

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING):
OTD-1

PROPOSED ZONE:
No change to zone. No change of use .

SITE AREA (m²):
Lot 469: 685 m²

FLOOR AREA (m²):
L1: 171 m² (no change)
Mezzanine: 67 m² (proposed)
TOTAL: 237 m² (proposed)

COMMERCIAL FLOOR AREA (m²):
237 m²

FLOOR SPACE RATIO: .35: 1

SITE COVERAGE (%): 28%

HEIGHT OF BUILDING (m): 6.0 m (no change)

NUMBER OF STOREYS: 1

PARKING STALLS ON SITE: 8 (existing, no change)

PARKING STALLS REQUIRED: none

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): 10
U" bike racks along Herald Street frontage and 4 on north side of building).

BUILDING SETBACKS (m):
OTD-1 Zone, therefore, no setbacks required.

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING):
OTD-1

PROPOSED ZONE:
No change to zone. No change of use .

SITE AREA (m²) :
Lot 470: 687 m²

FLOOR AREA (m²):
L1: 76 m² (no change)
Mezzanine: 16 m² (proposed)
TOTAL: 92 m² (proposed)

COMMERCIAL FLOOR AREA (m²):
92 m²

FLOOR SPACE RATIO: .13: 1

SITE COVERAGE (%) : 12%

HEIGHT OF BUILDING (m): 6.0 m (no change)

NUMBER OF STOREYS: 1

PARKING STALLS ON SITE: 4 (existing, no change)

PARKING STALLS REQUIRED: none

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): none

BUILDING SETBACKS (m)
OTD-1 Zone, therefore, no setbacks required.

REGISTERED OWNER
Mike & Lee Spence
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ARCHITECT
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Charles Kierulf
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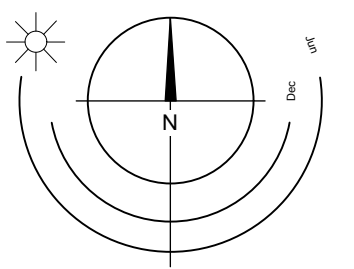
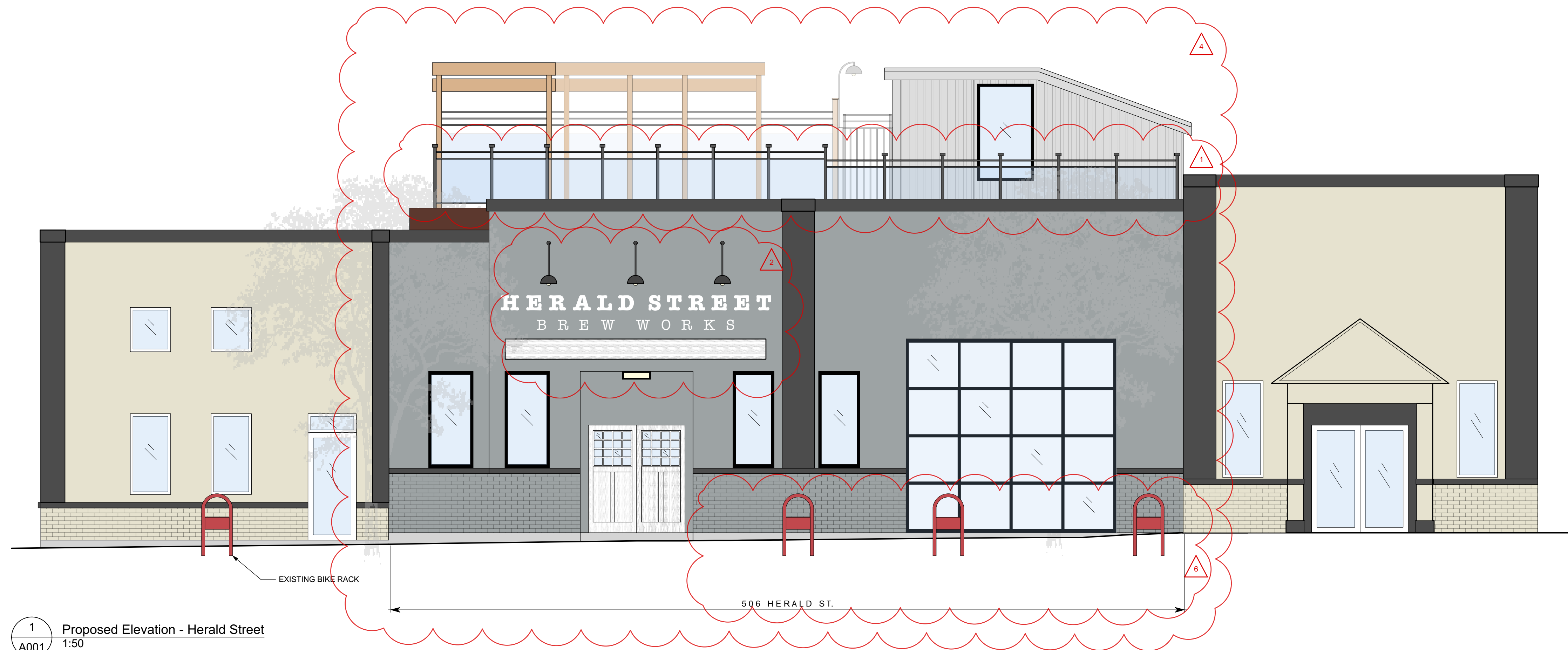
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Brian Lang
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brianl@sorensenTRILOGY.ca

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Mirek Demidow
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fax: 250.384.4134

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5040 Lockehaven Drive
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Paul Nirwan
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Architectural	
A001	Project Data
A101	Site Plan
A201	Level 1 Floor Plan
A202	Mezzanine Floor Plan
A203	Roof Top Plan
A204	Seating Plan
A401	Elevations
A501	Sections
A01	Materials Board

1. Roof top guard rail extended for full frontage along Herald Street.
2. Proposed new awning and placement of new exterior lighting.
3. Reconfiguration of exterior exit staircase and guardrail added to service exit stair.
4. Additional exterior upgrades proposed.
5. Resolution of issues as identified by Calvin Grey on TRG comments. See attached letter to Planning.
6. Addition of 2 new "inverted U" bike racks along Herald Street frontage and 4 staff bike parking spots along north side of building.

[illegible]

NOTE: All dimensions are shown in millimeters.

chKa

de Hoog & Kierulff architects

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NANAIMO OFFICE
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project name

Herald Brew Pub
506 Herald Street
Victoria, BC

drawing title

Project Data

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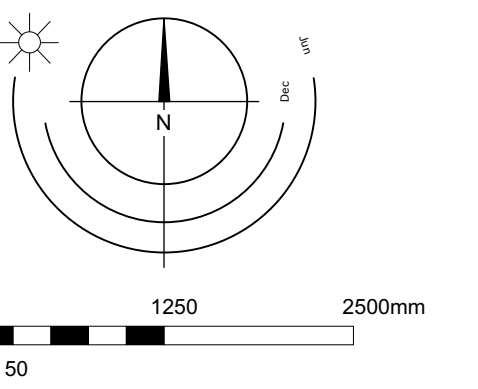
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revision no.

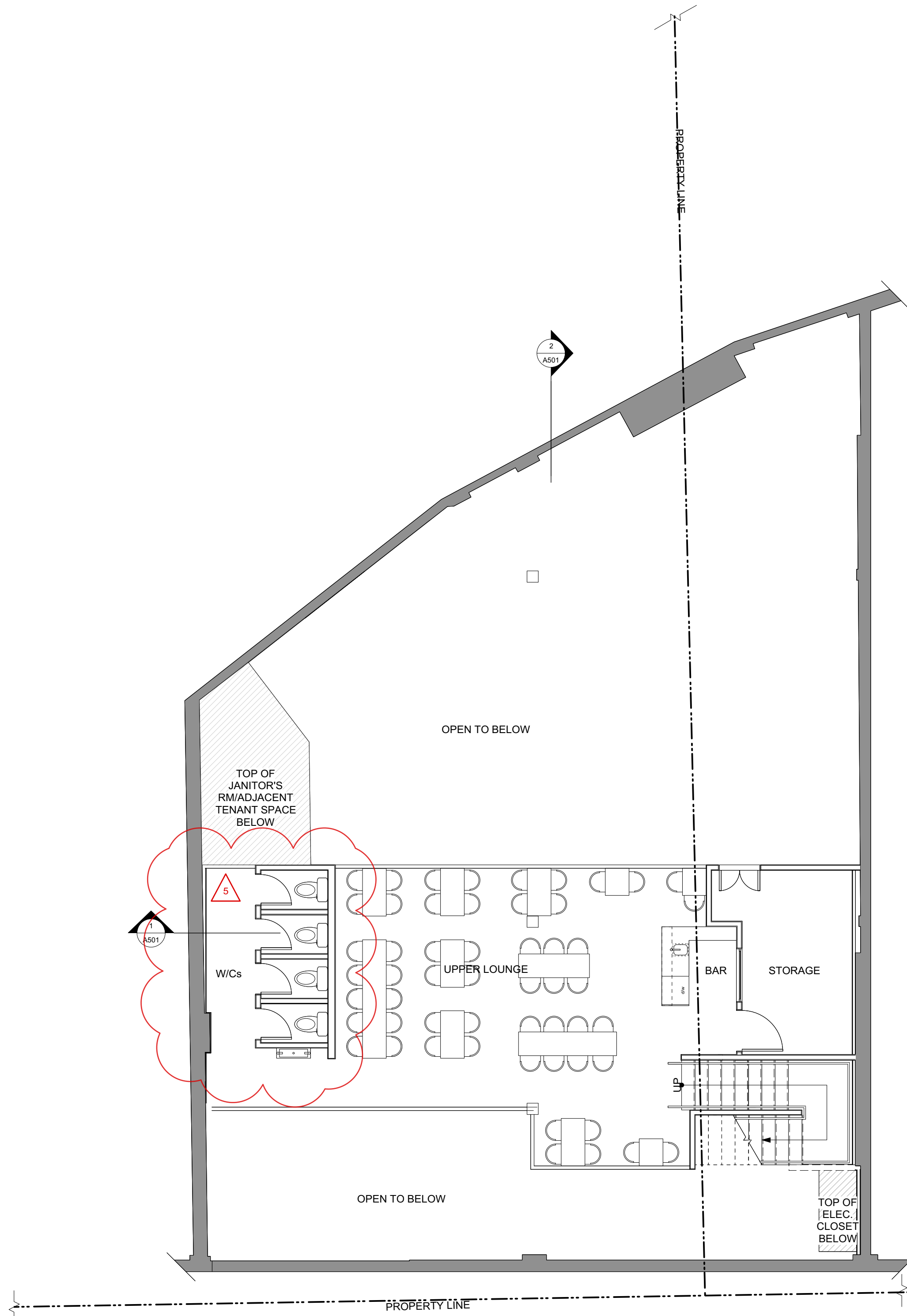
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1. Shaded walls are existing.
2. No interior alterations to L1 or Mezzanine (exterior alterations only).

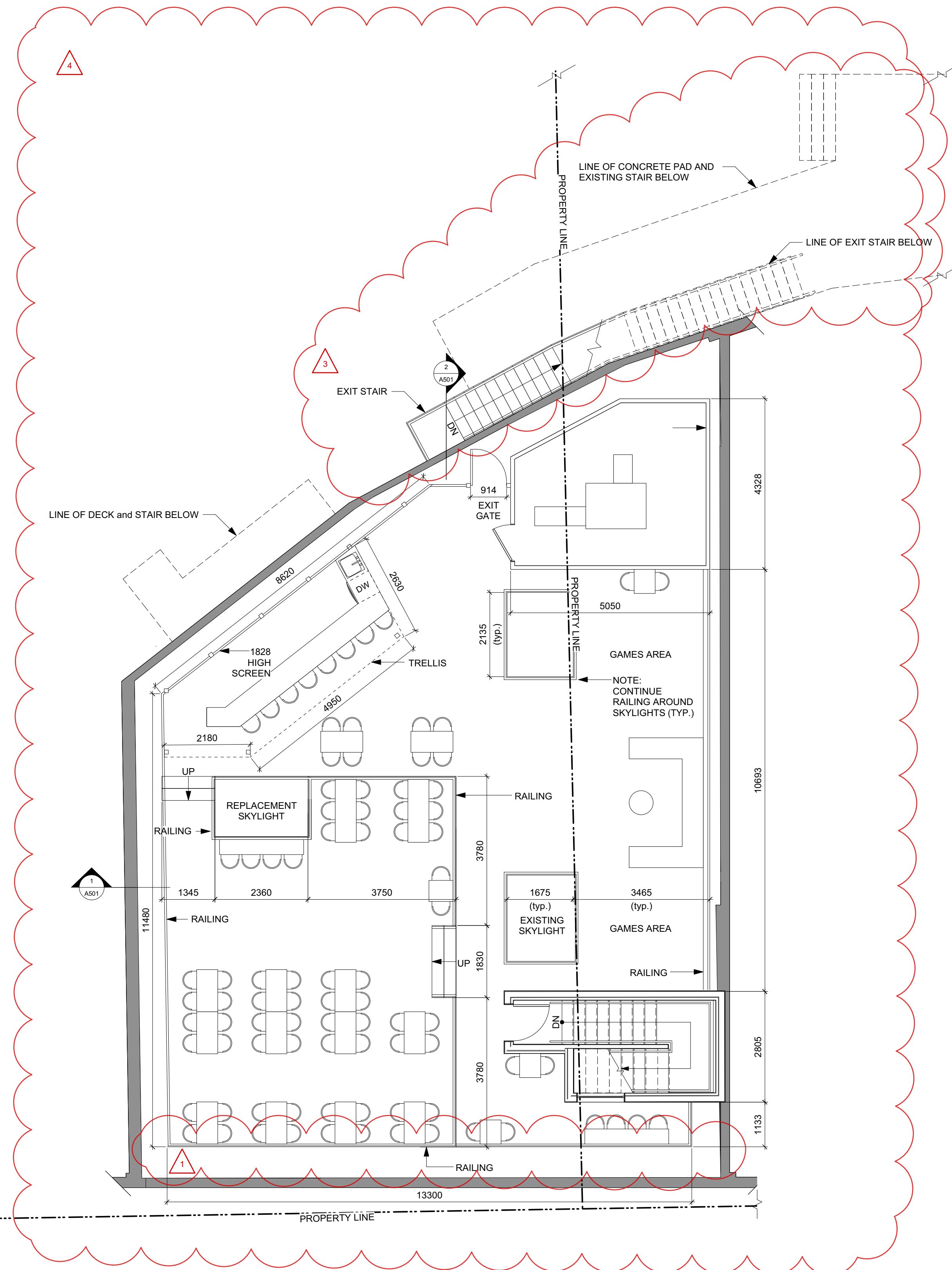
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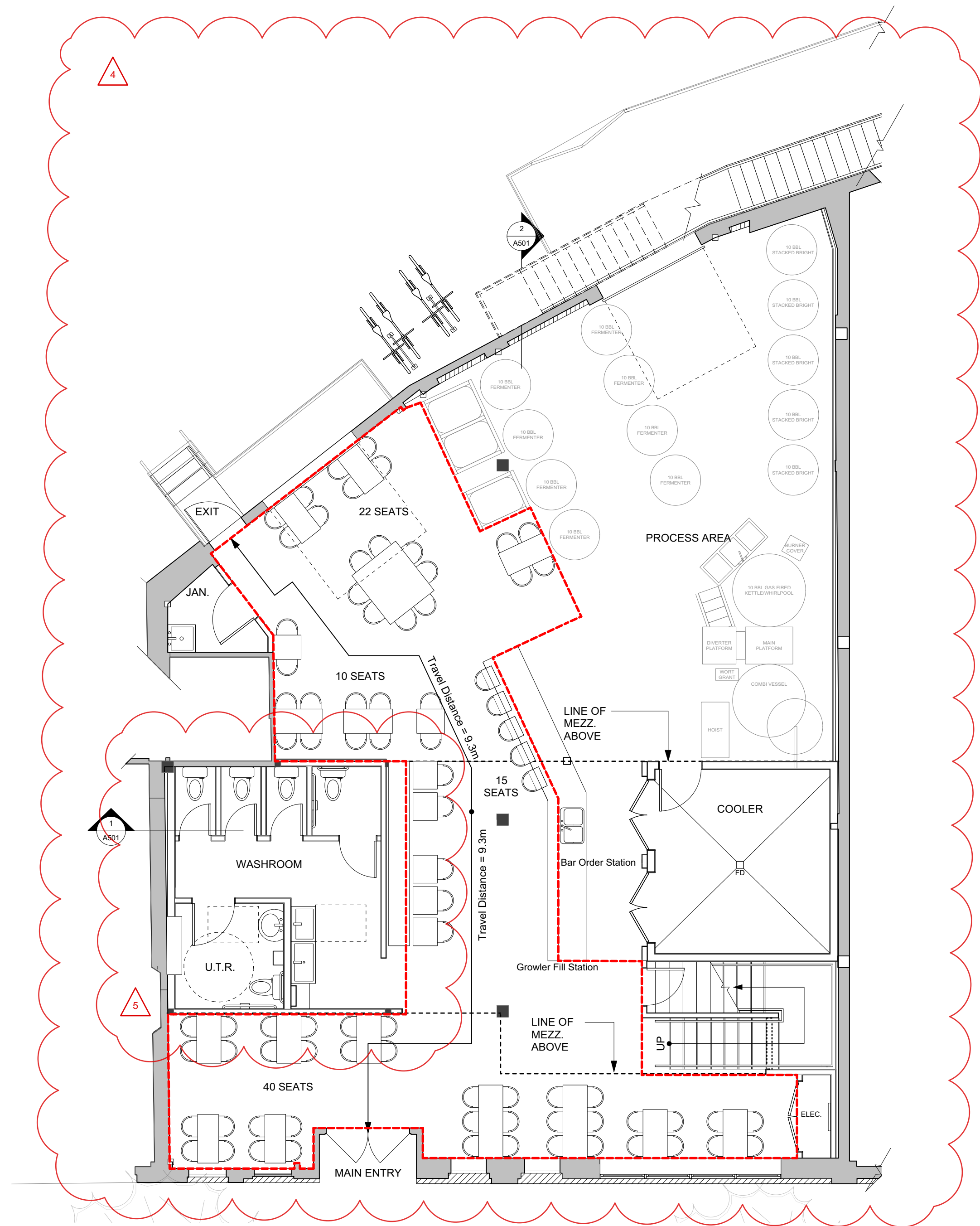
	05 JUNE 2019	Re-issued for Development Permit	
Date	31 DEC 2018	Description	Issued for Development Permit
print date	05 JUNE 2019	drawing file	
drawn by	njc	checked by	cjk
p-note	As Noted	project number	1748



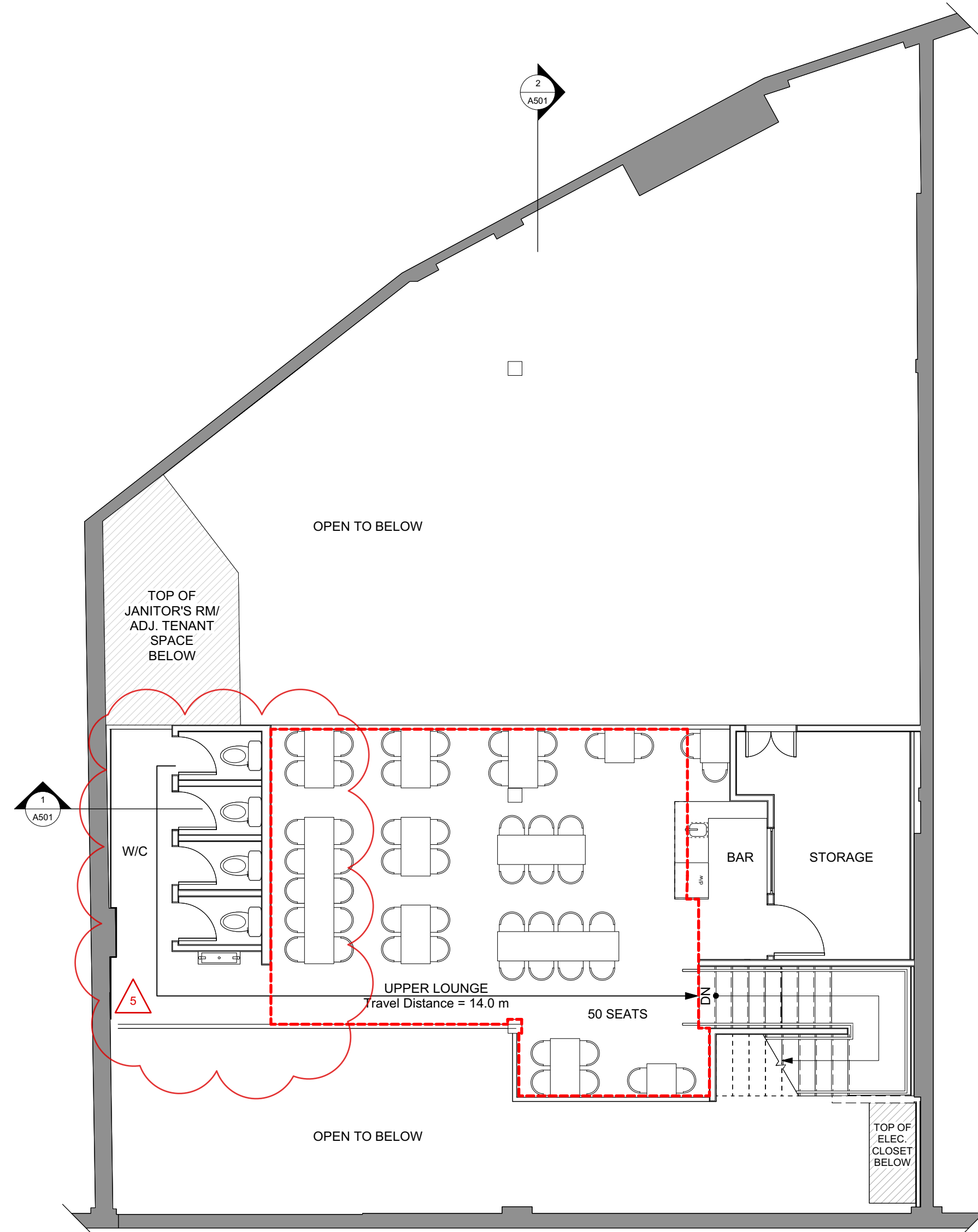
1 Mezzanine Plan
A202 Scale: 1:75



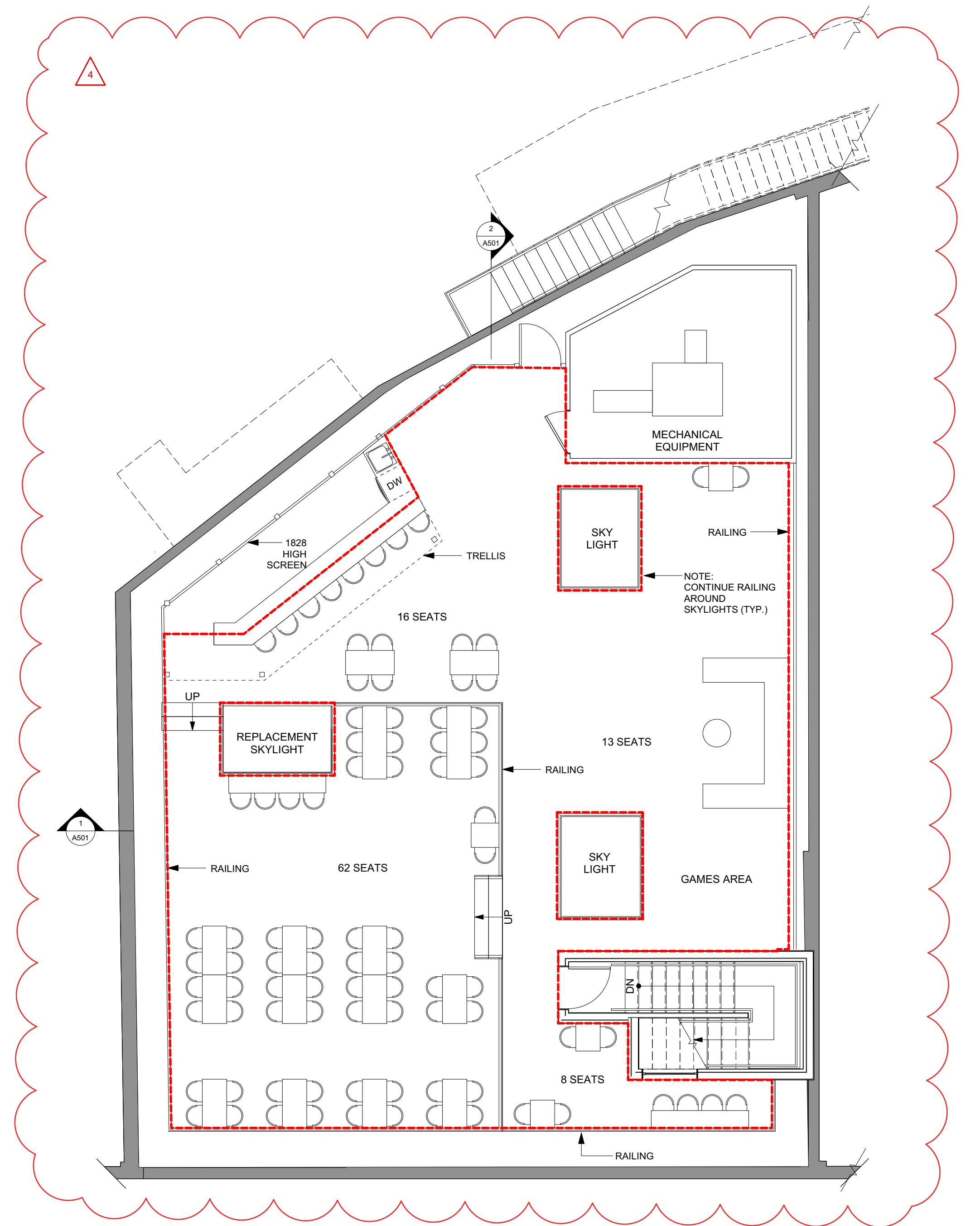
2 Roof Plan
A202 Scale: 1:75



1 Ground Floor Seating Plan
A204 Scale: 1:75



2 Mezzanine Seating Plan
A204 Scale: 1:75



3 Roof Seating Plan
A204 Scale: 1:75

Sheet Notes

- Dashed red line indicates liquor service area.
- Total Occupant Load based on BCBC 2012 (3.1.17).
- Occupant load as approved by LCRB to be posted on site.

Ground Floor: 87 seats
Mezzanine: 54 seats
Roof: 99 seats
Total Seating: 237 seats

Total Staff/Off Premise Customers: 38 people

Total Occupant Load: 275 people

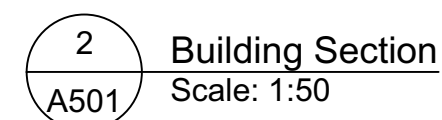
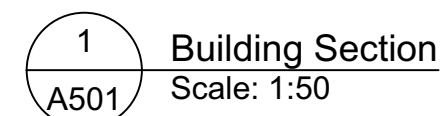
REVISIONS LIST


- Roof top guard rail extended for full frontage along Herald Street.
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Rev	Date	Description	Revised By
05 JUNE 2019	31 DEC 2018	Re-issued for Development Permit	
05 JUNE 2019		Issued for Development Permit	
Drawn by	Rev	Checked by	CPL
Scale	As Noted	Project number	1748


NOTE: All dimensions are shown in millimeters.


	de Hoog & Kierulff architects
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Project Name	Herald Brew Pub 506 Herald Street Victoria, BC
Seating Plan	
Drawn by	A204
Checked by	-





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Roof top guard rail extended for full frontage along Herald Street.
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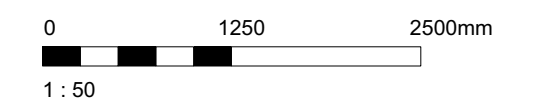
Proposed new awning and placement of new exterior lighting.
- 

Reconfiguration of exterior exit staircase and guardrail added to service exit stair.
- 

Additional exterior upgrades proposed.
- 

Resolution of issues as identified by Calvin Grey on TRG comments. See attached letter to Planning.
- 

Addition of 2 new "inverted U" bike racks along Herald Street frontage and 4 staff bike parking spots along north side of building.

[illegible]

NOTE: All dimensions are shown in millimeters.

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project name

Herald Brew Pub
506 Herald Street
Victoria, BC

drawing title

Sections

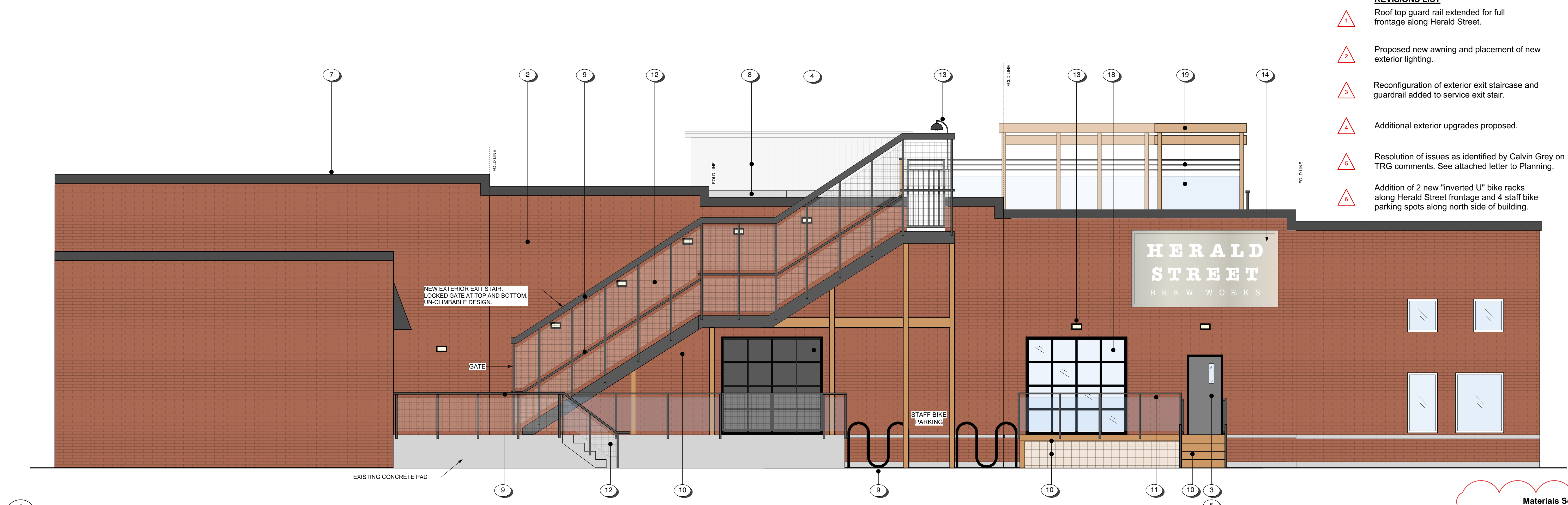
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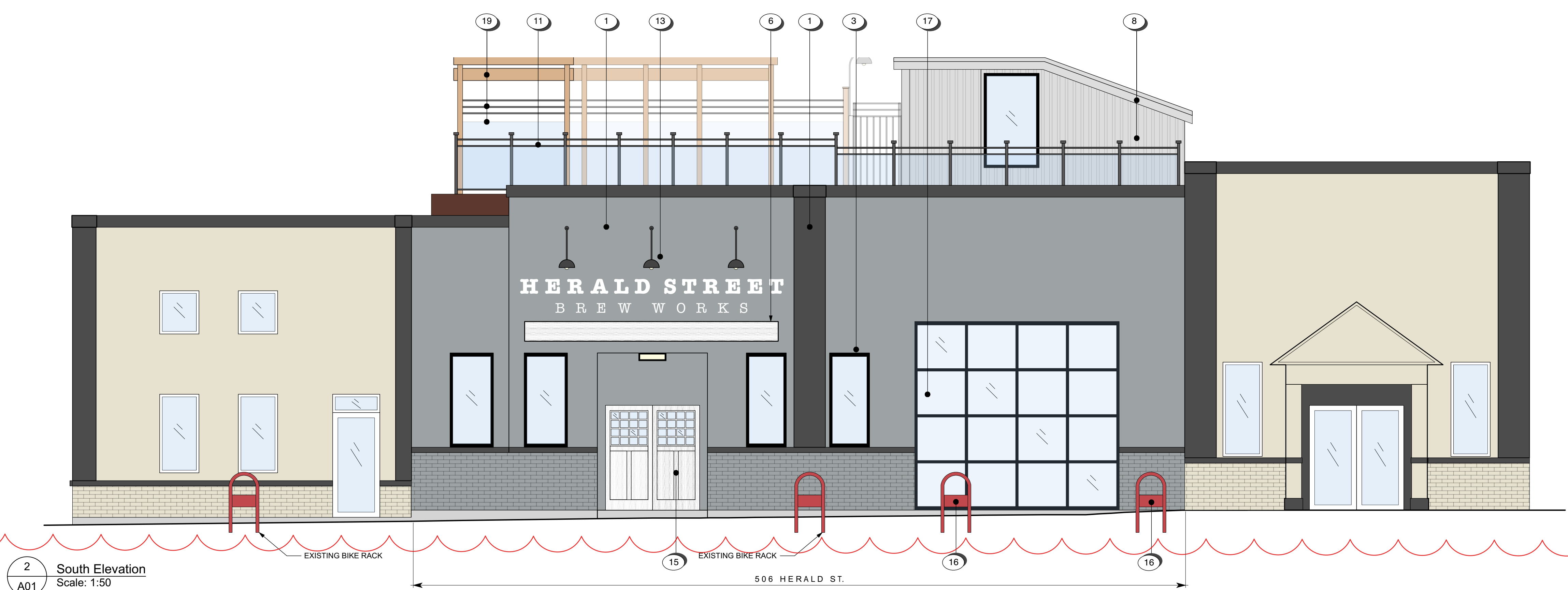
A501

revision no.

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1 North Elevation
A01 Scale: 1:50



2 South Elevation
A01 Scale: 1:50

- ### REVISIONS LIST
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- ### Materials Schedule
- 1 Re-paint south facade medium grey with dark grey pilasters to match existing stucco.
 - 2 Retain existing brick (typ.)
 - 3 Paint all door and window trims - black.
 - 4 Add new overhead door to fit existing opening (see A401).
 - 5 Add new exterior door to fit existing opening (see A401).
 - 6 Remove existing awning. Add new sign in white channel letters on wood awning. Sign design by others.
 - 7 Retain existing metal parapet flashing - black.
 - 8 Anodized metal.
 - 9 Powder coated metal - black with anodized mesh.
 - 10 Cedar - clear finish.
 - 11 Tempered clear glass guard with prefinished aluminum frame - black.
 - 12 Un-climbable metal mesh - anodized finish.
 - 13 Lighting - locations and type to be confirmed.
 - 14 "Ghost Sign" - hand painted by others.
 - 15 New wood entry doors - white washed.
 - 16 New bike racks - colour as per City of Victoria guidelines.
 - 17 New window to fit infilled opening.
 - 18 New overhead door to fit infilled opening.
 - 19 Cedar trellis/wind break with tempered clear glass guard and pre-finished aluminum frame - black.

