

PROJECT IMAGE

DEVELOPMENT PERMIT APPLICATION

DRAWING INDEX



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CIVIL DRAWINGS

Sheet Number	Sheet Name
3757-01	SERVICING PLAN AND PROFILE GENERAL NOTES LOCATION PLAN

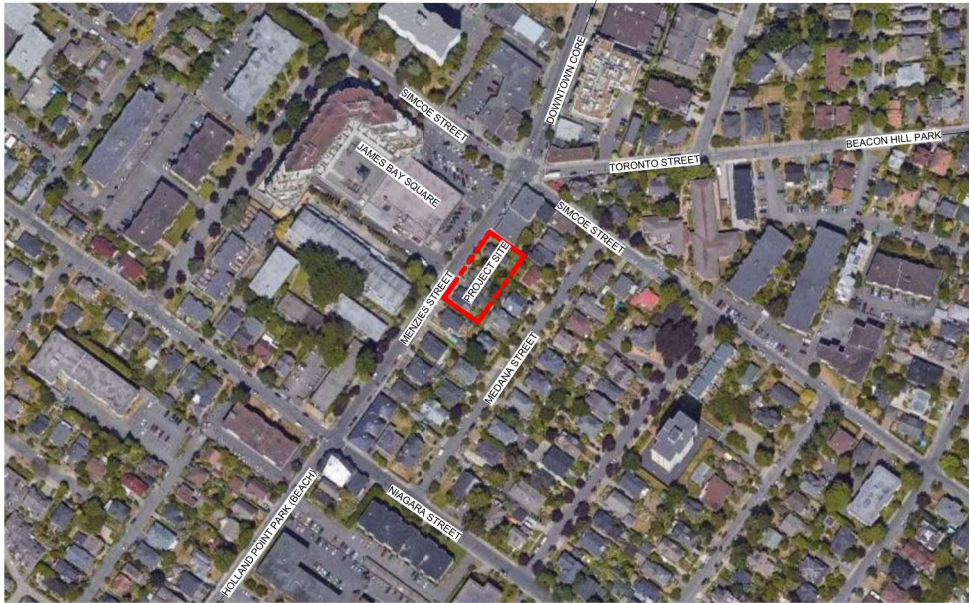
LANDSCAPE DRAWINGS

Sheet Number	Sheet Name
L100	LANDSCAPE CONCEPT PLAN
L101	LANDSCAPE CONCEPT PLAN (ROOF)



Revisions
Received Date:
June 13, 2024

LOCATION PLAN



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519 PANDORA AVENUE, VICTORIA, B.C. V8W 1N5 +1 250 388 4261



CONSTRUCTION

6	ISSUED FOR DP AMENDMENT	06/06/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP AMENDMENT	02/05/22
No.	Description	Date

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131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

COVER SHEET

JOB No.: 2403

SCALE: 1: 1

A-0.1

DATE: 2023/11/27



ZONING DATA

SITE DATA

MUNICIPAL ADDRESS:	131, 135 & 139 MENZIES STREET, VICTORIA BC, V8V 2G4
LEGAL DESCRIPTION:	LOT 22, 23 & 24, SECTION 11, BECKLEY FARM, VICTORIA CITY, PLAN 753
EXISTING LOT AREA:	918.78m ² (LOT 22 & 23) + 459.60m ² (LOT 24) = 1378.4m ²
CONSOLIDATED LOT AREA (POST DEDICATION):	828.83m ² (LOT 22 & 23) + 415.03m ² (LOT 24) = 1243.9m ²

ZONING DATA

AREA SCHEDULE - FSR APARTMENT		GROSS FLOOR BUILDING AREA	
		LEVEL	AREA (m ²)
L1	589 m ²	L1	743 m ²
L2	648.9 m ²	L2	688.4 m ²
L3	648.9 m ²	L3	688.4 m ²
L4	588.1 m ²	L4	623.6 m ²
TOTAL FSR AREA	2475 m ²	TOTAL GROSS AREA	2743.5 m ²

CLASSIFICATION:	EXISTING = R-2	REZONED
AVERAGE GRADE:	14.14m GEO	

	ALLOWABLE	PROPOSED
SITE COVERAGE:	497m ² (40%)	783.4 m ² (63.0%)
OPEN SITE SPACE:	373m ² (30%)	465.9 m ² (37.5%)
FSR:	0.5 - 1.0	1.99
BUILDING HEIGHT:	7.6m	14.10m*
NUMBER OF STOREYS:	1	4
SETBACKS:	REQUIRED	PROVIDED
FRONT YARD:	7.50m / 1.63m (AVG SIDE LOTS)	0.00m
REAR YARD:	10.70m	5.38m
SIDE YARD (NORTH):	3.00m / 1.50m MIN	3.35m
SIDE YARD (SOUTH):	3.00m / 1.50m MIN	3.30m
COMBINED SIDE YARDS:	4.5m	6.65m

CAR PARKING	REQUIRED	PROVIDED
< 45m ² (0.2/UNIT) x 34	6.8	1
45-70m ² (0.5/UNIT) x 5	2.5	
> 70m ² (0.75/UNIT) x 4	3	
VISITORS (0.1/UNIT) x 42	4.2	
COMMERCIAL (1/50m ²) 122m ²	3	
ACCESSIBLE SPACES	1 (VAN)	1
TOTAL	20	2

BICYCLE PARKING	REQUIRED	PROVIDED
< 45m ² (1.0/UNIT) x 34	34	31 U-RACK STALLS (ELEC) 2 SHARED U-RACK STALLS (ELEC) 34 WALL MOUNTED STALLS 9 CARGO BIKE STALLS (ELEC) 1 SHARED CARGO BIKE STALLS (ELEC) 8 VISITOR
45-70m ² (1.25/UNIT) x 5	6.25	
> 70m ² (1.25/UNIT) x 4	5	
VISITORS (6/BLDG)	6	
COMMERCIAL (1/200) 122m ²	1	
TOTAL	52	85

TOTAL UNITS BY AREA UNDER 45m ² (AREA FOR PARKING CALCULATION)		TOTAL UNITS BY AREA 45m ² TO 70m ² (AREA FOR PARKING CALCULATION)	
UNIT TYPE	AREA	UNIT TYPE	AREA
STUDIO	27.4 m ²	2 BEDROOM	56.4 m ²
27.4 m ² 3		56.4 m ² 5	
STUDIO	29.6 m ²	TOTAL UNIT COUNT: 5	
29.6 m ² 3		TOTAL UNITS BY AREA GREATER THAN 70m ² (AREA FOR PARKING CALCULATION)	
STUDIO	29.9 m ²		
29.9 m ² 13			
1 BEDROOM	42.8 m ²		
42.8 m ² 12			
1 BEDROOM	43.2 m ²		
43.2 m ² 3			
TOTAL UNIT COUNT: 34			

*NOTE: BUILDING HEIGHT INCLUDES TOLERANCE FOR POTENTIAL CHANGES TO CONSTRUCTION MATERIALS & METHODOLOGIES

1 | SITE PLAN

1:200

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ARCHITECTURE

519 PANDORA AVENUE, VICTORIA, B.C. V8W 1N5 | 250 388 4261

MIKE GERIC
CONSTRUCTION

VISUAL SCALE 1:200 @ Arch D

6	ISSUED FOR DP AMENDMENT	06/06/24
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1	ISSUED FOR DP AMENDMENT	03/05/22
No.	Description	Date

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Issued for DP Amendment
REGISTERED ARCHITECT
BRITISH COLUMBIA
2024-06-10

131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

SITE PLAN

A-1.0

JOB No.: 2403

SCALE: As indicated

DATE: 2023-04-04



SURVEY PROVIDED BY: POWELL & ASSOCIATES, DATED: DECEMBER 15, 2021 / UNDERGROUND SITE SERVICES TAKEN FROM THE CITY OF VICTORIA OPEN DATA PORTAL

1 | SITE PLAN - EXISTING / DEMO
1 : 200
0m 4m 8m 12m 16m 20m
VISUAL SCALE 1:200 @ Arch D

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MIKE GERIC
CONSTRUCTION

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1	ISSUED FOR DP AMENDMENT	03/05/22
No.	Description	Date

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REGISTERED ARCHITECT
BRITISH COLUMBIA
2024-06-10

131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

SITE PLAN - EXISTING / DEMO

JOB No.: 2403

SCALE: 1 : 200

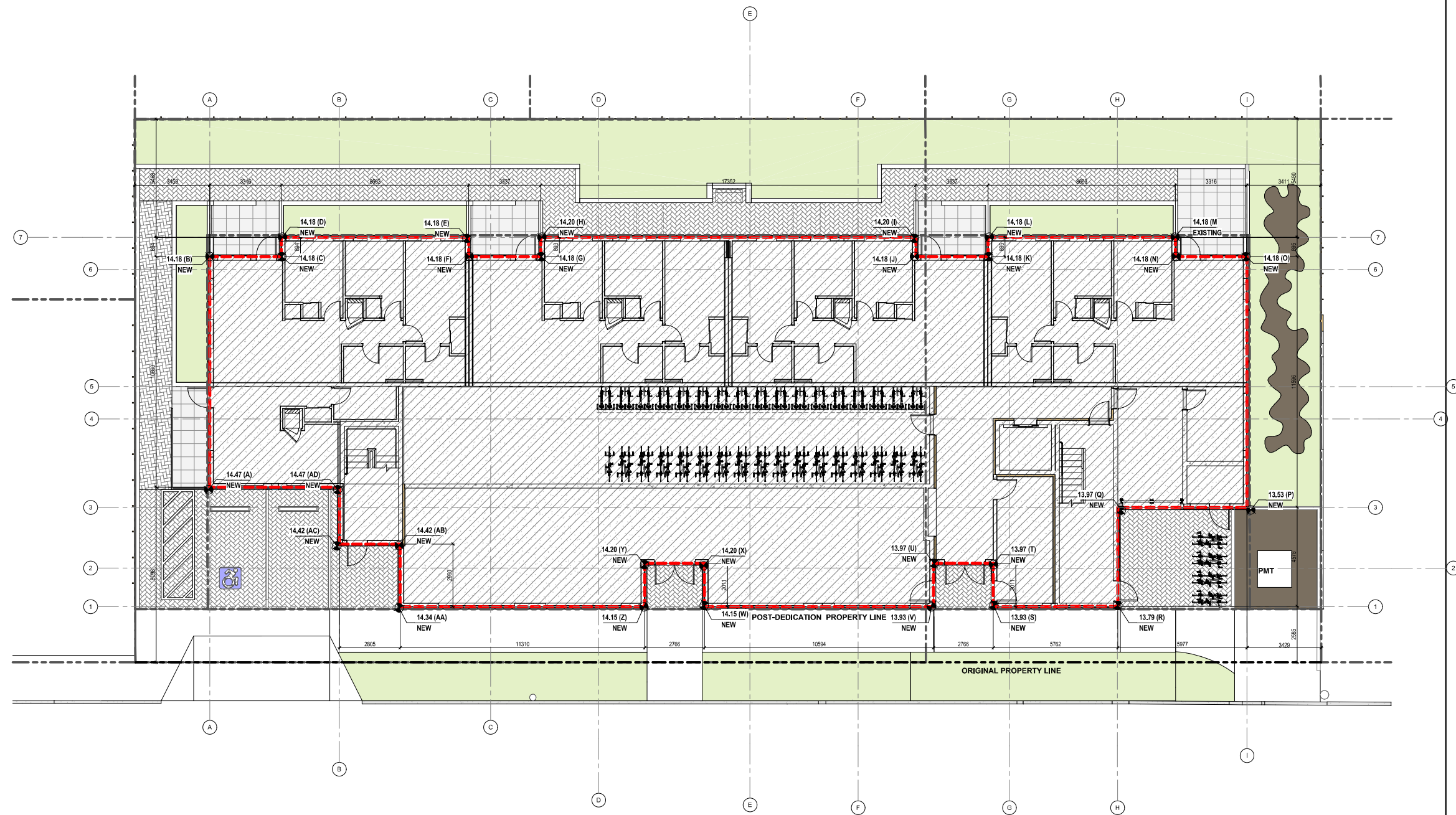
A-1.1

DATE: 02/05/22

AVERAGE GRADE CALCULATION

Points	Average of points	Distance	Totals
A-B	14.325	10.66	152.70
B-C	14.18	3.32	47.02
C-D	14.18	0.89	12.68
D-E	14.18	8.66	122.84
E-F	14.18	0.89	12.66
F-G	14.18	3.34	47.32
G-H	14.19	0.89	12.67
H-I	14.2	17.35	246.40
I-J	14.19	0.89	12.69
J-K	14.18	3.34	47.32
K-L	14.18	0.89	12.68
L-M	14.18	8.66	122.84
M-N	14.18	0.90	12.69
N-O	14.18	3.32	47.02
O-P	13.855	11.60	160.66
P-Q	13.75	5.98	82.18
Q-R	13.88	4.58	63.54
R-S	13.86	5.76	79.86
S-T	13.95	2.01	28.05
T-U	13.97	2.77	38.64
U-V	13.95	2.01	28.05
V-W	14.04	10.59	148.74
W-X	14.175	2.01	28.51
X-Y	14.2	2.77	39.28
Y-Z	14.175	2.01	28.51
Z-AA	14.245	11.31	161.11
AA-AB	14.38	2.90	41.70
AB-AC	14.42	2.81	40.45
AC-AD	14.445	2.63	38.03
AD-A	14.47	6.01	86.89
		141.74	2003.74

AVERAGE GRADE: 14.14 m (GEO)



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MIKE GERIC
CONSTRUCTION

0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ Arch D

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REGISTERED ARCHITECT
BRITISH COLUMBIA
2024-06-10

131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

AVERAGE GRADE PLAN

JOB No.: 2403

SCALE: 1: 100

A-1.2

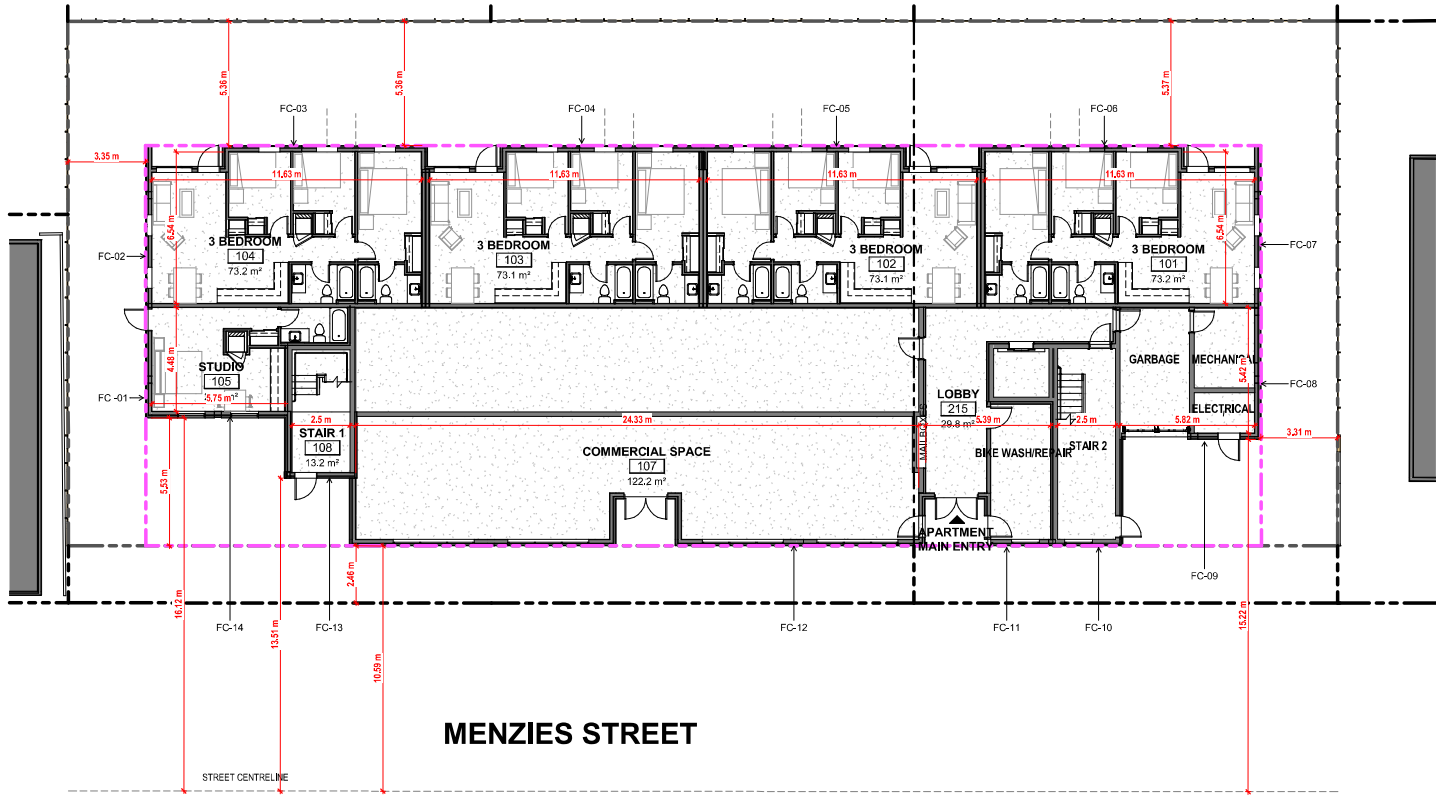
DATE: 02/05/22

LIMITING DISTANCE CALCATIONS PART 3

LEVEL 1				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-01	16.84 / 1.95	12% / 40%	3.35	3.35
FC-02	24.59 / 2.79	11% / 30%	3.35	3.35
EAST ELEVATION				
FC-03	43.73 / 8.46	19% / 52%	5.37	5.37
FC-04	43.73 / 8.46	19% / 52%	5.37	5.37
FC-05	43.73 / 8.46	19% / 52%	5.37	5.37
FC-06	43.73 / 8.46	19% / 52%	5.37	5.37
SOUTH ELEVATION				
FC-07	24.59 / 4.74	19% / 30%	3.31	3.31
FC-08	20.38 / 0.00	0% / 32%	3.31	3.31
WEST ELEVATION				
FC-09	21.88 / 7.16	33% / 100%	15.22	15.22
FC-10	9.40 / 3.30	38% / 100%	10.59	10.59
FC-11	20.27 / 3.30	16% / 100%	10.59	10.59
FC-12	91.48 / 42.28	46% / 96%	10.59	10.59
FC-13	9.40 / 3.30	38% / 100%	13.51	13.51
FC-14	21.82 / 6.60	31% / 100%	16.12	16.12
LEVEL 2 & 3 (2.74M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-15a	7.89 / 2.79	35% / 61%	3.35	3.35
FC-15b	10.03 / 3.81	38% / 94%	4.36	4.36
FC-15c	11.29 / 3.72	33% / 57%	3.35	3.35
EAST ELEVATION				
FC-16	31.87 / 1.39	4% / 95%	6.86	6.86
FC-17	16.30 / 7.87	43% / 92%	5.38	5.38
FC-18	12.89 / 2.79	22% / 100%	5.38	5.38
FC-19	18.30 / 7.87	43% / 92%	5.38	5.38
FC-20	12.89 / 2.79	22% / 100%	5.38	5.38
FC-21	18.30 / 7.87	43% / 92%	5.38	5.38
FC-22	12.89 / 2.79	22% / 100%	5.38	5.38
FC-23	31.87 / 1.39	4% / 95%	6.86	6.86
SOUTH ELEVATION				
FC-24a	7.89 / 2.79	35% / 60%	3.32	3.32
FC-24b	10.03 / 3.81	38% / 94%	4.33	4.33
FC-24c	11.29 / 3.72	33% / 56%	3.32	3.32
WEST ELEVATION				
FC-25	15.45 / 1.10	7% / 100%	15.24	15.24
FC-26	6.99 / 0.74	11% / 100%	12.42	12.42
FC-27	16.20 / 5.08	32% / 100%	12.42	12.42
FC-28	12.89 / 2.79	22% / 100%	12.42	12.42
FC-29	18.17 / 7.87	43% / 100%	12.42	12.42
FC-30	12.89 / 2.79	22% / 100%	12.42	12.42
FC-31	18.17 / 7.87	43% / 100%	12.42	12.42
FC-32	6.99 / 0.74	11% / 100%	12.42	12.42
FC-33	15.45 / 1.10	7% / 100%	15.24	15.24
LEVEL 4 (2.85M / 3.50M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-34a	7.89 / 2.79	35% / 61%	3.35	3.35
FC-34b	10.03 / 3.81	38% / 94%	4.36	4.36
FC-34c	11.29 / 3.72	33% / 57%	3.35	3.35
EAST ELEVATION				
FC-35	33.15 / 1.39	4% / 94%	6.86	6.86
FC-36	23.38 / 7.87	43% / 92%	5.38	5.38
FC-37	16.21 / 2.79	17% / 97%	5.38	5.38
FC-38	23.38 / 7.87	43% / 92%	5.38	5.38
FC-39	16.21 / 2.79	17% / 97%	5.38	5.38
FC-40	23.38 / 7.87	43% / 92%	5.38	5.38
FC-41	16.21 / 2.79	17% / 97%	5.38	5.38
SOUTH ELEVATION				
FC-42	22.61 / 1.12	5% / 100%	9.33	9.33
FC-43	5.26 / 1.95	37% / 100%	9.33	9.33
FC-44	11.29 / 3.72	26% / 100%	9.33	9.33
WEST ELEVATION				
FC-45	15.45 / 1.10	7% / 100%	12.42	12.42
FC-46	20.44 / 0.74	25% / 100%	12.42	12.42
FC-47	16.21 / 5.08	31% / 100%	12.42	12.42
FC-48	23.21 / 7.87	34% / 100%	12.42	12.42
FC-49	16.21 / 5.08	31% / 100%	12.42	12.42
FC-50	23.21 / 7.87	34% / 100%	12.42	12.42
FC-51	15.45 / 1.10	7% / 100%	12.42	12.42
FC-52	13.20 / 1.12	8% / 100%	15.24	15.24

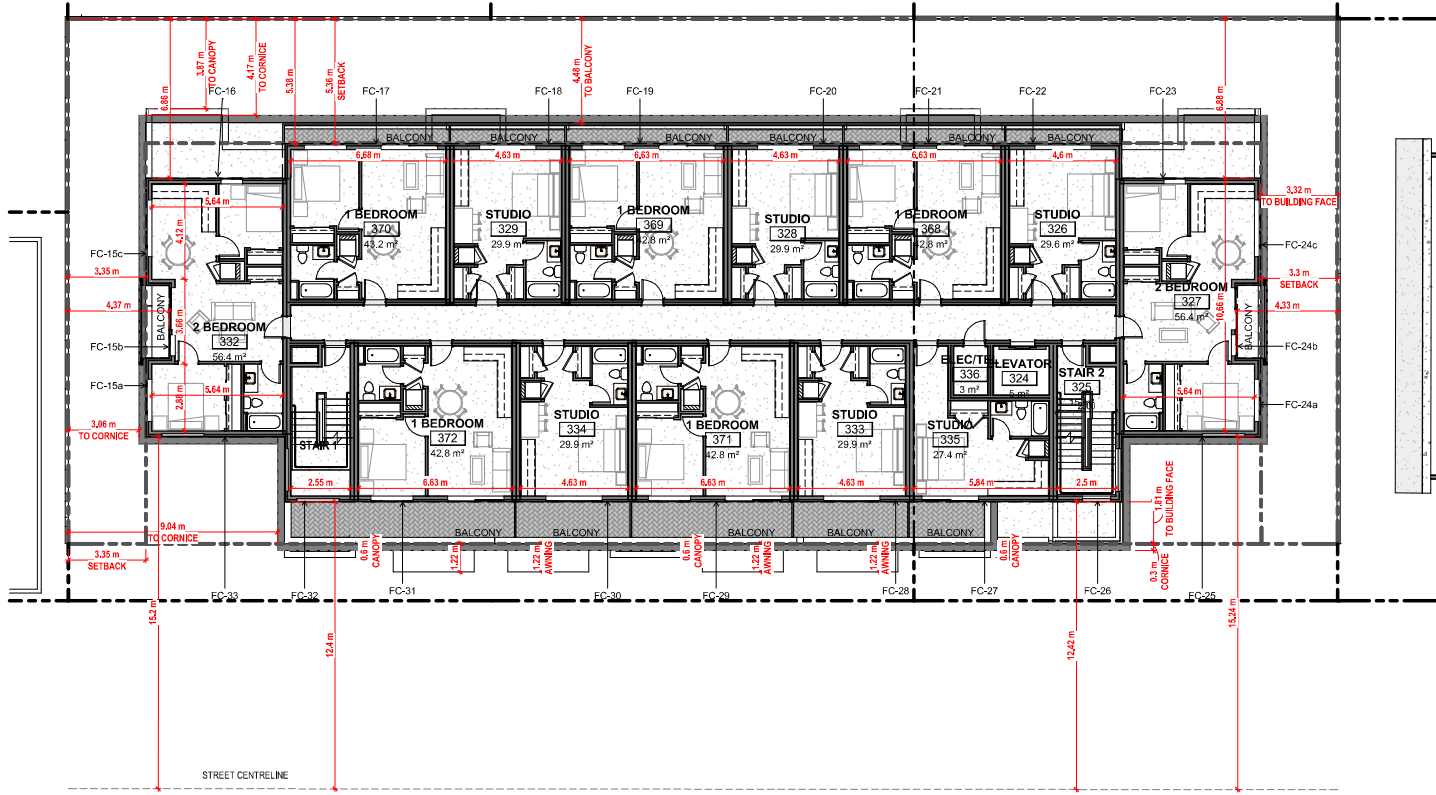
1 L1 FLOOR PLAN, LD CALCULATION

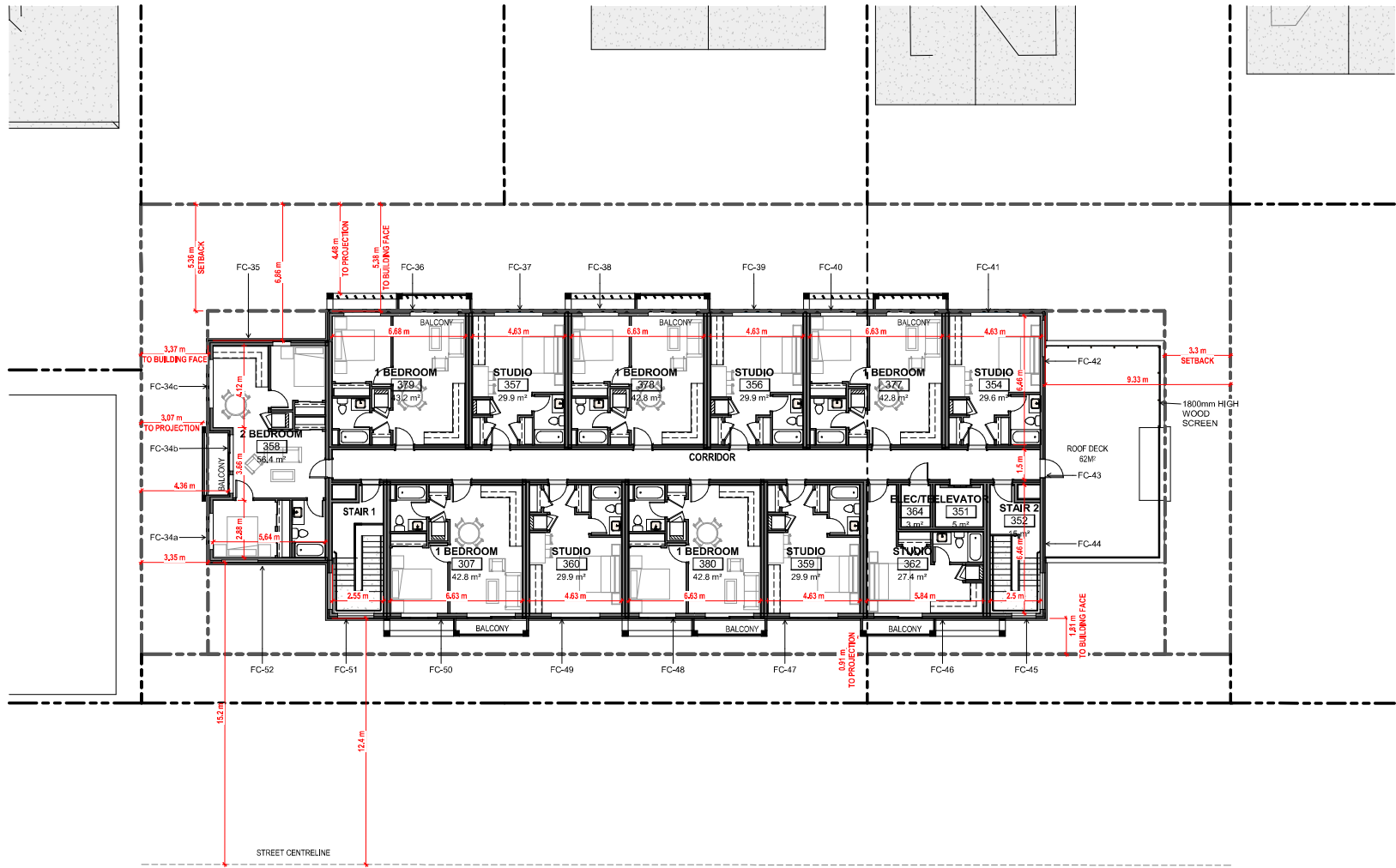
1 : 150



2 L2 FLOOR PLAN, LD CALCULATION

1 : 150





LIMITING DISTANCE CALCLATIONS PART 3

LEVEL 1				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-01	16.84 / 1.95	12% / 40%	3.35	3.35
FC-02	24.59 / 2.79	11% / 30%	3.35	3.35
EAST ELEVATION				
FC-03	43.73 / 8.46	19% / 52%	5.37	5.37
FC-04	43.73 / 8.46	19% / 52%	5.37	5.37
FC-05	43.73 / 8.46	19% / 52%	5.37	5.37
FC-06	43.73 / 8.46	19% / 52%	5.37	5.37
SOUTH ELEVATION				
FC-07	24.59 / 4.74	19% / 30%	3.31	3.31
FC-08	20.38 / 0.00	0% / 32%	3.31	3.31
WEST ELEVATION				
FC-09	21.88 / 7.18	33% / 100%	15.22	15.22
FC-10	9.40 / 3.30	35% / 100%	10.59	10.59
FC-11	20.27 / 3.30	16% / 100%	10.59	10.59
FC-12	91.48 / 42.28	46% / 96%	10.59	10.59
FC-13	9.40 / 3.30	35% / 100%	13.51	13.51
FC-14	21.62 / 6.60	31% / 100%	16.12	16.12
LEVEL 2 & 3 (2.74M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	IMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-15a	7.89 / 2.79	35% / 61%	3.35	3.35
FC-15b	10.03 / 3.81	38% / 94%	4.36	4.36
FC-15c	11.29 / 3.72	33% / 57%	3.35	3.35
EAST ELEVATION				
FC-16	31.87 / 1.39	4% / 95%	6.86	6.86
FC-17	18.30 / 7.87	43% / 92%	5.38	5.38
FC-18	12.69 / 2.79	22% / 100%	5.38	5.38
FC-19	18.30 / 7.87	43% / 92%	5.38	5.38
FC-20	12.69 / 2.79	22% / 100%	5.38	5.38
FC-21	18.30 / 7.87	43% / 92%	5.38	5.38
FC-22	12.69 / 2.79	22% / 100%	5.38	5.38
FC-23	31.87 / 1.39	4% / 95%	6.86	6.86
SOUTH ELEVATION				
FC-24a	7.89 / 2.79	35% / 60%	3.32	3.32
FC-24b	10.03 / 3.81	38% / 94%	4.33	4.33
FC-24c	11.29 / 3.72	33% / 56%	3.32	3.32
WEST ELEVATION				
FC-25	15.45 / 1.10	7% / 100%	15.24	15.24
FC-26	6.99 / 0.74	11% / 100%	12.42	12.42
FC-27	16.00 / 5.08	32% / 100%	12.42	12.42
FC-28	12.69 / 2.79	22% / 100%	12.42	12.42
FC-29	18.17 / 7.87	43% / 100%	12.42	12.42
FC-30	12.69 / 2.79	22% / 100%	12.42	12.42
FC-31	18.17 / 7.87	43% / 100%	12.42	12.42
FC-32	6.99 / 0.74	11% / 100%	12.42	12.42
FC-33	15.45 / 1.10	7% / 100%	15.24	15.24
LEVEL 4 (2.89M / 3.50M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	IMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-34a	7.89 / 2.79	35% / 61%	3.35	3.35
FC-34b	10.03 / 3.81	38% / 94%	4.36	4.36
FC-34c	11.29 / 3.72	33% / 57%	3.35	3.35
EAST ELEVATION				
FC-35	33.15 / 1.39	4% / 94%	6.86	6.86
FC-36	23.38 / 7.87	43% / 92%	5.38	5.38
FC-37	16.21 / 2.79	17% / 97%	5.38	5.38
FC-38	23.38 / 7.87	43% / 92%	5.38	5.38
FC-39	16.21 / 2.79	17% / 97%	5.38	5.38
FC-40	23.38 / 7.87	43% / 92%	5.38	5.38
FC-41	16.21 / 2.79	17% / 97%	5.38	5.38
SOUTH ELEVATION				
FC-42	22.81 / 1.12	5% / 100%	9.33	9.33
FC-43	5.26 / 1.95	37% / 100%	9.33	9.33
FC-44	11.29 / 3.72	26% / 100%	9.33	9.33
WEST ELEVATION				
FC-45	15.45 / 1.10	7% / 100%	12.42	12.42
FC-46	20.44 / 0.74	25% / 100%	12.42	12.42
FC-47	16.21 / 5.08	31% / 100%	12.42	12.42
FC-48	23.21 / 7.87	34% / 100%	12.42	12.42
FC-49	16.21 / 5.08	31% / 100%	12.42	12.42
FC-50	23.21 / 7.87	34% / 100%	12.42	12.42
FC-51	15.45 / 1.10	7% / 100%	12.42	12.42
FC-52	13.20 / 1.12	8% / 100%	15.24	15.24

1 | L4 FLOOR PLAN CODE
1 : 150

131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

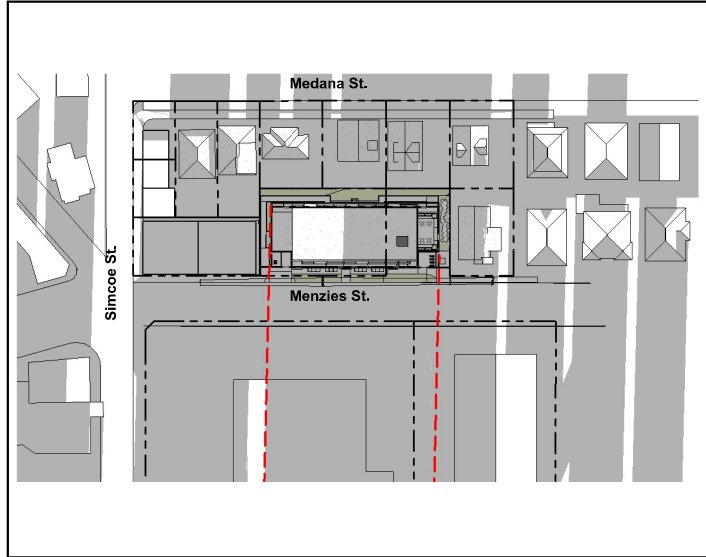
CODE PLANS

A-1.4

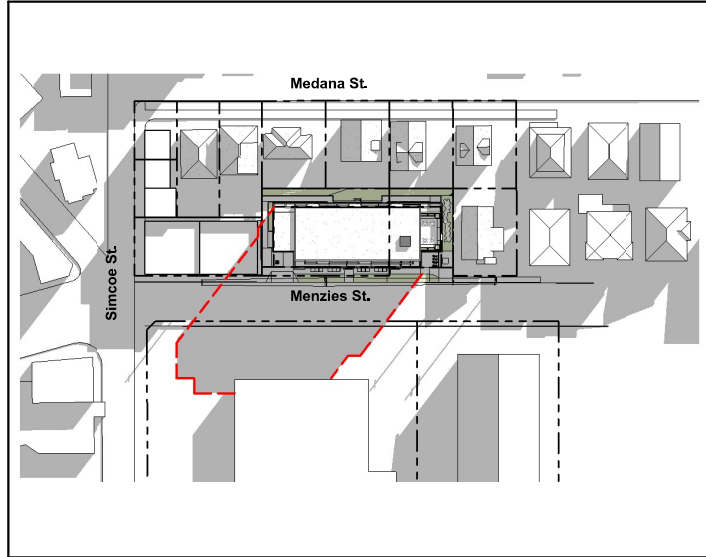
JOB No.: 2403

SCALE: As indicated

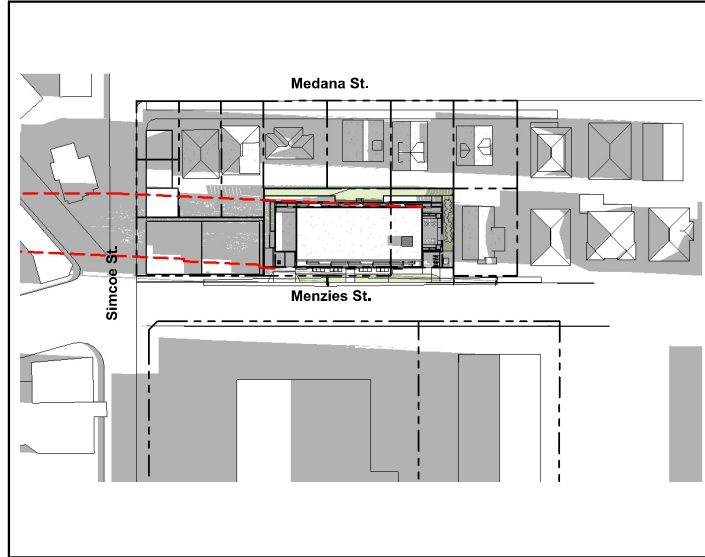
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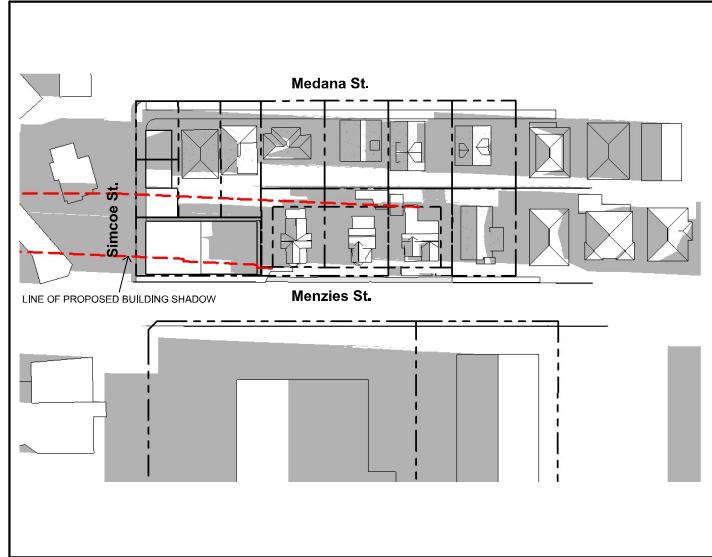
1 | SHADOWS - WINTER SOLTICE - 8am
1 : 1000



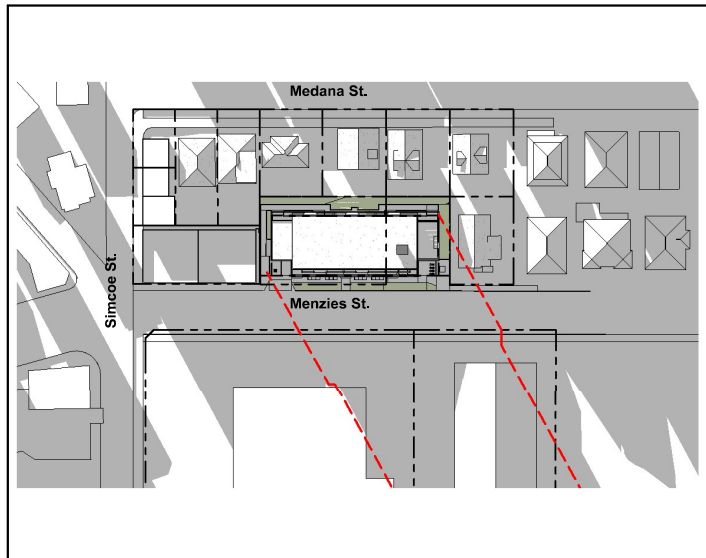
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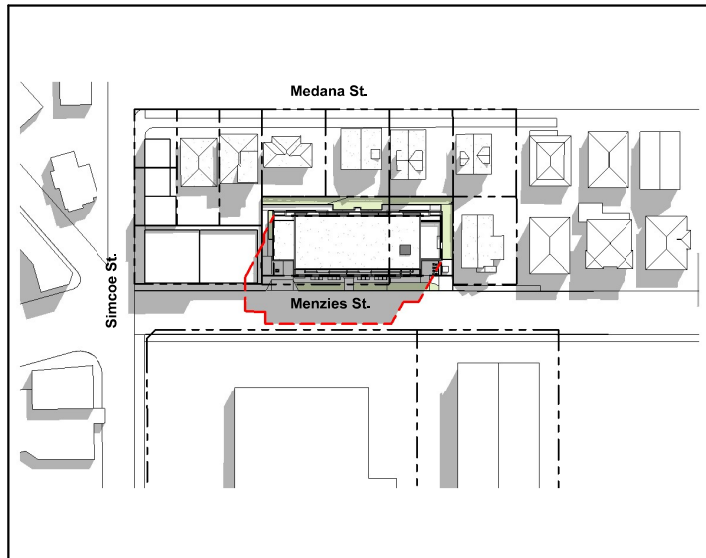
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1 : 1000



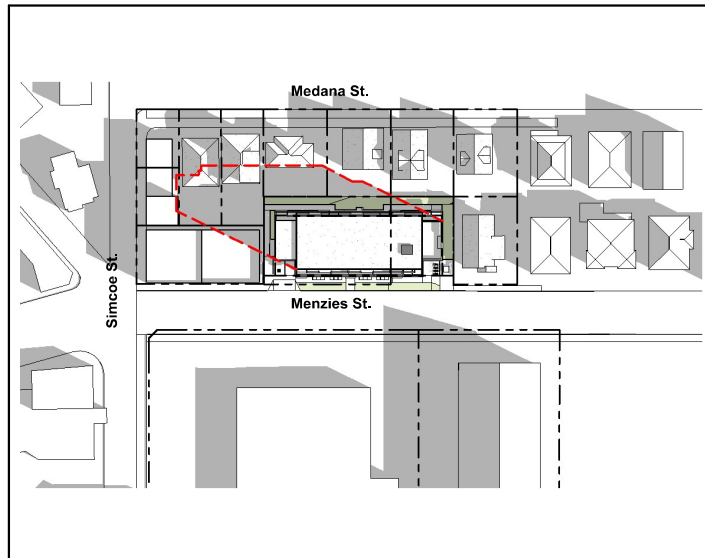
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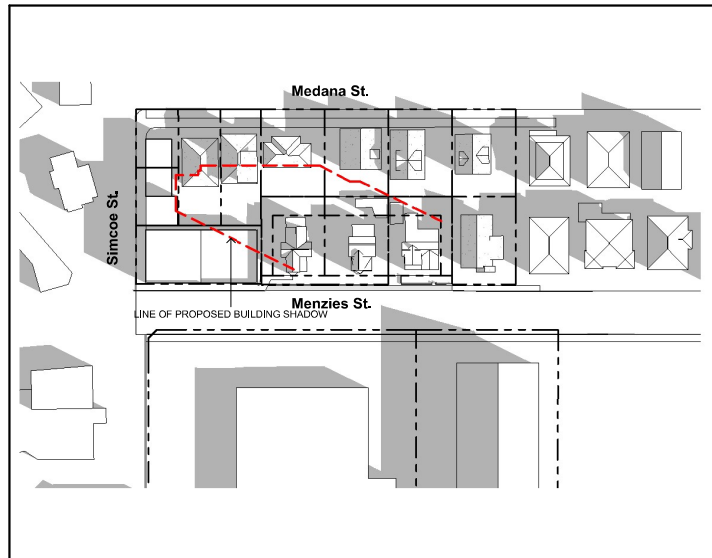
5 | SHADOWS-SPRING/AUTUMN EQUINOX-8am
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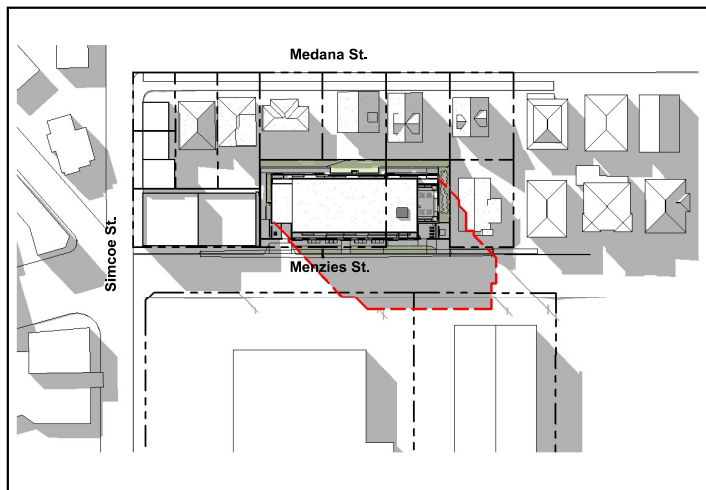
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1 : 1000



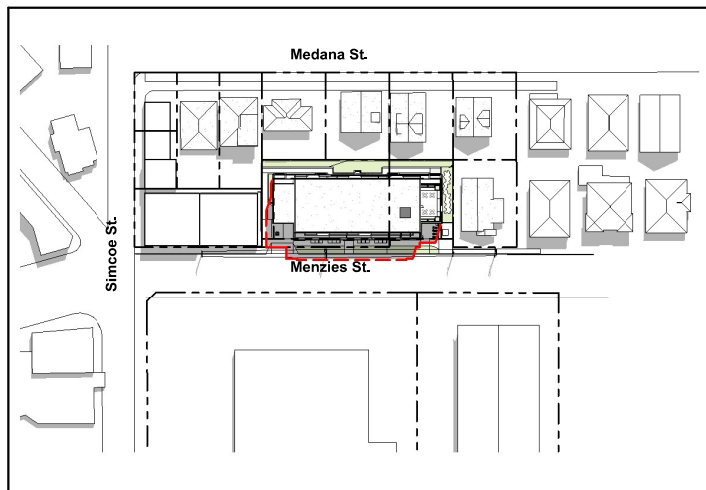
7 | SHADOWS-SPRING/AUTUMN EQUINOX-5pm
1 : 1000



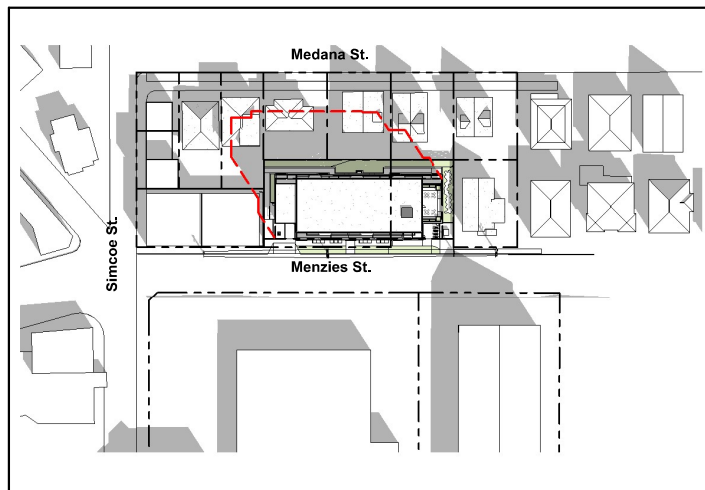
8 | EXISTING SHADOWS - EQUINOX - 5pm
1 : 1000



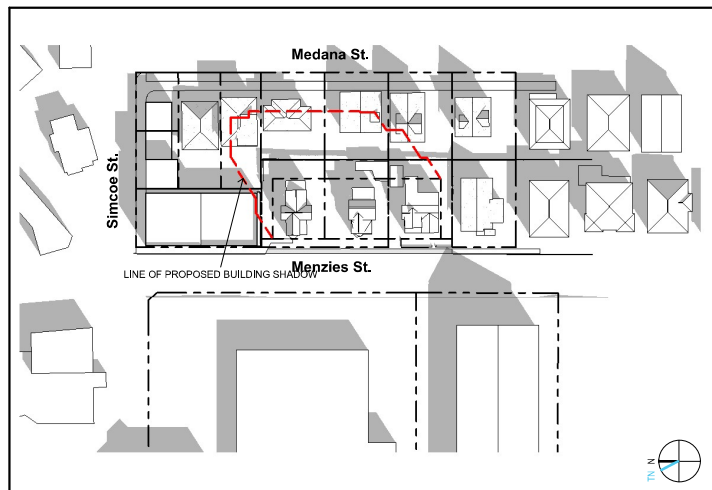
9 | SHADOWS - SUMMER SOLTICE - 8am
1 : 1000



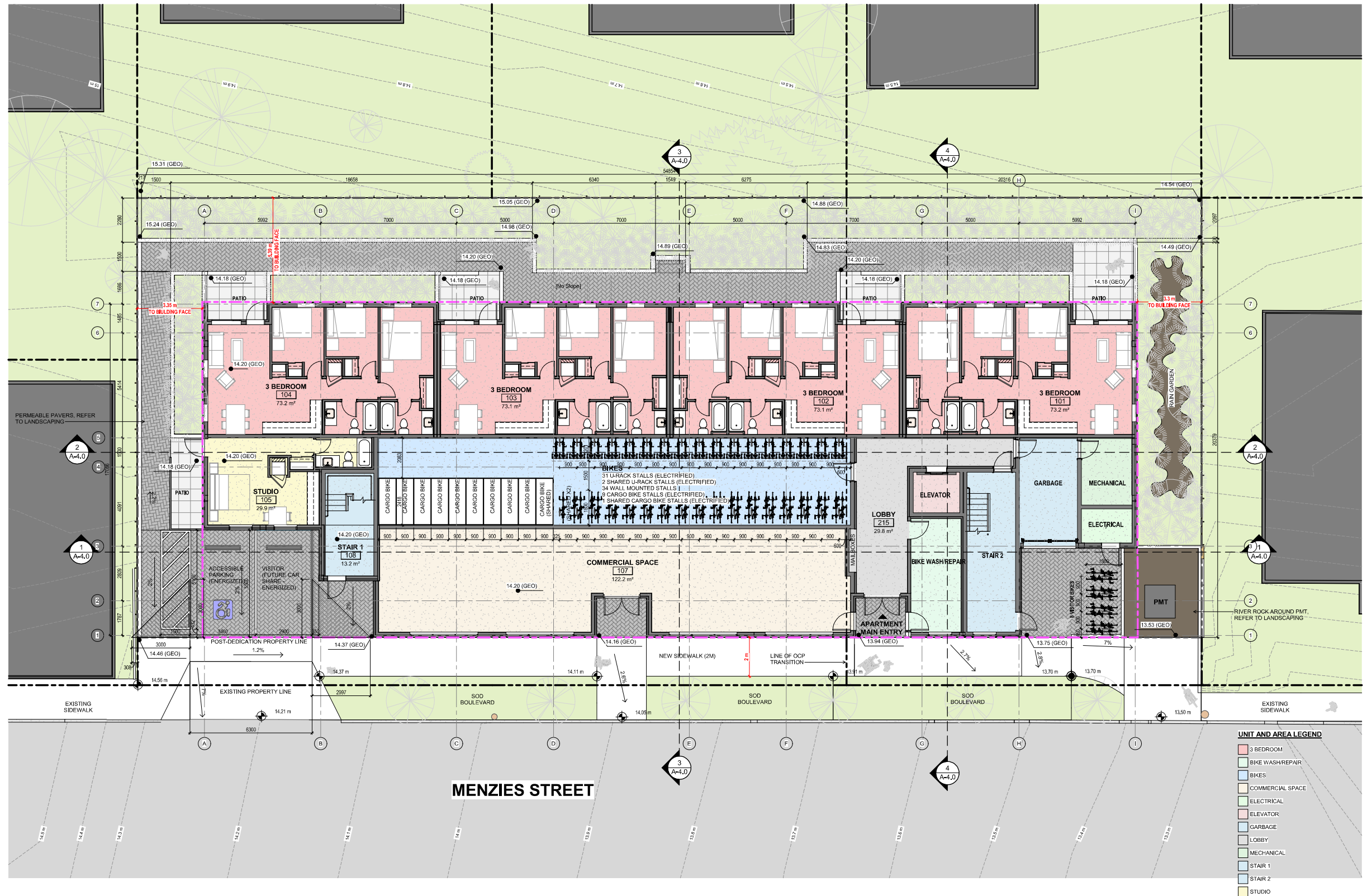
10 | SHADOWS - SUMMER SOLTICE - NOON
1 : 1000



11 | SHADOWS - SUMMER SOLTICE - 6pm
1 : 1000



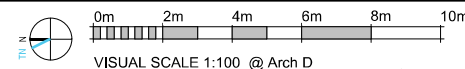
12 | EXISTING SHADOWS- SUMMER SOLTICE-6pm
1 : 1000



1 | L1 FLOOR PLAN
1:100

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MIKE GERIC
CONSTRUCTION



VISUAL SCALE 1:100 @ Arch D

6	ISSUED FOR DP AMENDMENT	06/06/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP AMENDMENT	03/05/22
No.	Description	Date

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REGISTERED ARCHITECT
BRITISH COLUMBIA
2024-06-10

131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

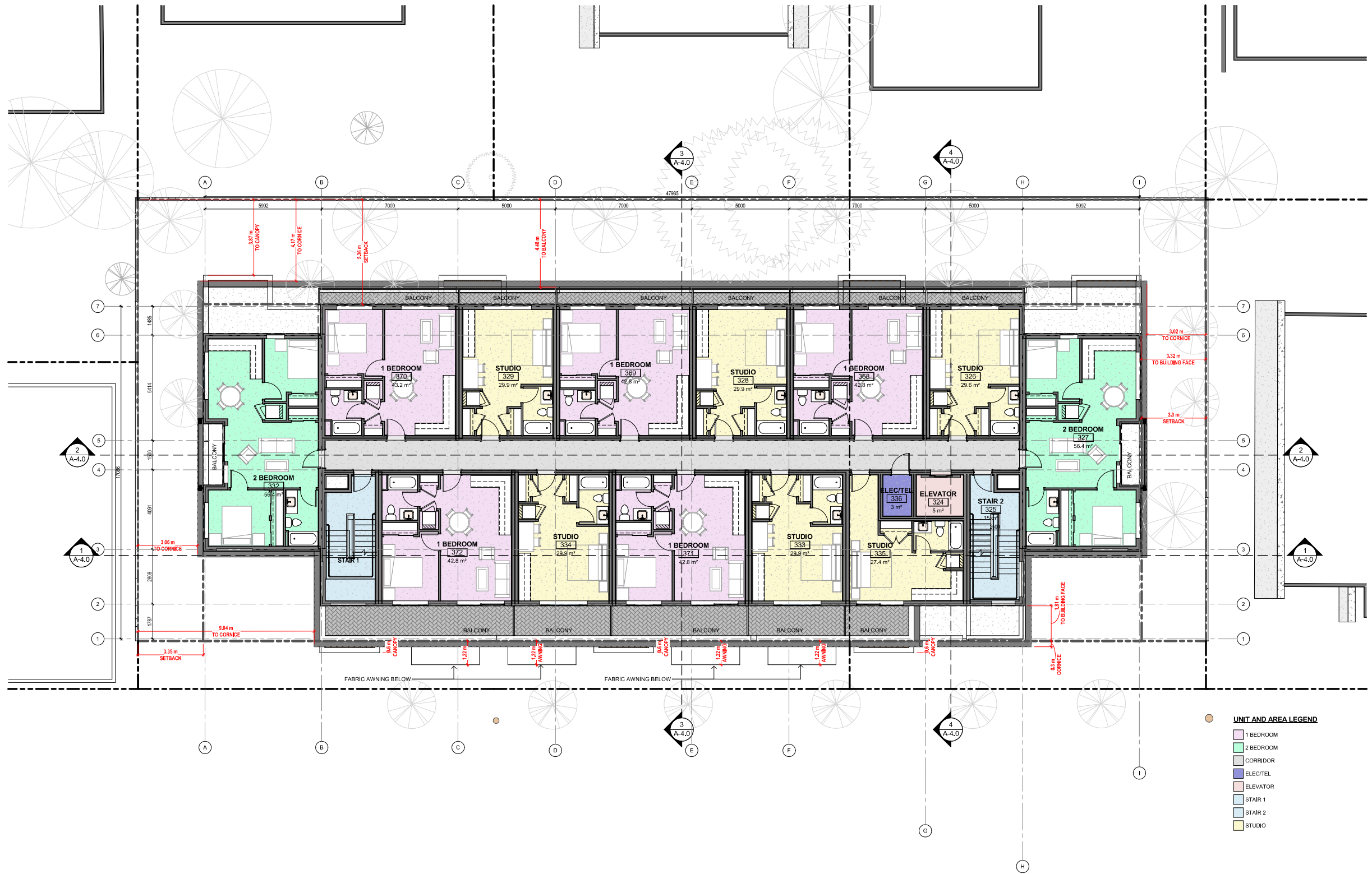
LEVEL 1 FLOOR PLAN

JOB No.: 2403

SCALE: 1:100

A-2.1

DATE: 2024-03-21

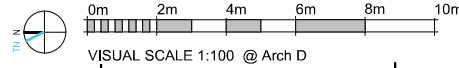


- UNIT AND AREA LEGEND**
- 1 BEDROOM
 - 2 BEDROOM
 - CORRIDOR
 - ELEC/TEL
 - ELEVATOR
 - STAIR 1
 - STAIR 2
 - STUDIO

1 | L2 FLOOR PLAN
1 : 100

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3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/06/23
1	ISSUED FOR DP AMENDMENT	03/05/22
No.	Description	Date



131 MENZIES ST.

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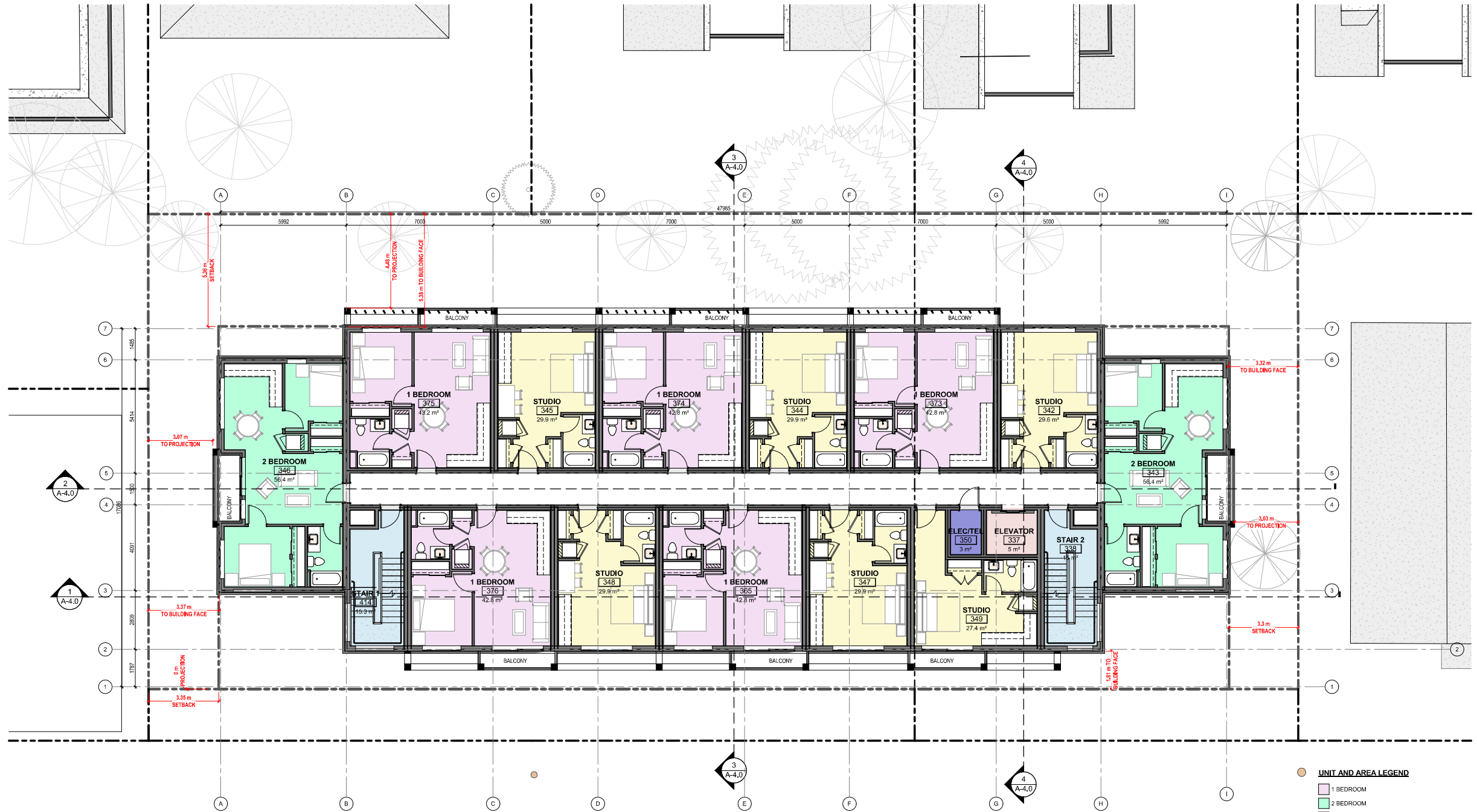
LEVEL 2 FLOOR PLAN

JOB No.: 2403

SCALE: 1 : 100

A-2.2

DATE: 2023-03-14



- UNIT AND AREA LEGEND
- 1 BEDROOM
 - 2 BEDROOM
 - ELEC/TEL
 - ELEVATOR
 - STAIR 1
 - STAIR 2
 - STUDIO

1 | L3 FLOOR PLAN

1 : 100

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MIKE GERIC
CONSTRUCTION



0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ Arch D

6	ISSUED FOR DP AMENDMENT	06/06/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/08/23
1	ISSUED FOR DP AMENDMENT	03/05/22
No.	Description	Date

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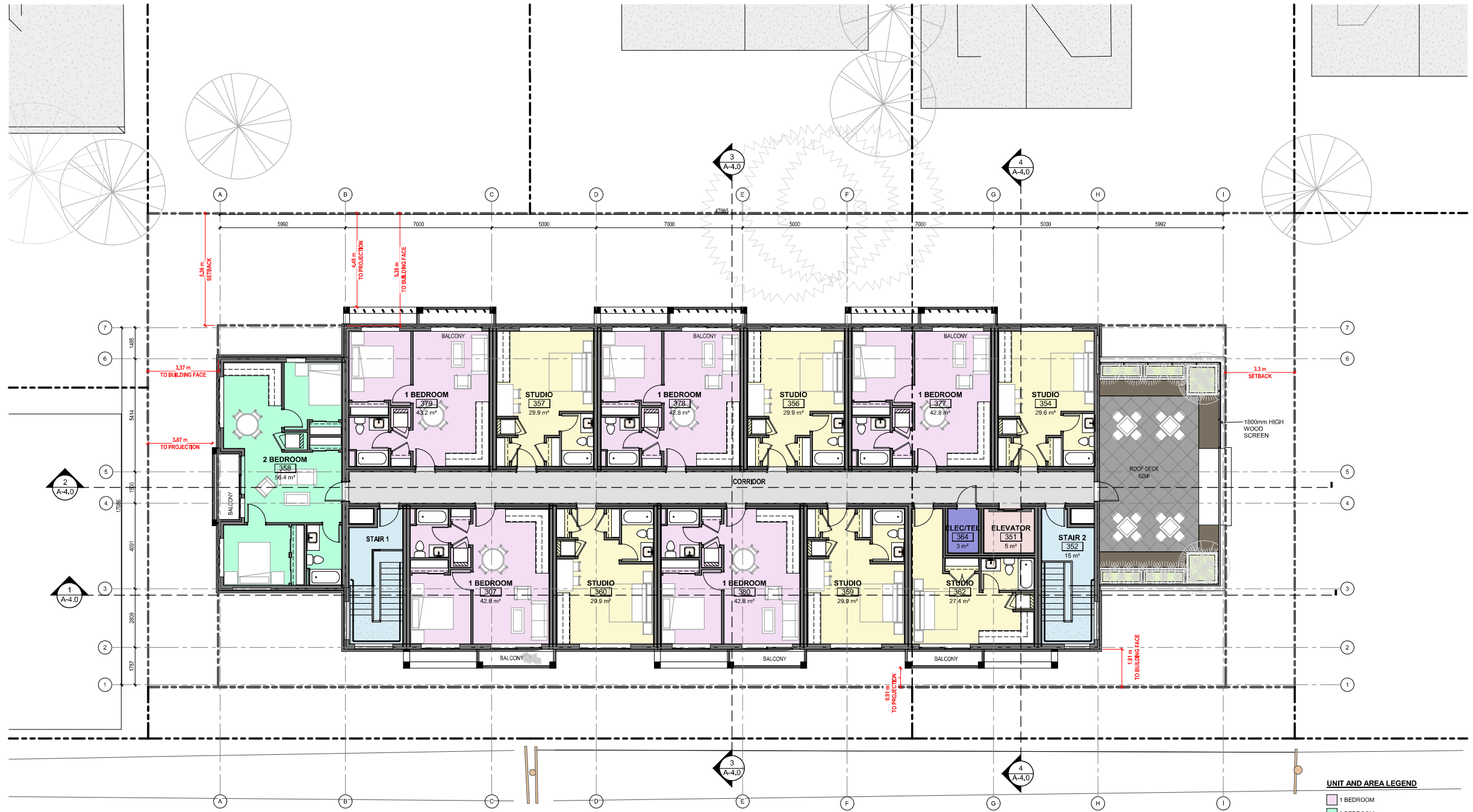
LEVEL 3 FLOOR PLAN

JOB No.: 2403

SCALE: 1 : 100

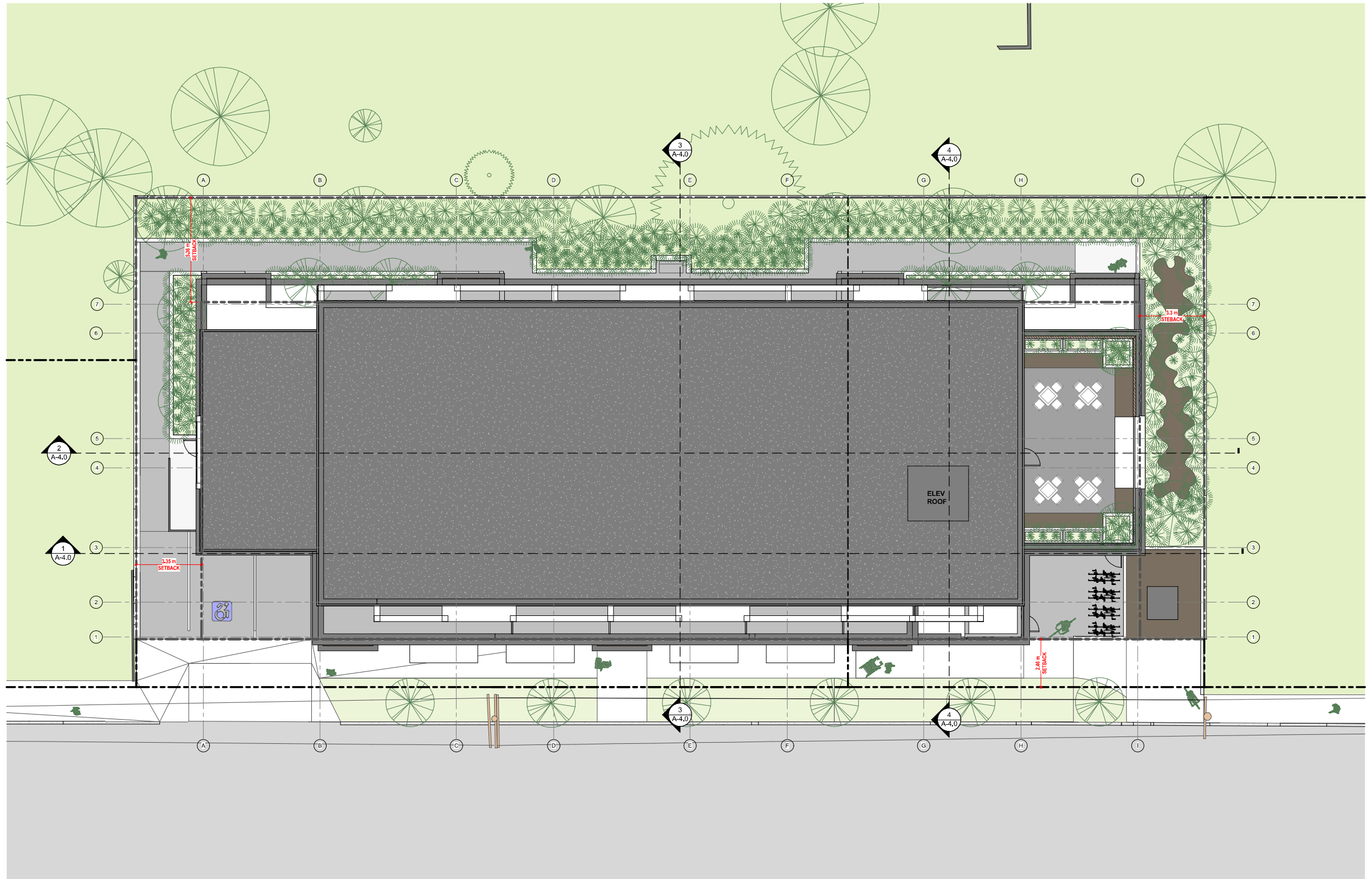
A-2.3

DATE: 02/05/22



UNIT AND AREA LEGEND

1 BEDROOM	2 BEDROOM	CORRIDOR	ELECTEL	ELEVATOR	STAIR 1	STAIR 2	STUDIO
-----------	-----------	----------	---------	----------	---------	---------	--------



1 | ROOF PLAN

1 : 100

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CONSTRUCTION



0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ Arch D

6	ISSUED FOR DP AMENDMENT	06/06/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
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2	ISSUED FOR DP AMENDMENT	05/08/23
1	ISSUED FOR DP AMENDMENT	03/05/22
No.	Description	Date

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131 MENZIES ST.

131 MENZIES STREET
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ROOF PLAN

JOB No.: 2403

SCALE: 1 : 100

A-2.5

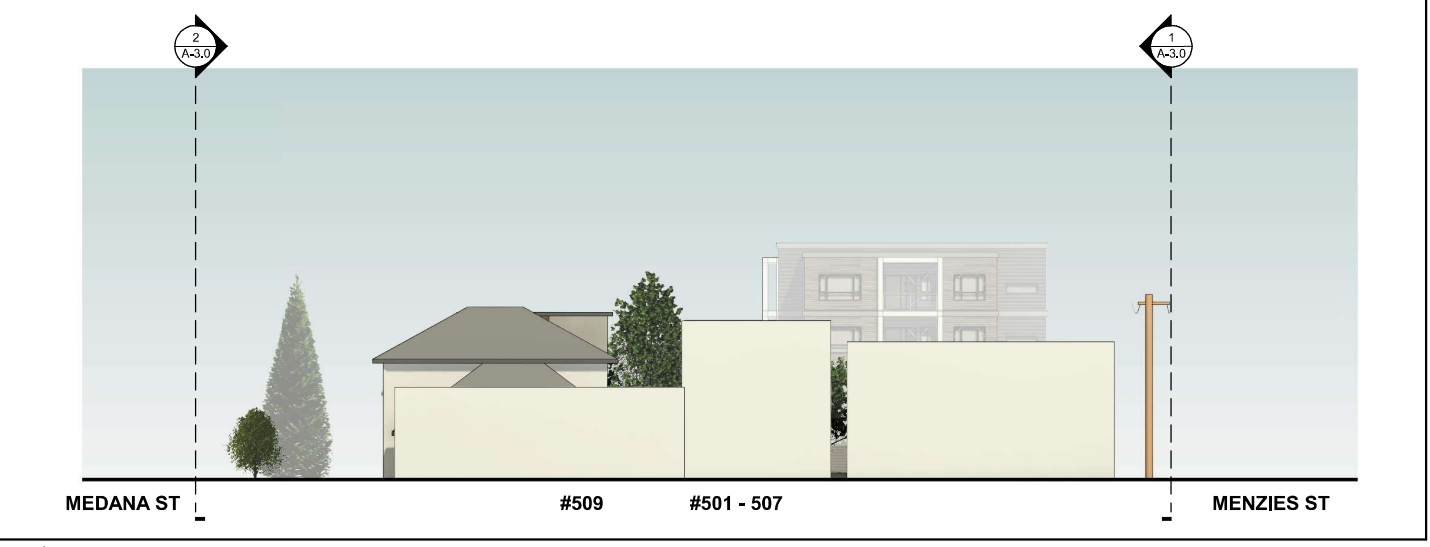
DATE: 02/05/22



1 | MENZIES STREETSCAPE
1 : 200



2 | MEDANA STREETSCAPE
1 : 200



3 | SIMCOE STREETSCAPE
1 : 200



4 | #129 MENZIES / #128 MEDANA STREETSCAPE
1 : 200



1 EAST ELEVATION
1:100

EXTERIOR KEY NOTES

TAG	MATERIAL - COLOR
BR1	BRICK - RUNNING BOND - SEA GREY
HB2	HARDIE BOARD - SMOOTH - LIGHT MIST WITH ALUMINUM FRY REGLETS AS SHOWN
HP1	HARDIE LAP SIDING - RUSTICSERIES - RIVER ROCK - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
RF1	FABRIC CANOPY
RS1	METAL ROOFING - STANDING SEAM - LIGHT GRAY
WD2	STOREFRONT - METAL FRAME - BLACK

MATERIAL LEGEND



BR1
BRICK - RUNNING BOND
SEA GREY



CR1 CR2
EXPOSED CONCRETE
SANDBLASTED



HB1
HARDIE BOARD - SMOOTH
ARCTIC WHITE
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR



HB2
HARDIE BOARD - SMOOTH
LIGHT MIST
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR



HP1
JAMES HARDIE LAP SIDING
RUSTICSERIES - RIVER ROCK
6.25" PLANKS - 5" EXPOSURE



HP2
JAMES HARDIE LAP SIDING
SMOOTH - PEPPERY ASH
6.25" PLANKS - 5" EXPOSURE



2 WEST ELEVATION
1:100

*NOTE: BUILDING HEIGHT INCLUDES TOLERANCE FOR POTENTIAL CHANGES TO CONSTRUCTION MATERIALS & METHODOLOGIES

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1	ISSUED FOR DP AMENDMENT	03/05/22
No.	Description	Date

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131 MENZIES ST.

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VICTORIA, BC V8V 2G4

BUILDING ELEVATIONS

JOB No.: 2403

SCALE: As indicated

A-3.1

DATE: 08/05/2023

EXTERIOR KEY NOTES

TAG	MATERIAL - COLOR
BR1	BRICK - RUNNING BOND - SEA GREY
HB2	HARDIE BOARD - SMOOTH - LIGHT MIST WITH ALUMINUM FRY REGLETS AS SHOWN
HP1	HARDIE LAP SIDING - RUSTICSERIES - RIVER ROCK - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
RF1	FABRIC CANOPY
RS1	METAL ROOFING - STANDING SEAM - LIGHT GRAY
WD2	STOREFRONT - METAL FRAME - BLACK

MATERIAL LEGEND



BR1
BRICK - RUNNING BOND
SEA GREY



CR1 CR2
EXPOSED CONCRETE
SANDBLASTED



HB1
HARDIE BOARD - SMOOTH
ARTIC WHITE
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR



HB2
HARDIE BOARD - SMOOTH
LIGHT MIST
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR



HP1
JAMES HARDIE LAP SIDING
RUSTICSERIES - RIVER ROCK
6.25" PLANKS - 5" EXPOSURE

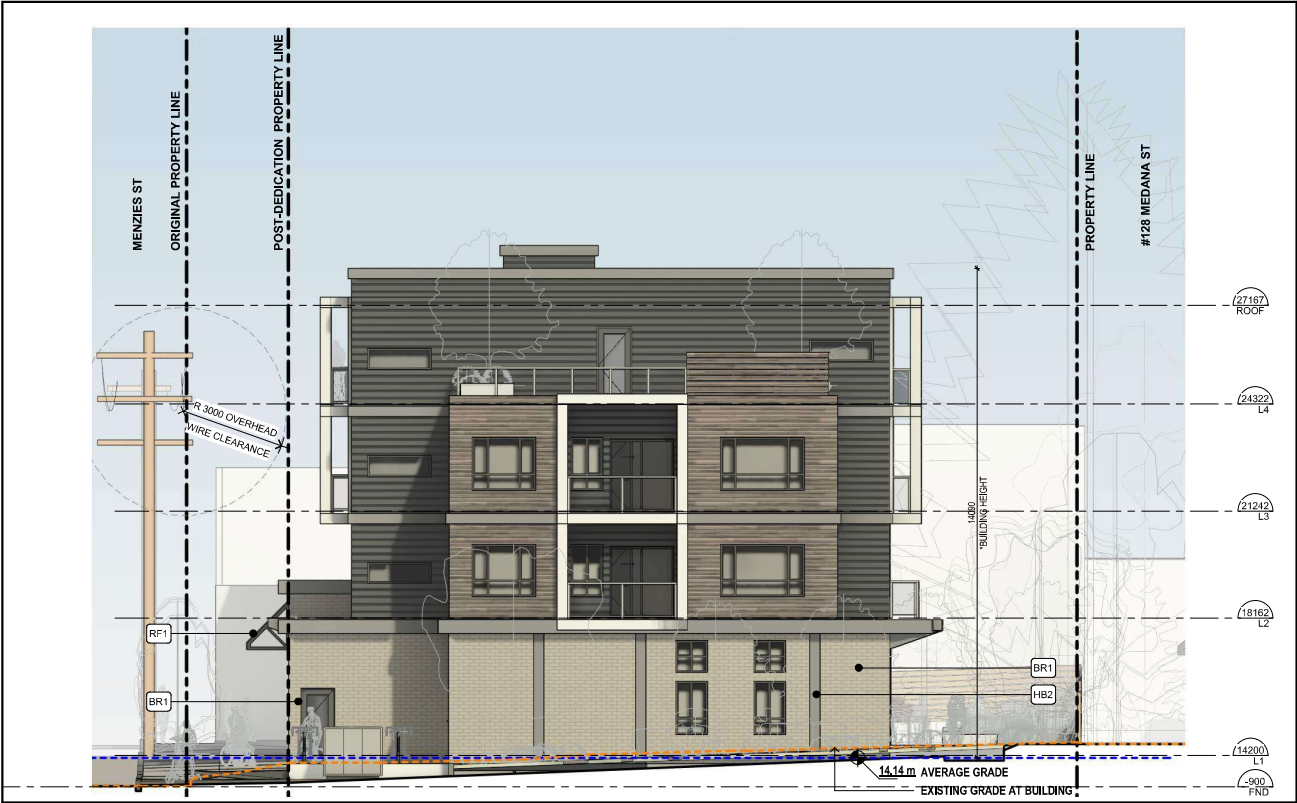


HP2
JAMES HARDIE LAP SIDING
SMOOTH - PEPPERY ASH
6.25" PLANKS - 5" EXPOSURE

*NOTE: BUILDING HEIGHT INCLUDES TOLERANCE FOR POTENTIAL CHANGES TO CONSTRUCTION MATERIALS & METHODOLOGIES



1 NORTH ELEVATION
1 : 100



2 SOUTH ELEVATION
1 : 100

6	ISSUED FOR DP AMENDMENT	06/06/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP AMENDMENT	03/05/22
No.	Description	Date

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BUILDING ELEVATIONS

JOB No.: 2403

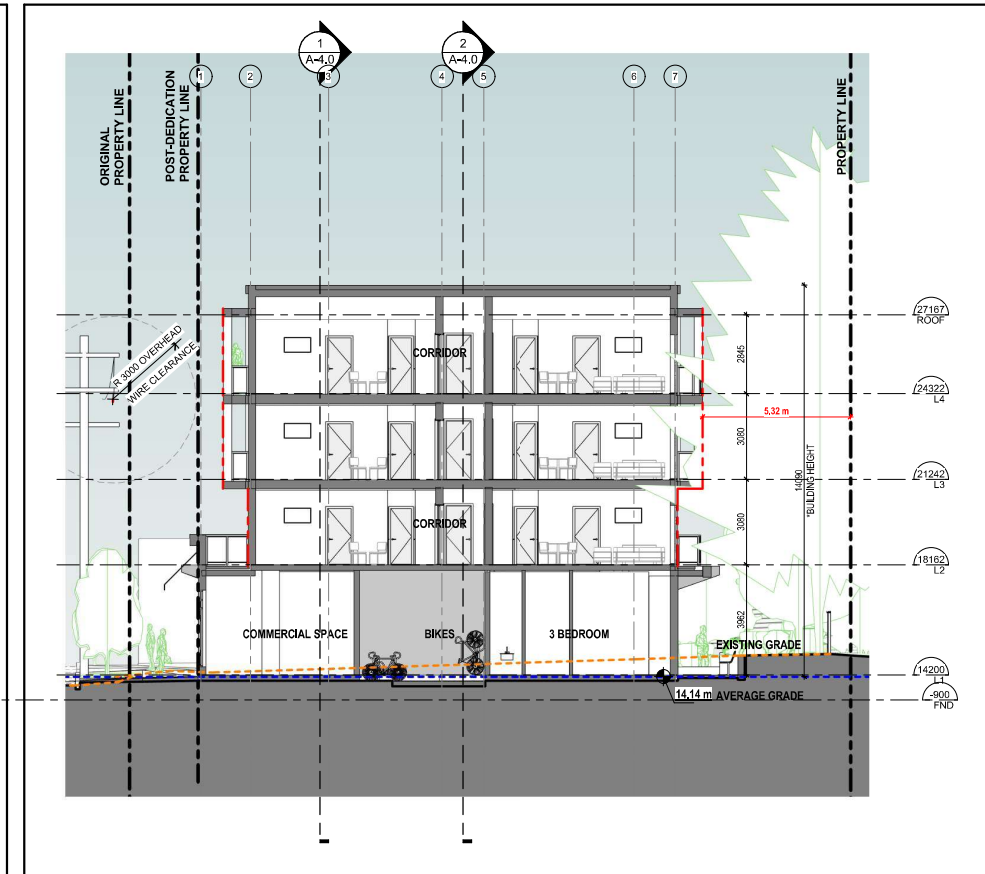
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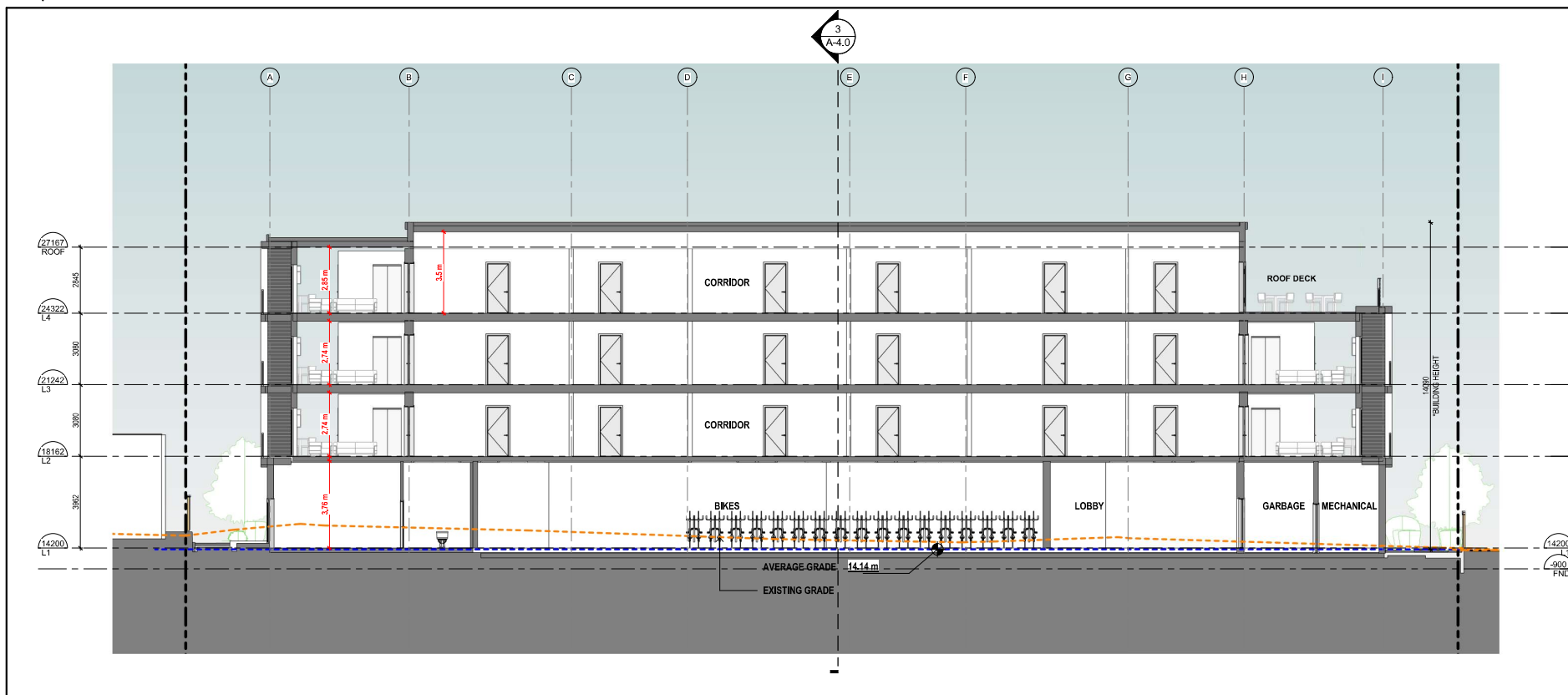
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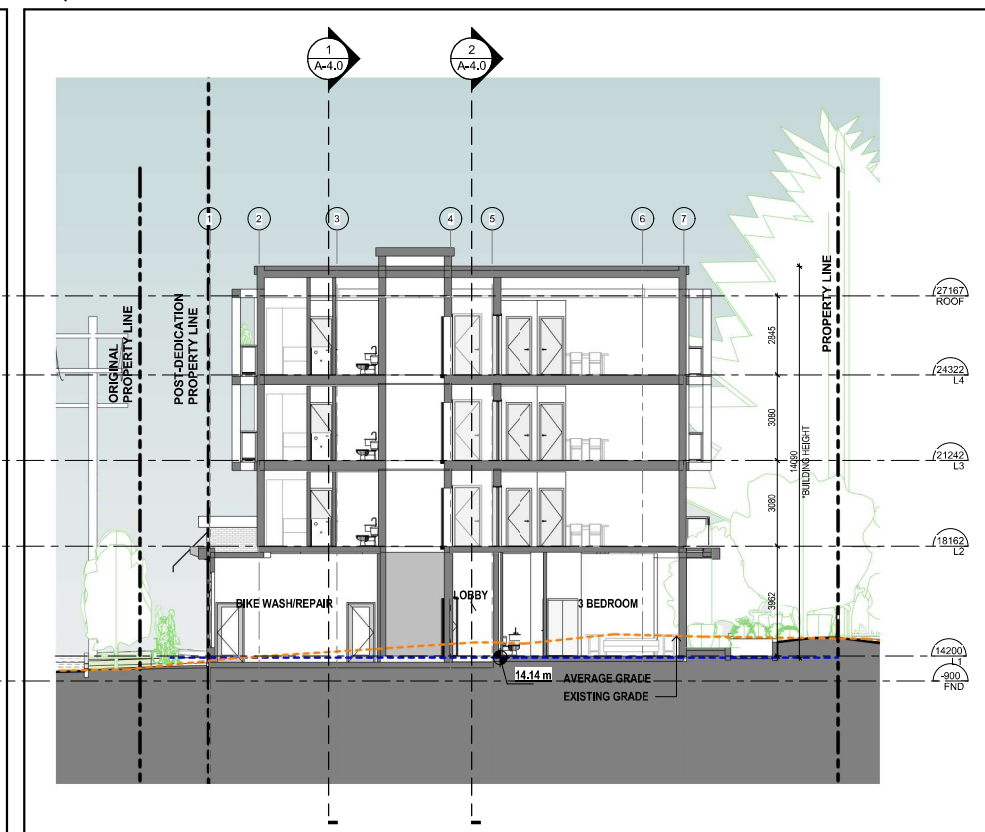
1 BUILDING SECTION
1 : 125



3 BUILDING SECTION
1 : 125



2 BUILDING SECTION
1 : 125



4 BUILDING SECTION
1 : 125



1 | EXTERIOR 3D VIEW NORTH-WEST
1:1



2 | EXTERIOR 3D VIEW SOUTH-WEST
1:1

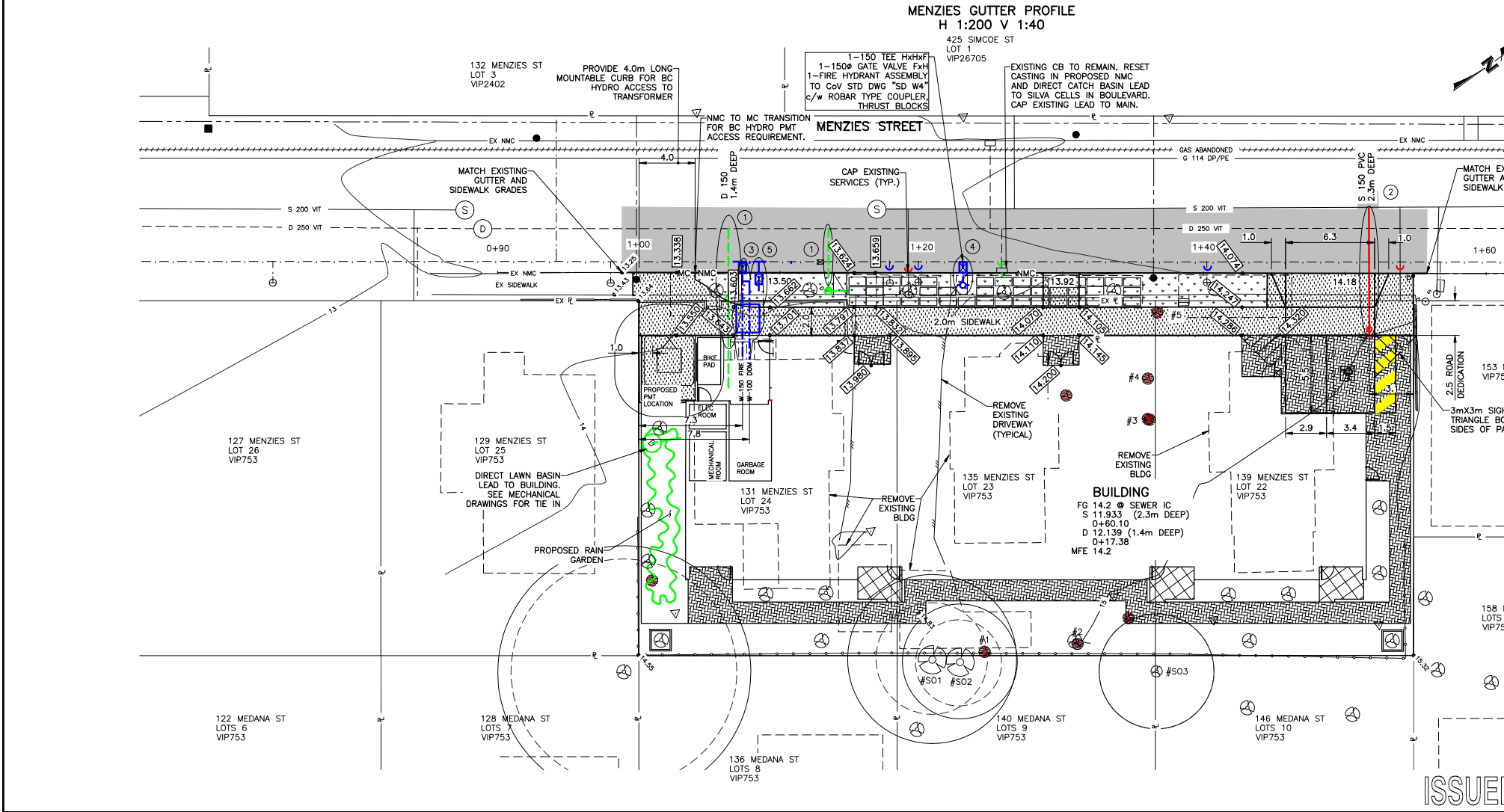
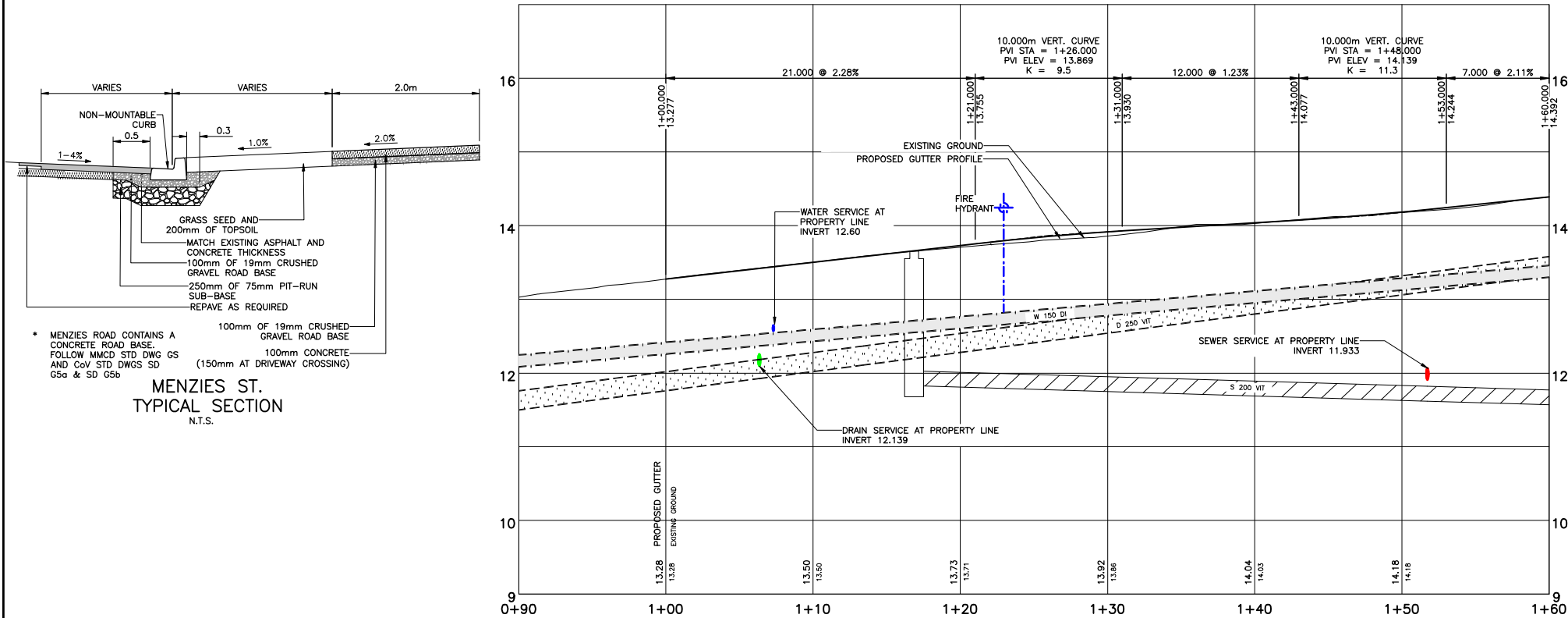


3 | EXTERIOR 3D VIEW NORTH-EAST
1:1



4 | EXTERIOR 3D VIEW SOUTH-EAST
1:1

WESTBROOK CONSULTING LTD. - 2024-06-11 09:42AM H:\PROJECTS\3757 131-139 Menzies\04C Drawings\3757-01.dwg



GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCO, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
- WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
- OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
- CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTISBC GAS THREE WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
- EXPLORE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
- BED ALL PIPE USING CLASS 'B' BEDDING.
- WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
- DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
- AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG MENZIES ST DURING CONSTRUCTION. PROVIDE 1.0m WIDE TEMPORARY SIDEWALK BUILT OUT OF PLYWOOD OR ASPHALT IF CITY SIDEWALK CAN NOT BE MAINTAINED (IF COVERED, CLEAR SPACE TO BE 2.1m HIGH C/W LIGHTING).
- COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY SPACE TO 95% MODIFIED PROCTOR DENSITY.
- ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
- CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.
- TEN (10) WORKING DAYS PRIOR TO START OF PROPOSED WORK, APPLICANT SHALL CONTACT THE TRANSPORTATION DEPARTMENT TO DISCUSS ALL WORKS IMPACTING CITY OF VICTORIA RIGHT OF WAY INCLUDING STREET OCCUPANCY PERMIT REQUIREMENTS.
- SOIL TESTING AS PER THE PROVINCE OF BRITISH COLUMBIA ENVIRONMENTAL MANAGEMENT ACT, CONTAMINATED SITES REGULATION, OR RECEIVING SITE REQUIREMENTS.

SEWER AND DRAIN

- SEWER AND DRAIN SERVICE CONNECTIONS TO BE 150Ø PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS CATCH BASIN LEADS TO BE 150Ø PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
- SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
- CITY OF VICTORIA SHALL PROVIDE A 150Ø DRAIN SERVICE TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
- CITY OF VICTORIA SHALL PROVIDE A 150Ø SEWER SERVICE TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
- CITY OF VICTORIA SHALL CAP SEWER SERVICE AT DEVELOPER'S EXPENSE.

WATER

- WATER MAIN PIPE TO BE PVC DR18 AWWA STANDARD C900 FOR ALL WATER MAINS 100mm TO 350mm DIAMETER AND PVC SERIES 200 FOR ALL WATER MAINS LESS THAN 100mm DIAMETER. PROVIDE 1.0m MINIMUM COVER.
- CITY OF VICTORIA FORCES SHALL CAP THE EXISTING SERVICE AND REMOVE THE WATER METERS AT THE DEVELOPER'S EXPENSE.
- WATER SERVICES SHALL BE 150Ø TIED TO EXISTING MAIN AND SPLIT SERVICE TO 100Ø FIRE LINE AND 100Ø DOMESTIC TO PROPERTY LINE. WATER METERS SHALL BE 50Ø INSTALLED BY THE CITY OF VICTORIA, AS PER COV DETAIL "SD W2".
- CITY OF VICTORIA SHALL INSTALL A FIRE HYDRANT ASSEMBLY AT

DEVELOPER'S EXPENSE

- CITY OF VICTORIA SHALL PROVIDE 25Ø IRRIGATION SERVICE C/W METER AT DEVELOPER'S EXPENSE

ROAD

- CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND CITY SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
- CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.

PARKS

- OBTAIN A PARKS PERMIT FROM THE CITY OF VICTORIA PARKS DEPARTMENT PRIOR TO THE START OF ANY CONSTRUCTION.
- PROTECT ALL TREES EXCEPT THOSE TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION.
- HAND DIG WHERE ROOTS OVER 50mm ARE ENCOUNTERED.
- OBTAIN PERMISSION FROM THE ENGINEER, DEVELOPER AND THE CITY OF VICTORIA PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY. A COPY OF THE TREE PERMIT SHALL BE PRESENTED TO THE CITY OF VICTORIA WORKS INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION.
- THE PROJECT ARBORIST TO BE RESPONSIBLE FOR SUPERVISING THE INSTALLATION OF BARRIER FENCING AT APPROPRIATE LOCATIONS.
- THE ARBORIST TO DIRECT THE REMOVAL OF TREES WITHIN THE SEWER AND DRAIN EASEMENTS AND RIGHT OF WAYS AND TO PRUNE ROOTS ENCOUNTERED DURING TRENCHING TO ENSURE THE PRESERVATION OF THE OAK TREES.
- THE ARBORIST TO DETERMINE THE SENSITIVE ROOT ZONES AREAS AND BE ON SITE TO SUPERVISE TRENCHING AND ROAD CONSTRUCTION.
- ALL NEW BOULEVARD TREES TO BE IRRIGATED ON A SEPARATE SYSTEM FROM THE PRIVATE PROPERTY IRRIGATION SYSTEM AND A SEPARATE WATER POINT OF CONNECTION.
- ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
- DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
- IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEVING, OPEN TRENCH MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER AND BACKFLOW PREVENTER (INCL. INSPECTION TAG AND TESTING REPORT). CALL PARKS AT 250-361-0600 AT LEAST 2 DAYS IN ADVANCE TO ARRANGE FOR IRRIGATION INSPECTIONS.

HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS

- CONTACT "B.C. ONE CALL" AT 1-800-474-6886 AND "DIGSHAW" AT 1-866-344-7429 A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- LOT TO BE SERVICED UNDERGROUND.
- BC HYDRO, TELUS, SHAW CABLE AND FORTISBC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
- CONSTRUCT UNDERGROUND HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
- IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTISBC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL. FORTISBC SHALL INSTALL GAS SERVICE TO THE PROPERTY LINE.

WORKS AND SERVICES CHECK TABLE

PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	COMPANY NAME	SIGNATURE	
UTILITY	HYDRO ELECTRIC CO.		
	TELEPHONE CO.		
	GAS CO.		
	CABLE CO.		
	FIBRE OPTIC CO.		
MUNICIPAL	UNDERGROUND UTILITIES		
	TRANSPORTATION DESIGN & INFRASTRUCTURE		
	LAND DEVELOPMENT		

LEGEND:

- APPROXIMATE LIMITS OF REPAVING
- BROOM FINISHED CONCRETE SIDEWALK, 100mm THICK (150mm THICK AT DRIVEWAY CROSSING)
- LANDSCAPED BLVD (SEE LANDSCAPE PLANS FOR DETAILS)
- PERMEABLE PAVERS (SEE LANDSCAPE / ARCHITECT PLANS FOR DETAILS)
- PROPOSED TREE. REFER TO LANDSCAPE DRAWINGS FOR DETAILS
- EXISTING TREE. (TO REMAIN)
- TREE CANOPY CRITICAL ROOT ZONE
- EXISTING TREE. (TO BE REMOVED)
- EXISTING GROUND ELEVATIONS
- PROPOSED FINISHED GROUND ELEVATIONS



LOCATION PLAN

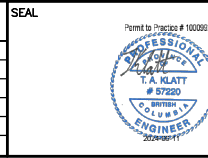
N.T.S.

PROPOSED DEVELOPMENT OF LOTS 22,23,24 SECTION 11, BECKLEY FARM, VICTORIA CITY, PLAN 753

0 4 12m
1:200

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND			
WATER	W	GAS	G
SEWER	S	CURB	C
DRAIN	D	SIDEWALK	S/W
DITCH	→	EDGE PAVE.	→
CULVERT	→	BUSHLINE	→
HEADWALL	→	TREE	→
EXISTING U/G UTL.	→	PROPOSED U/G UTL.	→
MANHOLE	⊙	LOT PIN	•
CLEANOUT	⊙	LEAD PLUG	■
CATCHBASIN	⊙	METER	⊙
ROAD SIGN	→	REDUCER	→
HYDRANT	→		
ANCHOR	→		
VALVE	→		
MONUMENT	→		

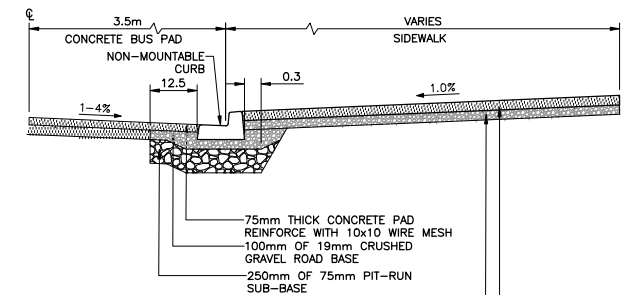
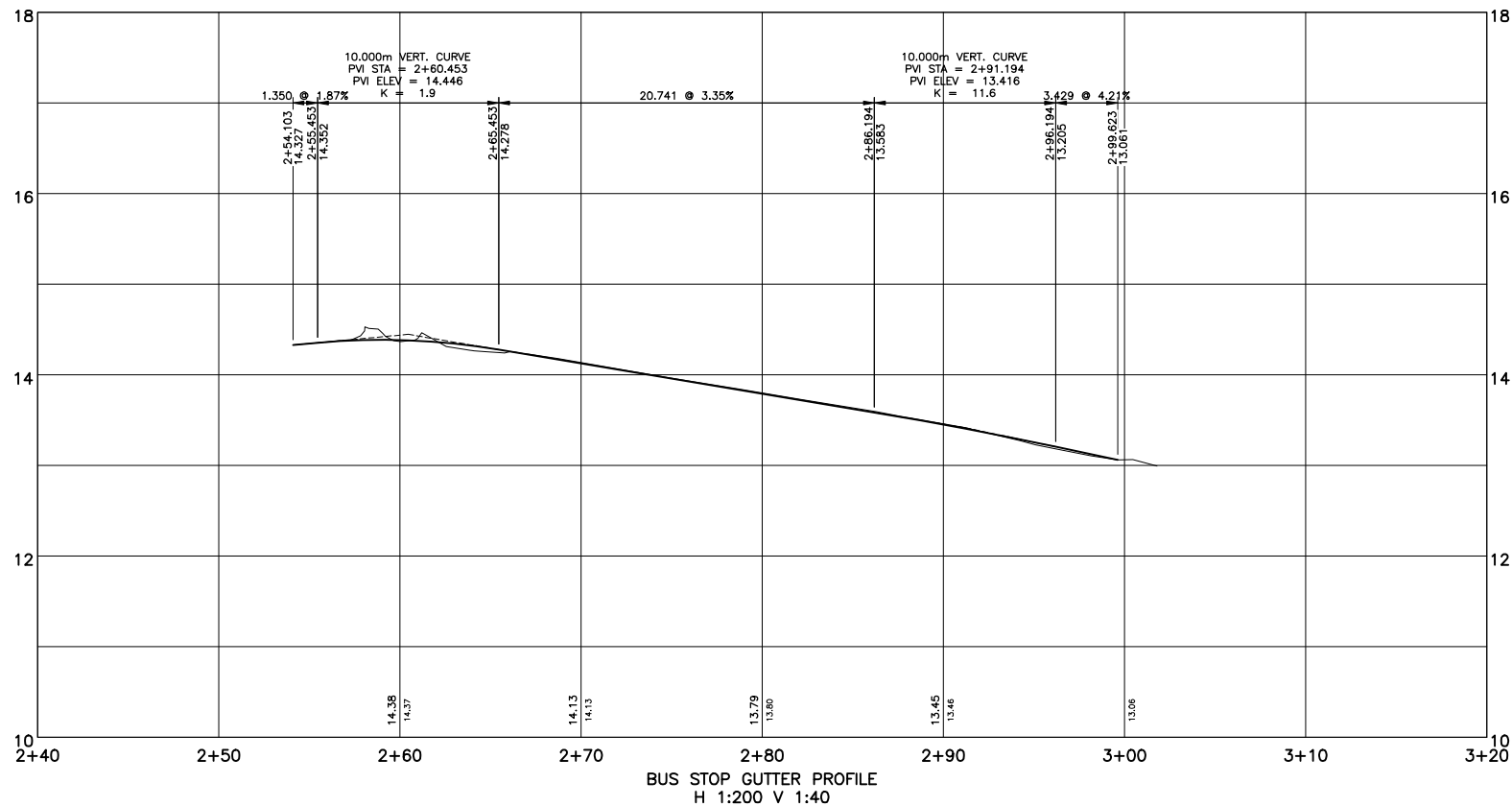


REVISIONS			
No.	DESCRIPTION	DATE	SIGN
9	ADD PROPOSED BUS STOP DRAWING	24.06.10	PC
8	REVISED AS PER LANDSCAPE COMMENTS	24.04.03	PC
7	REVISED AS PER COV COMMENTS	24.03.27	JS
6	REVISED AS PER ARCHITECTURAL COMMENTS	23.12.01	PC
5	REVISED AS PER ARCHITECT & COV COMMENTS	23.11.20	PC

ENGINEER	TK/MW
DESIGNER	PC
CHECKED	
DATE	JAN 2022
B.M.	MON 8-60
ELEV.	14.402
SCALE	Horz. 1:200
Vert.	1:40

WESTBROOK Consulting Ltd.
#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

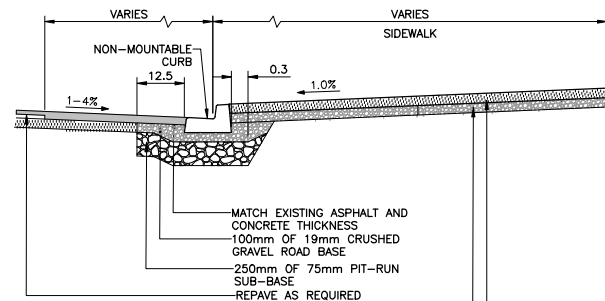
PROJECT		WESTBROOK PROJECT No.	
131,135,139 MENZIES ST		3757	
MIKE GERIC CONSTRUCTION LTD		GOVERNING AUTHORITY FILE No.	
SERVICING PLAN AND PROFILE		SHEET 1 OF 2	
GENERAL NOTES		REV. 9	
LOCATION PLAN		WESTBROOK DRAWING No.	
		3757-01	



* MENZIES ROAD CONTAINS A CONCRETE ROAD BASE. FOLLOW MMCD STD DWG GS AND CoV STD DWGS SD G5a & SD G5b

100mm OF 19mm CRUSHED GRAVEL ROAD BASE
100mm CONCRETE (150mm AT DRIVEWAY CROSSING)

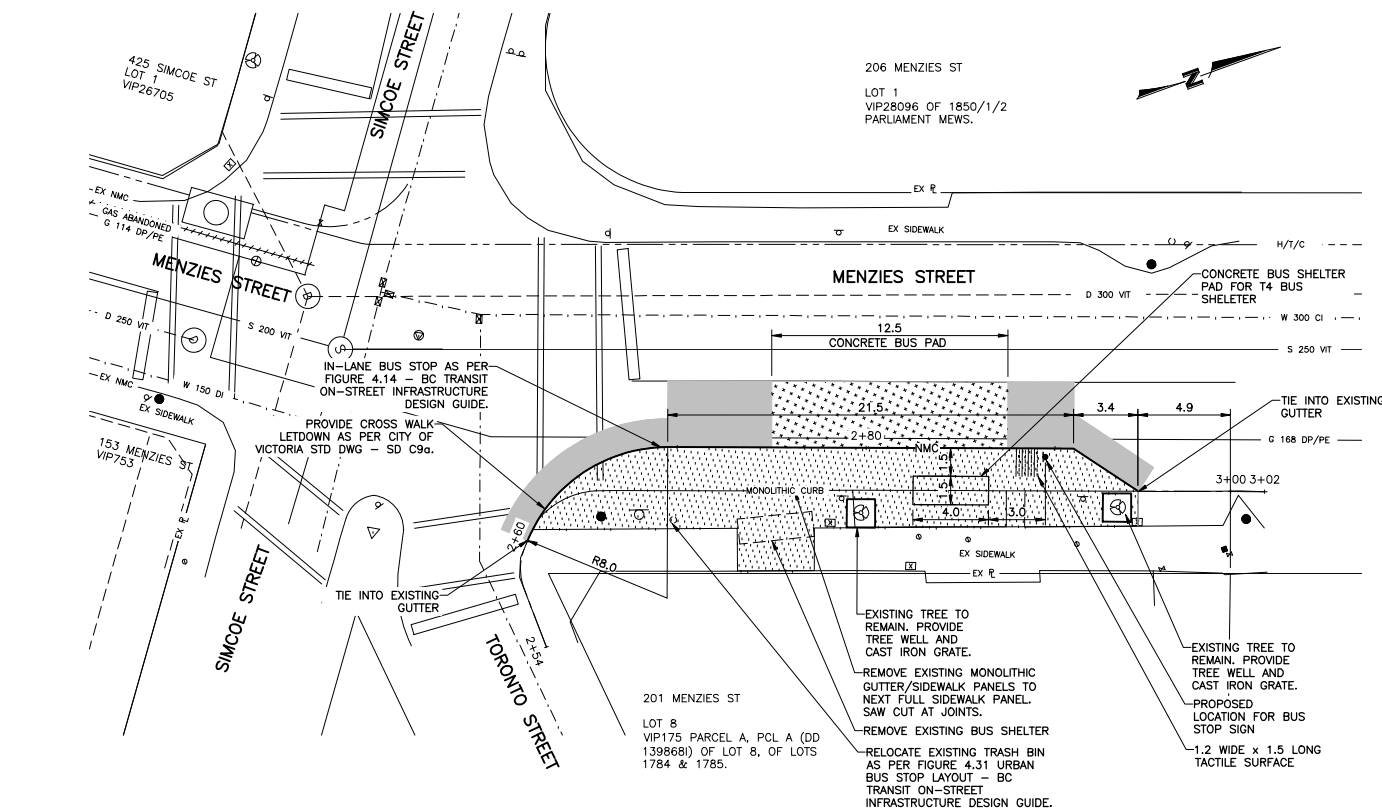
MENZIES ST.
TYPICAL CONCRETE BUS PAD
ROAD SECTION
N.T.S.



* MENZIES ROAD CONTAINS A CONCRETE ROAD BASE. FOLLOW MMCD STD DWG GS AND CoV STD DWGS SD G5a & SD G5b

100mm OF 19mm CRUSHED GRAVEL ROAD BASE
100mm CONCRETE (150mm AT DRIVEWAY CROSSING)

MENZIES ST.
TYPICAL ASPHALT ROAD
SECTION
N.T.S.



- LEGEND:
- APPROXIMATE LIMITS OF REPAVING
 - BROOM FINISHED CONCRETE SIDEWALK, 100mm THICK (150mm THICK AT DRIVEWAY CROSSING)
 - LIMIT OF CONCRETE BUS STOPPING PAD
 - EXISTING TREE. (TO REMAIN)
 - TREE CANOPY CRITICAL ROOT ZONE
 - EXISTING GROUND ELEVATIONS
 - PROPOSED FINISHED GROUND ELEVATIONS

ISSUED FOR DEVELOPMENT PERMIT



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LEGEND		LEGEND	
WATER	W	GAS	G
SEWER	S	CURB	C
DRAIN	D	SIDEWALK	S/W
DITCH	→	EDGE PAVE.	→
CULVERT	→	BUSHLINE	→
HEADWALL	→	TREE	→
EXISTING U/G UTL.	→	PROPOSED U/G UTL.	→
MANHOLE	⊙	CLEANOUT	⊙
LOT PIN	•	CATCHBASIN	⊙
LEAD PLUG	■	METER	⊙
REDUCER	→	ROAD SIGN	→
ANCHOR	→	HYDRANT	→
MONUMENT	⊕	VALVE	⊕

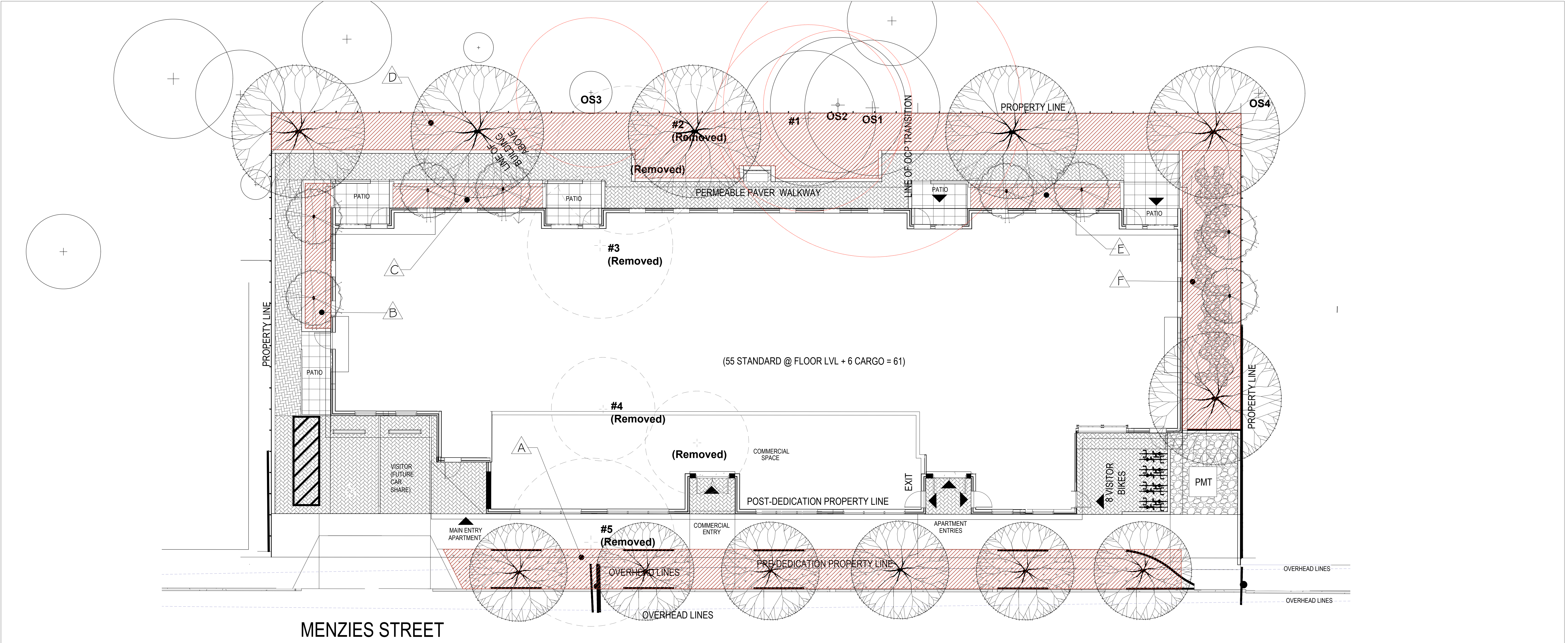


REVISIONS		ENGINEER	
No.	DESCRIPTION	DATE	SIGN
9	ADD PROPOSED BUS STOP DRAWING	24.06.10	PC
8	REVISED AS PER LANDSCAPE COMMENTS	24.04.03	PC
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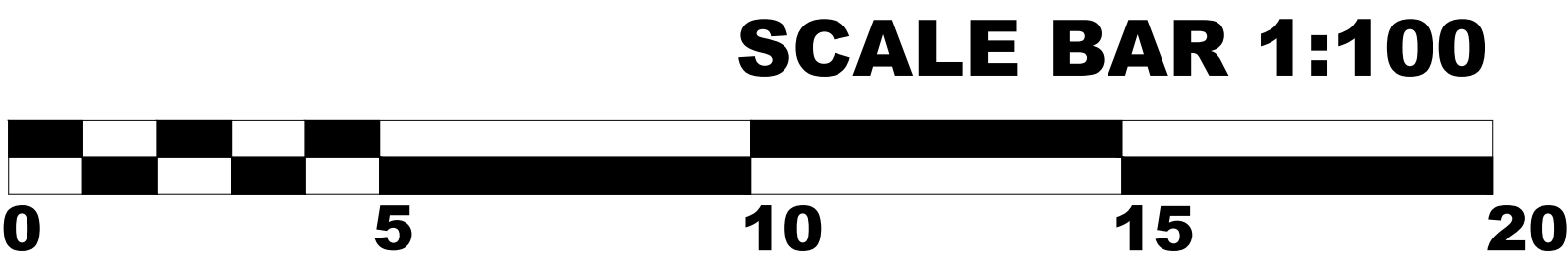
WESTBROOK Consulting Ltd.

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PROJECT		WESTBROOK PROJECT No.	
131,135,139 MENZIES ST		3757	
MIKE GERIC CONSTRUCTION LTD		GOVERNING AUTHORITY FILE No.	
BUS STOP		SHEET	
PLAN AND PROFILE		2 OF 2	
		REV. 9	
		WESTBROOK DRAWING No.	
		3757-02	

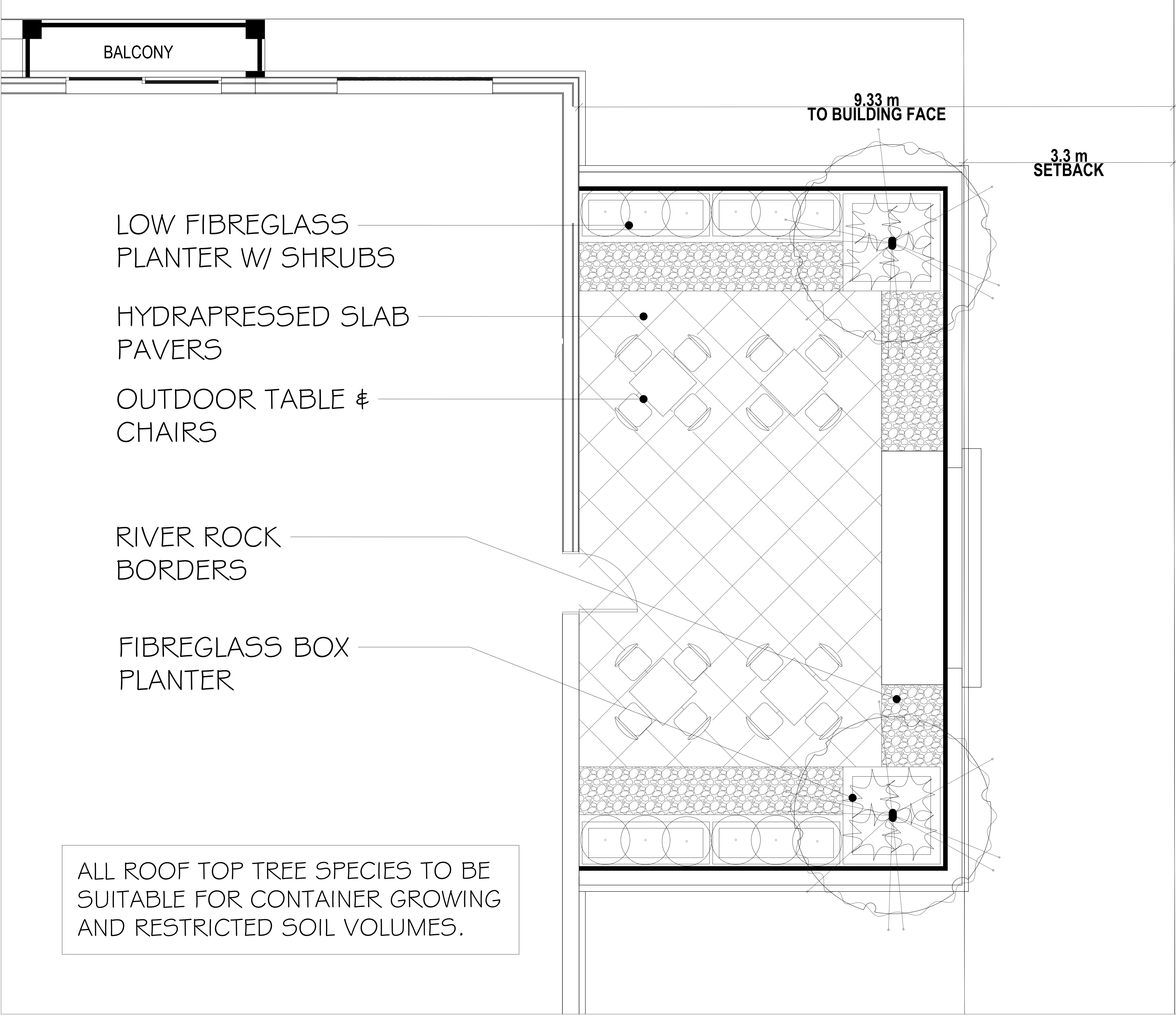


SOIL VOLUME REQUIREMENTS*			
ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0



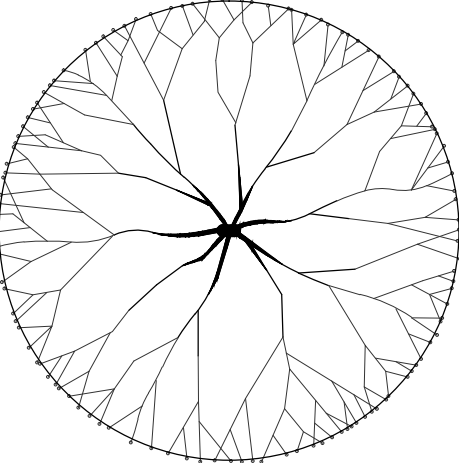
SOIL VOLUME PROVIDED						
MARKER	# OF TREES	TREE CLASS	SOIL VOLUME REQUIRED	SOIL DEPTH	SOIL VOLUME PROVIDED	REQUIREMENT MET (Y/N)
A	6	MEDIUM	6 x 15 m³ = 90 m³	1.0 m	92.0 m³	YES
B	2	SMALL	2 x 6 m³ = 12 m³	1.0 m	12.0 m³	YES
C	2	SMALL	2 x 6 m³ = 12 m³	1.0 m	12.0 m³	YES
D	5	MEDIUM	5 x 15 m³ = 75 m³	1.0 m	135 m³	YES
E	2	SMALL	2 x 6 m³ = 12 m³	1.0 m	12.0 m³	YES
F	3	2 SML; 1 LRG	12 m³ + 30 m³ = 42 m³	1.0 m	51.0 m³	YES

INDICATES SOIL VOLUME AREA

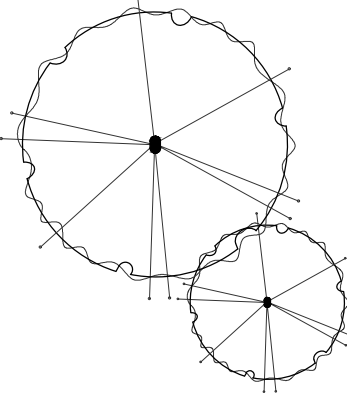


Suggested Plant List				
	Key	Common Name	Latin Name	Size
Small Trees	LAUR	Cherry Lauren (topiary tree form)	Photinia fraserii var. 'Red Robin'	#7 Pot
Medium Shrubs	AZAP	Evergreen Azalea	Azalea japonica var. 'Girard's Fuchsia'	#2 Pot
Small Shrubs	EUOF	Creeping Euonymus	Euonymus fortunei var. 'Emerald Gaiety'	#1 Pot
	ILEX	Japanese False Holly	Ilex crenata convexa	#1 Pot
	NAN	Heavenly Bamboo	Nandina domestica var. 'Plum Passion'	#5 Pot
Ground Covers	COTO	Trailing Cottoneaster	Cottoneaster dammeri	#SP4 Pot
Perennials	AUBR	Rock Cress	Aubreta deltoidea var. 'Blue Carpet'	#SP5 Pot
# Grasses	SEA	Seasonal Annual Flowers	Various	#SP5 Pot
Notes: - All landscape work to conform with B.C.S.L.A. / B.C.N.T.A. standard specification. - All areas to be irrigated with an automatic underground system.				

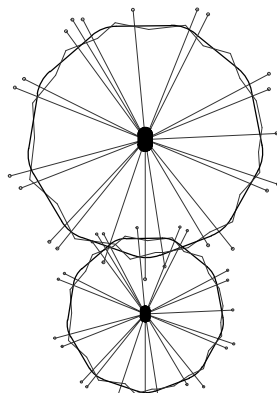
LEGEND




LARGE DECIDUOUS SHADE TREE




SMALL ORNAMENTAL DECIDUOUS TREES




LARGE AND SMALL CONIFEROUS TREES



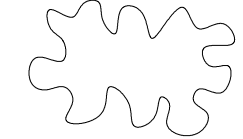
LARGE SHRUB



MEDIUM SHRUB



SMALL SHRUB



GROUND COVER & PERENNIALS