

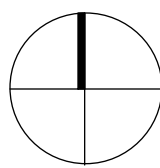
| PROJECT INFORMATION TABLE  |   |
|--|---|
| Zone (existing)  | CR-3M, R-K                                  |
| Proposed zone or site specific zone<br>If unsure, state "new zone" | NEW ZONE                                    |
| Site area (m²)   | 2875 m² (DPA 5 = 1099 m², DPA 16 = 1776 m²) |
| Total floor area (m²)  | 6299 m² (DPA 5 = 2747 m², DPA 16 = 3552 m²) |
| Commercial floor area (m²)   | 535 m²                                      |
| Floor space ratio  | 2.19:1 (DPA 5 = 2.5:1, DPA 16 = 2:1)        |
| Site coverage (%)  | 93.6%                                       |
| Open site space (%)  | 34.1%                                       |
| Height of building (m)   | 16.15 m                                     |
| Number of storeys  | 4   |
| Parking stalls (number) on site                                    | 80  |
| Bicycle parking number (Class 1 and Class 2)                       | 51 CLASS 1, 12 CLASS 2                      |
| Building Setbacks (m)  |   |
| Front yard   | 3.18 m (PENDERGAST STREET)                  |
| Rear yard  | 4.18 m                                      |
| Side yard (indicate which side)                                    | 3.54 m (WEST P.L.)                          |
| Side yard (indicate which side)                                    | 1.08 m (COOK STREET)                        |
| Combined side yards  | 4.62 m                                      |
| Residential Use Details  |   |
| Total number of units  | 48  |
| Unit type, e.g., 1 bedroom   | 11 1BR, 27 2BR, 10 3BR                      |
| Ground-orientated units  | 7   |
| Minimum unit floor area (m²)                                       | 66 m²                                       |
| Total residential floor area (m²)                                  | 5160 m²                                     |



COOK & PENDERGAST CORNER PERSPECTIVE

|       |  |       |                    |
|-------|--|-------|--------------------|
| A0.00 | Cover Sheet                                | A2.00 | Parking Level      |
| A1.00 | Survey, Existing Site Plan & Average Grade | A2.01 | Ground Floor       |
| A1.01 | Code Analysis                              | A2.02 | Level 2            |
| A1.02 | Limiting Distance                          | A2.03 | Level 3            |
| A1.03 | Overall Site Plan                          | A2.04 | Level 4            |
| A1.04 | Shadow Studies - Equinox                   | A2.05 | Roof Level         |
| A1.05 | Shadow Studies - Summer                    | A3.00 | Elevations         |
| A1.06 | Shadow Studies - Winter                    | A3.01 | Context Elevations |
|       |  | A4.00 | Building Sections  |

|       |  |
|-------|--|
| A4.01 | Context Sections                         |
| A9.00 | Perspectives                             |
| A9.01 | Materials                                |
| L1.01 | Landscape Materials Plan                 |
| L1.02 | Tree Retention and Removal Plan          |
| L1.03 | Stormwater Management Plan               |
| L1.04 | Planting Plan & Plant List               |
| L1.05 | Roof & Rooftop Landscape & Planting Plan |
| C1.00 | Preliminary Site Plan                    |



SITE CONTEXT PLAN

APPLICANT

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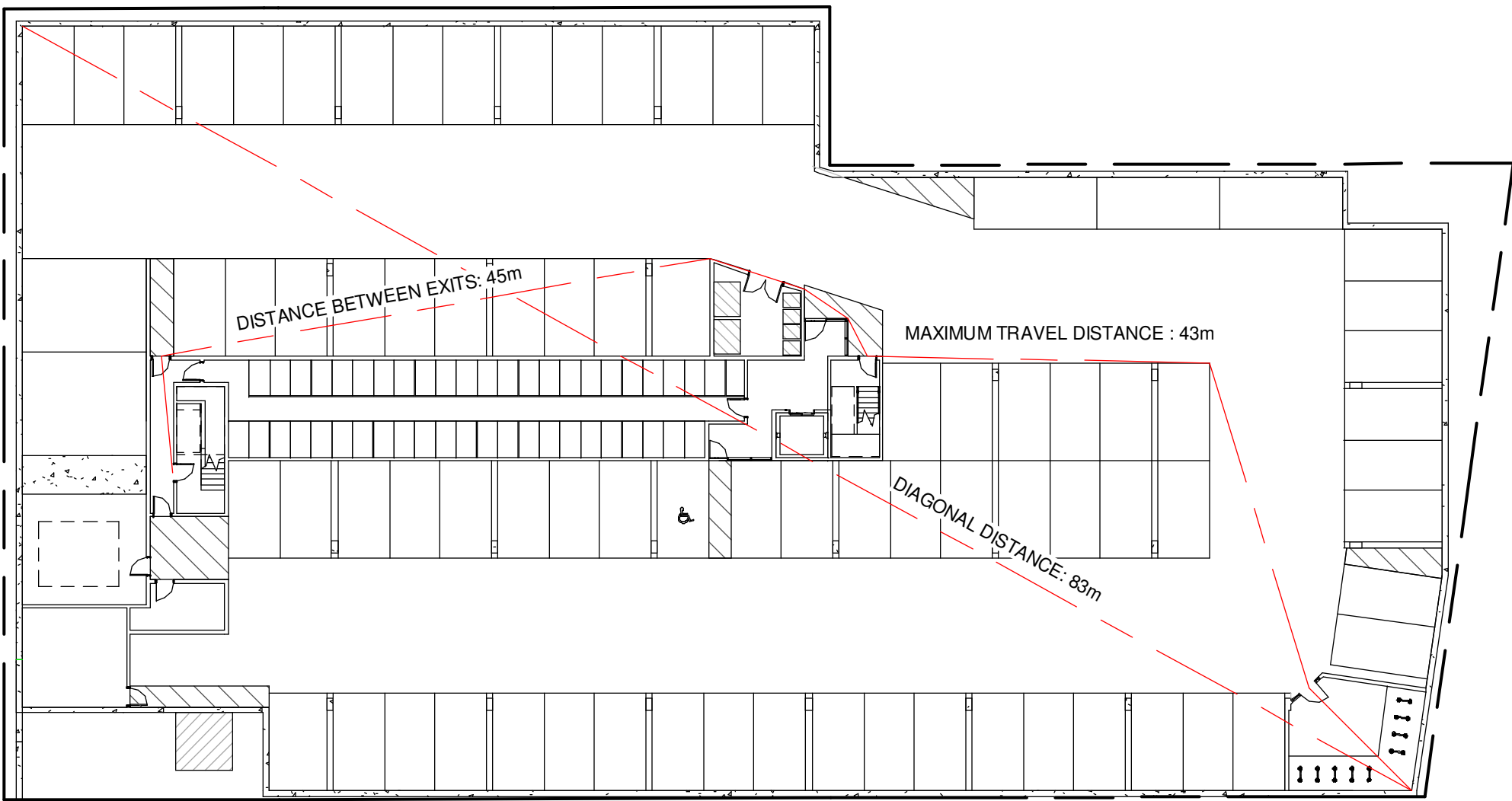
Aragon Properties Ltd.  
**Cook & Pendergast**  
Issued for Re-zoning & Development Permit - February 27, 2018

|                |       |      |                       |
|----------------|-------|------|-----------------------|
| PROJECT NUMBER | 1719  | DATE | 2018-02-23 4:07:59 PM |
| DWG. NO.       | A0.00 | REV. |                       |



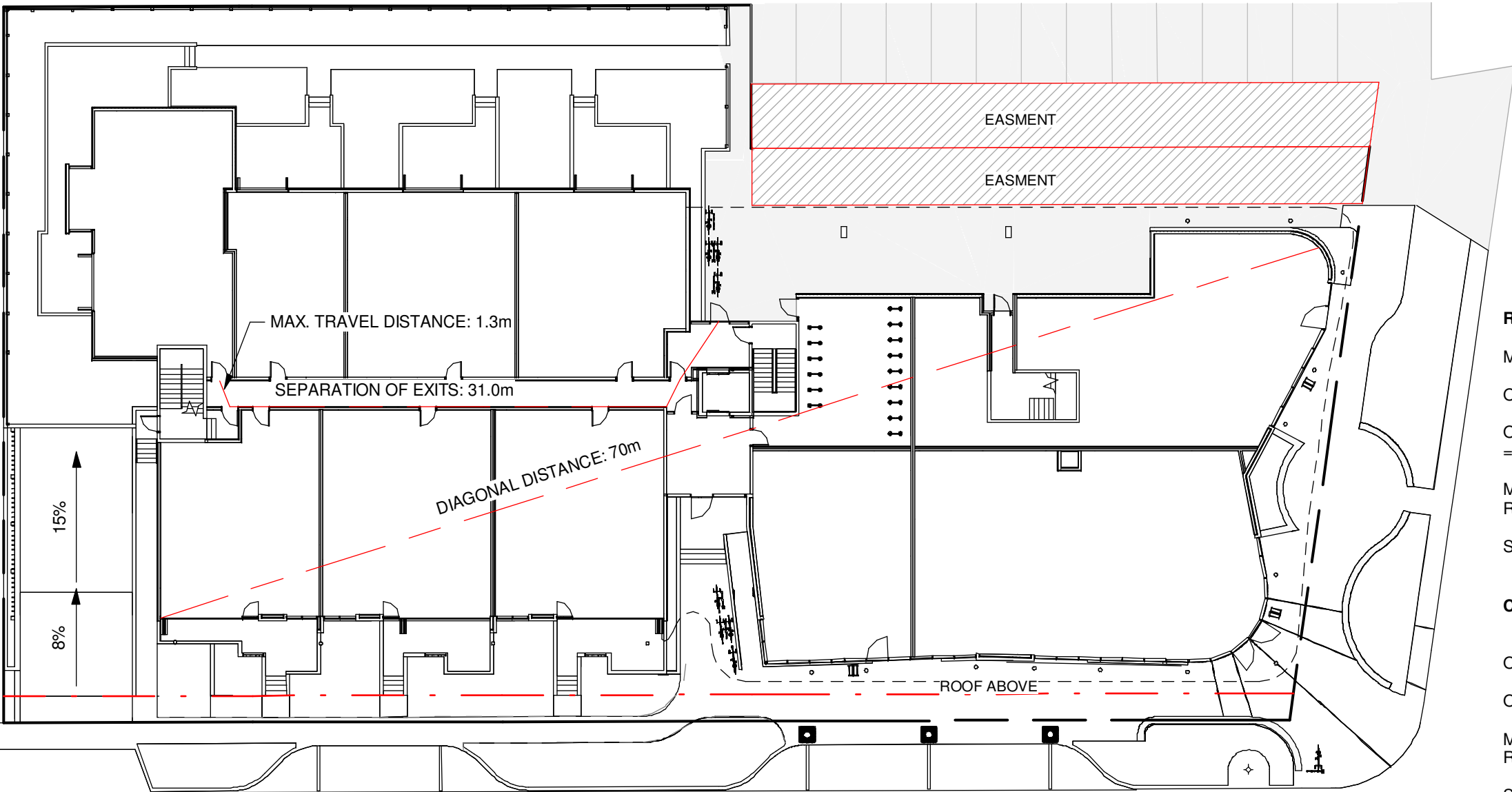






MIN. SEPARATION BETWEEN EXITS: 41.5 m  
OCCUPANCY: GROUP F, DIVISION 3  
OCCUPANT LOAD: 2683 m² / 46 m² PER PERSON = 59 PERSONS  
MIN. EXIT WIDTH  
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 59 = 360mm  
STAIRS : 8mm/PERSON X 59 = 472mm

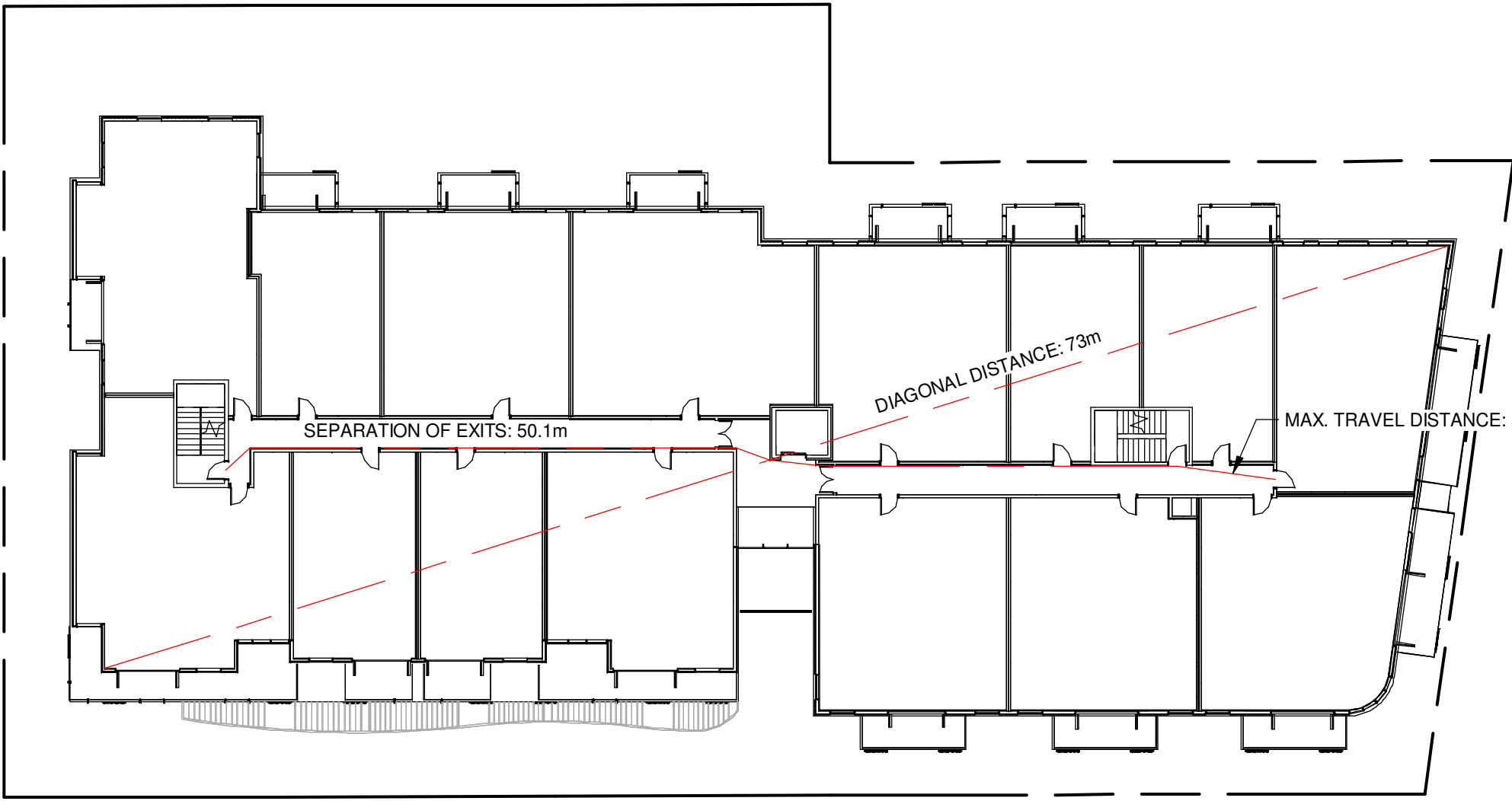
1 Parking Level - Code Plan  
I : 300



**RESIDENTIAL AREA**  
MIN. SEPARATION BETWEEN EXITS: 9 m  
OCCUPANCY: GROUP C, RESIDENTIAL  
OCCUPANT LOAD: 14 SLEEPING ROOMS X 2 PERSONS PER ROOM = 28 PERSONS  
MIN. EXIT WIDTH  
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 28 = 171mm  
STAIRS : 8mm/PERSON X 28 = 224mm

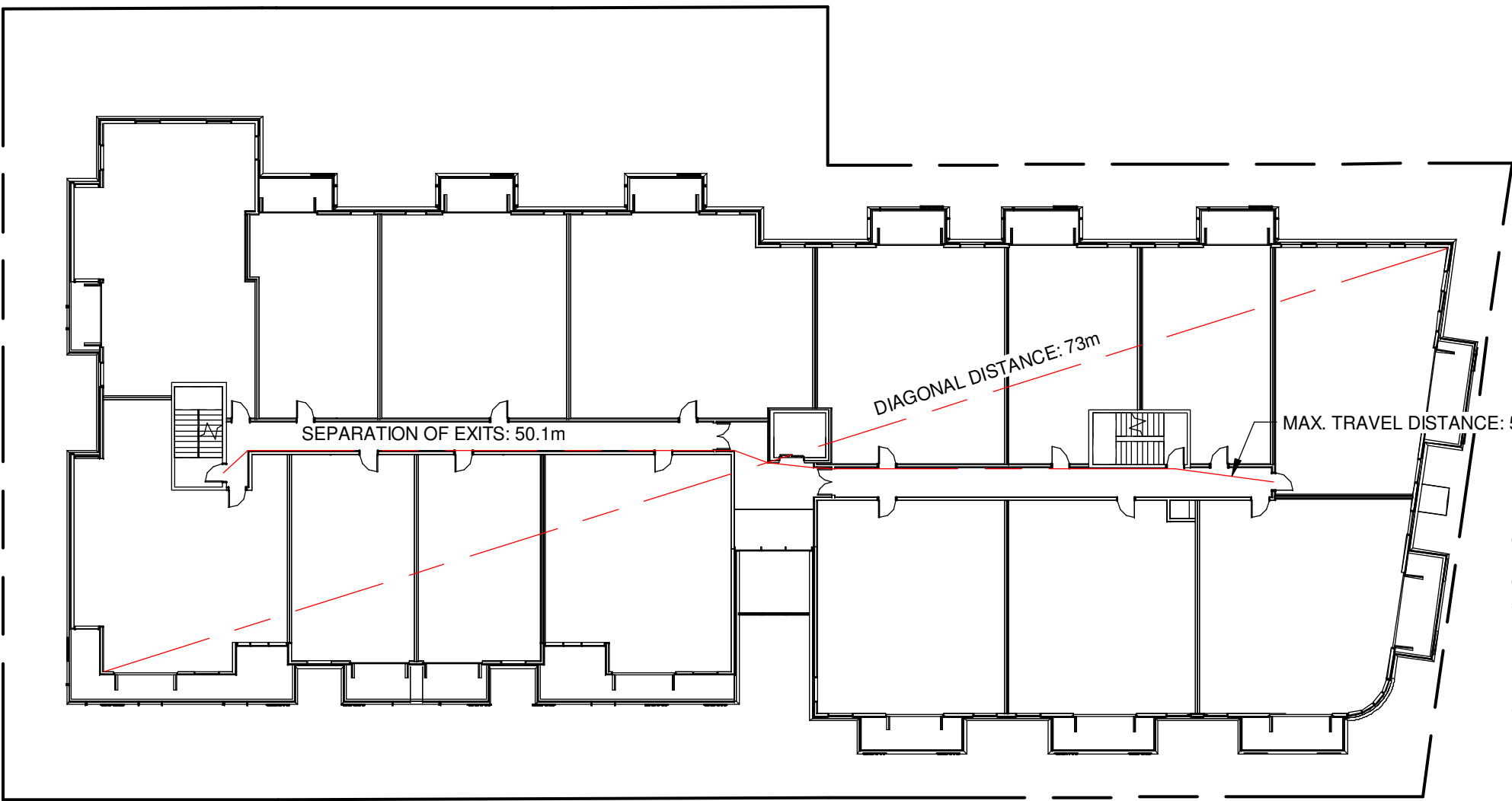
**COMMERCIAL AREA**  
OCCUPANCY: GROUP E  
OCCUPANT LOAD: 544 m² / 3.7 m² PER PERSON = 147 PERSONS  
MIN. EXIT WIDTH  
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 147 = 897mm  
STAIRS : 8mm/PERSON X 147 = 1176mm

2 Grade - Code Plan  
I : 300



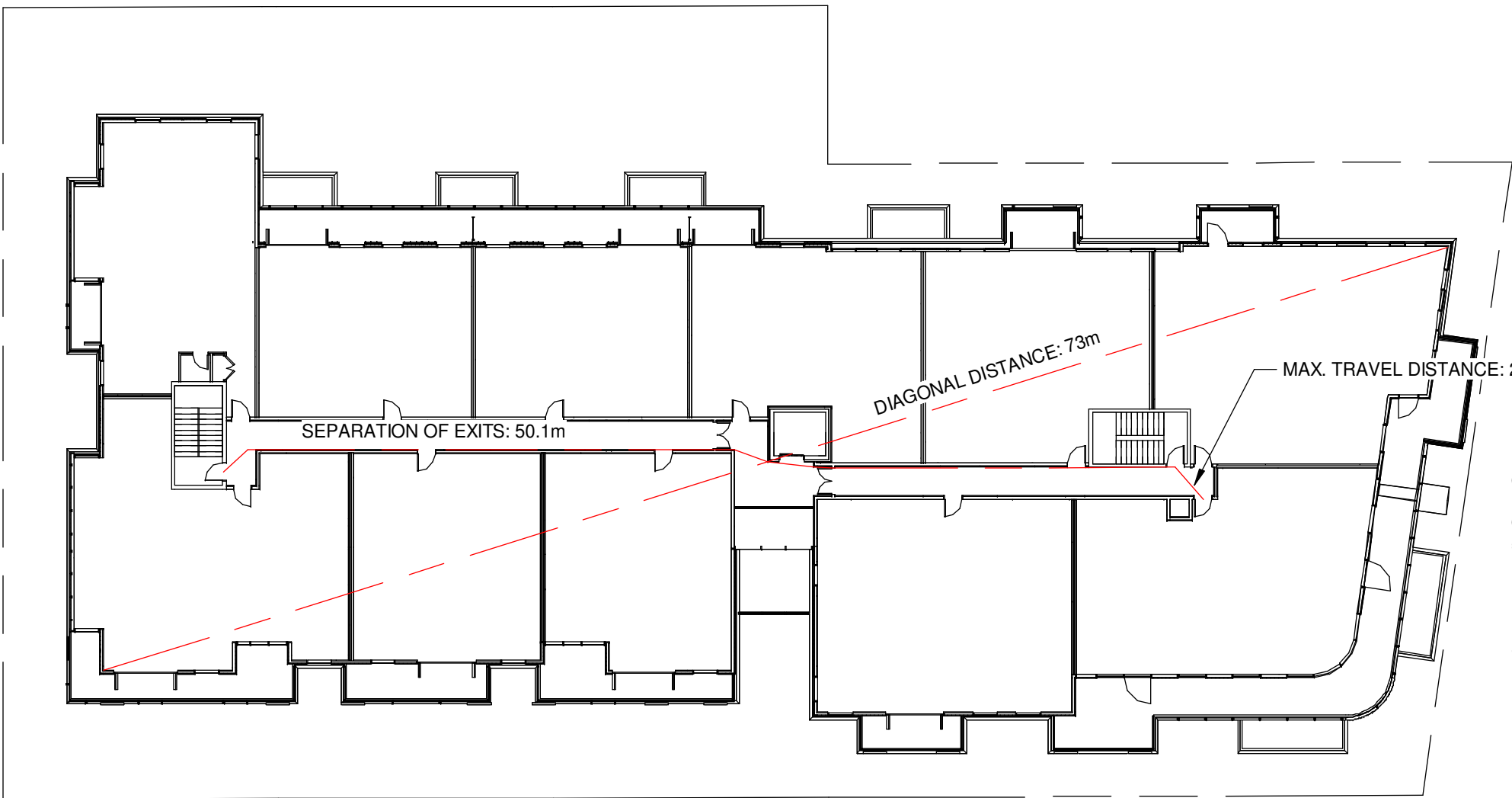
MIN. SEPARATION BETWEEN EXITS: 9 m  
OCCUPANCY: GROUP C, RESIDENTIAL  
OCCUPANT LOAD: 28 SLEEPING ROOMS X 2 PERSONS PER ROOM = 56 PERSONS  
MIN. EXIT WIDTH  
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 56 = 342mm  
STAIRS : 8mm/PERSON X 56 = 448mm

3 Level 2 - Code Plan  
I : 300



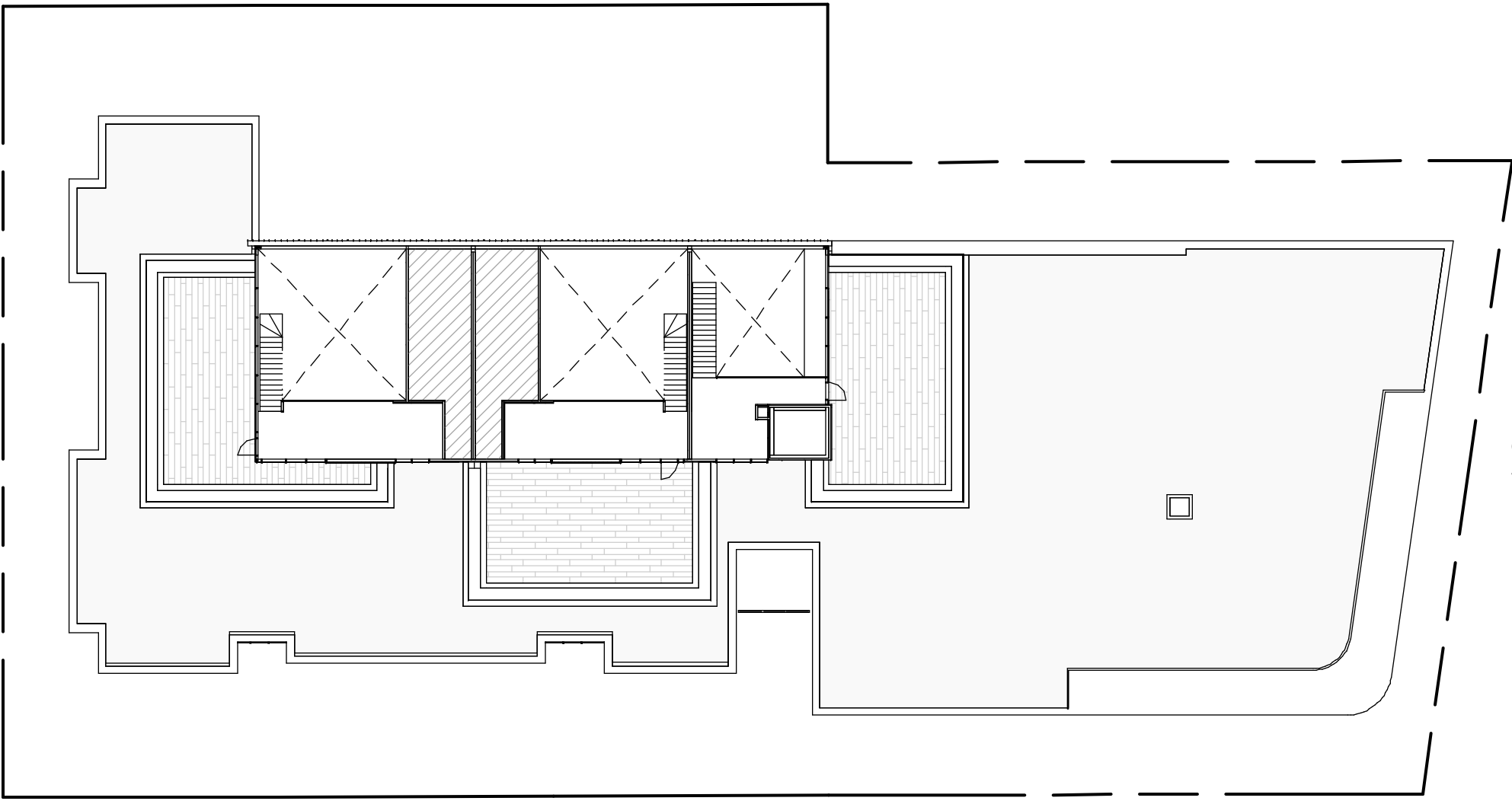
MIN. SEPARATION BETWEEN EXITS: 9 m  
OCCUPANCY: GROUP C, RESIDENTIAL  
OCCUPANT LOAD: 28 SLEEPING ROOMS X 2 PERSONS PER ROOM = 56 PERSONS  
MIN. EXIT WIDTH  
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 56 = 342mm  
STAIRS : 8mm/PERSON X 56 = 448mm

4 Level 3 - Code Plan  
I : 300



MIN. SEPARATION BETWEEN EXITS: 9 m  
OCCUPANCY: GROUP C, RESIDENTIAL  
OCCUPANT LOAD: 27 SLEEPING ROOMS X 2 PERSONS PER ROOM = 54 PERSONS  
MIN. EXIT WIDTH  
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 54 = 329mm  
STAIRS : 8mm/PERSON X 54 = 432mm

5 Level 4 - Code Plan  
I : 300



6 Roof - Code Plan  
I : 300

BC BUILDING CODE 2012

3.1 GENERAL

3.1.2.1 OCCUPANCY CLASSIFICATION:

GROUP C RESIDENTIAL OCCUPANCY: LEVEL 1-4  
GROUP F, DIVISION 3: PARKING LEVEL

3.1.3 SEPARATION OF USES

F-C TO C REQUIRES 1HR F.R.R.  
C TO E REQUIRES A 2 HR F.R.R.

3.1.17 OCCUPANT LOAD

SEE A1.01

3.2 FIRE SAFETY

BUILDING AREA:  
1750 m²

3.2.2 BUILDING SIZE AND CONSTRUCTION

3.2.2.50 GROUP C, UP TO 6 STORIES, SPRINKLERED

SPRINKLERED: YES

3.4 EXITS

3.4.2.1 MINIMUM NUMBER OF EXITS: 2 PER FLOOR

3.4.2.5 DISTANCE BETWEEN EXITS: SEE A1.01

3.4.2.5 LOCATION OF EXITS

MAX TRAVEL PERMITTED (RESIDENTIAL) : 30m  
MAX TRAVEL PERMITTED (F3 USE) : 45m

3.7 HEALTH REQUIREMENTS

NUMBER OF REQUIRED WASHROOMS : T.B.D.

3.8 REQUIREMENTS FOR PERSONS WITH DISABILITIES

T.B.D.

|     | Re-zoning & Development Permit | February 27, 2018 |
|-----|--------------------------------|-------------------|
| NO. | DESCRIPTION                    | DATE              |



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|            |   |                   |
|------------|---|-------------------|
| Project    | Cook & Pendergast                         |                   |
|            | Aragon Properties Ltd.<br>328 Cook Street |                   |
| Sheet Name | Code Analysis                             |                   |
| Date       | February 27, 2018                         |                   |
| Scale      | 1 : 300                                   | Project #<br>1719 |
|            | Revision                                  |                   |
| Sheet #    | A1.01                                     |                   |

**GROUP E OCCUPANCY**

LIMITING DISTANCE: 16.2 m

EXPOSING BUILDING FACE: 200+ m²

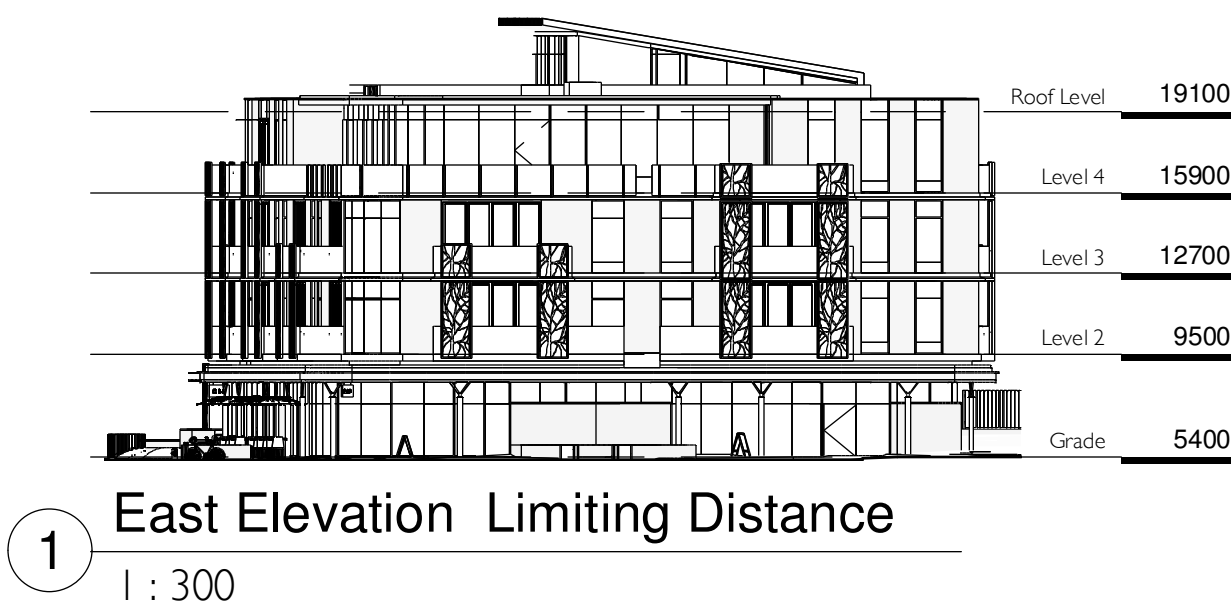
MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

**GROUP C OCCUPANCY**

LIMITING DISTANCE: 16.2 m

EXPOSING BUILDING FACE: 150+ m²

MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%



**GROUP E OCCUPANCY**

LIMITING DISTANCE: 4.7 m

EXPOSING BUILDING FACE: 73 m²

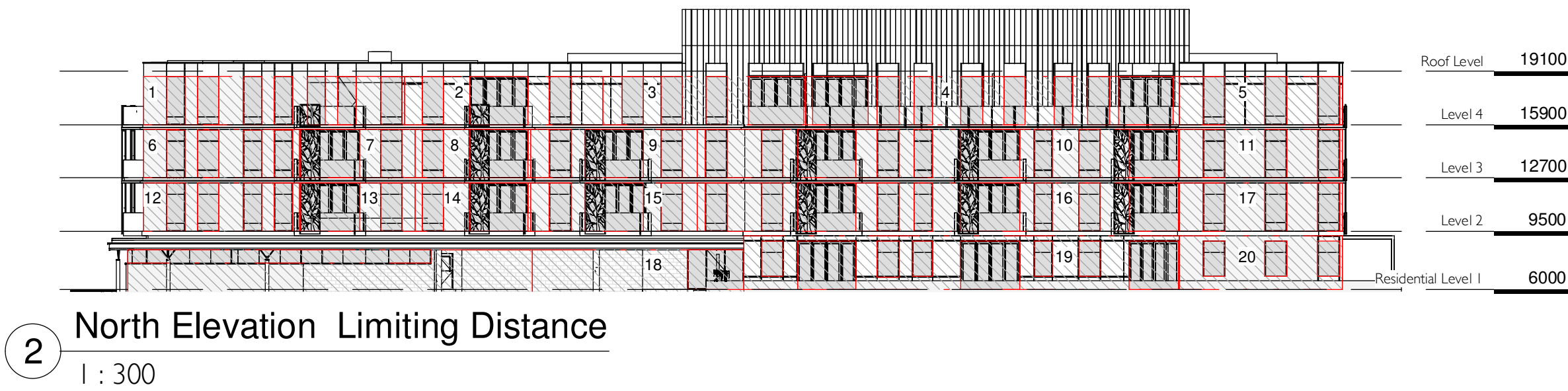
MAXIMUM AREA OF UNPROTECTED OPENINGS: 25%

PROPOSED AREA OF UNPROTECTED OPENINGS: 15 m²

PROPOSED PERCENTAGE OF UNPROTECTED OPENINGS: 20.5%

**GROUP C OCCUPANCY**

SEE TABLE



**NORTH ELEVATION - GROUP C OCCUPANCY**

| BUILDING COMPARTMENT | LIMITING DISTANCE | AREA OF EXPOSING FACE | MAXIMUM % OPENING | PROPOSED AREA OF OPENING | PROPOSED % OPENING |
|----------------------|-------------------|-----------------------|-------------------|--------------------------|--------------------|
| 1                    | 4.1 m             | 45 m²                 | 60%               | 23 m²                    | 51%                |
| 2                    | 4.1 m             | 35 m²                 | 71%               | 18 m²                    | 51%                |
| 3                    | 4.1 m             | 35 m²                 | 71%               | 21 m²                    | 60%                |
| 4                    | 12.2 m            | 41 m²                 | 100%              | 41 m²                    | 63%                |
| 5                    | 5.8 m             | 28 m²                 | 100%              | 11 m²                    | 39%                |
| 6                    | 4.1 m             | 27 m²                 | 78%               | 13 m²                    | 48%                |
| 7                    | 4.1 m             | 20 m²                 | 100%              | 14 m²                    | 70%                |
| 8                    | 4.1 m             | 20 m²                 | 100%              | 14 m²                    | 70%                |
| 9                    | 4.1 m             | 29 m²                 | 78%               | 18 m²                    | 62%                |
| 10                   | 10.5 m            | 84 m²                 | 100%              | 51 m²                    | 61%                |
| 11                   | 5.8 m             | 28 m²                 | 100%              | 11 m²                    | 39%                |
| 12                   | 4.1 m             | 27 m²                 | 78%               | 13 m²                    | 48%                |
| 13                   | 4.1 m             | 20 m²                 | 100%              | 14 m²                    | 70%                |
| 14                   | 4.1 m             | 20 m²                 | 100%              | 14 m²                    | 70%                |
| 15                   | 4.1 m             | 29 m²                 | 78%               | 18 m²                    | 62%                |
| 16                   | 10.5 m            | 84 m²                 | 100%              | 51 m²                    | 61%                |
| 17                   | 5.8 m             | 28 m²                 | 100%              | 11 m²                    | 39%                |
| 18                   | 8.4 m             | 38 m²                 | 100%              | 8 m²                     | 21%                |
| 19                   | 10.5 m            | 84 m²                 | 100%              | 42 m²                    | 50%                |
| 20                   | 5.8 m             | 31 m²                 | 100%              | 8 m²                     | 26%                |

**GROUP E OCCUPANCY**

LIMITING DISTANCE: 10.9 m

EXPOSING BUILDING FACE: 79 m²

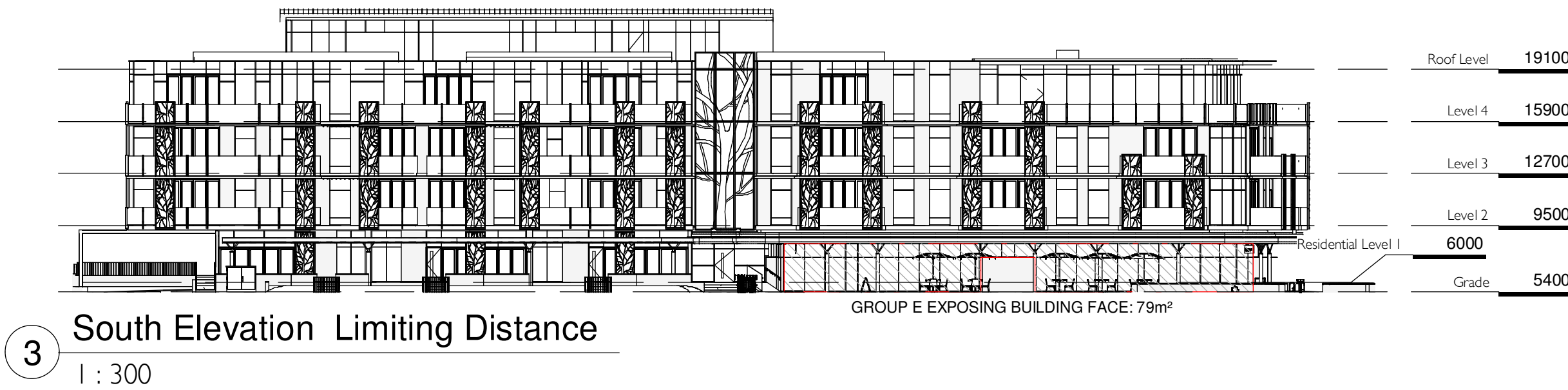
MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

**GROUP C OCCUPANCY**

LIMITING DISTANCE: 10.9 m

EXPOSING BUILDING FACE: 150+ m²

MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%



**GROUP E OCCUPANCY**

N/A

**GROUP C OCCUPANCY**

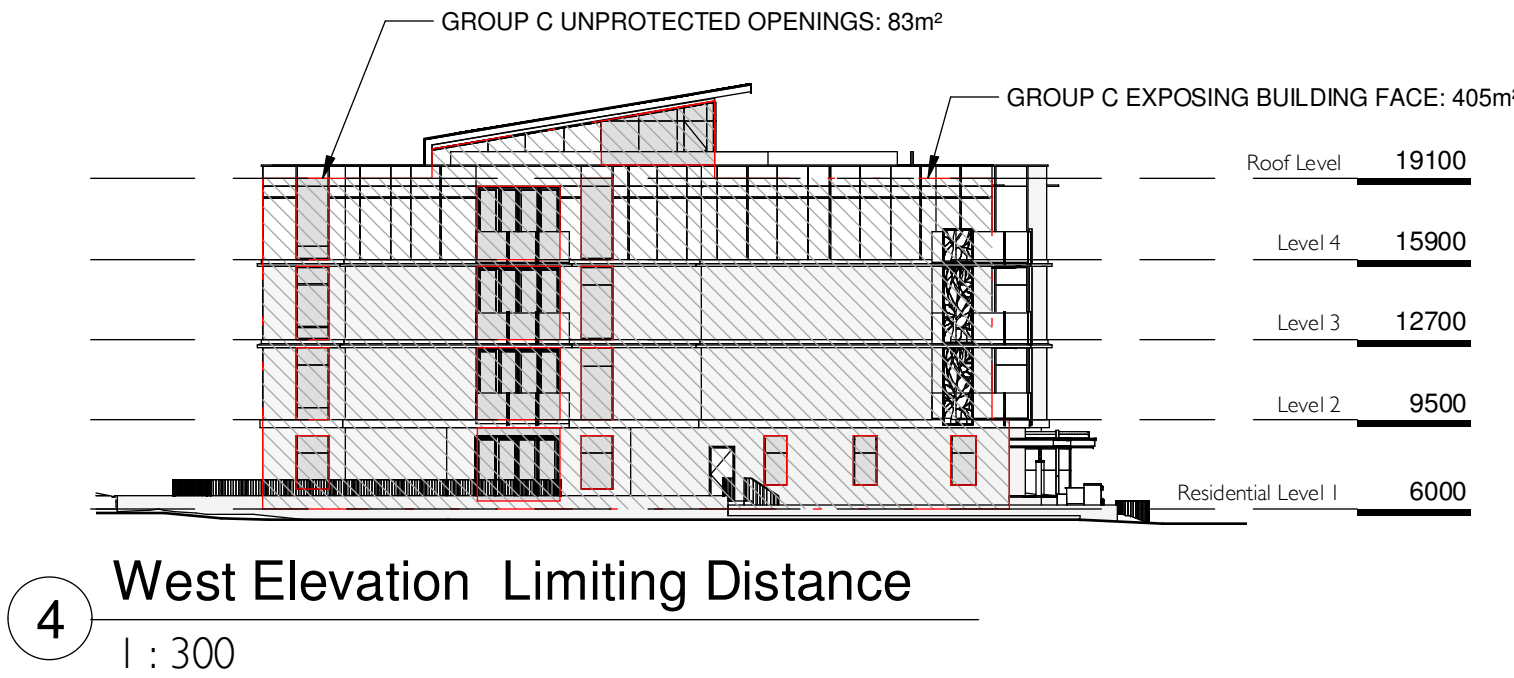
LIMITING DISTANCE: 5 m

EXPOSING BUILDING FACE: 405 m²

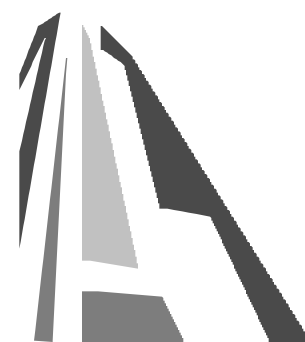
MAXIMUM AREA OF UNPROTECTED OPENINGS: 40%

PROPOSED AREA OF UNPROTECTED OPENINGS: 83 m²

PROPOSED PERCENTAGE OF UNPROTECTED OPENINGS: 20.5%



|     |                                |                   |
|-----|--------------------------------|-------------------|
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| NO. | DESCRIPTION                    | DATE              |

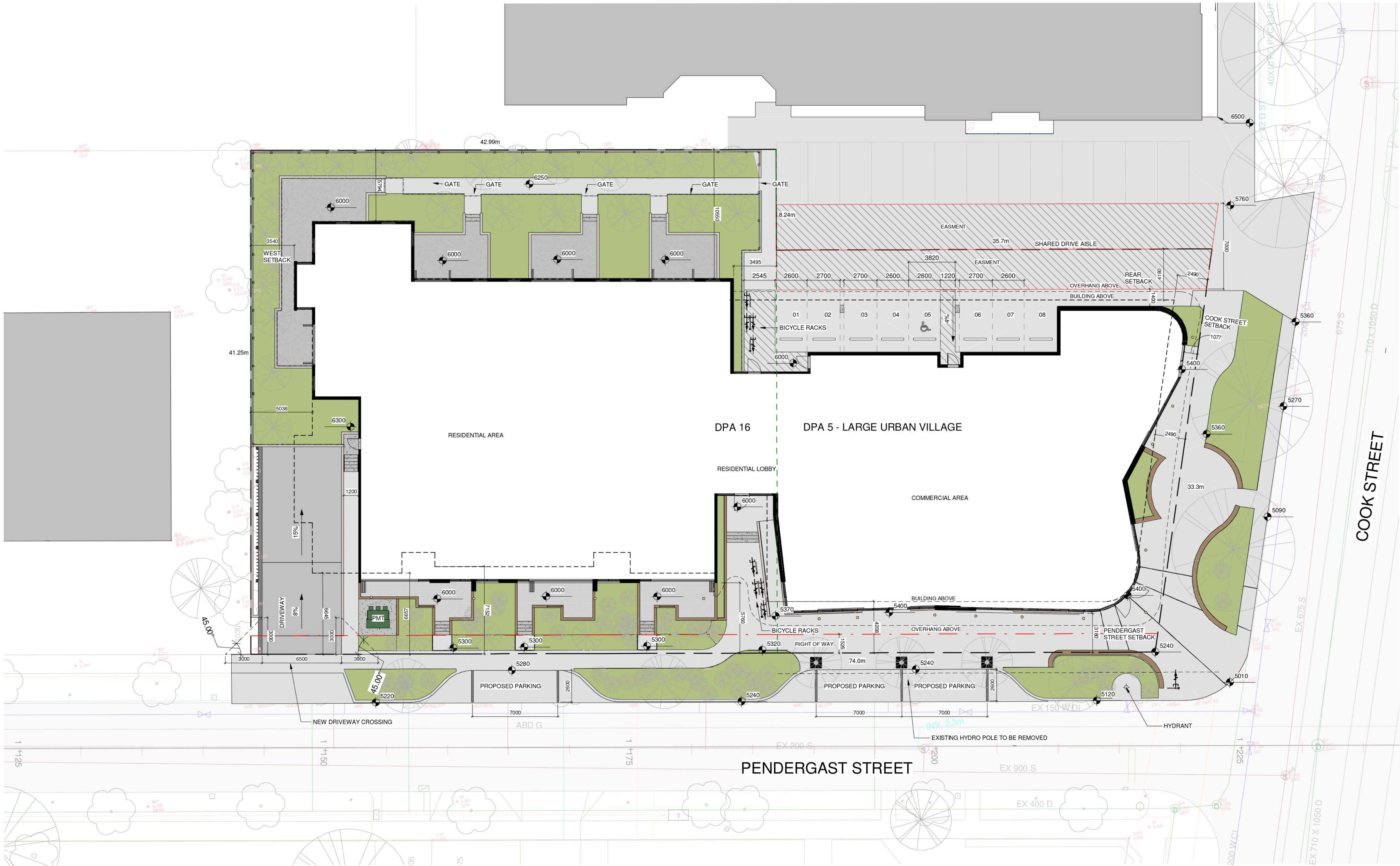


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|                                  |                          |   |  |
|----------------------------------|--------------------------|---|--|
| Project                          |                          | <b>Cook &amp; Pendergast</b>              |  |
|                                  |                          | Aragon Properties Ltd.<br>328 Cook Street |  |
| Sheet Name                       |                          | <b>Limiting Distance</b>                  |  |
| Date<br><b>February 27, 2018</b> |                          |   |  |
| Scale<br><b>1 : 300</b>          | Project #<br><b>1719</b> | Revision<br>                              |  |
|                                  |                          | Sheet #<br><b>A1.02</b>                   |  |





**NOTE:**  
REFER TO LANDSCAPE PLAN FOR TREE  
INFORMATION INCLUDING LOCATION OF  
TREES TO BE REMOVED

**1 Overall Site Plan**  
1 : 150

| NO. | DESCRIPTION                    | DATE              |
|-----|--------------------------------|-------------------|
|     | Re-zoning & Development Permit | February 27, 2018 |



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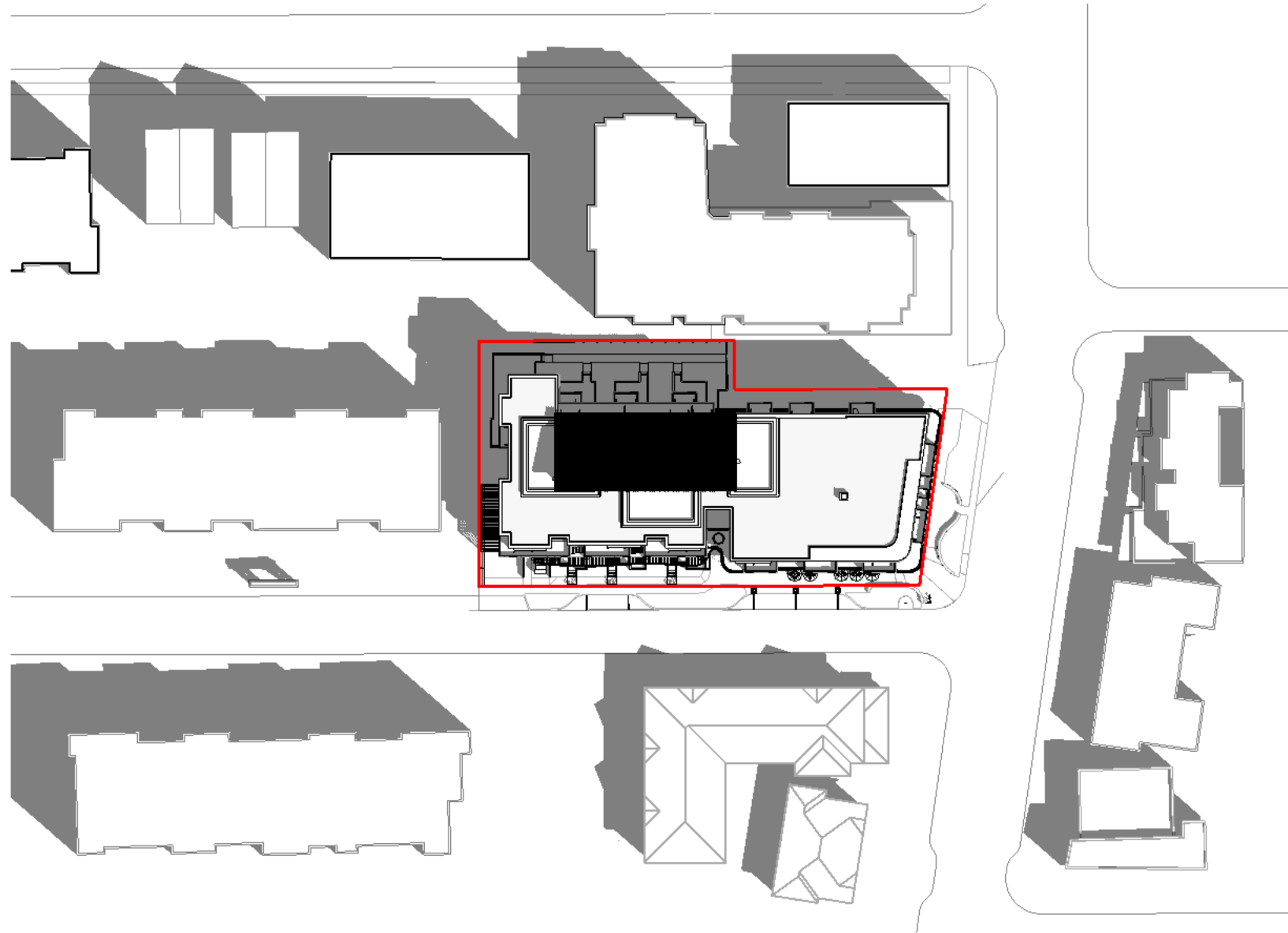
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|   |           |          |
|---|-----------|----------|
| Project                                   |           |          |
| Cook & Pendergast                         |           |          |
| Aragon Properties Ltd.<br>328 Cook Street |           |          |
| Sheet Name                                |           |          |
| Overall Site Plan                         |           |          |
| Date                                      |           |          |
| February 27, 2018                         |           |          |
| Scale                                     | Project # | Revision |
| 1 : 150                                   | 1719      |          |
| Sheet #                                   |           | A1.03    |





1 Shadow - Equinox - 8 AM  
1 : 1000



4 Shadow - Equinox - 10 AM  
1 : 1000



5 Shadow - Equinox - 12 PM  
1 : 1000



2 Shadow - Equinox - 2 PM  
1 : 1000



3 Shadow - Equinox - 4 PM  
1 : 1000



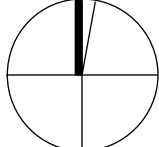
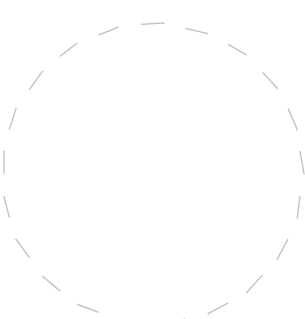
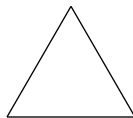
6 Shadow - Equinox - 6 PM  
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|-----|--------------------------------|-------------------|
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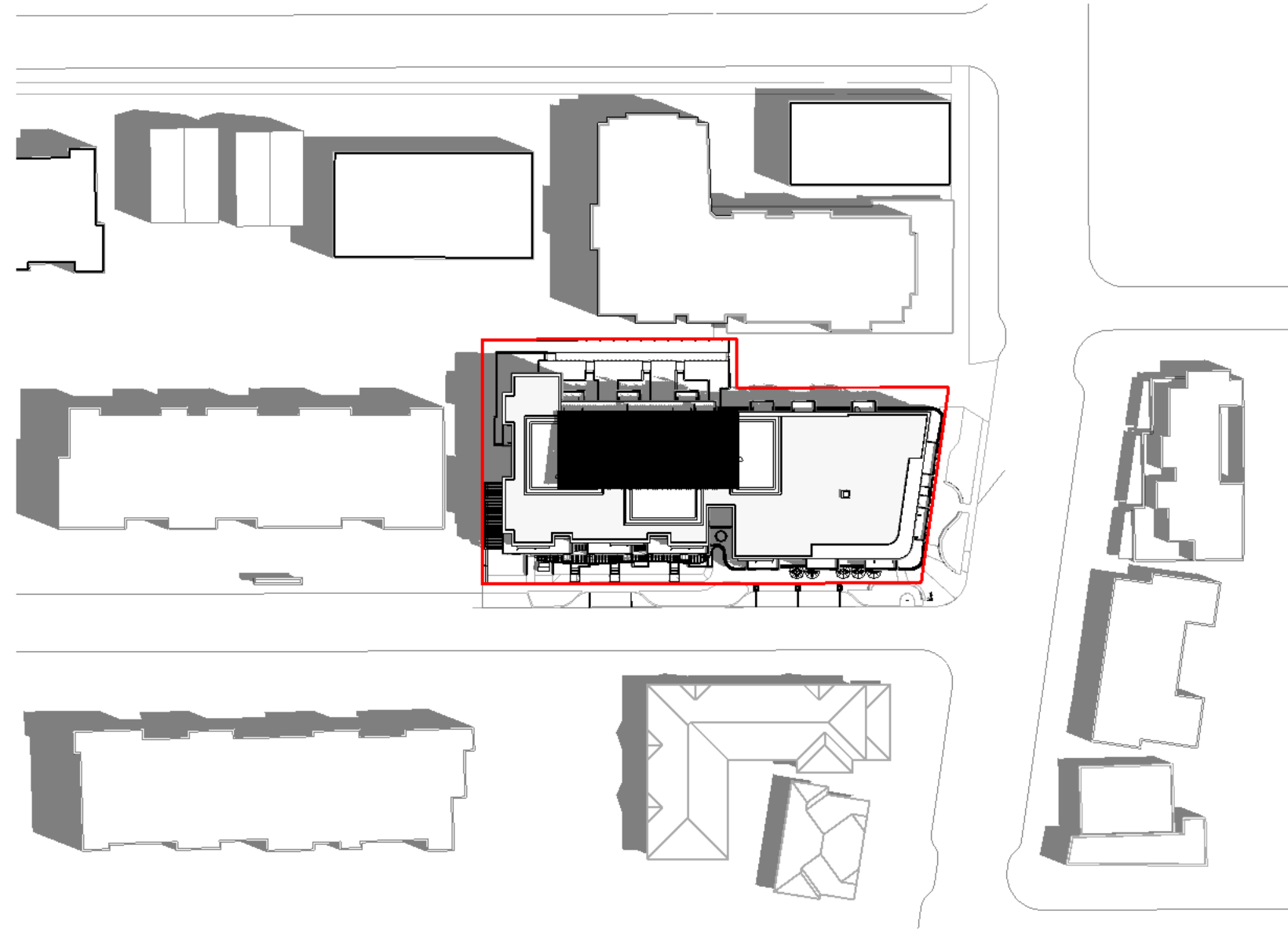
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|   |          |   |   |
|---|----------|---|---|
| Project   |          | Cook & Pendergast                         |   |
|  |          | Aragon Properties Ltd.<br>328 Cook Street |   |
| Sheet Name  |          | Shadow Studies - Equinox                  |   |
| Date  |          |   |   |
| February 27, 2018   |          |   |   |
| Scale   | 1 : 1000 | Project #                                 | 1719  |
|  |          | Revision                                  |  |
|   |          | Sheet #                                   | A1.04   |

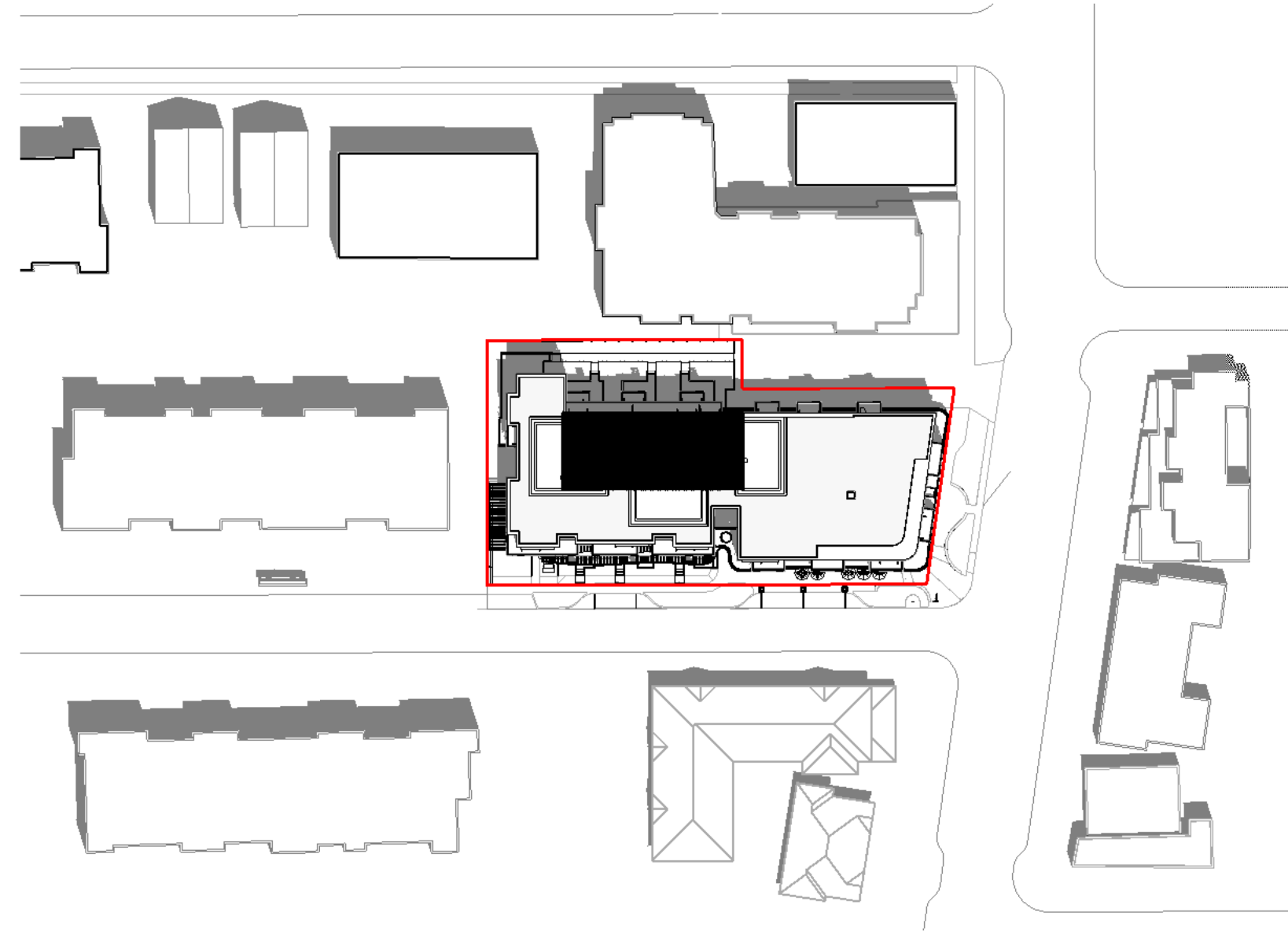




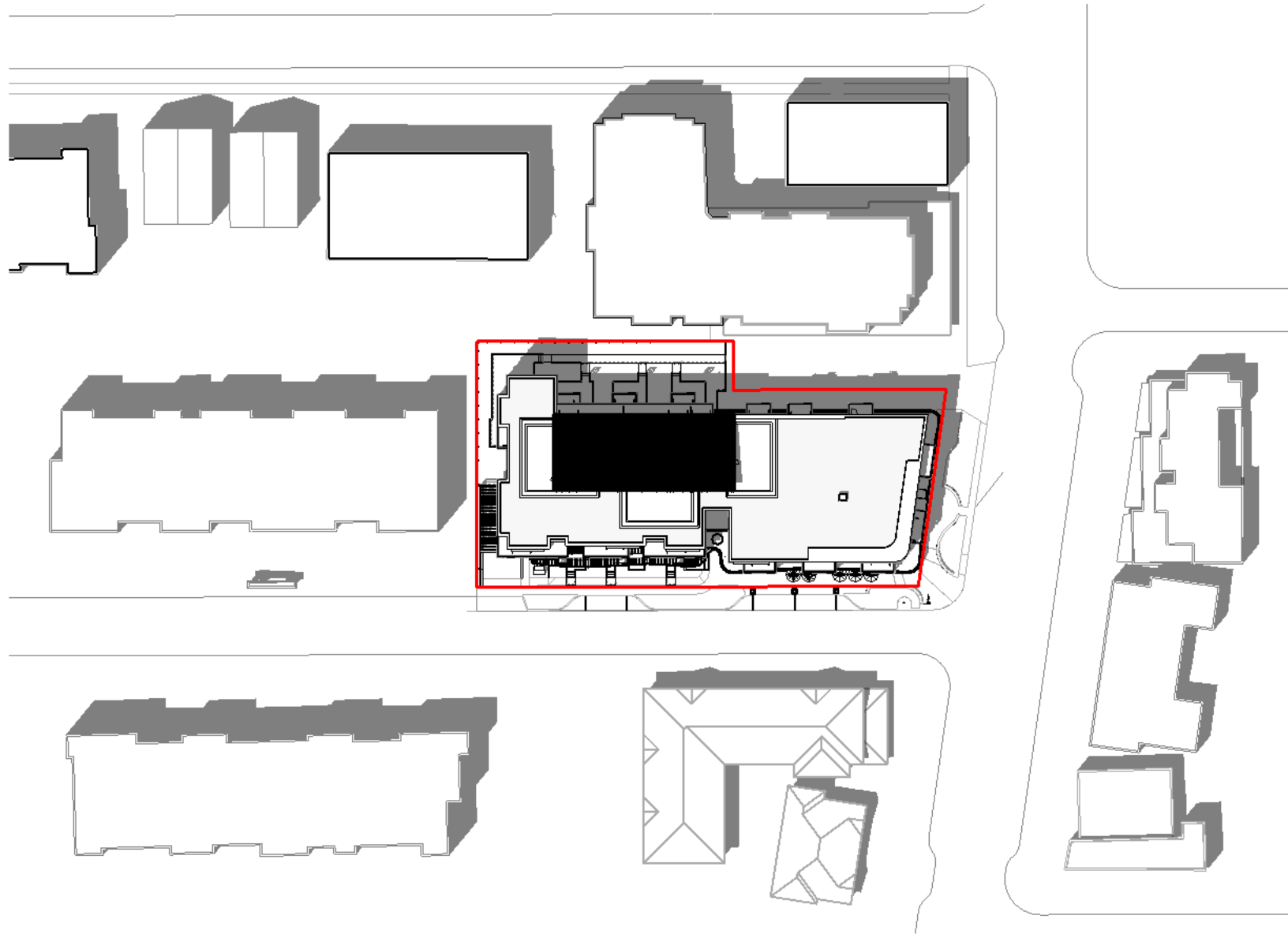
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1 : 1000



2 Shadow - Summer - 10 AM  
1 : 1000



3 Shadow - Summer - 12 PM  
1 : 1000



4 Shadow - Summer - 2 PM  
1 : 1000



5 Shadow - Summer - 4 PM  
1 : 1000



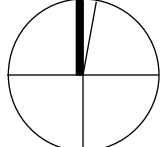
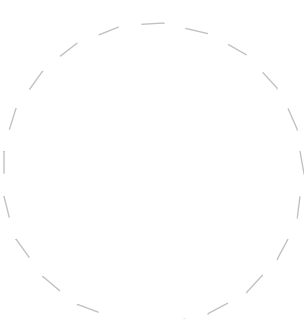
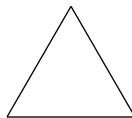
6 Shadow - Summer - 6 PM  
1 : 1000

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|-----|--------------------------------|-------------------|
| NO. | DESCRIPTION                    | DATE              |



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|   |          |   |   |
|---|----------|---|---|
| Project   |          | Cook & Pendergast                         |   |
|  |          | Aragon Properties Ltd.<br>328 Cook Street |   |
| Sheet Name  |          |   |   |
| Shadow Studies - Summer   |          |   |   |
| Date  |          |   |   |
| February 27, 2018   |          |   |   |
| Scale   | 1 : 1000 | Project #                                 | 1719  |
|  |          | Revision                                  |  |
|   |          | Sheet #                                   | A1.05   |





1 Shadow - Winter - 8 AM  
1 : 1000



2 Shadow - Winter - 10 AM  
1 : 1000



3 Shadow - Winter - 12 PM  
1 : 1000



4 Shadow - Winter - 2 PM  
1 : 1000



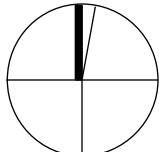
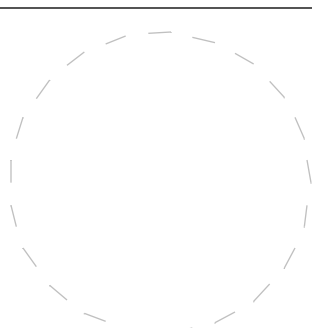
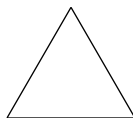
5 Shadow - Winter - 4 PM  
1 : 1000

|     | Re-zoning & Development Permit | February 27, 2018 |
|-----|--------------------------------|-------------------|
| NO. | DESCRIPTION                    | DATE              |

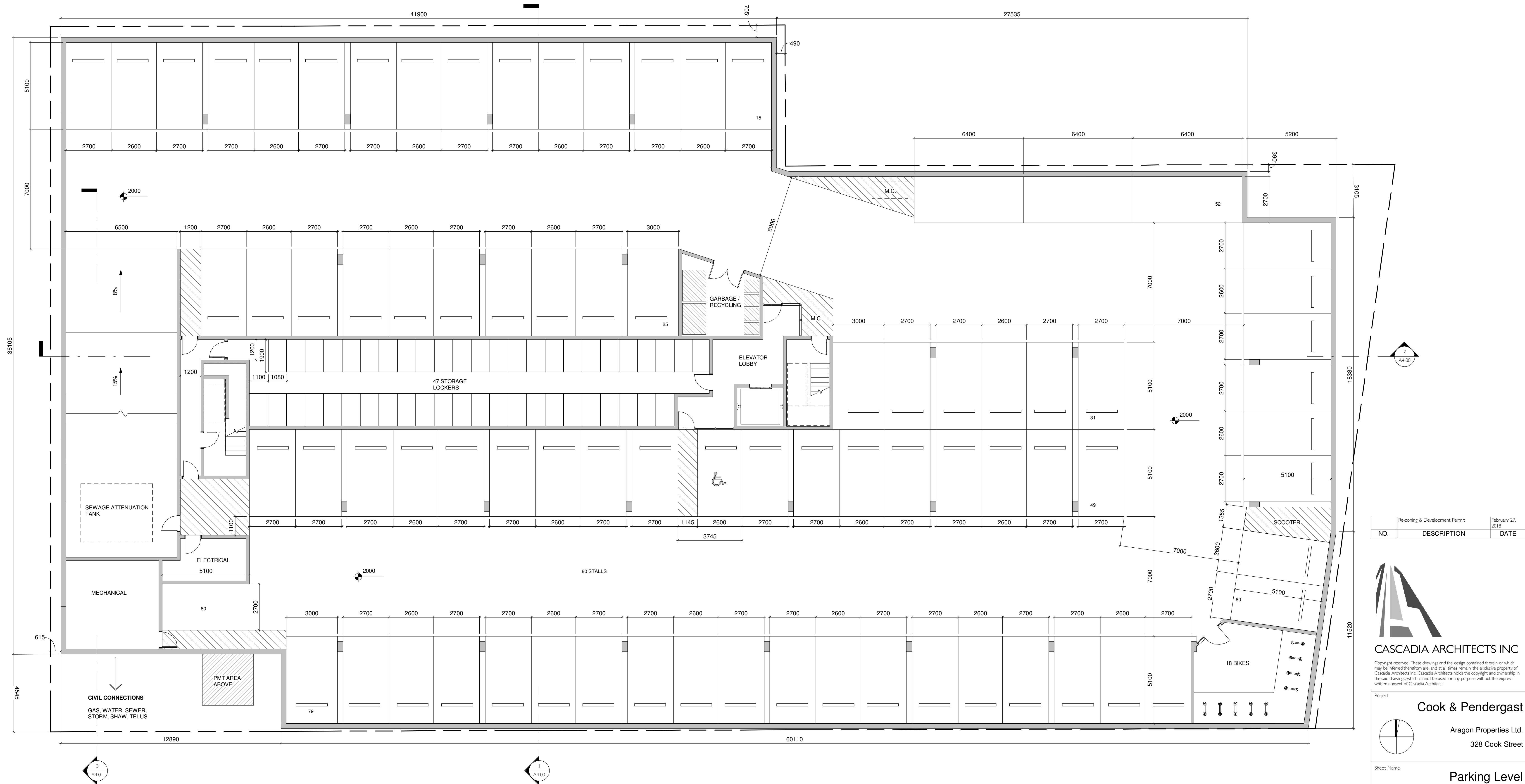


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|   |          |   |   |
|---|----------|---|---|
| Project   |          | Cook & Pendergast                         |   |
|  |          | Aragon Properties Ltd.<br>328 Cook Street |   |
| Sheet Name  |          | Shadow Studies - Winter                   |   |
| Date  |          |   |   |
| February 27, 2018   |          |   |   |
| Scale   | 1 : 1000 | Project #                                 | 1719  |
|  |          | Revision                                  |  |
|   |          | Sheet #                                   | A1.06   |





|                                |             |                   |
|--------------------------------|-------------|-------------------|
| Re-zoning & Development Permit |             |                   |
| NO.                            | DESCRIPTION | DATE              |
|                                |             | February 27, 2018 |



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Project

**Cook & Pendergast**

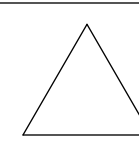
Aragon Properties Ltd.  
328 Cook Street

Sheet Name

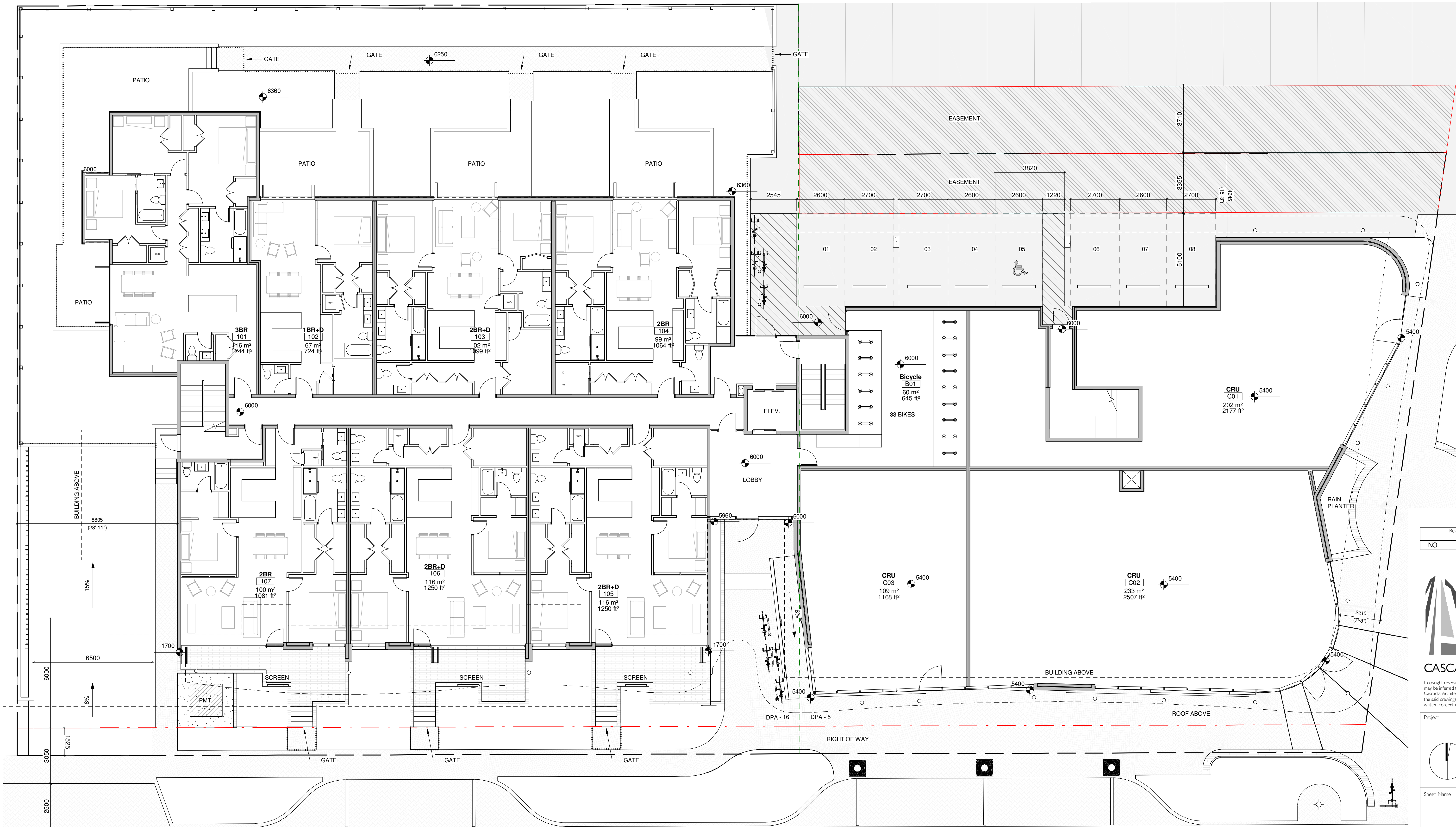
**Parking Level**

Date

**February 27, 2018**

|          |   |           |      |
|----------|---|-----------|------|
| Scale    | 1 : 100   | Project # | 1719 |
| Revision |  |           |      |
| Sheet #  | <b>A2.00</b>  |           |      |





DPA - 5 AREA = 587 m²  
DPA - 16 AREA = 840 m²

| NO. | DESCRIPTION                    | DATE              |
|-----|--------------------------------|-------------------|
|     | Re-zoning & Development Permit | February 27, 2018 |

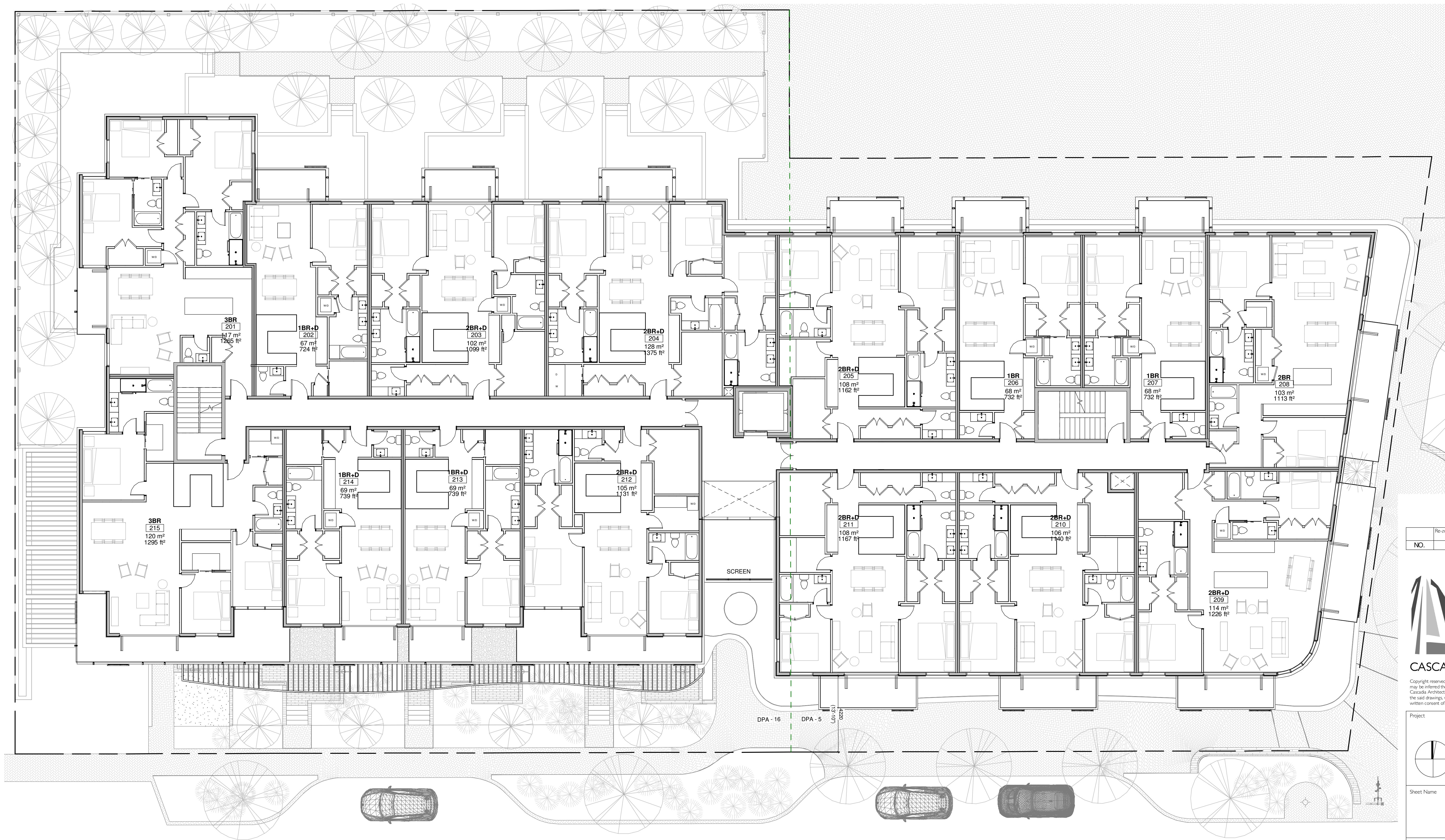


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|            |                   |                |
|------------|-------------------|----------------|
| Project    | Cook & Pendergast |                |
| Sheet Name | Ground Floor      |                |
| Date       | February 27, 2018 |                |
| Scale      | 1 : 100           | Project # 1719 |
| Revision   |                   |                |
| Sheet #    | A2.01             |                |





DPA - 5 AREA = 742 m²  
DPA - 16 AREA = 892 m²

| Re-zoning & Development Permit |             | February 27, 2018 |
|--------------------------------|-------------|-------------------|
| NO.                            | DESCRIPTION | DATE              |

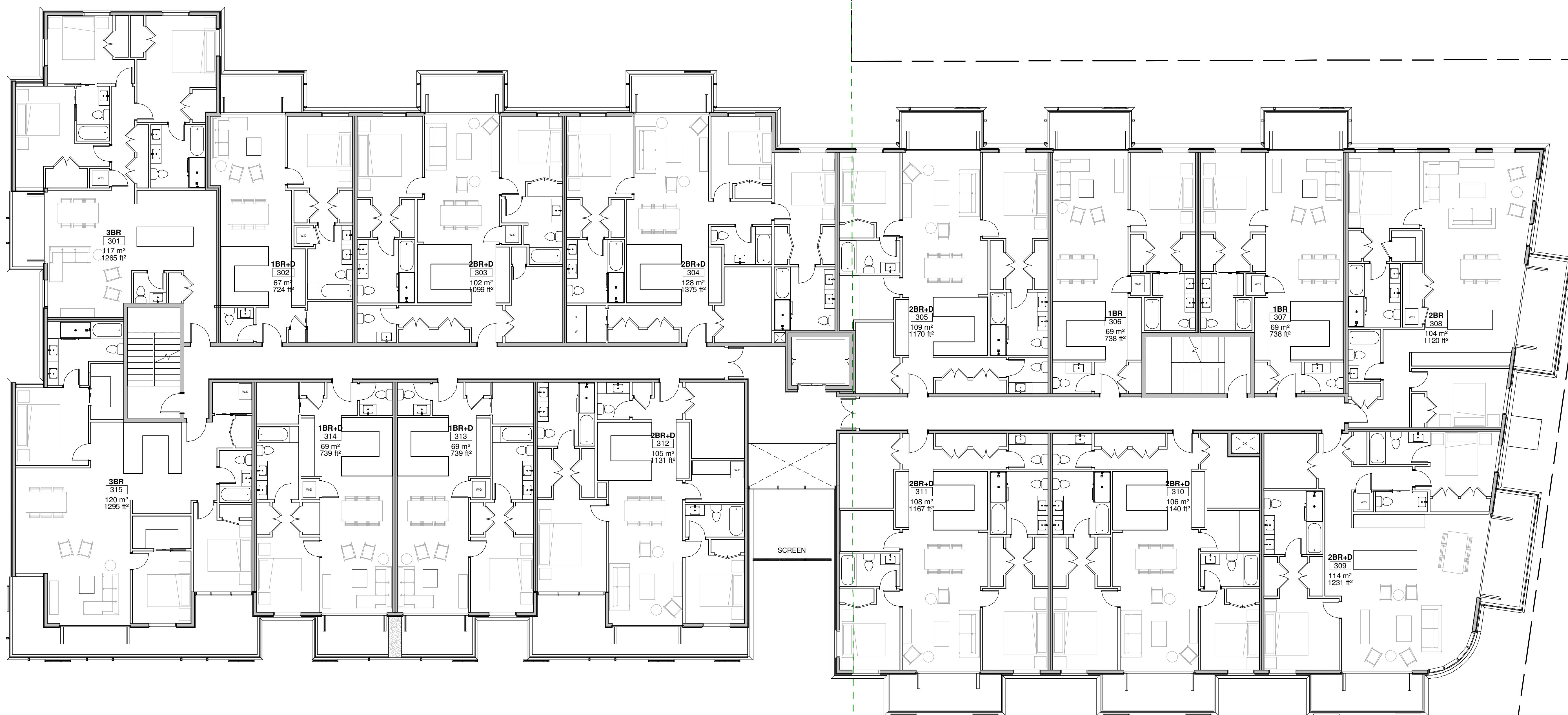


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|            |         |                   |      |
|------------|---------|-------------------|------|
| Project    |         | Cook & Pendergast |      |
| Sheet Name |         | Level 2           |      |
| Date       |         | February 27, 2018 |      |
| Scale      | 1 : 100 | Project #         | 1719 |
| Revision   |         | A2.02             |      |
| Sheet #    |         | A2.02             |      |





DPA - 16      DPA - 5

DPA - 5 AREA = 742 m<sup>2</sup>  
DPA - 16 AREA = 892 m<sup>2</sup>

|                                |             |                   |
|--------------------------------|-------------|-------------------|
| Re-zoning & Development Permit |             | February 27, 2018 |
| NO.                            | DESCRIPTION | DATE              |

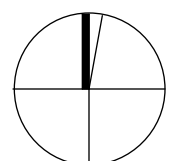


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Project

Cook & Pendergast



Aragon Properties Ltd.  
328 Cook Street

Sheet Name

Level 3

Date

February 27, 2018

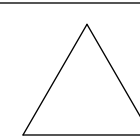
Scale

1 : 100

Project #

1719

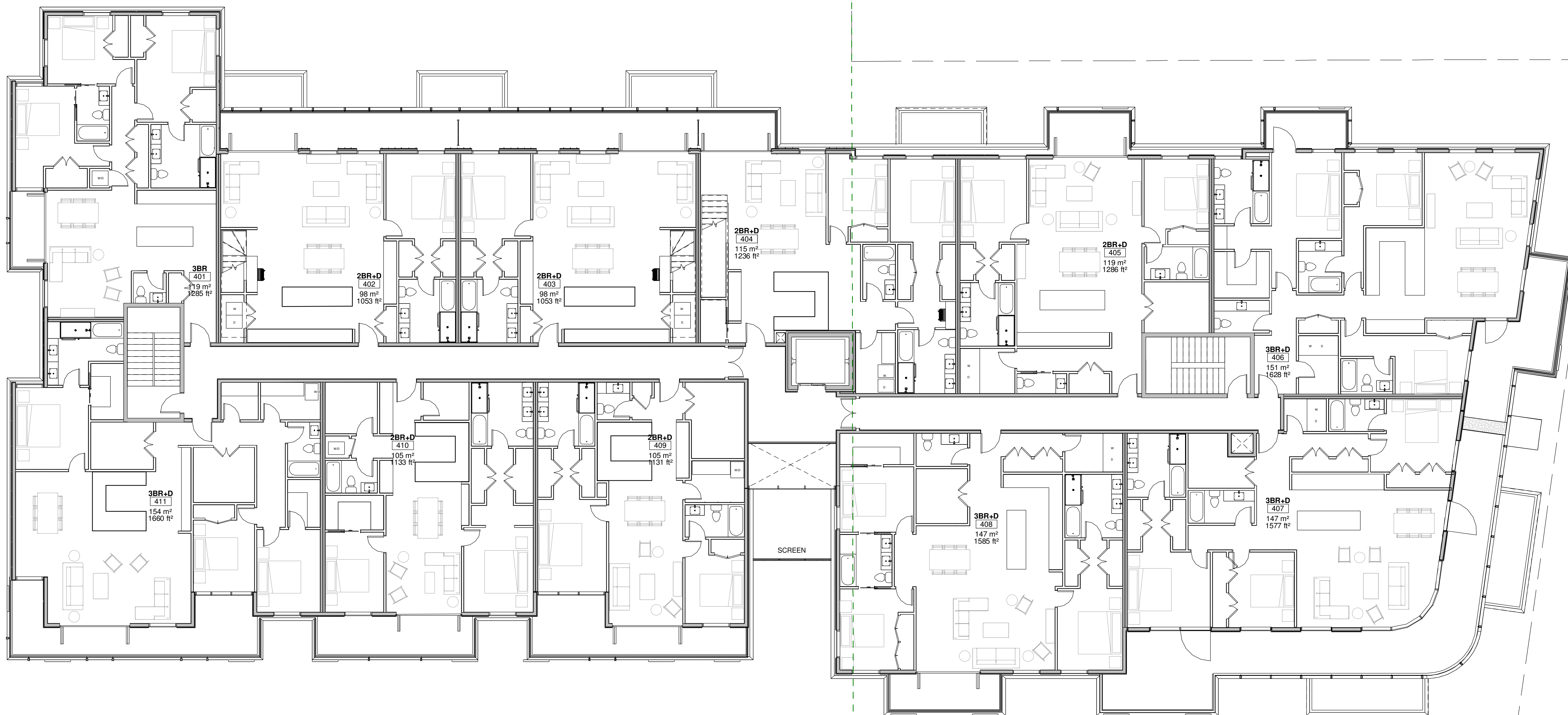
Revision



Sheet #

A2.03





DPA - 5 AREA = 676 m<sup>2</sup>  
DPA - 16 AREA = 847 m<sup>2</sup>

|                                |             |                   |
|--------------------------------|-------------|-------------------|
| Re-zoning & Development Permit |             |                   |
| NO.                            | DESCRIPTION | DATE              |
|                                |             | February 27, 2018 |

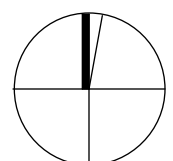


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Project

Cook & Pendergast



Aragon Properties Ltd.  
328 Cook Street

Sheet Name

Level 4

Date

February 27, 2018

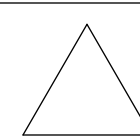
Scale

1 : 100

Project #

1719

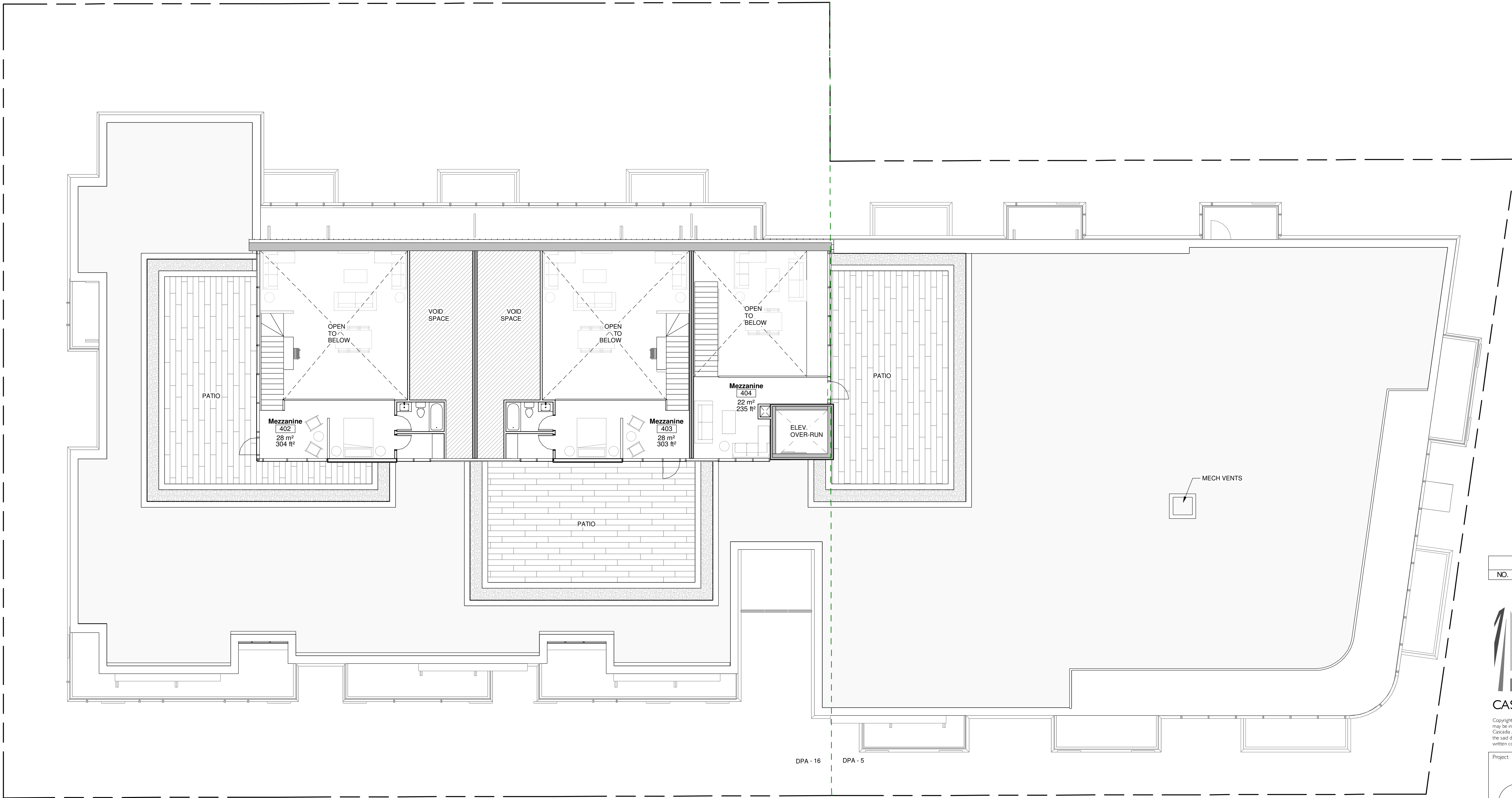
Revision



Sheet #

A2.04





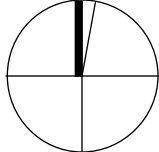
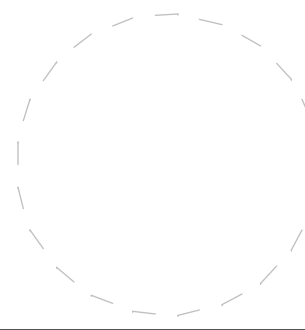
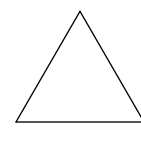
DPA - 16 AREA = 81 m²

|     |                                |                   |
|-----|--------------------------------|-------------------|
|     | Re-zoning & Development Permit | February 27, 2018 |
| NO. | DESCRIPTION                    | DATE              |



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|   |           |   |
|---|-----------|---|
| Project   |           |   |
| Cook & Pendergast   |           |   |
|  |           |   |
| Aragon Properties Ltd.<br>328 Cook Street   |           |   |
| Sheet Name  |           |   |
| Roof Level  |           |   |
| Date  |           |   |
| February 27, 2018   |           |   |
| Scale   | Project # |   |
| 1 : 100   | 1719      |   |
|   |           | Revision  |
|  |           |  |
|   |           | Sheet #   |
|   |           | A2.05   |





1 South Elevation  
1 : 200



2 East Elevation  
1 : 200



3 North Elevation  
1 : 200



4 West Elevation  
1 : 200

MATERIALS LEGEND

- |                               |                                     |
|-------------------------------|-------------------------------------|
| 1 CEMENTITIOUS PANEL CLADDING | 7 CLEAR SEALED WOOD                 |
| 2 WOOD-FINISH BOARD CLADDING  | 8 PRE-FINISHED METAL (CHARCOAL)     |
| 3 BRICK CLADDING              | 9 PERFORATED PRE-FINISHED ALUMINUM  |
| 4 STONE CLADDING              | 10 SOLID PRE-FINISHED ALUMINUM      |
| 5 GLASS                       | 11 CONCRETE BLOCK                   |
| 6 T&G CEDAR SOFFIT            | 12 PRE-FINISHED STANDING SEAM METAL |

|     | Re-zoning & Development Permit | February 27, 2018 |
|-----|--------------------------------|-------------------|
| NO. | DESCRIPTION                    | DATE              |



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|   |           |       |
|---|-----------|-------|
| Project                                   |           |       |
| Cook & Pendergast                         |           |       |
| Aragon Properties Ltd.<br>328 Cook Street |           |       |
| Sheet Name                                |           |       |
| Elevations                                |           |       |
| Date                                      |           |       |
| February 27, 2018                         |           |       |
| Scale                                     | Project # |       |
| 1 : 200                                   | 1719      |       |
| Revision                                  |           |       |
|   |           |       |
| Sheet #                                   |           |       |
|   |           | A3.00 |





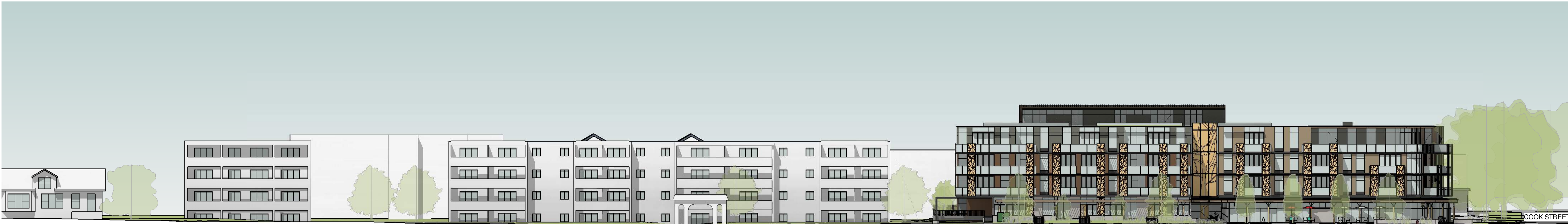
VIEW ALONG COOK STREET



VIEW ALONG PENDERGAST STREET



CORNER OF COOK STREET & PENDERGAST STREET



1 Pendergast Street Elevation  
1 : 300



2 Cook Street Elevation  
1 : 300

|     |                                |                   |
|-----|--------------------------------|-------------------|
|     | Re-zoning & Development Permit | February 27, 2018 |
| NO. | DESCRIPTION                    | DATE              |

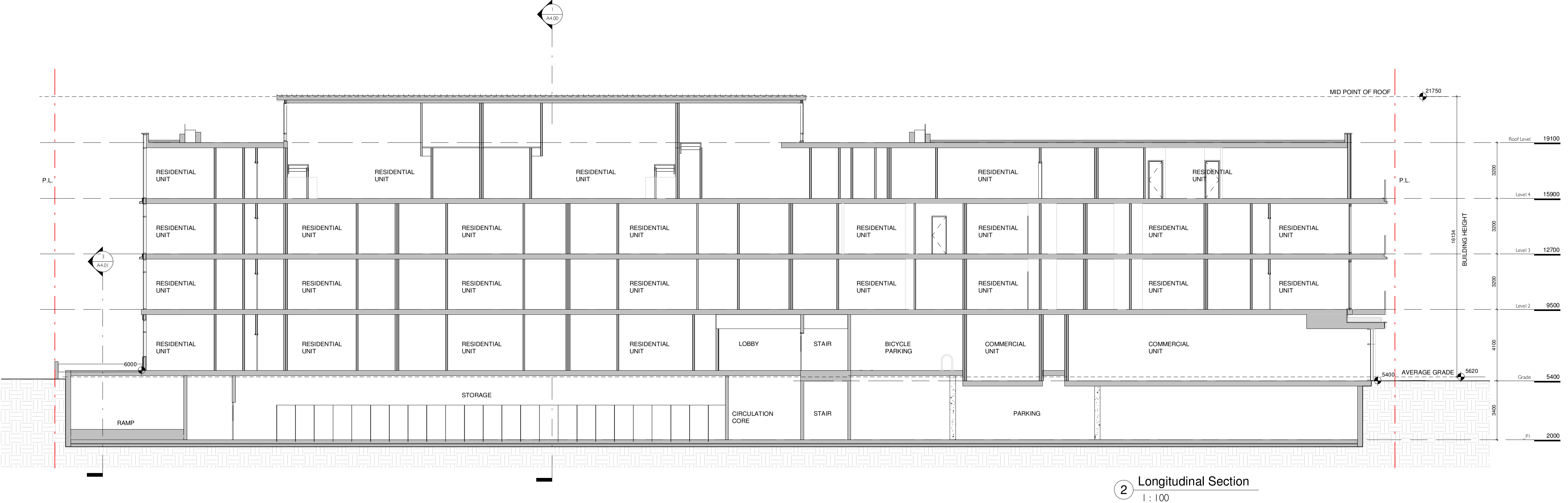


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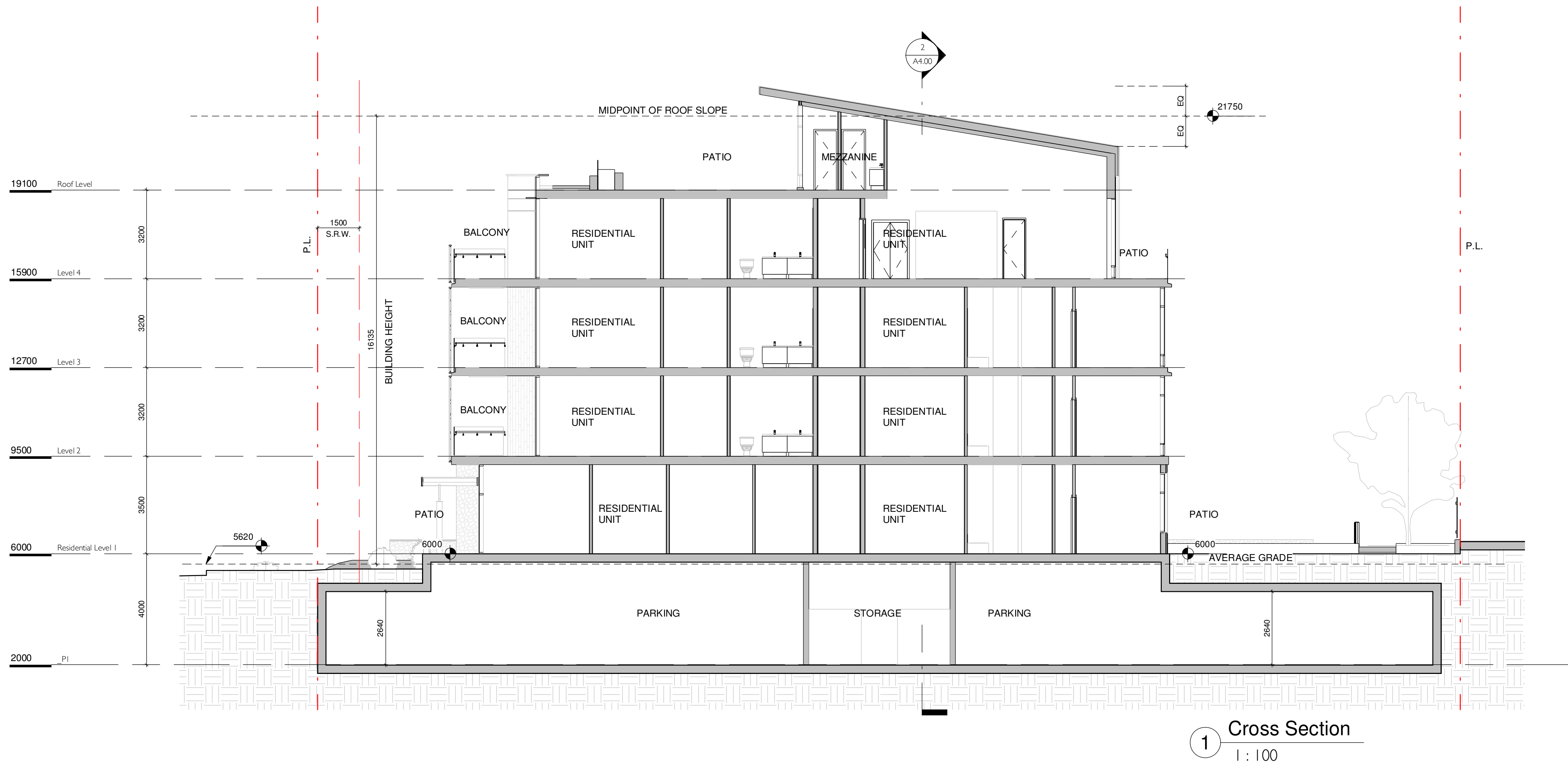
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|            |   |                   |
|------------|---|-------------------|
| Project    | Cook & Pendergast                         |                   |
|            | Aragon Properties Ltd.<br>328 Cook Street |                   |
| Sheet Name | Context Elevations                        |                   |
| Date       | February 27, 2018                         |                   |
| Scale      | 1 : 300                                   | Project #<br>1719 |
| Revision   |   |                   |
| Sheet #    | A3.01                                     |                   |





2 Longitudinal Section  
1 : 100



1 Cross Section  
1 : 100

| NO. | Re-zoning & Development Permit | February 27, 2018 |
|-----|--------------------------------|-------------------|
|     | DESCRIPTION                    | DATE              |

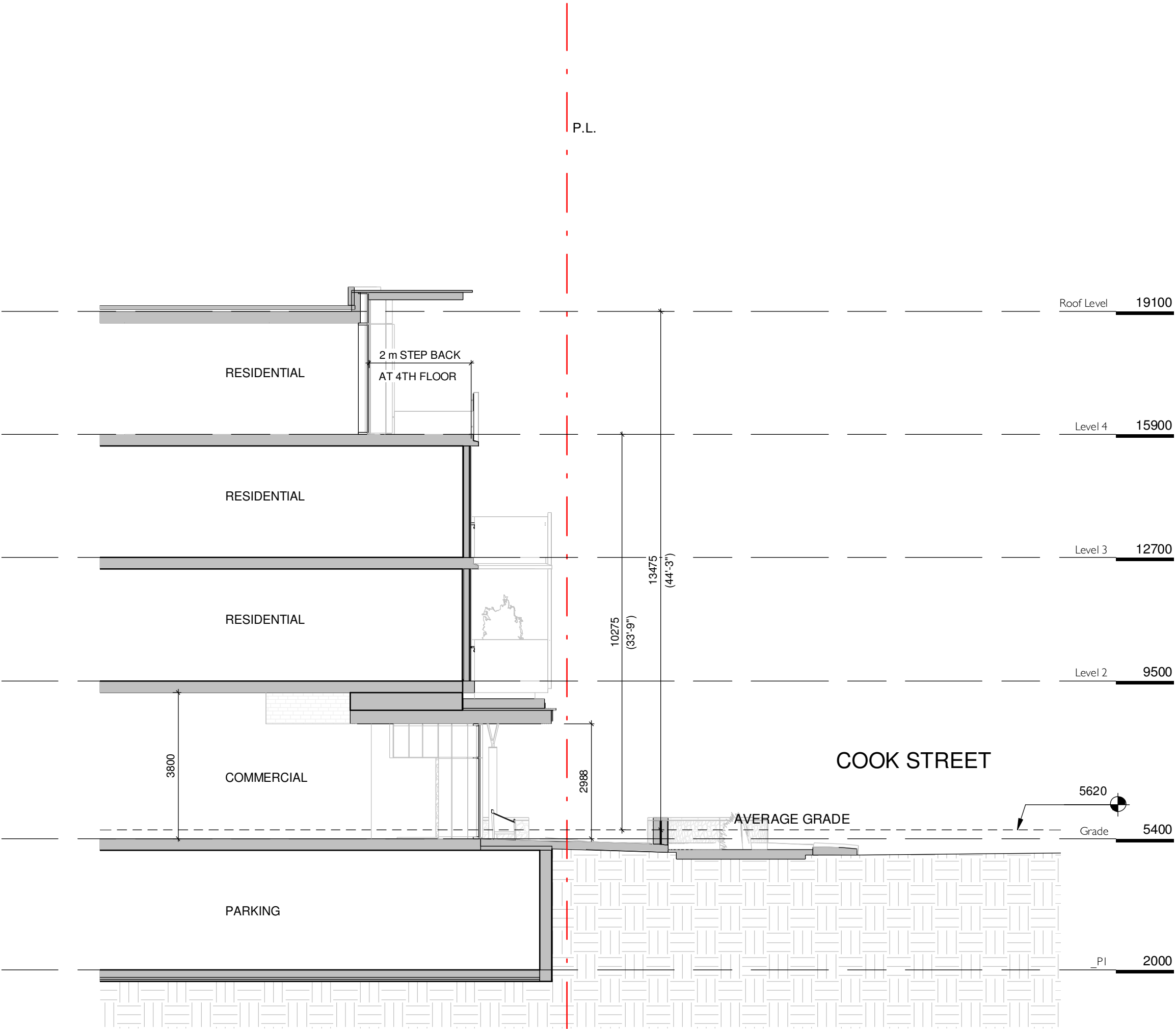


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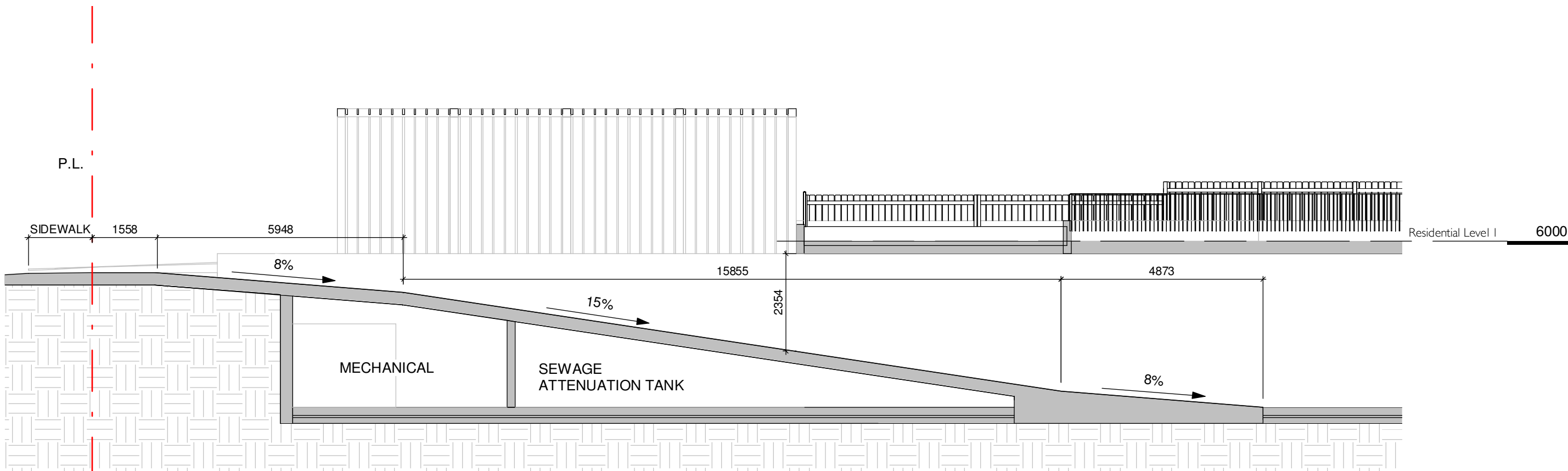
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|   |           |       |
|---|-----------|-------|
| Project                                   |           |       |
| Cook & Pendergast                         |           |       |
| Aragon Properties Ltd.<br>328 Cook Street |           |       |
| Sheet Name                                |           |       |
| Building Sections                         |           |       |
| Date                                      |           |       |
| February 27, 2018                         |           |       |
| Scale                                     | Project # |       |
| 1 : 100                                   | 1719      |       |
|   | Revision  |       |
|   | Sheet #   | A4.00 |

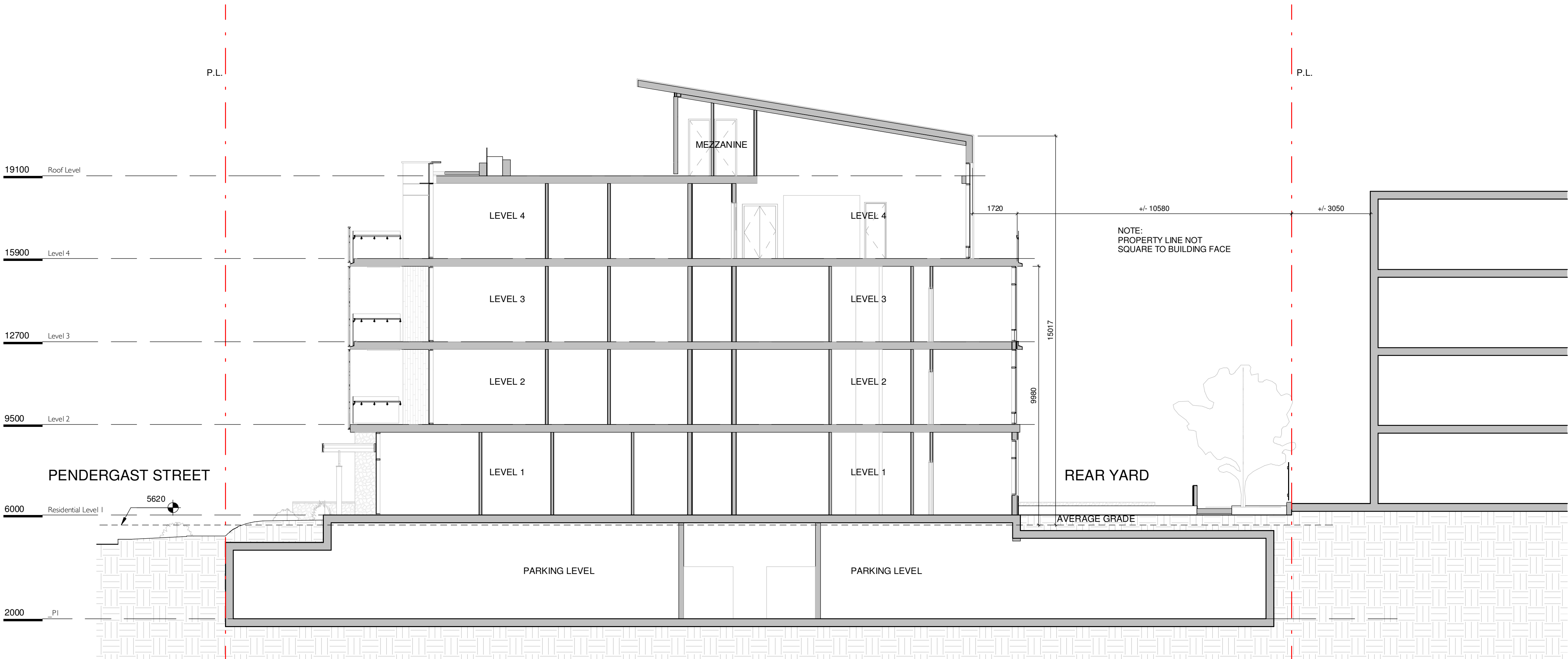




1 Cook Street Section  
1 : 100

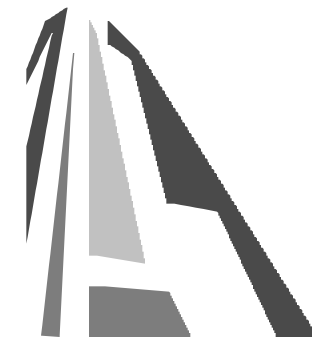


3 Parking Ramp  
1 : 100



2 Site Cross Section  
1 : 100

| NO. | DESCRIPTION                    | DATE              |
|-----|--------------------------------|-------------------|
|     | Re-zoning & Development Permit | February 27, 2018 |



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|            |   |                   |
|------------|---|-------------------|
| Project    | Cook & Pendergast                         |                   |
|            | Aragon Properties Ltd.<br>328 Cook Street |                   |
| Sheet Name | Context Sections                          |                   |
| Date       | February 27, 2018                         |                   |
| Scale      | 1 : 100                                   | Project #<br>1719 |
|            | Revision                                  |                   |
|            | Sheet #                                   | A4.01             |





VIEW FROM COOK & PENDERGAST



RESIDENTIAL ENTRANCE



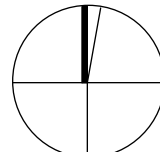
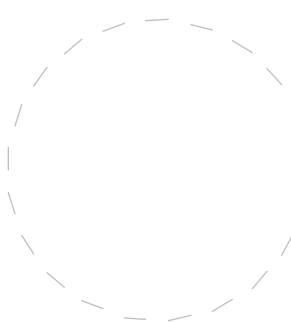
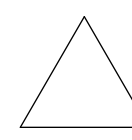
BIRDSEYE VIEW LOOKING SOUTHEAST

|     | Re-zoning & Development Permit | February 27, 2018 |
|-----|--------------------------------|-------------------|
| NO. | DESCRIPTION                    | DATE              |



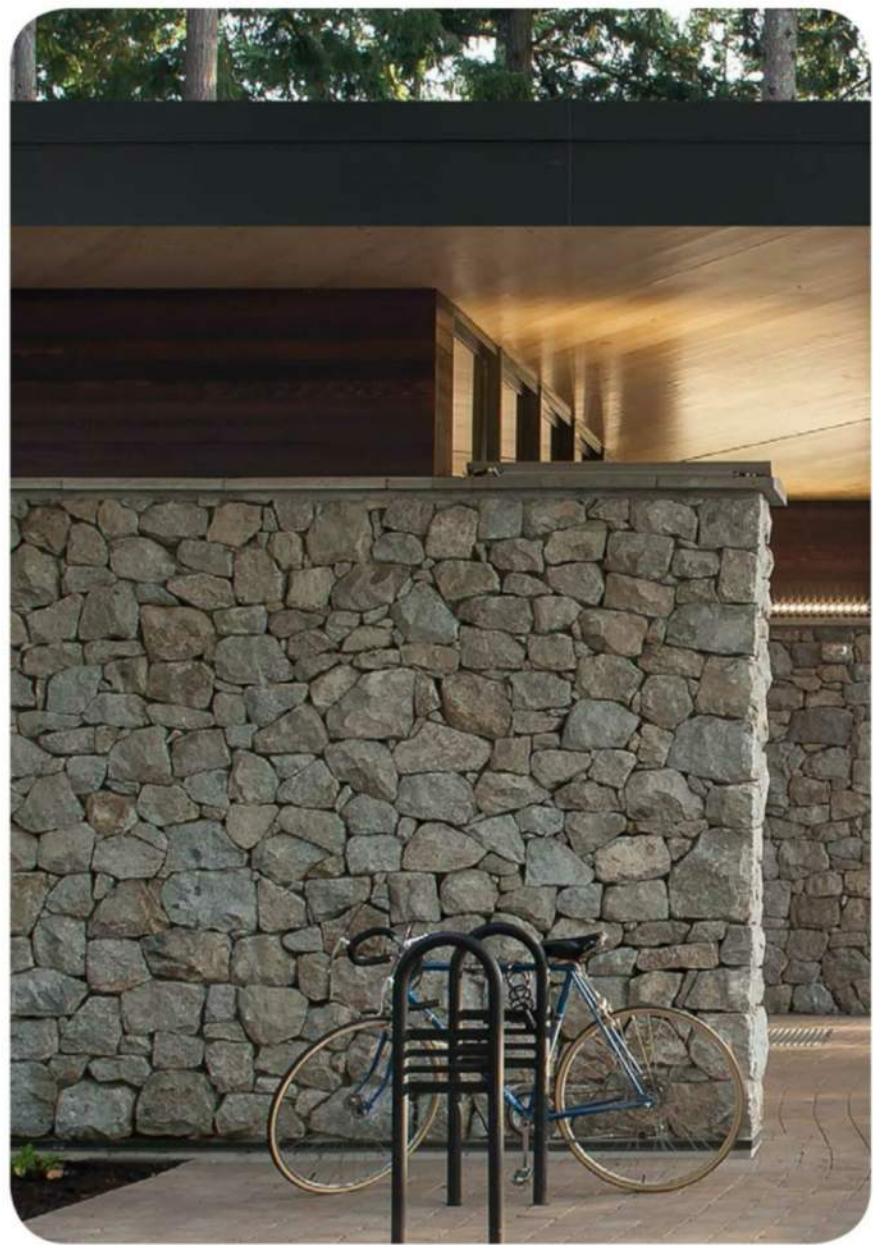
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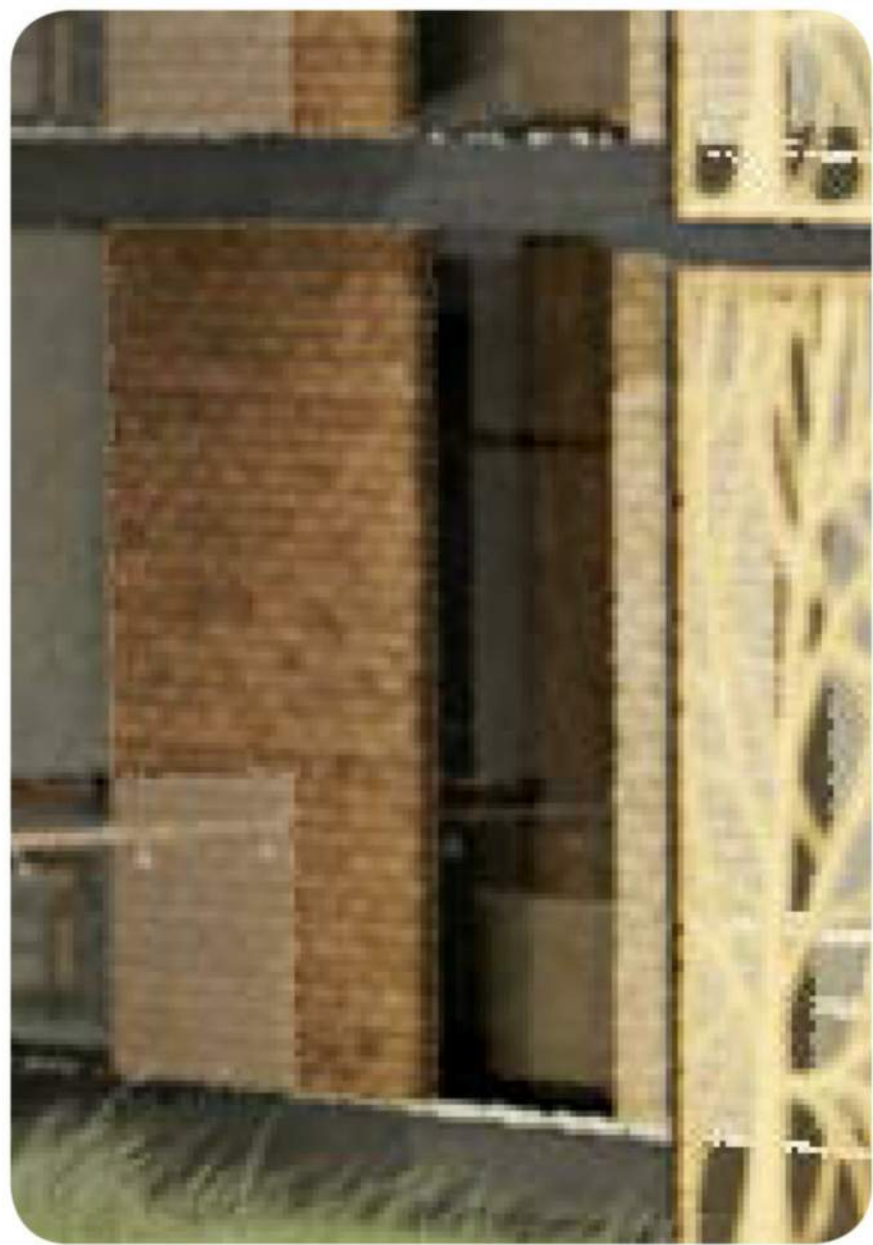
|   |           |   |  |
|---|-----------|---|--|
| Project   |           | <b>Cook &amp; Pendergast</b>  |  |
|  |           | Aragon Properties Ltd.<br>328 Cook Street   |  |
| Sheet Name  |           | <b>Perspectives</b>   |  |
| Date  |           | <b>February 27, 2018</b>  |  |
| Scale   | Project # | 1719  |  |
|  | Revision  |  |  |
|   | Sheet #   | <b>A9.00</b>  |  |



PROJECT MATERIALS



STONE



BRICK

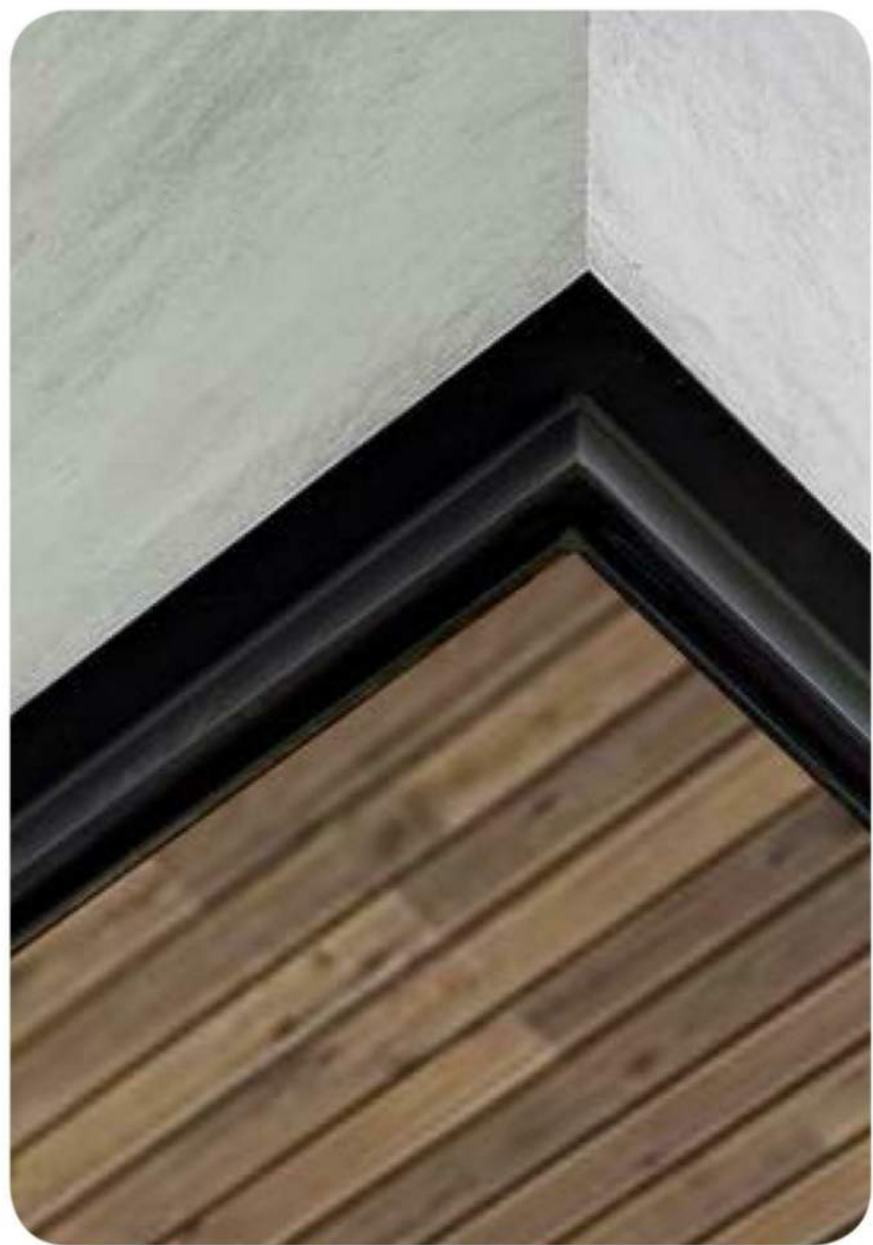


WOOD



CEMENTITIOUS

CLADDING



SOFFIT



TIMBER



PAVING



METAL

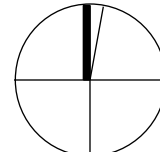
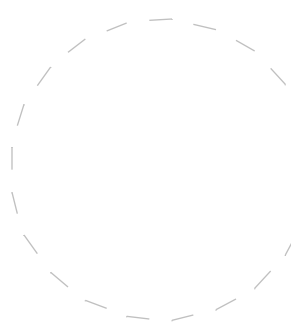
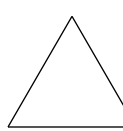
ACCENT

|     |                                |                   |
|-----|--------------------------------|-------------------|
|     | Re-zoning & Development Permit | February 27, 2018 |
| NO. | DESCRIPTION                    | DATE              |

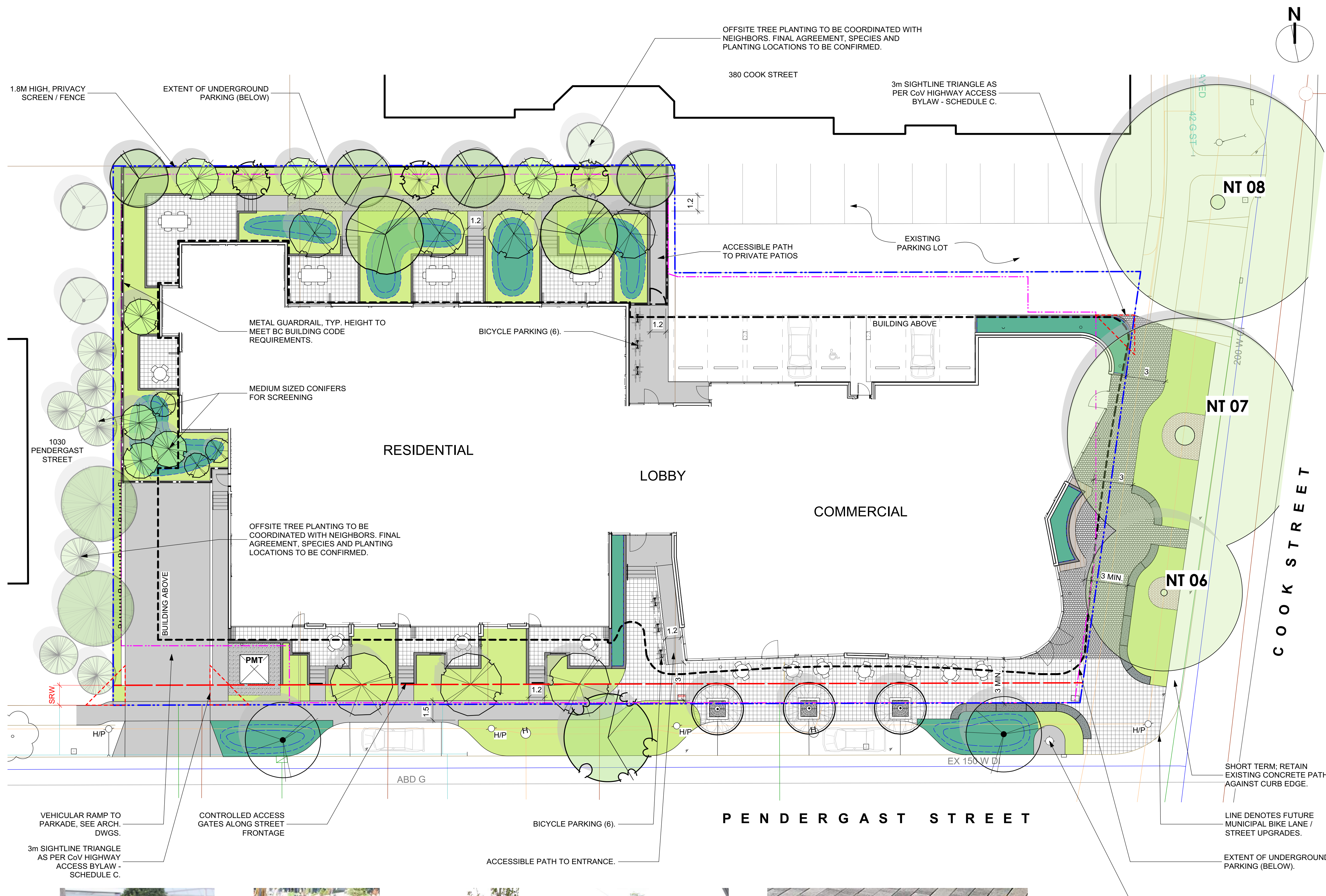


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|   |           |   |   |
|---|-----------|---|---|
| Project   |           | Cook & Pendergast                         |   |
|  |           | Aragon Properties Ltd.<br>328 Cook Street |   |
| Sheet Name  |           | Materials                                 |   |
| Date  |           | February 27, 2018                         |   |
| Scale   | Project # | 1719                                      |   |
|  |           | Revision                                  |  |
|   |           | Sheet #                                   | A9.01   |





**LEGEND**

Property line  
Statutory Right of Way (SRW)  
Extent of Parkade (below) (reference only)  
Building Outline (above) (reference only)  
Rain garden - TOP OF POOL  
Rain garden - BOTTOM OF POOL

**UNDERGROUND UTILITIES**

|             |             |
|-------------|-------------|
| EXISTING    | PROPOSED    |
| Storm drain | Storm drain |
| Sewer       | Sewer       |
| Water       | Water       |
| Electrical  | Electrical  |
| Gas         | Gas         |

**LANDSCAPE MATERIALS**

- Solid Fence, 1.8m height, wood construction
- Metal, vertical picket fence (1m high) or guardrail (to BC Building Code requirements) c/w controlled access gate where indicated.
- Cast in Place Concrete Wall, height varies
- Unit Paving
- Permeable Unit Paving
- Cast in place concrete paving
- Granular Path
- Ornamental Planting Area
- Rain Garden Area

**LANDSCAPE FURNISHINGS**

- Custom Seating Bench
- Modular Street Furniture Elements
- Tree Grate
- Bike Rack (2 bike capacity)

**EXISTING TREE SUMMARY**

**Existing Trees Retained**

Existing Bylaw Protected Trees Retained (3)

Refer L1.02 Tree Retention and Removal Plan for additional information.

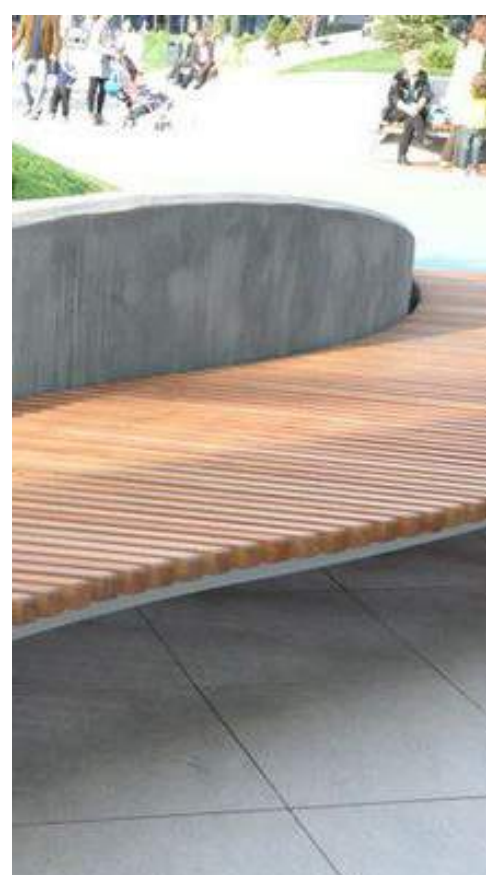


- IRRIGATION AND LIGHTING NOTES**
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
  - Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
  - Arborist to address sleeving of irrigation lines in protected root zone (PRZ) of existing trees.
  - Placement of electrical conduit through site to be coordinated with arborist.
  - Arborist to be onsite and supervise all excavation/trenching within PRZ of retained trees.

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
  - All plan dimensions in metres and all detail dimensions in millimetres.
  - Plant quantities on Plans shall take precedence over plant list quantities.
  - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
  - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
  - Contractor to provide irrigation system for all planters and green roofs to current IABC Standards and Contract Specifications.
  - Landscape installation to carry a 1 year warranty from date of acceptance.
  - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
  - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
  - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work



EXAMPLARY MODULAR STREET FURNITURE ELEMENTS



EXAMPLARY CUSTOM STREET FURNITURE ELEMENT



ON STREET RAIN GARDEN



STREET TREES IN TREE GRATES



PERMEABLE PAVING EXAMPLE

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NOT FOR CONSTRUCTION

|        |             |            |
|--------|-------------|------------|
| 1      | DP          | 27.02.2018 |
| rev no | description | date       |

**Murdoch de Greeff** INC  
Landscape Planning & Design

200 - 524 Caledonia Road  
Victoria, BC V8Z 1G1

Phone: 250.412.2991  
Fax: 250.412.2992

client

ARAGON PROPERTIES LTD.  
201-1628 WEST 1ST AVENUE  
VANCOUVER, BC

project

328 COOK STREET  
324/238 COOK STREET &  
1044-1054 PENDERGAST STREET  
VICTORIA, BC

sheet title

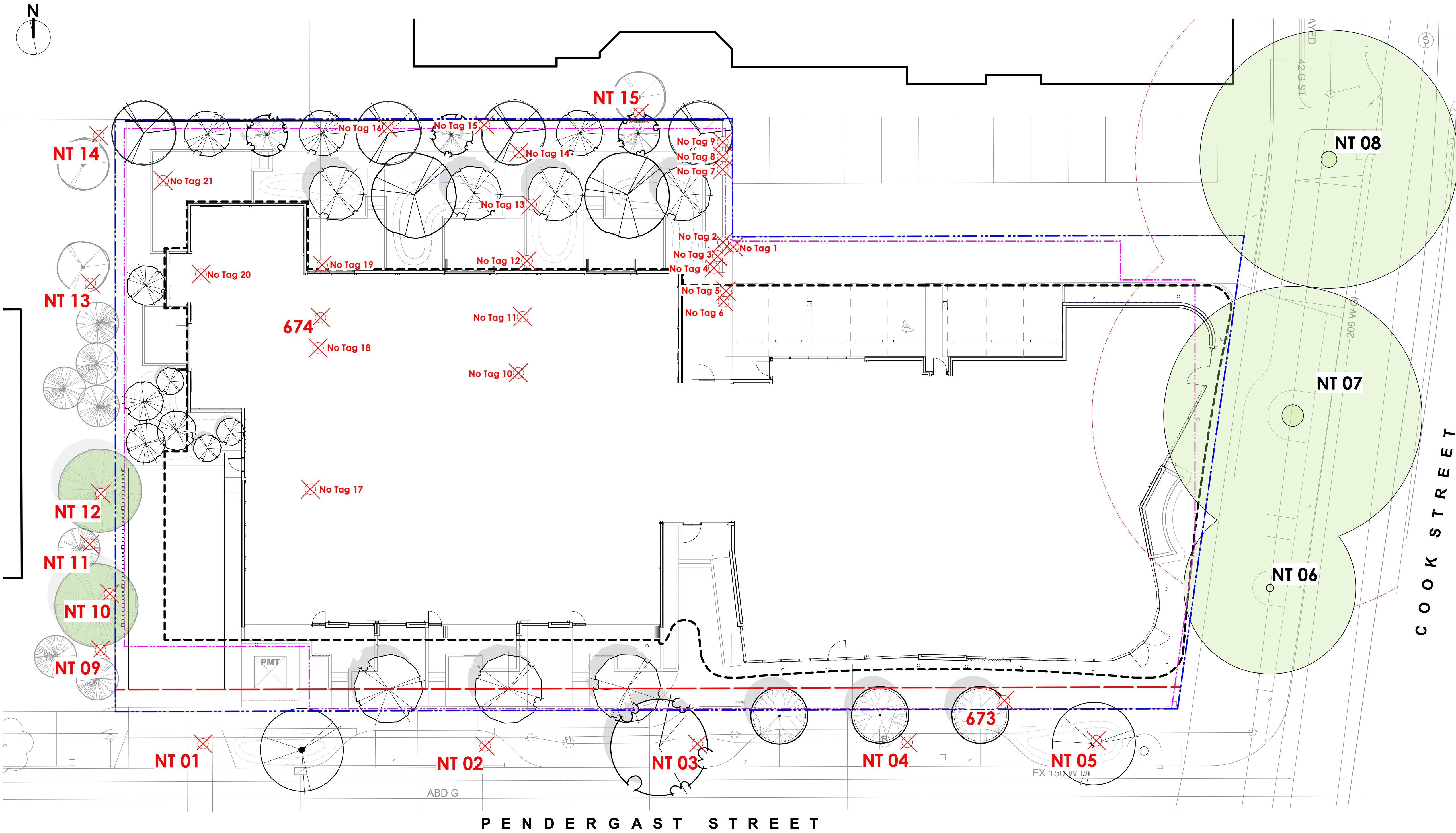
Landscape Materials Plan

|              |                 |
|--------------|-----------------|
| project no.  | 117.28          |
| scale        | 1:150 @ 24"x36" |
| drawn by     | MDI             |
| checked by   | SM/PdG          |
| revision no. | sheet no.       |

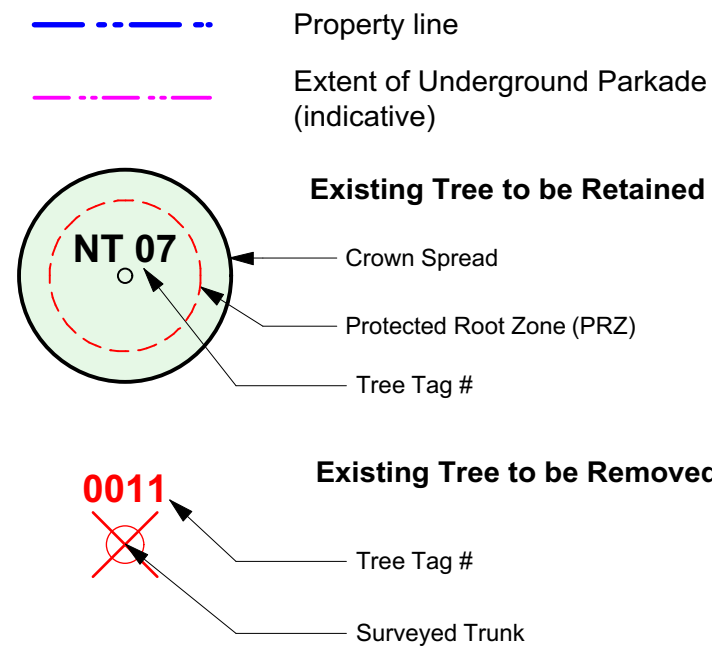
1

L1.01





## LEGEND



Replacement Tree ratio = 2:1 as per City of Victoria bylaws. Refer L3.01 / .02 Planting Plans for additional information.

## EXISTING TREE SUMMARY

- Existing Condition: 38 trees on development lands, bordering neighboring properties and interfacing municipal road R.O.W.s.
- Retention of 3 Horse Chestnut Trees on Cook Street and removal 35 other trees. Removed trees include: 23 trees within development lands, 2 of which are Bylaw Protected, 7 neighbouring trees in close proximity to property lines and 5 municipal Cherry trees on Pendergast Street.
- Total trees post development is 47. This includes: retention of the 3 Horse Chestnut trees and planting of 44 new trees, (12 of which are proposed on neighboring properties).

## TREE STATEMENT

Many of the subject existing trees relating to this development that are proposed as being removed are a mixture of self seeded trees, remnants of an over mature Laylandii Cypress hedge and/or offer limited landscape amenity.

Proposed new tree plantings will aim to re-establish a healthier urban biodiversity, increase species diversity and offer better habitat value. Part of our tree planting strategy is to aim for generous soil volume allocation for each tree with a goal of increasing the urban forestry canopy over time. The design team's intentions will be guided by the City of Victoria's (CoV) Urban Forestry Strategy. Trees in the streetscape will be selected in consultation with CoV Parks staff.

Protection measures are being proposed to assist with the retention of the 3 Horse Chestnut Trees on Cook Street. This includes the installation of permeable paving installed on top of existing subgrade within the critical root zone (CRZ) areas. In addition, the new sidewalk alignment is setback from its current location allowing for more soil volume and less trunk flare encroachment. Pockets of low plantings are proposed within the understorey which will also limit foot traffic disturbance (soil compaction) within the CRZ areas.

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|--------|-------------|------------|
| 1      | DP          | 27.02.2018 |
| rev no | description | date       |



client

ARAGON PROPERTIES LTD.  
201-1628 WEST 1ST AVENUE  
VANCOUVER, BC

project

328 COOK STREET  
324/238 COOK STREET &  
1044-1054 PENDERGAST  
STREET  
VICTORIA, BC

sheet title

Tree Retention and  
Removal Plan

|              |                 |
|--------------|-----------------|
| project no.  | 117.28          |
| scale        | 1:150 @ 24"x36" |
| drawn by     | MDI             |
| checked by   | SM/PdG          |
| revision no. | sheet no.       |



L1.02

## EXISTING TREE INVENTORY

Based on Construction Impact & Tree Preservation Plan Report from Talbot Mackenzie & Associates, dated November 10, 2017. Refer to Arborist Report for details on tree conditions and Arborist recommendations. 'No Tag' trees based on Murdoch de Greeff field inventory work.

### RETAINED TREES

| TREE TAG # | DBH (cm) | PRZ (radius in m) | SPECIES                                | CROWN SPREAD (m) |
|------------|----------|-------------------|--|------------------|
| NT 06*     | 51       | 6.0               | Aesculus hippocastanum, Horsechest Nut | 12.0             |
| NT 07*     | 118      | 14.0              | Aesculus hippocastanum, Horsechest Nut | 18.0             |
| NT 08*     | 112      | 13.5              | Aesculus hippocastanum, Horsechest Nut | 18.0             |

TOTAL TREES TO BE RETAINED: 3

### BYLAW PROTECTED TREES REMOVED

| TREE TAG # | DBH (cm)       | PRZ (radius in m) | SPECIES                             | CROWN SPREAD (m) |
|------------|----------------|-------------------|-------------------------------------|------------------|
| 674        | 61             | 9.0               | Thuja plicata, Western Red Cedar    | 12.0             |
| 673        | 36, 32, 23, 22 | 10.0              | Prunus cerasifera, Purple Leaf Plum | 12.0             |

BYLAW PROTECTED TREES TO BE REMOVED: 2

### OTHER TREES REMOVED

| TREE TAG # | DBH (cm) | PRZ (radius in m) | SPECIES                                | CROWN SPREAD (m) |
|------------|----------|-------------------|--|------------------|
| NT 01*     | 29       | 3.5               | Prunus spp., Cherry                    | 6.0              |
| NT 02*     | 17       | 2.0               | Prunus spp., Cherry                    | 4.0              |
| NT 03*     | 35       | 4.0               | Prunus spp., Cherry                    | 10.0             |
| NT 04*     | 15       | 2.0               | Prunus spp., Cherry                    | 4.0              |
| NT 05*     | 15       | 2.0               | Prunus spp., Cherry                    | 4.0              |
| NT 09*     | 20, 15   | 3.0               | Ilex aquifolium, Holly                 | 5.0              |
| NT 10*     | 55       | 8.5               | Thuja plicata, Western Red Cedar       | 10.0             |
| NT 11*     | 57       | 7.0               | Chamaecyparis lawsonii, Lawson Cypress | 8.0              |
| NT 12*     | 59       | 7.0               | Cupressus x leylandii, Leyland Cypress | 12.0             |
| NT 13*     | 20, 20   | 4.0               | Prunus spp., Cherry                    | 8.0              |
| NT 14*     | 35       | 4.0               | Malus spp., Apple                      | 8.0              |
| NT 15*     | 40       | 5.0               | Prunus spp., Cherry                    | 10.0             |

| TREE TAG # | DBH (cm) | PRZ (radius in m) | SPECIES                                | CROWN SPREAD (m) |
|------------|----------|-------------------|--|------------------|
| No Tag 1   | -        | -                 | Prunus spp., Cherry                    | -                |
| No Tag 2   | -        | -                 | Cupressus x leylandii, Leyland Cypress | -                |
| No Tag 3   | -        | -                 | Cupressus x leylandii, Leyland Cypress | -                |
| No Tag 4   | -        | -                 | Cupressus x leylandii, Leyland Cypress | -                |
| No Tag 5   | -        | -                 | Cupressus x leylandii, Leyland Cypress | -                |
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| No Tag 9   | -        | -                 | Cupressus x leylandii, Leyland Cypress | -                |
| No Tag 10  | -        | -                 | Fraxinus spp., Ash spp.                | -                |
| No Tag 11  | -        | -                 | Laburnum spp. Golden Chain Tree        | -                |
| No Tag 12  | -        | -                 | Fraxinus spp., Ash spp.                | -                |
| No Tag 13  | -        | -                 | Fraxinus spp., Ash spp.                | -                |
| No Tag 14  | -        | -                 | Fraxinus spp., Ash spp.                | -                |
| No Tag 15  | -        | -                 | Fraxinus spp., Ash spp.                | -                |
| No Tag 16  | -        | -                 | Prunus spp., Cherry                    | -                |
| No Tag 17  | -        | -                 | Cedar spp., Cedar cultivar             | -                |
| No Tag 18  | -        | -                 | Crataegus spp., Hawthorne spp.         | -                |
| No Tag 19  | -        | -                 | Prunus spp., Cherry                    | -                |
| No Tag 20  | -        | -                 | Cupressus x leylandii, Leyland Cypress | -                |
| No Tag 21  | -        | -                 | Fraxinus spp., Ash spp.                | -                |

OTHER TREES TO BE REMOVED: 33

TOTAL TREES TO BE REMOVED: 35

Bylaw protected trees are shown underlined

\* Offsite trees with PRZ extending into the project site.

NEW TREES ONSITE: 32

NEW TREES ON NEIGHBORING PROPERTIES: 12

TOTAL NEW TREES: 44



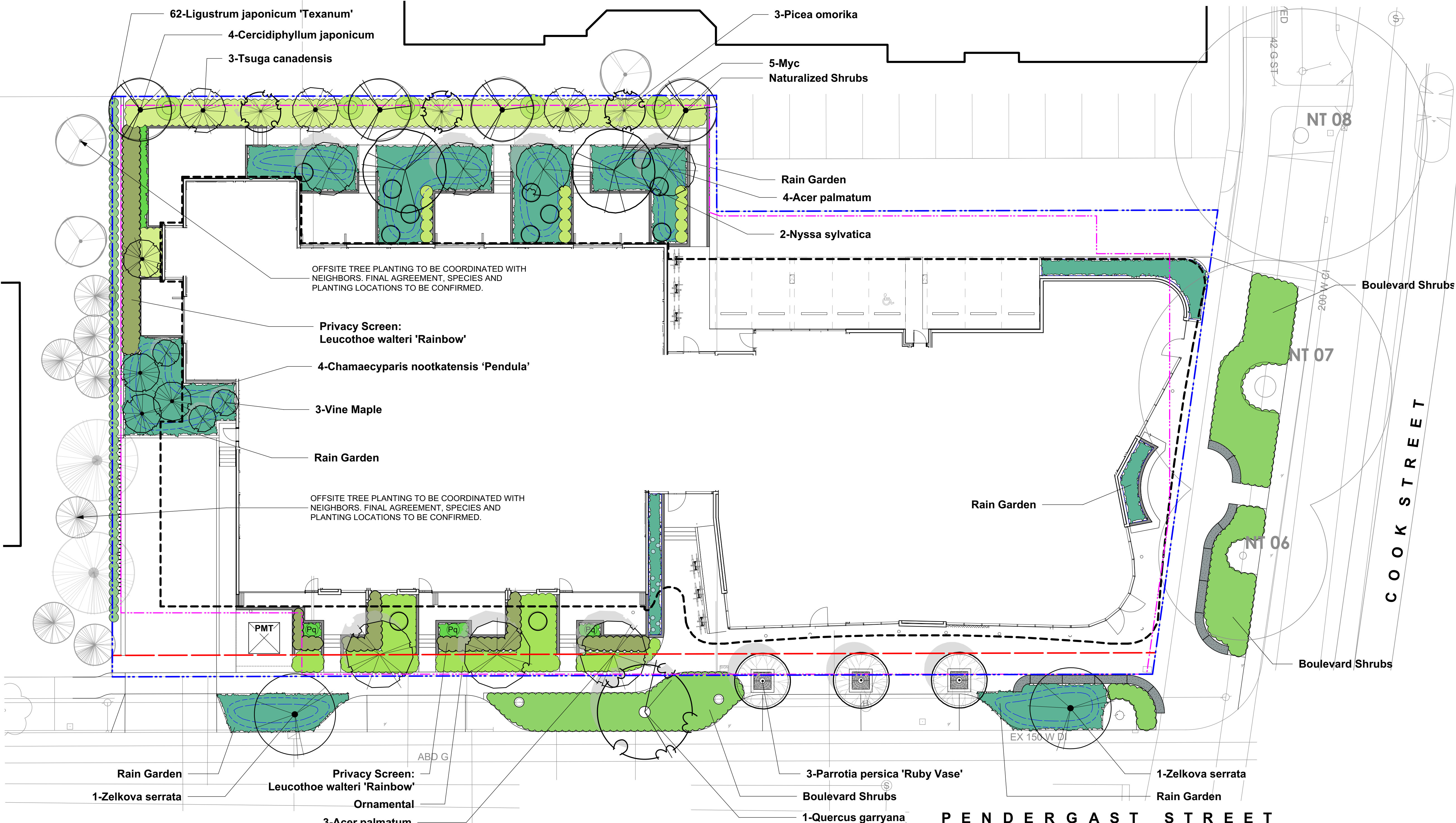
## DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters and green roofs to current IABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

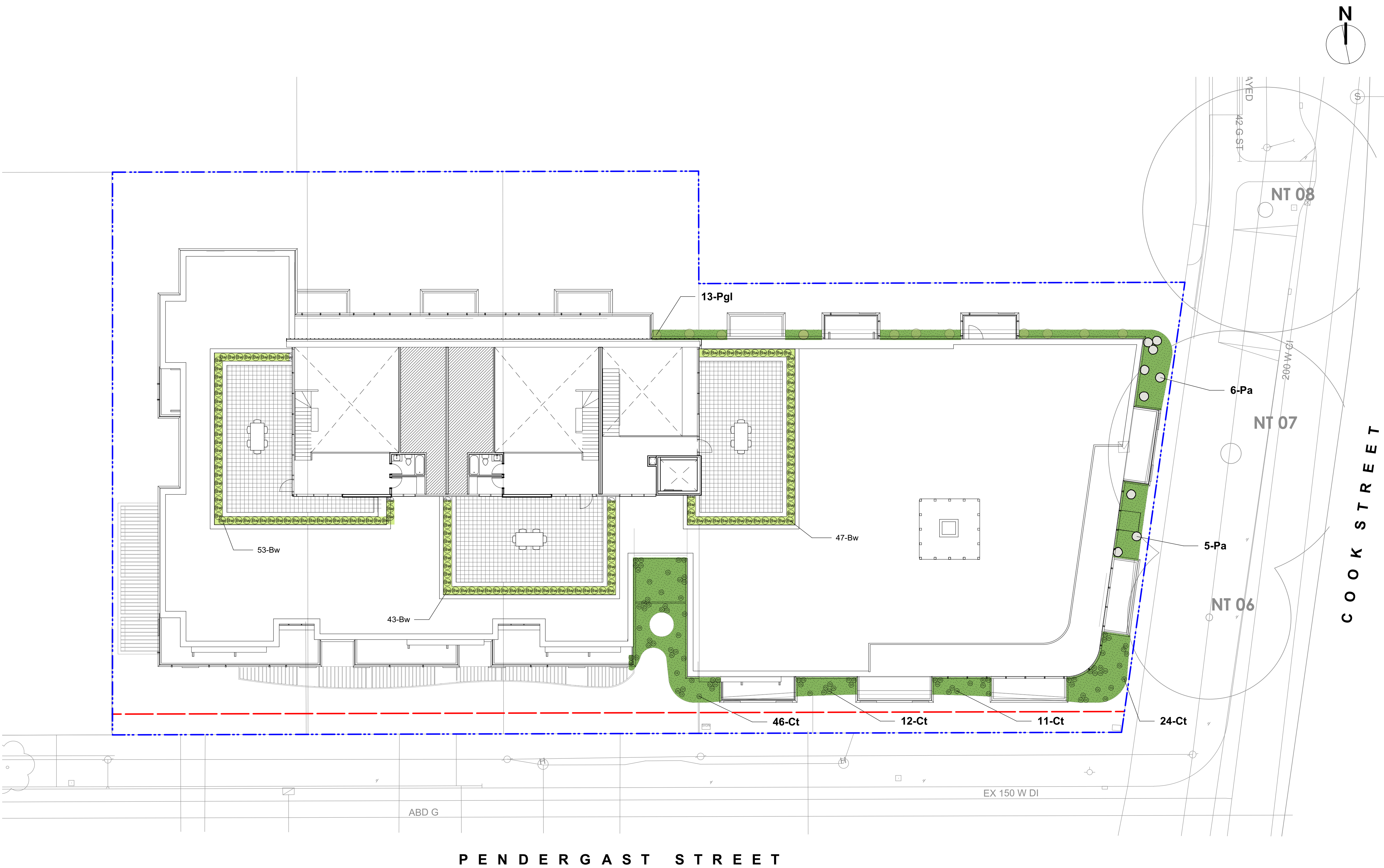












LEGEND

Property line

LANDSCAPE MATERIALS

Unit Paving

Ornamental Planting Area

Green Roof (L2 CRU Canopy)

| PLANT LIST - GREEN ROOF AND ROOF TERRACES |     |                                   |                    |                            |
|---|-----|-----------------------------------|--------------------|----------------------------|
| Sym                                       | Qty | Botanical Name                    | Common Name        | Schd. Size / Plant Spacing |
| SHRUBS:                                   |     |                                   |                    |                            |
| Bw  | 143 | Buxus microphylla 'Winter Gem'    | Littleleaf Boxwood | #1 pot                     |
| Ct  | 81  | Carex testacea                    | Orange Sedge       | #1 pot                     |
| Pa  | 11  | Pennisetum alopecuroides 'Hameln' | Fountain Grass     | #1 pot                     |
| Pgl                                       | 13  | Polystichum glycyrrhiza           | Licorice Fern      | Sp3                        |

- PLANTING NOTES
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
  - Green roof to be proprietary sedum mat system interdispersed with grass species, ferns and bulbs.

- DRAWING NOTES
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
  - All plan dimensions in metres and all detail dimensions in millimetres.
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| 1      | DP          | 27.02.2018 |
| rev no | description | date       |

Murdoch  
de Greeff  
INC  
Landscape Planning & Design

200 - 524 Caledonia Road  
Victoria, BC V8Z 1G1

Phone: 250.412.2891  
Fax: 250.412.2892

client  
ARAGON PROPERTIES LTD.  
201-1628 WEST 1ST AVENUE  
VANCOUVER, BC

project  
328 COOK STREET  
324/238 COOK STREET &  
1044-1054 PENDERGAST  
STREET  
VICTORIA, BC

sheet title  
Roof and Rooftop  
Landscape and  
Planting Plan

|             |                 |
|-------------|-----------------|
| project no. | 117.28          |
| scale       | 1:150 @ 24"x36" |
| drawn by    | MDI             |
| checked by  | SM/PdG          |

|              |           |
|--------------|-----------|
| revision no. | sheet no. |
|--------------|-----------|

1  
L3.02





- DETAILED CONSTRUCTION NOTES:
- (A) CITY OF VICTORIA TO INSTALL 100mm DOMESTIC AND 150mm FIRE SERVICE TO PROPERTY LINE AT DEVELOPERS EXPENSE.
  - (B) CITY OF VICTORIA TO INSTALL SEWER AND DRAIN SERVICES TO PROPERTY LINE IN SAME TRENCH AT DEVELOPERS EXPENSE.
  - (C) CONTRACTOR TO CAP EXISTING SEWER AND DRAIN SERVICES AT PROPERTY LINE.
  - (D) CITY OF VICTORIA TO CAP EXISTING WATER SERVICES AT DEVELOPERS EXPENSE.
  - (E) CONTRACTOR TO INSTALL DRIVEWAY TO CITY OF VICTORIA STANDARDS.



KEY PLAN  
NTS

**COOK & PENDERGAST  
ARAGON PROPERTIES  
PRELIMINARY SITE PLAN**

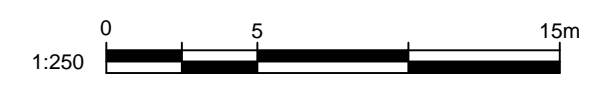
Scale  
horiz. 1:250

Sheet 1 of 1

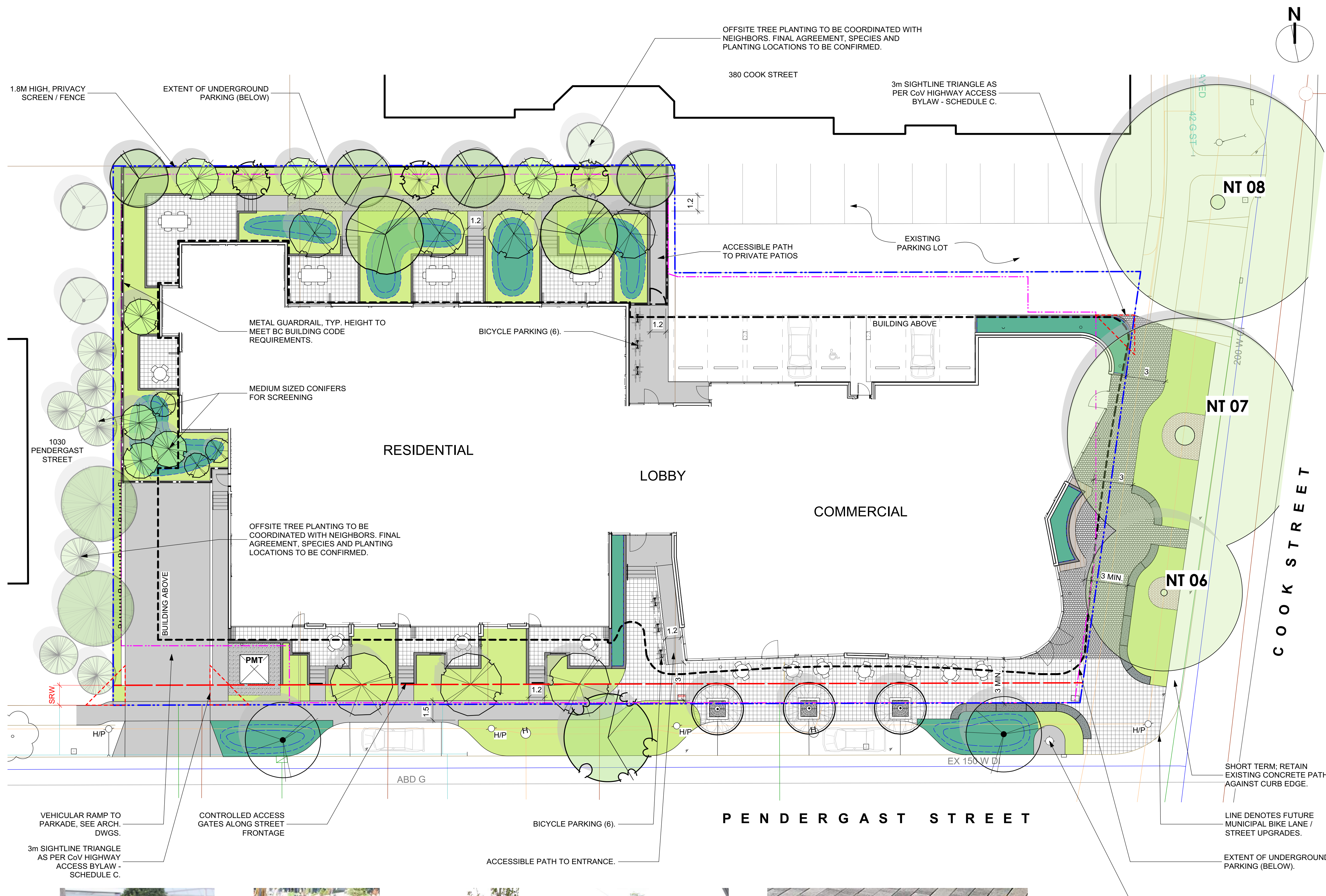
Eng. Project No. 30886

**PRELIMINARY ONLY**

**JEA** J E ANDERSON & ASSOCIATES  
SURVEYORS - ENGINEERS  
VICTORIA NANAIMO PARKSVILLE  
PHONE: 250-727-2214 FAX: 250-727-3395







**LEGEND**

Property line  
Statutory Right of Way (SRW)  
Extent of Parkade (below) (reference only)  
Building Outline (above) (reference only)  
Rain garden - TOP OF POOL  
Rain garden - BOTTOM OF POOL

**UNDERGROUND UTILITIES**

| EXISTING |             | PROPOSED |
|----------|-------------|----------|
|          | Storm drain |          |
|          | Sewer       |          |
|          | Water       |          |
|          | Electrical  |          |
|          | Gas         |          |

**LANDSCAPE MATERIALS**

- Solid Fence, 1.8m height, wood construction
- Metal, vertical picket fence (1m high) or guardrail (to BC Building Code requirements) c/w controlled access gate where indicated.
- Cast in Place Concrete Wall, height varies
- Unit Paving
- Permeable Unit Paving
- Cast in place concrete paving
- Granular Path
- Ornamental Planting Area
- Rain Garden Area

**LANDSCAPE FURNISHINGS**

- Custom Seating Bench
- Modular Street Furniture Elements
- Tree Grate
- Bike Rack (2 bike capacity)

**EXISTING TREE SUMMARY**

**Existing Trees Retained**

Existing Bylaw Protected Trees Retained (3)

Refer L1.02 Tree Retention and Removal Plan for additional information.

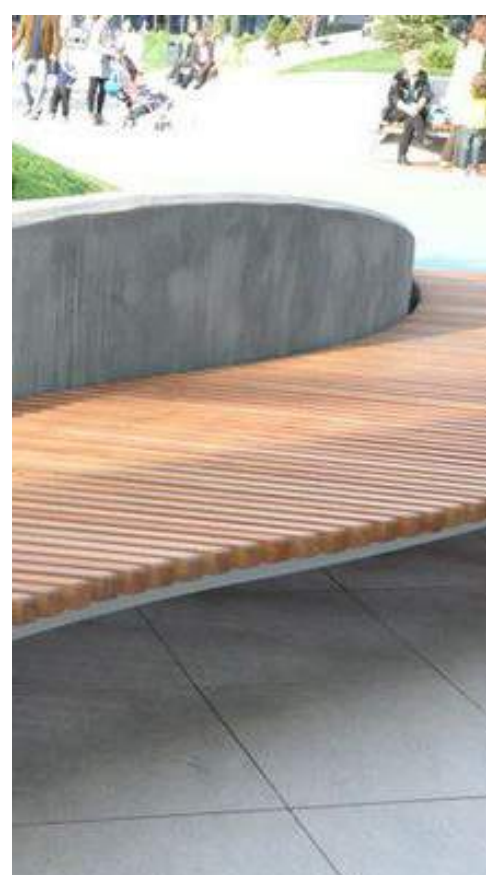


- IRRIGATION AND LIGHTING NOTES**
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
  - Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
  - Arborist to address sleeving of irrigation lines in protected root zone (PRZ) of existing trees.
  - Placement of electrical conduit through site to be coordinated with arborist.
  - Arborist to be onsite and supervise all excavation/trenching within PRZ of retained trees.

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EXAMPLARY MODULAR STREET FURNITURE ELEMENTS



EXAMPLARY CUSTOM STREET FURNITURE ELEMENT



ON STREET RAIN GARDEN



STREET TREES IN TREE GRATES



PERMEABLE PAVING EXAMPLE

\* These images are to show design intent, for internal project use only and not for marketing purposes. Individual images are subject to copyright. \*

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Phone: 250.412.2991  
Fax: 250.412.2992

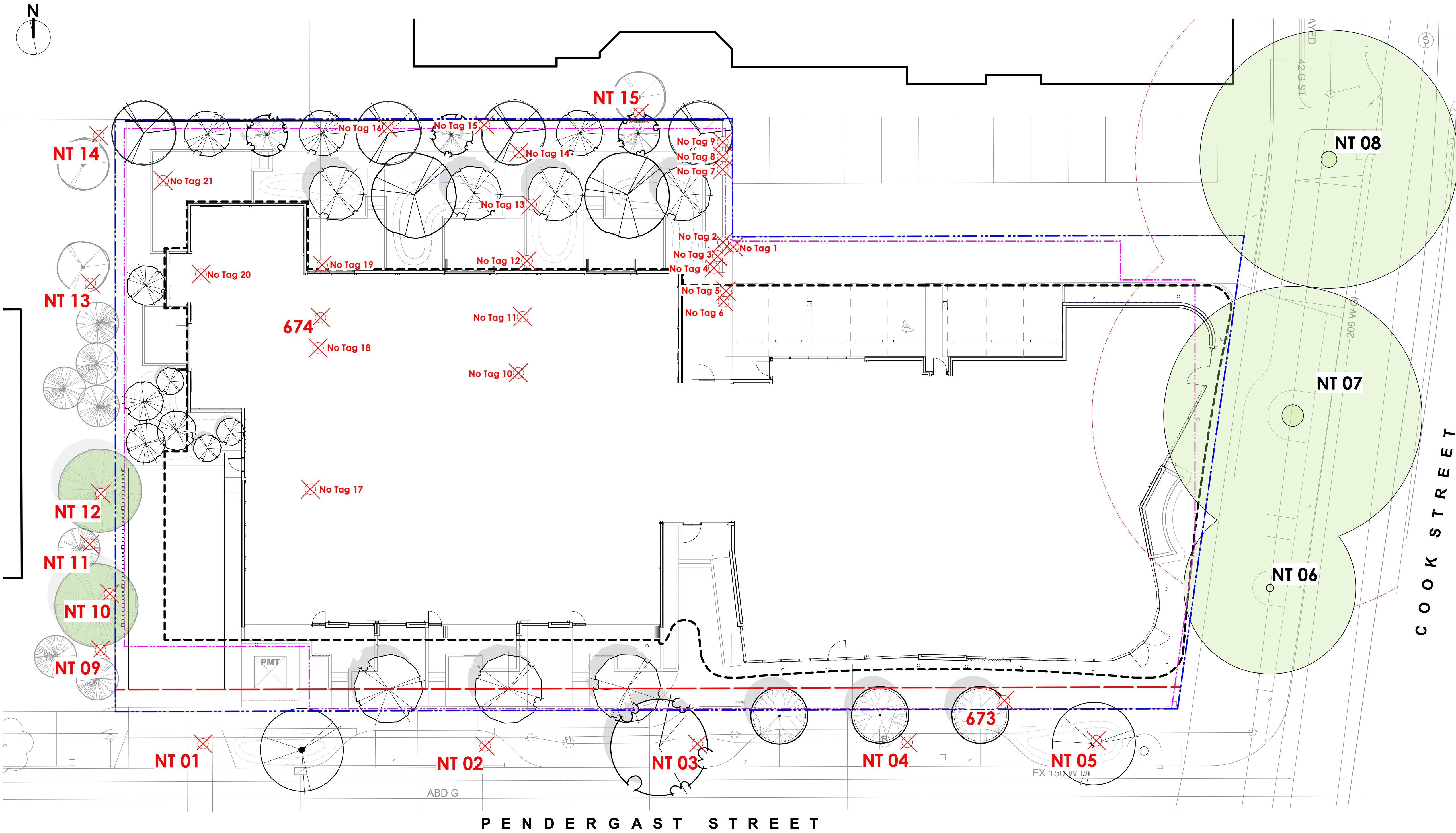
client  
ARAGON PROPERTIES LTD.  
201-1628 WEST 1ST AVENUE  
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project  
328 COOK STREET  
324/238 COOK STREET &  
1044-1054 PENDERGAST STREET  
VICTORIA, BC

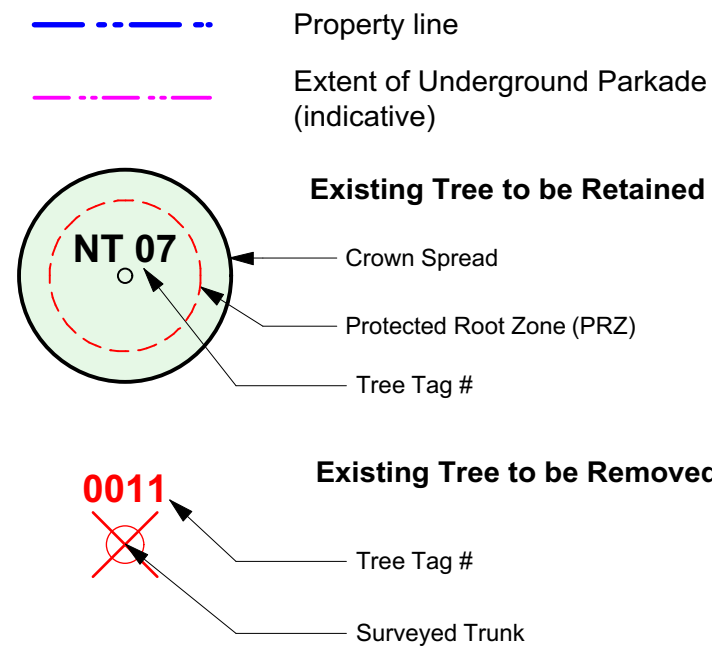
sheet title  
**Landscape Materials Plan**

|              |                 |
|--------------|-----------------|
| project no.  | 117.28          |
| scale        | 1:150 @ 24"x36" |
| drawn by     | MDI             |
| checked by   | SM/PdG          |
| revision no. | sheet no.       |
|              | <b>L1.01</b>    |





## LEGEND



Replacement Tree ratio = 2:1 as per City of Victoria bylaws. Refer L3.01 / .02 Planting Plans for additional information.

## EXISTING TREE SUMMARY

- Existing Condition: 38 trees on development lands, bordering neighboring properties and interfacing municipal road R.O.W.s.
- Retention of 3 Horse Chestnut Trees on Cook Street and removal 35 other trees. Removed trees include: 23 trees within development lands, 2 of which are Bylaw Protected, 7 neighbouring trees in close proximity to property lines and 5 municipal Cherry trees on Pendergast Street.
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client

ARAGON PROPERTIES LTD.  
201-1628 WEST 1ST AVENUE  
VANCOUVER, BC

project

328 COOK STREET  
324/238 COOK STREET &  
1044-1054 PENDERGAST  
STREET  
VICTORIA, BC

sheet title

Tree Retention and  
Removal Plan

|              |                 |
|--------------|-----------------|
| project no.  | 117.28          |
| scale        | 1:150 @ 24"x36" |
| drawn by     | MDI             |
| checked by   | SM/PdG          |
| revision no. | sheet no.       |



L1.02

## EXISTING TREE INVENTORY

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| No Tag 15  | -        | -                 | Fraxinus spp., Ash spp.                | -                |
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| No Tag 17  | -        | -                 | Cedar spp., Cedar cultivar             | -                |
| No Tag 18  | -        | -                 | Crataegus spp., Hawthorne spp.         | -                |
| No Tag 19  | -        | -                 | Prunus spp., Cherry                    | -                |
| No Tag 20  | -        | -                 | Cupressus x leylandii, Leyland Cypress | -                |
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OTHER TREES TO BE REMOVED: 33

TOTAL TREES TO BE REMOVED: 35

Bylaw protected trees are shown underlined

\* Offsite trees with PRZ extending into the project site.

NEW TREES ONSITE: 32

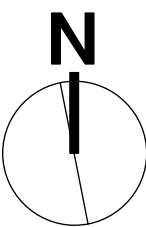
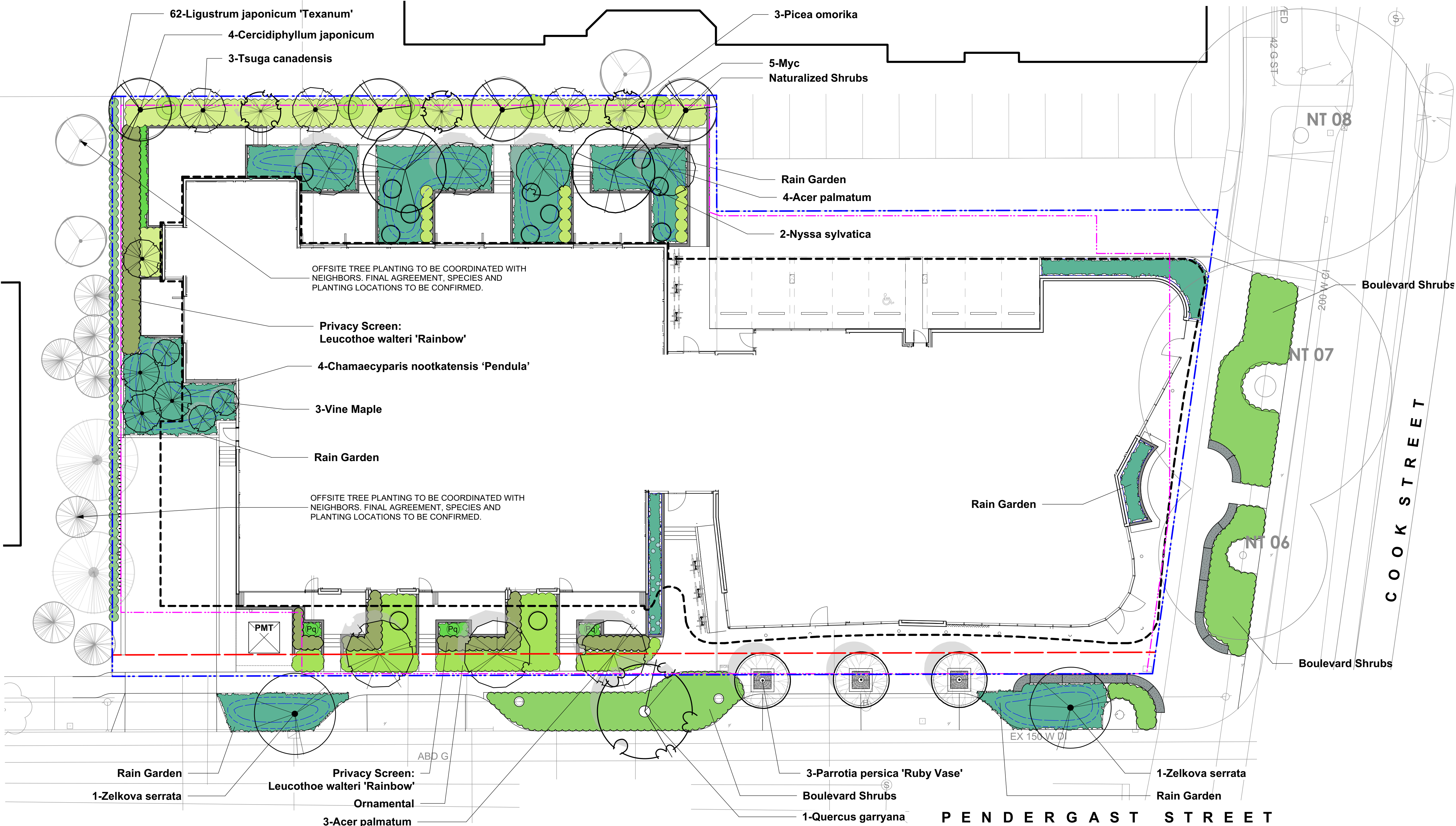
NEW TREES ON NEIGHBORING PROPERTIES: 12

TOTAL NEW TREES: 44









NOT FOR CONSTRUCTION

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324/238 COOK STREET &  
1044-1054 PENDERGAST  
STREET  
VICTORIA, BC

sheet title  
Planting Plan and  
Plant List

|              |                 |
|--------------|-----------------|
| project no.  | 117.28          |
| scale        | 1:150 @ 24"x36" |
| drawn by     | MDI             |
| checked by   | SM/PdG          |
| revision no. | sheet no.       |
| 1            | L3.01           |

| Sym                            | Qty | Botanical Name                       | Common Name                | Schd. Size / Plant Spacing    |
|--------------------------------|-----|--------------------------------------|----------------------------|-------------------------------|
| <b>PLANT LIST</b>              |     |                                      |                            |                               |
| <b>TREES:</b>                  |     |                                      |                            |                               |
| 3                              |     | Acer circinatum                      | Vine Maple                 | 3.0m ht, multi-stem (3 trunk) |
| 7                              |     | Acer palmatum                        | Japanese Maple             | 3.0m ht, b&b                  |
| 4                              |     | Cercidiphyllum japonicum             | Katsura Tree               | 5.0cm cal, b&b                |
| 4                              |     | Chamaecyparis nootkatensis 'Pendula' | Nootka False Cypress       | 5.0m ht                       |
| 2                              |     | Nyssa sylvatica                      | Tupelo                     | 5.0cm cal, b&b                |
| 3                              |     | Parrotia persica 'Ruby Vase'         | Ruby Vase Persian Ironwood | 5.0cm cal, b&b                |
| 3                              |     | Picea omorika                        | Siberian Spruce            | 4.0m ht                       |
| 1                              |     | Quercus garryana                     | Garry Oak                  | 5.0cm cal, b&b                |
| 3                              |     | Tsuga canadensis                     | Canadian Hemlock           | 5.0m ht                       |
| 2                              |     | Zelkova serrata                      | Japanese Zelkova           | 5.0cm cal, b&b                |
| 0                              |     |                                      |                            |                               |
| <b>ORNAMENTAL:</b>             |     |                                      |                            |                               |
| Brs                            | 16  | Brachyglottis 'sunshine'             | Brachyglottis 'sunshine'   | #3 pot                        |
| Cht                            | 15  | Choisya ternata                      | Mexican Orange             | #2 pot                        |
| Cl                             | 37  | Cistus x corbariensis                | Rock Rose                  | #2 pot                        |
| Hto                            | 37  | Hebe topiaria                        | Topiariat's hebe           | #1 pot                        |
| Lwr                            | 99  | Leucothoe walteri 'Rainbow'          | Rainbow Leucothoe          | #3 pot                        |
| Ljt                            | 62  | Ligustrum japonicum 'Texanum'        | Waxleaf Privet             | #3 pot                        |
| Myc                            | 5   | Myrica californica                   | Pacific Wax Myrtle         | #3 pot                        |
| Pcu                            | 33  | Prostanthera cuneata                 | Mint Bush                  | #1 pot                        |
| Rhc                            | 12  | Rhododendron spp.                    | Large Rhododendron         | Min 5' ht, b+b                |
| 0                              |     |                                      |                            |                               |
| <b>PERENNIALS &amp; VINES:</b> |     |                                      |                            |                               |
| Hdo                            | 8   | Hemerocallis 'Stella de Oro'         | Dwarf Yellow Daylily       | #1 pot                        |
| Lsp                            | 9   | Liatris spicata                      | Spiked Gayfeather          | #1 pot                        |
| Lim                            | 8   | Liriope muscari                      | Lily turf                  | #1 pot                        |
| Pq                             | 3   | Parthenocissus quinquefolia          | Virginia Creeper           | #2 pot                        |
| Rf                             | 9   | Rudbeckia fulgida                    | Black-Eyed Susan           | #1 pot                        |
| 0                              |     |                                      |                            |                               |

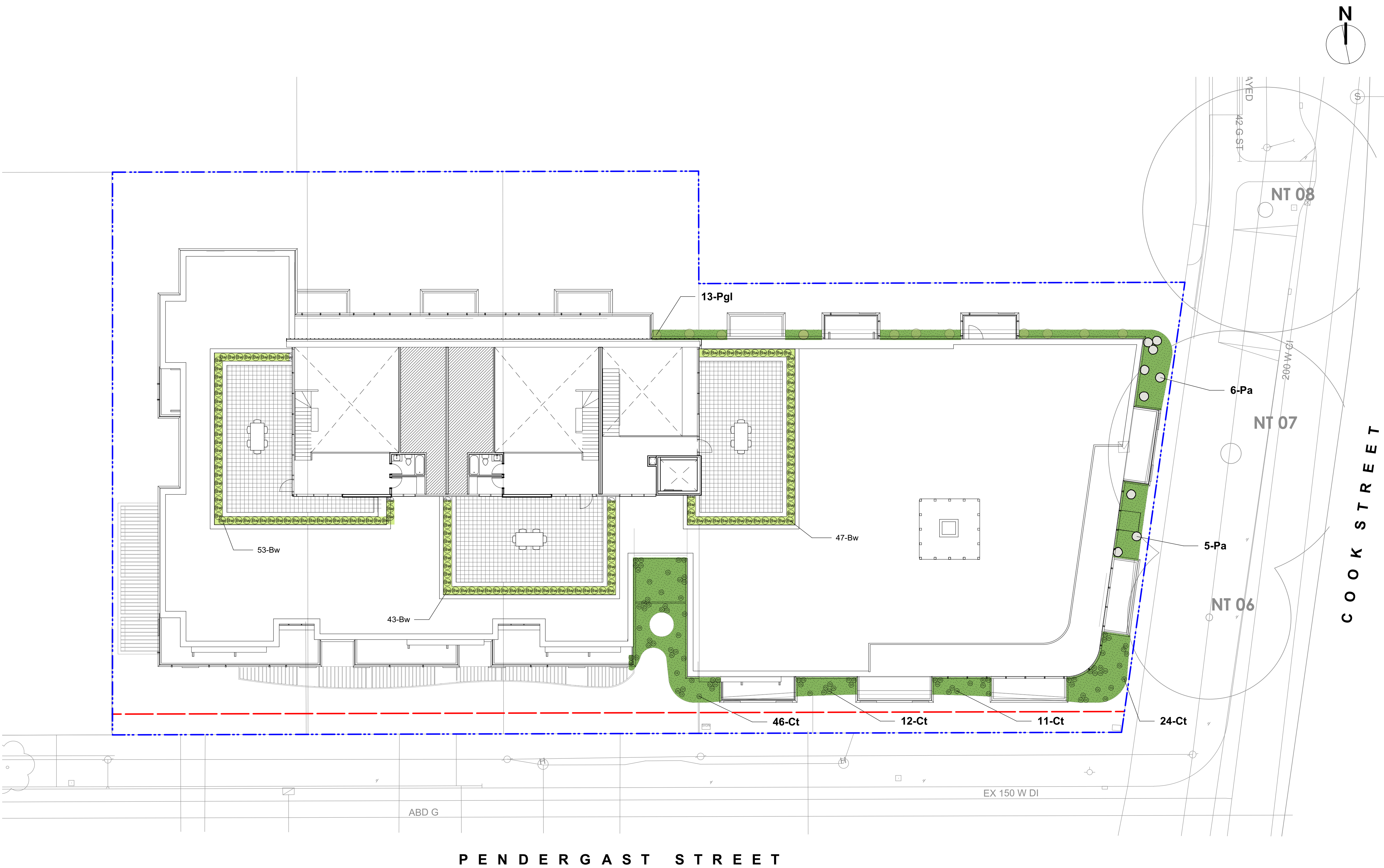
|                               |     |                                       |                          |        |
|-------------------------------|-----|---------------------------------------|--------------------------|--------|
| <b>NATURALIZED:</b>           |     |                                       |                          |        |
| Csc                           | 14  | Cornus sericea                        | Red-twig Dogwood         | #1 pot |
| Ma                            | 20  | Mahonia aquifolium                    | Oregon Grape             | #2 pot |
| Po                            | 2   | Physocarpus opulifolius 'Diablo'      | Diablo Ninebark          | #5 pot |
| Pm                            | 21  | Polystichum munitum                   | Sword Fern               | #1 pot |
| Rs                            | 5   | Ribes sanguineum                      | Red Flowering Currant    | #3 pot |
| Sa                            | 18  | Symphoricarpos alba                   | Snowberry                | #1 pot |
| 0                             |     |                                       |                          |        |
| <b>RAINGARDEN:</b>            |     |                                       |                          |        |
| Aff                           | 44  | Athyrium filix-femina var. cyclosorum | Northwestern Lady Fern   | #1 pot |
| Cm                            | 45  | Carex morrowii 'Ice Dance'            | Japanese Sedge Grass     | Sp3    |
| Co                            | 241 | Carex obnupta                         | Slough Sedge             | #1 pot |
| Ctp                           | 49  | Carex testacea 'Prairie Fire'         | Prairie Fire Sedge       | Sp3    |
| Gsh                           | 74  | Gaultheria shallon                    | Salal                    | #1 pot |
| Is                            | 83  | Iris tenax                            | Oregon Iris              | #1 pot |
| Jcg                           | 49  | Juncus 'Carmen's Grey'                | Soft Common Rush         | Sp3    |
| Lim                           | 49  | Liriope muscari                       | Lily turf                | #1 pot |
| Ma                            | 9   | Mahonia aquifolium                    | Oregon Grape             | #2 pot |
| Pm                            | 27  | Polystichum munitum                   | Sword Fern               | #1 pot |
| Sco                           | 21  | Schizostylis coccinea 'Oregon Sunset' | Crimson Flag             | #1 pot |
| Vo                            | 10  | Vaccinium ovatum 'Thunderbird'        | Evergreen Huckleberry    | #3 pot |
| Vbo                           | 9   | Verbena bonariensis                   | Tall Verbena             | #1 pot |
| 0                             |     |                                       |                          |        |
| <b>BOULEVARD:</b>             |     |                                       |                          |        |
| Brs                           | 28  | Brachyglottis 'sunshine'              | Brachyglottis 'sunshine' | #3 pot |
| Cs                            | 30  | Cistus salvifolius                    | Sageleaf Rock Rose       | #1 pot |
| Lp                            | 41  | Lonicera pileata                      | Privet Honeysuckle       | #2 pot |
| 0                             |     |                                       |                          |        |
| <b>BOULEVARD RAIN GARDEN:</b> |     |                                       |                          |        |
| Jcg                           | 152 | Juncus 'Carmen's Grey'                | Soft Common Rush         | Sp3    |
| Lp                            | 19  | Lonicera pileata                      | Privet Honeysuckle       | #2 pot |
| 0                             |     |                                       |                          |        |

- PLANTING NOTES**
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
  - Offsite trees in municipal lands to be coordinated with City of Victoria Parks staff for species, size, and final planting locations, prior to planting.
  - (4) proposed trees will be designated as bylaw protected trees. This will be shown on the Building Permit drawings.

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
  - All plan dimensions in metres and all detail dimensions in millimetres.
  - Plant quantities on Plans shall take precedence over plant list quantities.
  - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
  - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
  - Contractor to provide irrigation system for all planters and green roofs to current IABC Standards and Contract Specifications.
  - Landscape installation to carry a 1 year warranty from date of acceptance.
  - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
  - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
  - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work







LEGEND

Property line

LANDSCAPE MATERIALS

Unit Paving

Ornamental Planting Area

Green Roof (L2 CRU Canopy)

NOT FOR CONSTRUCTION

|  |  |  |
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|--------|-------------|------------|
| 1      | DP          | 27.02.2018 |
| rev no | description | date       |

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project  
328 COOK STREET  
324/238 COOK STREET &  
1044-1054 PENDERGAST  
STREET  
VICTORIA, BC

sheet title  
Roof and Rooftop  
Landscape and  
Planting Plan

|             |                 |
|-------------|-----------------|
| project no. | 117.28          |
| scale       | 1:150 @ 24"x36" |
| drawn by    | MDI             |
| checked by  | SM/PdG          |

|              |           |
|--------------|-----------|
| revision no. | sheet no. |
| 1            | L3.02     |

| PLANT LIST - GREEN ROOF AND ROOF TERRACES |     |                                   |                    |                            |
|---|-----|-----------------------------------|--------------------|----------------------------|
| Sym                                       | Qty | Botanical Name                    | Common Name        | Schd. Size / Plant Spacing |
| SHRUBS:                                   |     |                                   |                    |                            |
| Bw  | 143 | Buxus microphylla 'Winter Gem'    | Littleleaf Boxwood | #1 pot                     |
| Ct  | 81  | Carex testacea                    | Orange Sedge       | #1 pot                     |
| Pa  | 11  | Pennisetum alopecuroides 'Hameln' | Fountain Grass     | #1 pot                     |
| Pgl                                       | 13  | Polystichum glycyrrhiza           | Licorice Fern      | Sp3                        |

- PLANTING NOTES
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
  - Green roof to be proprietary sedum mat system interdispersed with grass species, ferns and bulbs.

- DRAWING NOTES
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
  - All plan dimensions in metres and all detail dimensions in millimetres.
  - Plant quantities on Plans shall take precedence over plant list quantities.
  - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
  - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
  - Contractor to provide irrigation system for all planters and green roofs to current IABC Standards and Contract Specifications.
  - Landscape installation to carry a 1 year warranty from date of acceptance.
  - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
  - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
  - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work