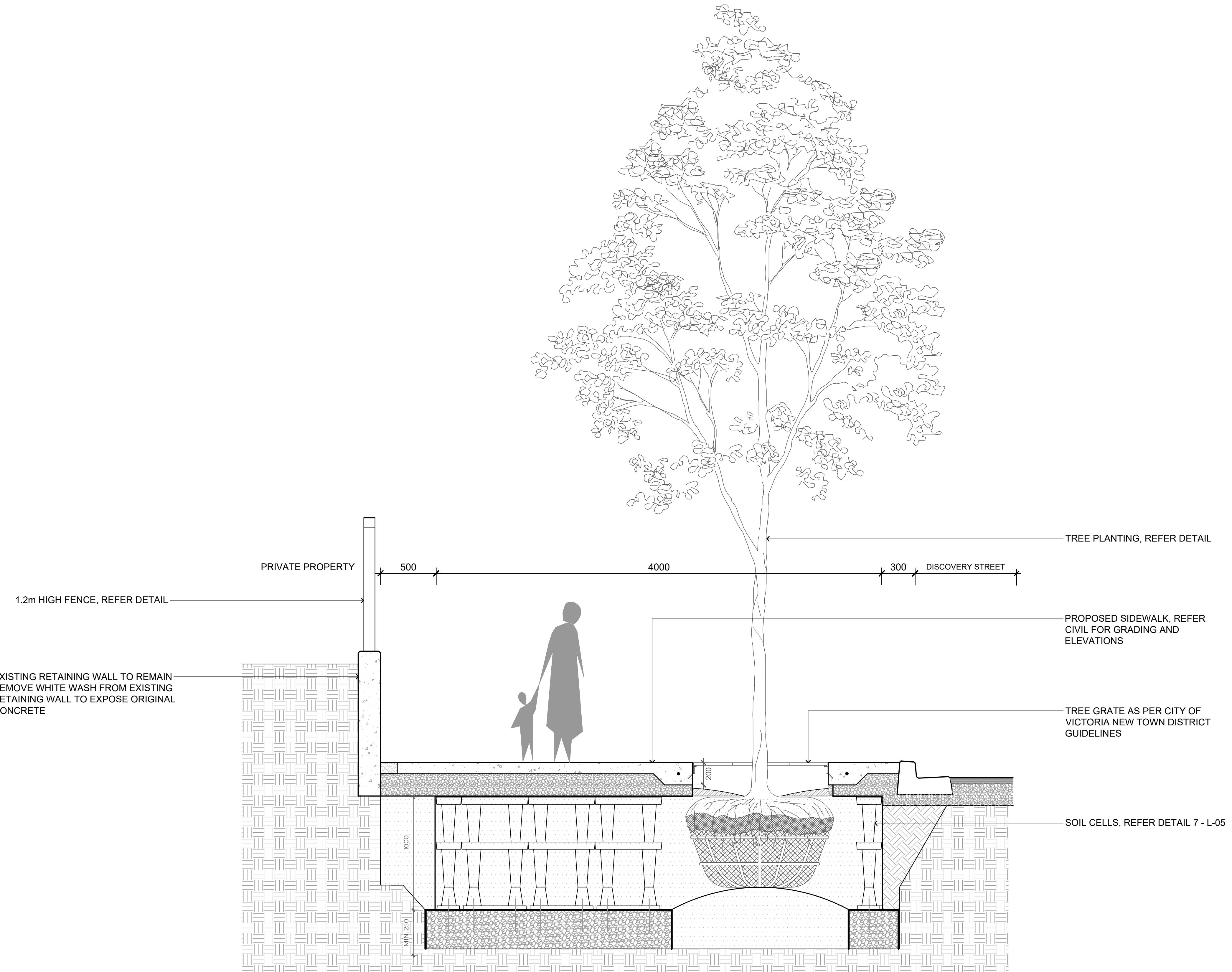
BC Housing

CONSULTANT

WSP

ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")			SEAL
14	25/01/23	REVISED BASED ON CITY COMMENTS	RC
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11	24/11/22	RESPONSE TO DDP COMMENTS	RC
NO	DATE	DESCRIPTION	BY

DESIGN BY	MjH	SHEET TITLE
DRAWN BY	ER / RC	FENCING DETAILS
CHECKED BY	GS / TC	
PROJECT #	211-01841-00	SHEET NO.
SCALE	AS SHOWN	L-08



1
L-09 TYPICAL SOIL SECTION - SOIL CELLS
SCALE: 1:20