



ISSUED FOR DEVELOPMENT PERMIT

811 MARY ST/315 EDWARD ST, VICTORIA BC VIC WEST TOWNHOMES

MULTI-SUITE RESIDENTIAL, NEW CONSTRUCTION

New townhouse development including 12 strata residential units. Unit mix includes 4 three-bedroom suites stacked over 4 two-bedroom suites in Building A and 4 split level townhouse units in Building B.

PROJECT DIRECTORY

OWNER

SKALE Properties Inc
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ARCHITECTURAL

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ELECTRICAL

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MECHANICAL

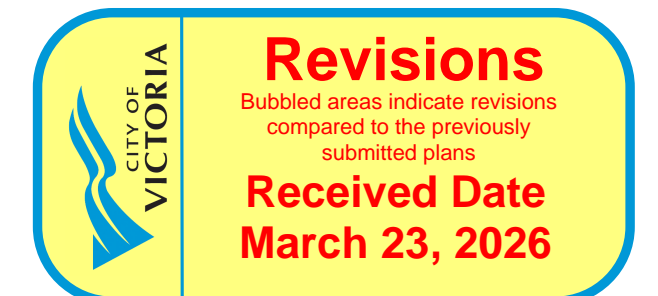
AME GROUP
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CODE

GHL CONSULTANTS
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PROJECT INFORMATION	
Zone	R-2
OCP Land Use	SINGLE FAMILY DWELLING DISTRICT
Address	315 Edward St & 805/807/811 Mary St, Victoria BC
Legal Description	LOT 1, SECTION 31, ESQUIMALT DISTRICT, PLAN 7664 - Mary Lot LOT 2, SECTION 31, ESQUIMALT DISTRICT, PLAN 7664 - Edward Lot LOT 2, SECTION 31, ESQUIMALT DISTRICT, PLAN 7664 - Edward Lot
PID	005-034-345 - Mary Lot 005-686-717 - Edward Lot 005-686-717 - Edward Lot
Description	NEW CONSTRUCTION - MULTI-FAMILY DWELLING
Code Ref and Part	BCBC 2024, PART 9
Occupancy	RESIDENTIAL
Building Area - A	263m2
Building Area - B	189m2
Building Height (m)	11.8m
Number of Storeys	3
Number of Facing Streets	3
Sprinklered	No
Fire Department Response Time	<10min
Energy Compliance Path	Step Code 3
Survey ID	2241-2150900 / Dated 21-03-15

SHEET LIST	
SHEET #	SHEET NAME
A.000	COVER
A.005	DOOR + WINDOW SCHEDULE
A.007	ZONING COMPLIANCE Rev
A.008	AVERAGE GRADE
A.009	CODE REVIEW
A.010	BUILDING A LIMITING DISTANCE
A.011	BUILDING B LIMITING DISTANCE
A.013	SHADOW STUDIES
A.101	SITE PLAN
A.201dp	FULL SITE - LEVEL 1 PLANS
A.202	FULL SITE - LEVEL 2 PLANS
A.203	FULL SITE - LEVEL 3 PLANS
A.204	BIKE PARKING
A.401	ELEVATIONS
A.402	ELEVATIONS
A.403	ELEVATIONS
A.404	STREETSCAPE CONTEXT
A.501	SITE - SECTIONS
A.800	SUITE PLANS
A.900	BIKE WORKSTATION



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No.	Description	Date
1	DPA	24.11.05
2	DPA Rev. 1	25.03.06
3	DPA Rev 2	25.05.09
6	DP Amendment	25.10.06
8	DP Revisions	25.11.05
9	DPA Rev 3	25.12.19
10	BP Revision 1	25.12.23
11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19

S.KALENCHUK

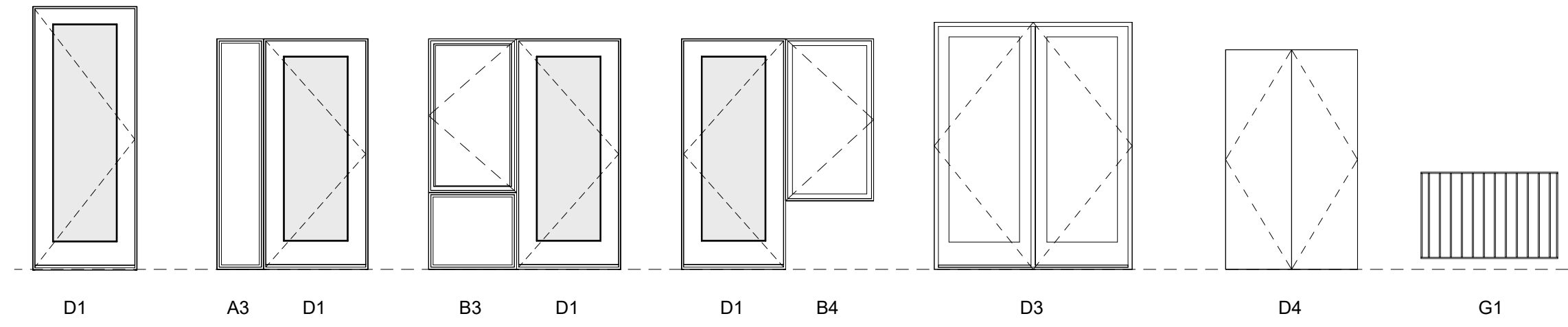
**NALU @ VICWEST
TOWNHOMES**

COVER

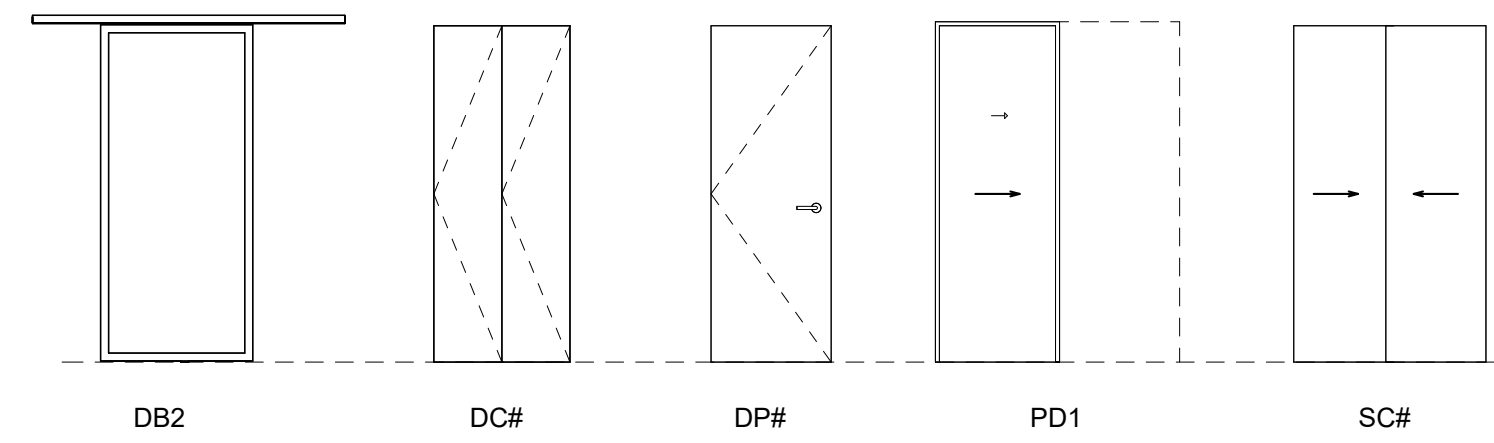
Project number	24003
Date	24.10.29
Drawn by	AG
Checked by	SS

A.000

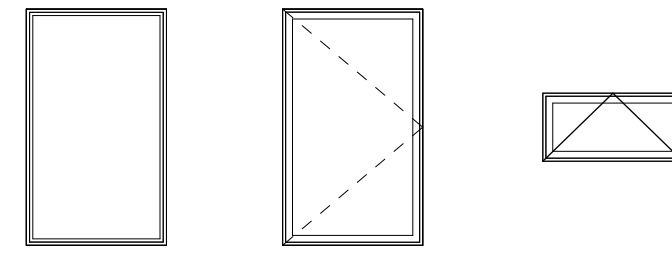
Door Schedule - Blend							Finish
Mark	Type	Door Size	Height	Width	Area	Fire Rating	Comments
A101.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A101.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A101.3	D4	68" X 80"	6'- 8"	5'- 8"	37.8 SF		
A102.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A102.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A102.3	D4	68" X 80"	6'- 8"	5'- 8"	37.8 SF		
A103.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A103.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A103.3	D4	68" X 80"	6'- 8"	5'- 8"	37.8 SF		
A104.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A104.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
A104.3	D4	68" X 80"	6'- 8"	5'- 8"	37.8 SF		
A201.1	D1	3'-1 7/8" x 8' Glazed Exterior Suite Door	8'- 0"	3'- 0"	25.3 SF		
A201.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
A202.1	D1	3'-1 7/8" x 8' Glazed Exterior Suite Door	8'- 0"	3'- 0"	25.3 SF		WATER CURTAIN SPRINKLER
A202.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
A203.1	D1	3'-1 7/8" x 8' Glazed Exterior Suite Door	8'- 0"	3'- 0"	25.3 SF		WATER CURTAIN SPRINKLER
A203.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
A204.1	D1	3'-1 7/8" x 8' Glazed Exterior Suite Door	8'- 0"	3'- 0"	25.3 SF		
A204.2	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
A205	G1	Building A - 1354x900	2'- 11 7/16"		13.1 SF		No latch. Match adjacent railing design and material. Width to suit field conditions.
B101.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
B101.2	D3	6'-0" Glazed Exterior Double Suite Door	7'- 6"	6'- 0"	45.0 SF		
B101.3	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
B102.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
B102.2	D1	34" Glazed Exterior Suite Door 84"	7'- 0"	2'- 10"	19.8 SF		
B102.3	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
B103.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
B103.2	D1	34" Glazed Exterior Suite Door 84"	7'- 0"	2'- 10"	19.8 SF		
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B104.1	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		
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B104.3	D1	3'-1 7/8" x 7" Glazed Exterior Suite Door	7'- 0"	3'- 0"	22.1 SF		Egress per BCBC 2024 9.9.10.1. Firefighter Access Window per BCBC 2024 9.9.9.1.
B105.1	D4	60"x80"	6'- 8"	5'- 0"	33.3 SF		
B105.2	D4	60"x80"	6'- 8"	5'- 0"	33.3 SF		
B105.3	D4	60"x80"	6'- 8"	5'- 0"	33.3 SF		



DOOR LEGEND
1/4" = 1'-0"



DB2 DC# DP# PD1 SC#



A - FIXED B - CASEMENT C - AWNING

WINDOW LEGEND
1/4" = 1'-0"



DIGITALLY SEALED
2026-03-19

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13	DPA Rev 5	26.03.19

S.KALENCHUK

**NALU @ VICWEST
TOWNHOMES**

**DOOR + WINDOW
SCHEDULE**

Project number	24003
Date	24.10.29
Drawn by	AG
Checked by	SS

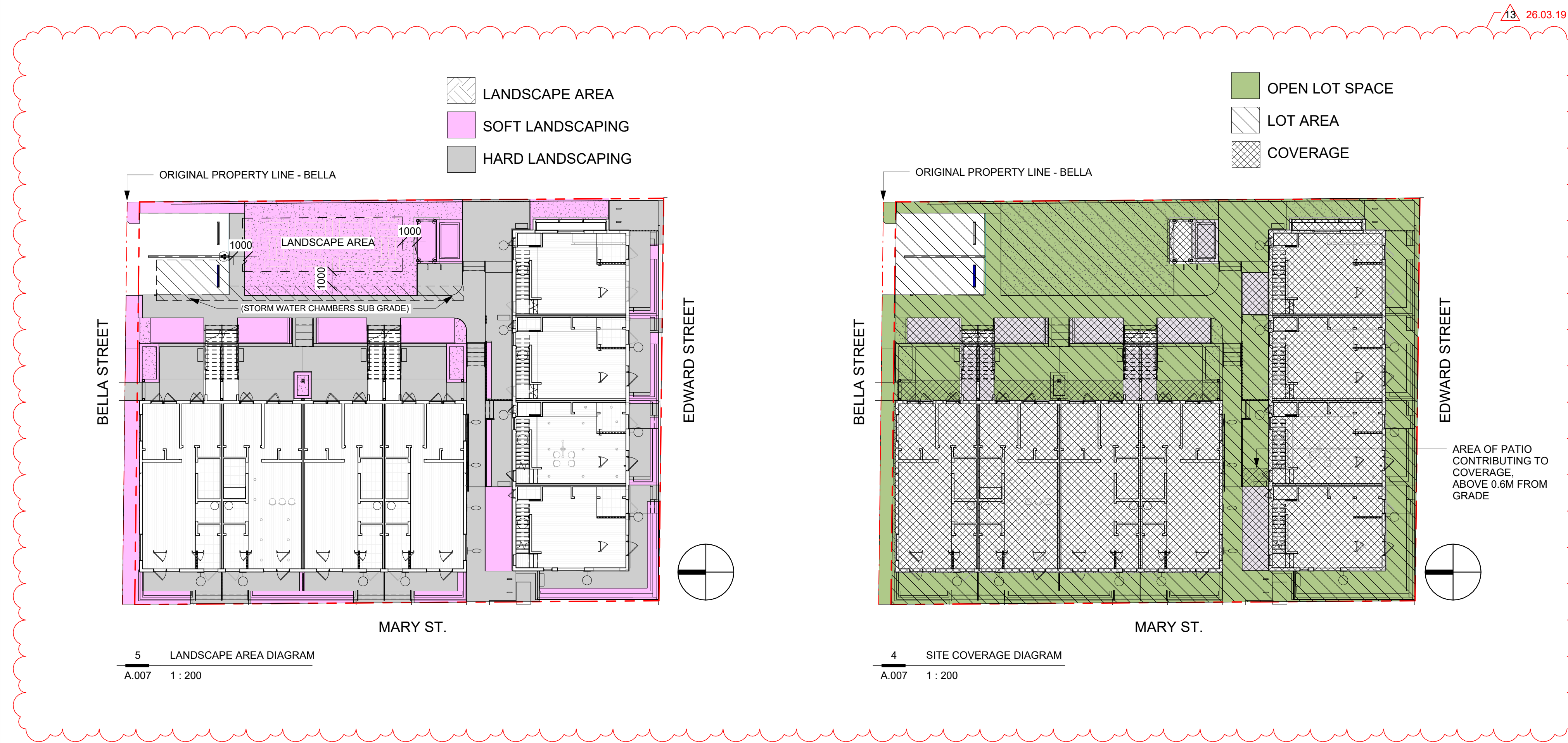
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Scale	AS NOTED
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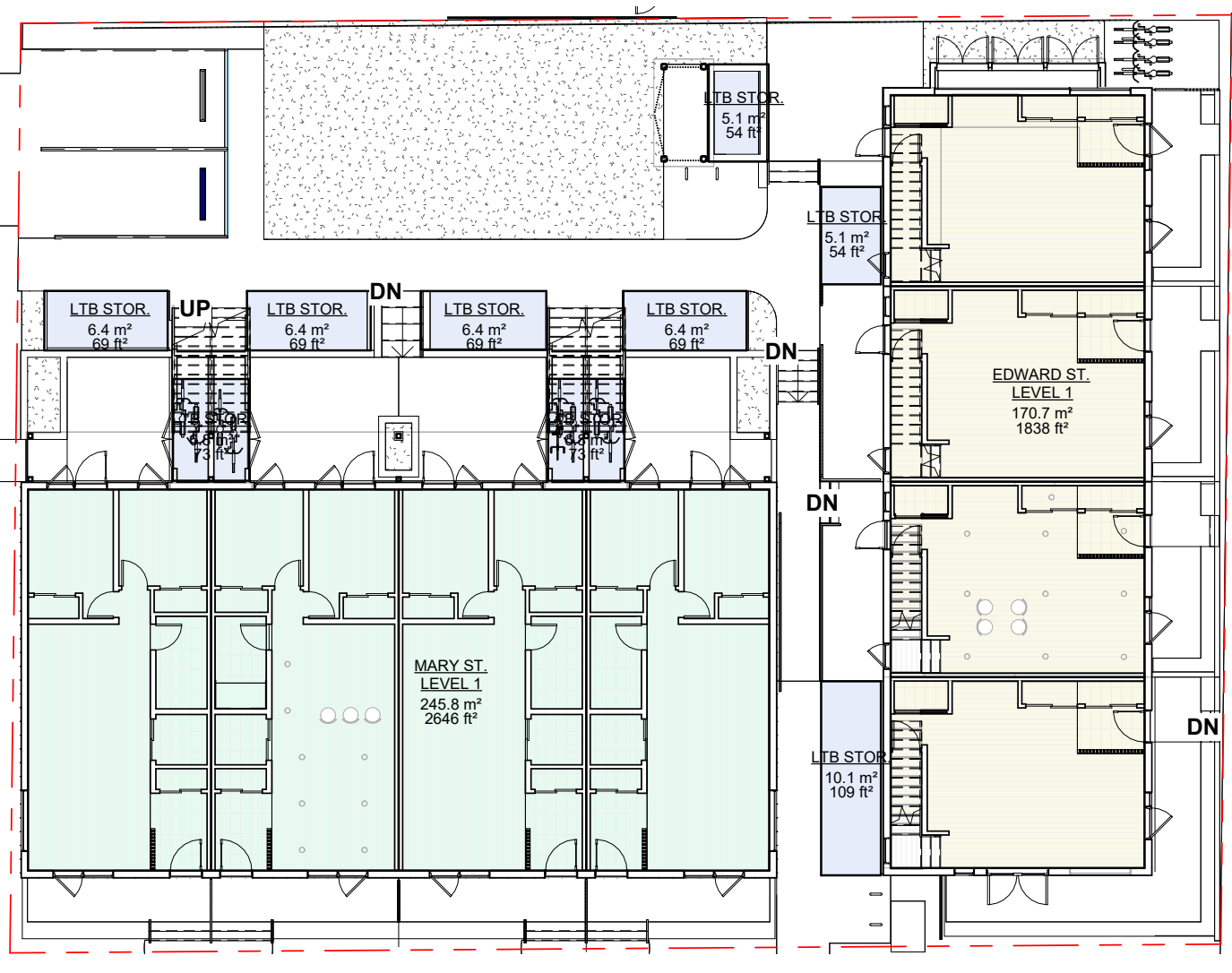
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Functional Program - Corner Townhouse				
Project Name	NALU @ Vic West Townhomes			
Address	811 Mary / 315 Edward			
Proposed number of suites	12			
Parking Type	Surface			
Jurisdiction	City Of Victoria			
Zone	GRD-1			
DPA	DPA-15			
OCP "Traditional Residential" Urban Place Designation				
Heritage Status listed prior to August 4, 2022	No			
Legal Address:	LOT 1, SECTION 31, ESQUIMALT DISTRICT, PLAN 7664 - Mary Lot LOT 2, SECTION 31, ESQUIMALT DISTRICT, PLAN 7664 - Edward Lot			
Civic Address:	811 Mary St 315 Edward St			
Parcel Identifier:	005-034-345 - Mary Lot 005-034-717 - Edward Lot			
Current Use:	Single Family Housing			
Proposed Use:	Residential - Multi-Family			
Property Data				
Lot Area = m2 - PRE DEDICATION	1002.44			
Lot Area = m2 - POST DEDICATION	978			
Lot Width	27.67			
Average/Natural Grade - Bldg A	27.67			
Average/Natural Grade - Bldg B	27.74			
Protected Trees	Yes			
Property Configuration	Corner Lot			
Other Features	Sloped, Flanked by 3 streets			
Zoning - General Residential Zone (GRD-1)				
Two dwelling units or 30% of the total dwelling units at three-bedroom dwelling units, at a minimum	30%	66%		
Maximum 12 units (not secondary dwelling units)	12	12		
Operable Window per Bedroom	1per	1per		
Highway Dedication				
Edward - Local St	Exempt	NA		
Mary - Local St	Exempt	NA		
Bella - Local St	0.84m	0.84m		
Floor Area / FSR				
Minimum area per unit	33m	62.3m2		
Maximum per lot	1410m2	1181m2		
FAR Allowable - 1.6	1564.8m2	1181m2		
Siting				
Lot Width Minimum	18m	36.5m		
Entire Building Within 36m of two streets	36m			
More than 1 Bldg on Lot	20m			
Building A				
largest distance 23m to Bella St				
Building B				
largest distance 25.6m to Mary St				
Height				
Building Height - Flat Roof	11m	NA		
Building Height - Other Roof - Bldg A	12m	10.05		
Building Height - Other Roof - Bldg B	12m	10.46		
Finished Ceiling Height of Lowest level of building	1.1m above grade	2.74m		
Setbacks				
Setback - Edward	2m	2m		
Front Setback - Mary	2m	2m		
Setback - Bella	2m	0.0m		variance granted
Setback - Other (or lot line)	2m	1.3m		variance granted
Front, Rear, Side, Blinds over 6m from FG	2m	NA		
Habitable Room Facing a Lot Line	5m	5m		
Eave Projection into Setback	0.75m	0.6m		variance granted
Building Separation	5m	3.1m		variance granted
Setback - Accessory Building (Bch. F)				
Setback - Rear	0.6m	0.78m		
Setback - Side	0.6m	1.37m		
Setback - Flanking Street	3.0m	2.1m		variance granted
Building Separation (Accessory / Principal)	2.4m	0m		variance granted
Eave Projections into Setbacks	0.75	0		
Fencing				
Height Residential - front	1.22			
Height Residential - rear and side	1.83			
Site Coverage				
Min Coverage - 45%	489.00	551m2 / 56%		variance granted
Open Lot Space - 30%	300.73m2	450m2 / 48%		variance needed
Single Landscape Space	97.6m2	40m2		
Landscape Space Setback	1m	1m		
Soft Landscaping - min50%	181.5m2 (50%)	207m2 / 43%		variance needed
Hard Landscaping - max50%	181.5m2 (50%)	273m2 / 56%		variance needed
Accessory Building Coverage				
Accessory Building Rear Lot Coverage	25%	59m2 = 6%		variance granted
Floor Area / FSR	1564.8m2	34.70%		variance granted
Vehicle Parking				
Total Parking Req'd: 12 Units @ 0.77/unit	9	9		
if providing careshare TDDM	2	2		TDDM Provided
accessible stall	1	1		
accessible stall (van)	NA	NA		
accessible signage	yes	Part 5		
Bicycle Parking				
Short Term Units	12	12		
Long Term Units @ 2 per DU	24	24		
Overhead Bike Storage	4	8		
50% equipped with Charging	12	12		
Bike Maintenance Facility Req'd	yes	yes		
Bike aisle width	1.5	0		variance needed



Building Area Legend

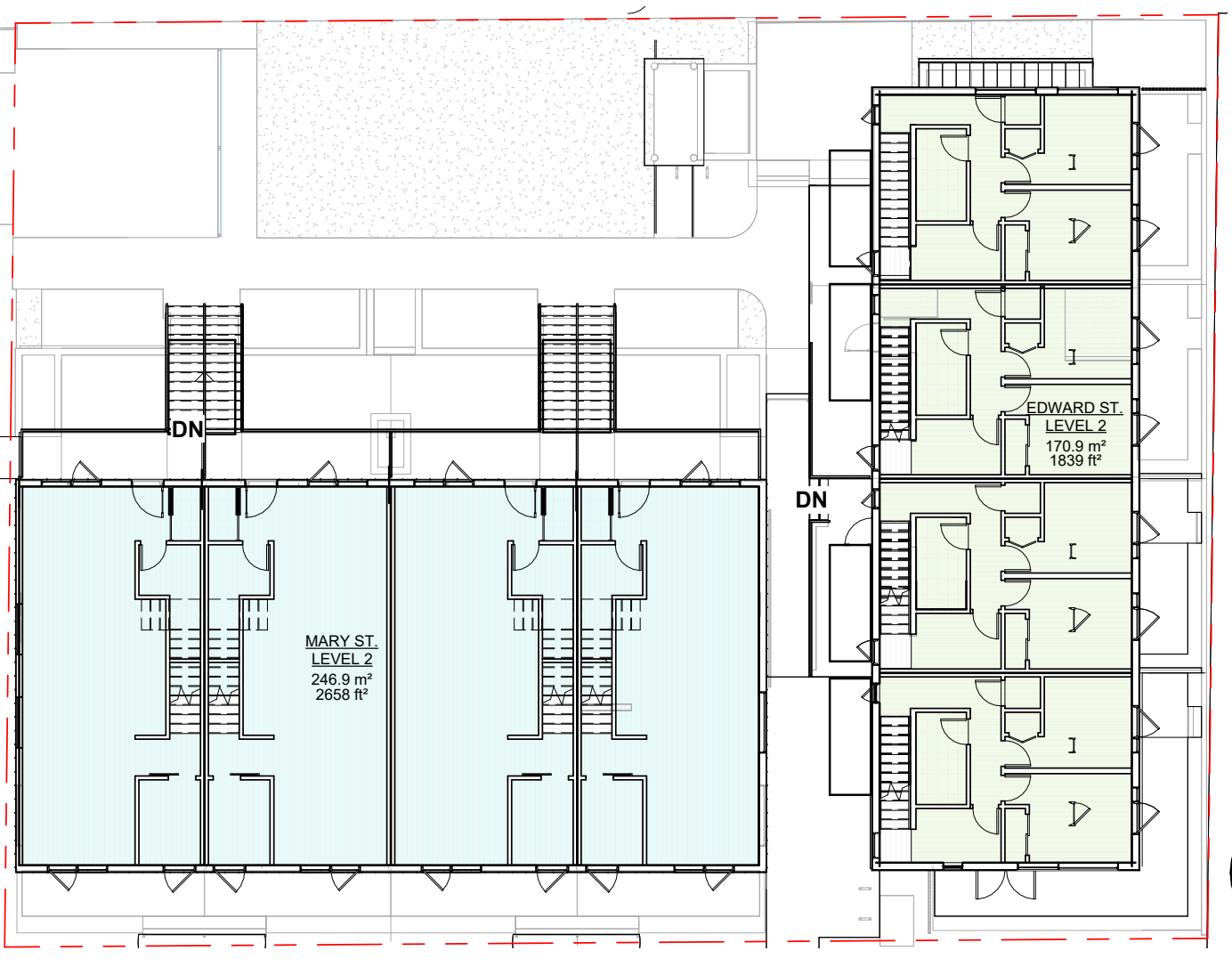
- EDWARD ST. LEVEL 1
- MARY ST. LEVEL 1
- LTB STOR.



1 ZONING AREAS - LEVEL 1
A.007 1:200

Building Area Legend

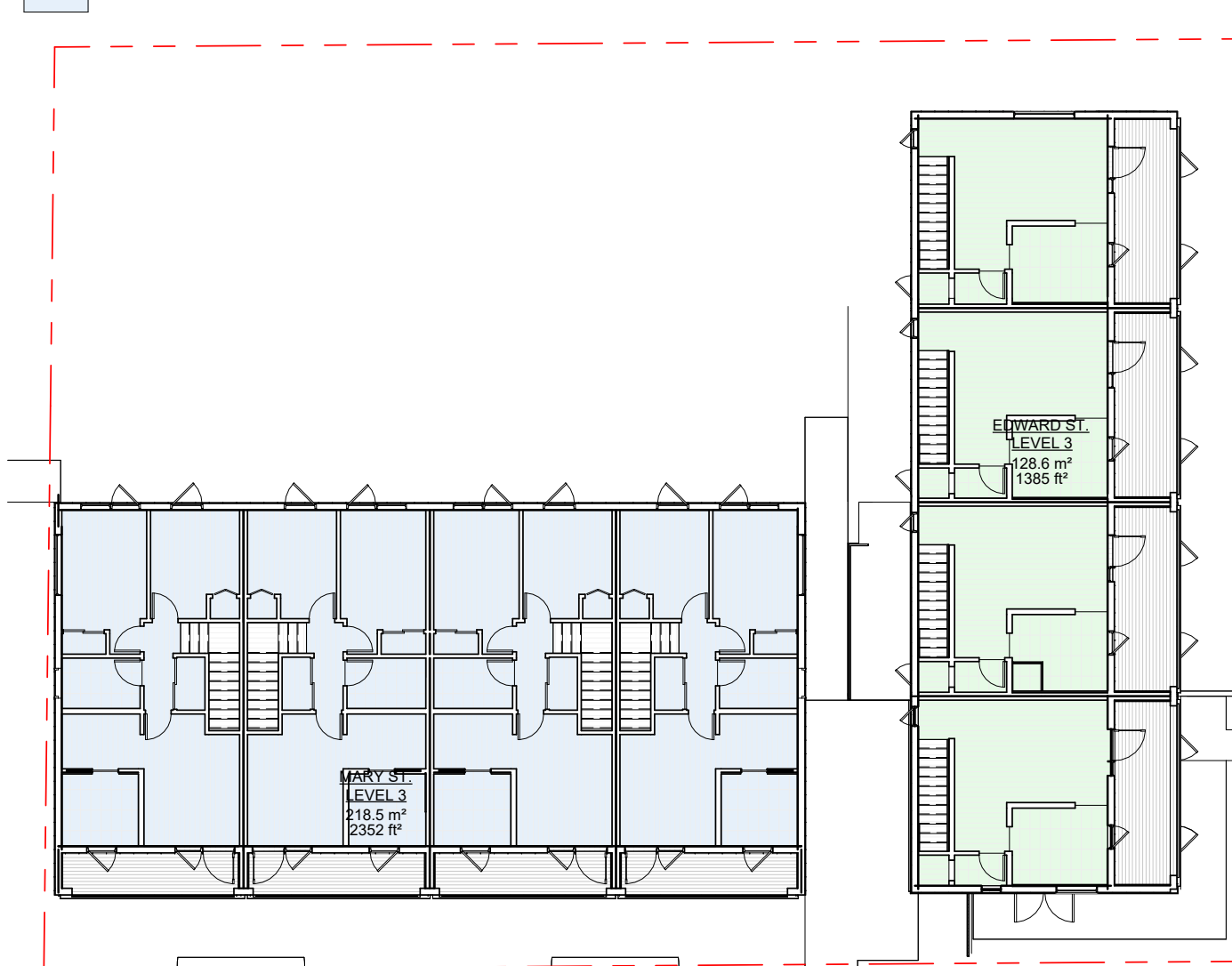
- EDWARD ST. LEVEL 2
- MARY ST. LEVEL 2



2 ZONING AREAS - LEVEL 2
A.007 1:200

Building Area Legend

- EDWARD ST. LEVEL 3
- MARY ST. LEVEL 3



3 ZONING AREAS - LEVEL 3
A.007 1:200

FAR CALC	
Name	Area
EDWARD ST. LEVEL 1	171 m ²
EDWARD ST. LEVEL 2	171 m ²
EDWARD ST. LEVEL 3	129 m ²
MARY ST. LEVEL 1	246 m ²
MARY ST. LEVEL 2	247 m ²
MARY ST. LEVEL 3	218 m ²
	1181 m ²

FAR CALC EXEMPT	
Name	Area
LTB STOR.	59.3 m ²
	59.3 m ²

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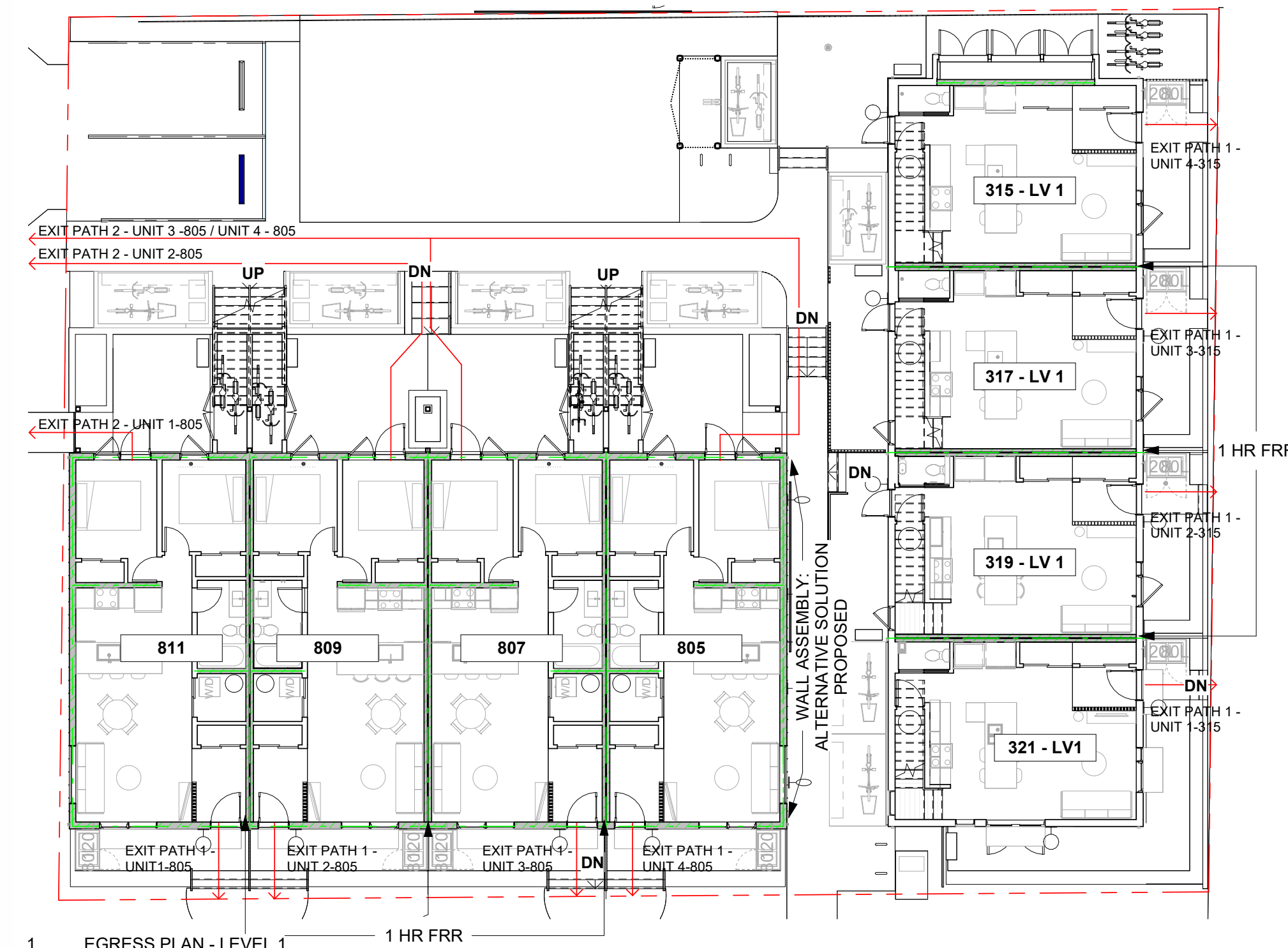
ZONING COMPLIANCE Rev

Project number	24003
Date	24.10.29
Drawn by	SS
Checked by	SS

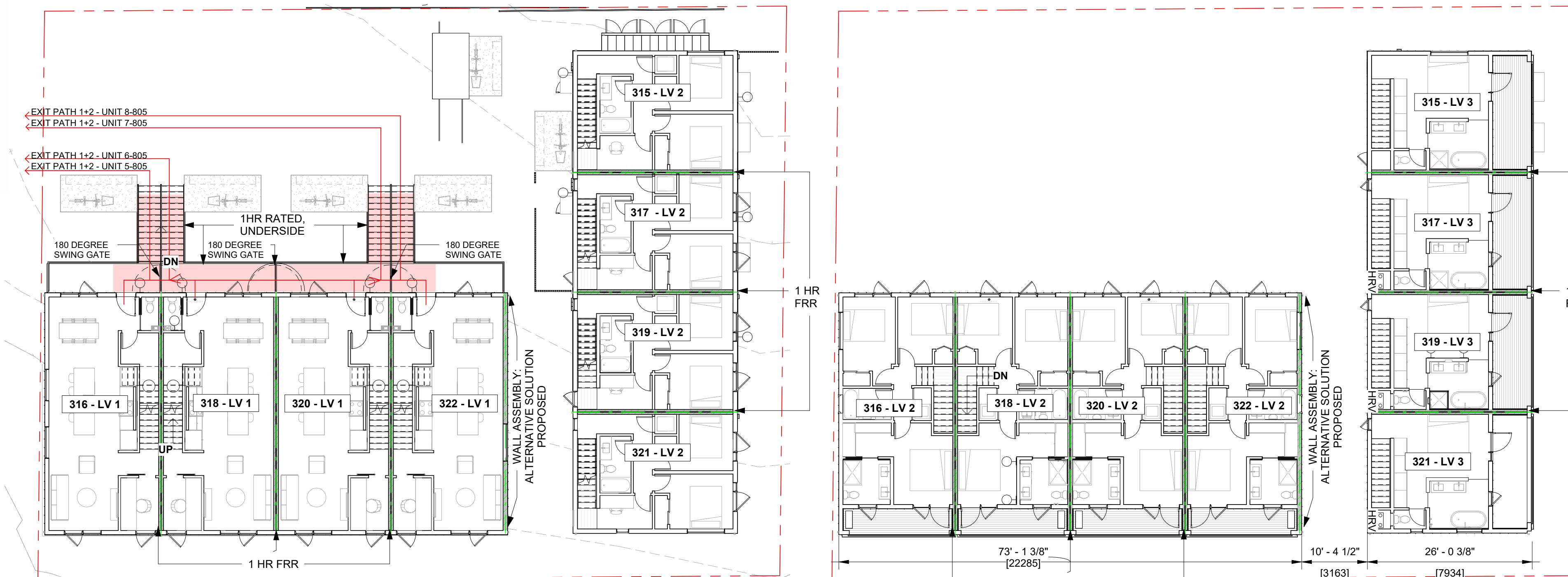
A.007

BCBC 2024 - CODE REVIEW TABLE

Item	BC Building Code Data Matrix Parts 3 & 9	BCBC Reference																				
1	Project Description: <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 9																					
2	Major Occupancy(s) C - Residential	9.10.2.1																				
3	Building Area Total 472.30 m ² BUILDING A - MARY 263.40 m ² BUILDING B - EDWARD 189.20 m ² BUILDING C - STORAGE 19.70 m ²																					
4	Gross Floor Area Total 1102.00 m ² BUILDING A - MARY 648.00 m ² BUILDING B - EDWARD 454.00 m ² BUILDING C - STORAGE 19.70 m ²																					
5	Number of Storeys BLDG A - MARY / BLDG B EDWARD Above Grade 3 Below Grade 0	9.10.4.1																				
6	Height of Building BLDG A - MARY 10.00 m BLDG B - EDWARD 10.53 m	9.10.4																				
7	Number of Streets/Access Routes 2 EACH BUILDING FACING 2, BUT 3 TOTAL FOR SITE	9.10.20.3																				
8	Building Classification BLDG A - MARY Combustible/Non-Combustible BLDG B - EDWARD Combustible/Non-Combustible REQUIRES NON-COMBUSTIBLE WALL ADJACENT TO BLDG B	9.10.14 9.10.15																				
9	Sprinkler System Proposed <input checked="" type="checkbox"/> Not required - BLDG A <input type="checkbox"/> Basement only <input type="checkbox"/> In lieu of wall rating - BLDG B <input type="checkbox"/> Not required - BLDG B	3.2.20-83 9.10.8.2 3.2.1.5 3.2.2.17																				
10	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	9.10.1.3																				
11	Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	9.10.18.2(5)																				
12	Water Service Supply is Adequate <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.5.7																				
13	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6																				
14a	Permitted Construction <input checked="" type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible *NON COMB. WALL REQUIRED ON BUILDING A, ADJACENT TO PASS THROUGH *REVIEW LIMITING DISTANCE DIAGRAMS	9.10.14 9.10.15																				
14b	Permitted Cladding <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Both REVIEW LIMITING DISTANCE DIAGRAMS FOR SPECIFIC ASSEMBLIES	9.10.14 9.10.15																				
16	Occupant Load based on: <input type="checkbox"/> design of building	9.9.1.3.2																				
	<table border="1"> <thead> <tr> <th>TOTAL OCC. = BLDG A</th> <th>TOTAL OCC. = BLDG B</th> </tr> </thead> <tbody> <tr> <td>40</td> <td>24</td> </tr> <tr> <th># OF SLEEPING RM</th> <th>TOTAL OCC./UNIT</th> <th>TOTAL UNITS/BLG</th> <th>TOTAL OCC./BLDG</th> </tr> <tr> <td>BUILDING A - MARY - 2 BED UNITS</td> <td>2</td> <td>4</td> <td>4</td> </tr> <tr> <td>BUILDING A - MARY - 3 BED UNITS</td> <td>3</td> <td>6</td> <td>4</td> </tr> <tr> <td>BUILDING B - EDWARD - 3 BED UNITS</td> <td>3</td> <td>6</td> <td>4</td> </tr> </tbody> </table>	TOTAL OCC. = BLDG A	TOTAL OCC. = BLDG B	40	24	# OF SLEEPING RM	TOTAL OCC./UNIT	TOTAL UNITS/BLG	TOTAL OCC./BLDG	BUILDING A - MARY - 2 BED UNITS	2	4	4	BUILDING A - MARY - 3 BED UNITS	3	6	4	BUILDING B - EDWARD - 3 BED UNITS	3	6	4	
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BUILDING B - EDWARD - 3 BED UNITS	3	6	4																			
17	Barrier-free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	9.5.2.3.1 Exempt																				
18	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	9.10.1.3.(4)																				
19	Required Fire Resistance Rating (FRR) <table border="1"> <thead> <tr> <th>Horizontal Assemblies</th> <th>Listed Design No. or Description</th> </tr> </thead> <tbody> <tr> <td>Floor Between Suite- Bldg A</td> <td>1.00 hr</td> </tr> <tr> <td>Egress Floors of exterior passageways - Bldg A</td> <td>1.00 hr</td> </tr> <tr> <td>Floor - in suites (A+B)</td> <td>0.00 hr</td> </tr> <tr> <td>Bldg A and Bldg B - Roof</td> <td>0.00 hr</td> </tr> <tr> <th>Supporting Members</th> <th>Listed Design No. or Description</th> </tr> <tr> <td>Steel Members</td> <td>0.75 hr</td> </tr> <tr> <td>Heavy Timber Columns</td> <td>0.75 hr</td> </tr> <tr> <td>Bearing Walls Level 1- Bldg A</td> <td>1.00 hr</td> </tr> <tr> <td>Party Walls, between Suites</td> <td>1.00 hr</td> </tr> </tbody> </table>	Horizontal Assemblies	Listed Design No. or Description	Floor Between Suite- Bldg A	1.00 hr	Egress Floors of exterior passageways - Bldg A	1.00 hr	Floor - in suites (A+B)	0.00 hr	Bldg A and Bldg B - Roof	0.00 hr	Supporting Members	Listed Design No. or Description	Steel Members	0.75 hr	Heavy Timber Columns	0.75 hr	Bearing Walls Level 1- Bldg A	1.00 hr	Party Walls, between Suites	1.00 hr	9.10.9.13 9.10.8.8 9.10.9.4(2) 9.10.8.1 9.10.7.1 9.10.6.2(3), 1.4.7 9.10.8.3 9.10.9.16(3)
Horizontal Assemblies	Listed Design No. or Description																					
Floor Between Suite- Bldg A	1.00 hr																					
Egress Floors of exterior passageways - Bldg A	1.00 hr																					
Floor - in suites (A+B)	0.00 hr																					
Bldg A and Bldg B - Roof	0.00 hr																					
Supporting Members	Listed Design No. or Description																					
Steel Members	0.75 hr																					
Heavy Timber Columns	0.75 hr																					
Bearing Walls Level 1- Bldg A	1.00 hr																					
Party Walls, between Suites	1.00 hr																					
20	Required Acoustic Separation Between Adjoining Walls 50 STC Min Horizontal Construction Walls 50 STC Min	9.11.1.4																				
22	Other Egress BLDG A - MARY 2 exits BLDG B - EDWARD 1 exit + egress windows/balcony bedrooms- all units: 1 egress window	9.9.9.1.1, 9.9.9.1.2, 9.9.9.1.3																				



1 EGRESS PLAN - LEVEL 1
A.009 1:150



2 EGRESS PLAN - LEVEL 2
A.009 1:150

3 EGRESS PLAN - LEVEL 3
A.009 1:150



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10	BP Revision 1	25.12.23
11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19

S.KALENCHUK
NALU @ VICWEST TOWNHOMES

CODE REVIEW

Project number 24003
Date 24.10.29
Drawn by SS
Checked by SS

A.009

Scale AS NOTED
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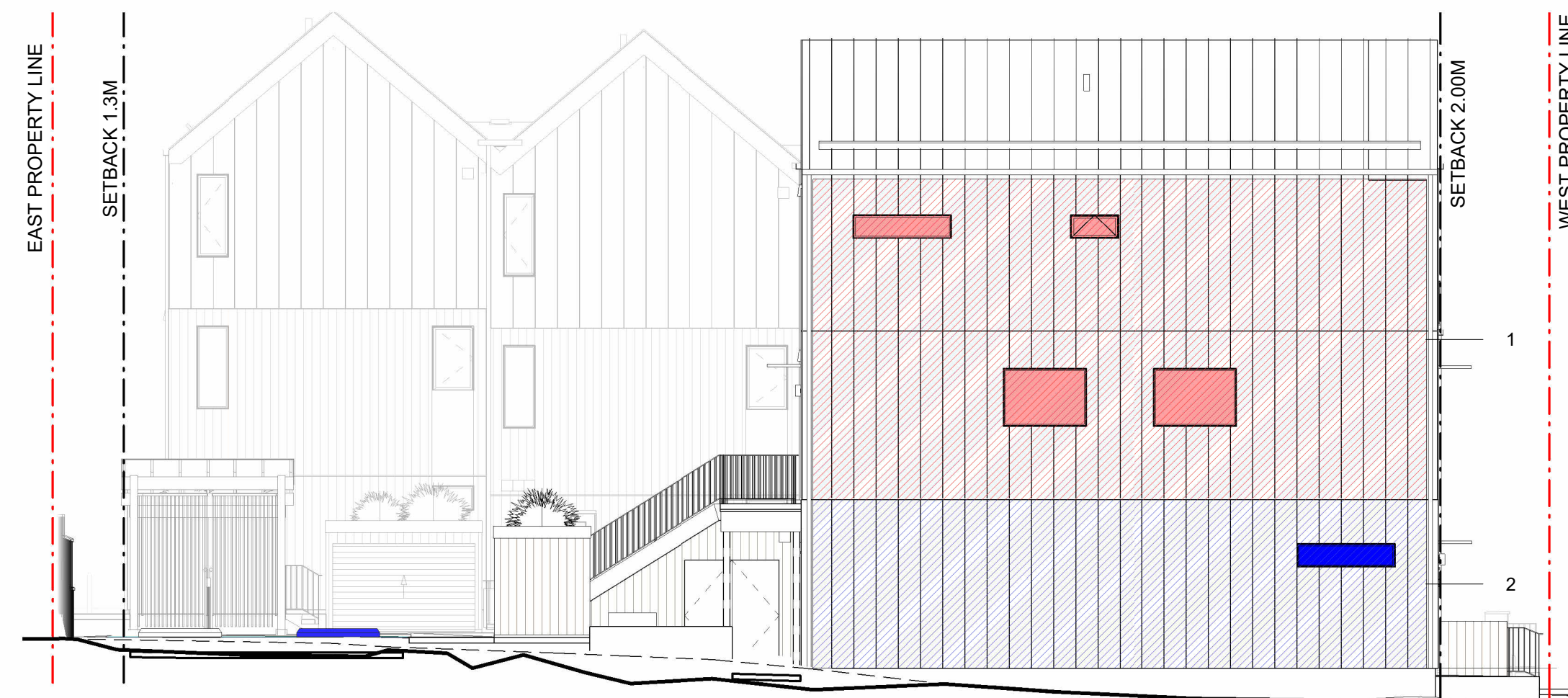
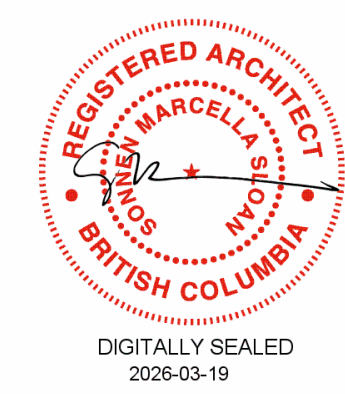


TABLE 9.10.14.4.-A	LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1"	INTERPOLATED ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"	AREA OF EXPOSING BUILDING FACE "2"	INTERPOLATED ALLOWABLE OPENINGS "2"	PROPOSED OPENINGS "2"	PROPOSED OPENINGS "2"
	12.0 FT / 3.66m	711.7 SF / 66.1 M2	22%	47.51 SF / 4.4 M2	6.7%	378.8 SF / 35.2 M2	32%	8.38 SF / 0.8 M2	2.2%

TABLE 9.10.14.5.-A	MAX. UNPROTECTED OPENINGS (%) "1"	REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"	MAX. UNPROTECTED OPENINGS (%) "2"	REQUIRED FRR BUILDING FACE "2"	REQUIRED TYPE OF CONSTRUCTION "2"	REQUIRED TYPE OF CLADDING "2"
	>10 - 25%	1 HR	Combustible or Noncombustible	Combustible or Noncombustible	>25 - 50%	3/4 HR	Combustible or Noncombustible	Combustible or Noncombustible



TABLE 9.10.14.4.-A	LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1-4"	ALLOWABLE OPENINGS "1-4"	PROPOSED OPENINGS "1-4"	PROPOSED OPENINGS "1-4"	AREA OF EXPOSING BUILDING FACE "5-8"	ALLOWABLE OPENINGS "5-8"	PROPOSED OPENINGS "5-8"	PROPOSED OPENINGS "5-8"
	44.3 FT / 13.5m	396.2 SF / 36.8 M2	55%	98.1 SF / 9.1 M2	24.7%	175.9 SF / 16.4 M2	100%	49.6 SF / 4.6 M2	28.2%

TABLE 9.10.14.5.-A	MAX. UNPROTECTED OPENINGS (%) "1-4"	REQUIRED FRR BUILDING FACE "1-4"	REQUIRED TYPE OF CONSTRUCTION "1-4"	REQUIRED TYPE OF CLADDING "1-4"	MAX. UNPROTECTED OPENINGS (%) "5-8"	REQUIRED FRR BUILDING FACE "5-8"	REQUIRED TYPE OF CONSTRUCTION "5-8"	REQUIRED TYPE OF CLADDING "5-8"
	>50 - 100%	3/4 HR	Combustible or Noncombustible	Combustible or Noncombustible	>50 - 100%	3/4 HR	Combustible or Noncombustible	Combustible or Noncombustible

1 LIMITING DISTANCE - BUILDING A NORTH ELEVATION
A.010 1:100

2 LIMITING DISTANCE - BUILDING A EAST ELEVATION
A.010 1:100

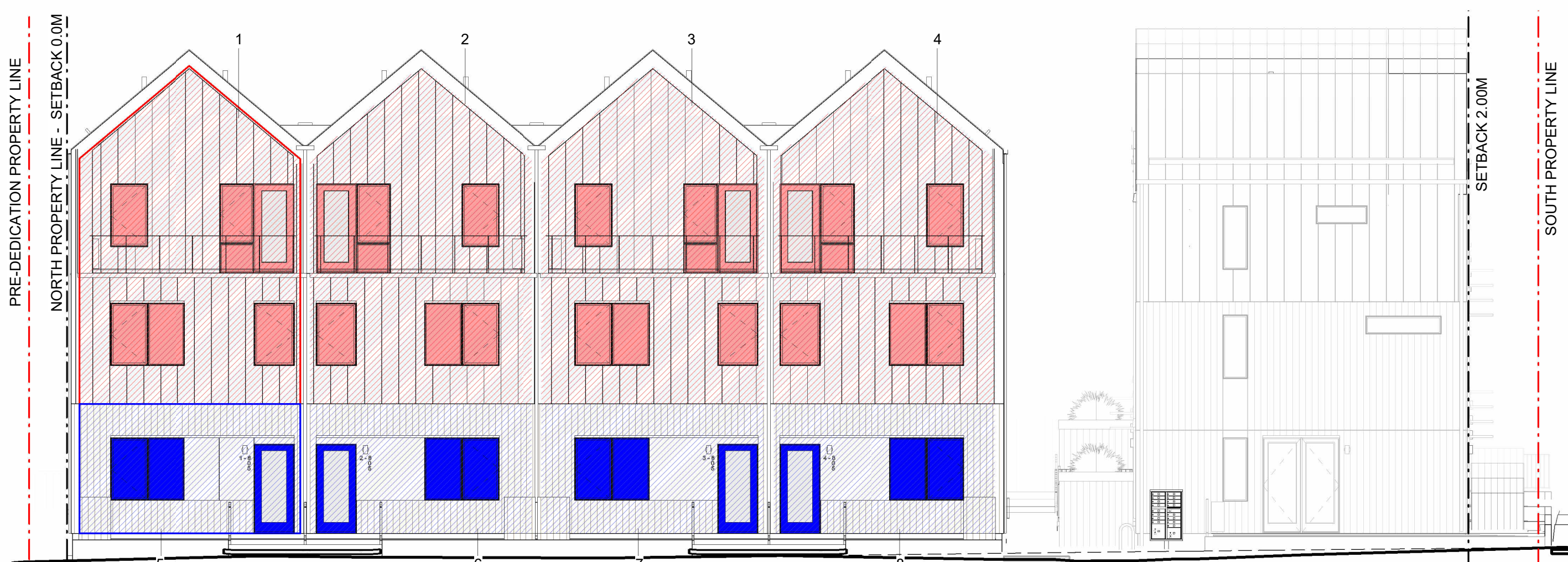


TABLE 9.10.14.4.-A	LIMITING DISTANCE FOR ALL AREAS	AREA OF EXPOSING BUILDING FACE "1-4"	ALLOWABLE OPENINGS "1-4"	PROPOSED OPENINGS "1-4"	PROPOSED OPENINGS "1-4"	AREA OF EXPOSING BUILDING FACE "5-8"	ALLOWABLE OPENINGS "5-8"	PROPOSED OPENINGS "5-8"	PROPOSED OPENINGS "5-8"
	36.7 FT / 11.2m	396.2 SF / 36.8 M2	100%	99.3 SF / 9.2 M2	25.1%	175.9 SF / 16.4 M2	100%	50.1 SF / 4.7 M2	28.5%

TABLE 9.10.14.5.-A	MAX. UNPROTECTED OPENINGS (%) "1-4"	REQUIRED FRR BUILDING FACE "1-4"	REQUIRED TYPE OF CONSTRUCTION "1-4"	REQUIRED TYPE OF CLADDING "1-4"	MAX. UNPROTECTED OPENINGS (%) "5-8"	REQUIRED FRR BUILDING FACE "5-8"	REQUIRED TYPE OF CONSTRUCTION "5-8"	REQUIRED TYPE OF CLADDING "5-8"
	>50 - 100%	3/4 HR	Combustible or Noncombustible	Combustible or Noncombustible	>50-100%	3/4 HR	Combustible or Noncombustible	Combustible or Noncombustible

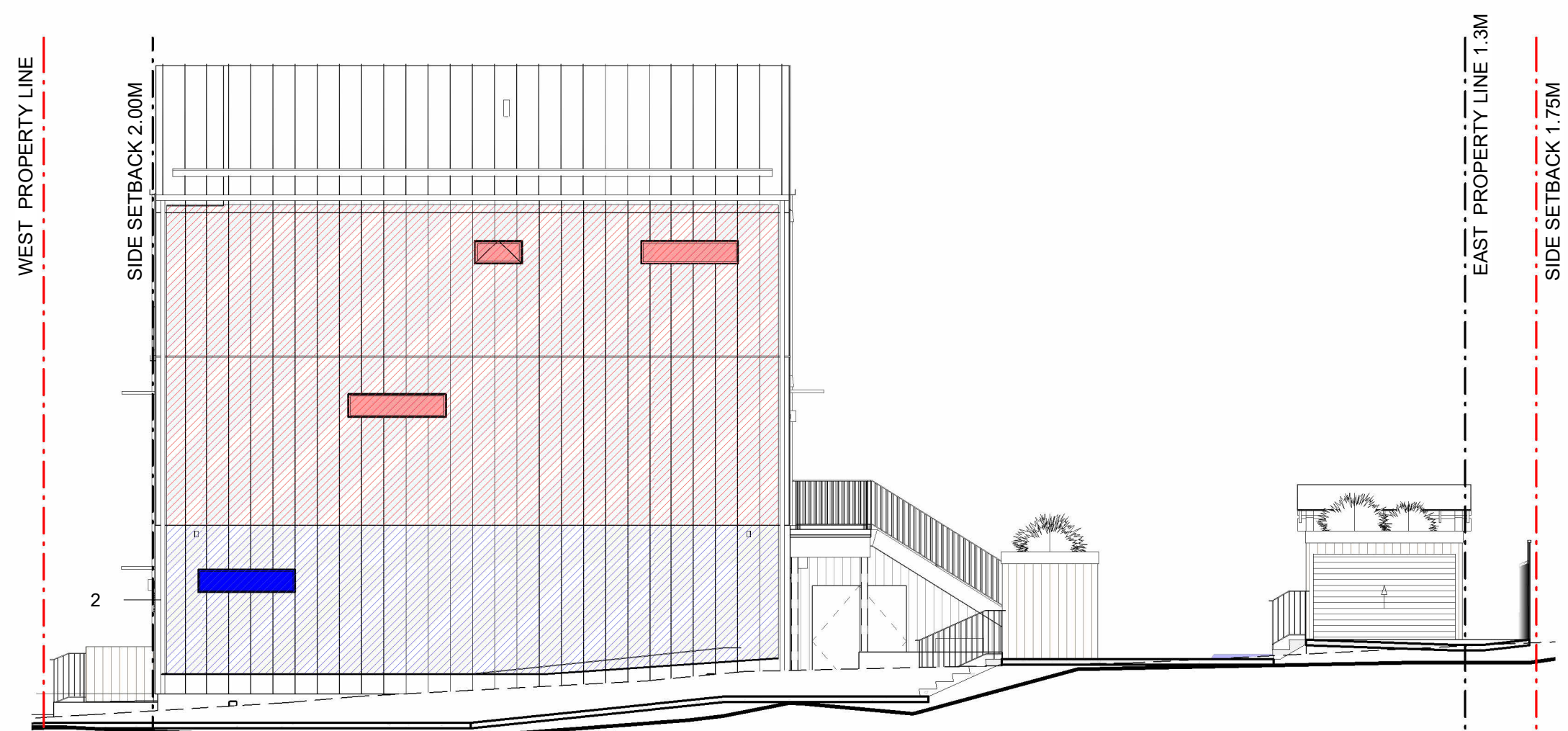


TABLE 9.10.14.4.-A	LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1"	ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"	AREA OF EXPOSING BUILDING FACE "2"	ALLOWABLE OPENINGS "2"	PROPOSED OPENINGS "2"	PROPOSED OPENINGS "2"
	5.08 FT / 1.55m	711.7 SF / 65.4 M2	8%	20.90 SF / 1.94 M2	2.9%	327.9 SF / 30.5 M2	8%	8.38 SF / 0.8 M2	2.6%

TABLE 9.10.14.5.-A	MAX. UNPROTECTED OPENINGS (%) "1"	REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"	MAX. UNPROTECTED OPENINGS (%) "2"	REQUIRED FRR BUILDING FACE "2"	REQUIRED TYPE OF CONSTRUCTION "2"	REQUIRED TYPE OF CLADDING "2"
	0-10%	1 HR	Noncombustible	*ALT SOLUTION PROPOSED*	0-10%	1 HR	Noncombustible	*ALT SOLUTION PROPOSED*

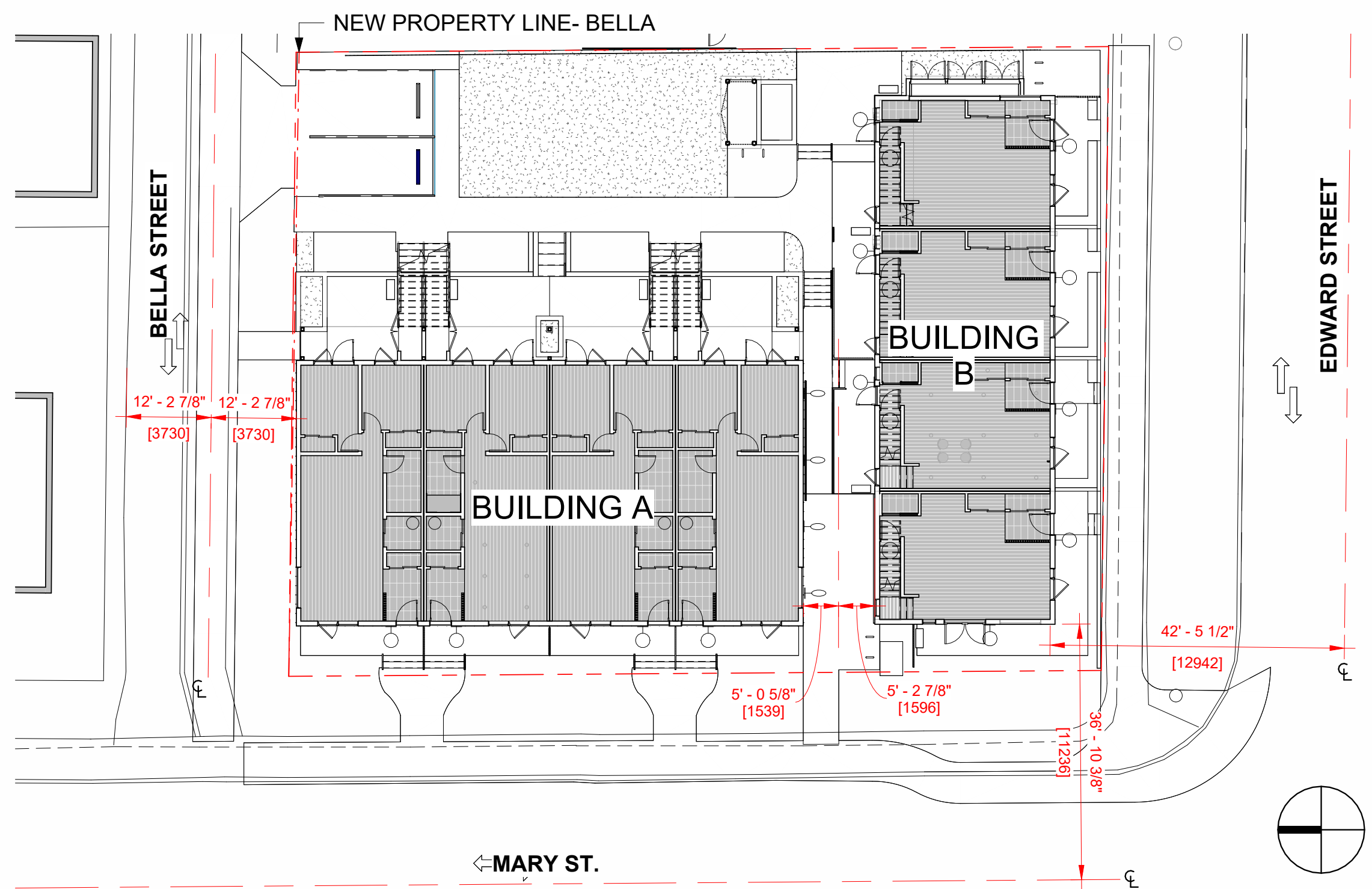
3 LIMITING DISTANCE - BUILDING A WEST ELEVATION
A.010 1:100

4 LIMITING DISTANCE - BUILDING A SOUTH ELEVATION
A.010 1:100

LIMITING DISTANCE INTERPOLATION CALCULATIONS

BUILDING A - NORTH ELEVATION "1"						
Area of building face	LD below	LD	LD above	LD*2	% Permitted	Area Permitted
	2.0 m	3.68 m	4.0 m	13.54 m ²	22%	14.78 m ²
Next smallest value	50.0 m ²	10%	25%			
Area	66.10 m ²	10%	25%			
Next largest value	100.0 m ²	9%	17%			

BUILDING A - NORTH ELEVATION "2"						
Area of building face	LD below	LD	LD above	LD*2	% Permitted	Area Permitted
	2.0 m	3.68 m	4.0 m	13.54 m ²	31%	13.18 m ²
Next smallest value	30.0 m ²	12%	35%			
Area	35.20 m ²	11%	32%			
Next largest value	40.0 m ²	11%	29%			



5 LIMITING DISTANCE PLAN
A.010 1:200

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13	DPA Rev 5	26.03.19

S.KALENCHUK

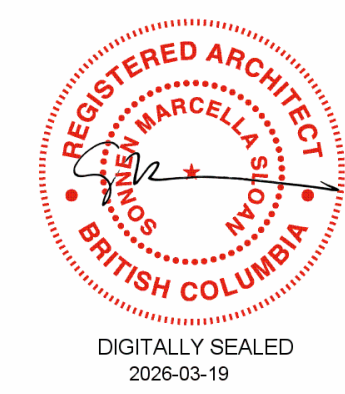
NALU @ VICWEST TOWNHOMES

BUILDING A LIMITING DISTANCE

Project number 24003
Date 24.10.29
Drawn by AG
Checked by SS

A.010

Scale AS NOTED
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13	DPA Rev 5	26.03.19

S.KALENCHUK

NALU @ VICWEST TOWNHOMES

BUILDING B LIMITING DISTANCE

Project number 24003
Date 24.10.29
Drawn by AG
Checked by SS

A.011

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TABLE 9.10.15.4.

LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1"	ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"
41.8 FT / 12.7m	2239.4 SF / 208.0 M2	55%	496.1 SF / 46.1 M2	22.2%

9.10.14.5.-A

REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"
0 HR	Combustible or Noncombustible	Combustible or Noncombustible

3 LIMITING DISTANCE - BUILDING B SOUTH ELEVATION
A.011 1:100



TABLE 9.10.15.4.

LIMITING DISTANCE "1"	AREA OF EXPOSING BUILDING FACE "1"	ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"
86.2 FT / 26.3 M	1119.7 SF / 104.0 M2	100%	111.1 SF / 10.3 M2	9.9%

9.10.15.5

REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"
0 HR	Combustible or Noncombustible	Combustible or Noncombustible

TABLE 9.10.15.4.

LIMITING DISTANCE "2"	AREA OF EXPOSING BUILDING FACE "2"	ALLOWABLE OPENINGS "2"	PROPOSED OPENINGS "2"	PROPOSED OPENINGS "2"
5.1 FT / 1.55 M	1108.4 SF / 103.0 M2	8%	85.3 SF / 7.9 M2	7.7%

9.10.15.

REQUIRED FRR BUILDING FACE "2"	REQUIRED TYPE OF CONSTRUCTION "2"	REQUIRED TYPE OF CLADDING "2"
0 HR	Combustible or Noncombustible	Combustible or Noncombustible

6 LIMITING DISTANCE - BUILDING B NORTH ELEVATION
A.011 1:100

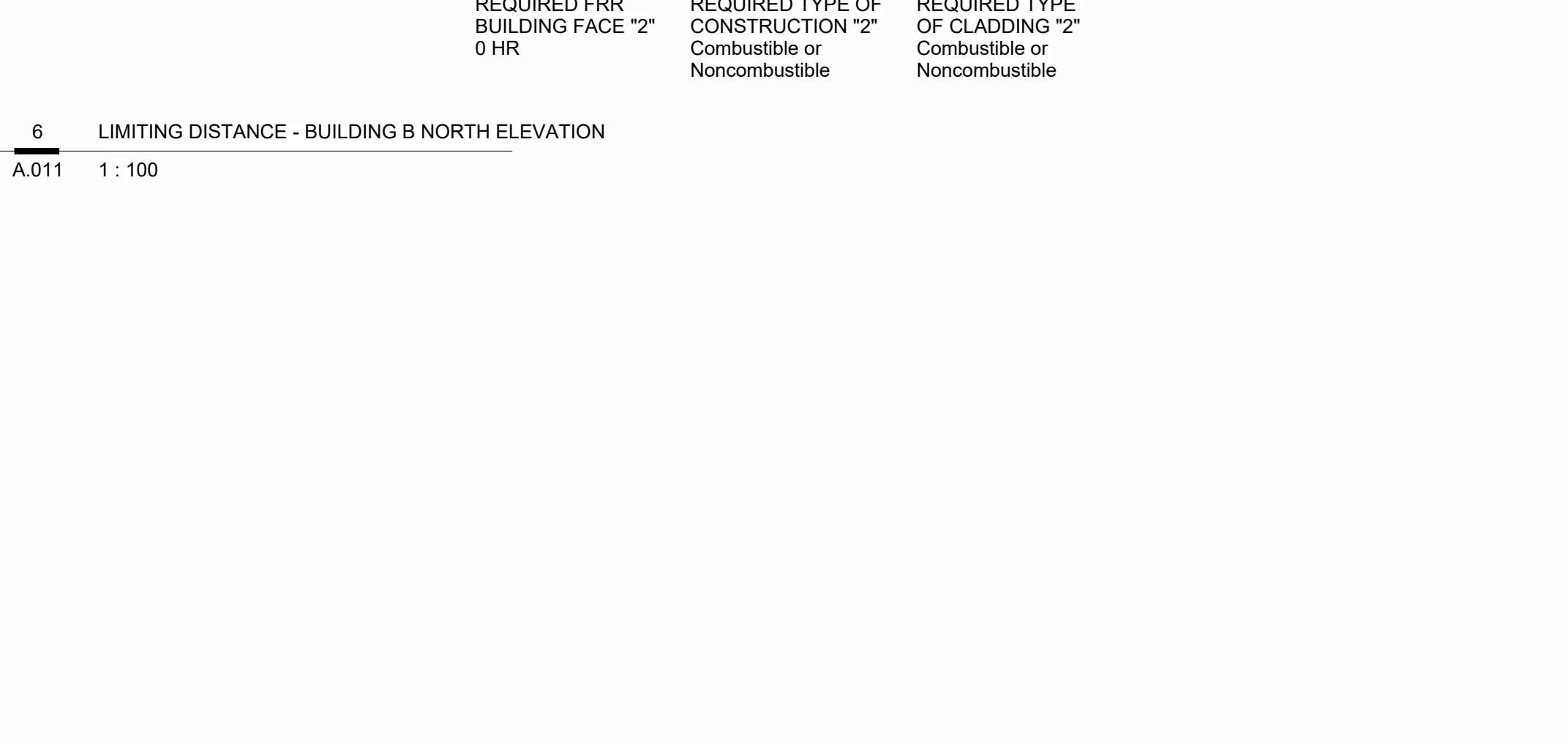


TABLE 9.10.15.4.

LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1"	ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"
36.75 FT / 11.2m	680.3 SF / 63.2 M2	100%	87.5 SF / 8.1 M2	12.9%

9.10.15.5

REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"
0 HR	Combustible or Noncombustible	Combustible or Noncombustible

4 LIMITING DISTANCE - BUILDING B WEST ELEVATION
A.011 1:100



TABLE 9.10.15.4.

LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1"	ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"
6.91 FT / 2.1m	680.3 SF / 63.2 M2	8%	16.76 SF / 1.6 M2	2.5%

9.10.15.5

REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"
0 HR	Combustible or Noncombustible	Combustible or Noncombustible

1 LIMITING DISTANCE - BUILDING B EAST ELEVATION
A.011 1:100



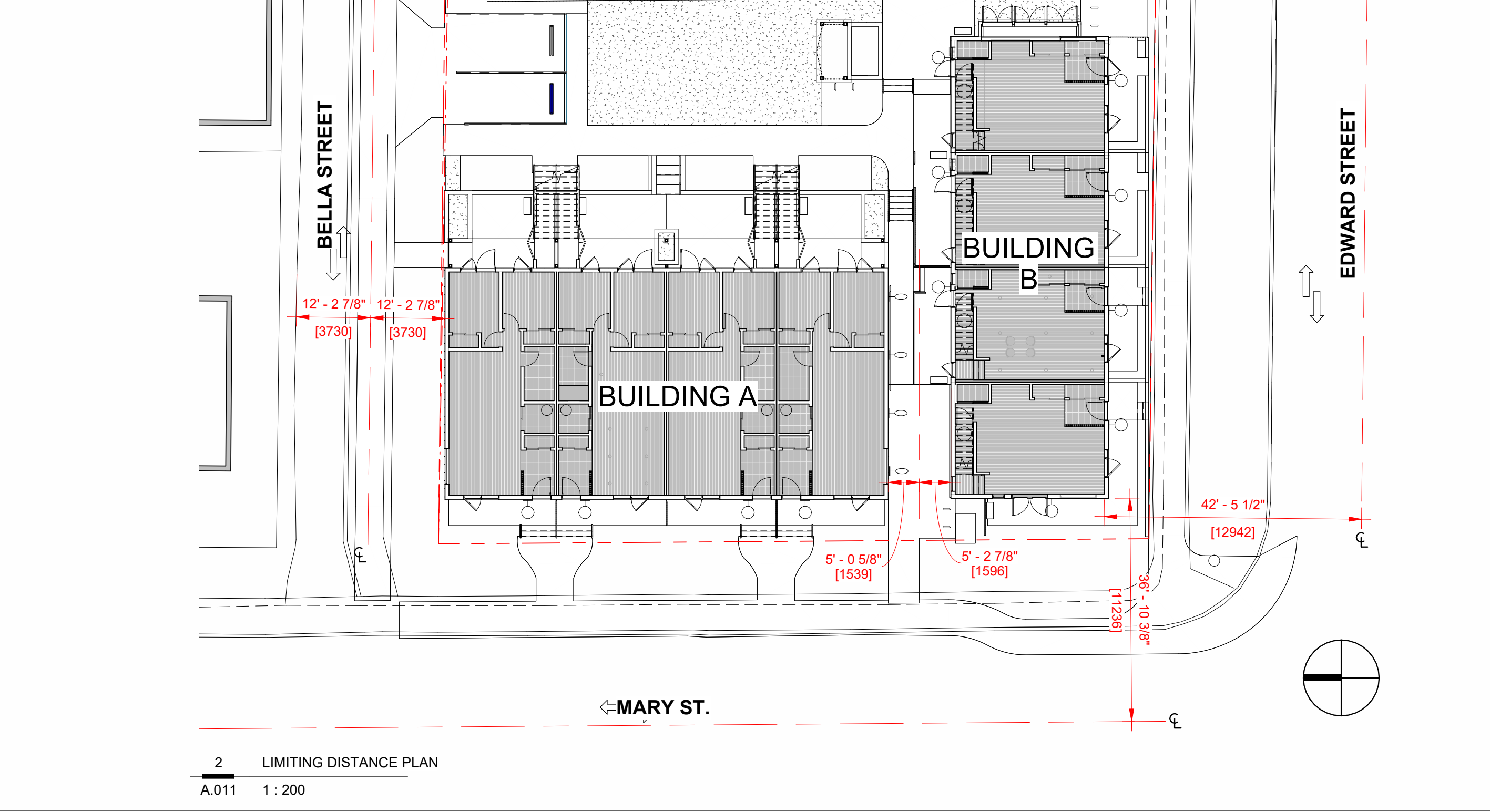
TABLE 9.10.15.4.

LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE "1"	ALLOWABLE OPENINGS "1"	PROPOSED OPENINGS "1"	PROPOSED OPENINGS "1"
6.91 FT / 2.1m	680.3 SF / 63.2 M2	8%	16.76 SF / 1.6 M2	2.5%

9.10.15.5

REQUIRED FRR BUILDING FACE "1"	REQUIRED TYPE OF CONSTRUCTION "1"	REQUIRED TYPE OF CLADDING "1"
0 HR	Combustible or Noncombustible	Combustible or Noncombustible

1 LIMITING DISTANCE - BUILDING B EAST ELEVATION
A.011 1:100



2 LIMITING DISTANCE PLAN
A.011 1:100



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11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19

S.KALENCHUK

**NALU @ VICWEST
TOWNHOMES**

SHADOW STUDIES

Project number 24003

Date 24.10.29

Drawn by AG

Checked by SS

A.013

Scale 1" = 40'-0"

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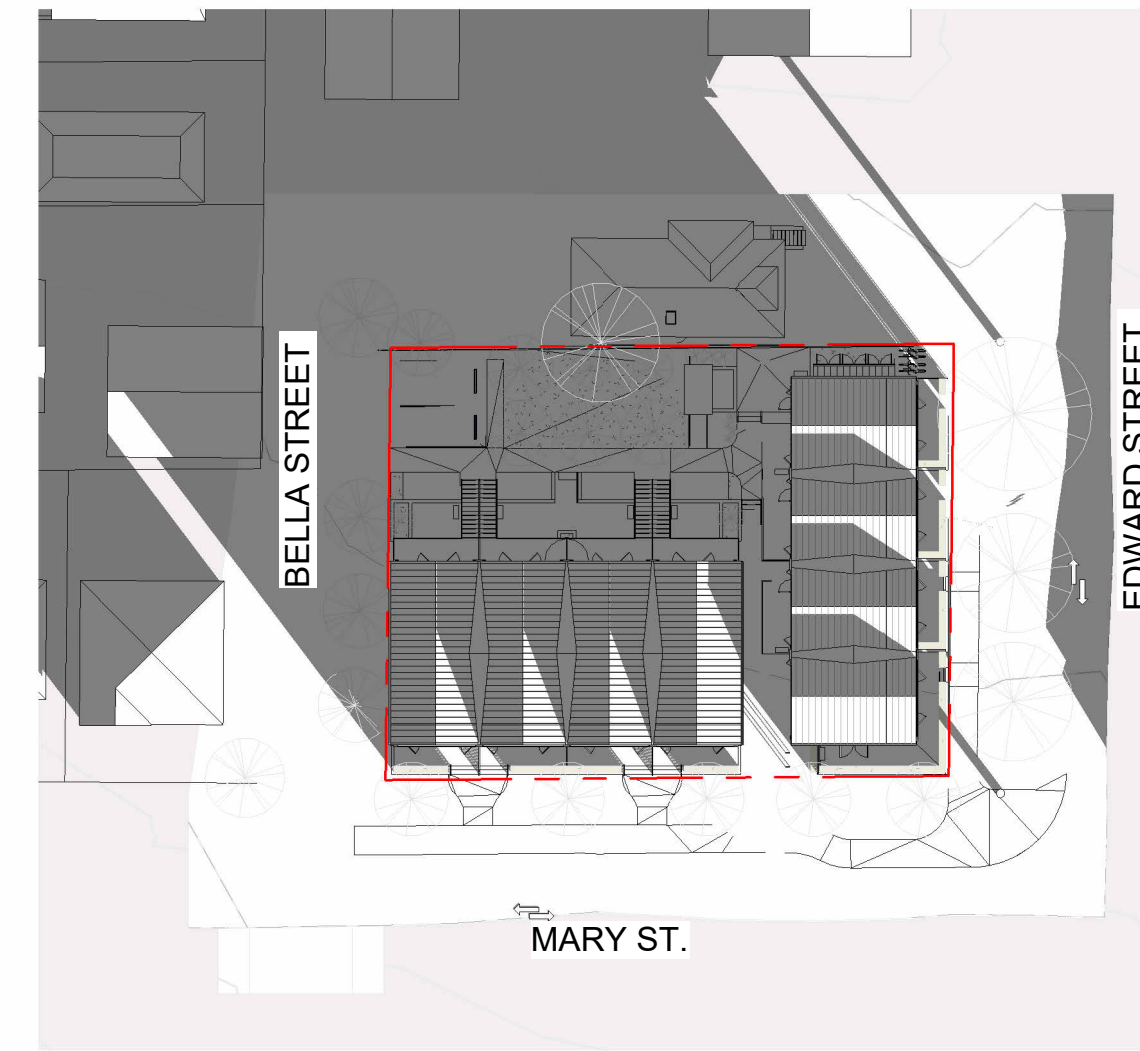
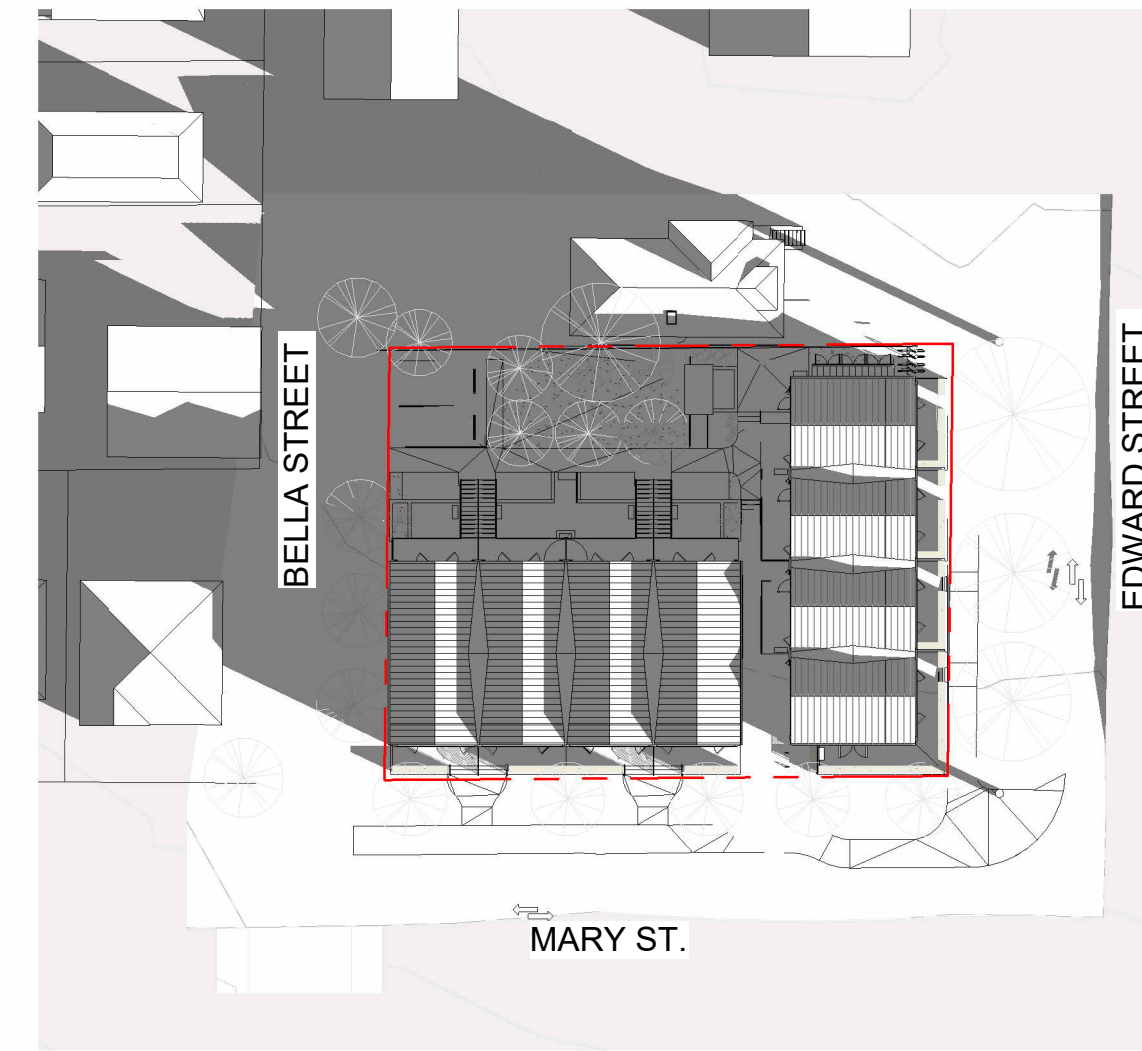
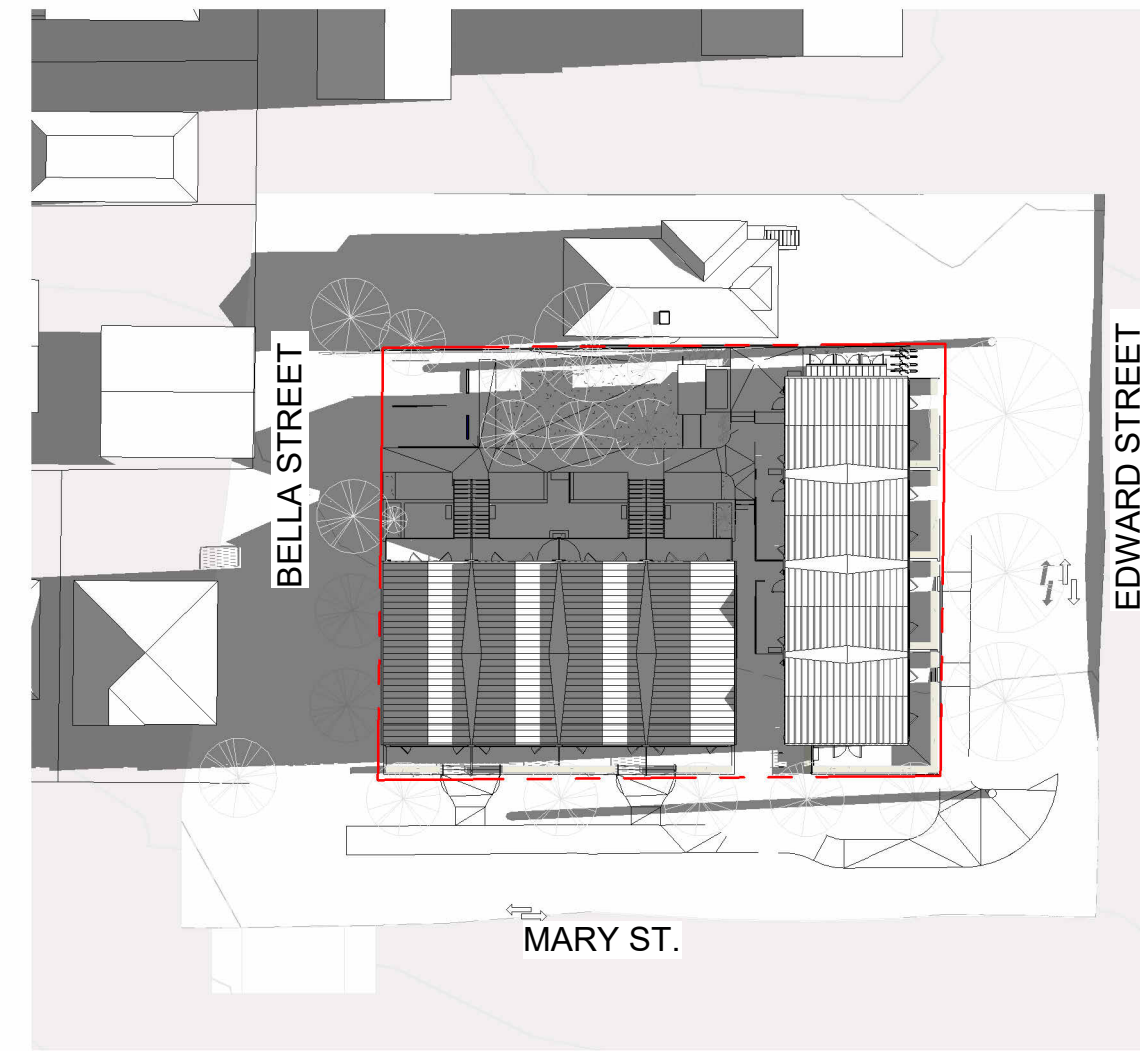
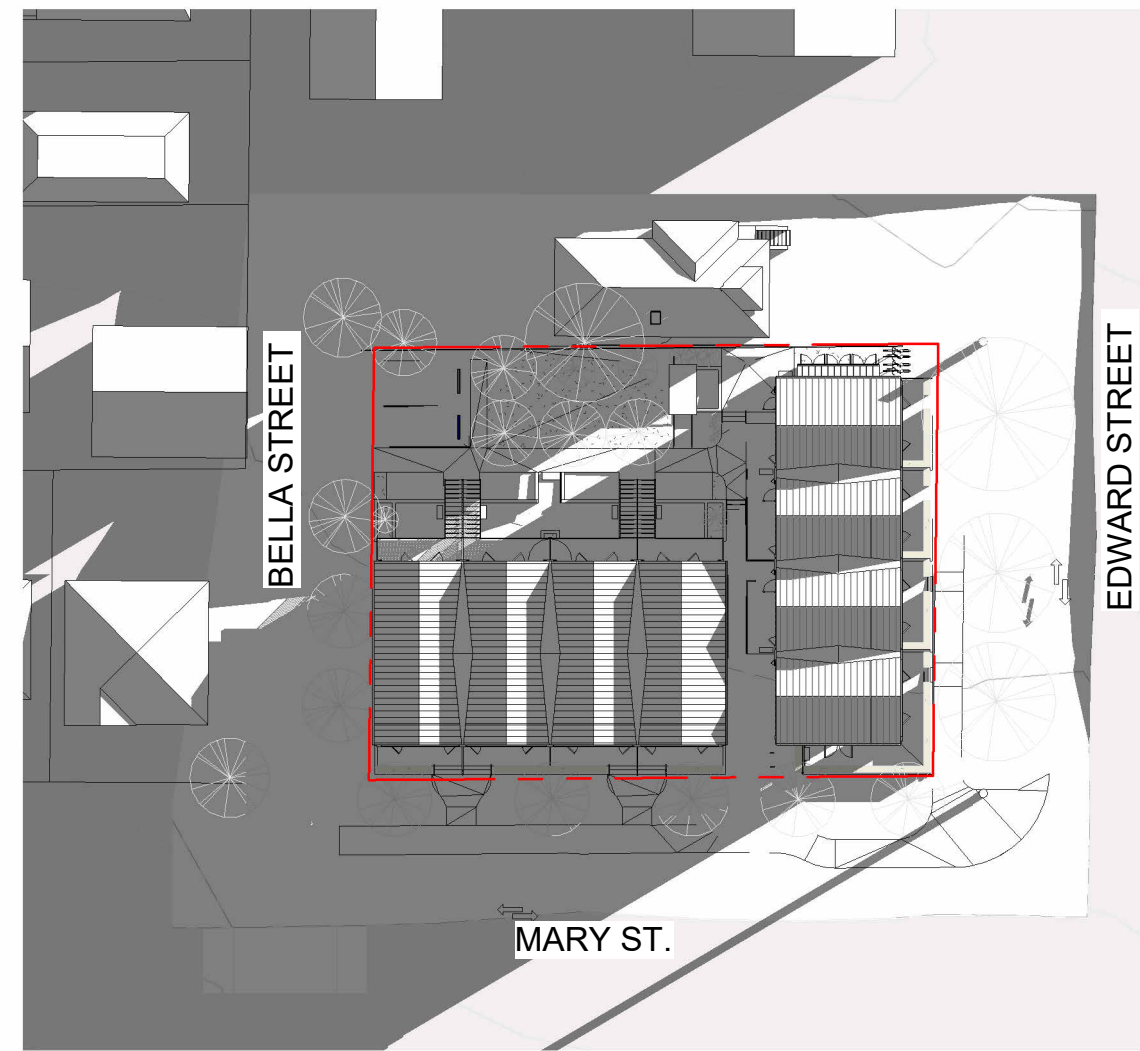
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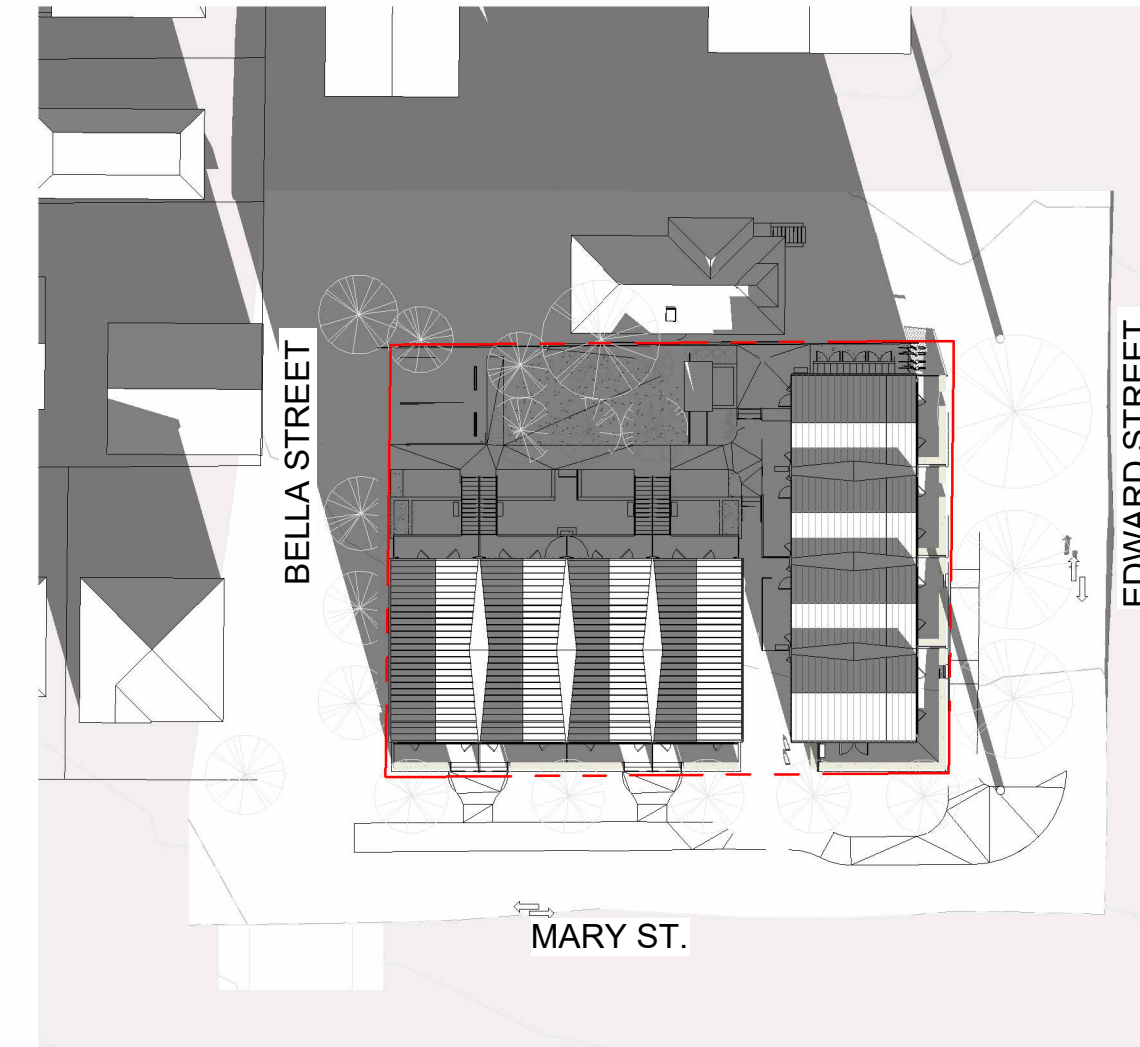
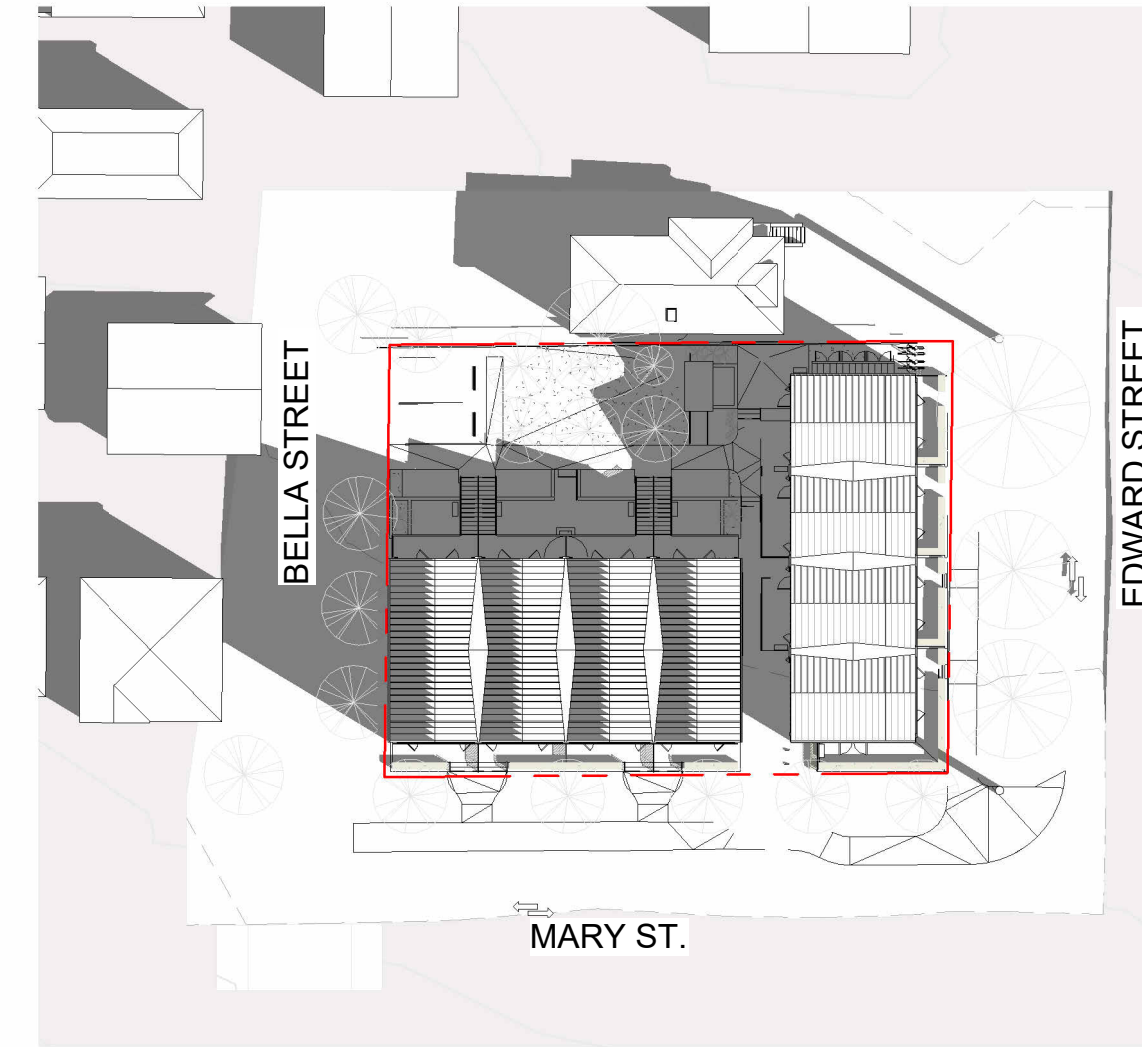
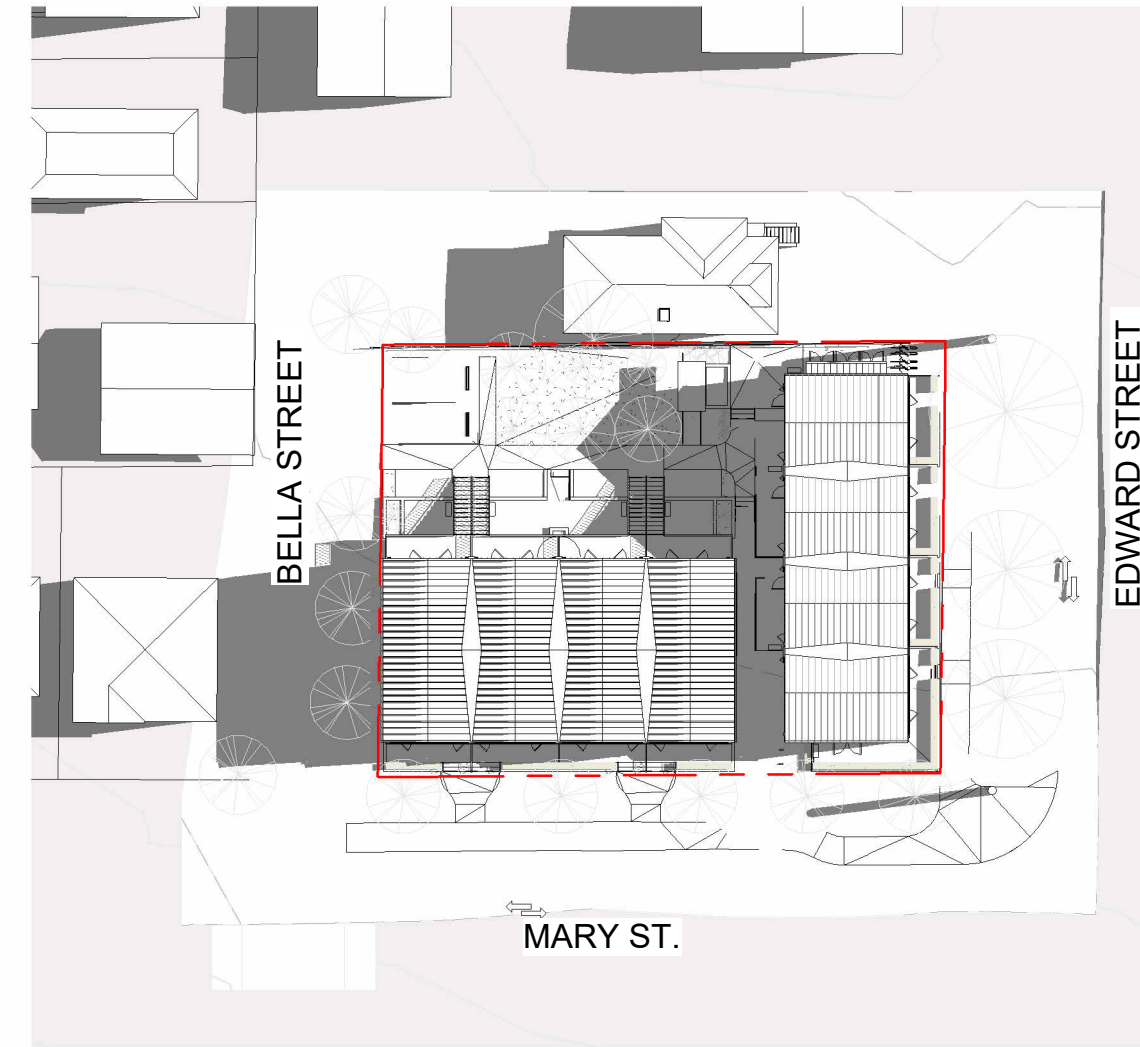
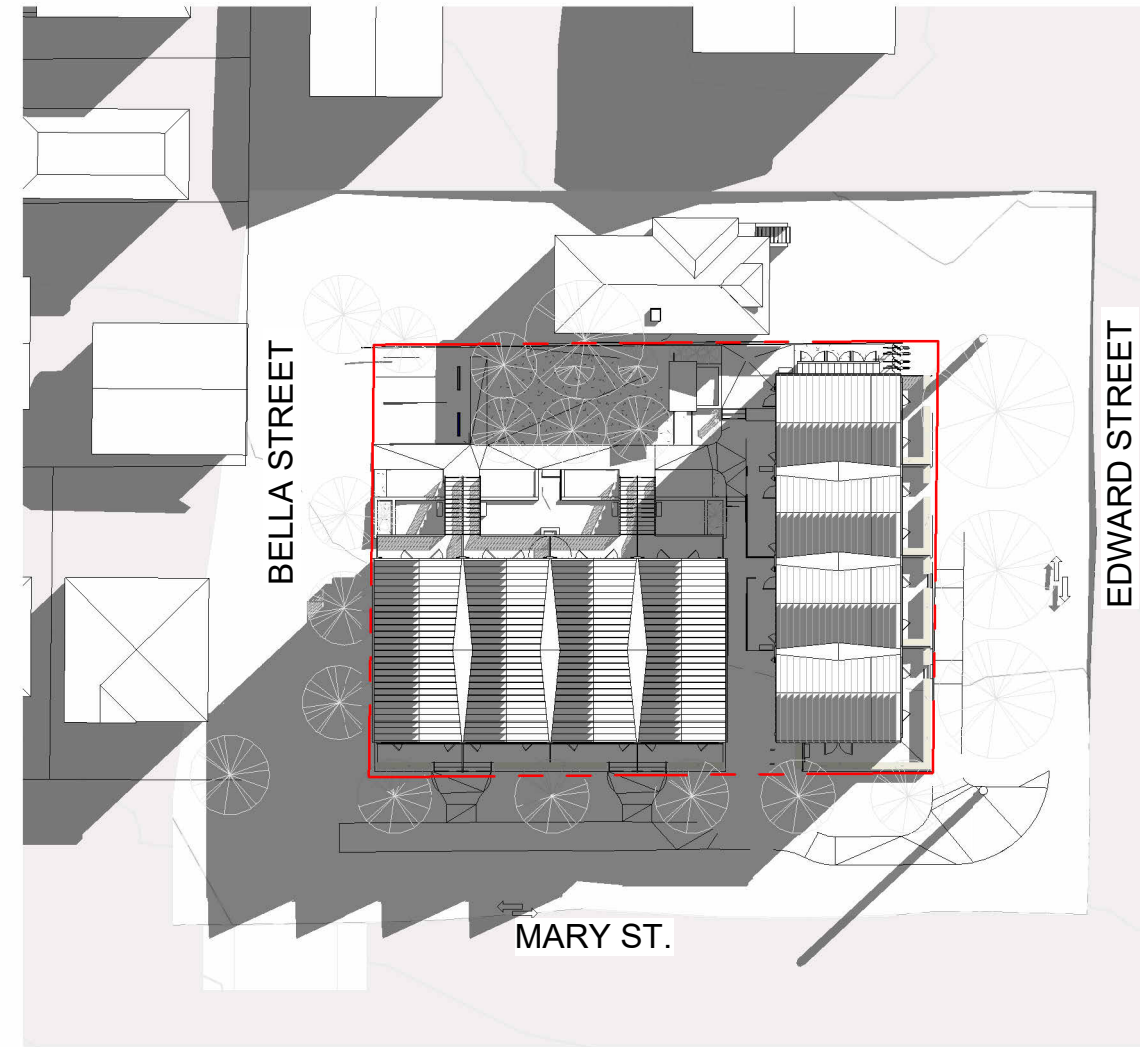
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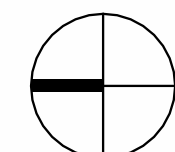
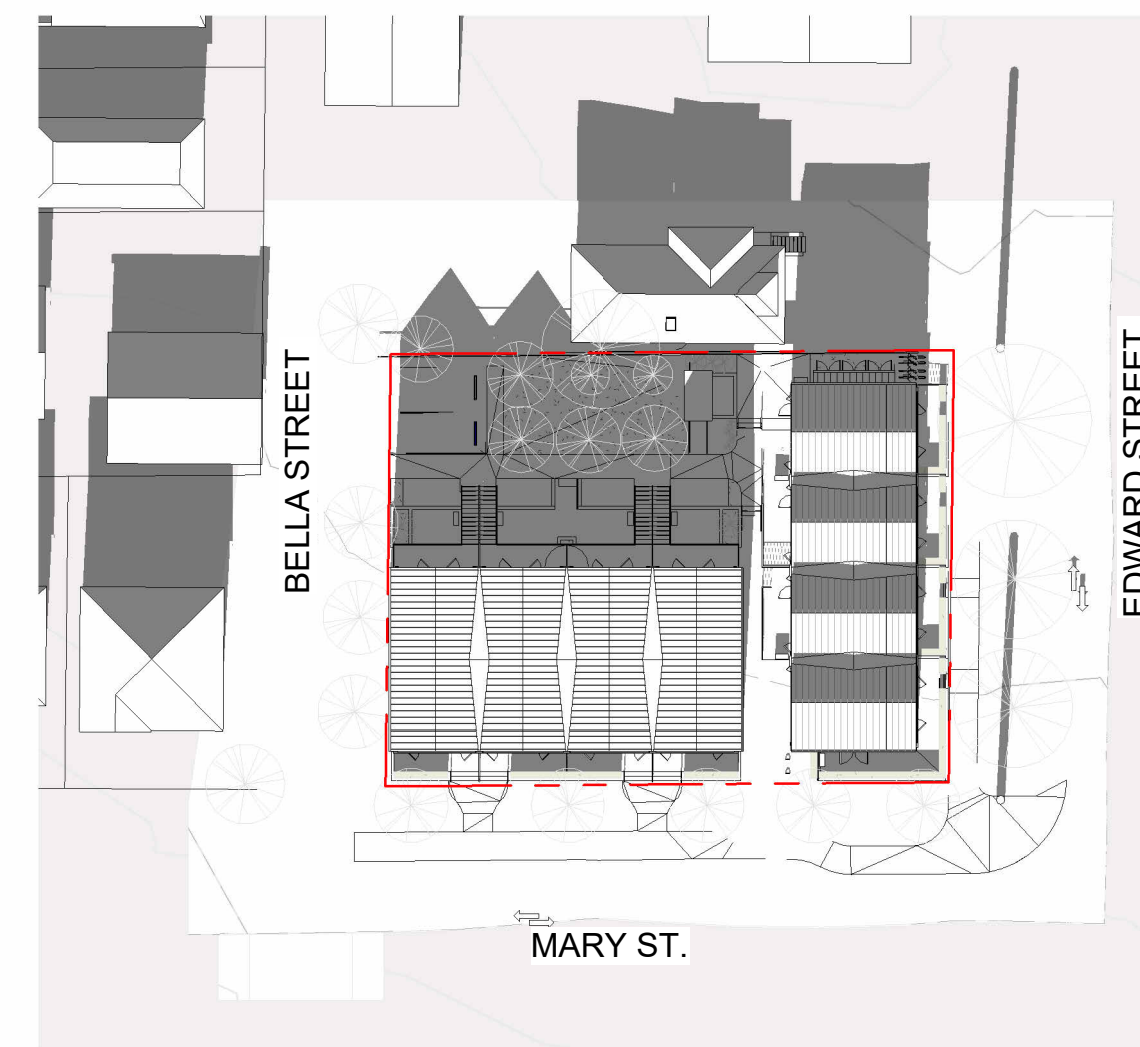
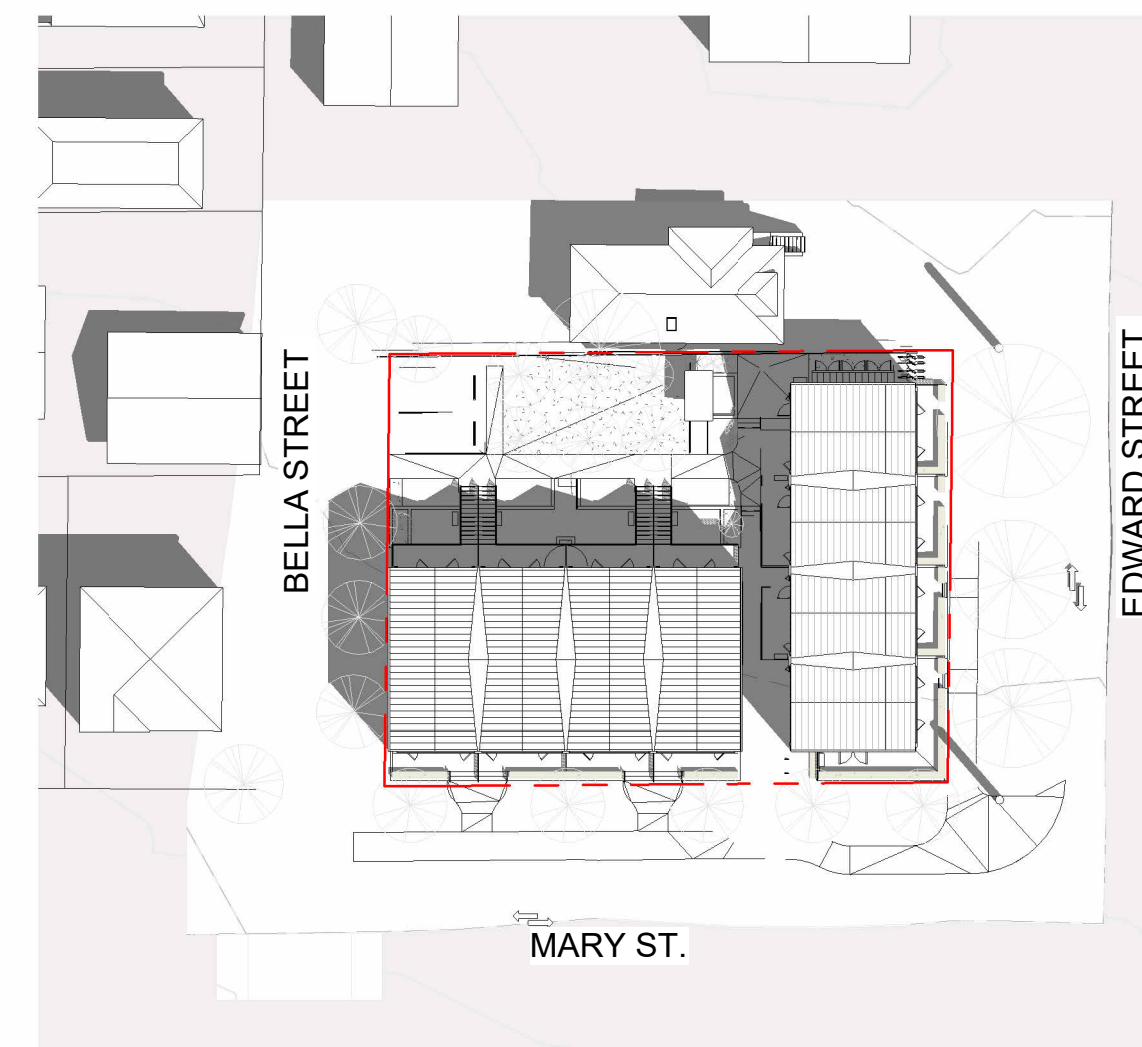
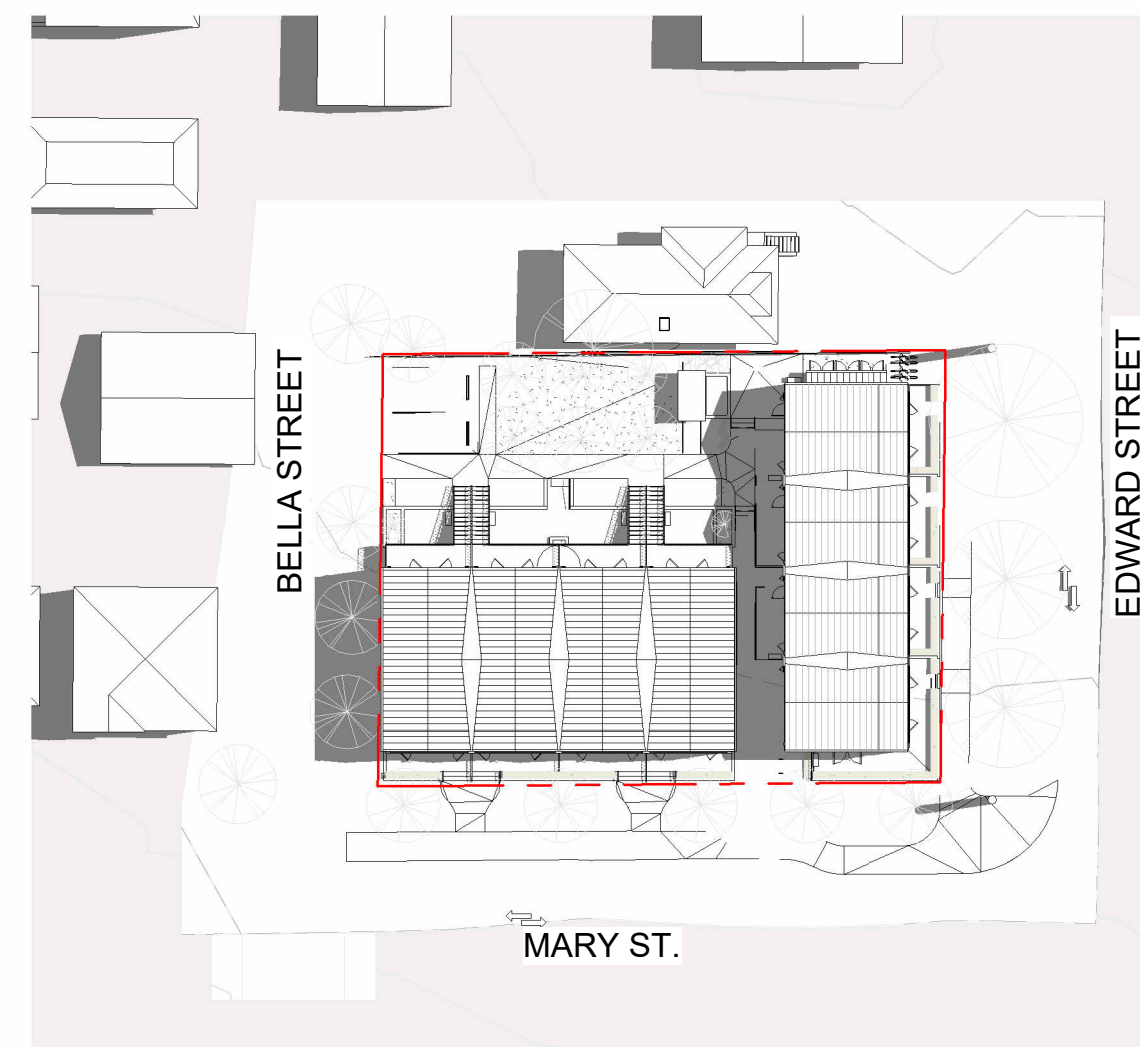
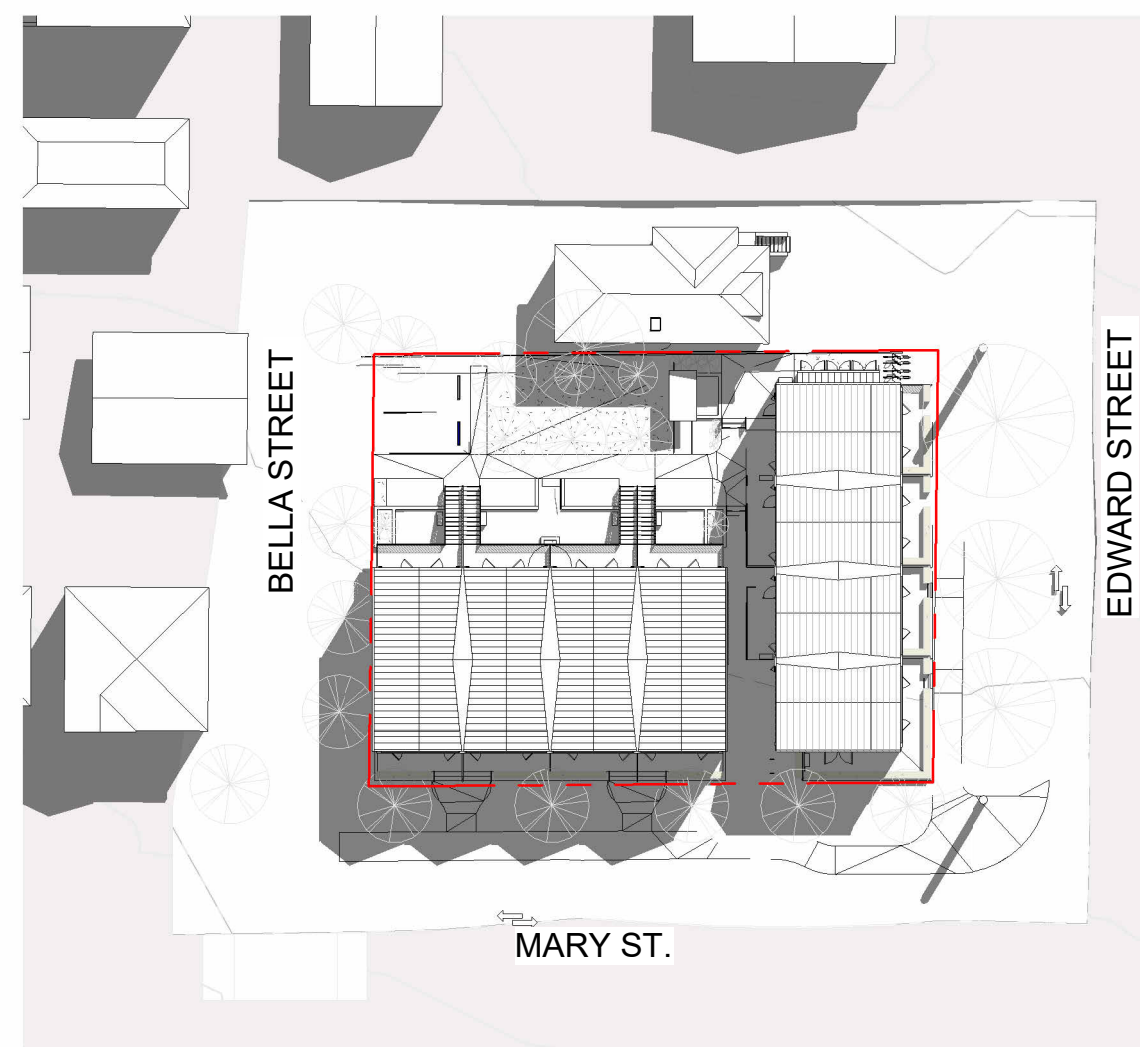
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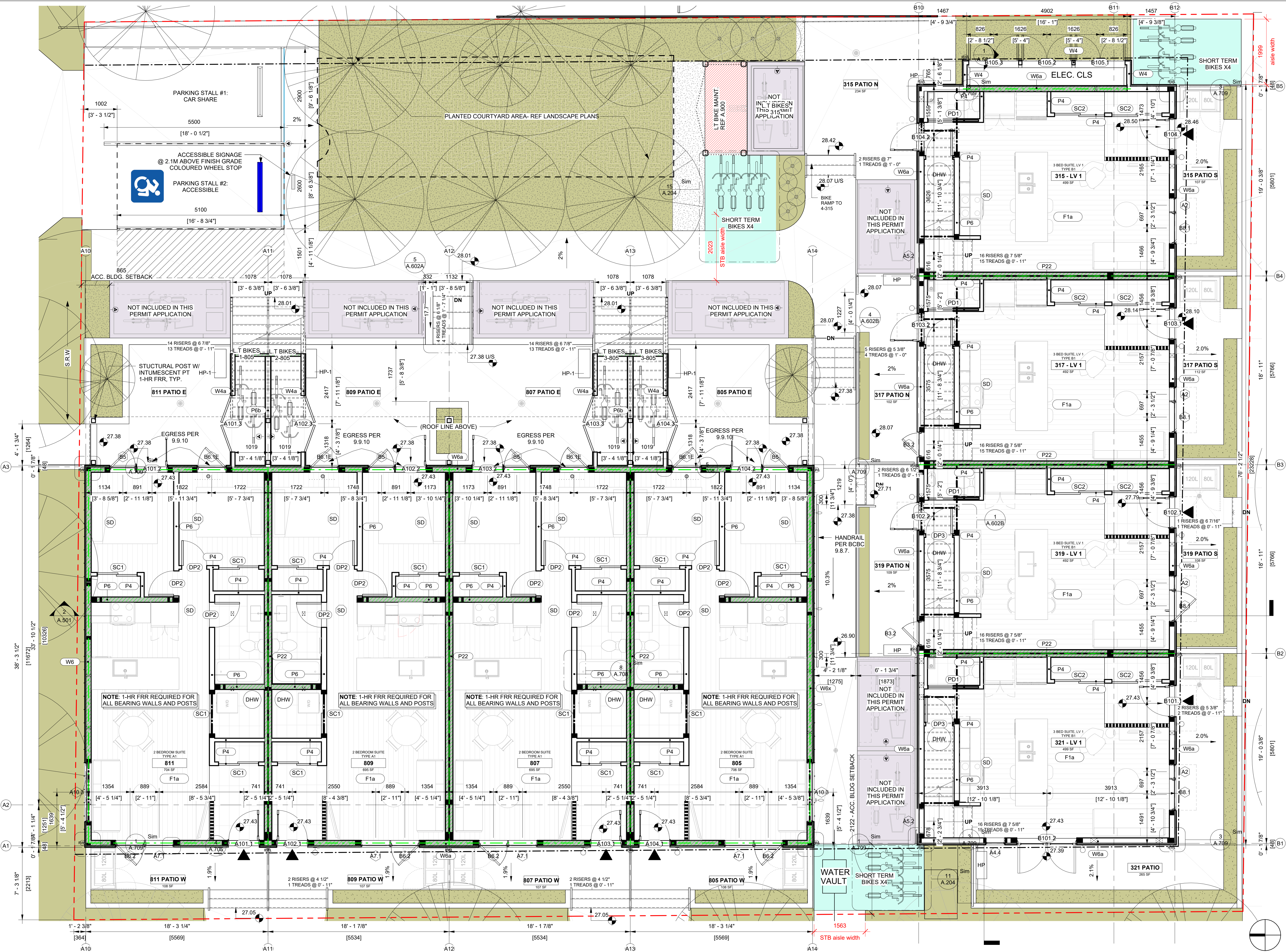


SPRING / AUTUMN EQUINOX



SUMMER SOLSTICE





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6	DPA Rev 3	25.12.19
7	BP Revision 1	25.12.23
8	DPA Rev 4	26.01.30
9	IFT	26.02.17
10	DPA Rev 5	26.03.19

S.KALENCHUK

NALU @ VICWEST TOWNHOMES

FULL SITE - LEVEL 1 PLANS

Project number 24003
Date 24.10.29
Drawn by DW
Checked by SS

A.201dp

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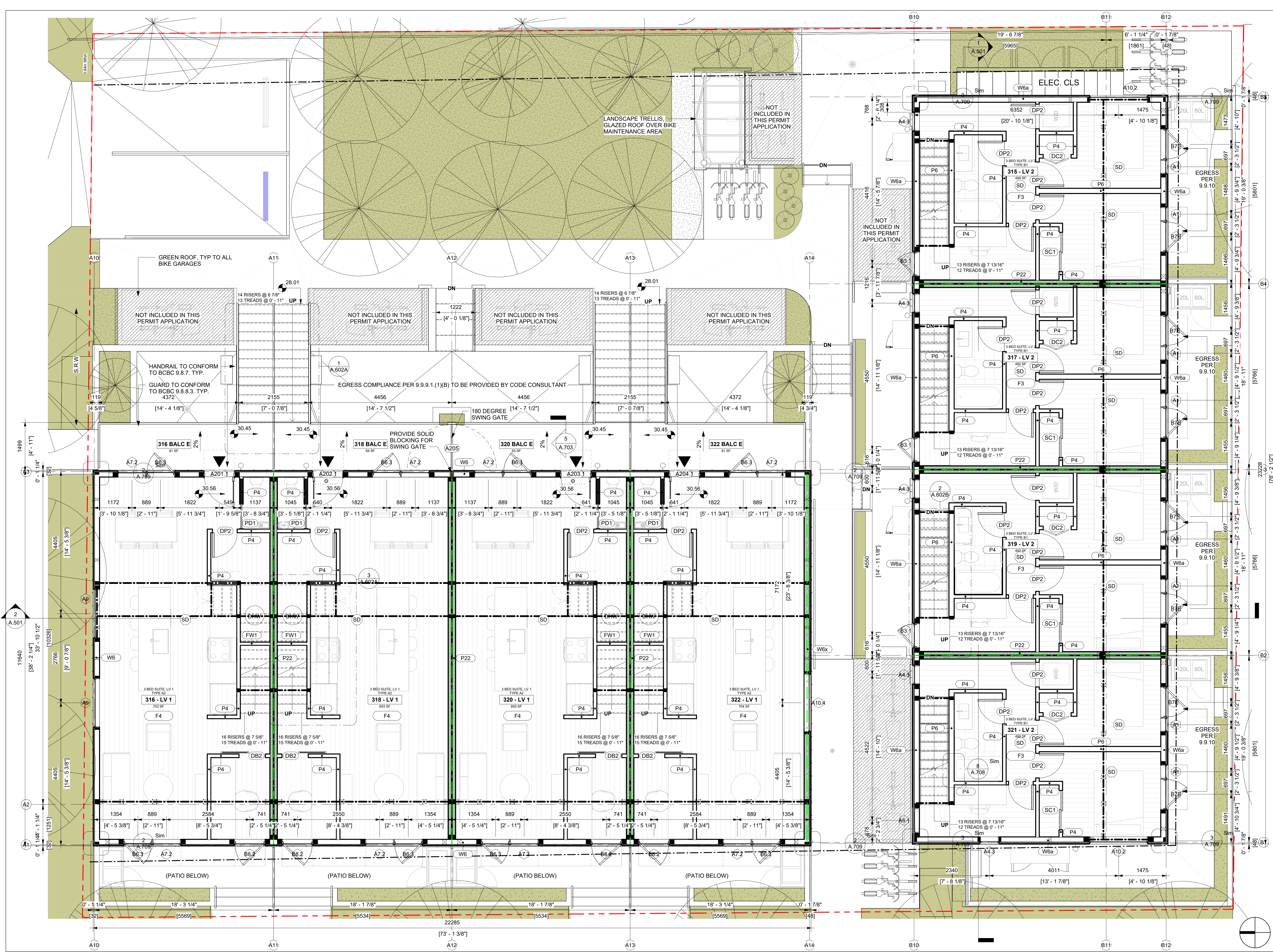
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10	BP Revision 1	25.12.23
11	DPA Rev 4	26.01.30
12	IFT	26.02.17
13	DPA Rev 5	26.03.19
14	IFC	TBD

S.KALENCHUK
NALU @ VICWEST TOWNHOMES
FULL SITE - LEVEL 2 PLANS

Project number 24003
Date 24.10.29
Drawn by DW
Checked by SS

A.202

Scale 1:50
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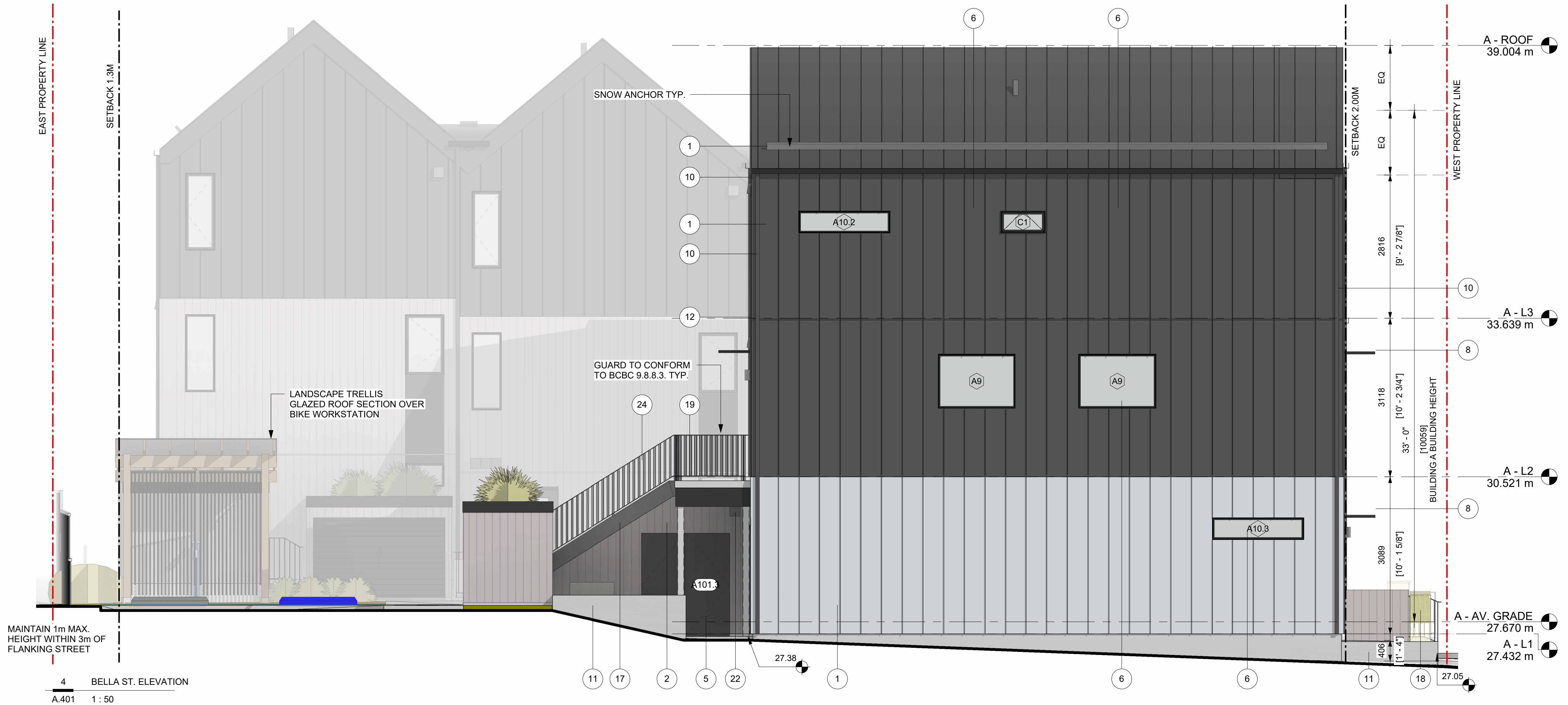




3 MARY ST. ELEVATION
A.401 1:50

MATERIAL FINISHES

- 1 METAL SIDING STANDING SEAM PANELS - 12" BLACK OR GREY
- 2 VERTICAL WOOD SIDING / SOFFIT CEDAR
- 3 CLADDING PANEL BLACK
- 4 METAL FASCIA TO MATCH STANDING SEAM CLADDING
- 5 EXTERIOR DOOR BLACK
- 6 HIGH PERFORMANCE WINDOW BLACK
- 7 GLASS GUARDRAIL BLACK PTD. METAL FRAME
- 8 PTD. METAL CANOPY BLACK
- 9 METAL FLASHING TO MATCH BLACK METAL CLADDING
- 10 GUTTER/DOWNSPOUT FINISH TO MATCH BLACK METAL CLADDING
- 11 CONCRETE LANDSCAPE WALL (& STAIRS)
- 12 THRU-WALL FLASHING FINISH TO MATCH BLACK CLADDING
- 13 INTAKE/ EXHAUST VENT FINISH TO MATCH BLACK METAL CLADDING
- 14 PTD. METAL EXTERIOR GATE
- 15 PTD. METAL BIKE RACKS
- 16 OVERHEAD DOORS BLACK
- 17 METAL PAN EXTERIOR STAIR
- 18 HEDGE PLANTING
- 19 LIGHTWEIGHT CONCRETE DECKING
- 20 PTD. WOOD EXTERIOR FENCE BLACK
- 21 EXTENSIVE GREEN ROOF
- 22 MECHANICAL VENT FINISH TO MATCH CLADDING
- 23 EXTERIOR LIGHTING
- 24 ALUMINUM GUARDRAIL BLACK PTD. FRAME AND PICKETS



4 BELLA ST. ELEVATION
A.401 1:50

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Do not scale these drawings.

No.	Description	Date
1	DPA	24.11.05
2	DPA Rev. 1	25.03.06
3	DPA Rev 2	25.05.09
6	DP Amendment	25.10.06
8	DP Revisions	25.11.05
9	DPA Rev 3	25.12.19
10	BP Revision 1	25.12.23
11	DPA Rev 4	26.01.30
12	IFT	26.02.17
13	DPA Rev 5	26.03.19

S.KALENCHUK

NALU @ VICWEST TOWNHOMES

ELEVATIONS

Project number 24003
Date 24.10.29
Drawn by AG
Checked by SS

A.401

Scale AS NOTED
Printed 2026-03-19 10:00:17 AM



835 MARY ST 825 MARY ST SUBJECT PROPERTY - 811 MARY ST / 315 EDWARD ST

1 MARY STREET CONTEXT ELEVATION
A.404 3/32" = 1'-0"



403 MARY ST SUBJECT PROPERTY - 811 MARY ST / 315 EDWARD ST 313 EDWARD ST 309 / 305 EDWARD ST

2 EDWARD STREET CONTEXT ELEVATION
A.404 3/32" = 1'-0"



314 BELLA ST SUBJECT PROPERTY - 811 MARY ST / 315 EDWARD ST 810 MARY ST

3 BELLA STREET CONTEXT
A.404 3/32" = 1'-0"

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10	BP Revision 1	25.12.23
11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19

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**NALU @ VICWEST
TOWNHOMES**

**STREETSCAPE
CONTEXT**

Project number 24003

Date 24.10.29

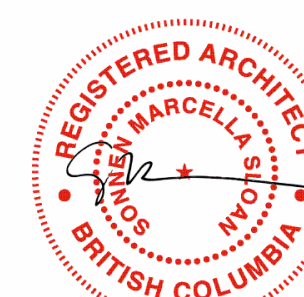
Drawn by SS

Checked by SS

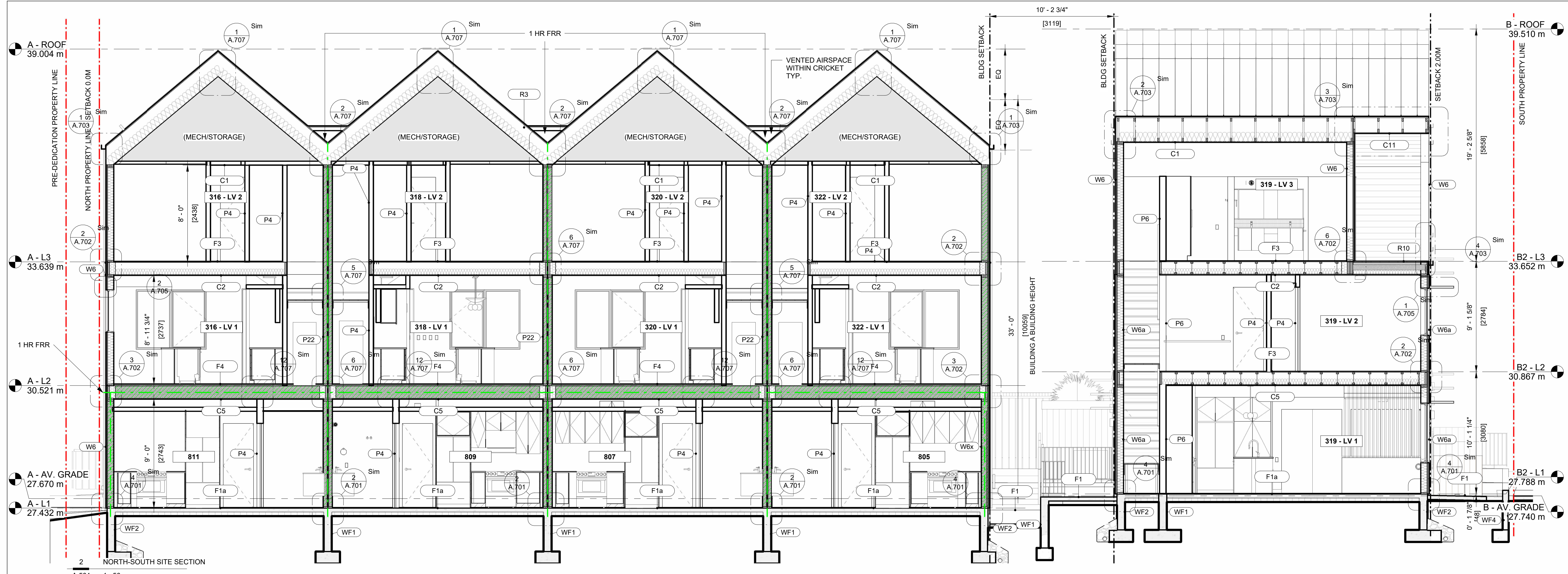
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Scale 3/32" = 1'-0"

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2026-03-19



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11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19

Level	Height (m)
B - ROOF	39.510
B4 - L3	34.363
B3 - L3	34.008
B4 - L2	31.579
B3 - L2	31.223
B4 - L1	28.499
B3 - L1	28.143
B - AV. GRADE	27.740
B2 - L3	33.652
B1 - L3	33.296
B2 - L2	30.867
B1 - L2	30.512
B2 - L1	27.788
B1 - L1	27.432

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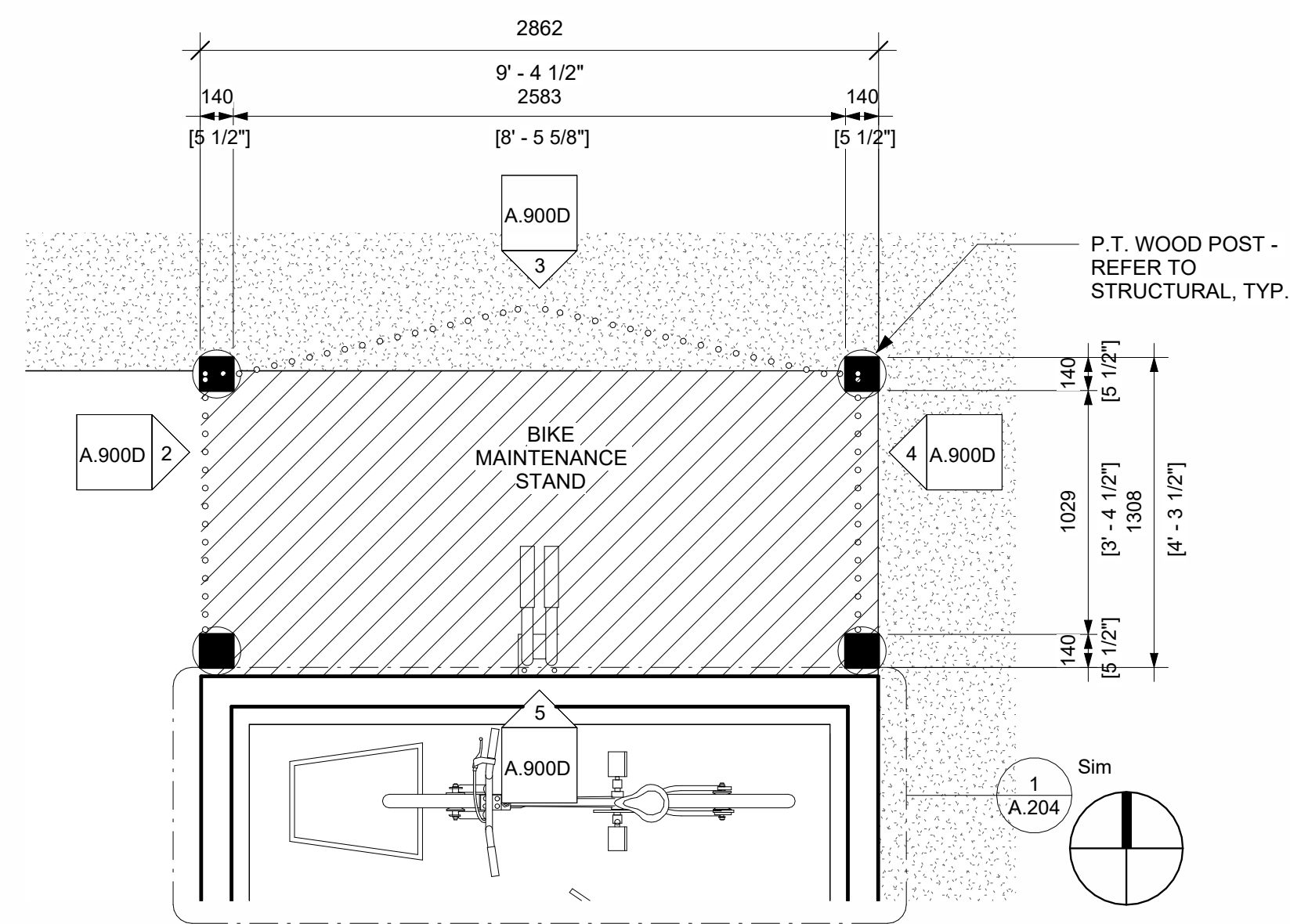
NALU @ VICWEST TOWNHOMES

SITE - SECTIONS

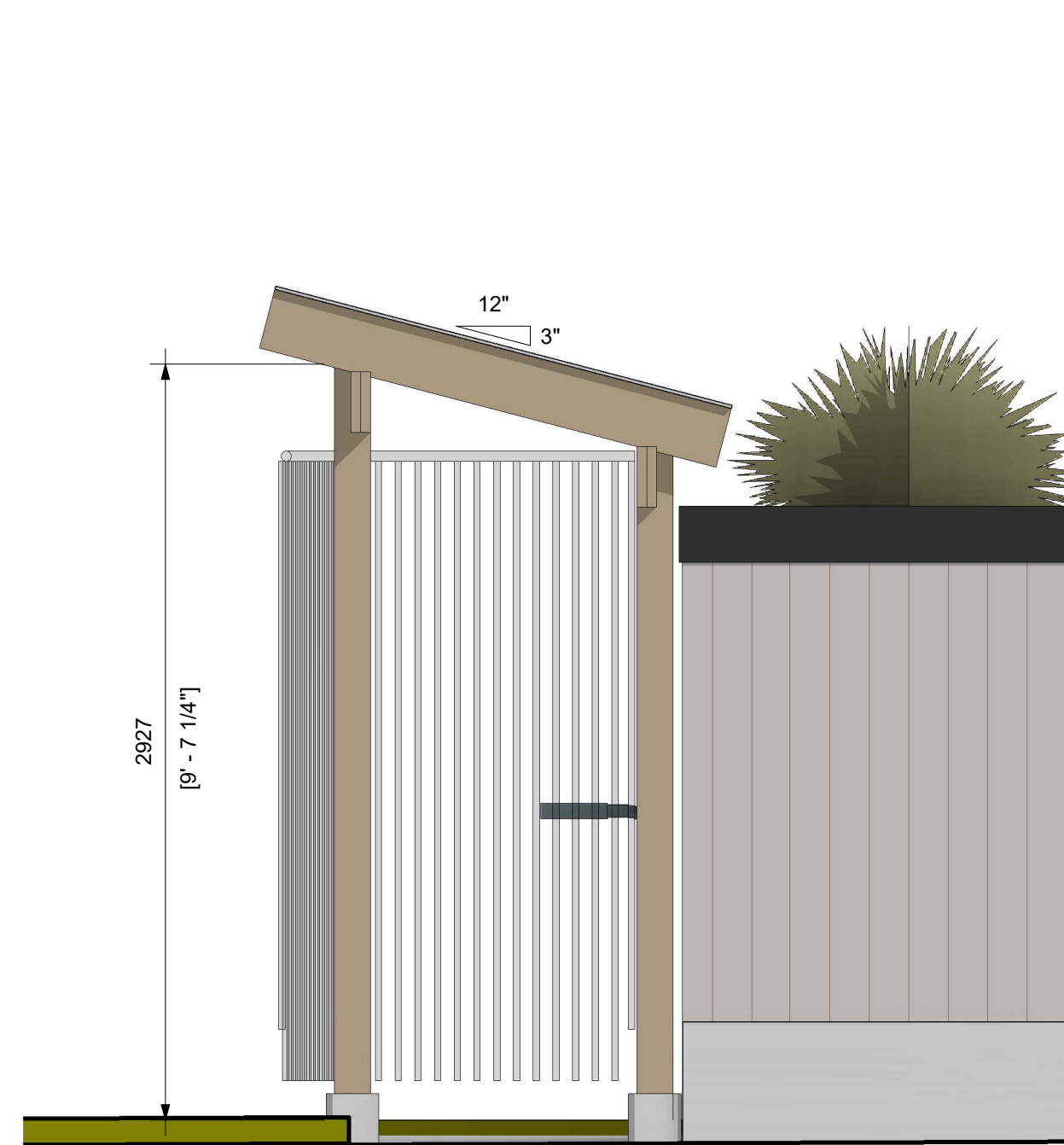
Project number 24003
Date 24.10.29
Drawn by AG
Checked by SS

A.501

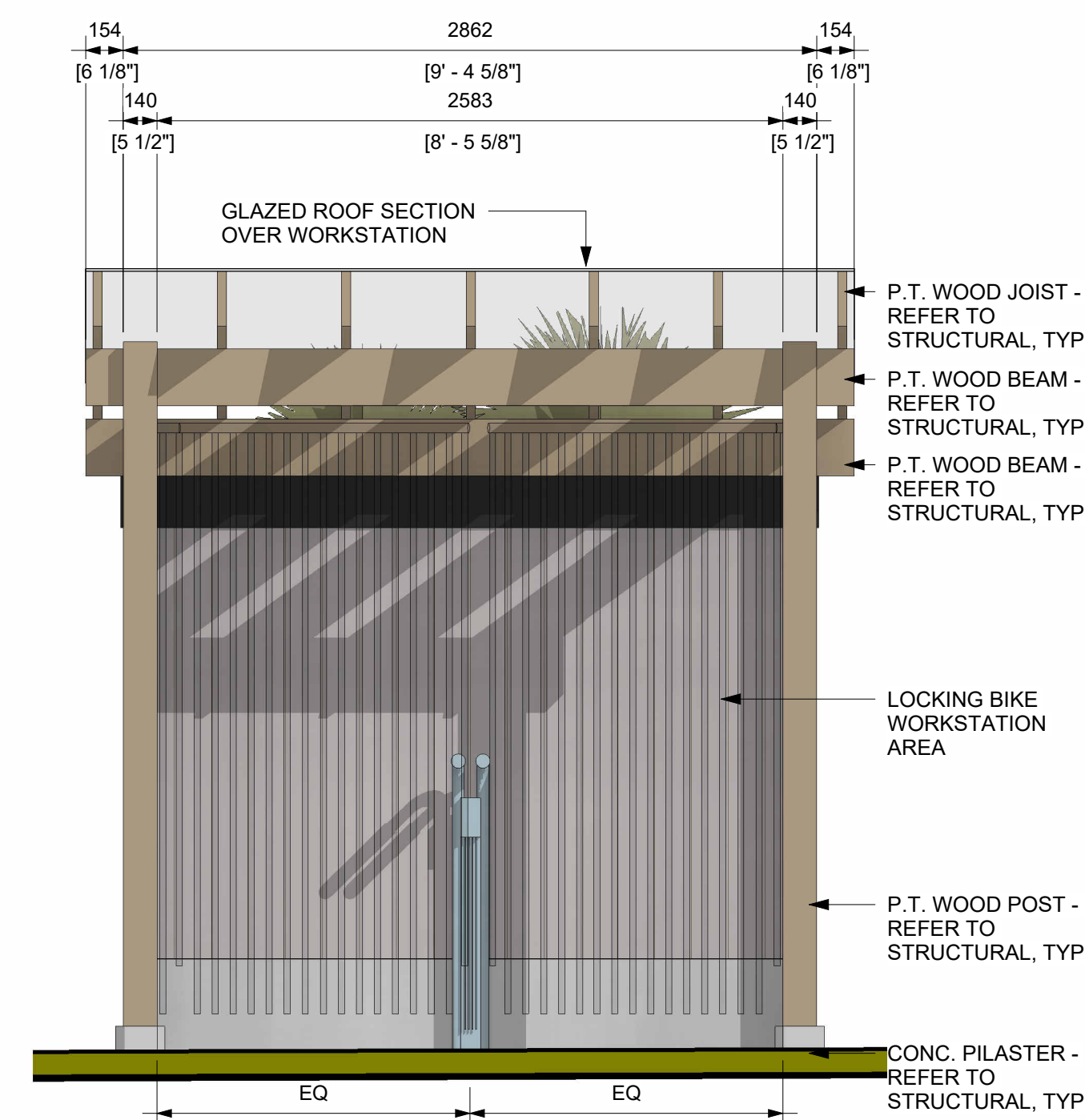
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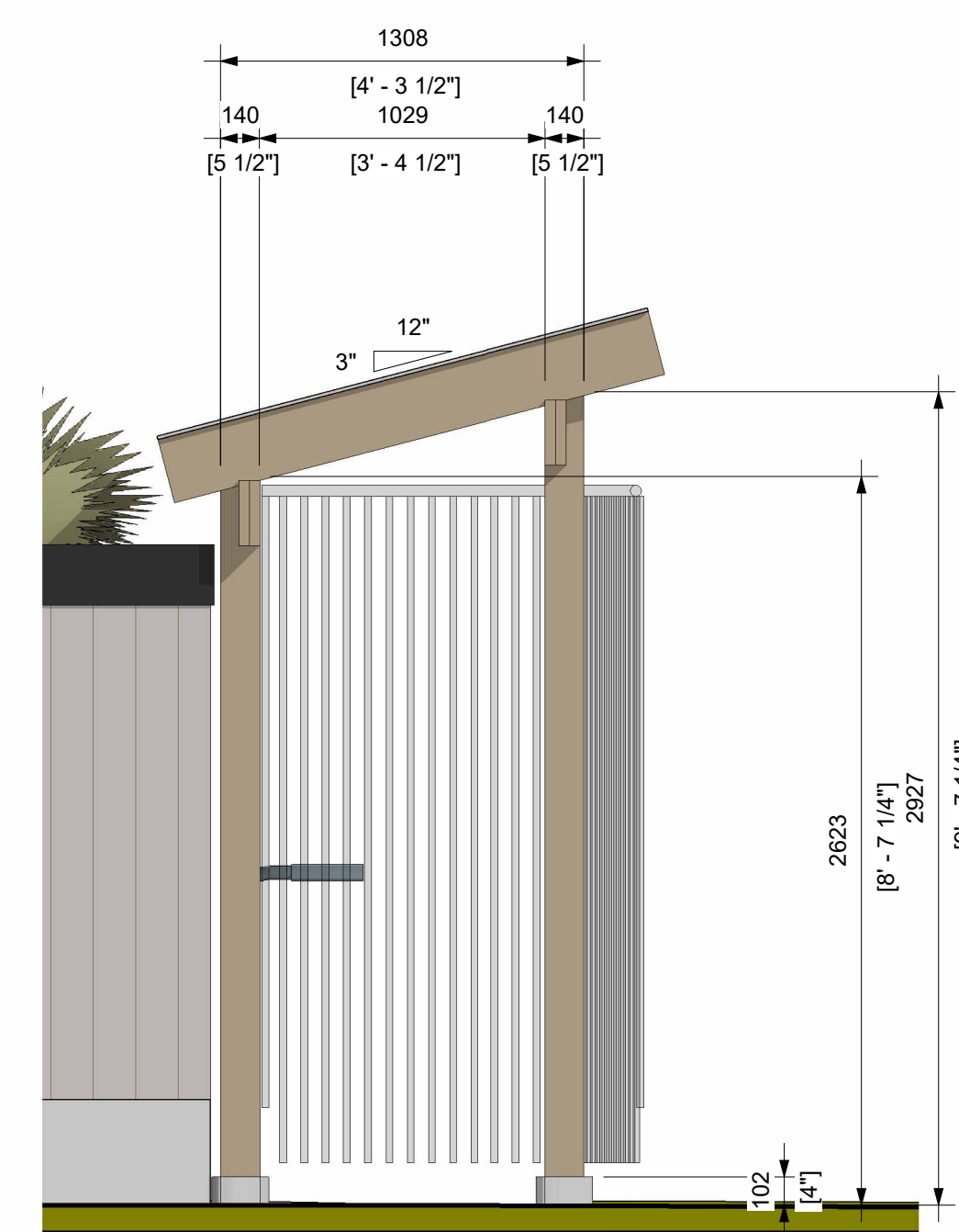
1 PLAN VIEW - BIKE WORKSTATION
A.900 1:25



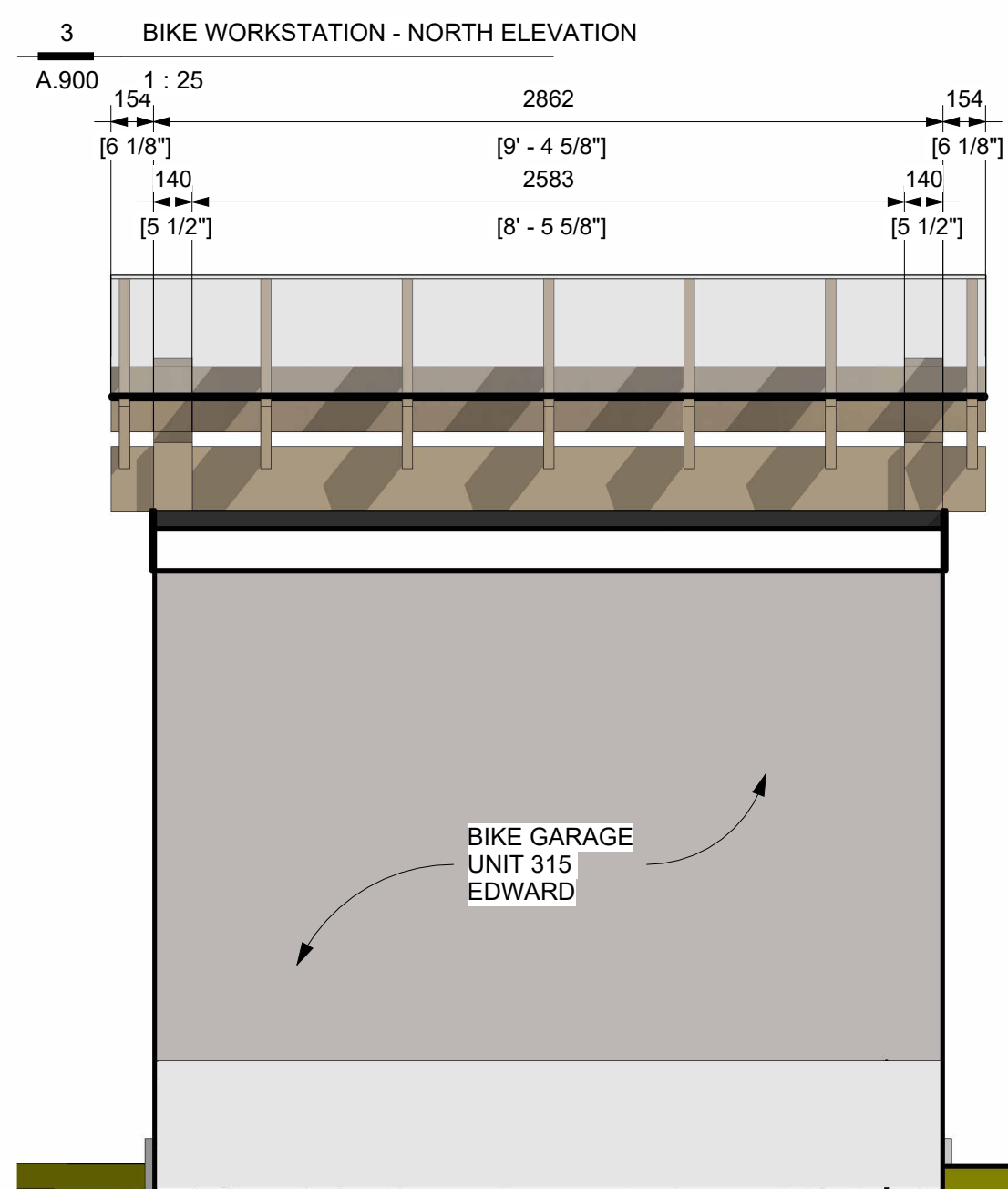
2 BIKE WORKSTATION - WEST ELEVATION
A.900 1:25



3 BIKE WORKSTATION - NORTH ELEVATION
A.900 1:25



4 BIKE WORKSTATION - EAST ELEVATION
A.900 1:25



5 BIKE WORKSTATION - SOUTH ELEVATION
A.900 1:25

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11	DPA Rev 4	26.01.30
13	DPA Rev 5	26.03.19
14	IFC	TBD

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**NALU @ VICWEST
TOWNHOMES**

BIKE WORKSTATION

Project number	24003
Date	24.10.29
Drawn by	SA
Checked by	SS

A.900

Scale 1:25
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