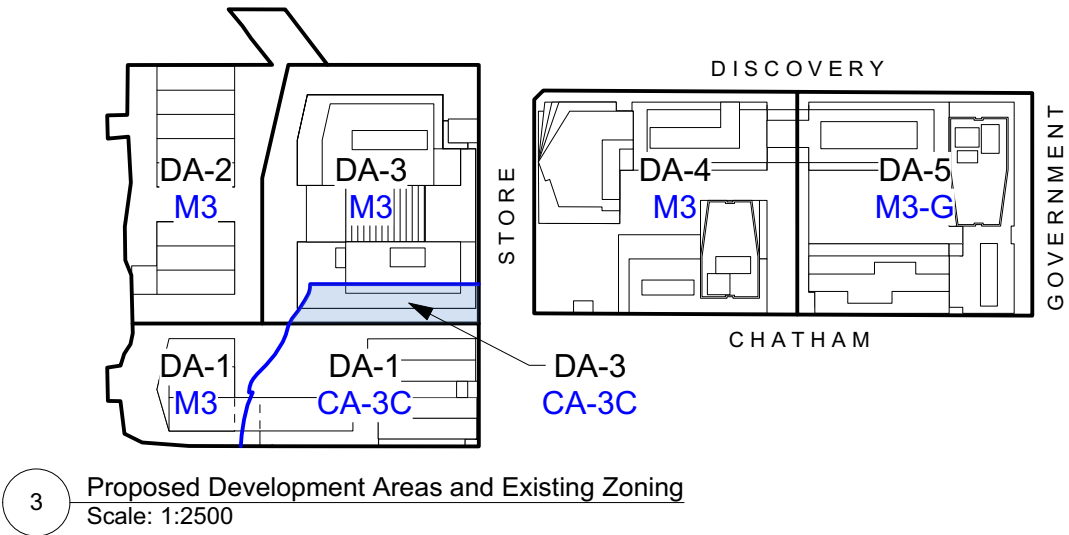
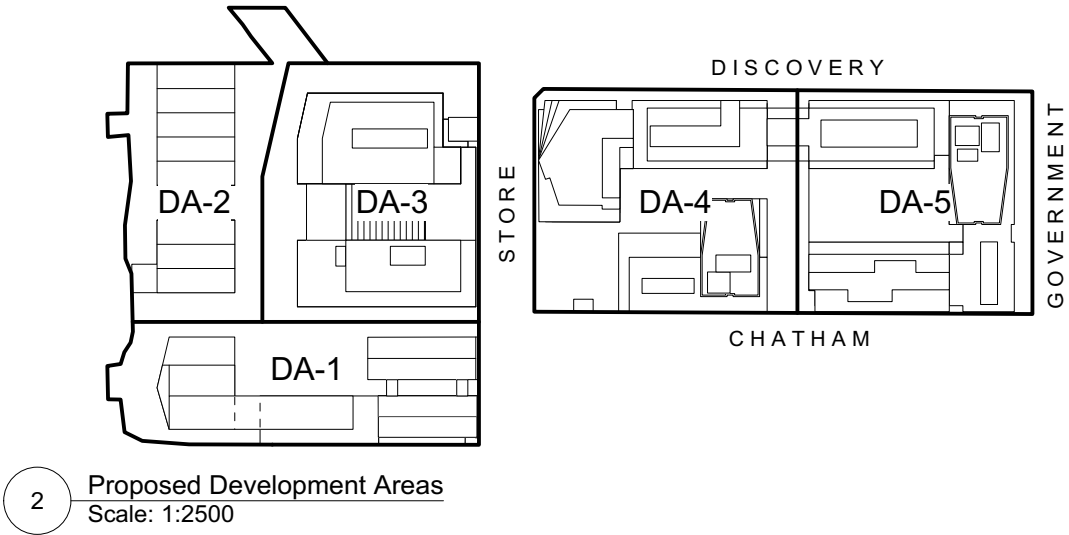
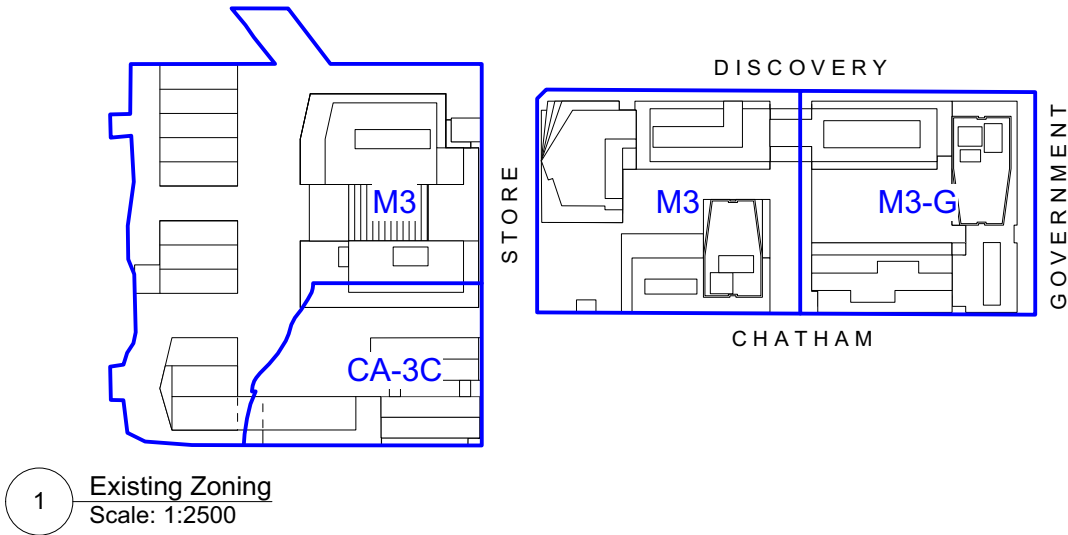
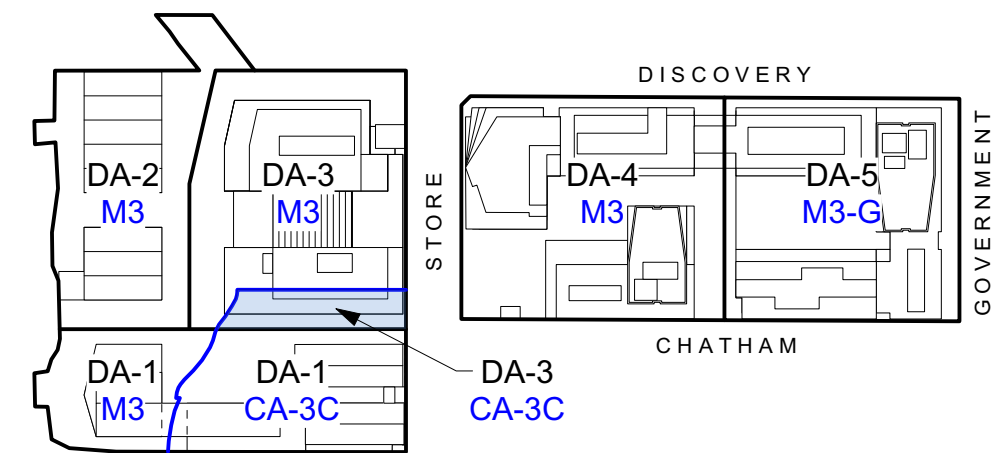


Zoning Comparison



Zoning Comparison (continued)



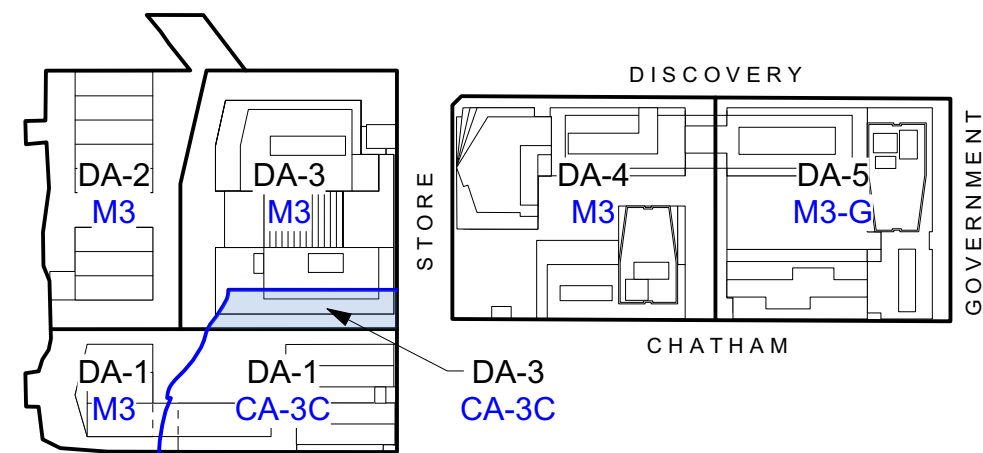
Proposed Development Areas and Existing Zoning
Scale: 1:2500

Development Area 1				
Zone (existing): M3 Heavy Industrial District		CA-3C Old Town District		Proposed Zone: Site specific CD zone
Site Area: - not included in existing zone		- not included in existing zone		
Total Floor Area: - not included in existing zone		- not included in existing zone		
Commercial Floor Area: - not included in existing zone		limitations on floor area for bakeries and drycleaners		Commercial Floor Area: No specific limitations are proposed.
Maximum FSR: 3 : 1		3 : 1 and 1:1 for office buildings built after 1914		Maximum FSR: 3 : 1 Combined DA 1, 2, 3, 4, 5
Site Coverage: - not included in existing zone		- not included in existing zone		
Maximum Height: 15m (4m within 7.5m of adjoining Residential)		15m 6m minimum street wall height		Maximum Height: 18m Measured from average grade of Store St.
Number of Storeys: - not included in existing zone		- not included in existing zone		
Parking Stalls: 1 x Loading space; Per Schedule 'C'		1/95m2 of office, where office use exceeds 2850m2		Parking Stalls: Per Schedule 'C'; to be confirmed at DP stage
Bicycle parking: Per Schedule 'C'		- not included in existing zone		Bicycle parking: Per Schedule 'C'
<u>Building Setbacks:</u> Minimum Front Yard: 0m (3m diagonal x 3m high at corner lot lines facing a street intersection) Minimum Rear Yard: 0m (3m when adjoining rear use is Residential) Minimum Side Yard: 0m (3m when adjoining side use is Residential)		0m (3m diagonal x 3m high at corner lot lines facing a street intersection) 0m 0m		<u>Building Setbacks:</u> Minimum Front Yard: 0m Minimum Rear Yard: 0m Ocean Minimum Side Yard: 0m
Combined Side Yard: - not included in existing zone		- not included in existing zone		
Residential Use: Residence for watchman as ancillary use on lot		Restricted to the second and higher storeys of a building		Residential Use: Not proposed



Note: Please refer to additional notes included in the rezoning booklet related to the proposed height limits and setbacks.

Zoning Comparison (continued)



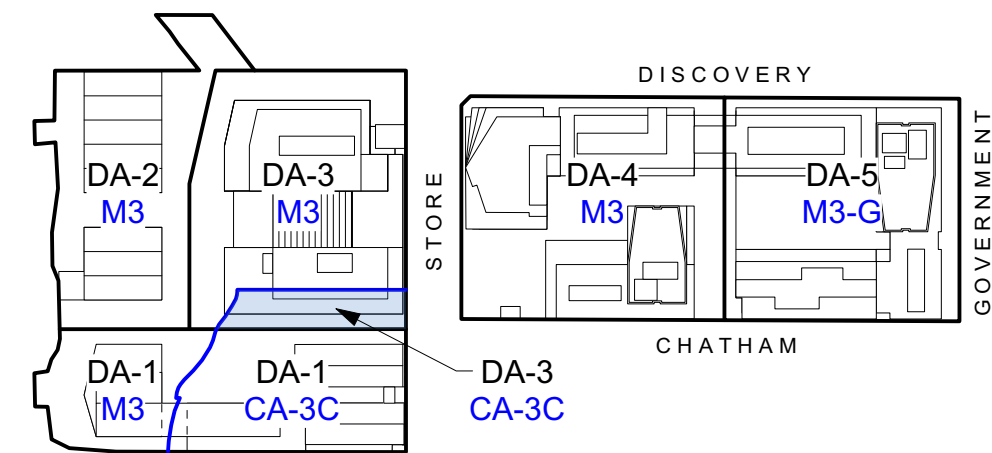
Proposed Development Areas and Existing Zoning
Scale: 1:2500

Development Area 2			
Zone (existing): M3 Heavy Industrial District		Proposed Zone: Site specific CD zone	
Site Area: - not included in existing zone			
Total Floor Area: - not included in existing zone			
Commercial Floor Area: - not included in existing zone			
Maximum FSR: 3 : 1		Maximum FSR: 3 : 1 Combined DA 1, 2, 3, 4, 5	
Site Coverage: - not included in existing zone			
Maximum Height: 15m (4m within 7.5m of adjoining Residential)		Maximum Height: 15m Measured from average grade of Store St.	
Number of Storeys: - not included in existing zone			
Parking Stalls: 1 x Loading space; Per Schedule 'C'		Parking Stalls: Per Schedule 'C'; to be confirmed at DP stage	
Bicycle parking: Per Schedule 'C'		Bicycle parking: Per Schedule 'C'	
<u>Building Setbacks:</u>		<u>Building Setbacks:</u>	
Minimum Front Yard: 0m (3m diagonal x 3m high at corner lot lines facing a street intersection)		Minimum Front Yard: 0m	Lane
Minimum Rear Yard: 0m (3m when adjoining rear use is Residential)		Minimum Rear Yard: 0m	Ocean
Minimum Side Yard: 0m (3m when adjoining side use is Residential)		Minimum Side Yard: 0m	
Combined Side Yard: - not included in existing zone			
Residential Use: Residence for watchman as ancillary use on lot		Residential Use: Not proposed	

Note: Please refer to additional notes included in the rezoning booklet related to the proposed height limits and setbacks.



Zoning Comparison (continued)

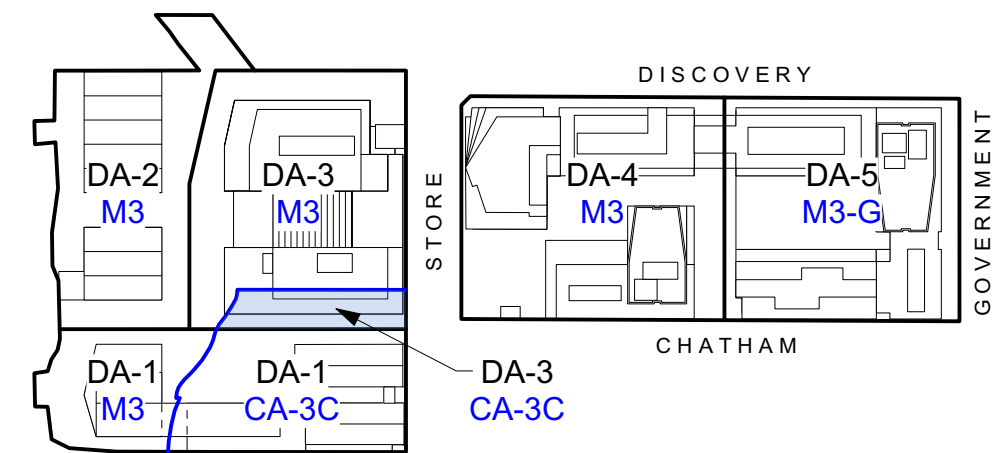


Proposed Development Areas and Existing Zoning
Scale: 1:2500

Development Area 3				
Zone (existing): M3 Heavy Industrial District		CA-3C Old Town District		Proposed Zone: Site specific CD zone
Site Area: - not included in existing zone		- not included in existing zone		
Total Floor Area: - not included in existing zone		- not included in existing zone		
Commercial Floor Area: - not included in existing zone		limitations on floor area for bakeries and drycleaners		Commercial Floor Area: No specific limitations are proposed.
Maximum FSR: 3 : 1		3 : 1 and 1:1 for office buildings built after 1914		Maximum FSR: 3 : 1 Combined DA 1, 2, 3, 4, 5
Site Coverage: - not included in existing zone		- not included in existing zone		
Maximum Height: 15m (4m within 7.5m of adjoining Residential)		15m 6m minimum street wall height		Maximum Height: Mid-rise/ Podium 28m Tower 42m Measured from average grade of Store St.
Number of Storeys: - not included in existing zone		- not included in existing zone		
Parking Stalls: 1 x Loading space; Per Schedule 'C'		1/95m2 of office, where office use exceeds 2850m2		Parking Stalls: Per Schedule 'C'; to be confirmed at DP stage
Bicycle parking: Per Schedule 'C'		- not included in existing zone		Bicycle parking: Per Schedule 'C'
<u>Building Setbacks:</u>		<u>Building Setbacks:</u>		<u>Building Setbacks:</u>
Minimum Front Yard: 0m (3m diagonal x 3m high at corner lot lines facing a street intersection)		0m (3m diagonal x 3m high at corner lot lines facing a street intersection)		Minimum Front Yard (Store (west)): Ground Level 2m Mid-rise/podium 1m Tower 5m
Minimum Rear Yard: 0m (3m when adjoining rear use is Residential)		0m		Minimum Rear Yard (lane): 0m 0m 0m
Minimum Side Yard: 0m (3m when adjoining side use is Residential)		0m		Minimum Side Yard: 0m 0m 0m
Combined Side Yard: - not included in existing zone		- not included in existing zone		
Residential Use: Residence for watchman as ancillary use on lot		Restricted to the second and higher storeys of a building		Residential Use: Above the third storey with the exception of residential lobbies and circulation

Note: Please refer to additional notes included in the rezoning booklet related to the proposed height limits and setbacks.

Zoning Comparison (continued)

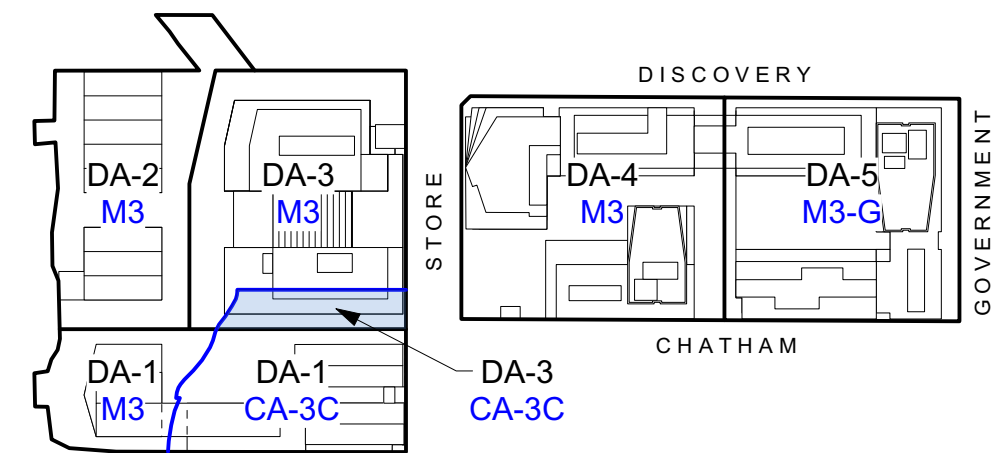


Proposed Development Areas and Existing Zoning
Scale: 1:2500

Development Area 4				
Zone (existing): M3 Heavy Industrial District		Proposed Zone: Site specific CD zone		
Site Area: - not included in existing zone				
Total Floor Area: - not included in existing zone				
Commercial Floor Area: - not included in existing zone				
Maximum FSR: 3 : 1		Maximum FSR: 3 : 1 Combined DA 1, 2, 3, 4, 5		
Site Coverage: - not included in existing zone				
Maximum Height: 15m (4m within 7.5m of adjoining Residential)		Maximum Height:	Mid-rise/ Podium 27m	Tower 54m Measured from average grade of the site
Number of Storeys: - not included in existing zone				
Parking Stalls: 1 x Loading space; Per Schedule 'C'		Parking Stalls: Per Schedule 'C'; to be confirmed at DP stage		
Bicycle parking: Per Schedule 'C'		Bicycle parking: Per Schedule 'C'		
<u>Building Setbacks:</u>		<u>Building Setbacks:</u>		
Minimum Front Yard: 0m (3m diagonal x 3m high at corner lot lines facing a street intersection)		Store (east):	Ground Level	Mid-rise/podium
			1m	1m
Minimum Rear Yard: 0m (3m when adjoining rear use is Residential)		Chatham:	2m	0m
		Discovery:	3m	3m
Minimum Side Yard: 0m (3m when adjoining side use is Residential)		Minimum Side Yard (lane):	0m	0m
Combined Side Yard: - not included in existing zone				
Residential Use: Residence for watchman as ancillary use on lot		Residential Use:	Proposed to be included. Number of units and floor area to be determined at DP stage.	

Note: Please refer to additional notes included in the rezoning booklet related to the proposed height limits and setbacks.

Zoning Comparison (continued)



Proposed Development Areas and Existing Zoning
Scale: 1:2500

Development Area 5				
Zone (existing): M3-G Heavy Industrial District			Proposed Zone: Site specific CD zone	
Site Area: - not included in existing zone				
Total Floor Area: - not included in existing zone				
Commercial Floor Area: Maximum 1208 m2 for retail use; limitations on accessory retail and display uses			Commercial Floor Area: No specific retail limitations are proposed.	
Maximum FSR: 3 : 1			Maximum FSR: 3 : 1 Combined DA 1, 2, 3, 4, 5	
Site Coverage: - not included in existing zone				
Maximum Height: 15m (4m within 7.5m of adjoining Residential)			Maximum Height: Mid-rise/Podium 25m	Tower 69m Measured from average grade of the site
Number of Storeys: - not included in existing zone				
Parking Stalls: 1 x Loading space; Per Schedule 'C'			Parking Stalls Per Schedule 'C'; to be confirmed at DP stage	
Bicycle parking: Per Schedule 'C'			Bicycle parking Per Schedule 'C'	
<u>Building Setbacks:</u>			<u>Building Setbacks:</u>	
Minimum Front Yard: 0m (3m diagonal x 3m high at corner lot lines facing a street intersection)			Government: 8m	Mid-rise/podium 6m Tower 8m
Minimum Rear Yard: 0m (3m when adjoining rear use is Residential)			Chatham: 2m	0m 5m
			Discovery: 3m	3m 8m
Minimum Side Yard: 0m (3m when adjoining side use is Residential)			Minimum Side Yard (lane): 0m	0m 0m
Combined Side Yard: - not included in existing zone				
Residential Use: Residence for watchman as ancillary use on lot			Residential Use: Proposed to be included. Number of units and floor area to be determined at DP stage.	

Note: Please refer to additional notes included in the rezoning booklet related to the proposed height limits and setbacks.