

SHELBOURNE STREET TOWNHOMES



Project Rendering - North Looking View @ Shelbourne Street



Project Rendering - North Looking View @ Amenity and Play Area

PROJECT DESCRIPTION

CIVIC ADDRESS:
2536 & 2538 SHELBOURNE STREET
VICTORIA, BC
LEGAL DESCRIPTION:
LOT 8 AND AMENDED LOT 10 (D0141161)
BLOCK 6, SECTION 8A VICTORIA DISTRICT PLAN 881A

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
Group C, 3 Storey Wood Construction

USES: Residential Townhomes

EXISTING ZONE: R1-B
PROPOSED ZONE: TBD

SITE AREA: 1,526 m² (16,426 s.f.)

FLOOR AREAS

TOTAL PROPOSED: 1,550.6 m² (16,690 s.f.)

FLOOR SPACE RATIO: 1.02 : FSR

SITE COVERAGE: 42%

OPEN SITE SPACE: 33%

GRADE OF BUILDING: North Bldg 20.3 m
South Bldg 20.2 m
(See Site Plan for Avg. Grade Calculation)

HEIGHT OF BUILDING: North Bldg 10.7 m
South Bldg 10.8 m

NUMBER OF STOREYS: 3 STOREYS

RESIDENTIAL PARKING: 13 stalls (EV Ready)

BICYCLE PARKING: 15 Class 1 EV Ready (in suite)
12 Short term (rack)

SETBACKS:

North Bldg South Bldg

FRONT (Street): 8.11 m 8.08 m

REAR: 7.22 m 3.07 m

SIDE (North): 2.44 m 19.19 m

SIDE (South): 19.19 m 2.44 m

COMBINED SIDE: 4.88 m 4.88 m

SUITE COMPOSITION:

TOTAL: 15 SUITES

3 Bedroom 1

2 Bedroom 14

Ground-Oriented Units 15

Minimum Unit Floor Area 107.5 m²

All material specifications, details and construction methods to conform to local by-laws and British Columbia Building Code (BCBC).

BCBC Part 8, Group C, 3 Storey Wood Construction

North Building: 303.8 m² Building Area

South Building: 336.5 m² Building Area

Residential parking: 13 stalls (EV Ready)

Bicycle parking: 15 Class 1 EV Ready (in suite)

12 Short term (rack)

Setbacks:

North Bldg South Bldg

Front (Street): 8.11 m 8.08 m

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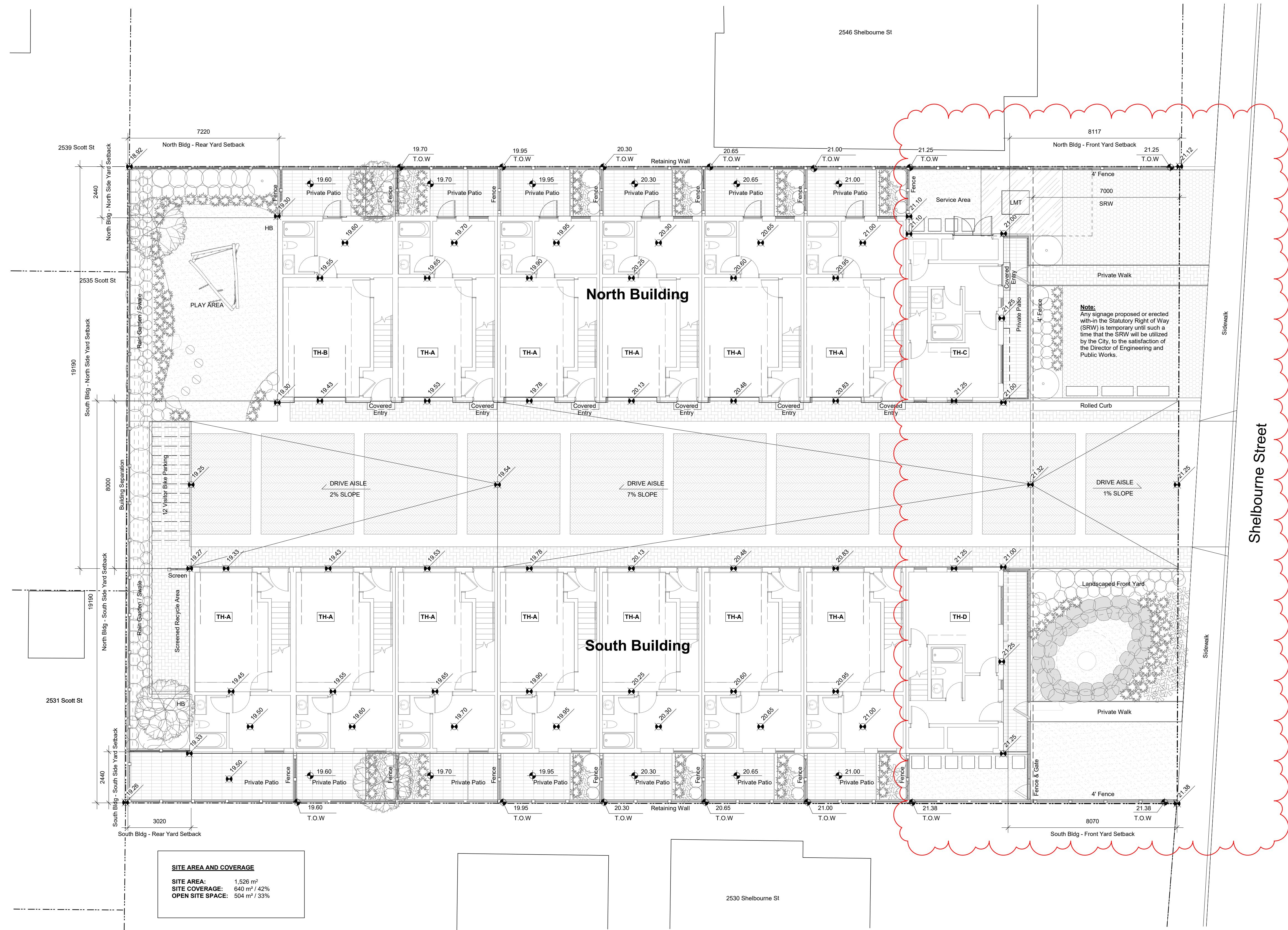
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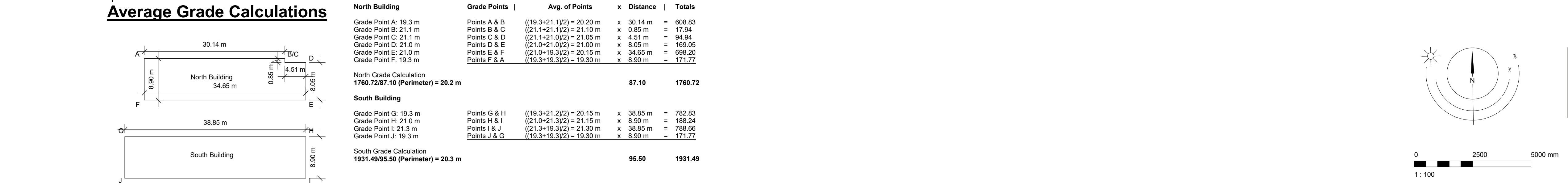
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7	24-03-20	Issued for DP Amendments
6	23-10-30	Issued for DP Amendments
5	23-07-27	Issued for DP Amendments
4	23-04-20	Issued for DP Amendments
3	22-11-04	Issued for DP Amendments
2	22-10-24	Issued for ADP
1	22-07-18	Issued for Rezoning
Rev.	Date	Description

Victoria, BC

Site Plan



Fire Separation Legend

0.0 HR
0.75 HR
1.0 HR
1.5 HR
2.0 HR

General Notes

- All dimensions are in metric and shown in millimeters.
- All dimensions are to gridlines, face of concrete, centerline of party walls, exterior face of sheathing, or face of framing unless noted otherwise.
- All gridlines are to centerline of party wall framing, or exterior face of exterior sheathing unless noted otherwise. Refer to Details to confirm.
- Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- All existing and new datum are geodetic in meters.
- Windows not located with dimensions are located in line with the windows from the floor below.
- Refer to A501-A504 for stair details.
- Provide water resistant gypsum ceramic tile backerboard in place of Type 'X' gypsum wall board at tub and shower surrounds.
- Fully acoustically insulate all walls containing plumbing drains.
- Provide solid blocking in walls around toilets, showers, and washroom accessories in all bathrooms, as noted on interior elevations.
- Ensure all studs installed adjacent to interior sheathing walls have 12 mm minimum air space to ensure no contact to achieve STC value.
- Provide furring to ensure all wall types have a flush face of drywall.
- Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Electrical closets to have 19 mm G15 plywood 2440 mm high on rear and side walls, painted with white-intrusive paint.
- Maintain continuous GWB at all fire separations.
- Install all laundry appliances on neoprene isolator pads, typical.
- All exterior panel flashings to be colour matched to adjacent material.
- RCPs to be read with Electrical and Mechanical plans for additional fixture information and locations.
- All architectural concrete edges to be chamfered, typical.

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Rev. Date Description

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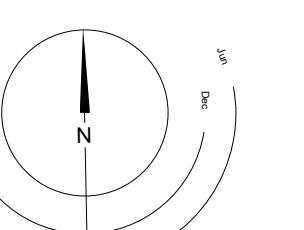
Scale As Indicated Project Number 2217

NOTE: All dimensions are shown in millimeters.

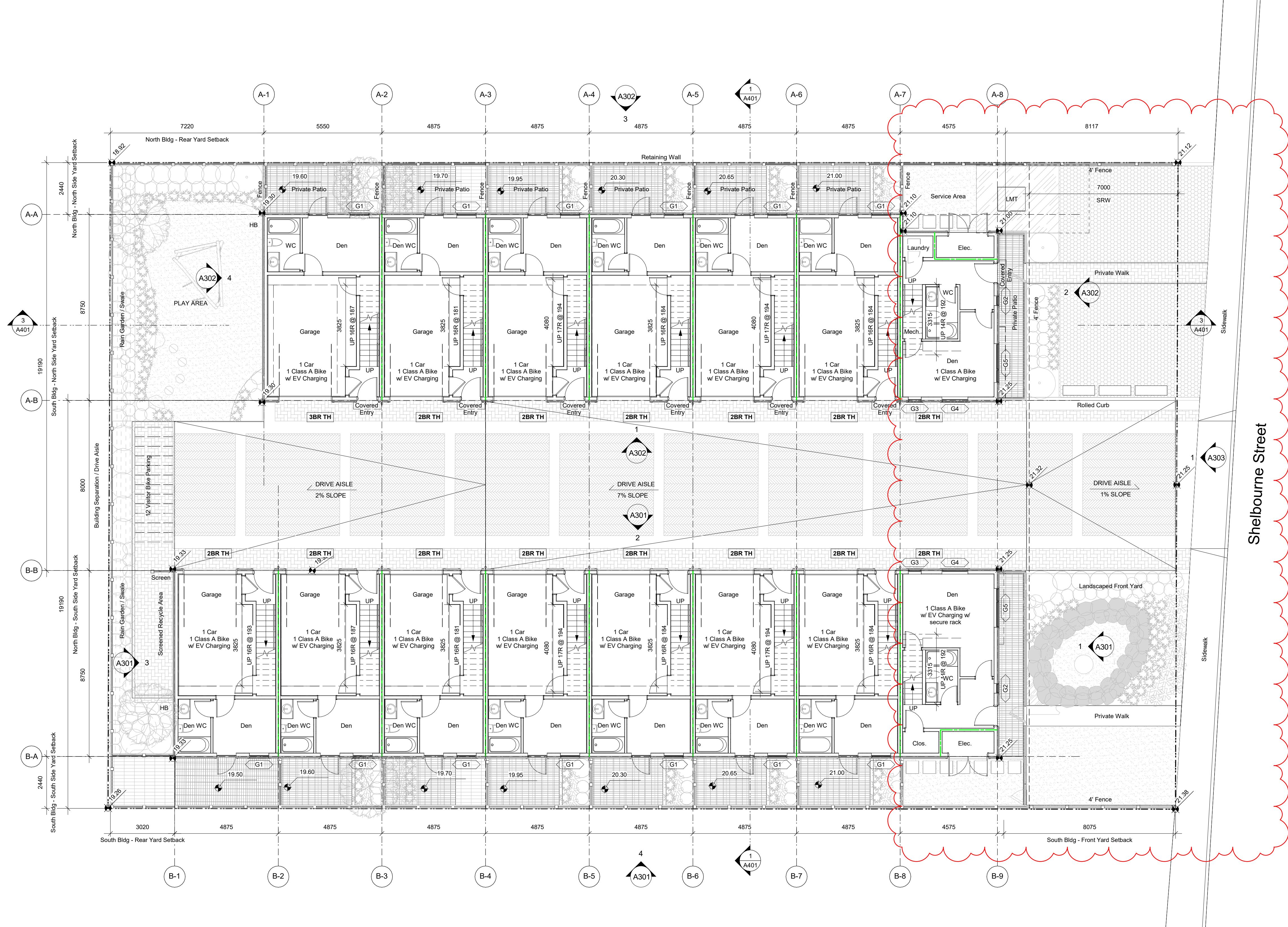
2536 & 2538
Shelbourne

Victoria, BC

L1 Plan



A201
dHKA
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way V9T 0H2 T 250-658-3367
V8V 3K3 1250-658-3367
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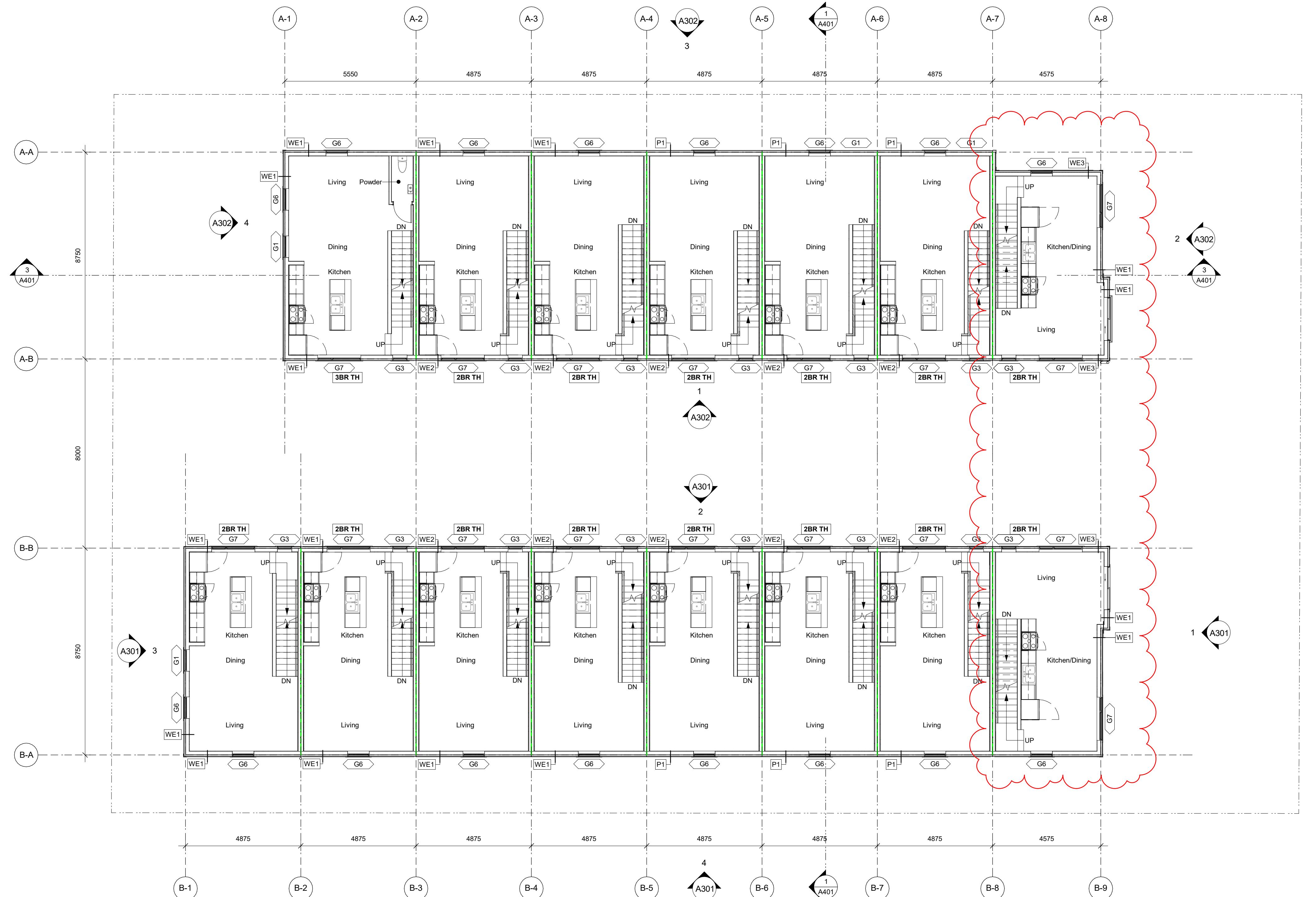


Fire Separation Legend

0.0 HR
0.75 HR
1.0 HR
1.5 HR
2.0 HR

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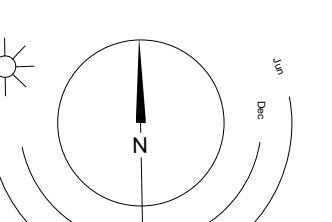
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Rev.	Date	Description

Issued 24-03-20 Description Issued for DP
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Scale As indicated Project Number 2217

NOTE: All dimensions are shown in millimeters.
**2536 & 2538
Shelbourne**

Victoria, BC

L2 Plan



A202
dHKArchitects Victoria 977 Fort Street V8V 0H2 T 250-658-3367
102-5190 Dublin Way Nanaimo 102-250-658-3367
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- Provide solid blocking in walls around toilets, showers, and washroom accessories in all bathrooms, as noted on interior elevations.
- Ensure all studs installed adjacent to interior sole/heath walls have 12 mm minimum air space to ensure no contact to achieve STC value.
- Provide furring to ensure all wall types have a flush face of drywall.
- Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
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As Indicated Project Number 2217

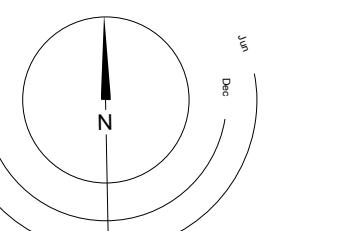
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2536 & 2538

Shelbourne

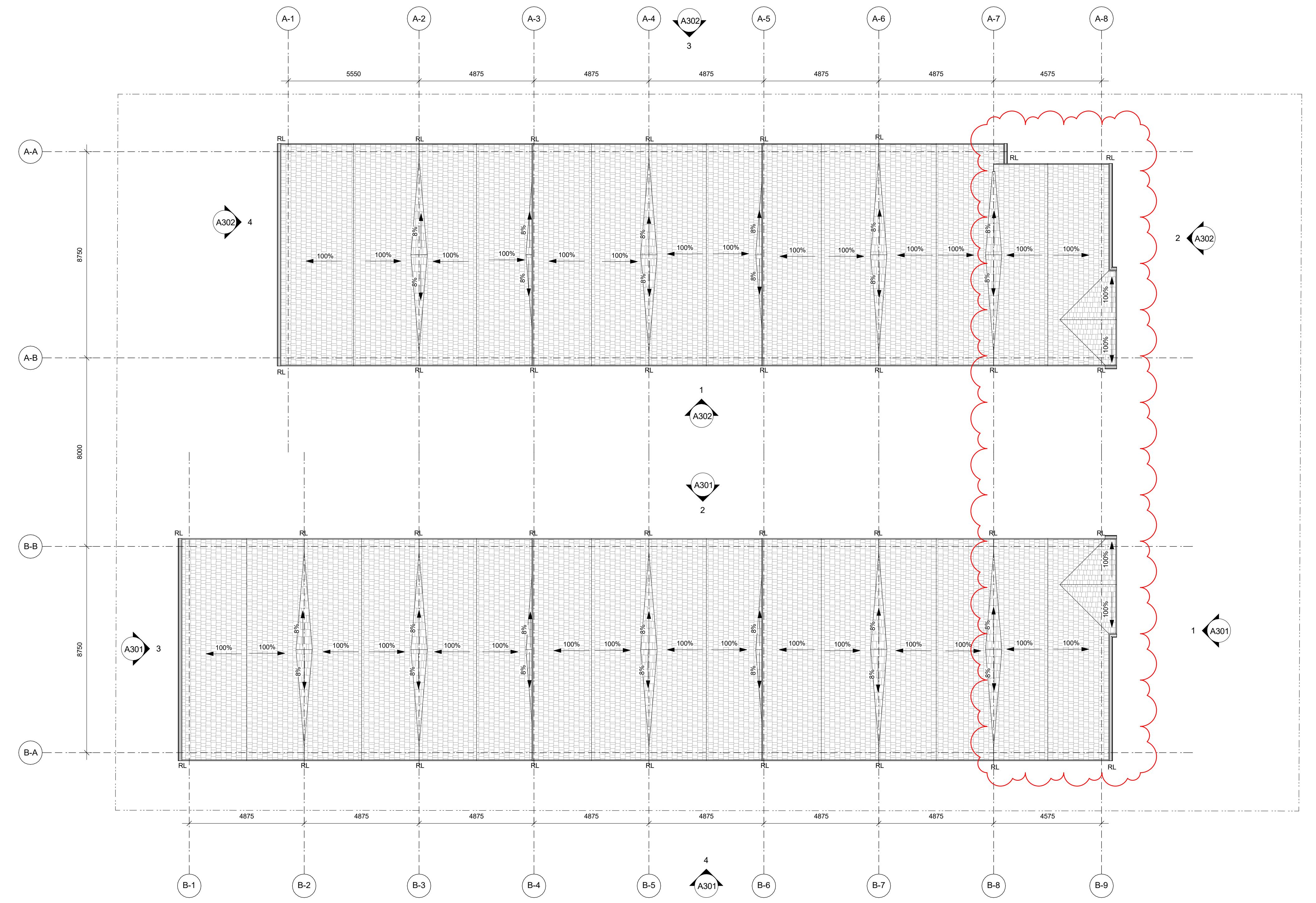
Victoria, BC

Roof Plan



A201
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V8V 3K3 1250-658-3367

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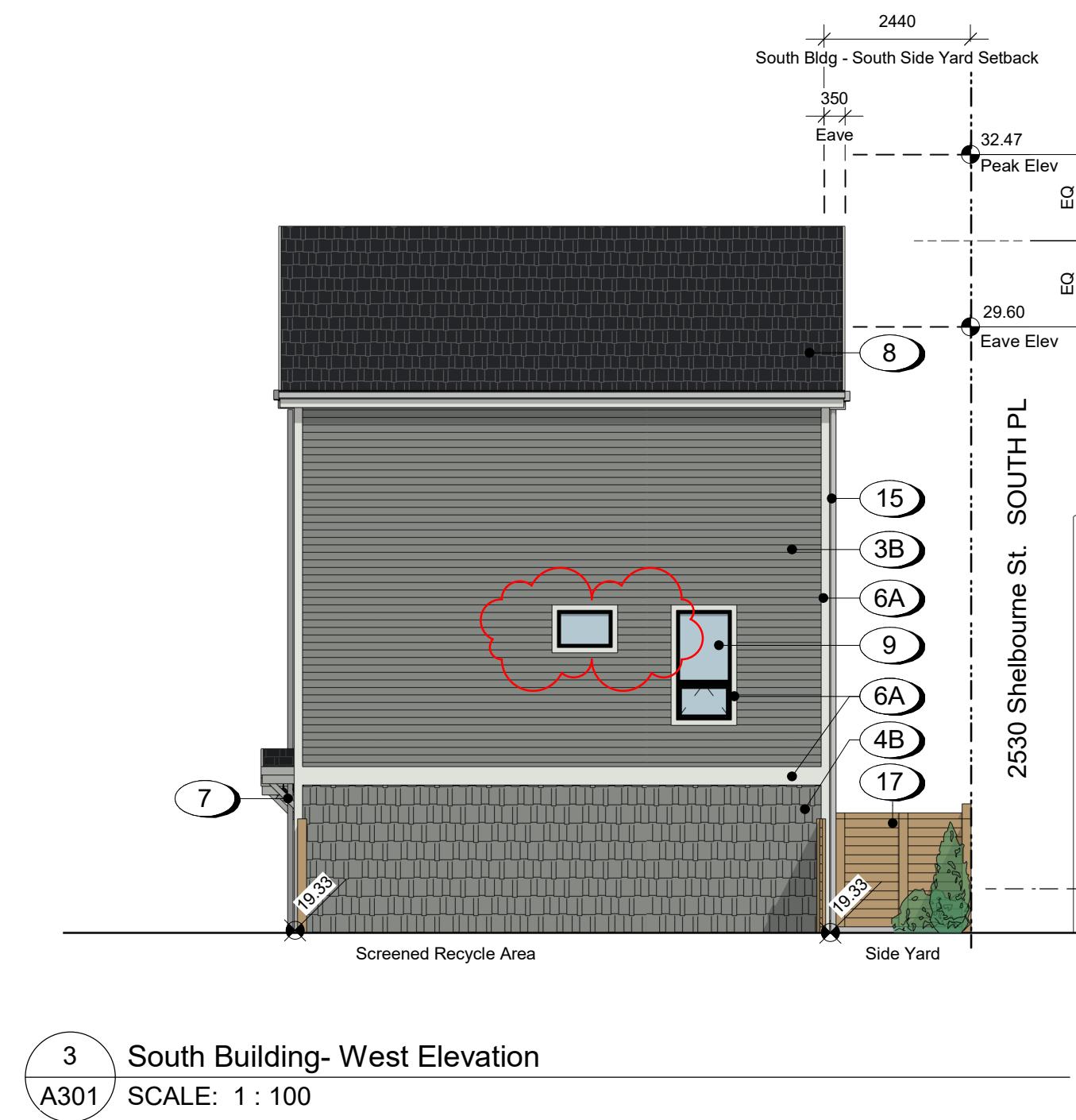
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Materials Legend	
1	Concrete - Smooth Finish, Sealed
2	Metal Guard Railing
3	Fibre Cement Lap Siding
4	Fibre Cement Shingles
5	Fibre Cement Panels
6	Fibre Cement Trim
7	Canopy w/ Knee Braces
8	Asphalt Shingles
9	Windows - Prefinished Vinyl w/ Low-E Glazing
10	Doors - Painted w/ View Lite
11	Doors - Painted Fibreglass Overhead Garage
12	Doors - Prefinished Vinyl Swing w/ Low-E Glazing
13	Doors - Prefinished Vinyl Slide w/ Low-E Glazing
14	Doors - Painted Fibreglass Swing
15	Prefinished Rainwater Leader
16	Carriage Light
17	Fence - Wood, See Landscape
18	Fence - Metal Picket, See Landscape

Colour Legend

A	Arctic White
B	Gray Slate
C	Evening Blue
D	Charcoal



8	24-03-20	Issued for DP Amendments
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Rev. 24-03-20 Date Description Issued for DP
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Shelbourne

Victoria, BC

2536 Shelbourne St.
Elevations







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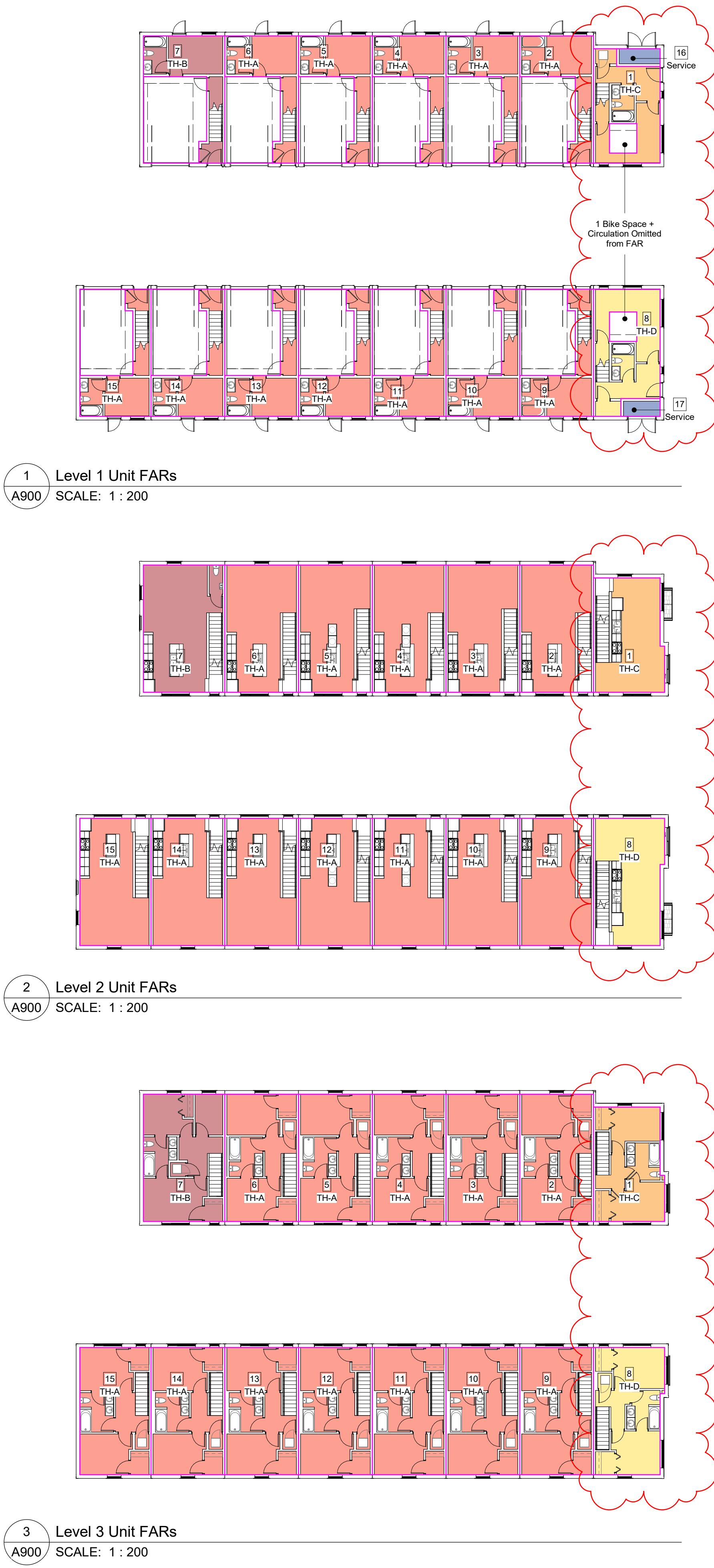
Scale 1 : 125 Project Number 2217

NOTE: All dimensions are shown in millimetres.

2536 & 2538
Shelbourne

Victoria, BC

Street Elevation



Level Areas (FAR) - North Building	
Area	
Level 1	
155.81 m ²	
Level 2 - Low	
284.54 m ²	
Level 3 - Low	
284.54 m ²	
724.89 m ²	

Unit Areas (FAR) - North Building	
Level	Area
Service (North Building)	3.37 m ²
Level 1	3.37 m ²
Unit 1 (North Building)	26.44 m ²
Level 1	26.44 m ²
Level 2 - Low	34.23 m ²
Level 3 - Low	34.23 m ²
	94.91 m ²
Unit 2 (North Building)	20.77 m ²
Level 1	20.77 m ²
Level 2 - Low	41.01 m ²
Level 3 - Low	41.01 m ²
	102.79 m ²
Unit 3 (North Building)	20.77 m ²
Level 1	20.77 m ²
Level 2 - Low	41.01 m ²
Level 3 - Low	41.01 m ²
	102.79 m ²
Unit 4 (North Building)	20.77 m ²
Level 1	20.77 m ²
Level 2 - Low	41.01 m ²
Level 3 - Low	41.01 m ²
	102.79 m ²
Unit 5 (North Building)	20.77 m ²
Level 1	20.77 m ²
Level 2 - Low	41.01 m ²
Level 3 - Low	41.01 m ²
	102.79 m ²
Unit 6 (North Building)	20.77 m ²
Level 1	20.77 m ²
Level 2 - Low	41.01 m ²
Level 3 - Low	41.01 m ²
	102.79 m ²
Unit 7 (North Building)	22.14 m ²
Level 1	22.14 m ²
Level 2 - Low	45.26 m ²
Level 3 - Low	45.26 m ²
	112.67 m ²
	724.89 m ²
Unit 15 (South Building)	20.32 m ²
Level 1	20.32 m ²
Level 2 - Low	39.59 m ²
Level 3 - Low	39.59 m ²
	99.49 m ²
	825.74 m ²

Level Areas (FAR) - South Building	
Area	
Level 1	
178.51 m ²	
Level 2 - Low	
323.62 m ²	
Level 3 - Low	
323.62 m ²	
825.74 m ²	
Unit Areas (FAR) - South Building	
Level	
Area	
Service (South Building)	3.04 m ²
Level 1	3.04 m ²
Unit 8 (South Building)	30.51 m ²
Level 1	30.51 m ²
Level 2 - Low	37.98 m ²
Level 3 - Low	37.98 m ²
	106.47 m ²
Unit 9 (South Building)	20.77 m ²
Level 1	20.77 m ²
Level 2 - Low	41.01 m ²
Level 3 - Low	41.01 m ²
	102.79 m ²
Unit 10 (South Building)	20.77 m ²
Level 1	20.77 m ²
Level 2 - Low	41.01 m ²
Level 3 - Low	41.01 m ²
	102.79 m ²
Unit 11 (South Building)	20.77 m ²
Level 1	20.77 m ²
Level 2 - Low	41.01 m ²
Level 3 - Low	41.01 m ²
	102.79 m ²
Unit 12 (South Building)	20.77 m ²
Level 1	20.77 m ²
Level 2 - Low	41.01 m ²
Level 3 - Low	41.01 m ²
	102.79 m ²
Unit 13 (South Building)	20.77 m ²
Level 1	20.77 m ²
Level 2 - Low	41.01 m ²
Level 3 - Low	41.01 m ²
	102.79 m ²
Unit 14 (South Building)	20.77 m ²
Level 1	20.77 m ²
Level 2 - Low	41.01 m ²
Level 3 - Low	41.01 m ²
	102.79 m ²
Unit 15 (South Building)	20.32 m ²
Level 1	20.32 m ²
Level 2 - Low	39.59 m ²
Level 3 - Low	39.59 m ²
	99.49 m ²
	825.74 m ²

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2217

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2536 & 2538 Shelbourne

Victoria, BC

Area Plans

AREA CALCULATIONS

SITE AREA: 1,526 m² (16,426 s.f.)

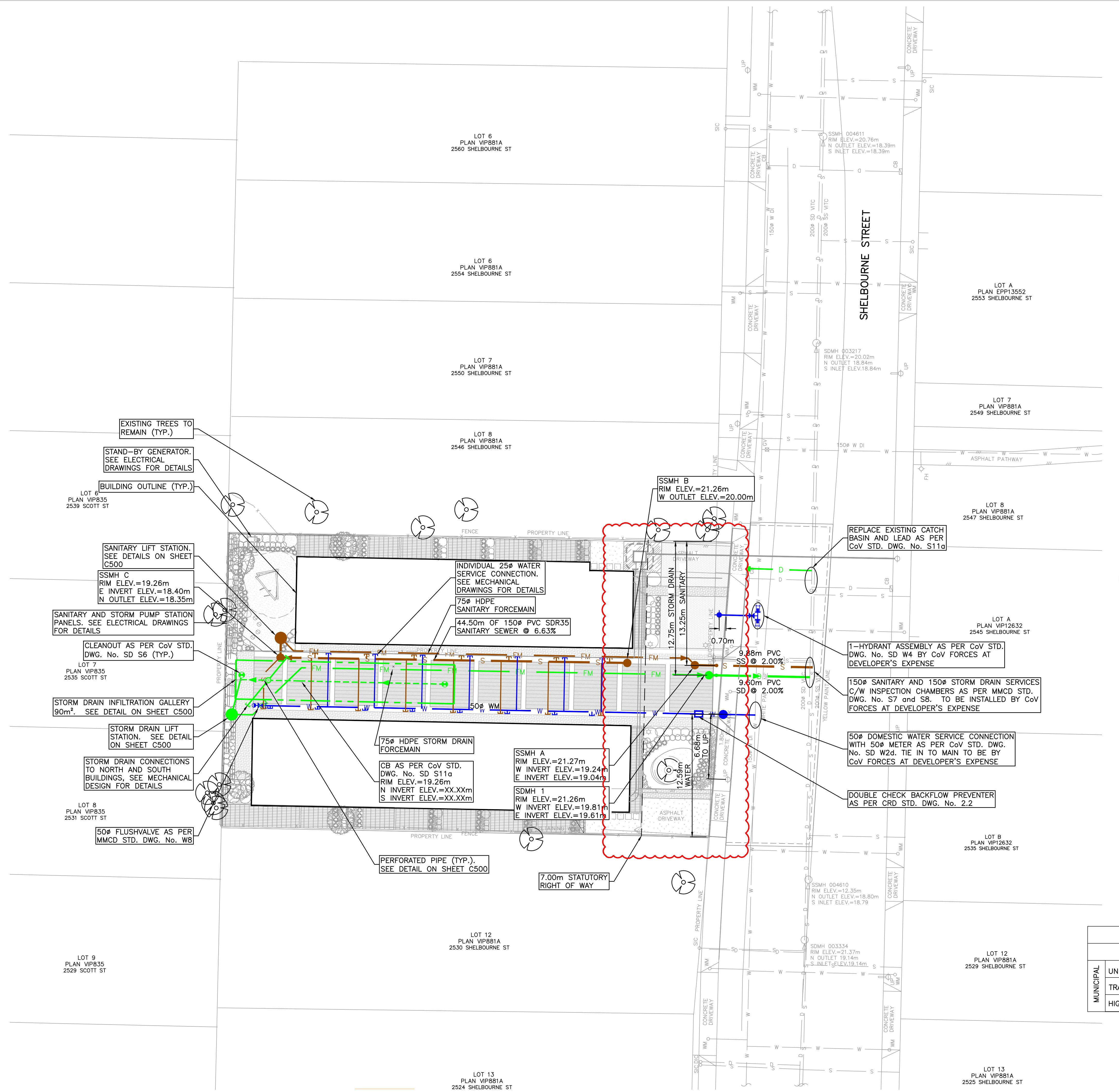
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FLOOR SPACE RATIO: 1.02 : 1 FSR

SITE COVERAGE 640 m² = 42%

OPEN SITE SPACE 504 m² = 33%



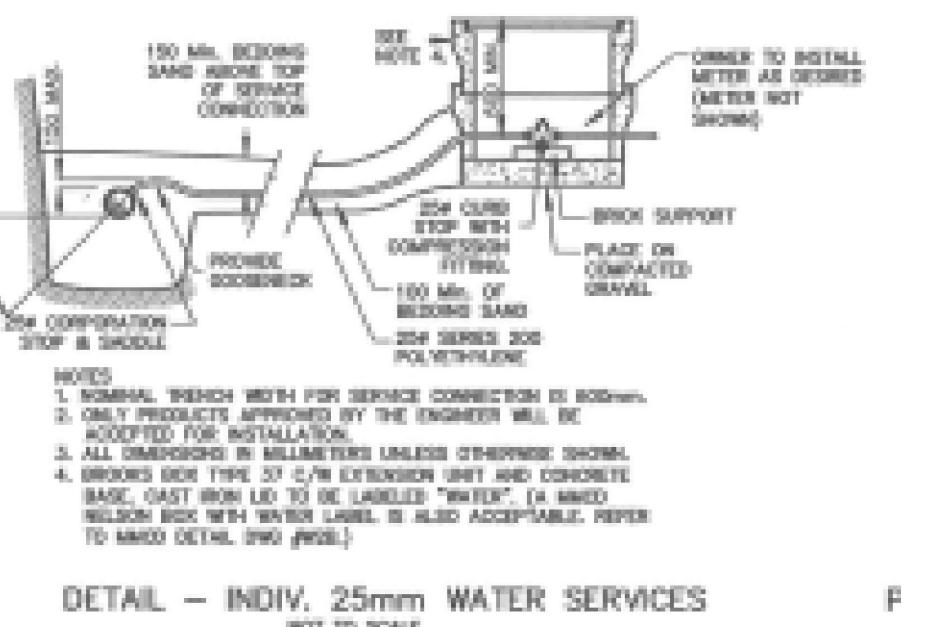


ISSUES	ISSUED FOR
No.	DATE
1	2022-11-04
2	2023-02-01
3	2023-04-26
4	2023-07-28
5	2023-09-05
6	2024-02-26
7	2024-03-13

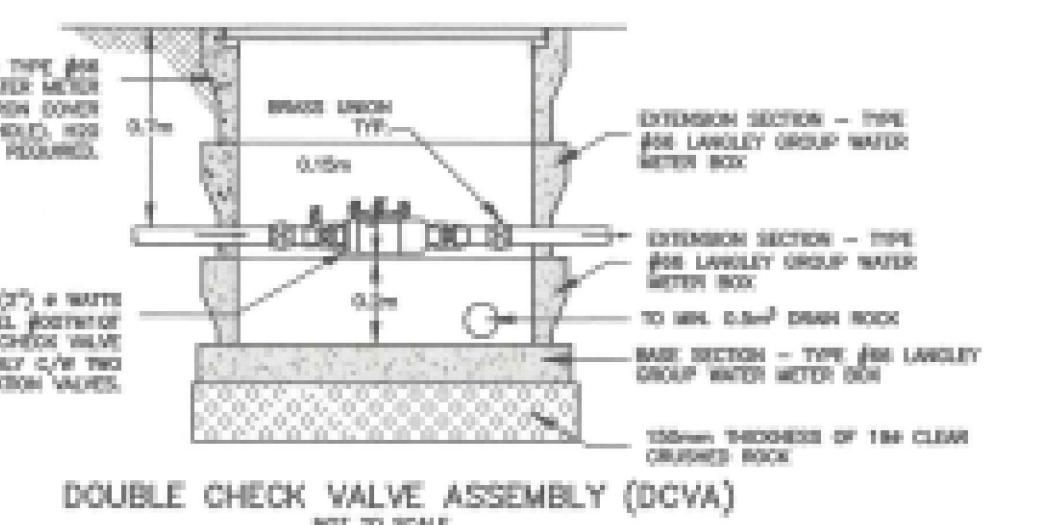
CLIENT

ISSUED FOR
DP AMENDMENT

PLAN - INDIV. 25mm WATER SERVICES
NOT TO SCALE



DETAIL - INDIV. 25mm WATER SERVICES
NOT TO SCALE



UNDERGROUND SERVICE INFORMATION		
INFORMATION IS AT PROPERTY LINE	STORM DRAIN	SANITARY SEWER
EXISTING DEPTH (m)	N/A	N/A
PROPOSED DEPTH (m)	1.63	2.22
PROPOSED INVERT ELEVATION (m)	19.60	19.00
MAXIMUM DEPTH REQUESTED	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO

MUNICIPAL	WORKS AND SERVICES CHECKLIST		DATE
	PLAN CHECKER	AUTHORIZED REPRESENTATIVE	
UNDERGROUND SERVICES			
TRAFFIC			
HIGHWAYS			

**SHELBOURNE TOWNHOMES
2536 & 2538 SHELBORNE STREET
FRAME PROPERTIES**

CITY OF VICTORIA

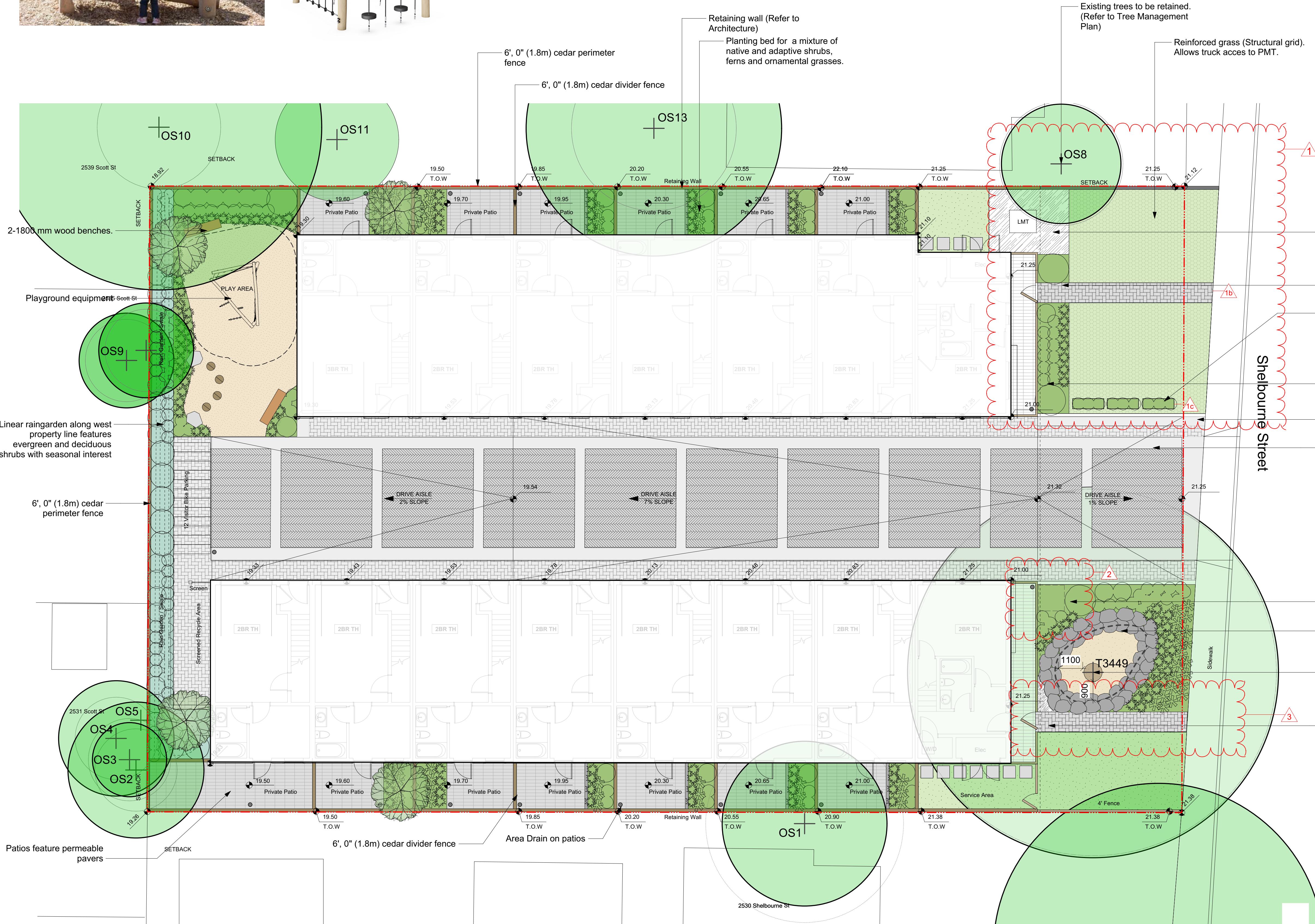
**HEROLD
ENGINEERING**
Unit 600-1112 Fort St, Victoria, BC V8V 3K8
Tel: 250-590-4875 Fax: 250-590-4392
Email: mail@heroldengineering.com

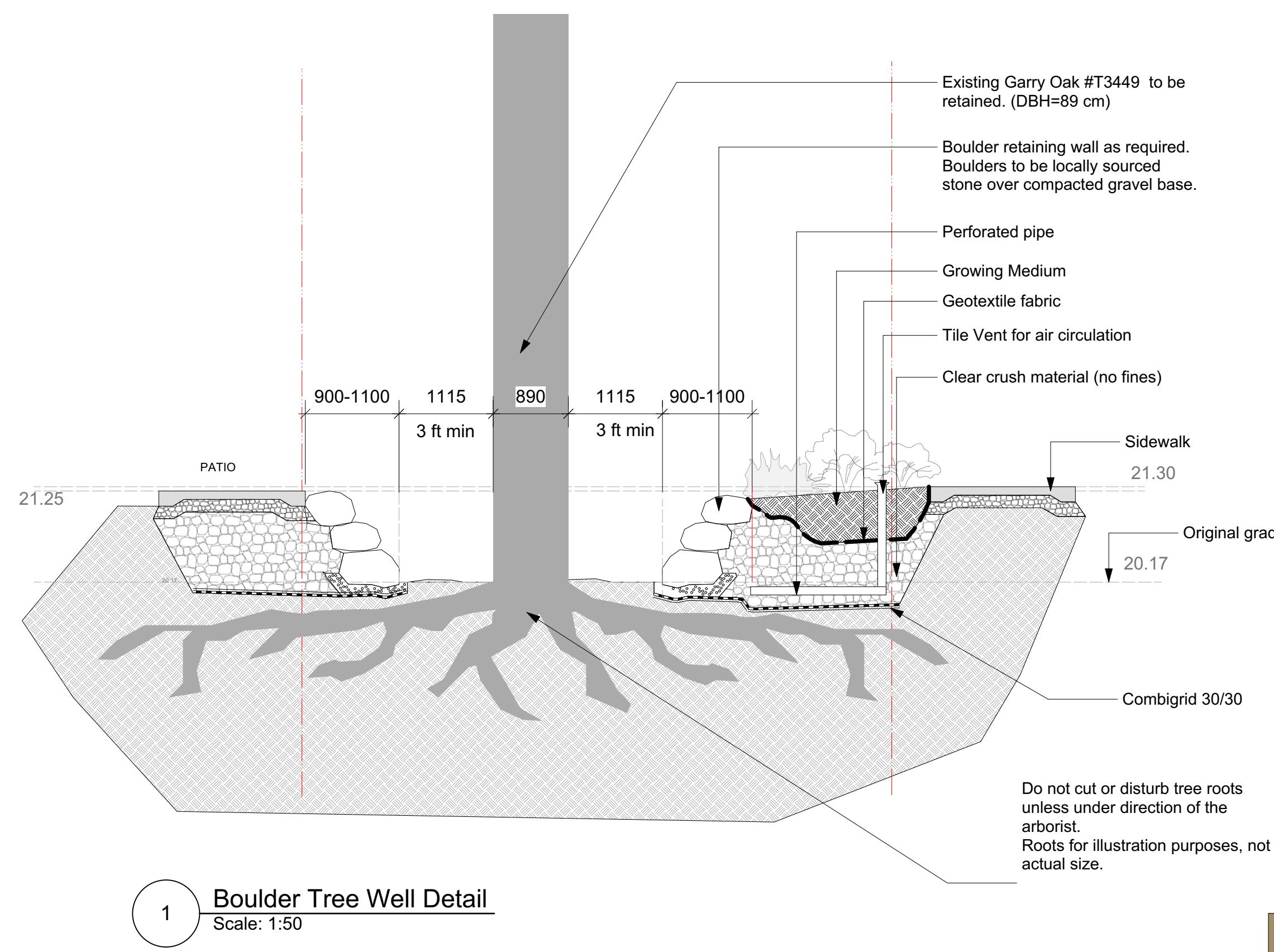
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**PRELIMINARY CIVIL
SITE SERVICING PLAN**

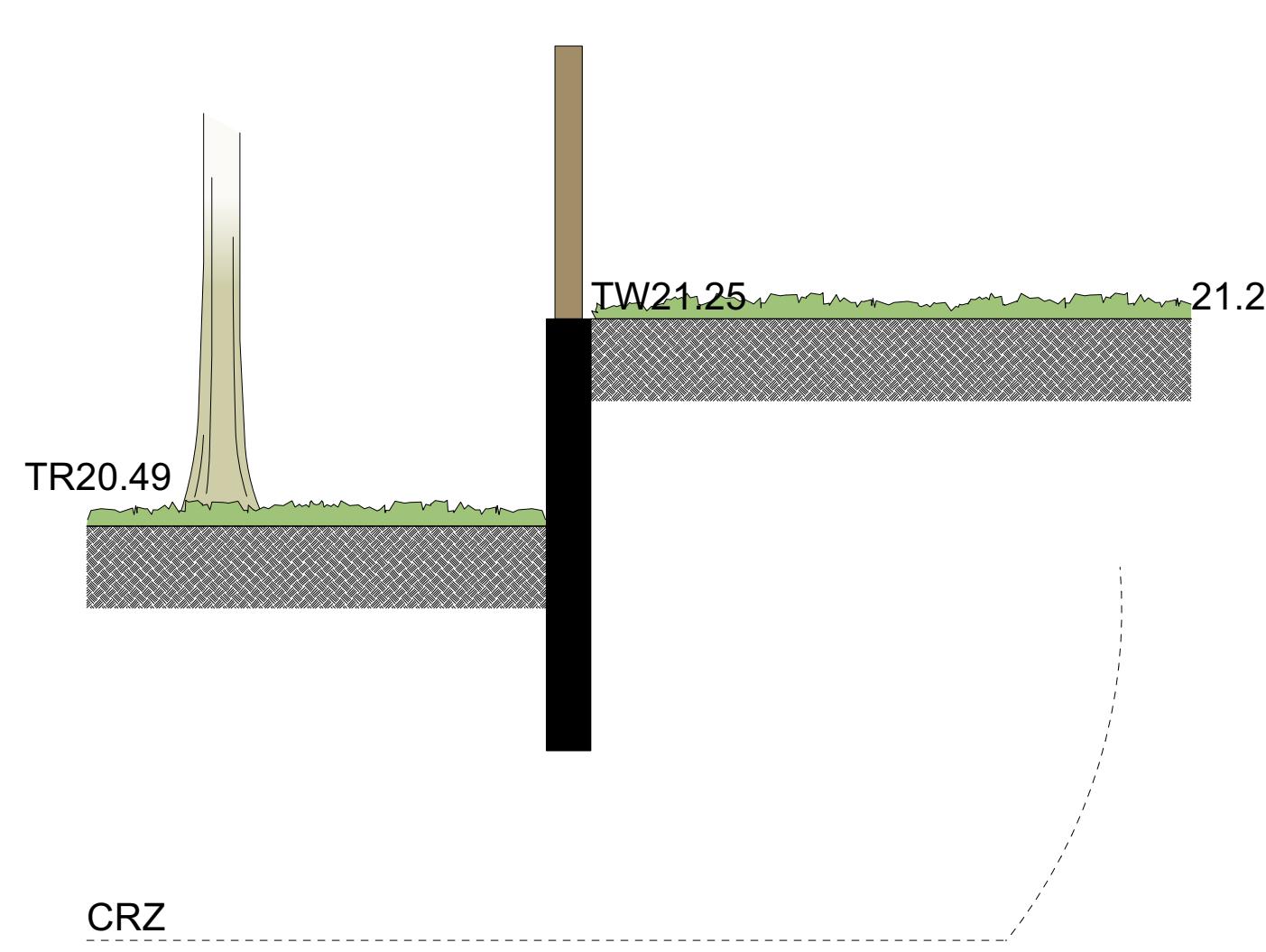
DESIGNED TL	ENGINEER'S SEAL
DESIGN REVIEW AH	PROFESSIONAL ENGINEER T. D. HEROLD C. P. Eng. 2024-03-18
DRAFTED SAC	
DRAFTING REVIEW MZ	
PROJECT No. 6020-001	CLIENT DRAWING No.
SCALE H: AS NOTED V: AS NOTED	PERMIT No. REZ0080/DPV0216
HEL DRAWING No. C200	REVISION 6

DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION

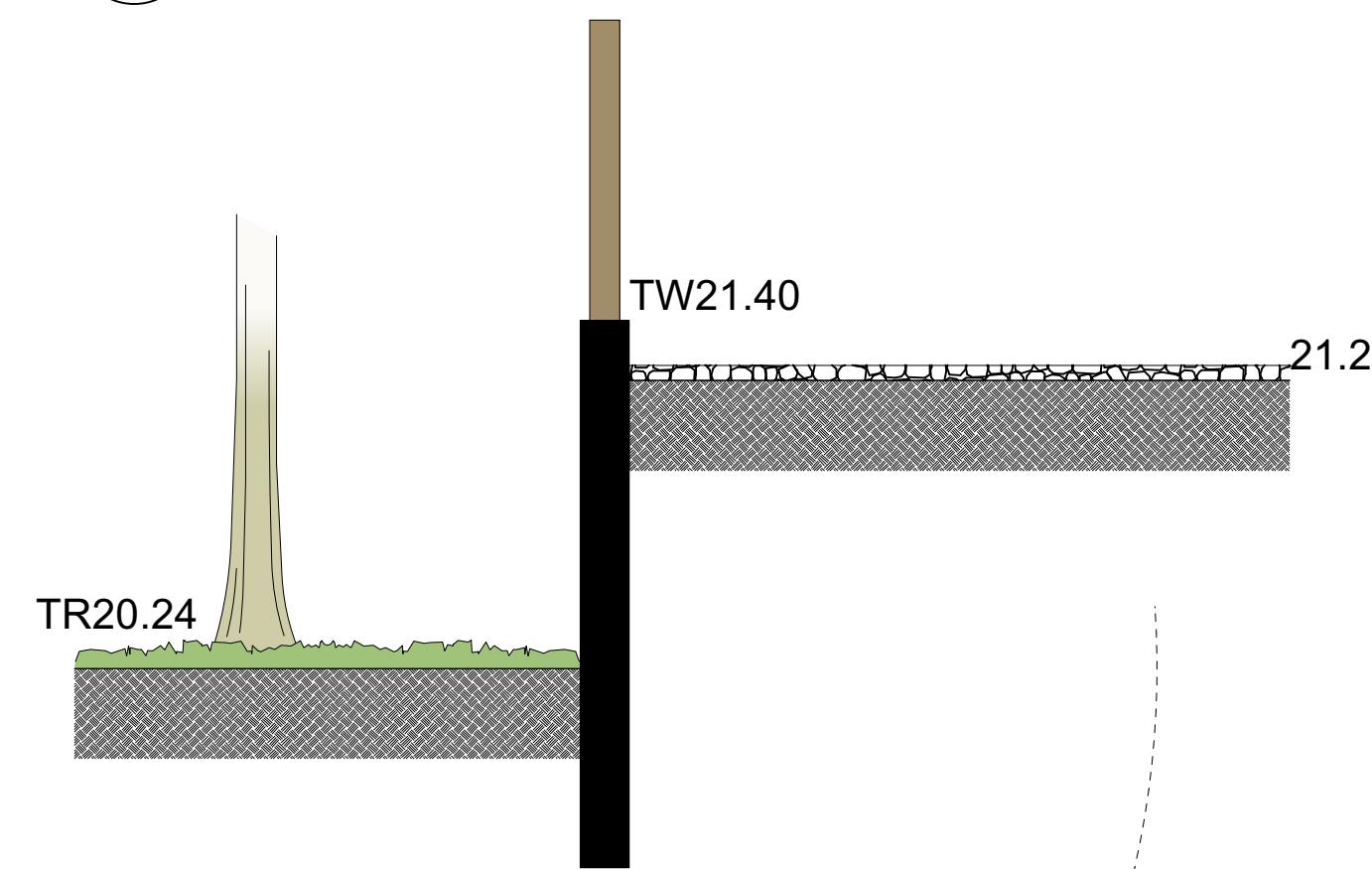




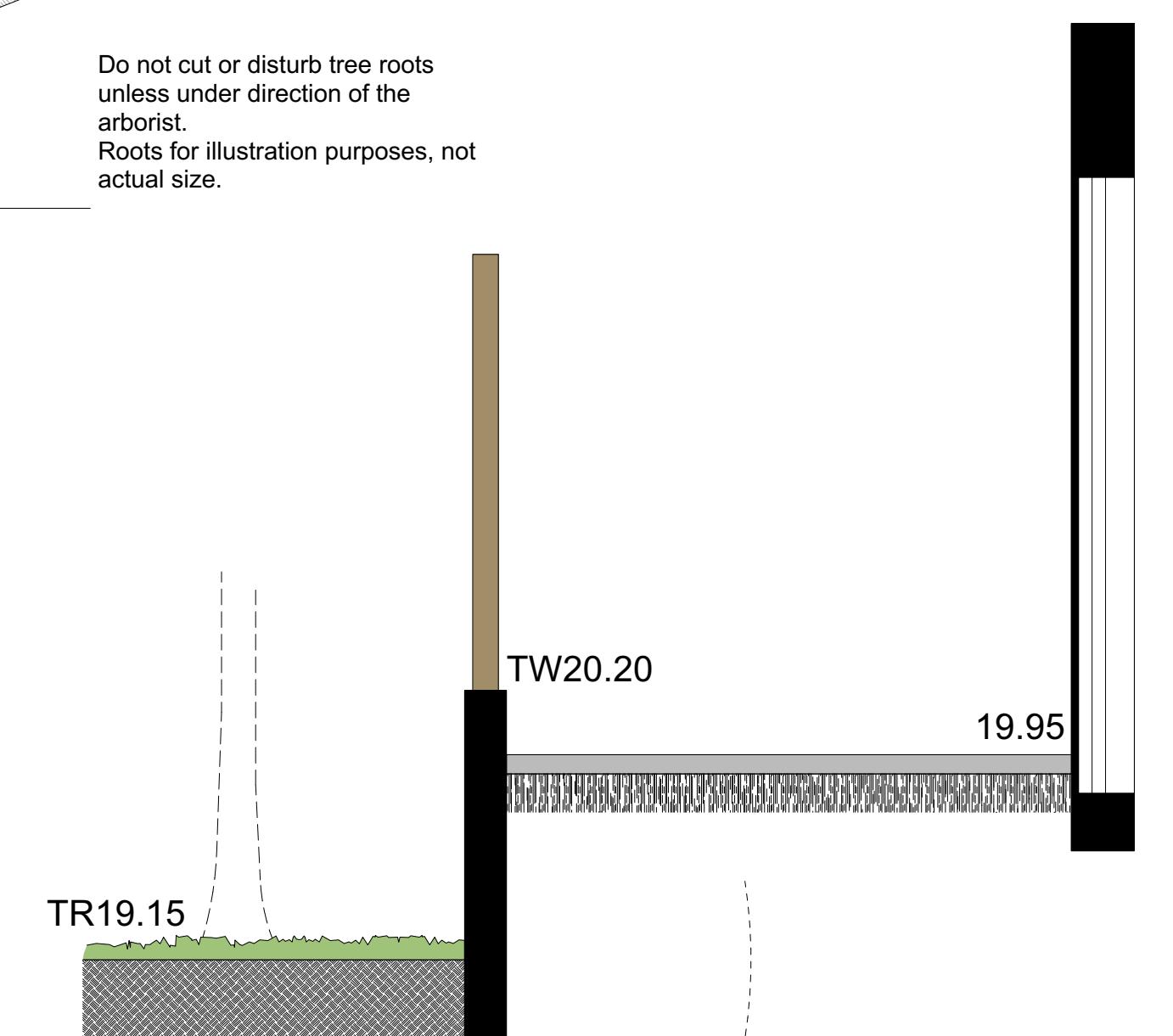
1 Boulder Tree Well Detail
Scale: 1:50



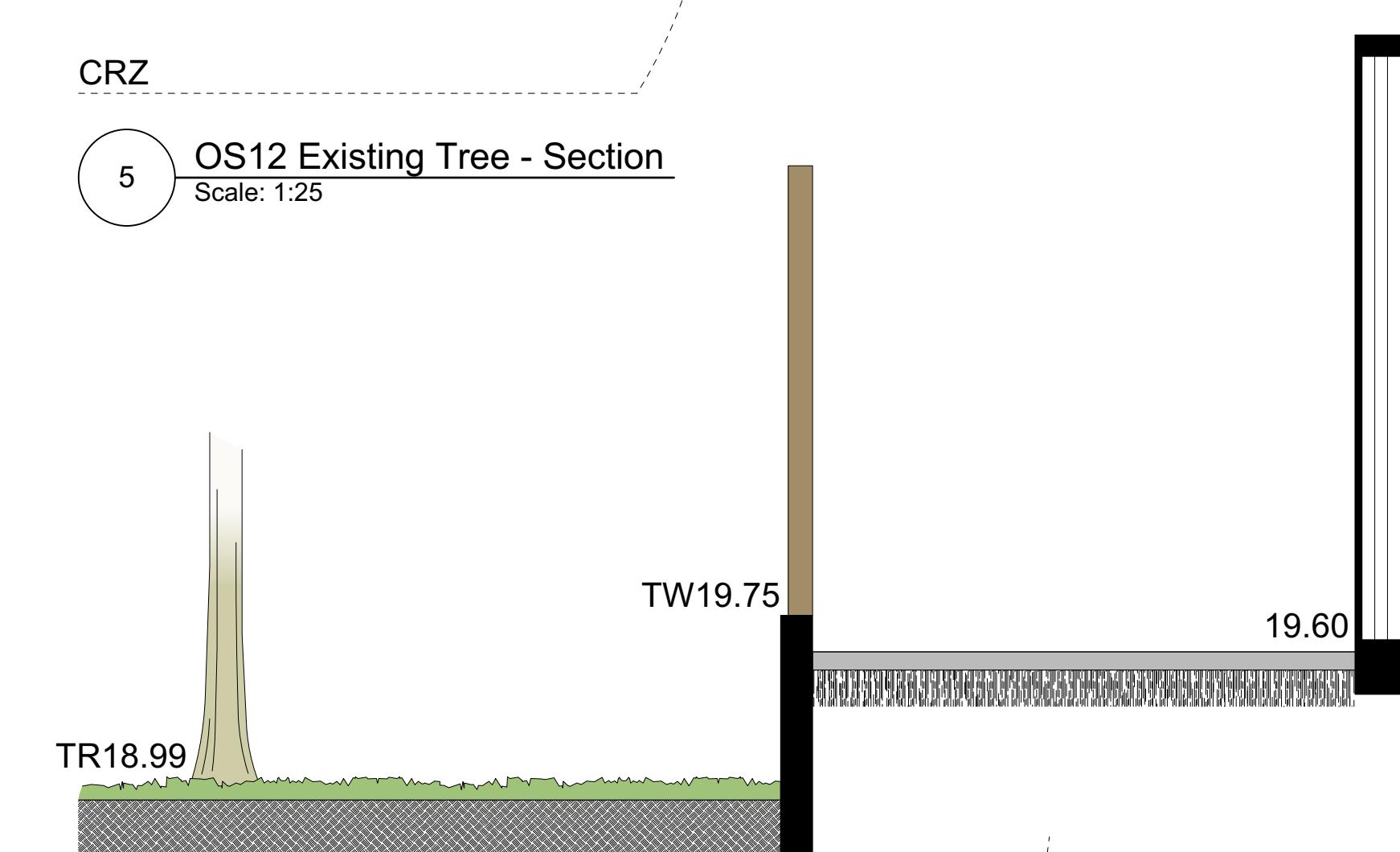
2 OS6 Existing Tree - Section
Scale: 1:25



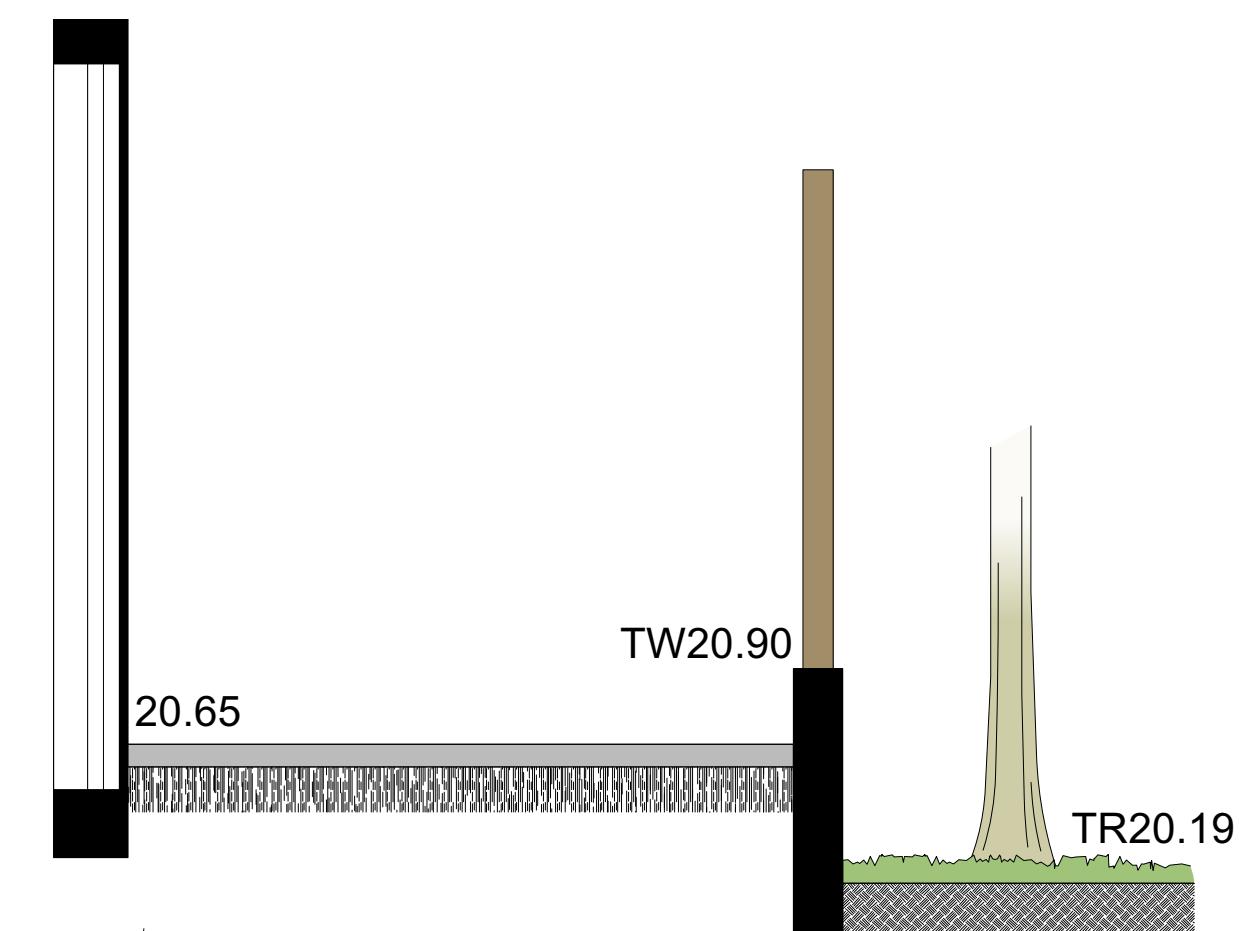
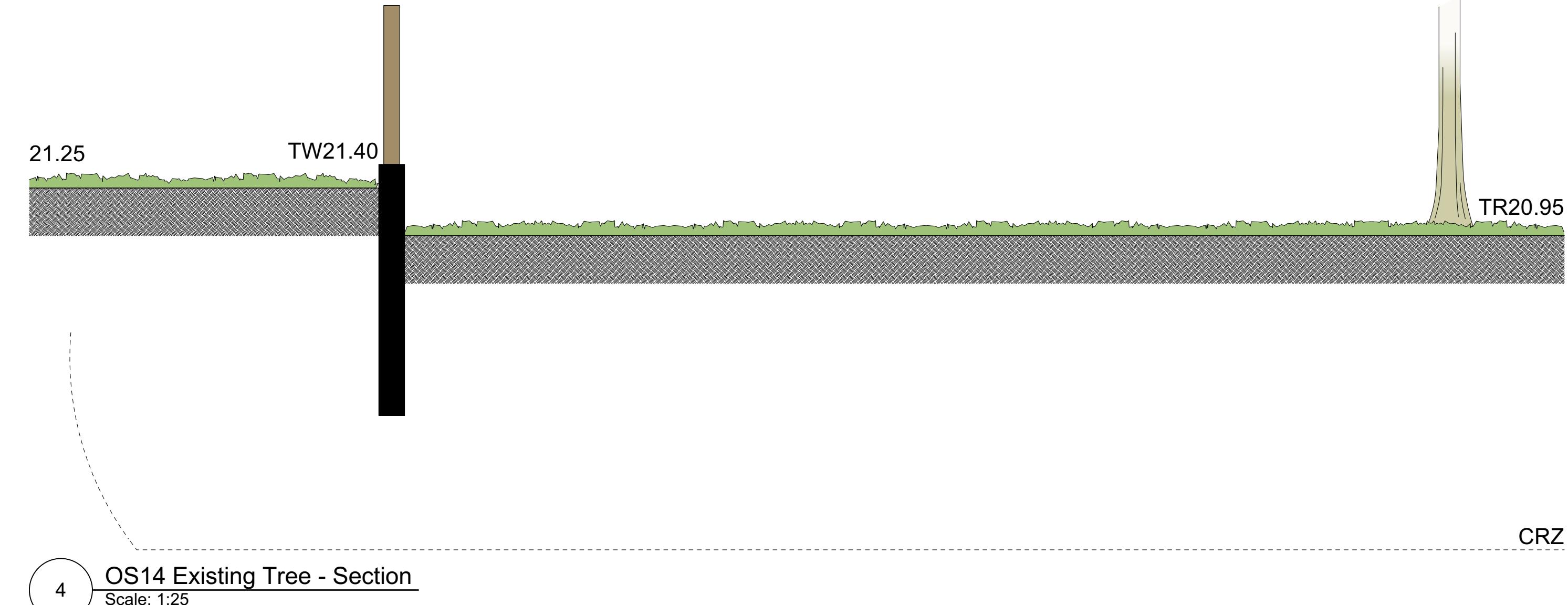
3 OS8 Existing Tree - Section
Scale: 1:25



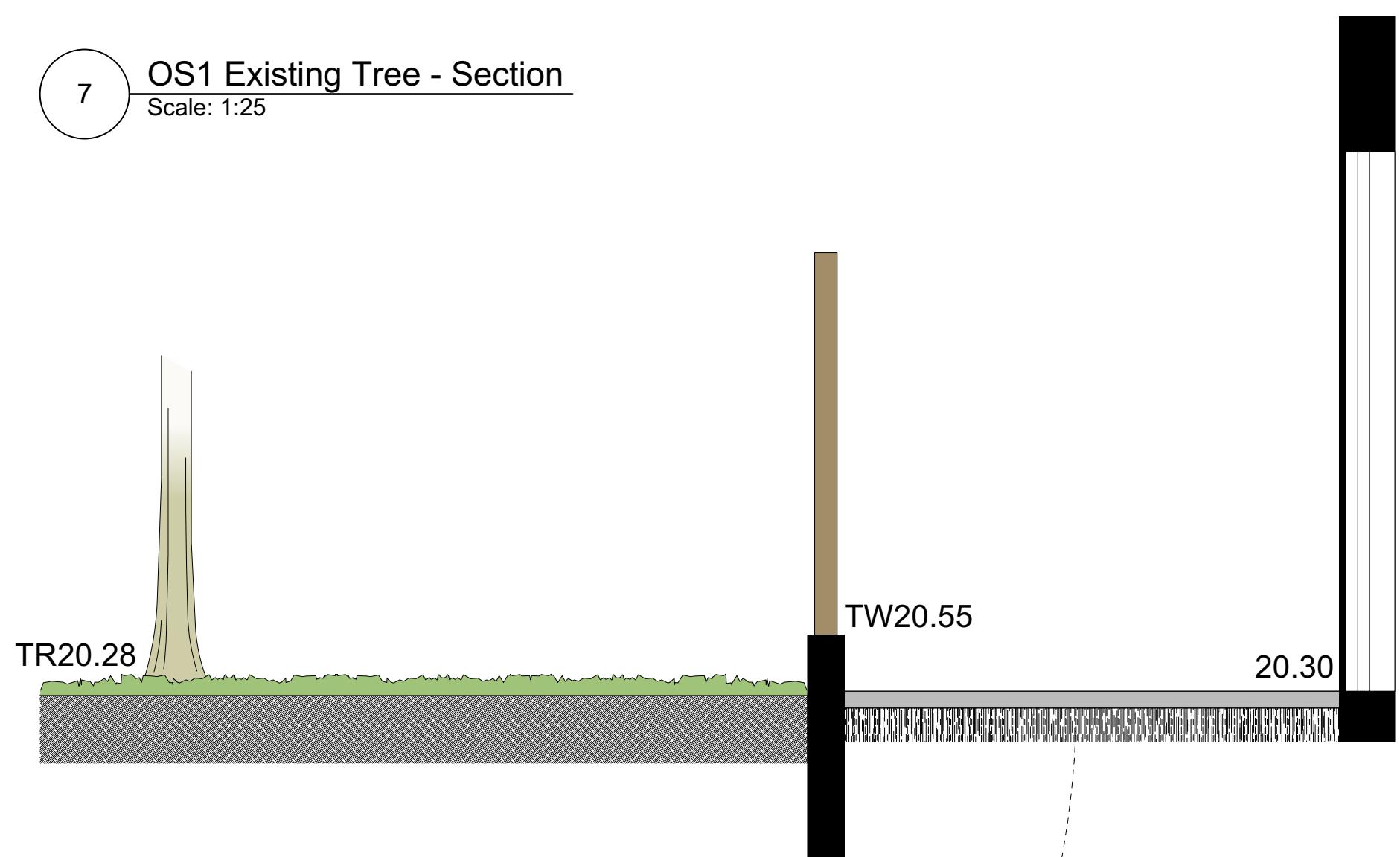
5 OS12 Existing Tree - Section
Scale: 1:25



6 OS11 Existing Tree - Section
Scale: 1:25



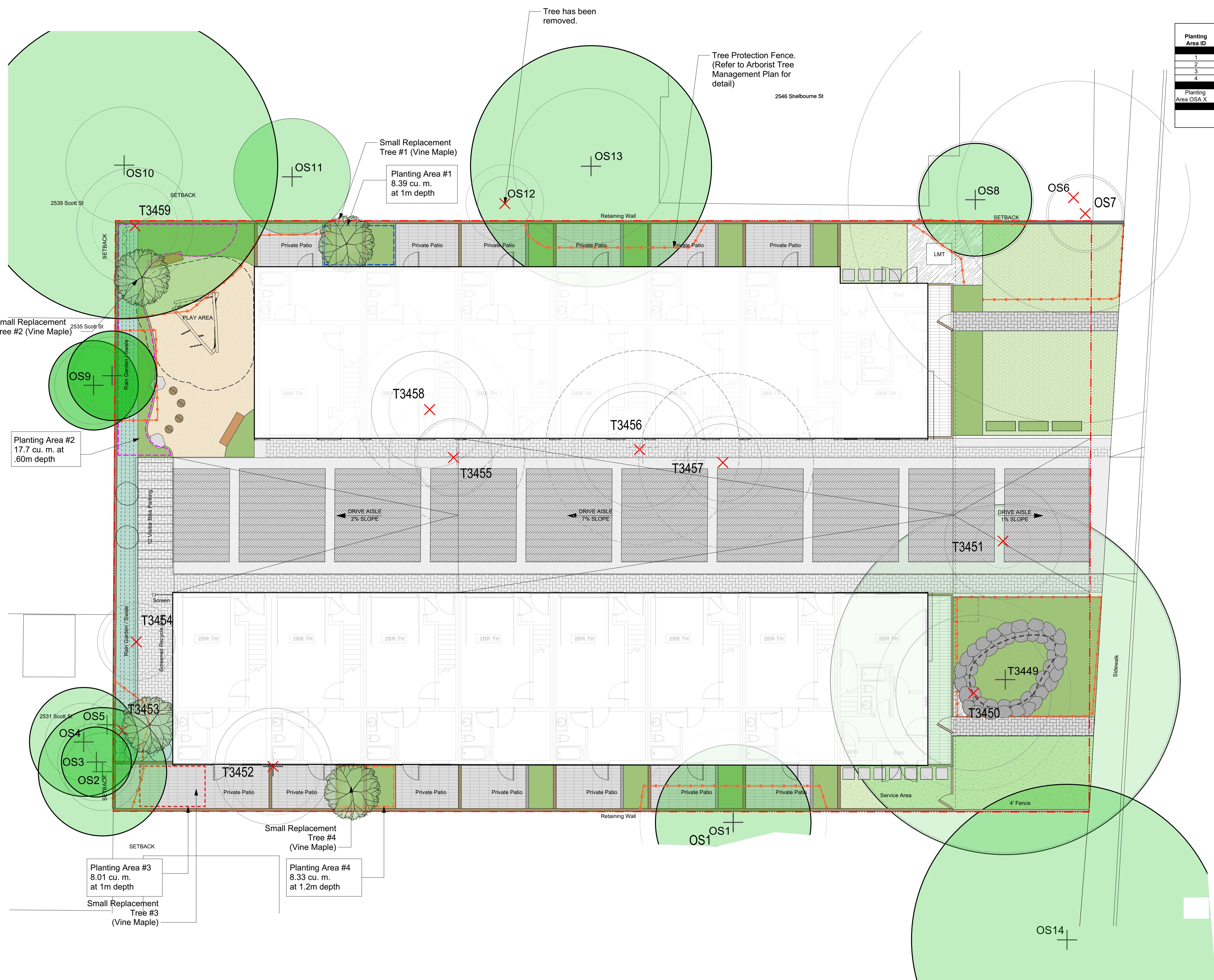
7 OS1 Existing Tree - Section
Scale: 1:25



8 OS13 Existing Tree - Section
Scale: 1:25

Mar 15, 2024
Jan 30, 2024
Nov 17, 2023
Nov 8, 2023
Sept 05, 2023
July 28, 2023

Landscape Details | 2540 Shelbourne



Planting Area ID	Area (m²)	Soil Volume (m³)	Replacement Trees Proposed		Soil Volume Required (m³)				
			A Estimated soil volume	B # Small	C # Medium	D # Large	E Small	F Medium	G Large
1	8.39	1.00	8.39	1.0	8.00	8.00	8.00	8.00	8.00
2	29.60	0.60	17.76	1.0	8.00	8.00	8.00	8.00	8.00
3	8.00	1.00	8.00	1.0	8.00	8.00	8.00	8.00	8.00
4	6.94	1.20	8.33	1.0	8.00	8.00	8.00	8.00	8.00

* On ground (excluding exposed bedrock): use 1. On structure: use depth of soil. On soil cells: use 0.92. On structural soil: use 0.2

** Total must not exceed A, then the number or size of proposed replacement trees must be reduced.

Calculation:
If B = 1, C x 8
If B > 1, B x 6
If C = 1, C x 20
If C > 1, C x 15
If D = 1, D x 35
If D > 1, D x 30
E + F + G

Mar 15, 2024
Jan 30, 2024
Nov 17, 2023
Nov 8, 2023
Sept 05, 2023
July 28, 2023

SCALE 1:100
0 5 10