

Mixed Use Seniors Residential & Commercial Development

829-899 Fort Street & 846-856 Broughton Street, Victoria, B.C.

parc
retirement
living

PACIFIC ARBOUR SIX RESIDENCES LTD

bfa studio
architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(Formerly BESHARAT FRIARS ARCHITECTS)
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Revisions
Received Date:
March 2, 2022



ABBREVIATIONS LEGEND					
A.F.F.	ABOVE FINISHED FLOOR	MTL	METAL	ENCL	ENCLOSURE
A.B.	AIR BARRIER	NA	NOT APPLICABLE	EQ	EQUAL
ALUM	ALUMINUM	N.C.	NOT IN CONTRACT	EXT	EXTENSION
AS	AS SHOWN	N.F.S.	NOT TO SCALE	F.D.	FLOOR DRAIN
BD	BUILDING	O.C.	ON CENTRE	FCN	FOUNDATION
B.O.S.	BOTTOM OF SLAB	OPS	OPENING	FIN	FINISH
B.O.W.	BOTTOM OF WALL	P.A.S.	PERL & STICK	FLR	FLOOR
BUDS	BUILDING	PLYMD.	PLYWOOD	FTG.	FOOTING
C.B.	CATCH BASIN	PROFNL	PROCESSED	GA.	GARAGE
C.F.	CATCH BASIN	P.T.	POSSIBLE TREATMENT	GL	GLASS
C.F.	CATCH BASIN	P.L.	PROPERTY LINE	GR	GRASS
C.F.	CATCH BASIN	R.	RADIUS	GAB	GYPSEUM WALLBOARD
C.F.	CATCH BASIN	R.	RISER	H.C.	HANDICAPPED
C.F.	CATCH BASIN	R.W.L.	RAIN WATER LEADER	H.T.	HIGHT
C.F.	CATCH BASIN	REQD	REQUIRED	HORIZ	HORIZONTAL
C.F.	CATCH BASIN	REV	REVISION	H.B.	HIGH BAY
C.F.	CATCH BASIN	R & S	ROOF & SHEET	HR	HOUR
C.F.	CATCH BASIN	RL	ROUGH LINE	HWT	HOT WATER HEATER
C.F.	CATCH BASIN	R.O.	ROUGH OPENING	LN	LINE
C.F.	CATCH BASIN	STL	STEEL	MAX	MAXIMUM
C.F.	CATCH BASIN	STRUCT	STRUCTURAL	MECH	MECHANICAL
C.F.	CATCH BASIN	SPEC	SPECIFICATION	MEZZ	MEZZANINE
C.F.	CATCH BASIN	SF	SQUARE FEET	MIN	MINIMUM
C.F.	CATCH BASIN			MISC	MISCELLANEOUS
C.F.	CATCH BASIN			W.P.	WATERPROOF
C.F.	CATCH BASIN			WR	WASHROOM

PROJECT / CONSULTANT TEAM						
ARCHITECT	LAND SURVEYOR	LANDSCAPE ARCHITECT	COMMUNITY ENGAGEMENT	STRUCTURAL ENGINEER	MECHANICAL ENGINEER	ELECTRICAL ENGINEER
BESHARAT FRIARS ARCHITECTS #600 - 355 BURRARD ST. VANCOUVER, BC TEL: 604 662 6544	BRAD CUNNING LAND SURVEYOR #101-2610 DOUGLAS ST. VICTORIA, BC TEL: 250 381 2254	PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC. 500-1201 WEST PENDER ST. VANCOUVER, BC TEL: 604 686 6111	MARZOLF & ASSOCIATES STRATEGIC COMMUNICATIONS ULC 2697 YORK AVE VANCOUVER, BC TEL: 604 442 3211	RJC ENGINEERS 300-1285 WEST BROADWAY VANCOUVER, BC TEL: 604 736 0048	AME GROUP 721 JOHNSON ST. VICTORIA, BC TEL: 604 685 5081	AES ENGINEERING #300 - 1815 BLANSHARD ST. VICTORIA, BC TEL: 250 381 9121
GEOTECHNICAL ENGINEER	CODE CONSULTANT	TRAFFIC CONSULTANT	CIVIL ENGINEER	WIND CONSULTANT	ENVIRONMENTAL ENGINEER	LEED CONSULTANT
RYZUK GEOTECHNICAL 28 CREASE AVE. VICTORIA, BC TEL: 250 475 3131	LMDC BUILDING CODE CONSULTANTS LTD. 4th FLOOR - 780 BEATTY ST. VANCOUVER, BC TEL: 604 682 7140	BUNT & ASSOCIATES #421 - 645 FORT ST. VICTORIA, BC TEL: 604 685 9381	J.E. ANDERSON & ASSOCIATES 4212 GLANFORD AVENUE VICTORIA, BC TEL: 250 727 2214	ROWAN WILLIAMS DAVIES & IRWIN 650 WOODLAWN ROAD WEST GUELPH, ON TEL: 519 823 1311	ACTIVE EARTH ENGINEERING LTD. #160-2250 BOUNDARY ROAD BURNABY, BC TEL: 778 880 0064	MORRISON HERSHFIELD #310-4321 STILL CREEK DRIVE BURNABY, BC TEL: 604 454 0402

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REISSUED FOR REZONING & DP 24 NOVEMBER 2021	

BUILDING CLASSIFICATION & CONSTRUCTION REQUIREMENTS RELATIVE TO OCCUPANCY ^(a)		OTHER REQUIREMENTS ^(a)
Major Occupancies:	Group A, Div. 2; Group B, Div. 3; Group C; Group D; Group E; Group F, Div. 3	Travel Distance: 45 m maximum Exit Stair Rating: 2-hour
Applicable Articles:	3.2.2.23. Group A, Division 2: Any Height Any Area, Sprinklered 3.2.2.42. Group B, Division 3: Any Height, Any Area, Sprinklered 3.2.2.47. Group C: Any Height, Any Area, Sprinklered 3.2.2.54. Group D: Any Height, Any Area, Sprinklered 3.2.2.62. Group E: Any Height Any Area, Sprinklered 3.2.2.78. Group F, Division 3: Any Height Any Area, Sprinklered	Service Room Rating: (electrical/mechanical) 1.5-hour ^(b) for rooms located in the storage garage, otherwise 1-hour ^{(b)(c)} Fire Alarm: Single- or two-stage ^(d) Standpipe System: Required Emergency Power: Required in all exits/ access-to exits (2-hours) Emergency Lighting: Required Exit Signs: Required Panic hardware: Required Access for Disabled: Required
No. of Buildings:	2	Major Occupancy Separation: 2-hour between Group A-2 and Group B-3, 1-hour between B-2 and B-3, 1-hour between Group A-2 and Group C, 1½-hour between storage garage and adjacent occupancy
Building Height:	10 storeys	Fire Department Connections: 2 connections required per NFPA 14
No. of Streets:	3	
Sprinklers:	Required	
Construction:	Noncombustible required	
Bldg Area:	Approximately 4,650 m²	
Floor Rating:	2-hour fire-resistance rating ^(b)	
Mezzanine Rating:	1-hour fire-resistance rating	
Roof Rating:	2-hour fire-resistance rating for occupied roof decks	
Loadbearing:	Same rating as for supported assembly	
High building requirements:	Applicable	
<div>(a) Based on the 2018 BC Building Code. (b) Constructed as a fire separation. (c) 2- hour rated separation for an unsprinklered electrical room in accordance with NFPA 13. (d) Electronically monitored and supervised.</div>		

Project Information Table

- Zone (Existing) CA-2, CHP-OB, CHP-CR
- Proposed Zone Site Specific – TBD
- Proposed Uses Street Front Retail, Seniors Residential, Independent rental units and amenities, Medical offices, Music Wellness room and Licensed Childcare.
- Site Area 5,164 m2
- Total Floor Area (m2) 27,111 m2
- Retail Floor Area (m2) 900 m2
- Office Floor Area 304 m2
- Childcare Area 345 m2
- Residential Floor Area (m2) 17,223 m2 (Excluding Amenities, circulation, core etc.)
- Residential Floor Area (m2) 20,706 m2 (Including Amenities, excluding circulation, core etc.)
- Floor Space Ratio 5.25
- Site Coverage (%) 88.8%
- Open Site Space (%) 49%
- Height of Building (m) 31.62m to top of roof parapet
33.77m to top of mechanical enclosure
- Number of Storeys 1,6,7 & 10 (Level 11 is rooftop mechanical / service rooms only)
- Parking Stalls (Number on site)
 - Commercial, Offices, Daycare, Visitors 83
 - Residential 124
- Bicycle Parking Number (Class 1 and Class 2) 54+25=79 stalls including end of trip bicycle facilities for PARC staff, retail, and offices. In addition, 24 scooter stalls are provided for seniors.
- Building Setbacks
 - Fort Street Varies 0.00 m to 3.79 m
 - Quadra Street Varies 1.73 m (1.73 m SRW requested by Victoria transportation engineering) to 11.03 m
 - Broughton Street 1.65 m to 12.25 m
- Total Number of Rental Units: 280
- Seniors Independent Rental Unit Mix
 - Studio 29 units (10.4%)
 - 1 Bedroom 124 units (44.3%)
 - 1 Bedroom + Flex 38 units (13.6 %)
 - 2 Bedroom 85 units (30.4%)
 - 2 Bedroom + Flex 4 units (1.4%)
 - 3 Bedroom 0 units (0.0%)

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING & DP	18 SEP 2017
2	RE-DESIGNED FOR PERMITTING & DP	20 FEB 2017
3	RE-DESIGNED FOR ACP	02 APR 2018
4	RE-DESIGNED FOR PERMITTING & DP	18 JAN 2019
5	RE-DESIGNED FOR ACP	28 APR 2017
6	RE-DESIGNED FOR PERMITTING & DP	20 MAY 2019
7	RE-DESIGNED FOR PERMITTING & DP	20 MAY 2020
8	RE-DESIGNED FOR PERMITTING & DP	20 MAY 2021
9	RE-DESIGNED FOR PERMITTING & DP	20 MAY 2021

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[illegible]

AREA CALCULATIONS SUMMARY / SF																										
A	B	C	D=BxC	E	F	G	H	I	J	K	L	M	N	O=L+M+N	P	Q=E+F	R	S	T	U	V	W	X	Y=U+V+W+X	Z=S-Y	
																				EXCLUSION						
LEVEL	NUMBER OF FLOORS	UNIT COUNT	UNIT COUNT SUB TOTAL	NET COMMERCIAL (SF)	N/A	CHILD CARE (SF)	MEDICAL OFFICES (SF)	MEDICAL WASHROOMS	PARKING / LOADING / MECHANICAL LEVEL (SF)	COMM. GARBAGE/ RECYCLING & SERVICE RM (SF)	RES. GARBAGE/ RECYCLING & SERVICE RM (SF)	AMENITY (SF)	NET RESIDENTIAL UNITS (SF)	TOTAL RESIDENTIAL INC. RES GARBAGE/RECYCLING AREA/ FLOOR (SF)	TOTAL RESIDENTIAL AREA/ FLOOR (SM)	TOTAL COMM. AREA/ FLOOR (SF)	TOTAL COMM. AREA/ FLOOR (SM)	TOTAL GROSS (SF)	TOTAL GROSS (SM)	PARKING / LOADING (SF)	WALL THICKNESS (SF)	ASSUMED ELEVATOR SHAFTS (SF)	BICYCLE STORAGE (SF)	TOTAL EXCLUSIONS (SF)	TOTAL FSR (SF)	TOTAL FSR (SM)
MAIN LEVEL	1	0	0	9,695	0	215	215	0	13,760	386	944	16,279	0	17,223	1,600	9,695	901	49,356	4,585	13,760	484	546	252	15,042	34,314	3,188
PARTIAL MECHANICAL	0	0	0	0	0	0	0	0	4,977	0	0	0	0	0	0	0	0	4,977	462	0	322	0	0	322	4,655	432
LEVEL 2	1	16	16	0	0	3,501	2,612	440	0	0	0	17,225	11,442	28,667	2,663	0	0	41,693	3,873	0	657	546	0	1,203	40,490	3,762
LEVEL 3	1	41	41	0	0	0	0	0	0	0	0	0	27,577	27,577	2,562	0	0	33,581	3,120	0	905	433	0	1,338	32,243	2,995
LEVEL 4	1	40	40	0	0	0	0	0	0	0	0	294	26,690	26,984	2,507	0	0	32,851	3,052	0	900	433	0	1,333	31,518	2,928
LEVEL 5	1	40	40	0	0	0	0	0	0	0	0	0	26,863	26,863	2,496	0	0	32,851	3,052	0	900	433	0	1,333	31,518	2,928
LEVEL 6	1	40	40	0	0	0	0	0	0	0	0	0	26,862	26,862	2,496	0	0	32,851	3,052	0	900	433	0	1,333	31,518	2,928
LEVEL 7	1	34	34	0	0	0	0	0	0	0	0	0	22,902	22,902	2,128	0	0	28,807	2,676	0	904	433	0	1,337	27,470	2,552
LEVEL 8	1	25	25	0	0	0	0	0	0	0	0	982	16,294	17,276	1,605	0	0	21,950	2,039	0	850	433	0	1,283	20,667	1,920
LEVEL 9	1	25	25	0	0	0	0	0	0	0	0	0	16,516	16,516	1,534	0	0	20,938	1,945	0	809	433	0	1,242	19,696	1,830
LEVEL 10	1	19	19	0	0	0	0	0	0	0	0	0	12,192	12,192	1,133	0	0	16,092	1,495	0	657	433	0	1,090	15,002	1,394
ROOFTOP SERVICE ROOMS	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3,506	326	0	344	433	0	777	2,729	254
TOTAL			280	9,695	0	3,716	2,827	440	18,737	386	944	34,780	187,338	223,062	20,723	9,695	901	319,453	29,678	13,760	8,631	4,989	252	27,632	291,821	27,111
SITE AREA:			55,585 SF			5,164		3,267																		
TOTAL FSR:			291,821 SF			5,25																				
				901	SM	345	263	41	1,741	36	88	3,231	17,404													
							304																			

OFF STREET PARKING SUMMARY

	RATE/REQUIRED/BYLAW		PROVIDED	NOTES
RETAIL / PERSONAL SERVICE	1 PER 80 SM (861 SF)	11	11	PROVIDED ON P1 LEVEL
INDEPENDENT SENIORS UNITS	0.35 PER UNIT	93	93	
INDEPENDENT SENIORS UNITS-VISITORS	0.1 PER UNIT	27	27	
AFFORDABLE UNITS	0.2 PER UNIT	3	3	
AFFORDABLE UNITS-VISITORS	0.1 PER UNIT	1	1	
CHILD CARE	1 PER 100 SM (1076 SF)	3	3	ASSUMED & PROVIDED ON P1 LEVEL
MEDICAL OFFICES	1 PER 50 SM (538 SF)	6	6	BASED ON NET 3,272 SF, PROVIDED ON P1 LEVEL
CAFE	1 PER 40 SM (430,5 SF)	4	4	SOUTHEAST CORNER OF P1 LEVEL
ADDITIONAL PARKING STALLS			59	PROVIDED ON P1 LEVEL
TOTAL		144	207	
SCOOTER STALLS		0	24	PROVIDED ON LEVEL 1 FOR SENIORS SAFETY & CONVENIENCE

OFF STREET BICYCLE PARKING SUMMARY

	AREA	LONG TERM BICYLCE SPACES		SHORT TERM BICYLCE SPACES		NOTES
		REQUIRED/BYLAW SUPPLY	PROVIDED	REQUIRED/BYLAW	PROVIDED	
RETAIL	901 SM	1 PER 200 SM	5	5	1 PER 200 SM	5
INDEPENDENT SENIORS UNITS	286 UNITS	1 PER 20 UNITS	13	13	1 PER 50 UNITS	5
AFFORDABLE UNITS	14 UNITS		10	10	0.1/UNIT OR 6	2
CHILD CARE	345 SM	1 PER 700 SM	1	1	1 PER 200 SM	2
MEDICAL OFFICE	304 SM	1 PER 200 SM	2	2	1 PER 300 SM	1
ADDITIONAL BICYCLE STALLS			0	23		10
TOTAL			31	54		15

PARKING STALL SUMMARY

UNDERGROUND PARKING AREA SUMMARY / SF			
L1	2		SF
P1 - PUBLIC + SENIORS RESIDENCE	115	P1	53,500
P2 - SENIORS RESIDENCE	92	P2	53,500
TOTAL	209	TOTAL	107,000

NOTES:

- ALL AREAS AND CALCULATIONS ARE APPROXIMATE, & MAY BE ADJUSTED DURING WORKING DRAWINGS COORDINATION
- VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF VICTORIA BYLAWS
- VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC
- WALL THICKNESS EXCLUSION AREAS ARE APPROXIMATE AND WILL BE ADJUSTED BASED ON FINAL WALL ASSEMBLIES & REQUIRED ENERGY ANALYSIS

BUILDING HEIGHT DATA

PARC VICTORIA, VICTORIA, B.C.

October-29-2018

Average Grade: 73.19' (22.31m)

FORT MIDRISE / FORT BRIDGE / FORT QUADRA MIDRISE

LEVEL	Use	Elevation (Geodetic)	Clear floor height	Slab to Slab height	Total Height (from Ave. Grade)
1	Commercial	71.00' 21.64m	16'-0" 4.88m	16'-8" 5.08m	NA
2	Daycare / Offices	87.67' 26.72m	12'-0" 3.66m	12'-8" 3.86m	14.50' 4.41m
3	Residential Units	100.33' 30.58m	8'-0" 2.44m	8'-8" 2.64m	27.16' 8.27m
4	Residential Units	109.00' 33.22m	8'-0" 2.44m	8'-8" 2.64m	35.83' 10.91m
5	Residential Units	117.67' 35.86m	8'-0" 2.44m	8'-8" 2.64m	44.50' 13.56m
6	Residential Units	126.33' 38.51m	9'-0" 2.74m	9'-8" 2.95m	53.16' 16.20m
7	Residential Units	136.00' 41.45m	9'-0" 2.74m	9'-8" 2.95m	62.83' 19.14m
8	Residential Units	145.67' 44.40m	9'-0" 2.74m	9'-8" 2.95m	72.50' 22.09m
9	Residential Units	155.33' 47.35m	9'-0" 2.74m	9'-8" 2.95m	82.16' 25.04m
10	Penthouse Units	165.00' 50.29m	8'-3" 2.51m	8'-11" 2.72m	91.83' 27.98m
	T.O. Roof Slab	173.92' 53.01m			100.73' 30.70m
	T.O. Roof Parapet	176.92' 53.93m			103.75' 31.62m
11	T.O. Mech. Enclosure	184.00' 56.08m			110.83' 33.77m

QUADRA BRIDGE / BROUGHTON MIDRISE

LEVEL	Use	Elevation (Geodetic)	Clear floor height	Slab to Slab height	Total Height (from Ave. Grade)
1	Commercial	75.00' 22.86m	12'-0" 3.66m	12'-8" 3.86m	1.83' 0.55m
2	Amenities	87.67' 26.72m	12'-0" 3.66m	12'-8" 3.86m	14.50' 4.41m
2 RES	Residential Units	91.67' 27.94m	8'-0" 2.44m	8'-8" 2.64m	18.50' 5.63m
3	Residential Units	100.33' 30.58m	8'-0" 2.44m	8'-8" 2.64m	27.16' 8.27m
4	Residential Units	109.00' 33.22m	8'-0" 2.44m	8'-8" 2.64m	35.83' 10.91m
5	Residential Units	117.67' 35.86m	8'-0" 2.44m	8'-8" 2.64m	44.50' 13.56m
6	Residential Units	126.33' 38.51m	9'-0" 2.74m	9'-8" 2.95m	53.16' 16.20m
7	Residential Units	136.00' 41.45m	9'-0" 2.74m	9'-8" 2.95m	62.83' 19.14m
8	Residential Units	145.67' 44.40m	9'-0" 2.74m	9'-8" 2.95m	72.50' 22.09m
9	Residential Units	154.33' 47.04m	9'-0" 2.74m	9'-8" 2.94m	82.16' 25.04m
10	Penthouse Units	164.00' 49.99m	8'-3" 2.51m	8'-11" 2.72m	91.83' 27.98m
	T.O. Roof Slab	173.92' 53.01m			100.73' 30.70m
	T.O. Roof Parapet	176.92' 53.93m			103.75' 31.62m
11	T.O. Mech. Enclosure	184.00' 56.08m			110.83' 33.77m

PARKING LEVELS

Level	Use	Elevation (Geodetic)	Notes
P2	Parking	50.00' 15.24m	Bottom of ramp elevation
P1	Parking	59.00' 17.98m	Bottom of ramp elevation

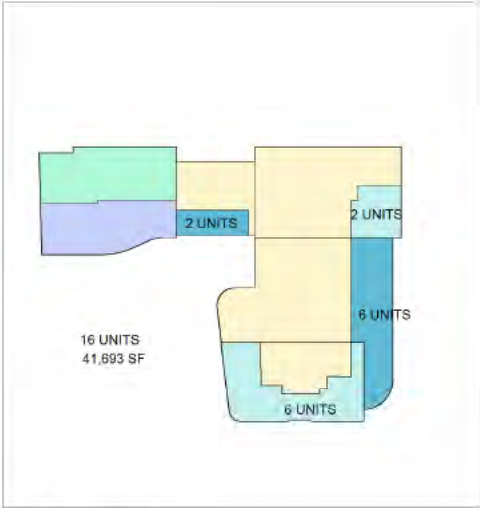
REVISIONS

REVISIONS	
REVISIONS FOR RECORDING & DP	18 SEP 2017
REVISIONS FOR RECORDING & DP	20 FEB 2018
REVISIONS FOR RFP	30 APR 2019
REVISIONS FOR RECORDING & DP	16 JAN 2019
REVISIONS FOR RFP	24 APR 2019
REVISIONS FOR RECORDING & DP	29 MAY 2018
REVISIONS FOR RECORDING & DP	29 JUL 2018
REVISIONS FOR RECORDING & DP	29 MAY 2017
REVISIONS FOR RECORDING & DP	24 NOV 2017

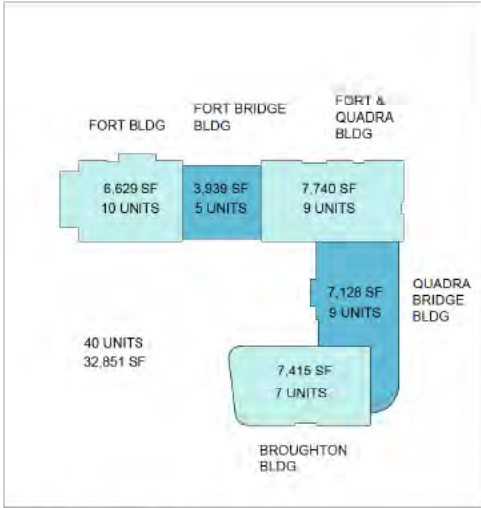


NOTE:
1. ALL ELEVATIONS ARE TAKEN FROM SURVEY DRAWING FILE
11282-16 PROVIDED BY BRAD CUNNINGHAM SURVEYOR

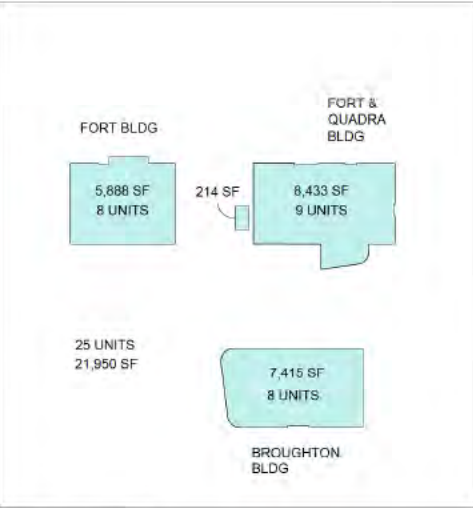
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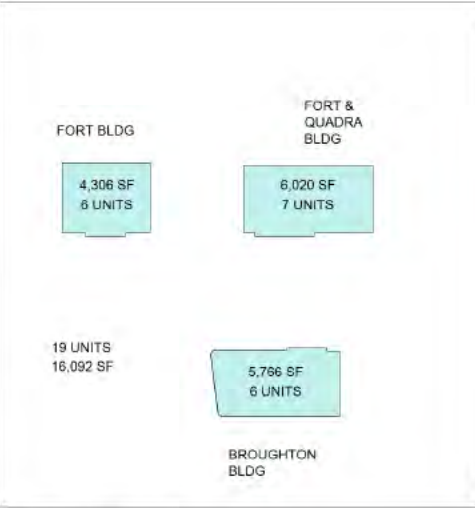
3 LEVEL 2



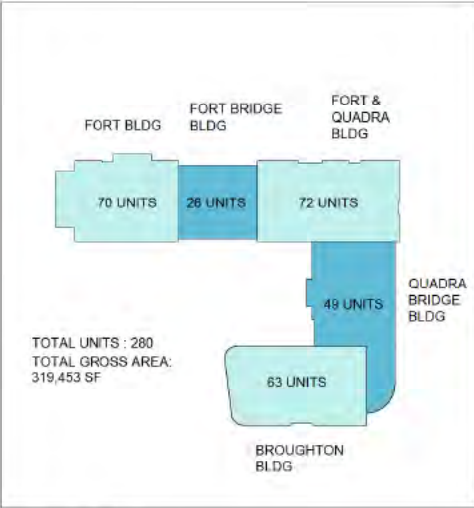
6 LEVEL 5



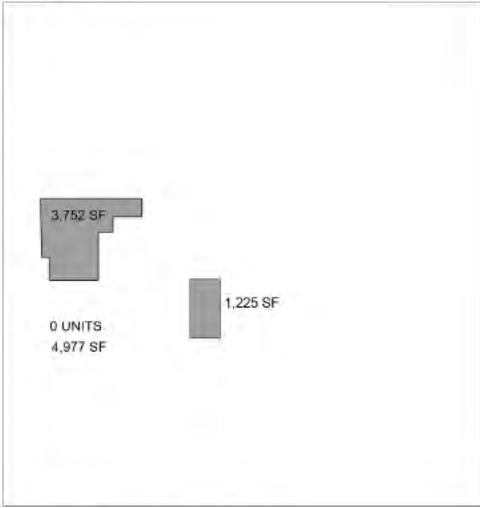
9 LEVEL 8



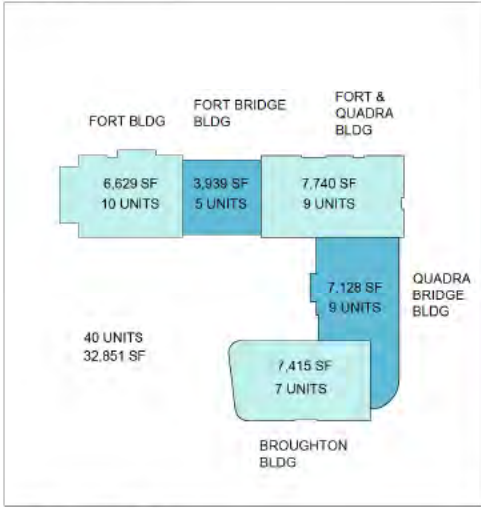
11 LEVEL 10



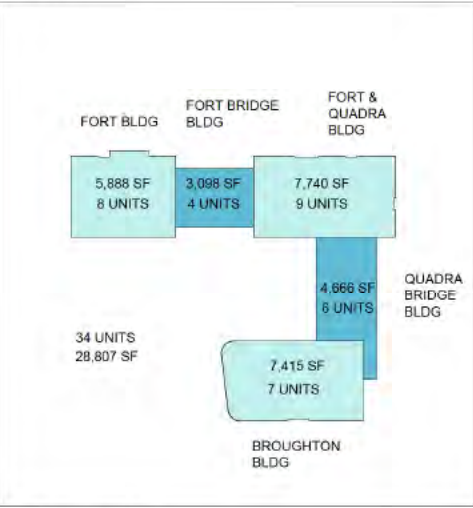
13 TOTAL



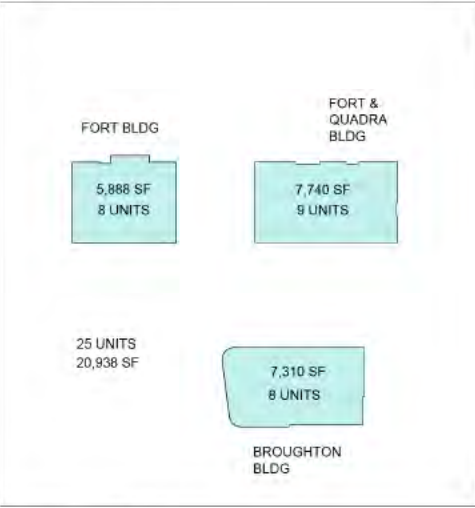
2 MECHANICAL LEVEL



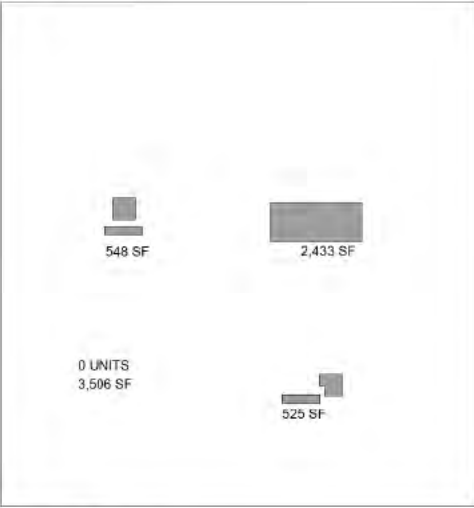
5 LEVEL 4



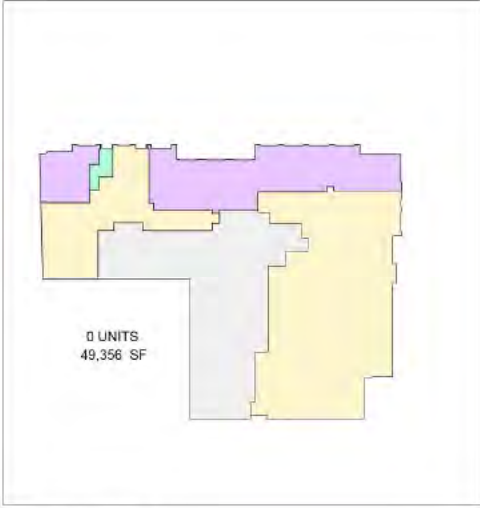
8 LEVEL 7



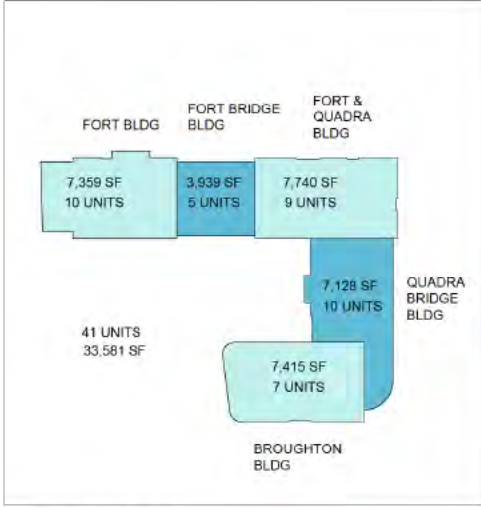
10 LEVEL 9



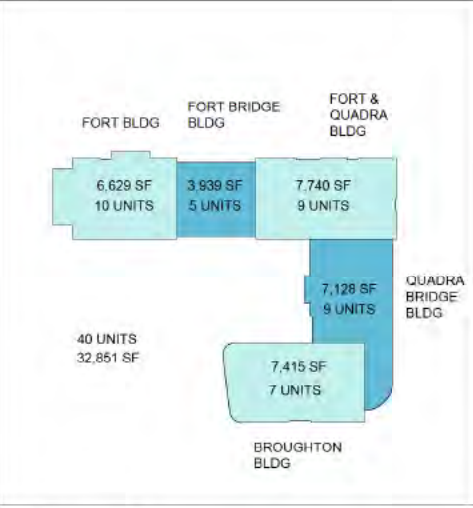
12 ROOF



1 LEVEL 1



4 LEVEL 3



7 LEVEL 6

BUILDING BREAKDOWN FLOOR AREA CALCULATIONS					
LEVEL	FORT BUILDING (SF)	FORT BRIDGE BUILDING (SF)	FORT / QUADRA BUILDING (SF)	QUADRA BRIDGE BUILDING (SF)	BROUGHTON BUILDING (SF)
1			49,356		
MECHANICAL			4,977		
2	9,315	3,939	9,017	11,984	7,438
3	7,359	3,939	7,740	7,128	7,415
4	6,629	3,939	7,740	7,128	7,415
5	6,629	3,939	7,740	7,128	7,415
6	6,629	3,939	7,740	7,128	7,415
7	5,888	3,098	7,740	4,866	7,415
8	5,888	214	8,433	0	7,415
9	5,888	0	7,740	0	7,310
10	4,306	0	6,020	0	5,766
ROOF	548	0	2,433	0	525
TOTAL					319,453

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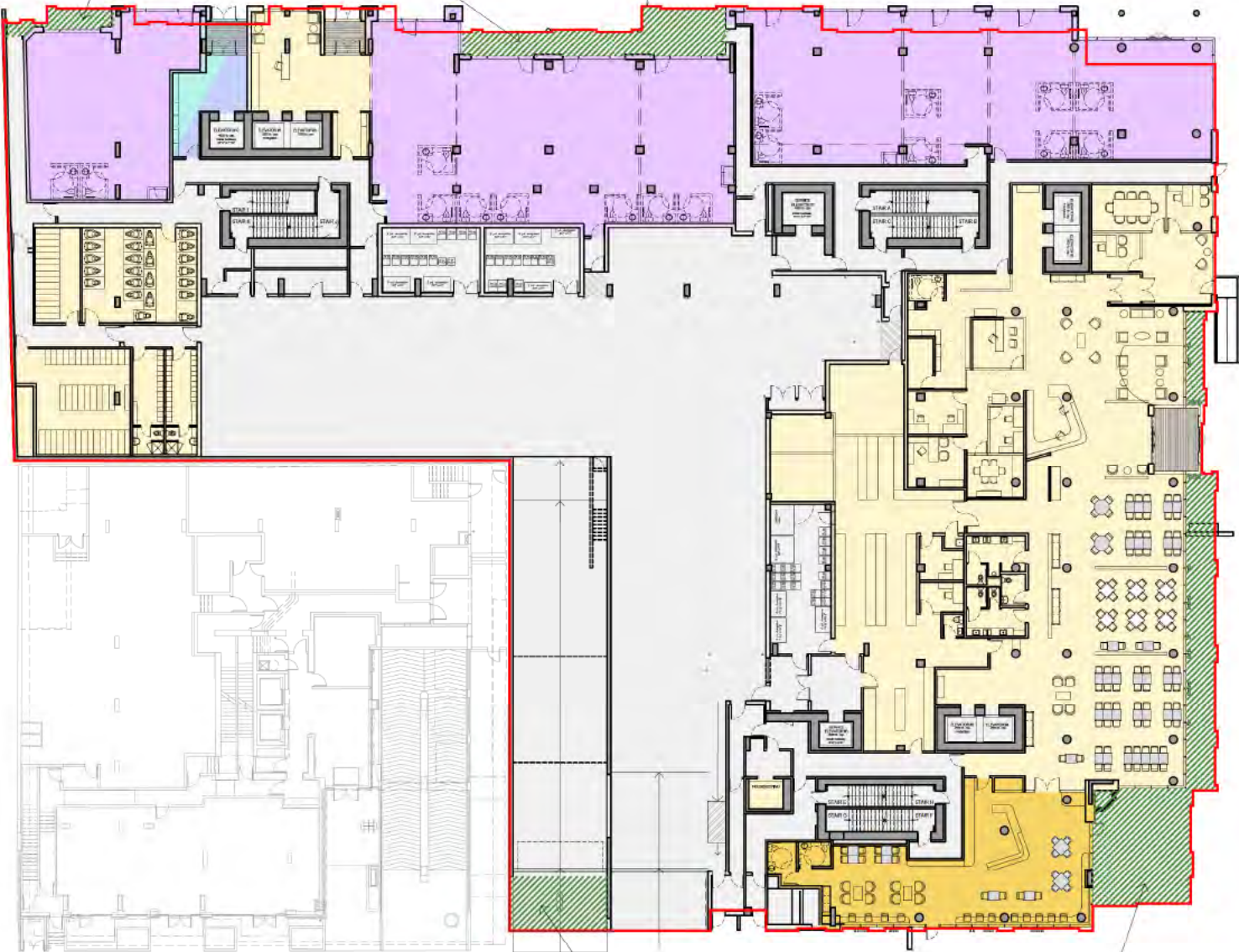
17420
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

AREA DIAGRAMS

A004
APR 2017
1/64" = 1'-0"

ADDITIONAL AREAS OF OPEN SPACE

LINE OF PREVIOUSLY SUBMITTED BUILDING FOOTPRINT



ADDITIONAL AREAS OF OPEN SPACE

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COMPARISON
DIAGRAM - LEVEL 1



A005

APR 2017

1/16" = 1'-0"



1 VIEW OF BUILDING NORTH-EAST AT FORT & QUADRA STREET



2 VIEW OF FORT STREET COMMERCIAL & RETAIL UNITS

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1 VIEW OF BUILDING SOUTH-EAST FROM PIONEER SQUARE



2 VIEW OF "GREEN CORRIDOR" & SOUTH-WEST VIEW FROM BROUGHTON STREET

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Mixed Use Seniors Residential & Commercial Development

3D PERSPECTIVES

A007

DATE: APR 2017

SCALE: N.T.S.



1 VIEW OF PROPOSED BUILDING GREEN ROOFS AND SURROUNDING CONTEXT

2 VIEW OF COURTYARD & GREEN ROOFS FROM ROOF OF ESCHER BUILDING



3 VIEW OF FORT BUILDING ENTRANCE AND ADJACENT BUILDING

4 VIEW OF SENIORS' COURTYARD ON LEVEL 2

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PROJECT NO. 17420

PROJECT PARC VICTORIA
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3D PERSPECTIVES

A008

DATE: APR 2017
 SCALE: N.T.S.



1 VIEW OF BROUGHTON AND QUADRA CORNER



2 VIEW OF CAFE ENTRANCE AT BROUGHTON



3 VIEW OF URBAN CAFE CORNER AT BROUGHTON AND QUADRA



4 VIEW OF MAIN ENTRANCE AT QUADRA

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9	RE-DESIGNED FOR PERCEIVING & CP	28 NOV 2021

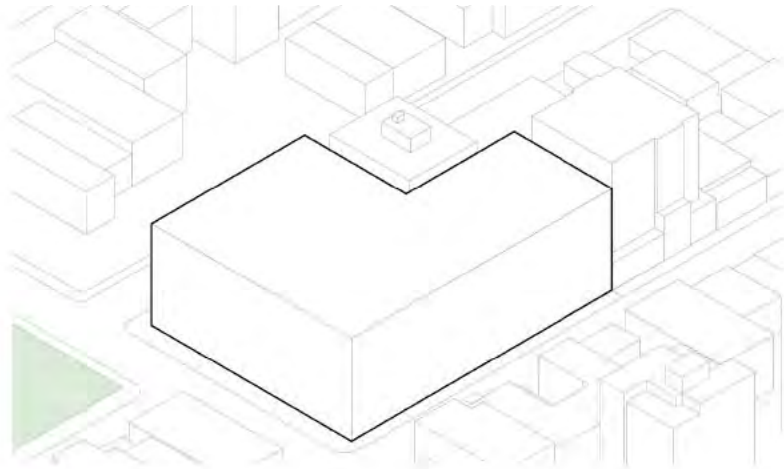
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3D PERSPECTIVES

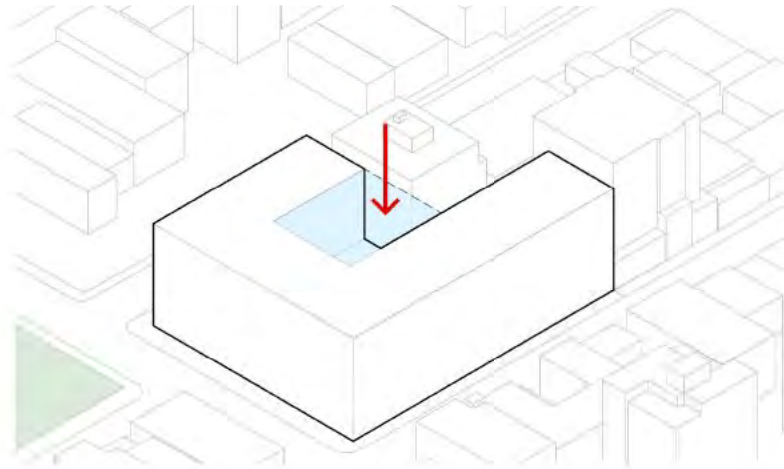
A009

APR 2017
 N.T.S.



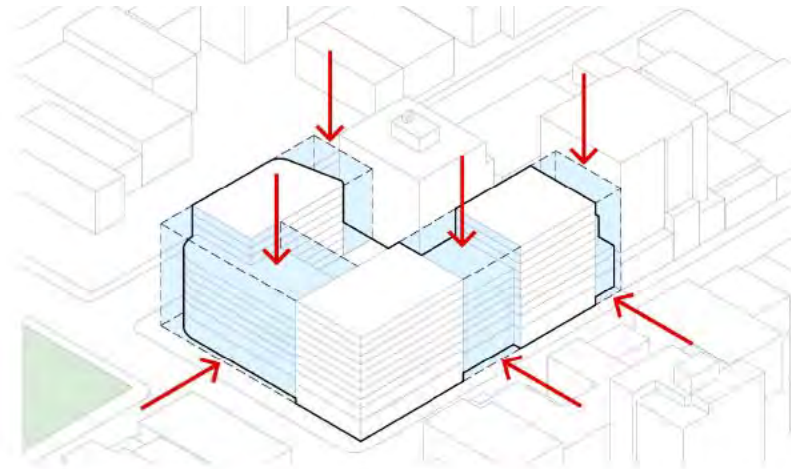
INITIAL MASSING POTENTIAL

Initial massing is created by taking the site footprint and extruding it up 30 m.



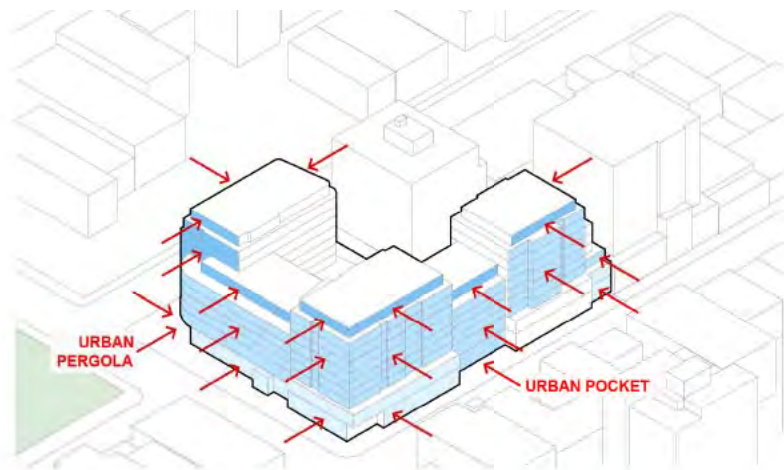
INTERNAL COURTYARD

An internal courtyard is created following extraction from the center of the initial massing.



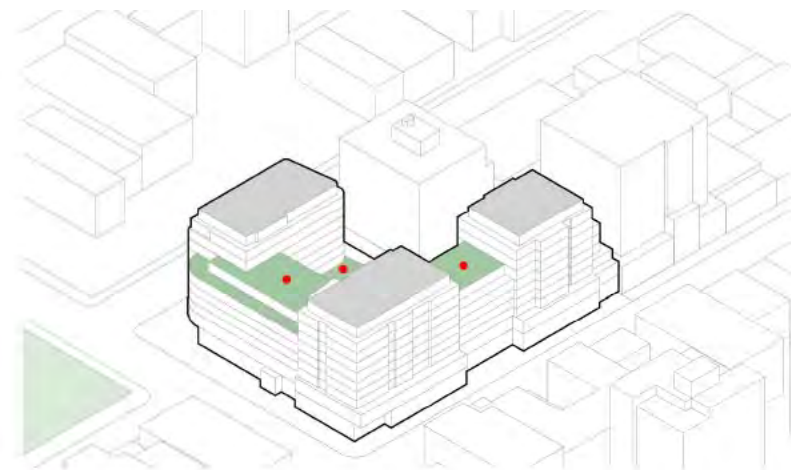
CARVE

The massing is carved in response to context to create view corridors and a sense of openness through the site.



STEPPED SETBACKS

The building is stepped back in response to City of Victoria guidelines and policies including the Downtown Core Area Plan as well as site context and existing and future urban fabric, creating a facade that acknowledges the scale of the neighbourhood. The southeast corner is articulated in reference to Pioneer Square and Christ Church Cathedral across the street.



GREEN ROOFS

Carving and mass reduction provide the opportunity for terraced green roofs. Rooftop amenity spaces offer residents the ability to enjoy year-round activities. These amenities will be accessible to the public at certain times of the day.

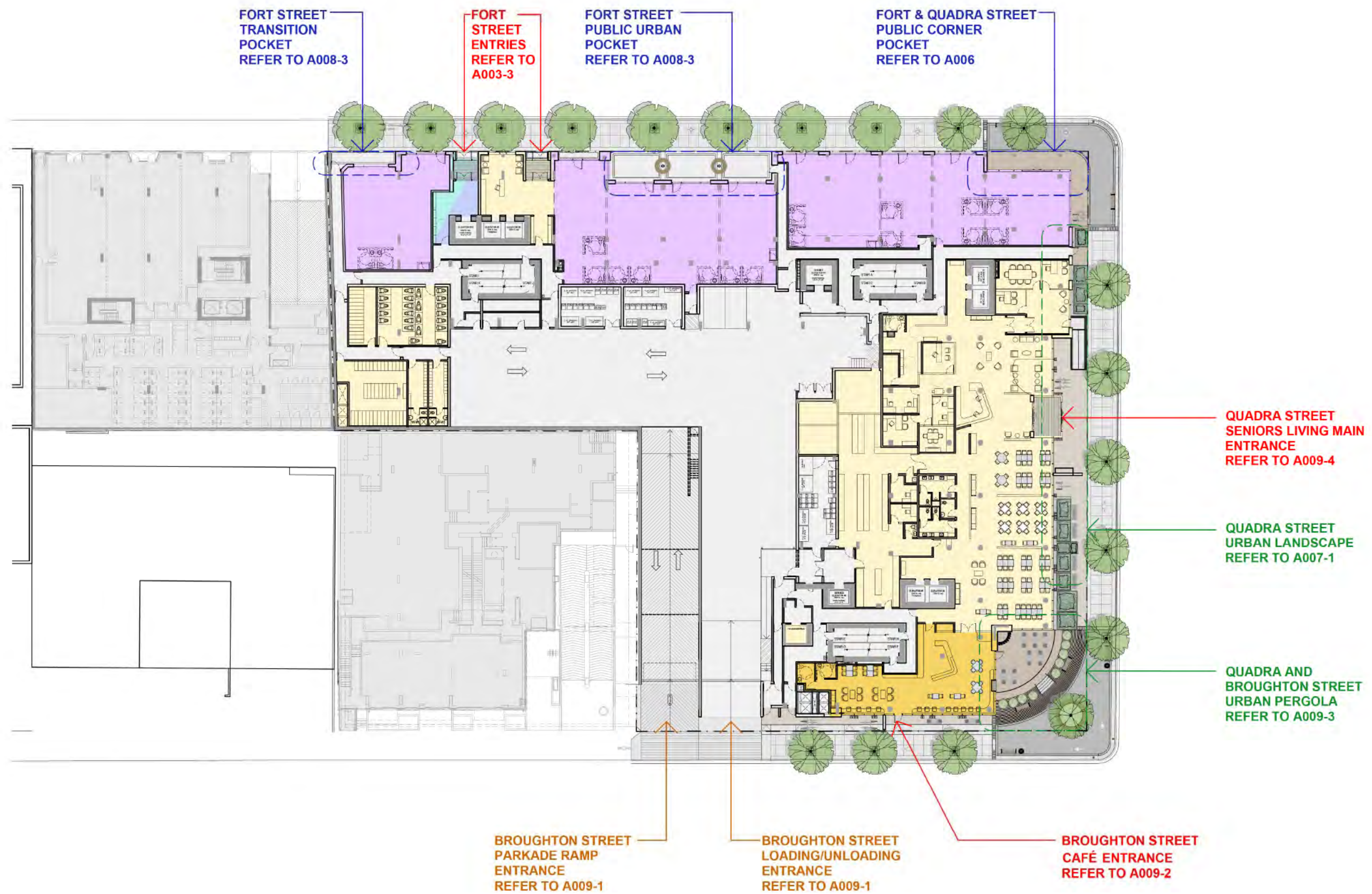
- Potential roof top PV panels / solar hot water collector
- Accessible green roof
- Roof top Amenity

REVISIONS

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FORM OF DEVELOPMENT -
STREETSCAPE

A011

APR 2017

N.T.S.



REVISIONS

REV.	DESCRIPTION	DATE
RE-DESIGNED FOR ADP		24 APR 2019
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FORM OF DEVELOPMENT -
MAIN LEVEL SETBACKS



A012

APR 2017

N.T.S.



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FORM OF DEVELOPMENT -
TYPICAL LEVEL SETBACKS



A013

APR 2017

N.T.S.



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AERIAL



A100

APR 2017

N.T.S.



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PROJECT NO. 17420

PROJECT PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DATE: 2024

CONTEXT PLAN

DATE: 2024

A101

DATE: APR 2017

SCALE: 1:500



1 AERIAL VIEW OF THE BUILDING & CONTEXT

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CONTEXT
3D VIEWS



A102

DATE: APR 2017
SCALE: 1:500



1 STREET VIEW AT FORT LOOKING WEST



2 STREET VIEW AT FORT LOOKING EAST

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CONTEXT
3D VIEWS

A103

APR 2017

1:500



1 STREET VIEW AT QUADRA LOOKING NORTH



2 STREET VIEW AT QUADRA LOOKING SOUTH

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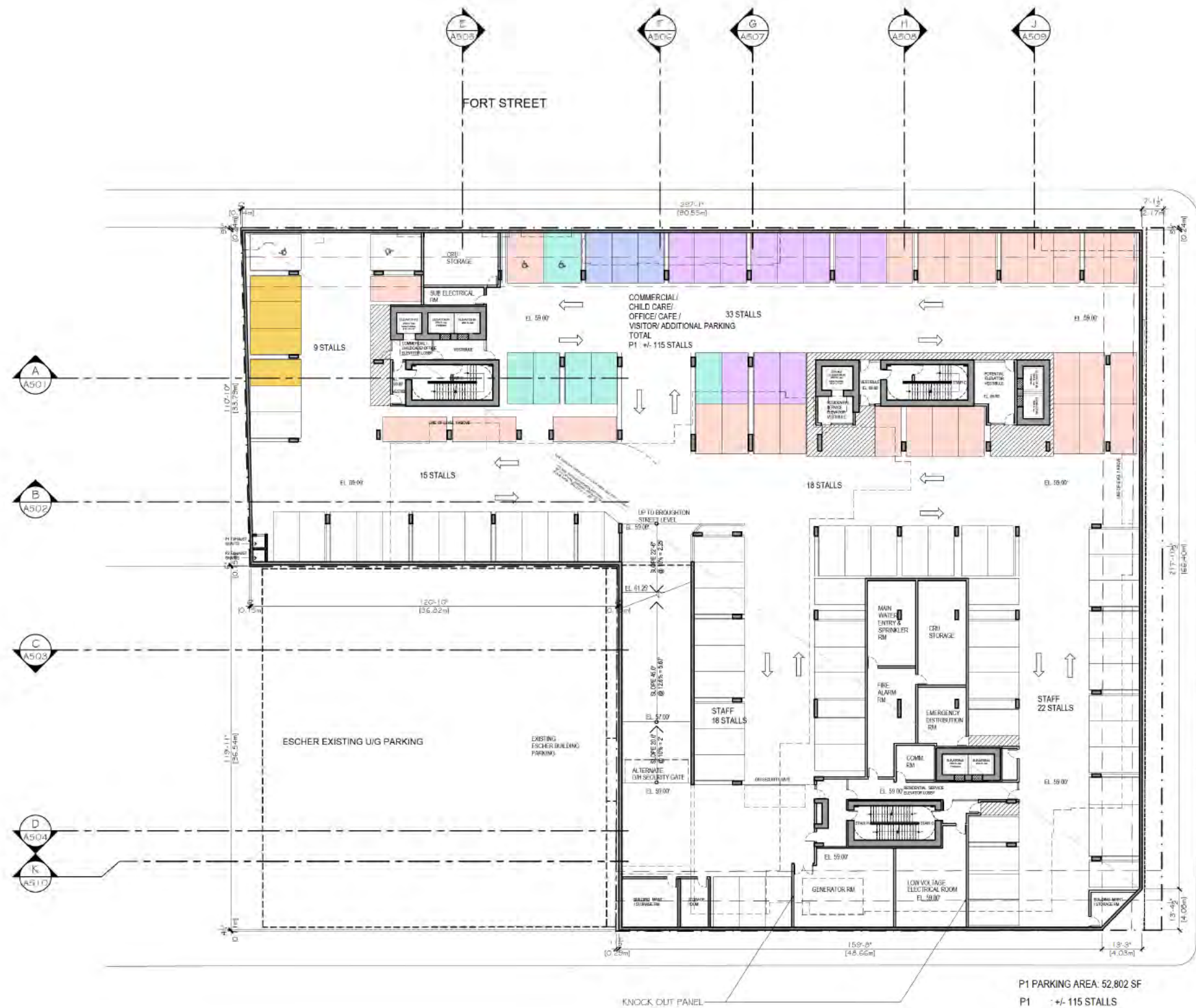
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DOCUMENT TYPE
 CONTEXT
 3D VIEWS

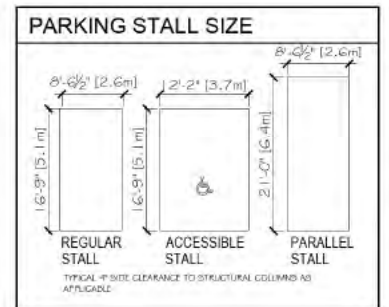
A104

DATE: APR 2017

SCALE: 1:500



P1 PARKING AREA: 52,802 SF
P1 +/- 115 STALLS
P2 +/- 92 STALLS
L1 +/- 2 STALLS
TOTAL +/- 209 STALLS



NOTES

- FOR DIMENSIONS OF PARKING STALLS, REFER DWG A300A - A300C
- BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLS OR SLOTTED SYSTEMS TO MEET REQUIREMENTS

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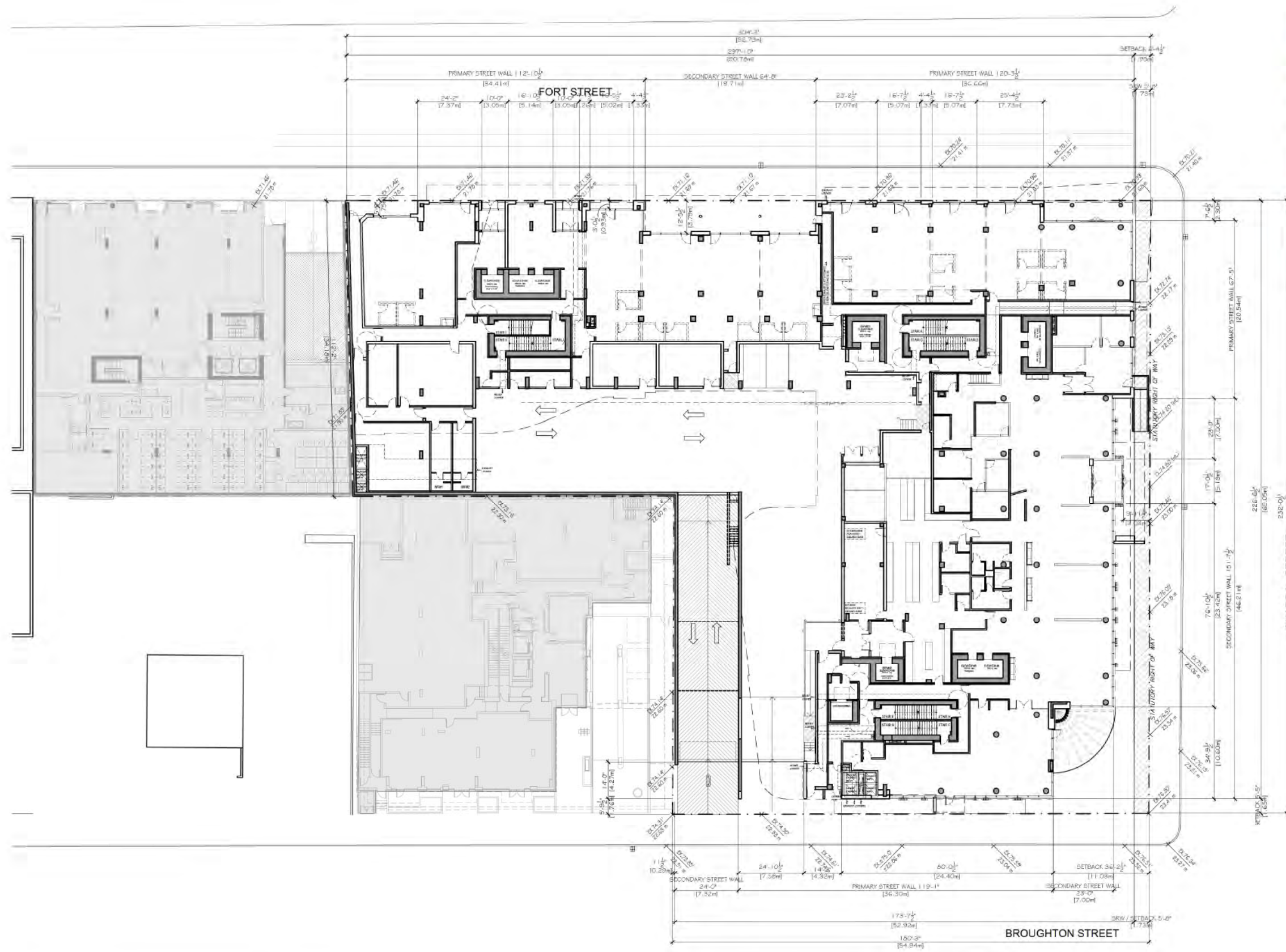
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7	RE-DESIGNED FOR RECORDING & CP	28 JUN 2019
8	RE-DESIGNED FOR RECORDING & CP	25 MAY 2021
9	RE-DESIGNED FOR RECORDING & CP	04 NOV 2021

parc retirement living
 17420
PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

P1 LEVEL FLOOR PLAN

A201
 APR 2017
 1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects

1100 BROADWAY, SUITE 1000, VANCOUVER, BC V6C 2E8
TEL: 604.682.8544 FAX: 604.682.4880
www.bfaarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING & DP	18 SEP 2017
2	RE-DESIGNED FOR PERMITTING & DP	20 FEB 2018
3	RE-DESIGNED FOR ACIP	02 APR 2018
4	RE-DESIGNED FOR PERMITTING & DP	18 JAN 2018
5	RE-DESIGNED FOR ACIP	24 APR 2017
6	RE-DESIGNED FOR PERMITTING & DP	29 MAY 2017
7	RE-DESIGNED FOR PERMITTING & DP	29 MAY 2017
8	RE-DESIGNED FOR PERMITTING & DP	24 MAY 2017
9	RE-DESIGNED FOR PERMITTING & DP	24 MAY 2017

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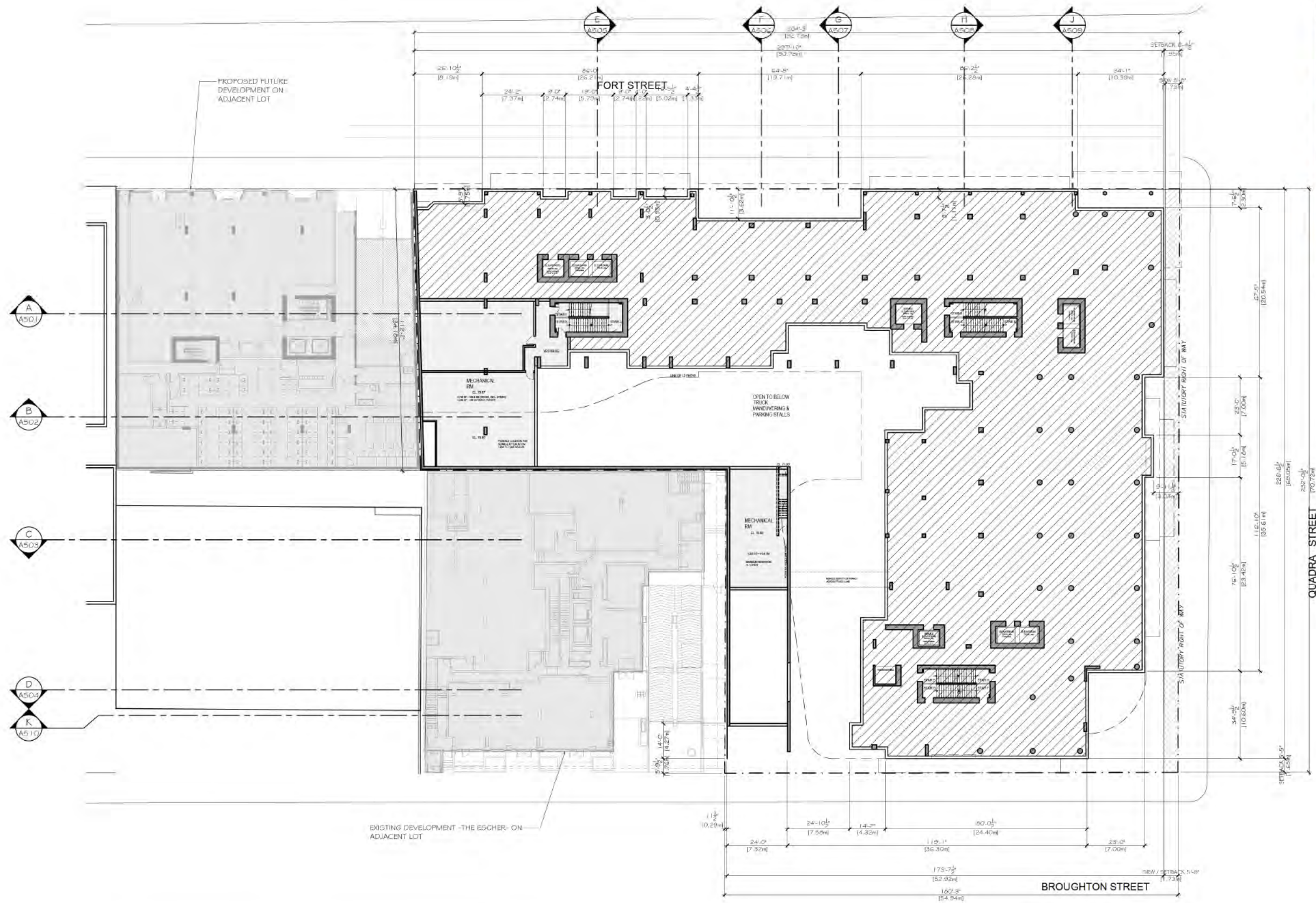
17420

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

SITE PLAN/ LEVEL 1 FLOOR PLAN

A202B

1/200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
bfa studio architects is a registered architectural firm in the province of british columbia, canada. we are a team of architects, interior designers, and landscape architects. we have a proven track record of delivering high-quality, innovative, and sustainable design solutions for a wide range of clients and projects. our expertise includes commercial, residential, and institutional design. we are committed to providing exceptional service and value to our clients throughout the entire design process.

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7	RE-DESIGNED FOR RECORDING & DP	29 MAY 2019
8	RE-DESIGNED FOR RECORDING & DP	29 MAY 2019
9	RE-DESIGNED FOR RECORDING & DP	29 MAY 2019
10	RE-DESIGNED FOR RECORDING & DP	29 MAY 2019

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PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

MECHANICAL LEVEL FLOOR PLAN

A203

1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

NOTES

1. BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO MEET REQUIREMENTS.

bfa studio architects
bfa studio architects
100-105 Burrard Street
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TEL: 604.681.1111
WWW.BFASTUDIOARCHITECTS.COM

REVISIONS

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5	RE-DESIGNED FOR PERMITTING & DP	28 APR 2019
6	RE-DESIGNED FOR PERMITTING & DP	28 MAY 2019
7	RE-DESIGNED FOR PERMITTING & DP	28 MAY 2019
8	RE-DESIGNED FOR PERMITTING & DP	28 MAY 2019
9	RE-DESIGNED FOR PERMITTING & DP	28 MAY 2019
10	RE-DESIGNED FOR PERMITTING & DP	28 MAY 2019

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PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

LEVEL 2 FLOOR PLAN

A204

1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

NOTES

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www.bfa-studio.com

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REV	DESCRIPTION	DATE
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3	RE-DESIGNED FOR ADP	20 APR 2019
4	RE-DESIGNED FOR PERMITTING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	28 APR 2019
6	RE-DESIGNED FOR PERMITTING & DP	29 MAY 2019
7	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
8	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
9	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
10	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
11	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
12	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
13	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
14	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
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16	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
17	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
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19	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
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21	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
22	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
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45	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
46	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
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48	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
49	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019
50	RE-DESIGNED FOR PERMITTING & DP	28 JUL 2019

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PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

LEVEL 3
UNITS FLOOR PLAN

A205

1:200



COLOR LEGEND

 AMENITY
 COMMERCIAL RETAIL
 CHILDCARE
 OFFICE MEDICAL
 CIRCULATION/STG/SERVICE RM
 A - STUDIO
 B - 1 BEDROOM
 C - 1 BEDROOM + FLEX
 D - 2 BEDROOM
 E - 2 BEDROOM + FLEX
 F - 3 BEDROOM

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 architects
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 VANCOUVER, BC V6C 2G8
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 FAX: 604-681-0545
 WWW.BFASSTUDIO.COM

REVISIONS

NO.	DATE	DESCRIPTION
1	18 SEP 2017	ISSUED FOR PERMITTING & DP
2	20 FEB 2018	RE-DESIGNED FOR PERMITTING & DP
3	02 APR 2018	RE-DESIGNED FOR PERMITTING & DP
4	16 JAN 2019	RE-DESIGNED FOR PERMITTING & DP
5	24 APR 2019	RE-DESIGNED FOR PERMITTING & DP
6	20 MAY 2019	RE-DESIGNED FOR PERMITTING & DP
7	20 MAR 2020	RE-DESIGNED FOR PERMITTING & DP
8	05 MAY 2021	RE-DESIGNED FOR PERMITTING & DP
9	24 NOV 2021	RE-DESIGNED FOR PERMITTING & DP

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PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

LEVEL 4 FLOOR PLAN

A206

1:200



COLOR LEGEND

 AMENITY
 COMMERCIAL RETAIL
 CHILDCARE
 OFFICE MEDICAL
 CIRCULATION/STG/SERVICE RM
 A - STUDIO
 B - 1 BEDROOM
 C - 1 BEDROOM + FLEX
 D - 2 BEDROOM
 E - 2 BEDROOM + FLEX
 F - 3 BEDROOM

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REVISIONS

REV	DESCRIPTION	DATE
1	REQUIRED FOR REZONING & DP	18 SEP 2017
2	REQUIRED FOR REZONING & DP	20 FEB 2018
3	REQUIRED FOR ADP	02 APR 2018
4	REQUIRED FOR REZONING & DP	16 JAN 2019
5	REQUIRED FOR ADP	24 APR 2019
6	REQUIRED FOR REZONING & DP	20 MAY 2019
7	REQUIRED FOR REZONING & DP	20 MAR 2020
8	REQUIRED FOR REZONING & DP	05 MAY 2021
9	REQUIRED FOR REZONING & DP	24 NOV 2021

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PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

LEVEL 5 FLOOR PLAN

A207

1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
ARCHITECTURAL ARCHITECTURE - INTERIOR DESIGN

(Partners) BISHARAAT READE ARCHITECTS
600 - 605 Broughton Street T: 604-682-0544
Vancouver, BC V6C 2S8 F: 604-682-4081
www.bfa-studio.com

REVISIONS

REV	DESCRIPTION	DATE
1	REQUIRED FOR REZONING & DP	18 SEP 2017
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3	REQUIRED FOR ADP	02 APR 2018
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5	REQUIRED FOR ADP	24 APR 2019
6	REQUIRED FOR REZONING & DP	29 MAY 2019
7	REQUIRED FOR REZONING & DP	20 JUN 2020
8	REQUIRED FOR REZONING & DP	05 MAY 2021
9	REQUIRED FOR REZONING & DP	24 NOV 2021

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PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

LEVEL 6 FLOOR PLAN

A208

1:200



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400 - 305 DAVENPORT STREET
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NO.	DESCRIPTION	DATE
1	ISSUED FOR RECORDING & DP	14 SEP 2017
2	RE-DESIGNED FOR RECORDING & DP	20 FEB 2018
3	RE-DESIGNED FOR RECORDING & DP	07 APR 2018
4	RE-DESIGNED FOR RECORDING & DP	14 JUN 2018
5	RE-DESIGNED FOR RECORDING & DP	24 APR 2018
6	RE-DESIGNED FOR RECORDING & DP	29 MAY 2018
7	RE-DESIGNED FOR RECORDING & DP	28 AUG 2018
8	RE-DESIGNED FOR RECORDING & DP	05 MAY 2017
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PROJECT NO. 17420

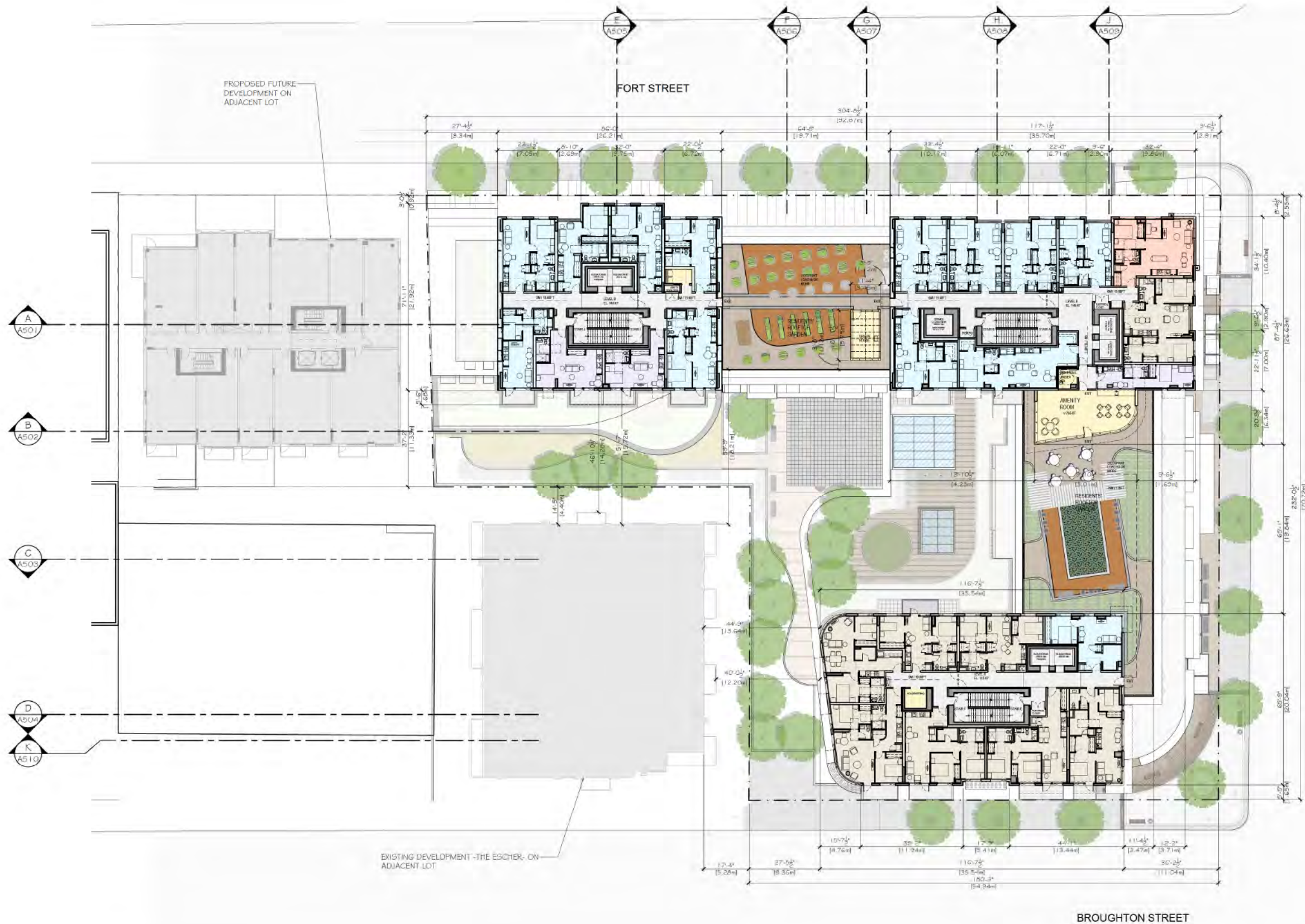
PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

LEVEL 7
FLOOR PLAN



A209

1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

NOTES

1. BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS.

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VICTORIA, BC V8C 2G5
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F 250.462.0353

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1	ISSUED FOR REVISION & OP	14 SEP 2017
2	RE-DESIGNED FOR REVISION & OP	20 FEB 2018
3	RE-DESIGNED FOR REVISION & OP	07 APR 2018
4	RE-DESIGNED FOR REVISION & OP	16 JUN 2018
5	RE-DESIGNED FOR REVISION & OP	24 APR 2018
6	RE-DESIGNED FOR REVISION & OP	20 MAY 2018
7	RE-DESIGNED FOR REVISION & OP	28 AUG 2018
8	RE-DESIGNED FOR REVISION & OP	05 MAY 2017
9	RE-DESIGNED FOR REVISION & OP	24 NOV 2017

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PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

LEVEL 8
FLOOR PLAN

A210

REGISTERED ARCHITECT
BRITISH COLUMBIA

1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
FORMERLY BISHOP & FRANK ARCHITECTS
 1000 - 105 FORT STREET
 VANCOUVER, BC V6C 2G5
 TEL: 604.682.4344
 FAX: 604.682.4353
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1	ISSUED FOR RECORDING & DP	14 SEP 2017
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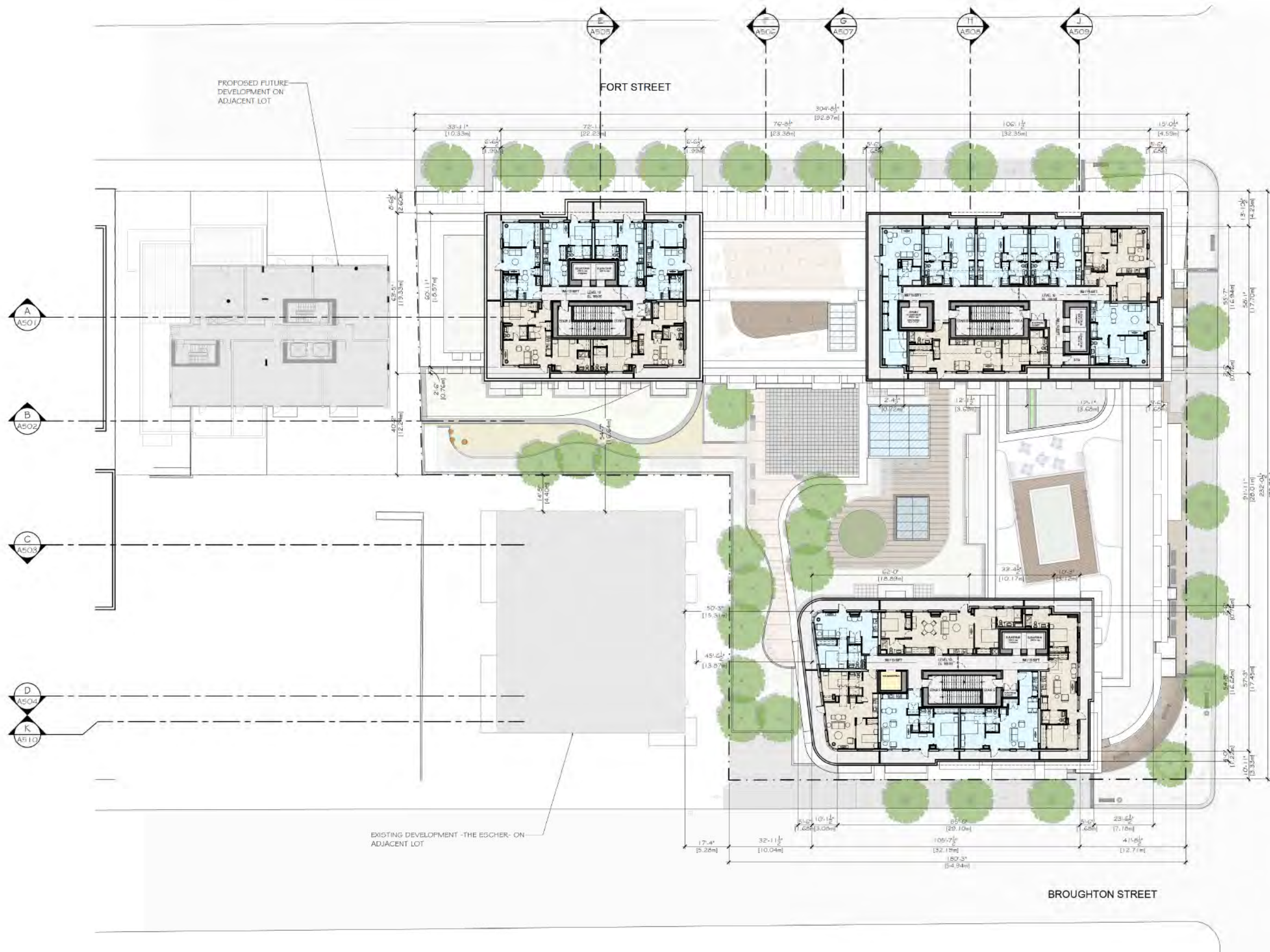
17420

PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

LEVEL 9 FLOOR PLAN

A211

1:200



COLOR LEGEND

[Yellow Box]	AMENITY
[Purple Box]	COMMERCIAL RETAIL
[Blue Box]	CHILDCARE
[Green Box]	OFFICE MEDICAL
[Light Green Box]	CIRCULATION/STG/SERVICE RM
[Light Blue Box]	A - STUDIO
[Light Blue Box]	B - 1 BEDROOM
[Orange Box]	C - 1 BEDROOM + FLEX
[Light Orange Box]	D - 2 BEDROOM
[Dark Orange Box]	E - 2 BEDROOM + FLEX
[Dark Orange Box]	F - 3 BEDROOM

bfa studio
 architects
 LTD. 20200A 14TH AVENUE - WEST VANCOUVER, BC
 604-261-1111
 600-105 BURNETT STREET
 VANCOUVER, BC V6C 2G8
 604-682-0540
 604-682-0583
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7	RE-DESIGNED FOR RECORDING & DP	28 AUG 2020
8	RE-DESIGNED FOR RECORDING & DP	05 MAY 2021
9	RE-DESIGNED FOR RECORDING & DP	24 NOV 2021

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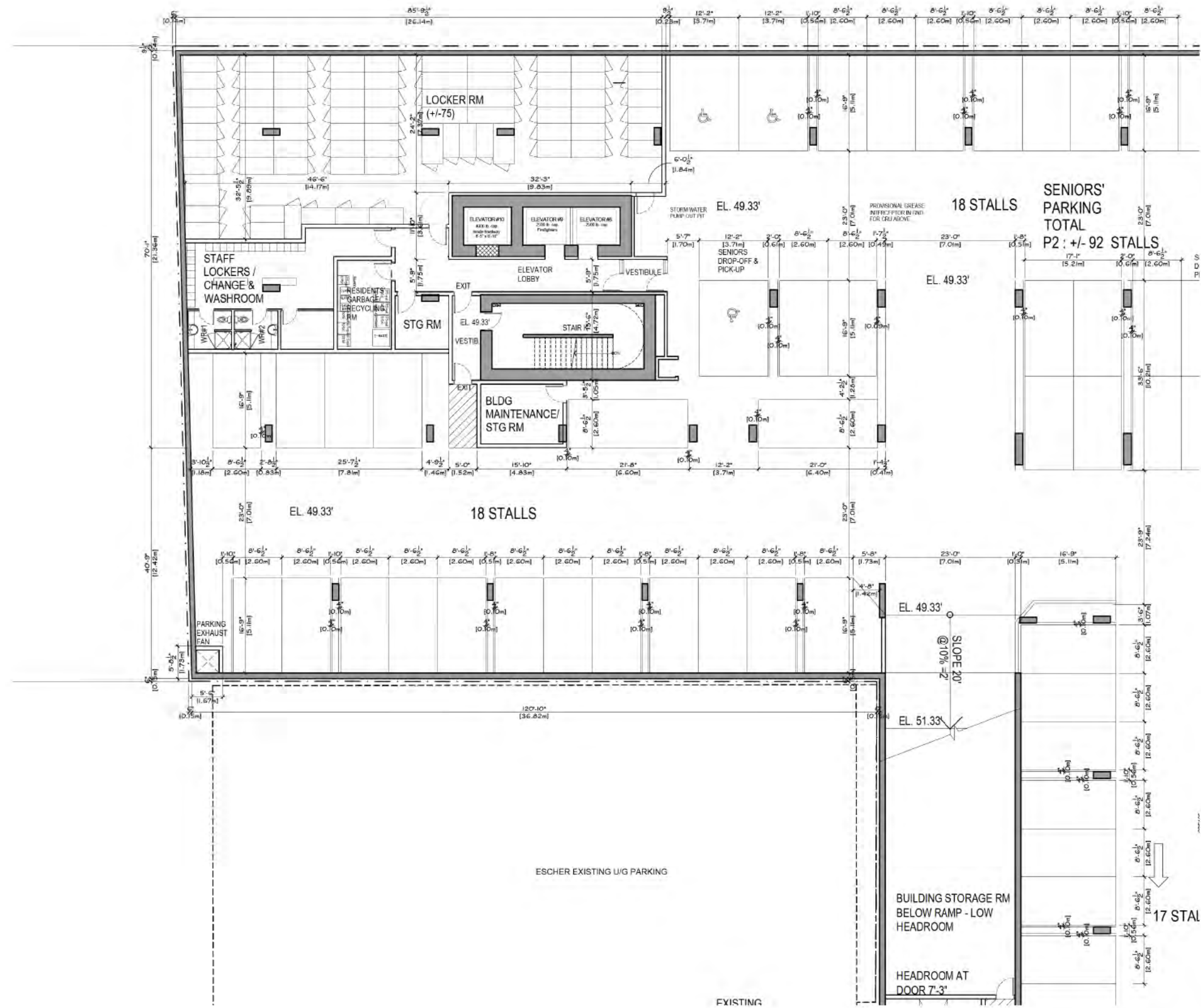
17420

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

LEVEL 10
FLOOR PLAN

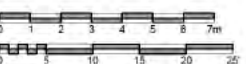
A212

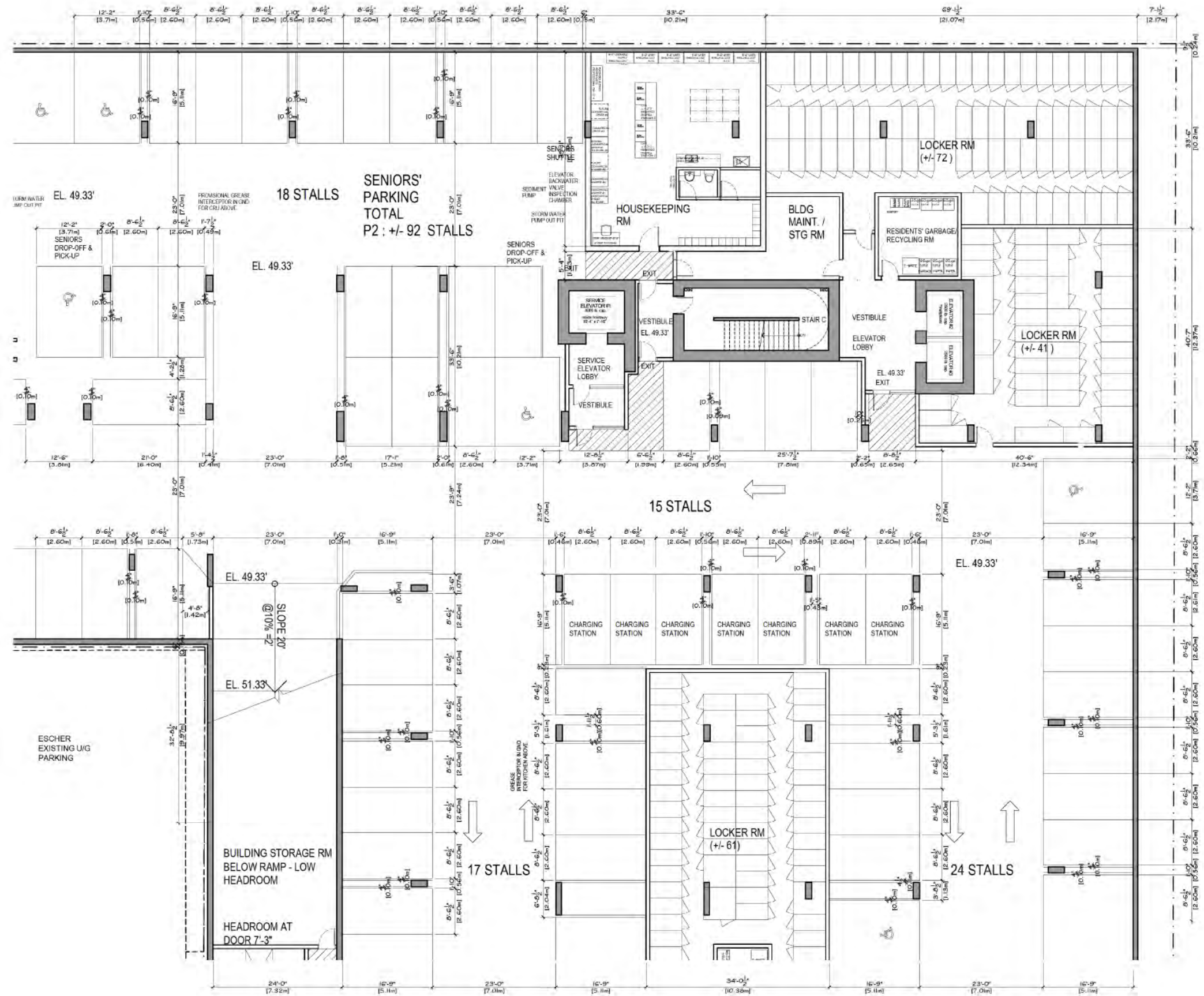
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REVISIONS

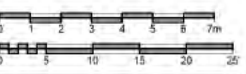
NO.	DESCRIPTION	DATE
1	ISSUED FOR RECORDING & CP	18 SEP 2017
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7	RE-DESIGNED FOR RECORDING & CP	29 MAY 2020
8	RE-DESIGNED FOR RECORDING & CP	29 MAY 2021
9	RE-DESIGNED FOR RECORDING & CP	24 NOV 2021





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3	RE-DESIGNED FOR RFP	30 APR 2018
4	RE-DESIGNED FOR RECORDING & DP	18 JAN 2019
5	RE-DESIGNED FOR RFP	24 APR 2019
6	RE-DESIGNED FOR RECORDING & DP	29 MAY 2019
7	RE-DESIGNED FOR RECORDING & DP	29 MAY 2020
8	RE-DESIGNED FOR RECORDING & DP	31 MAY 2021
9	RE-DESIGNED FOR RECORDING & DP	24 NOV 2021



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PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

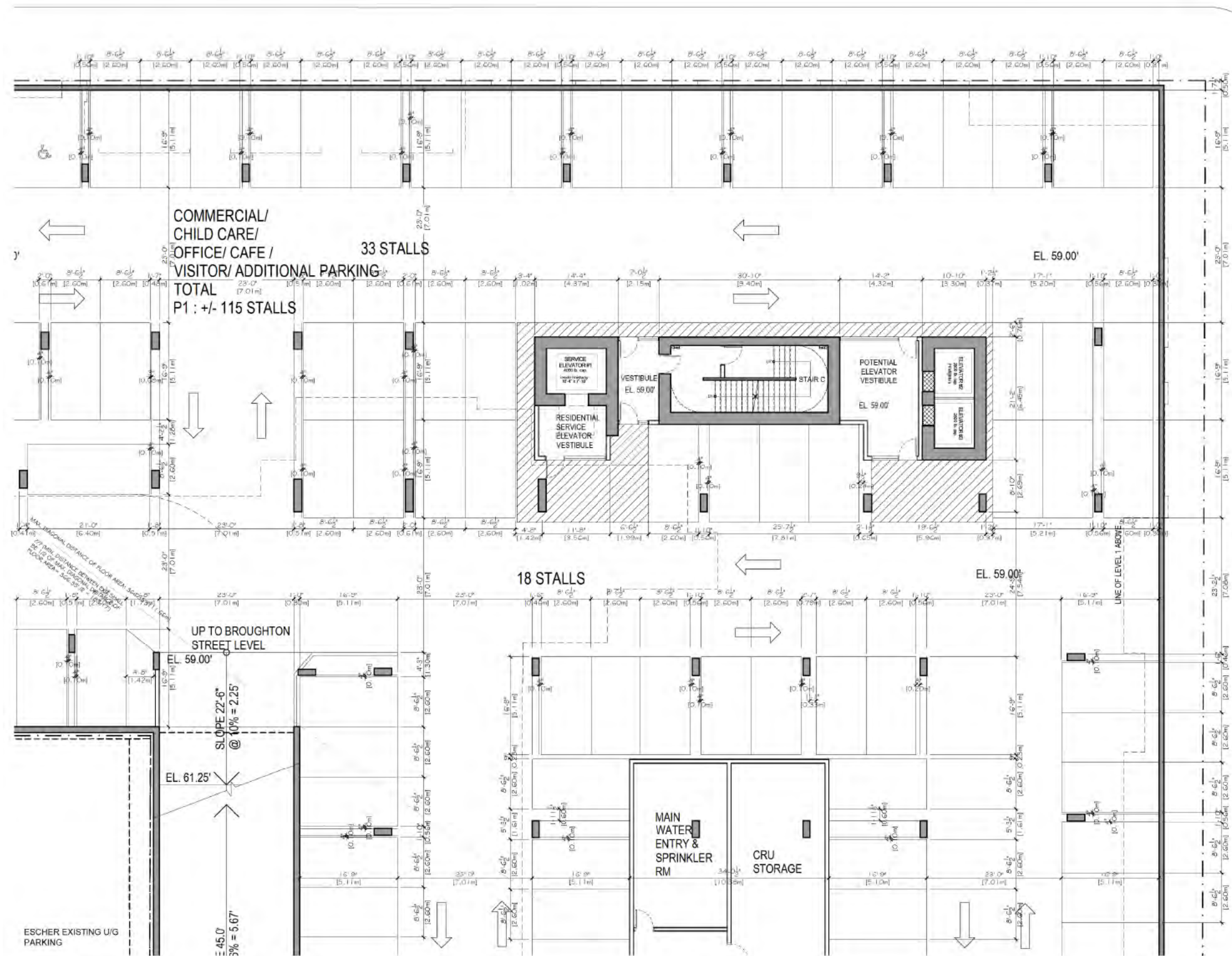
P2 LEVEL
PARTIAL FLOOR PLAN



A300B

APR 2017

1/100



NO.	DESCRIPTION	DATE
1	ISSUED FOR RECORDING & DP	18 SEP 2017
2	RE-DESIGNED FOR RECORDING & DP	20 FEB 2018
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7	RE-DESIGNED FOR RECORDING & DP	29 MAY 2019
8	RE-DESIGNED FOR RECORDING & DP	29 MAY 2019
9	RE-DESIGNED FOR RECORDING & DP	29 MAY 2019
10	RE-DESIGNED FOR RECORDING & DP	29 MAY 2019



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living

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PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

P1 LEVEL
PARTIAL FLOOR PLAN



A301B

APR 2017

1:100



COLOR LEGEND

AMENITY
COMMERCIAL RETAIL
CHILDCARE
OFFICE MEDICAL
CIRCULATION/ STG/SERVICE RM
A - STUDIO
B - 1 BEDROOM
C - 1 BEDROOM + FLEX
D - 2 BEDROOM
E - 2 BEDROOM + FLEX
F - 3 BEDROOM

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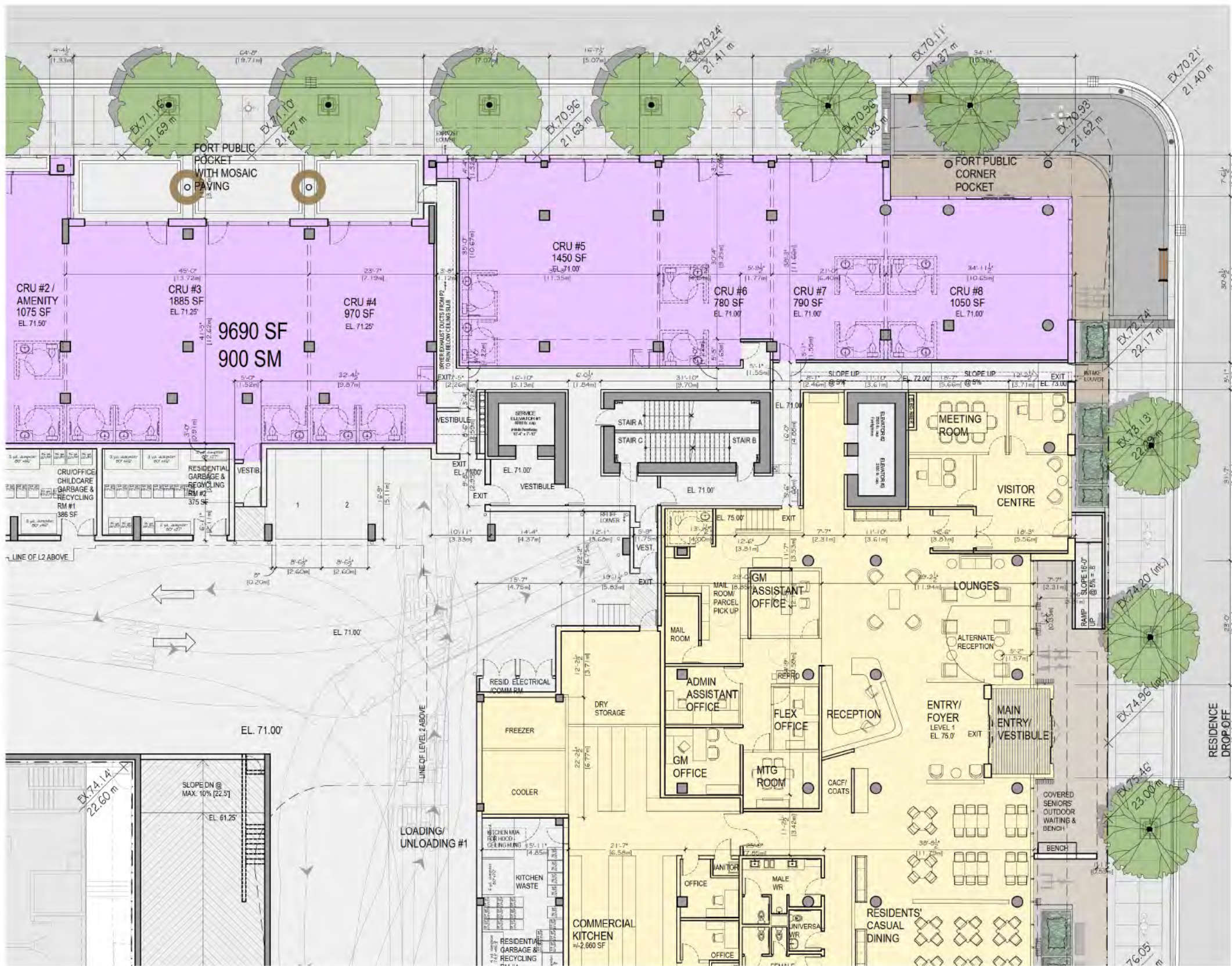
17420

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

**LEVEL 1
PARTIAL FLOOR PLAN**

A302A

1:100



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

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REVISIONS

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8	RE-DESIGNED FOR RECORDING & DP	24 NOV 2021

parc retirement living

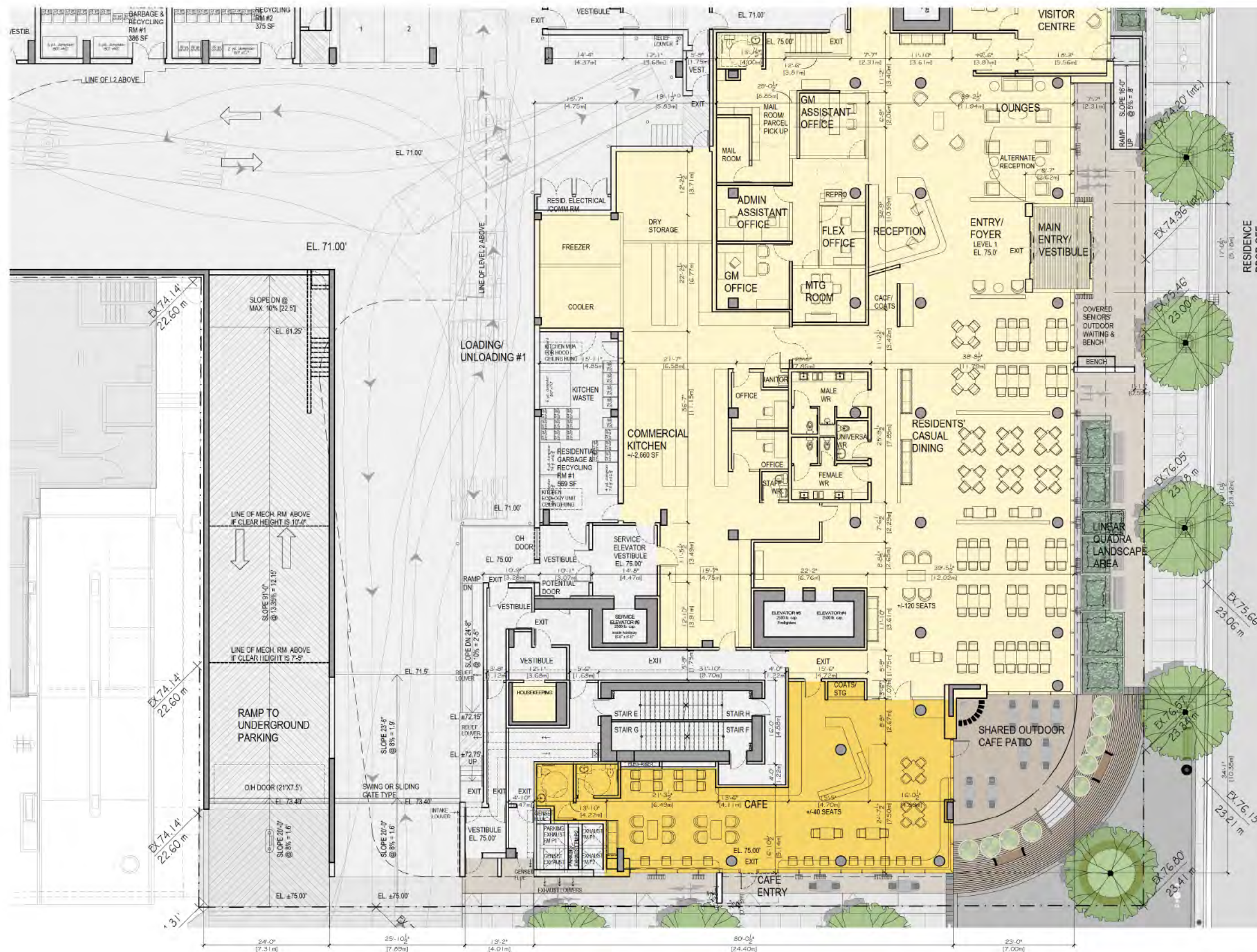
17420

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

LEVEL 1
PARTIAL FLOOR PLAN

A302B

1:100



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
 400-1000 Burrard Street
 Vancouver, BC V6C 2G8
 Tel: 604-682-0540
 Fax: 604-682-0540
 www.bfa-studio.com

parc retirement living
 17420
 PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

**LEVEL 1
 PARTIAL FLOOR PLAN**

A302C

1:100



bfa studio
architects

100-100 BURNETT STREET - VICTORIA, BC

100-100 BURNETT STREET
VICTORIA, BC V8C 2G5
TEL: 250-363-1000
FAX: 250-363-1001
WWW.BFASTUDIOARCHITECTS.COM

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEWING & OP	18 SEP 2017
2	RE-DESIGNED FOR REVIEWING & OP	20 FEB 2018
3	RE-DESIGNED FOR REVIEWING & OP	20 APR 2018
4	RE-DESIGNED FOR REVIEWING & OP	18 JAN 2019
5	RE-DESIGNED FOR REVIEWING & OP	24 APR 2019
6	RE-DESIGNED FOR REVIEWING & OP	29 MAY 2019
7	RE-DESIGNED FOR REVIEWING & OP	29 MAY 2020
8	RE-DESIGNED FOR REVIEWING & OP	29 MAY 2021
9	RE-DESIGNED FOR REVIEWING & OP	29 MAY 2022

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0 1 2 3 4 5 10 15m
0 5 10 15 20 30 40 50'

parc
retirement
living

17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DATE
NORTH ELEVATION
FORT
STREETSCAPE



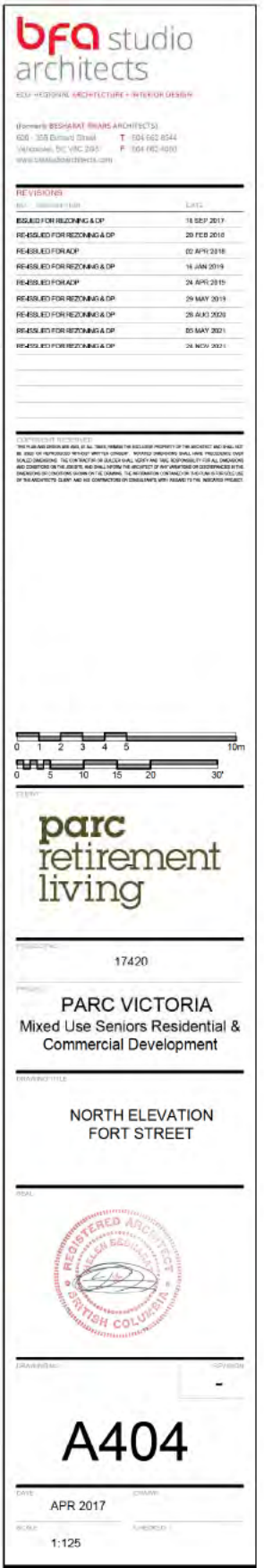
A401

DATE
APR 2017

SCALE
1:200







ELEVATION KEYNOTE LEGEND							
ITEM	COLOR/ FINISH	ITEM	COLOR/ FINISH	ITEM	COLOR/ FINISH	ITEM	COLOR/ FINISH
BRL-1	STANDARD FACE BRICK-4X1 2" PATTERN: TBD	ALU-2	ALUMINUM CLADDING PANEL SYSTEM TO MATCH ALUCOBOND® ALUCLAD®	CWL-1	ALUMINUM CURTAIN WALL W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE	CAN-1	METAL FRAMED CANOPY W/ GLASS
BRL-2	STANDARD FACE BRICK-4X1 2" PATTERN: TBD	CON-1	ARCHITECTURAL CONCRETE W/ REVEALS	GFW-1	SCREENED/FRONT WINDOW DOOR, REFER TO WINDOW SCHEDULE	CAN-2	FRAMED FABRIC CANOPY
STO-1	SEMI-GLOSS STONE CLADDING PATTERN: TBD	CON-2	ARCHITECTURAL CONCRETE COLLINGS	GLA-1	SAFETY GLASS BALCONY GUARD	CHG-1	ALUMINUM OVERHEAD DOOR DOOR
STO-2	STONE CLADDING PATTERN: TBD	SIL-1	CONCRETE PRECAST SILL/HEADER	GLA-2	METAL BALCONY GUARD	ADR-1	ALUMINUM FRAME DOOR W/ GLAZING UNIT
TER-1	TERRA COTTA - TIE	WIN-1	VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE	GPS-1	SAFETY GLASS PRIVACY SCREEN	LOU-1	ALUMINUM WALL LOUVERS
TER-2	TERRA COTTA - TMS	WIN-2	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE	WOD-1	PAINTED WOOD	WOD-2	METAL SCREEN SYSTEM - ROOFTOP
MOS-1	EXTERIOR TYPE MOSAIC TILE	WIN-3	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE	WOD-2	EXTERIOR WOOD PATTERN SCREEN	SIG-1	SIGNAGE
ALU-1	ALUMINUM CLADDING PANEL SYSTEM						



ITEM	COLOUR / FINISH	ITEM	COLOUR / FINISH	ITEM	COLOUR / FINISH	ITEM	COLOUR / FINISH
BRI-1	STANDARD FACE BRICK 4"x8" 12" PATTERN: T&D	ALU-2	ALUMINUM CLADDING PANEL SYSTEM	CWL-1	ALUMINUM CURTAIN WALL W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE	CAN-1	METAL FRAMED CANOPY W/ GLASS
BRI-2	STANDARD FACE BRICK 4"x8" 12" PATTERN: T&D	CON-1	ARCHITECTURAL CONCRETE W/ REVEALS	SPW-1	STOREFRONT WINDOW DOOR, REFER TO WINDOW SCHEDULE	CAN-2	FRAMED FABRIC CANOPY
STO-1	GRANITE STONE CLADDING PATTERN: T&D	CON-2	ARCHITECTURAL CONCRETE COLUMNS	GUA-1	SAFETY GLASS BALCONY GUARD	OHG-1	ALUMINUM OVERHEAD GARAGE DOOR
STO-2	RYOCHI CLADDING PATTERN: T&D	SIL-1	CONCRETE PRECAST SILL/HEADER	GUA-2	METAL BALCONY GUARD	ADR-1	ALUMINUM FRAME DOOR W/ GLAZING UNIT
TER-1	TERRA COTTA - T&D	WIN-1	VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE	GPS-1	SAFETY GLASS PRIVACY SCREEN	LOU-1	ALUMINUM WALL LOUVERS
TER-2	TERRA COTTA - T&D	WIN-2	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE	WOD-1	ENGINEERED WOOD	LOU-2	METAL SCREEN SYSTEM - ROOFTOP
MOS-1	EXTERIOR TYPE MOSAIC TILE	WIN-3	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE	WOD-2	EXTERIOR WOOD PATTERN: SCOTT	SIG-1	SIGNAGE
ALU-1	ALUMINUM CLADDING PANEL SYSTEM						

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 Vancouver, BC V5C 2G8
 Tel: 604 682 0544
 Fax: 604 682 0500
 www.bfastudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING & DP	18 SEP 2017
2	RE-DESIGNED FOR PERMITTING & DP	20 FEB 2018
3	RE-DESIGNED FOR ADP	02 APR 2018
4	RE-DESIGNED FOR PERMITTING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	24 APR 2019
6	RE-DESIGNED FOR PERMITTING & DP	29 MAY 2019
7	RE-DESIGNED FOR PERMITTING & DP	28 AUG 2020
8	RE-DESIGNED FOR PERMITTING & DP	25 MAY 2021
9	RE-DESIGNED FOR PERMITTING & DP	24 NOV 2021

parc retirement living

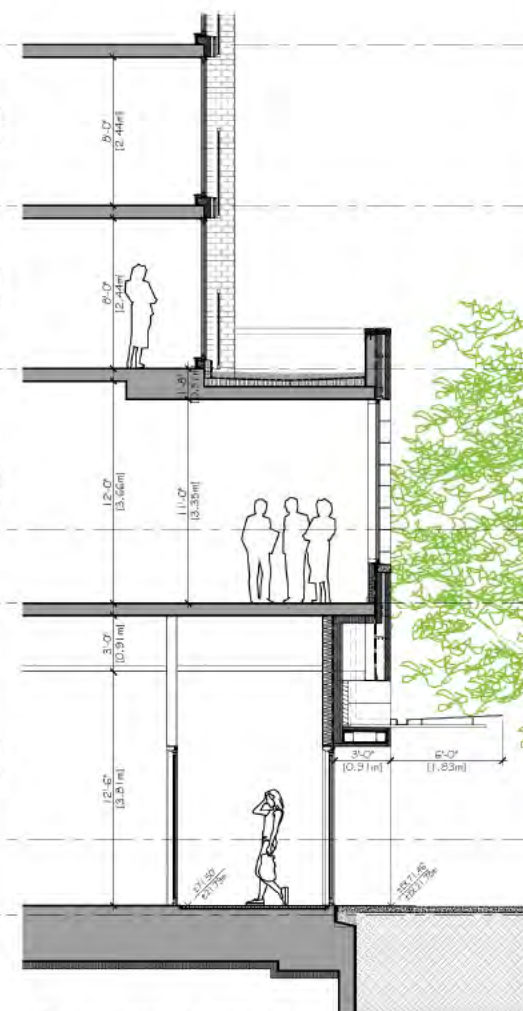
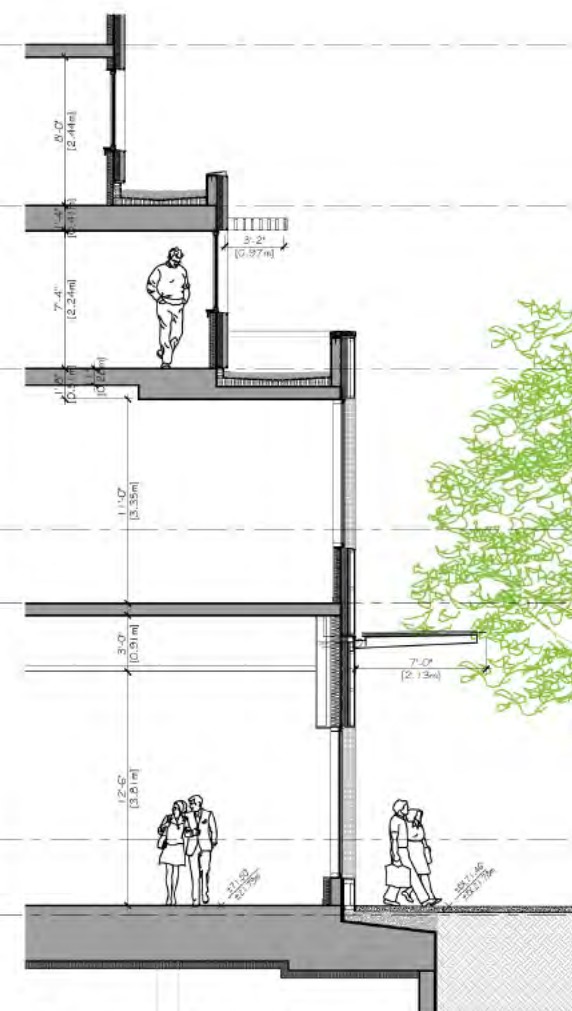
17420
PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

EAST ELEVATION
 QUADRA STREET

A405

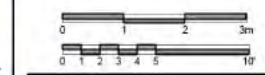
APR 2017
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REVISIONS		
NO.	DESCRIPTION	DATE
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2	RE-DESIGNED FOR REZONING & DP	20 FEB 2018
3	RE-DESIGNED FOR ADP	20 APR 2018
4	RE-DESIGNED FOR REZONING & DP	16 JAN 2019
5	RE-DESIGNED FOR ADP	24 APR 2019
6	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
7	RE-DESIGNED FOR REZONING & DP	26 AUG 2020
8	RE-DESIGNED FOR REZONING & DP	05 MAY 2021
9	RE-DESIGNED FOR REZONING & DP	24 NOV 2021

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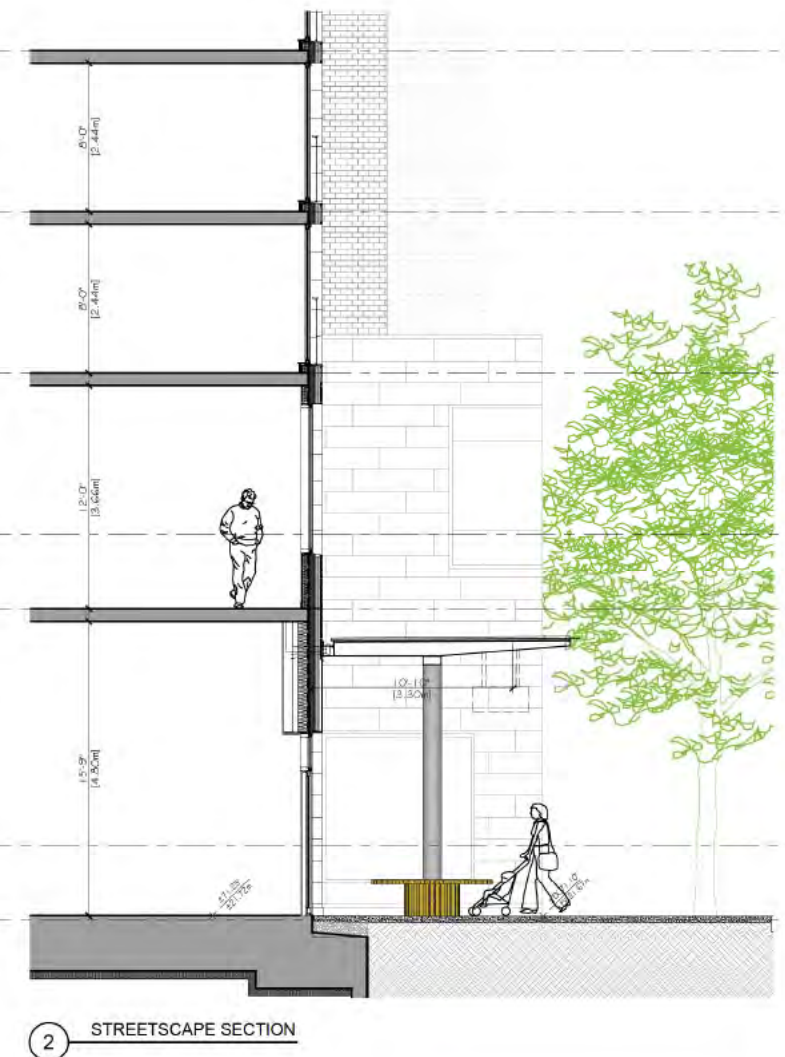
17420

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

FORT (NORTH) STREETSCAPE
/ PARTIAL SECTION



A407



bfa studio architects
bca studio architects inc. - architectural division

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Vancouver, BC V6C 2G8
Tel: 604 682 0844
Fax: 604 682 4983
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2	RE-DESIGNED FOR REZONING & DP	20 FEB 2018
3	RE-DESIGNED FOR ADP	30 APR 2018
4	RE-DESIGNED FOR REZONING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	28 APR 2019
6	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
7	RE-DESIGNED FOR REZONING & DP	28 AUG 2020
8	RE-DESIGNED FOR REZONING & DP	05 MAY 2021
9	RE-DESIGNED FOR REZONING & DP	24 NOV 2021

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parc retirement living

17420

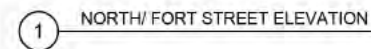
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

FORT (NORTH) STREETSCAPE / PARTIAL SECTION

A408

1:50





PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

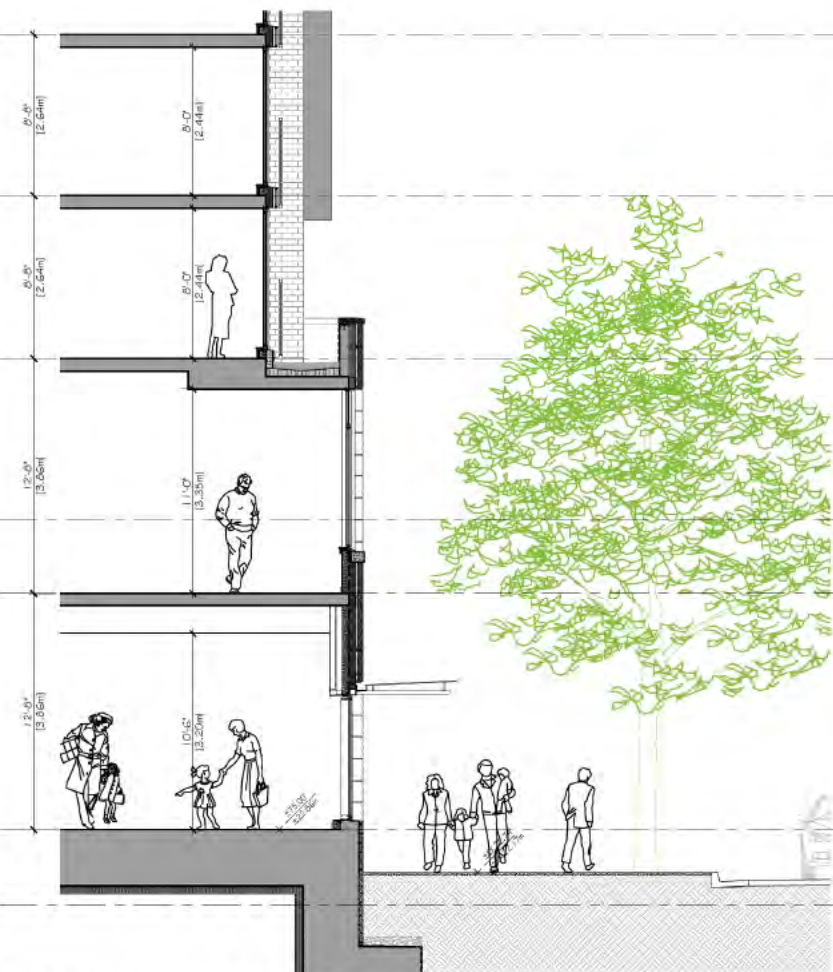
FORT (NORTH) STREETSCAPE
/ PARTIAL SECTION



1:50



1 EAST/QUADRA STREET ELEVATION

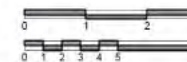


2 STREETScape SECTION

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR RECORDING & DP	18 SEP 2017
2	RE-DESIGNED FOR RECORDING & DP	20 FEB 2018
3	RE-DESIGNED FOR ADP	30 APR 2018
4	RE-DESIGNED FOR RECORDING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	24 APR 2019
6	RE-DESIGNED FOR RECORDING & DP	20 MAY 2019
7	RE-DESIGNED FOR RECORDING & DP	28 AUG 2020
8	RE-DESIGNED FOR RECORDING & DP	05 MAY 2021
9	RE-DESIGNED FOR RECORDING & DP	24 NOV 2021

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PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DATE: 2021.11.14

QUADRA (EAST)
STREETSCAPE / PARTIAL
SECTION



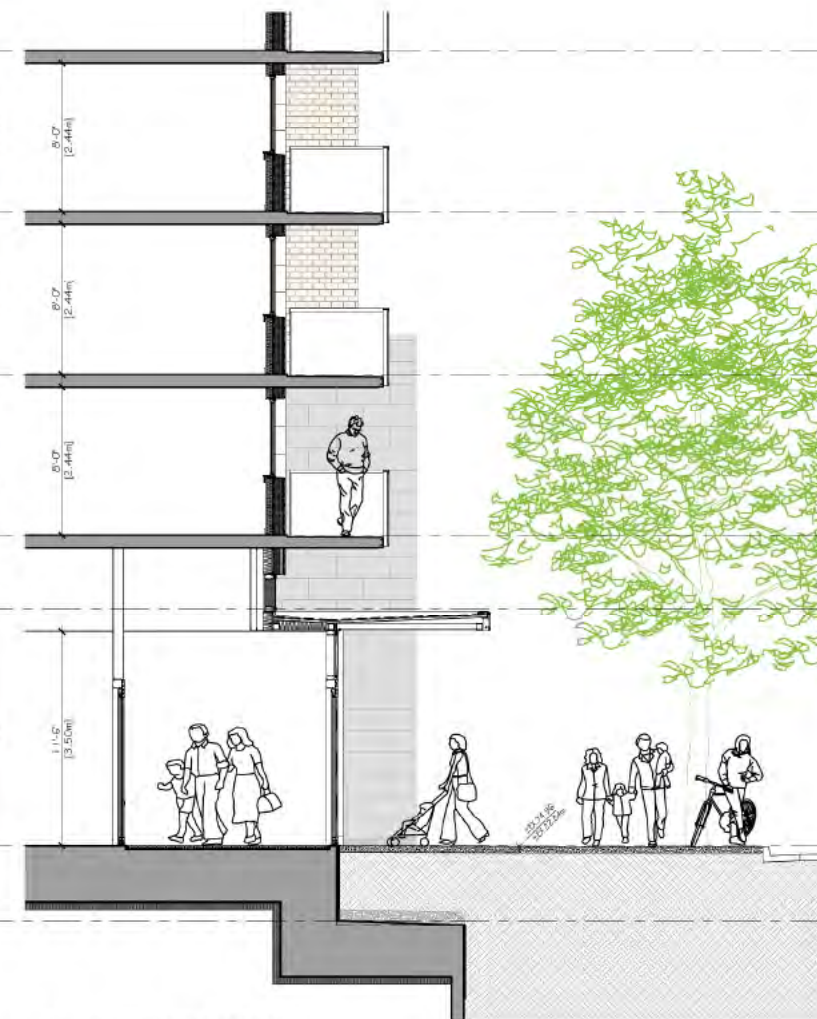
DATE: 2021.11.14

PROJECT: 17420

A411

SCALE: 1:50

1:50

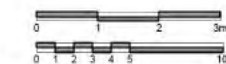


1 EAST/ QUADRA STREET ELEVATION

2 STREETScape SECTION

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-DESIGNED FOR REZONING & DP	20 FEB 2019
3	RE-DESIGNED FOR ADP	30 APR 2019
4	RE-DESIGNED FOR REZONING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	28 APR 2019
6	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
7	RE-DESIGNED FOR REZONING & DP	28 AUG 2020
8	RE-DESIGNED FOR REZONING & DP	30 MAY 2021
9	RE-DESIGNED FOR REZONING & DP	24 NOV 2021

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Mixed Use Seniors Residential &
Commercial Development

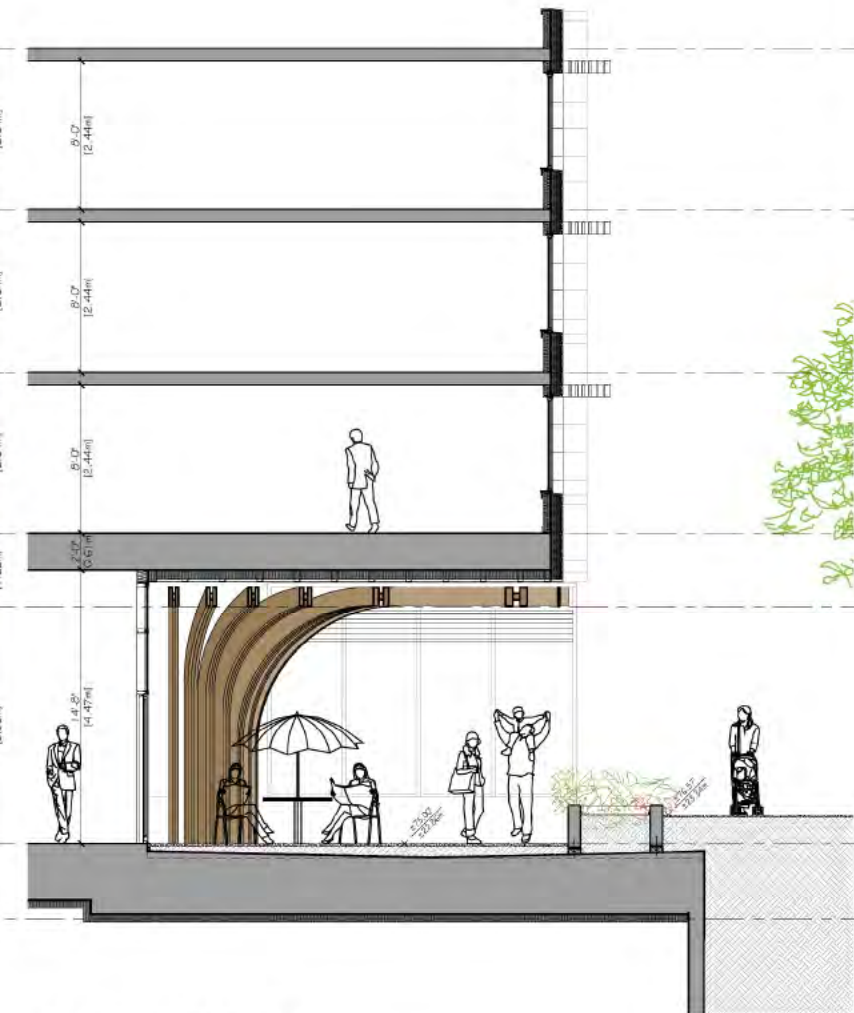
QUADRA (EAST)
STREETSCAPE / PARTIAL
SECTION



A412



1 EAST/ QUADRA STREET ELEVATION



2 STREETSCAPE SECTION

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVISION & DP	18 SEP 2017
2	RE-DESIGNED FOR REVISION & DP	20 FEB 2018
3	RE-DESIGNED FOR REVISION & DP	20 APR 2018
4	RE-DESIGNED FOR REVISION & DP	18 JAN 2019
5	RE-DESIGNED FOR REVISION & DP	24 APR 2019
6	RE-DESIGNED FOR REVISION & DP	20 MAY 2019
7	RE-DESIGNED FOR REVISION & DP	20 MAY 2020
8	RE-DESIGNED FOR REVISION & DP	05 MAY 2021
9	RE-DESIGNED FOR REVISION & DP	24 NOV 2021

NOTES:
1. THIS PLAN AND SECTION ARE PART OF A LARGER SET OF DOCUMENTS. THE LARGER SET OF DOCUMENTS IS AVAILABLE FOR REVIEW AND COMMENT ONLY. THE LARGER SET OF DOCUMENTS IS AVAILABLE FOR REVIEW AND COMMENT ONLY. THE LARGER SET OF DOCUMENTS IS AVAILABLE FOR REVIEW AND COMMENT ONLY.



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PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

QUADRA (EAST)
STREETSCAPE / PARTIAL
SECTION

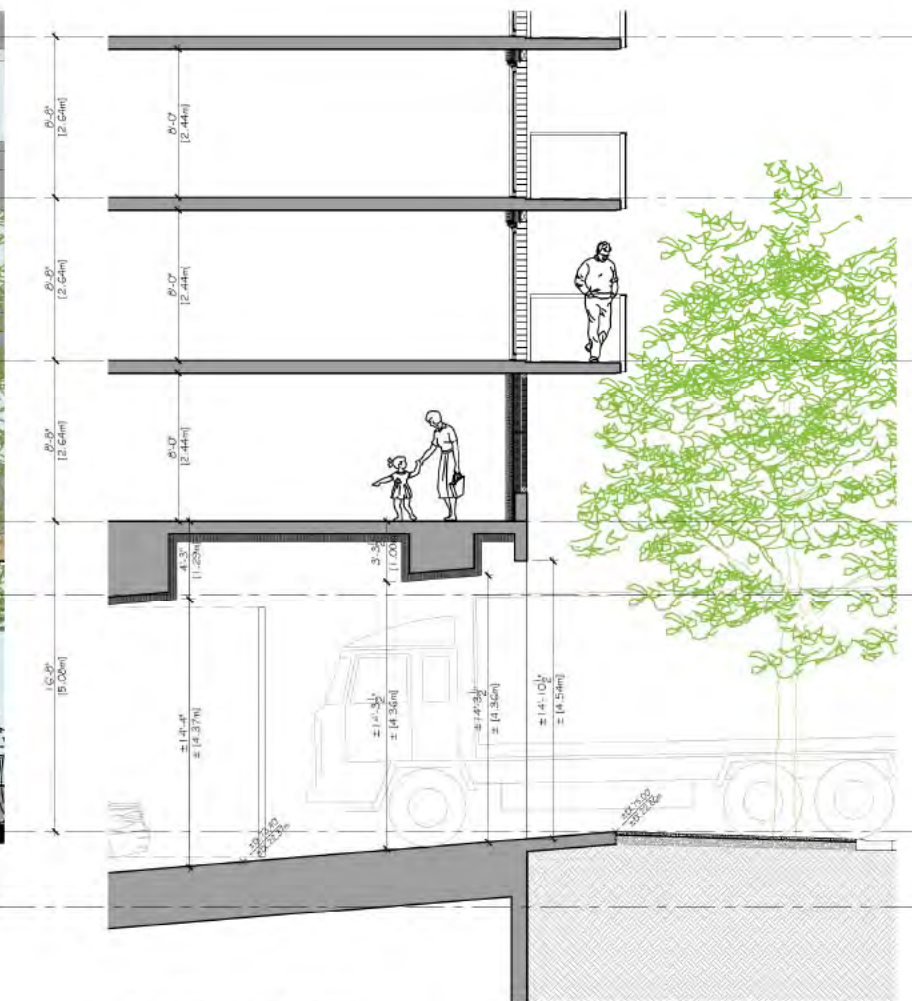


A413

1:50



1 SOUTH / BROUGHTON STREET ELEVATION



2 STREETScape SECTION

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-DESIGNED FOR REZONING & DP	20 FEB 2018
3	RE-DESIGNED FOR ADP	30 APR 2018
4	RE-DESIGNED FOR REZONING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	24 APR 2019
6	RE-DESIGNED FOR REZONING & DP	20 MAY 2019
7	RE-DESIGNED FOR REZONING & DP	20 AUG 2020
8	RE-DESIGNED FOR REZONING & DP	05 MAY 2021
9	RE-DESIGNED FOR REZONING & DP	24 NOV 2021

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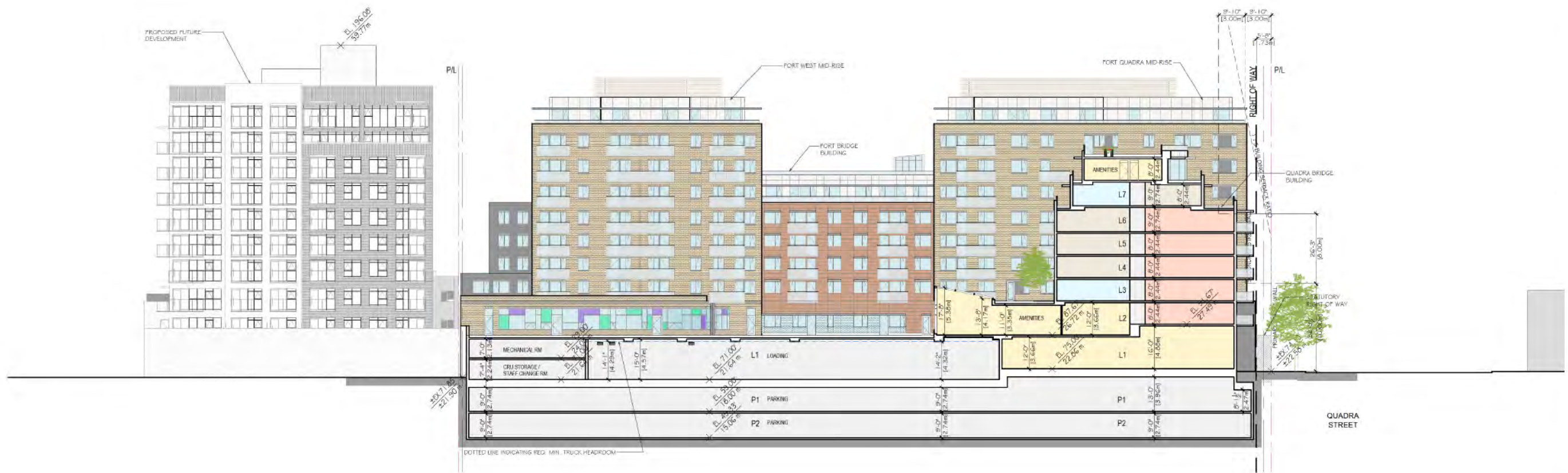
PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

BROUGHTON (SOUTH)
STREETSCAPE / PARTIAL
SECTION



A415

1:50



REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR REVISION & OP	18 SEP 2017
2	RE-DESIGNED FOR REVISION & OP	20 FEB 2018
3	RE-DESIGNED FOR REVISION & OP	07 APR 2018
4	RE-DESIGNED FOR REVISION & OP	18 JAN 2019
5	RE-DESIGNED FOR REVISION & OP	24 APR 2019
6	RE-DESIGNED FOR REVISION & OP	29 MAY 2019
7	RE-DESIGNED FOR REVISION & OP	29 MAY 2019
8	RE-DESIGNED FOR REVISION & OP	29 MAY 2019
9	RE-DESIGNED FOR REVISION & OP	05 MAY 2021
10	RE-DESIGNED FOR REVISION & OP	04 NOV 2021

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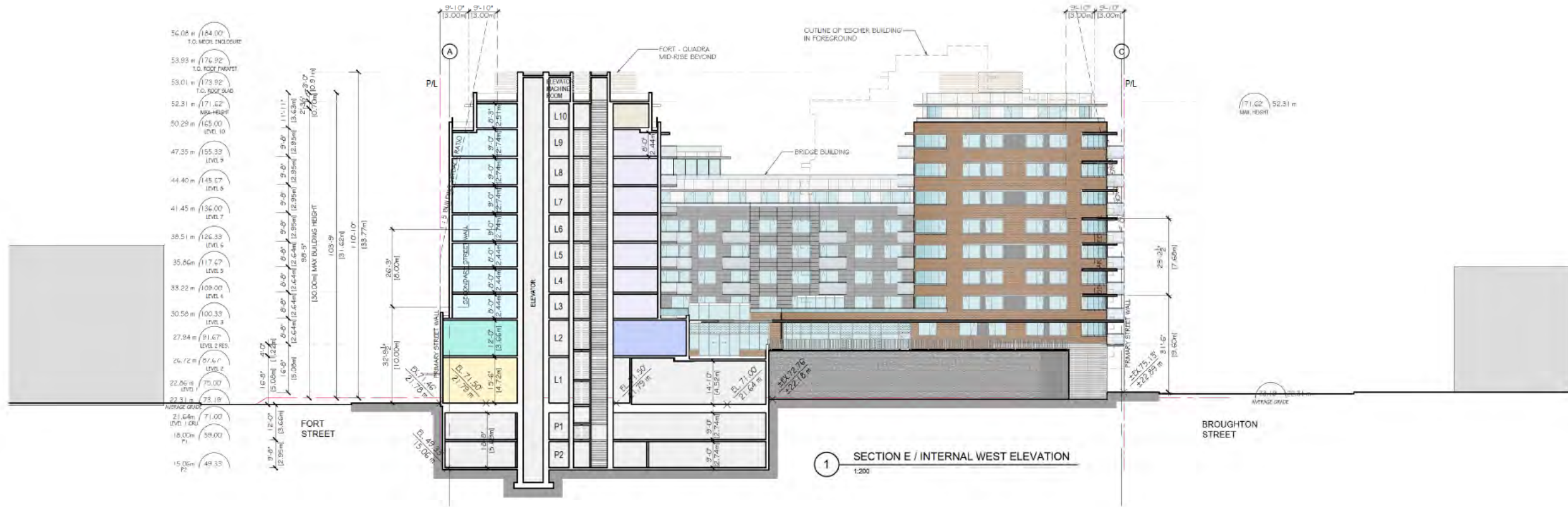
PROJECT NO. 17420
PROJECT NAME PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

BUILDING SECTION B/
INTERNAL SOUTH
ELEVATION

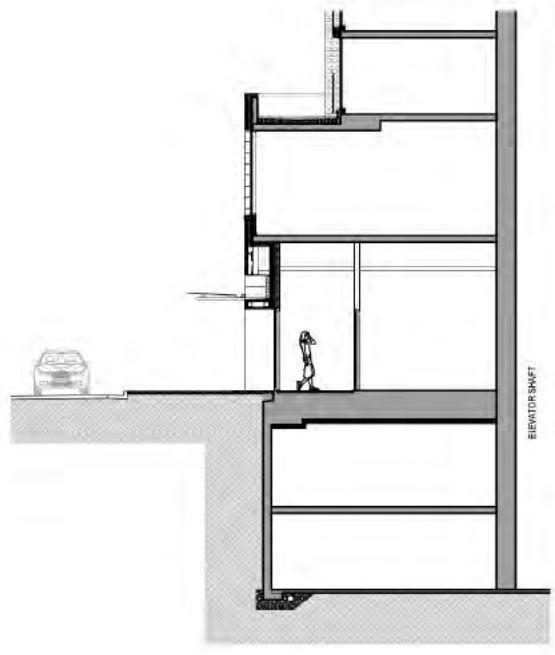


A502

APR 2017
1:200



1 SECTION E / INTERNAL WEST ELEVATION
1:200



2 WEST ELEVATION
1:200



bfa studio
 architects
BC REG. ARCHITECTS - INTERIOR DESIGN

Formerly RESERVAE (RAB) ARCHITECTS
 600 - 1005 Burrard Street
 Vancouver, BC V5C 2G8
 T 604 682 8544
 F 604 682 4560
 www.bfaarchitects.com

REV.	DESCRIPTION	DATE
1	ISSUED FOR PERCEIVING & OP	18 SEP 2017
2	RE-DESIGNED FOR PERCEIVING & OP	20 FEB 2018
3	RE-DESIGNED FOR PERCEIVING & OP	20 APR 2018
4	RE-DESIGNED FOR PERCEIVING & OP	18 JAN 2019
5	RE-DESIGNED FOR PERCEIVING & OP	24 APR 2019
6	RE-DESIGNED FOR PERCEIVING & OP	29 MAY 2019
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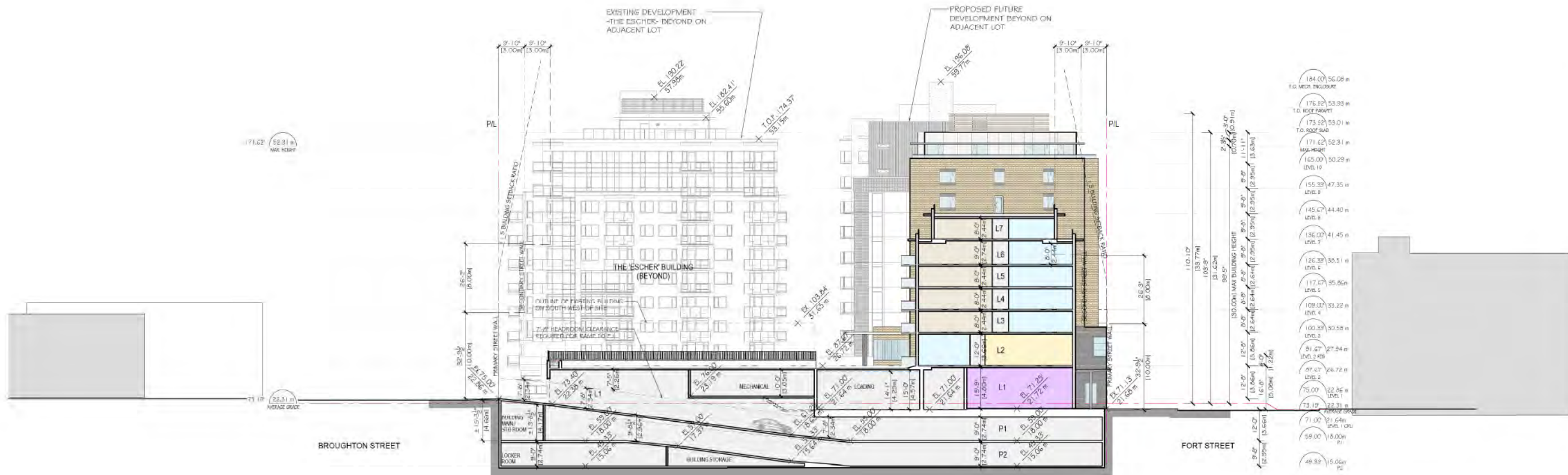
parc
 retirement
 living

PROJECT NO. 17420
 PROJECT PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**BUILDING SECTION E /
 INTERNAL WEST
 ELEVATION /
 WEST ELEVATION**

A505

DATE APR 2017
 BY [Signature]
 1:200



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 architects
L.L.C. - COMMERCIAL ARCHITECTS - INTERIOR DESIGN

Recently: **REHABITAT GROUP ARCHITECTS**
 400 - 350 Broughton Street
 Vancouver, BC V5C 2G8
 www.bfa-studio.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-DESIGNED FOR REZONING & DP	20 FEB 2018
3	RE-DESIGNED FOR ADP	02 APR 2019
4	RE-DESIGNED FOR REZONING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	28 APR 2019
6	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
7	RE-DESIGNED FOR REZONING & DP	28 MAY 2020
8	RE-DESIGNED FOR REZONING & DP	05 MAY 2021
9	RE-DESIGNED FOR REZONING & DP	24 NOV 2021

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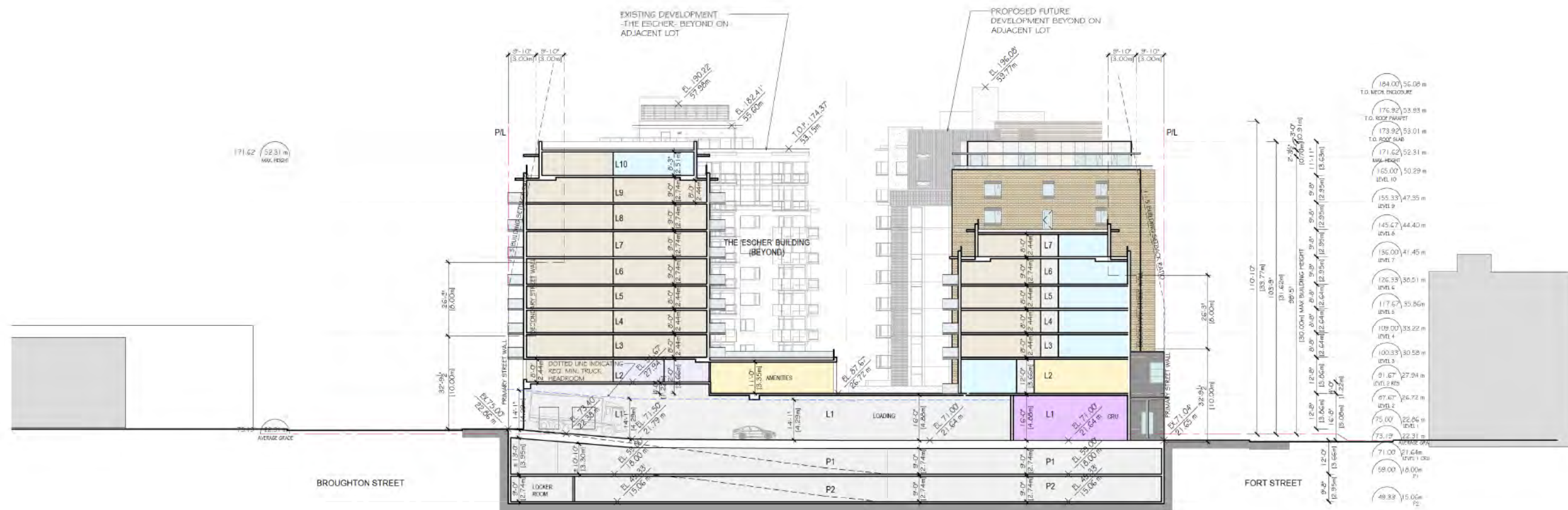
17420

PARC VICTORIA
 Mixed Use Seniors Residential &
 Commercial Development

**BUILDING SECTION F /
 INTERNAL EAST ELEVATION**

A506

APR 2017
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NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-DESIGNED FOR REZONING & DP	20 FEB 2018
3	RE-DESIGNED FOR ADP	30 APR 2018
4	RE-DESIGNED FOR REZONING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	24 APR 2019
6	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
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8	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
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10	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
11	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
12	RE-DESIGNED FOR REZONING & DP	29 MAY 2019

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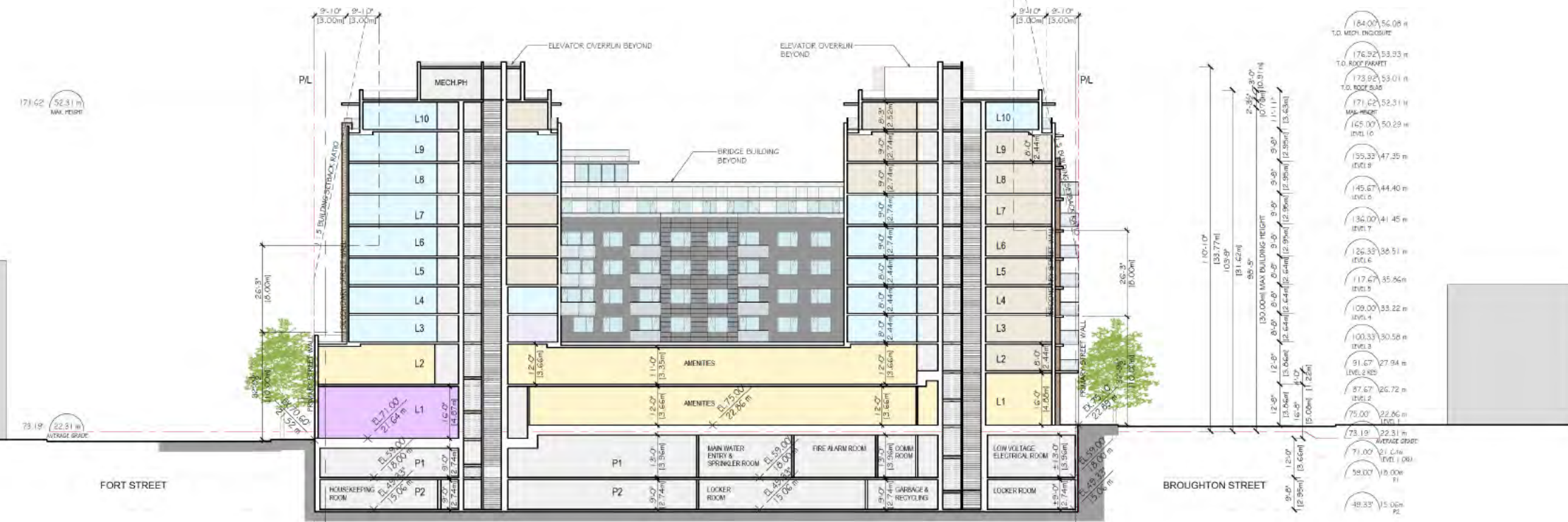
parc retirement living

17420
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

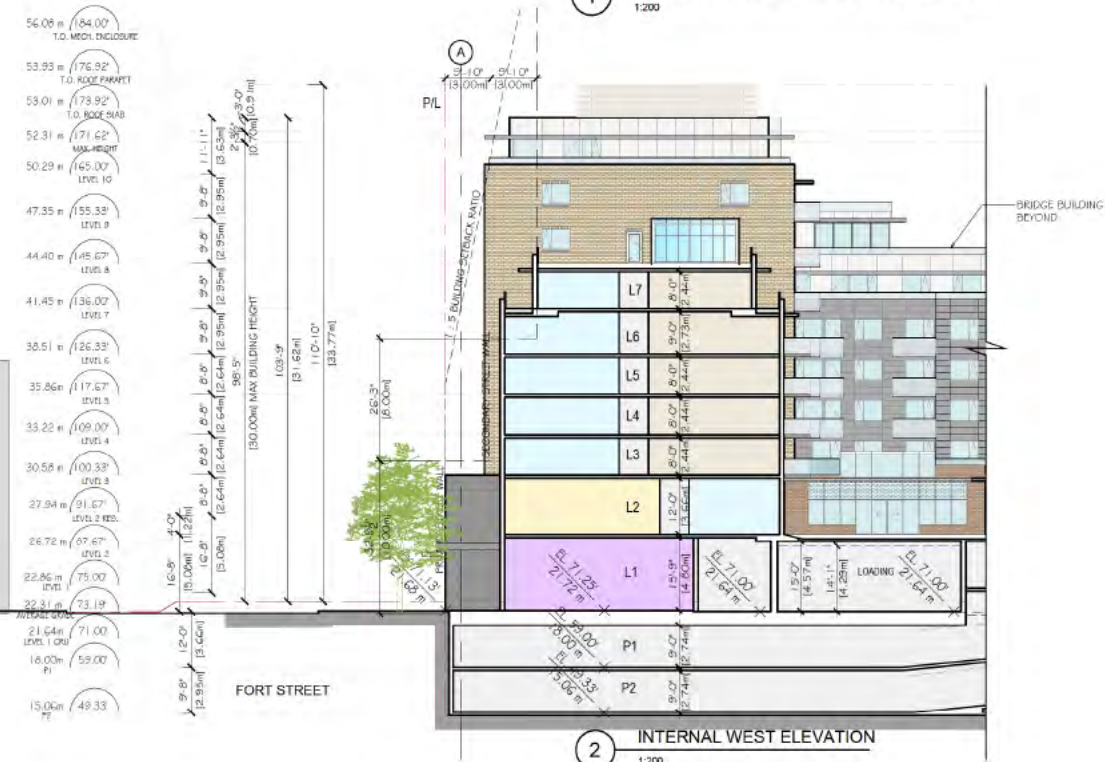
BUILDING SECTION G



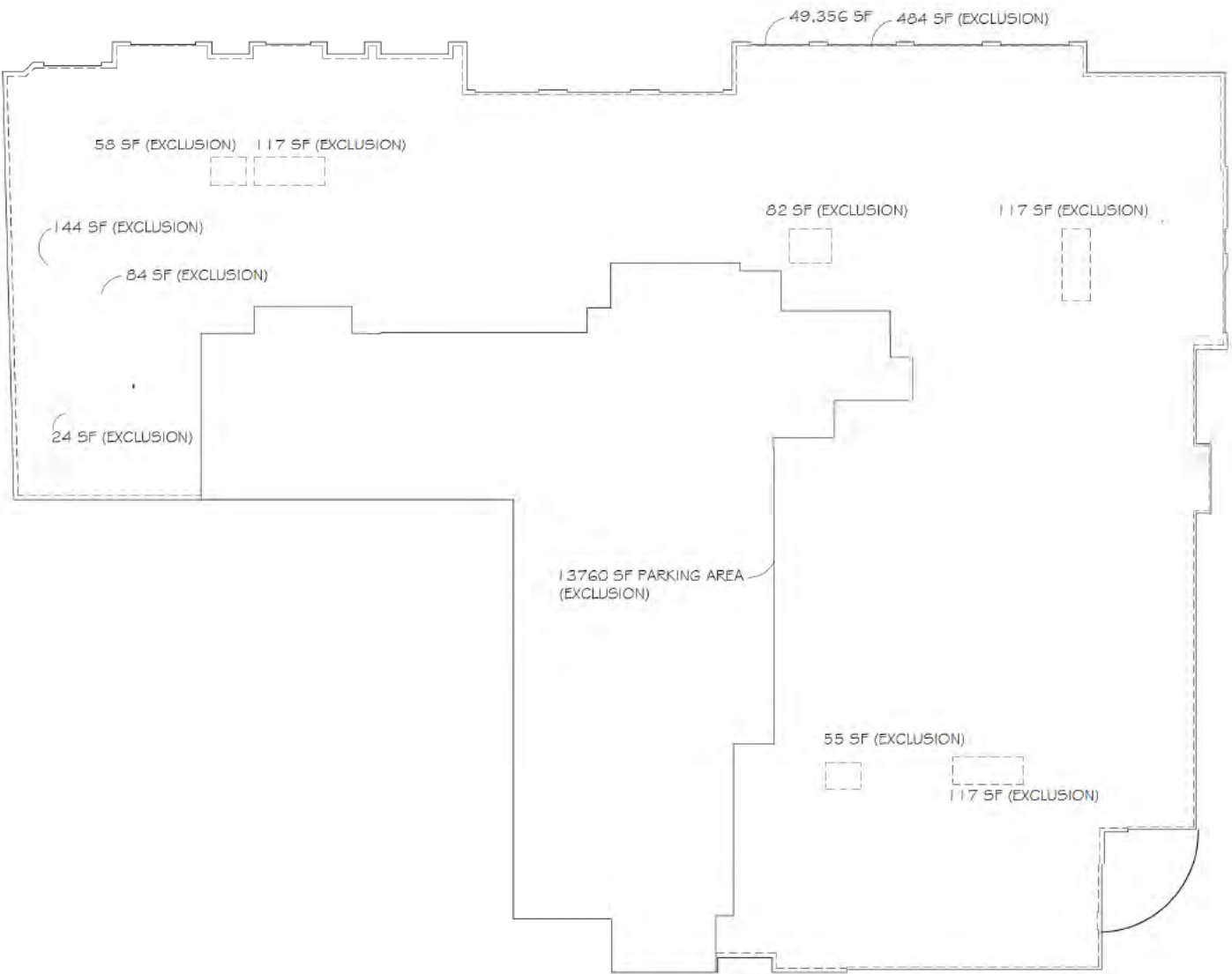
A507



1 SECTION H / INTERNAL WEST ELEVATION
1:200



2 INTERNAL WEST ELEVATION
1:200

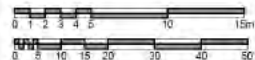


LEVEL 1 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 49,356 SF
TOTAL EXCLUDED AREA = 15,042 SF
TOTAL FSR = 34,314 SF

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW & DP	18 SEP 2017
2	RE-DESIGNED FOR REVIEW & DP	20 FEB 2018
3	RE-DESIGNED FOR REVIEW & DP	20 APR 2018
4	RE-DESIGNED FOR REVIEW & DP	18 JAN 2019
5	RE-DESIGNED FOR REVIEW & DP	24 APR 2019
6	RE-DESIGNED FOR REVIEW & DP	20 MAY 2019
7	RE-DESIGNED FOR REVIEW & DP	20 MAY 2019
8	RE-DESIGNED FOR REVIEW & DP	20 MAY 2019
9	RE-DESIGNED FOR REVIEW & DP	20 MAY 2019
10	RE-DESIGNED FOR REVIEW & DP	20 MAY 2019



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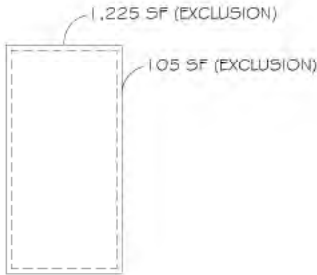
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PARC VICTORIA
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LEVEL 1
AREA OVERLAY



001



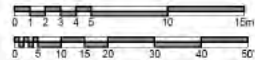
MECHANICAL LEVEL AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 4,977 SF
TOTAL EXCLUDED AREA = 322 SF
TOTAL FSR = 4,655 SF

REVISIONS

REV.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-DESIGNED FOR REZONING & DP	20 FEB 2018
3	RE-DESIGNED FOR ADP	02 APR 2018
4	RE-DESIGNED FOR REZONING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	28 APR 2019
6	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
7	RE-DESIGNED FOR REZONING & DP	28 JUL 2019
8	RE-DESIGNED FOR REZONING & DP	05 MAY 2021
9	RE-DESIGNED FOR REZONING & DP	24 NOV 2021

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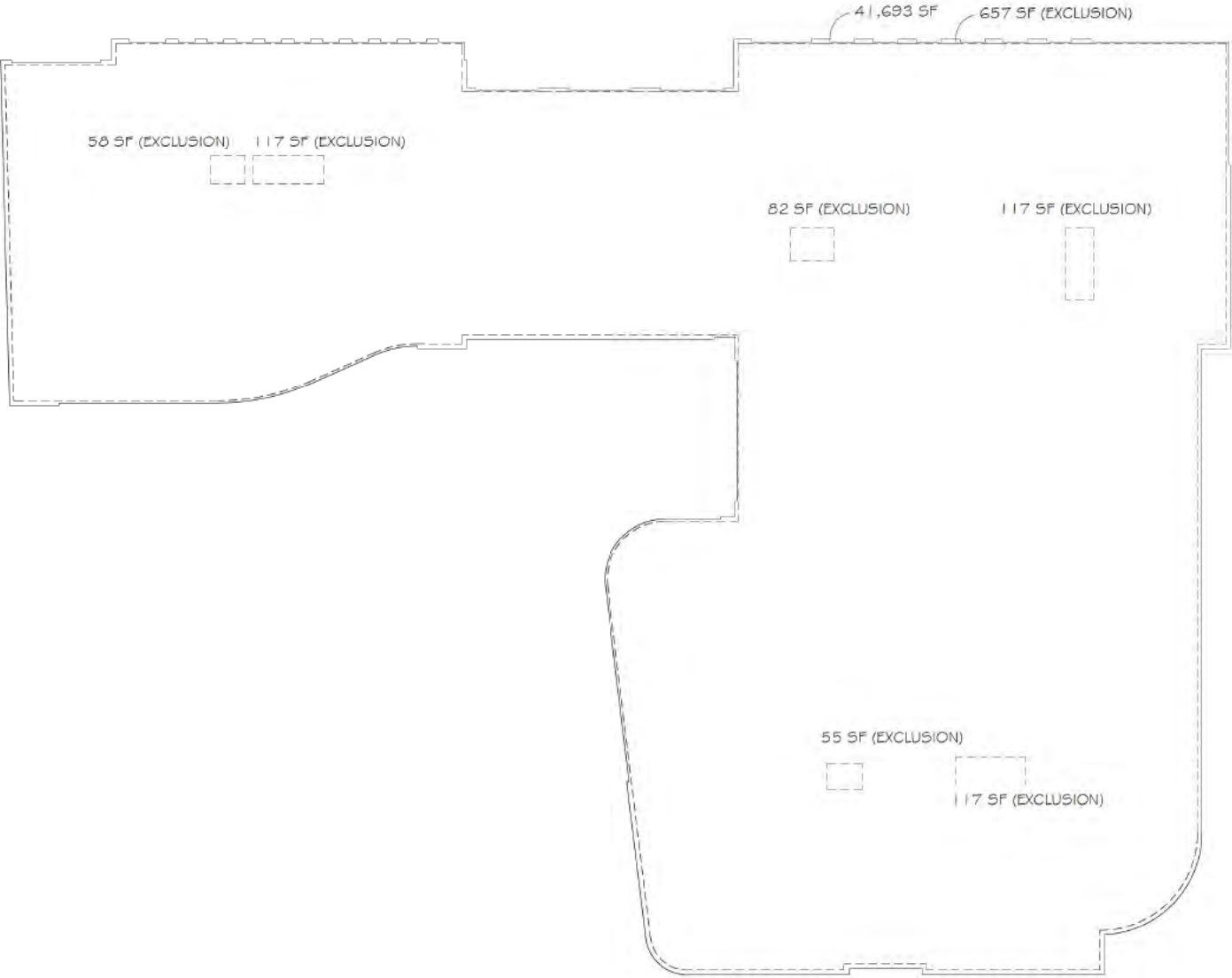
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Commercial Development

MECHANICAL LEVEL
AREA OVERLAY



002

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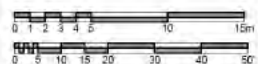
LEVEL 2 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 41,693 SF
TOTAL EXCLUDED AREA = 1,203 SF
TOTAL FSR = 40,490 SF

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-DESIGNED FOR REZONING & DP	20 FEB 2018
3	RE-DESIGNED FOR ADP	02 APR 2018
4	RE-DESIGNED FOR REZONING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	28 APR 2019
6	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
7	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
8	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
9	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
10	RE-DESIGNED FOR REZONING & DP	29 MAY 2019

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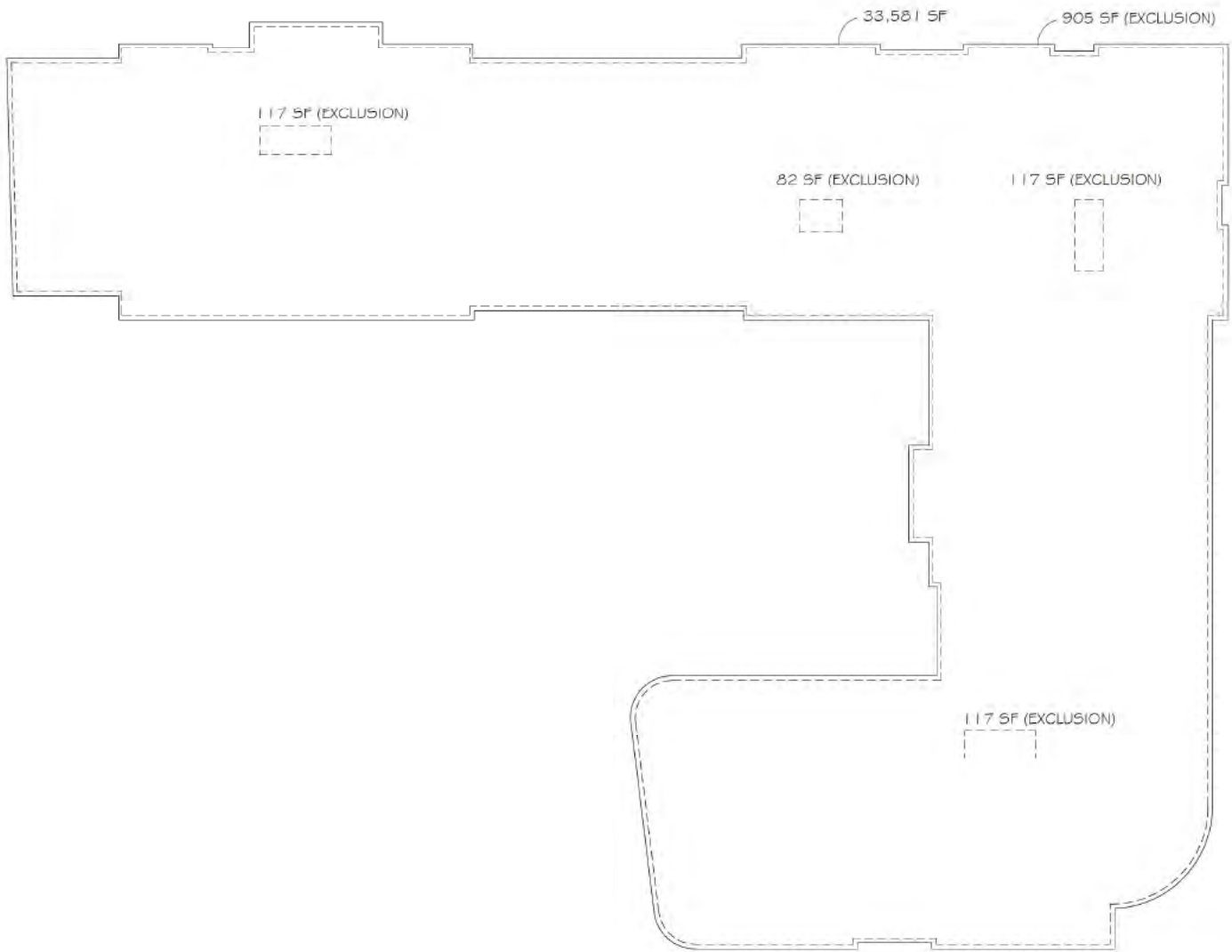
PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

LEVEL 2
AREA OVERLAY



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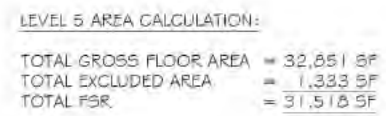


LEVEL 3 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 33,581 SF
TOTAL EXCLUDED AREA = 1,338 SF
TOTAL FSR = 32,243 SF

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR RECORDING & DP	18 SEP 2017
2	RE-DESIGNED FOR RECORDING & DP	20 FEB 2018
3	RE-DESIGNED FOR ADP	02 APR 2019
4	RE-DESIGNED FOR RECORDING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	24 APR 2019
6	RE-DESIGNED FOR RECORDING & DP	29 MAY 2019
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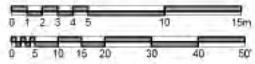




LEVEL 6 AREA CALCULATION:
TOTAL GROSS FLOOR AREA = 32,851 SF
TOTAL EXCLUDED AREA = 1,333 SF
TOTAL FSR = 31,518 SF

REVISIONS	
NO.	DESCRIPTION
1	REDESIGNED FOR REZONING & DP
2	REDESIGNED FOR REZONING & DP
3	REDESIGNED FOR REZONING & DP
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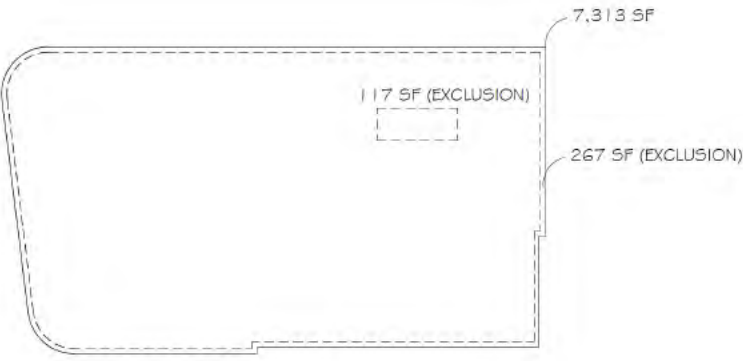
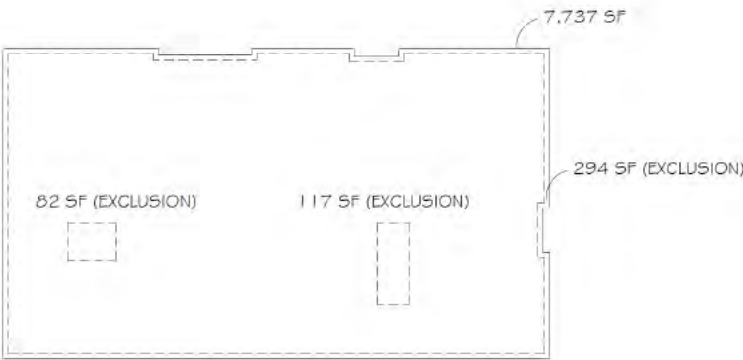
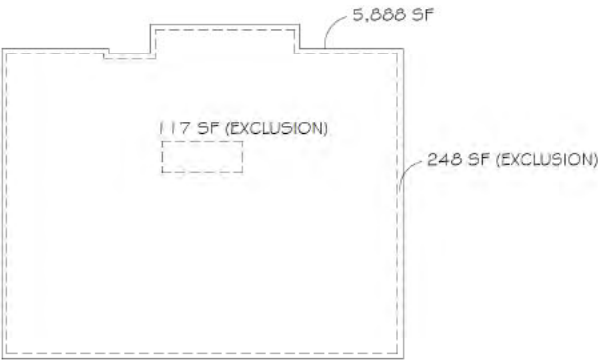
17420
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Mixed Use Seniors Residential &
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LEVEL 6
AREA OVERLAY



O07

SCALE
1:200



LEVEL 9 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 20,938 SF
TOTAL EXCLUDED AREA = 1,242 SF
TOTAL PSR = 19,696 SF

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR DP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	18 JAN 2019
5	RE-ISSUED FOR DP	28 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021
9	RE-ISSUED FOR REZONING & DP	04 NOV 2021

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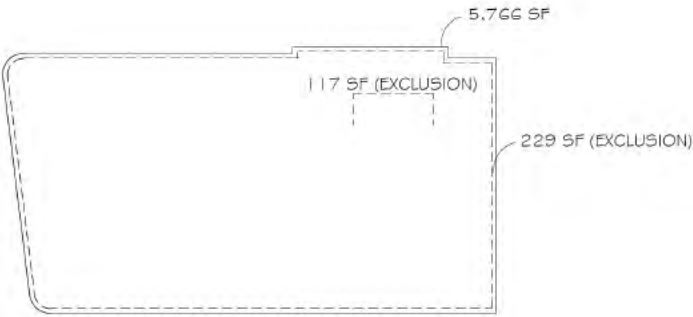
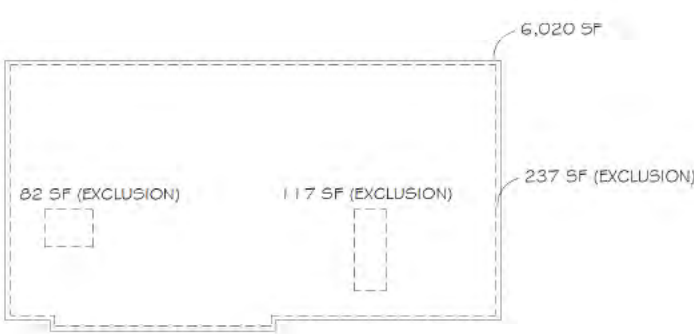
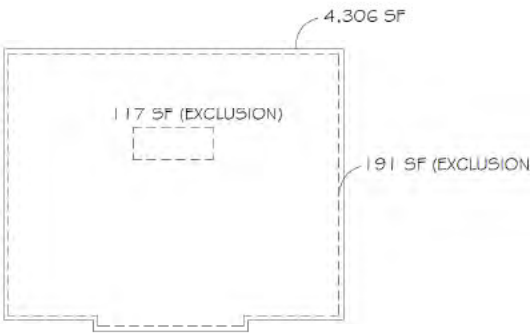
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Mixed Use Seniors Residential &
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LEVEL 9
AREA OVERLAY

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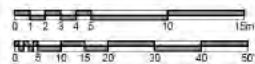
LEVEL 10 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 16,092 SF
TOTAL EXCLUDED AREA = 1,080 SF
TOTAL FSR = 15,002 SF

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-DESIGNED FOR REZONING & DP	20 FEB 2018
3	RE-DESIGNED FOR ADP	02 APR 2018
4	RE-DESIGNED FOR REZONING & DP	18 JAN 2019
5	RE-DESIGNED FOR ADP	24 APR 2019
6	RE-DESIGNED FOR REZONING & DP	29 MAY 2019
7	RE-DESIGNED FOR REZONING & DP	29 MAY 2020
8	RE-DESIGNED FOR REZONING & DP	05 MAY 2021
9	RE-DESIGNED FOR REZONING & DP	24 NOV 2021

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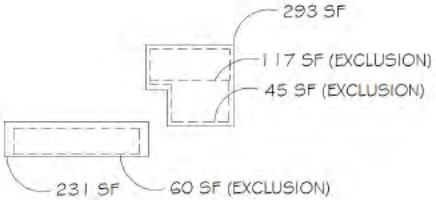
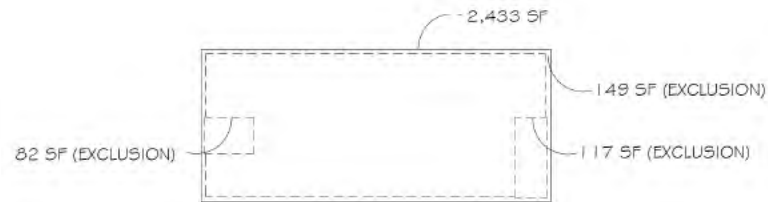
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Commercial Development

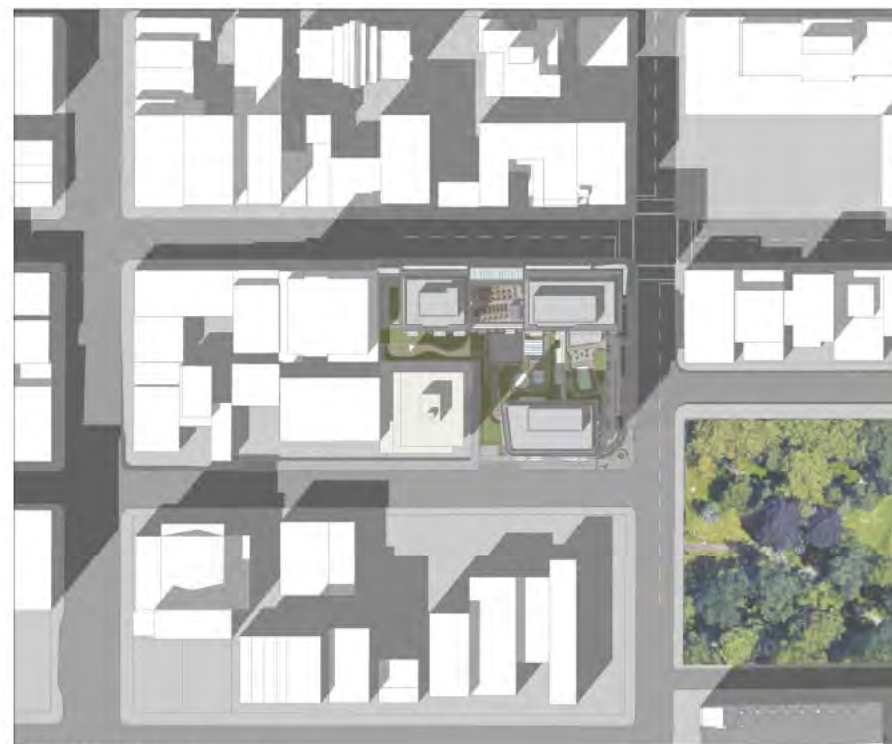
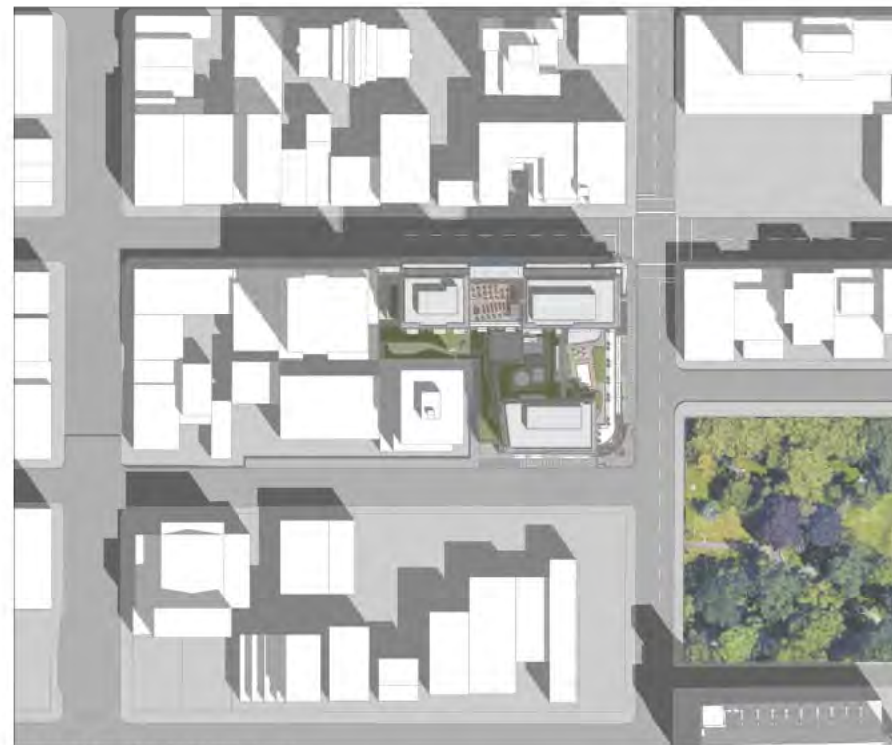
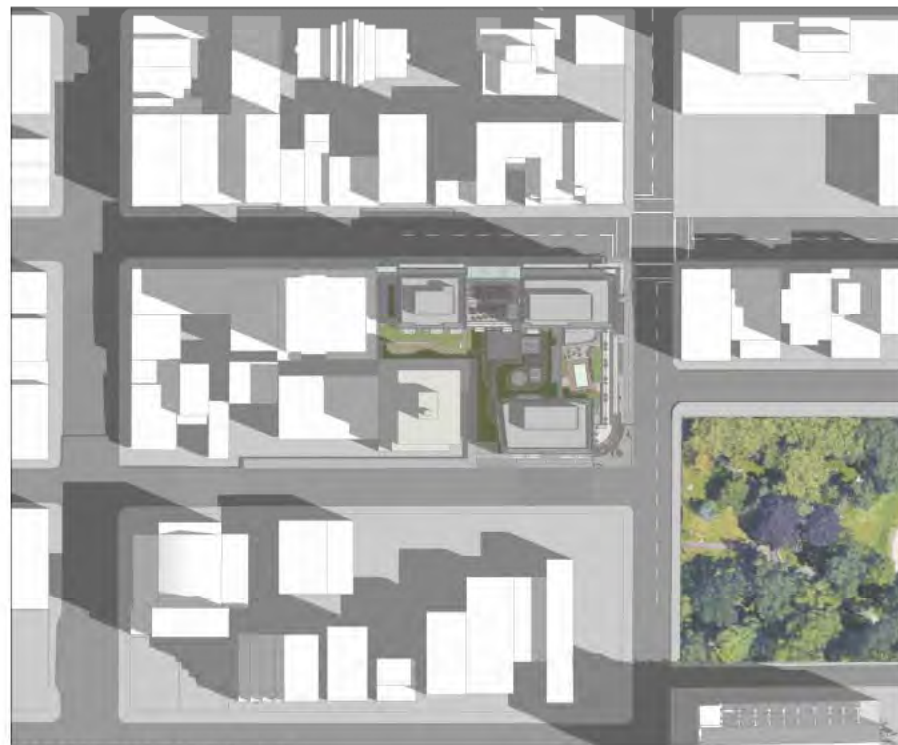
LEVEL 10
AREA OVERLAY

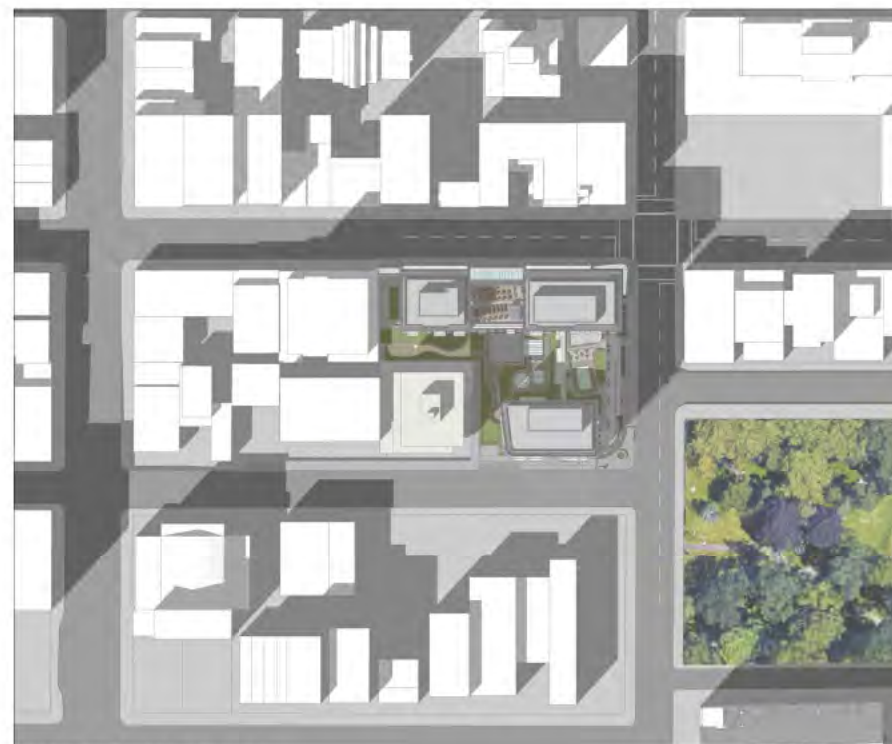
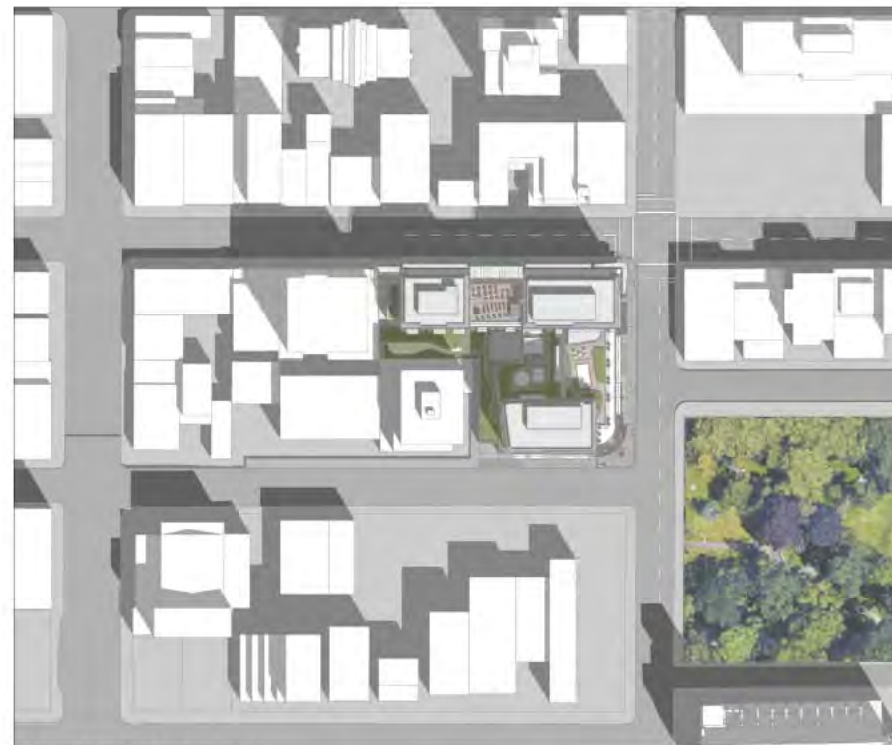
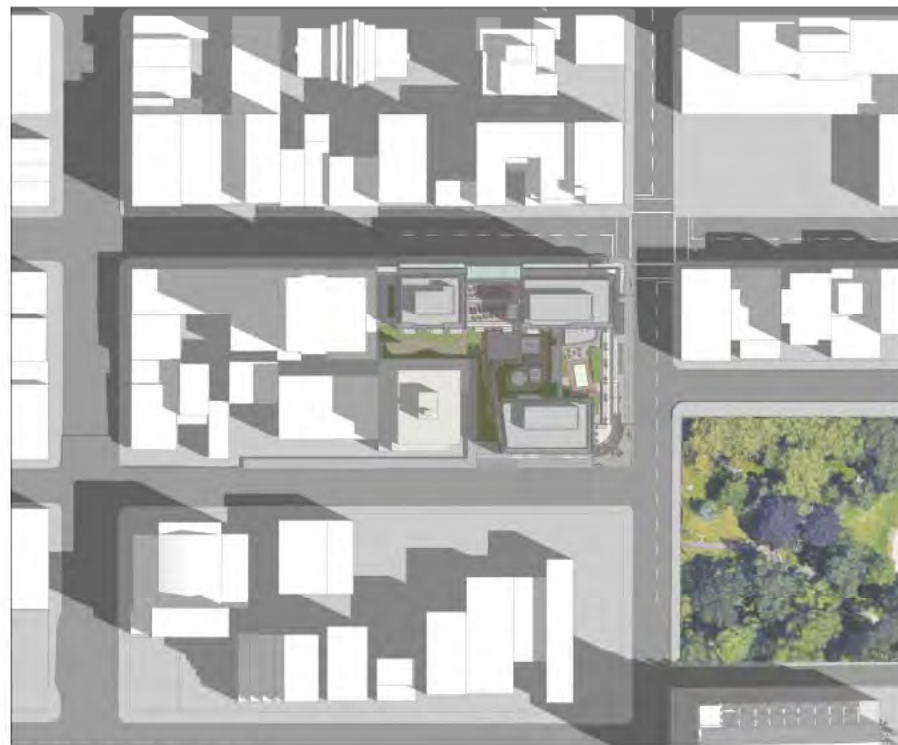


O11



TOTAL GROSS FLOOR AREA = 3,506 SF
TOTAL EXCLUDED AREA = 777 SF
TOTAL FSR = 2,729 SF

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NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29
9	REISSUED FOR DP	2020/08/28
10	REISSUED FOR REZONING & DP	2021/11/24

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PROJECTING

16053

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

COVER SHEET

SEAL



DRAWING NO.

REVISION

L0.00



DATE:
11 APRIL 2018

DRAWN:
ER

SCALE:
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







PARC SENIORS RESIDENTIAL & COMMERCIAL DEVELOPMENT





















Fort & Quadra Streets, Victoria, BC
PREPARED BY PWL PARTNERSHIP

































DRAWING CONTENTS





L0.00	COVER SHEET
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L0.02	PLANT LIST & IMAGES
L0.03	TREE MANAGEMENT PLAN
L1.01	MATERIALS & GRADING PLAN - LEVEL 1
L1.02	PLANTING PLAN - LEVEL 1
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L1.04	MATERIALS, GRADING, & PLANTING PLAN - LEVEL 3
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L4.05	DETAILS



HARDSCAPE MATERIALS LEGEND		
KEY	DETAIL	DESCRIPTION
		HARDSCAPE TYPE Tree Grate SUPPLIER: Dobney Foundry DESCRIPTION: SP-48 Square Tree Grate with Frame SIZE: 1219mm x 1219mm FINISH: COMMENT: Per City of Victoria Streetscape Guidelines
		HARDSCAPE TYPE River Rock Maintenance Strip SUPPLIER: DESCRIPTION: Washed Round River Rock SIZE: 40mm Dia. FINISH: COMMENT:
		HARDSCAPE TYPE Raised Concrete Planter SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT: Typ. 0.45m Soil Depth Shrubs, 0.9m Soil Depth Trees
		HARDSCAPE TYPE Resilient Surface SUPPLIER: DESCRIPTION: With Concrete Band SIZE: FINISH: COMMENT:
		HARDSCAPE TYPE Stairs SUPPLIER: DESCRIPTION: With Handrail & Tactile Warning SIZE: Refer to Plans & Details FINISH: COMMENT:
		HARDSCAPE TYPE Green Roof SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:

PAVING MATERIALS LEGEND		
KEY	DETAIL	DESCRIPTION
		PAVING TYPE: Cast in Place Concrete Paving SUPPLIER: DESCRIPTION: Fine Broom Finish with Saw Cut Joints SIZE: Refer to Plans and Details FINISH: COMMENT: Per City of Victoria Streetscape Guidelines
		PAVING TYPE: Concrete Unit Paver SUPPLIER: DESCRIPTION: Per City Streetscape Guidelines SIZE: 225mm L x 75mm W x 60mm D FINISH: Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey COMMENT: Per City of Victoria Streetscape Guidelines
		PAVING TYPE: Concrete Unit Paver SUPPLIER: DESCRIPTION: Colour: Desert Sand Blend SIZE: 225mm L x 112mm W x 60mm D FINISH: Running Bond Pattern COMMENT:
		PAVING TYPE: Concrete Unit Paver SUPPLIER: DESCRIPTION: Colour: Natural Grey SIZE: 225mm L x 112mm W x 60mm D FINISH: Banding Pattern COMMENT:
		PAVING TYPE: Concrete Unit Paver SUPPLIER: DESCRIPTION: Colour: Sand-Brown Blend SIZE: 225mm L x 112mm W x 60mm D FINISH: Running Bond Pattern COMMENT:
		PAVING TYPE: Concrete Unit Paver SUPPLIER: DESCRIPTION: Colour: Desert Sand Blend SIZE: 225mm L x 112mm W x 60mm D FINISH: Running Bond Pattern COMMENT:
		PAVING TYPE: Basalt Stone Banding SUPPLIER: Bedrock Natural Stone DESCRIPTION: Displaying Street Name SIZE: 300mm W x 450mm H x 80mm D FINISH: COMMENT: Per City of Victoria Streetscape Guidelines
		PAVING TYPE: Hydrapressed Slab Paver SUPPLIER: DESCRIPTION: SIZE: 457mm H x 457mm H x 40mm D FINISH: Stacked Bond Pattern; Colour: Natural Grey COMMENT: At Residential Unit Patios
		PAVING TYPE: Hydrapressed Slab Paver SUPPLIER: Abbotsford Concrete DESCRIPTION: 'Aristocrat' Paver SIZE: 457mm H x 457mm H x 40mm D FINISH: COMMENT: To Match L2 Interior Space
		PAVING TYPE: Penny Tile Paving SUPPLIER: DESCRIPTION: At Fort Street Level SIZE: FINISH: COMMENT:

SITE FURNISHING MATERIALS LEGEND		
KEY	DETAIL	DESCRIPTION
		FURNISHING TYPE Planter Pot SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:
		FURNISHING TYPE Bike Rack SUPPLIER: DESCRIPTION: 1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack SIZE: 12" Length, 3' Height FINISH: Glossy Black (RAL 9017) Baked-on Powder Coat COMMENT: Per City of Victoria Streetscape Guidelines
		FURNISHING TYPE Bollard SUPPLIER: DESCRIPTION: Per City Streetscape Guidelines SIZE: FINISH: COMMENT: Per City of Victoria Streetscape Guidelines
		FURNISHING TYPE Backless Bench SUPPLIER: DESCRIPTION: Per City Streetscape Guidelines SIZE: FINISH: COMMENT: Per City of Victoria Streetscape Guidelines
		FURNISHING TYPE Bench with Back & Arms Both Sides SUPPLIER: Landscape Forms DESCRIPTION: 'Parc Vue' Bench SIZE: FINISH: COMMENT:
		FURNISHING TYPE Chair SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:
		FURNISHING TYPE Radial Bench SUPPLIER: Maglin Site Furnishings DESCRIPTION: Ogden Radial Bench SIZE: Range 8 FINISH: COMMENT:
		FURNISHING TYPE Patio Table & Chairs SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:
		FURNISHING TYPE Privacy Screen SUPPLIER: DESCRIPTION: At Residential Unit Patios SIZE: FINISH: COMMENT:
		FURNISHING TYPE Gate SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:
		FURNISHING TYPE Trellis SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:
		FURNISHING TYPE Urban Agriculture SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:
		FURNISHING TYPE Green Roof SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:
		FURNISHING TYPE Greenhouse SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:
		FURNISHING TYPE Compost & Potting Table SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:
		FURNISHING TYPE Custom Circular Bench SUPPLIER: DESCRIPTION: SIZE: FINISH: COMMENT:

LIGHTING MATERIALS LEGEND		
KEY	DETAIL	DESCRIPTION
		LIGHTING TYPE Street Light Pole SUPPLIER: DESCRIPTION: Per City Streetscape Guidelines SIZE: FINISH: Heritage Cluster Globe Type A (Circular); Colour: Black COMMENT: Info. for Coordination Only- Refer to Electrical Drawings
		LIGHTING TYPE Street Light Pole SUPPLIER: DESCRIPTION: Per City Streetscape Guidelines SIZE: FINISH: Heritage Cluster Globe Type B (Aligned); Colour: Black COMMENT: Info. for Coordination Only- Refer to Electrical Drawings

LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
- REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

LANDSCAPE CONSTRUCTION NOTES

CONTRACT DOCUMENTS:

THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE LANDSCAPE CREW ON SITE ALWAYS HAS AND IS WORKING WITH THE LATEST CONTRACT DOCUMENTS (I.E. DRAWINGS, REVISIONS, SITE INSTRUCTIONS, ETC.)

COMPLIANCE:

PWL SHALL NOT ACCEPT RESPONSIBILITY OR LIABILITY AS IT RELATES TO THE LANDSCAPE CONSTRUCTION DUE TO DISREGARDS, ALTERATION OR FAILURE TO COMPLY WITH THE DESIGN, DRAWINGS, SPECIFICATIONS OR RECOMMENDATIONS OF THIS PROJECT DURING THE CONSTRUCTION STAGE.

CONSTRUCTION STAGE FIELD REVIEW:

- FIELD REVIEW BY PWL SHOULD NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR BUILDING THE PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, CONTROLLING THE PROGRESS, PROVIDING SAFE WORKING CONDITIONS, AND CORRECTING ANY DEVIATIONS FROM THE PROJECT REQUIREMENTS.
- FIELD REVIEW REPORT BY PWL IS THE STATEMENT OF THE FIELD REVIEWER THAT, TO THE BEST OF HIS OR HER KNOWLEDGE, INFORMATION AND BELIEF, THE INSTALLATION IS IN ACCORDANCE WITH THE GENERAL INTENT OF THE DESIGN AND IN GENERAL COMPLIANCE WITH THE PLAN AND SPECIFICATION ON THIS PROJECT. FIELD REVIEW SERVICES DO NOT ASSUME RESPONSIBILITY FOR THE WORK OF CONTRACTORS.

PLANTING GENERAL NOTES

- ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.
- SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
- PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
- PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
- PLANTS WILL BE NURSERY GROWN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
- CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.

GRADING GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE DRAWINGS.
- UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
- UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
- TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.



101 FULTON STREET, SUITE 100, VICTORIA, BC V8V 2E2
(250) 383-0011

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR REZONING 2017/03/19
2	ISSUED FOR REZONING 2019/02/09
3	ISSUED FOR REZONING 2019/02/20
4	ISSUED FOR ADP 2019/03/28
5	BUDGET SET 2019/03/29
6	ISSUED FOR DP 2019/01/07
7	REISSUED FOR DP 2019/01/16
8	REISSUED FOR DP 2019/05/29
9	REISSUED FOR DP 2020/09/28
10	REISSUED FOR REZONING & DP 2021/11/24

CLIENT

PROJECT NO. 16053

PROJECT: PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

LEGENDS & NOTES

SEAL



DRAWING NO.

REVISION

L0.01

DATE: 11 APRIL 2018
SCALE

DRAWN: ER
CHECKED: BH



Acer capillipes



Acer capillipes



Quercus robur x 'Crimson Spire'



Quercus robur x 'Crimson Spire'



Stewartia pseudocamellia



Stewartia pseudocamellia



Buxus microphylla 'Winter Gem'



Sarcococca hookeriana humilis



Skimmia japonica



Choisy ternata



Nandina domestica



Euonymus fortunei 'Emerald Gaiety'



Ceanothus impressus 'Victoria'



Osmanthus delavayii



Rosa 'Meidiland Pink'



Rhododendron 'Elizabeth'



Taxus x media 'H. M. Eddie'



Aquilegia 'Dragon Fly' Hybrid



Echinacea purpurea



Erica carnea 'Springwood Pink'



Helleborus sp.



Hosta sp.



Iris sibirica



Lavandula angustifolia 'Hidcote'



Monarda didyma



Dryopteris erythrosora



Phlox maculata alpha



Rudbeckia fulgida 'Goldstrum'



Tiarella cordifolia



Veronica spicata 'Sunny Border Blue'



Carex morrowii 'Ice Dance'



Helictotrichon sempervirens



Polystichum munifolium



Akebia quinata



Allium giganteum

Plant List

Parc Victoria

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
ACC	3	Acer capillipes	Red Snakebark Maple	6 cm cal. 16" Standard	As Shown	B&B, Specimen and densely branched, no included bark, uniform branching
AGR	3	Acer griseum	Paper Bark Maple	6 cm cal. 12-1/2" cal.	As Shown	B&B, Uniform branching, dense tree, 6' (1.8m) std.
APL	1	Acer palmatum 'Green'	Green Japanese Maple	4.0 mHt. x 2 m W. 112 ht. # 8.5W.	As Shown	B&B, Specimen and densely branched, no included bark, 3 stems
ARA	10	Acer rubrum 'Armstrong'	Armstrong Red Maple	6cm cal. 13" cal.	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
ARN	5	Acer rubrum 'Scarlet'	Scarlet Sennele Red Maple	6 cm cal. 13" cal.	As Shown	B&B, Uniform branching, dense tree, 6' (1.8 m) std.
CKO	3	Cornus kousa	Kousa Dogwood	6 cm cal. 12-1/2" cal.	As Shown	B&B, Well branched, dense tree
PCH	3	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	7 cm cal. 12 1/2" cal.	As Shown	B&B, Well branched, dense tree, 6' (1.8 m) std.
CRC	1	Quercus robur x 'Crimson Spire'	Crimson Spire Oak	8 cm cal. 13" cal.	As Shown	B&B, Well branched, dense tree
SPS	3	Stewartia pseudocamellia	Japanese Stewartia	5 cm cal. 12" cal.	As Shown	B&B, Well branched, dense tree
TST	12	Thuja Spiral Topiary	Emerald Green Arborvitae	1.2 m ht. 14'-0" ht.	As Shown	B&B, Well branched, dense tree, nursery grown
Shrubs						
BMW	54	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#3 pot	45 cm (18")	Well established
CIV	16	Ceanothus impressus 'Victoria'	Brilliant Ceanothus	#3 pot	90cm (36")	Well established
CTR	32	Choisy ternata	Mexican Orange Blossom	#3 pot	90cm (36")	Well established
CSR	35	Cornus sericea	Red-osier Dogwood	#2 pot	90cm (36")	Well established, nursery grown
HYR	12	Hibiscus syriacus 'Red Heart'	Red Heart Rose-of-Sharon	#3 pot	100cm (39")	Well established
LJT	14	Ligustrum japonicum 'Taxanum'	Japanese Privet	#3 pot	60cm (24")	Well established, dense hedging plant
NDM	23	Nandina domestica	Heavenly Bamboo	#3 pot	90cm (36")	Well established
OSD	13	Osmanthus delavayii	Sweet olive	#3 pot	107cm (42")	Well established
PLO	131	Prunus laurocerasus 'Otto Luyken'	Otto Luyken laurel	#3 pot	90cm (24")	Well established
RBB	56	Rhododendron 'Bow Bells'	Bow Bells Rhododendron	#3 pot	75cm (30")	Well established
REL	46	Rhododendron 'Elizabeth'	Elizabeth Rhododendron	#3 pot	75cm (30")	Well established
RHC	11	Rhododendron 'Hino Crimson'	Hino Crimson Rhododendron	#3 pot	75cm (30")	Well established
RMF	13	Rhododendron 'Mary Fleming'	Mary Fleming Rhododendron	#3 pot	75cm (30")	Well established
RRP	11	Rhododendron 'Ramapo'	Ramapo Rhododendron	#3 pot	75cm (30")	Well established
RAL	36	Ribes alpinum	Alpine Currant	#3 pot	90cm (36")	Well established, nursery grown
RSK	9	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#2 pot	100cm (39")	Well established, nursery grown
RMP	8	Rosa 'Meidiland Pink'	Meidiland Pink Rose	#2 pot	60cm (24")	Well established
RMR	14	Rosa 'Meidiland Red'	Red Meidiland	#2 pot	60cm (24")	Well established
RWM	9	Rosa 'White Meidiland'	White Meidiland Rose	#2 pot	45 cm (18")	Well established
RRB	40	Rosa rubrifolia	Redleaf Rose	#3 pot	75cm (30")	Well established, nursery grown
SHH	205	Sarcococca hookeriana humilis	Himalayan Sarcococca	#3 pot	45 cm (18")	Well established
SJP	214	Skimmia japonica	Japanese Skimmia	#3 pot	60 cm (24")	Well established
TXM	29	Taxus x media 'H.M. Eddie'	H.M. Eddie Yew	1.2m ht.	40 cm (16")	Well established, dense hedging plant / B & B
VDV	167	Viburnum davidii	David Viburnum	#2 pot	60 cm (24")	Well established
Ground Cover						
DBW	65	Daphne burkwoodii 'Carol Mackie'	Carol Mackie Daphne	#1 pot	38cm (15")	15cm (6") height
DCN	57	Daphne cneorum	Rose Daphne	#1 pot	38cm (15")	15cm (6") height
ECP	327	Erica carnea 'Springwood Pink'	Spring Pink Winter Heath	#1 pot	38cm (15")	15cm (6") height
EFE	18	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Wintercreeper	#1 pot	38 cm (15")	25cm (10") spread. Minimum 3 leads
LMB	83	Liriope muscari 'Big Blue'	Big Blue Lily-turt	#1 pot	30 cm (12")	Well established
PMY	111	Paxistima myrsinites	Oregon Boxwood	#1 pot	38cm (15")	20cm (8") height
Perennials						
AFR	59	Aquilegia 'Dragon Fly' Hybrid	White/Pink Columbine	#1 pot	30 cm (12")	Well established, nursery grown
EPR	14	Echinacea purpurea	Purple Cone Flower	#1 pot	45 cm (18")	Well established
HOS	205	Helleborus sp.	Lenten Rose	#1 pot	35 cm (14")	Well established
HHN	44	Hosta sp.	Hosta	#1 pot	40 cm (16")	Well established
HOV	27	Hosta undulate variegated	Variegated Hosta	#1 pot	40 cm (16")	Well established
IRS	9	Iris sibirica	Siberian Iris	#1 pot	35cm (14")	Well established
LHI	97	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	#1 pot	40 cm (16")	Well established
MON	27	Monarda didyma (Red)	Red Bee Balm	#1 pot	40 cm (16")	Well established
PHL	32	Phlox maculata alpha	Pink Meadow Phlox	#1 pot	30 cm (12")	Well established, nursery grown
PSR	43	Phlox subulata 'Red Wings'	Red Wings Phlox	#1 pot	30 cm (12")	Well established, nursery grown
RBG	8	Rudbeckia fulgida 'Goldstrum'	Black Eyed Susan	#1 pot	40 cm (16")	Well established
TCO	92	Tiarella cordifolia	Peam Flower	#1 pot	30 cm (12")	Well established
VSB	64	Veronica spicata 'Sunny Border Blue'	Blue Veronica	#1 pot	30 cm (12")	Well established, nursery grown
Ornamental Grasses						
Vines						
Aquatic Plants						
Ferns						
DRE	13	Dryopteris erythrosora	Aurumn Fern	#1 pot	40 cm (16")	Well established
PMU	19	Polystichum munifolium	Western Swore Fern	#1 pot	40 cm (16")	Well established, nursery grown
Bulbs						

NOTE: LEVEL 7 GREEN ROOF WILL USE ETERA SUN & SHADE SEDUM TILES WHICH CONSISTS OF THE FOLLOWING PLANT MIX:

- Sedum acre 'Aurea'
- Sedum album 'Green Ice'
- Sedum kamtschaticum 'Weihenstephaner Gold'
- Sedum reflexum 'Blue Spruce'
- Sedum reflexum 'Green Spruce'
- Sedum sexangulare
- Sedum spurium 'Album Superbum'
- Sedum spurium 'Fuldaglut'
- Sedum spurium 'Summer Glory'
- Sedum takesimensis 'Golden Carpet'



171 FLORENCE STREET, SUITE 100, VANCOUVER, BC V6E 2E1
468-6281

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
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7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29
9	REISSUED FOR DP	2020/08/28
10	REISSUED FOR REZONING & DP	2021/11/24

CLIENT

PROJECT

16053

PROJECTING

16053

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

REPRESENTATIVE PLANT LIST

SEAL

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
JASON WEBER
379

DRAWING NO.

REVISION

L0.02

DATE

11 APRIL 2018

SCALE


DRAWN

ER

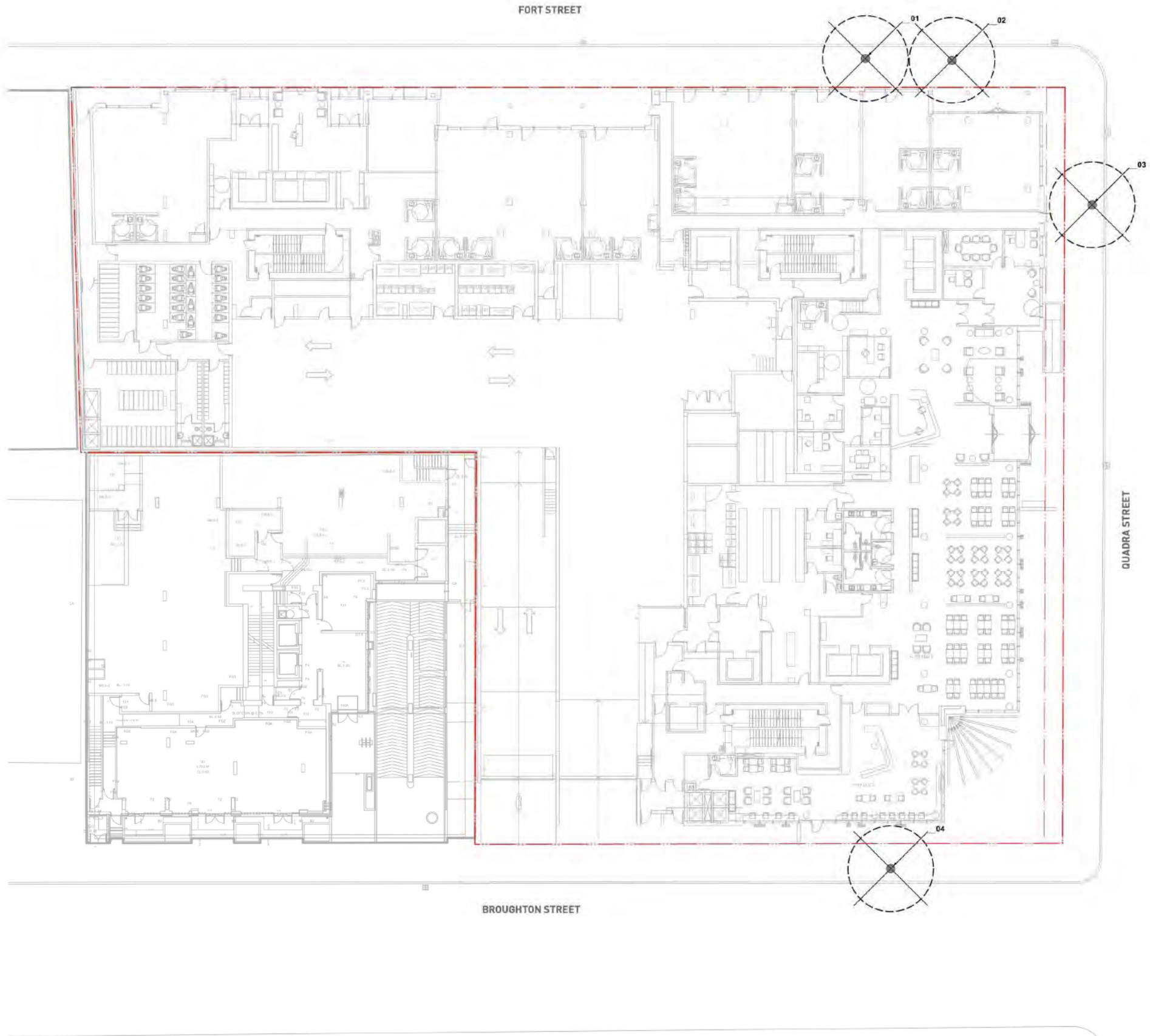
CHECKED

BH

TREE MANAGEMENT LEGEND



TREE TO REPLACE





1ST FLOOR, 1811 WEST PENDER STREET
VANCOUVER, BC V6L 2J2
561-683-5771

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
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8	REISSUED FOR DP	2019/05/29
9	REISSUED FOR DP	2020/08/28
10	REISSUED FOR REZONING & DP	2021/11/24

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retirement living

PROJECT NO.

16053

PROJECT

PARC VICTORIA

Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

TREE MANAGEMENT PLAN

SEAL



DRAWING NO.

REVISION

L0.03



DATE

11 APRIL 2018

SCALE

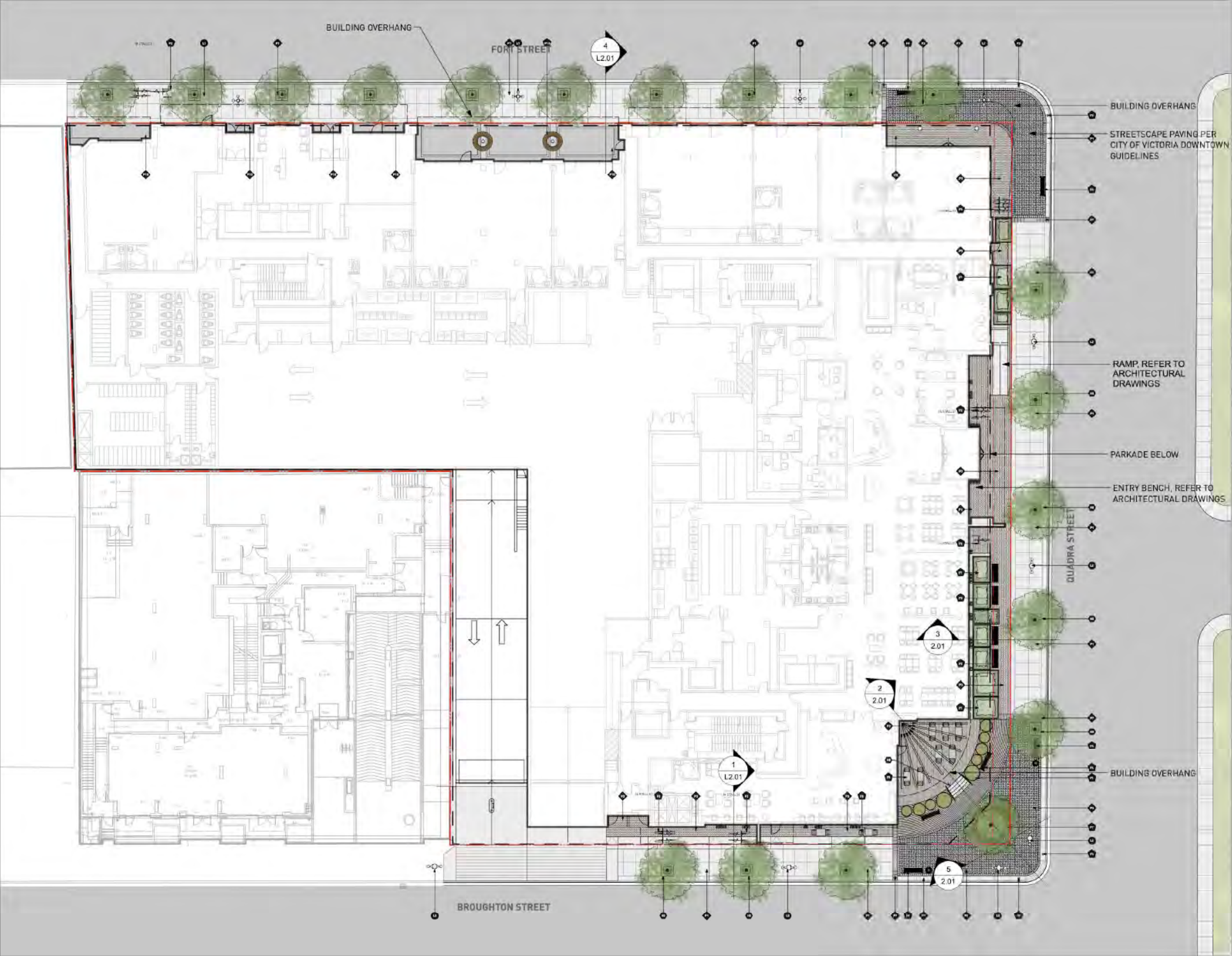
1:200

DRAWN

ER

CHECKED

BH



NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.

HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
	Tree Grate SP-48 Square Tree Grate with Frame
	River Rock Maintenance Strip Washed Round River Rock
	Raised Concrete Planter
	Resilient Surface With Concrete Band
	Stairs With Handrail & Tactile Warning
	Green Roof
PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
	Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints
	Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band, Colour: Natural Grey
	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
	Concrete Unit Paver Colour: Natural Grey Banding Pattern
	Concrete Unit Paver Colour: Sand-Brown Blend Running Bond Pattern
	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
	Basalt Stone Banding Displaying Street Name
	Hydropressed Slab Paver
	Stacked Bond Pattern: Colour: Natural Grey
	Hydropressed Slab Paver "Anticraft" Paver
	Penny Tile Paving At Fort Street Level
SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
	Planter Pot
	Bike Rack 1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat
	Bollard Per City Streetscape Guidelines
	Backless Bench Per City Streetscape Guidelines
	Bench with Back & Arms Both Sides "Parc Vue" Bench
	Chair
	Radial Bench Ogden Radial Bench
	Patio Table & Chairs
	Privacy Screen At Residential Unit Patios
	Gate
	Trellis
	Urban Agriculture
	Green Roof
	Greenhouse
	Compost & Pelling Table
	Custom Circular Bench
LIGHTING MATERIALS LEGEND	
KEY	DESCRIPTION
	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular): Colour: Black
	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (All-glass): Colour: Black



171 FLORENCE STREET, VICTORIA, BC V8T 2G1
403-683-8877

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/02/18
2	ISSUED FOR REZONING	2018/02/06
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29
9	REISSUED FOR DP	2020/08/28
10	REISSUED FOR REZONING & DP	2021/11/24

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PROJECT NO. 16053

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **MATERIALS PLAN LEVEL 1**

DATE

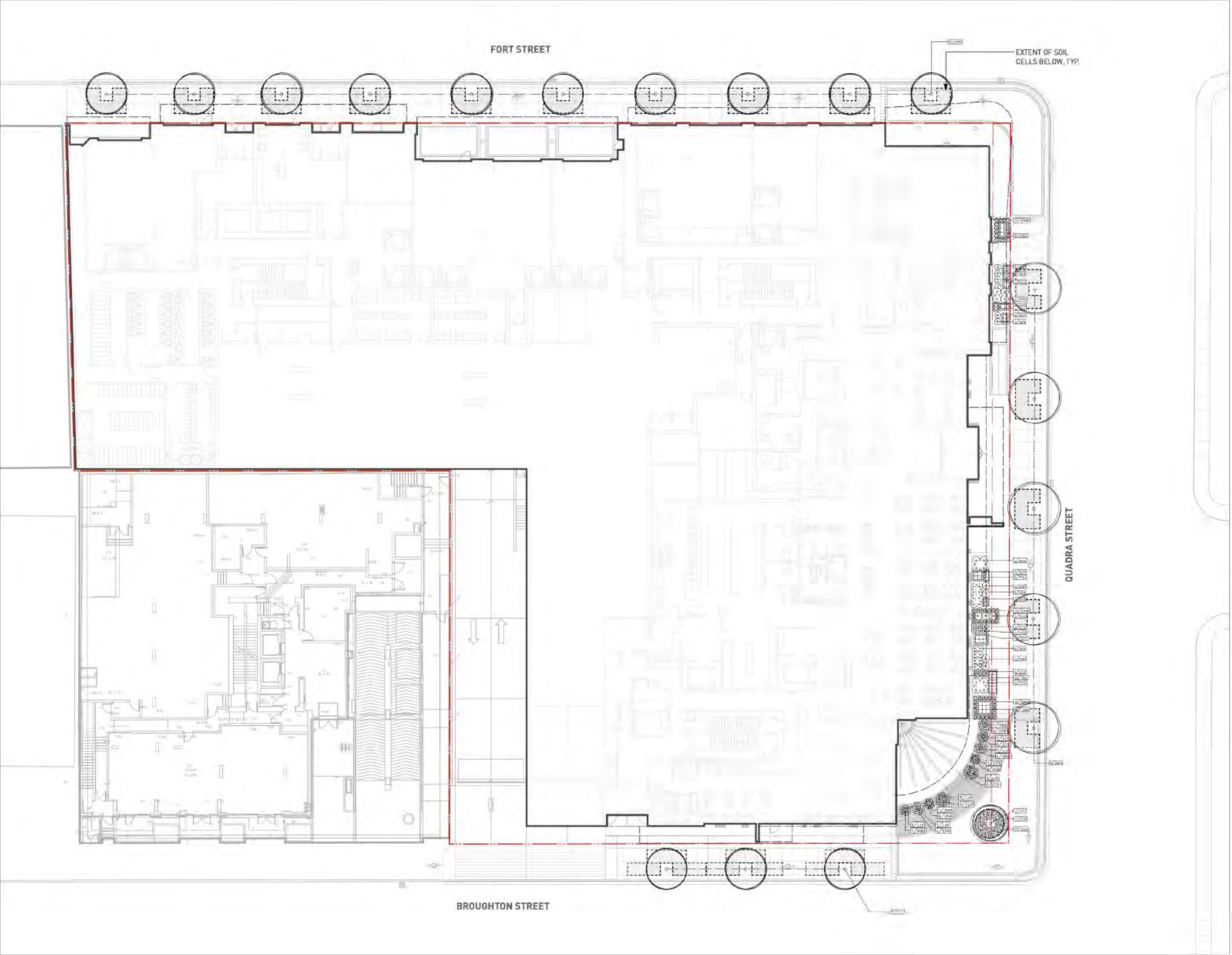
REGISTERED MEMBER
JASON WEBBMAN
379


DRAWING NO. REVISION

L1.01

DATE: 11 APRIL 2018
SCALE: 1:200

DRAWN BY: ER
CHECKED BY: BH





1ST FLOOR, 1811 WEST HENDER STREET
VANCOUVER, BC V6L 2E2
561-6833

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/19
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29
9	REISSUED FOR DP	2020/08/28
10	REISSUED FOR REZONING & DP	2021/11/24

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PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING FILE

**PLANTING PLAN
LEVEL 1**

REAL



REGISTERED
MEMBER
JASON WEBBMAN
379
LANDSCAPE ARCHITECTS

DRAWING NO.

REVISION

L1.02

DATE

11 APRIL 2018

DRAWN

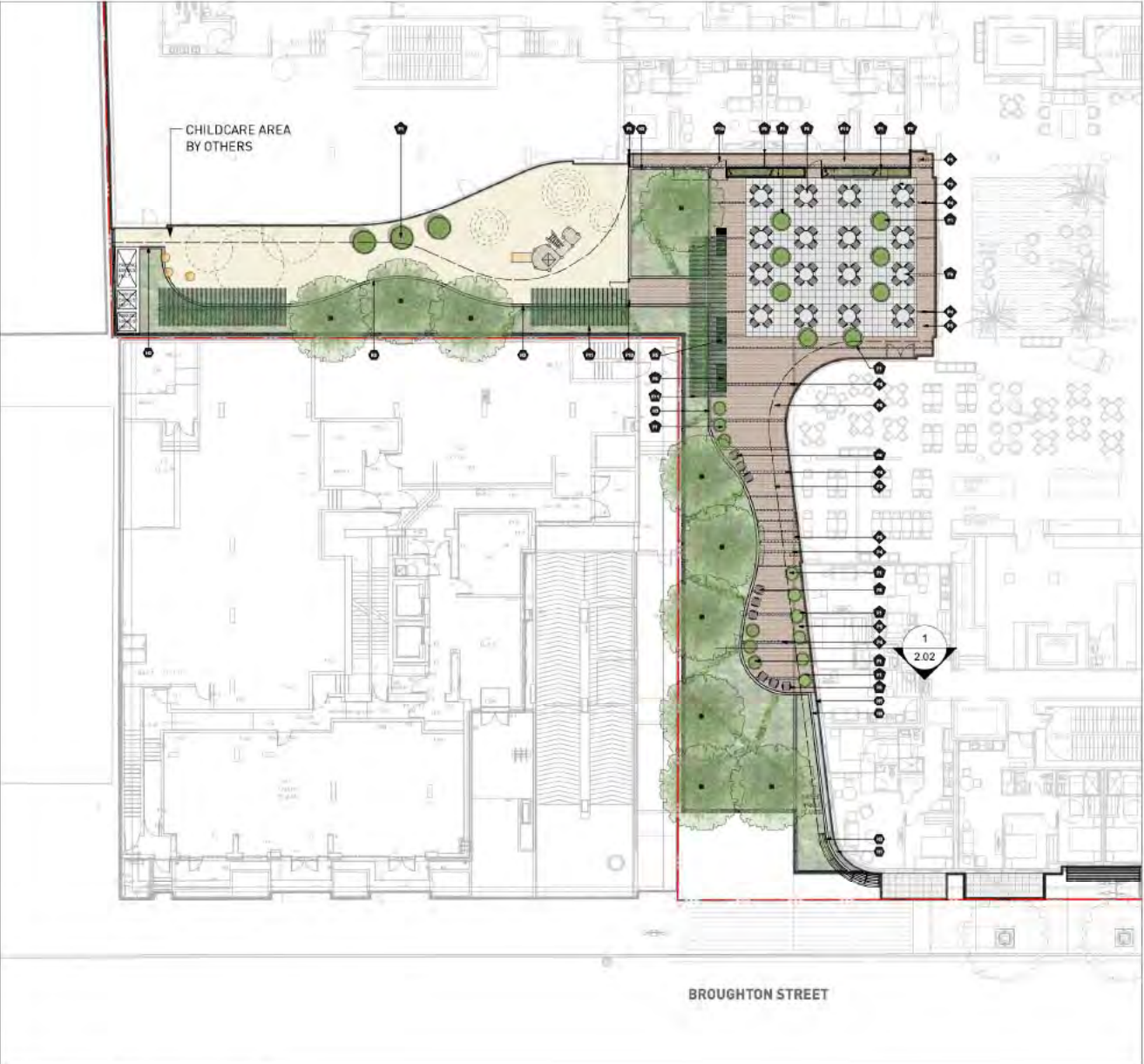
ER

SCALE

1:200

CHECKED

BH



1 MATERIALS AND GRADING PLAN
1:200

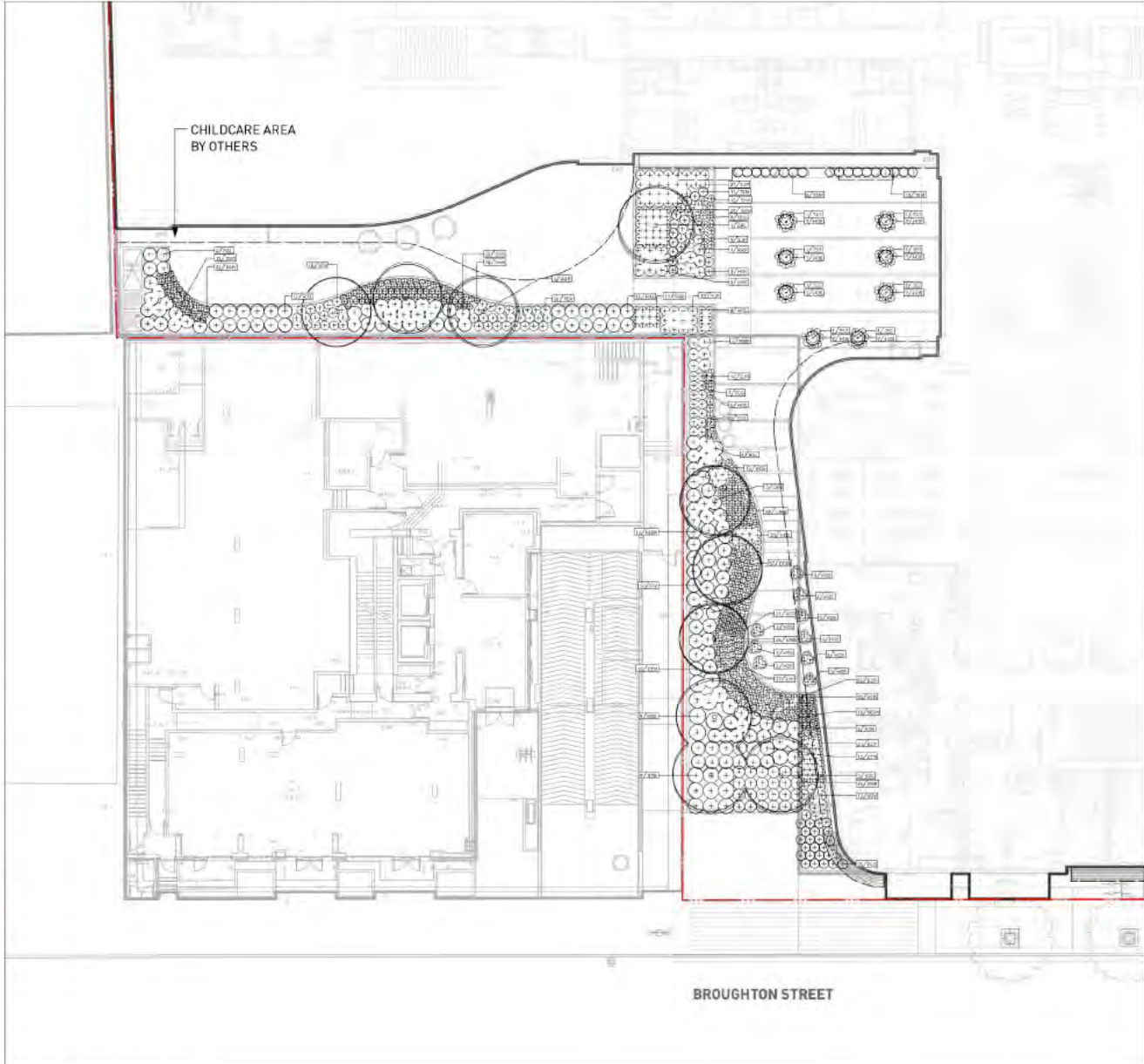
KEY	DESCRIPTION
P1	Planter Pot
P2	Bike Rack 1.5' Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat
P3	Bollard Per City Streetscape Guidelines
P4	Backless Bench Per City Streetscape Guidelines
P5	Bench with Back & Arms Both Sides 'Pasc-Vue' Bench
P6	Chair
P7	Radial Bench Ogden Radial Bench
P8	Patio Table & Chairs
P9	Privacy Screen At Residential Unit Patios
P10	Gate
P11	Trellis
P12	Urban Agriculture
P13	Green Roof
P14	Greenhouse
P15	Compost & Potting Table
P16	Custom Circular Bench

KEY	DESCRIPTION
P1	Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints
P2	Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey
P3	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
P4	Concrete Unit Paver Colour: Natural Grey Banding Pattern
P5	Concrete Unit Paver Colour: Sand-Brown Blend Running Bond Pattern
P6	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
P7	Basalt Stone Banding Displaying Street Name
P8	Hydressed Slab Paver Stacked Bond Pattern; Colour: Natural Grey
P9	Hydressed Slab Paver 'Aristocrat' Paver
P10	Penny Tile Paving At Port Street Level

KEY	DESCRIPTION
L1	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular); Colour: Black
L2	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (Aligned); Colour: Black

KEY	DESCRIPTION
H1	Tree Grate SP-48 Square Tree Grate with Frame
H2	River Rock Maintenance Strip Washed Round River Rock
H3	Raised Concrete Planter
H4	Resilient Surface With Concrete Band
H5	Stairs With Handrail & Tactile Warning
H6	Green Roof

NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.



2 PLANTING PLAN
1:200

NOTE: REFER TO PLANT LIST L0.02.



KEY PLAN 1:1000



67 FLOOR, 1001 WEST HENDER STREET
VANCOUVER, BC V6E 2J2
604-683-0771

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/06
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29
9	REISSUED FOR DP	2020/08/28
10	REISSUED FOR REZONING & DP	2021/11/24

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16053

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

**MATERIALS &
GRADING PLAN AND
PLANTING PLAN
LEVEL 2**

SEAL



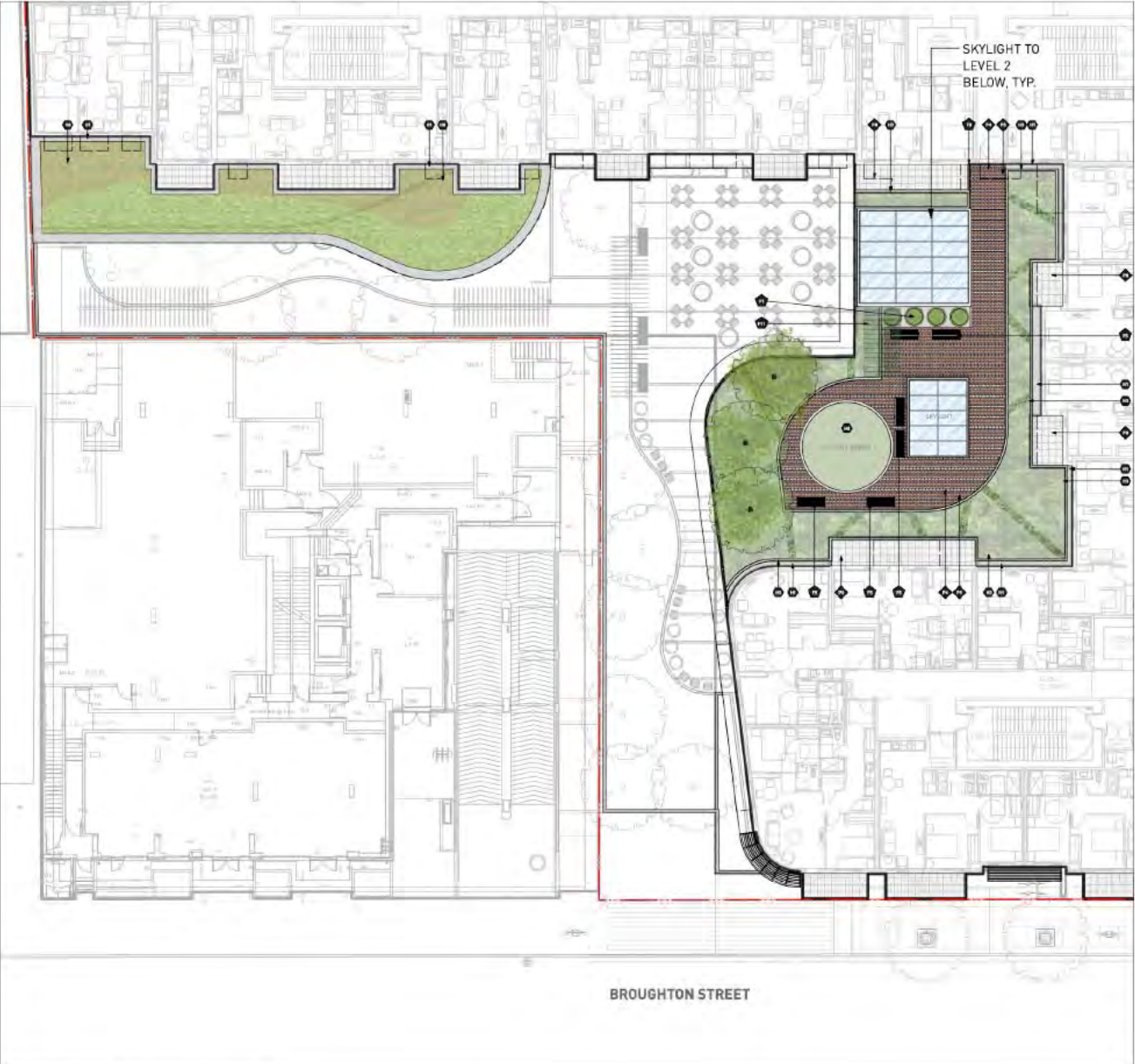
DRAWING NO.

REVISION

L1.03

DATE:
11 APRIL 2018
SCALE:
1:200

DRAWN BY:
ER
CHECKED BY:
BH

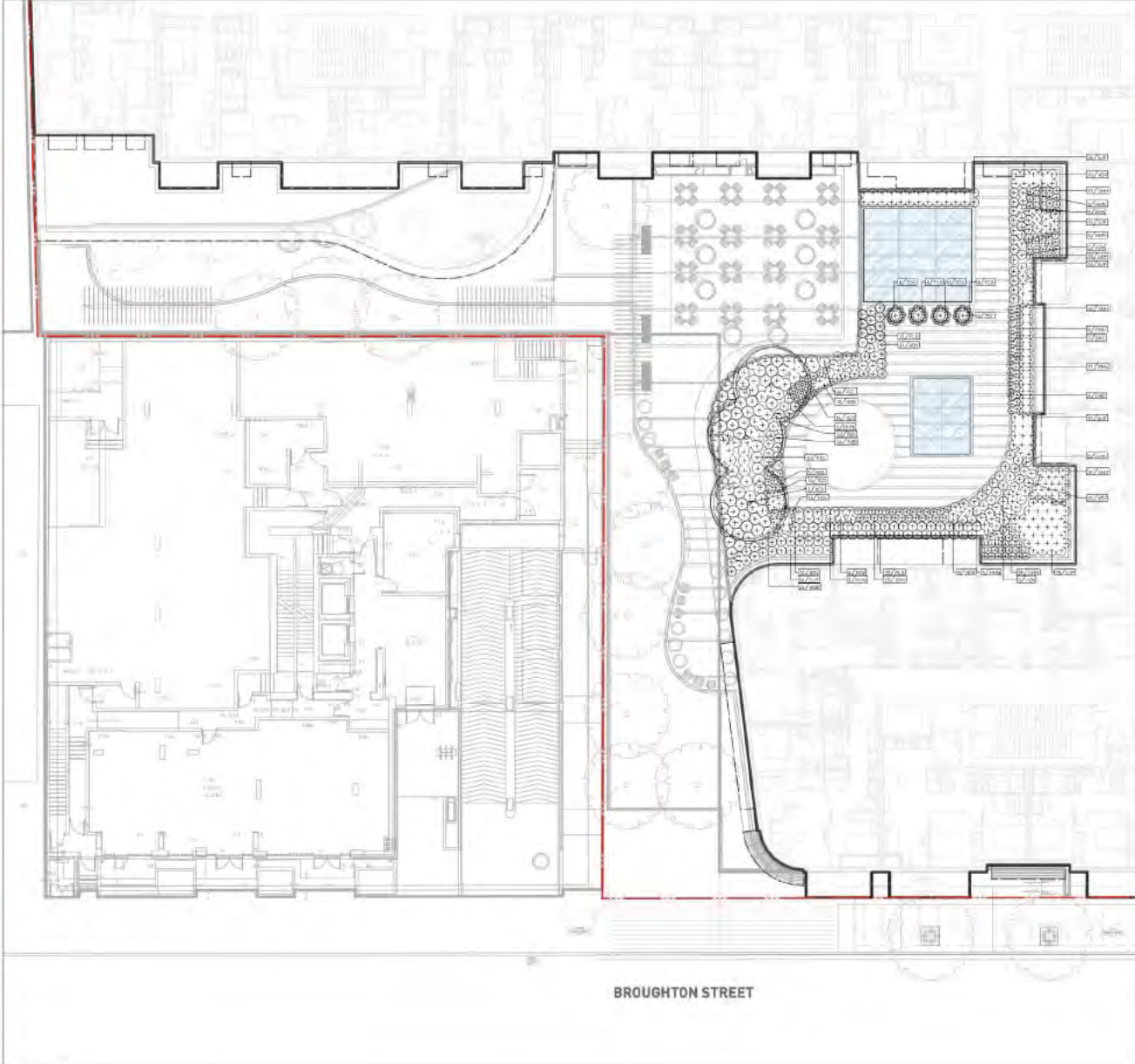


1 MATERIALS AND GRADING PLAN
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KEY	DESCRIPTION
F1	Planter Pot
F2	Bike Rack 1.5' Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat
F3	Bollard Per City Streetscape Guidelines
F4	Backless Bench Per City Streetscape Guidelines
F5	Bench with Back & Arms Both Sides 'Pasc-Vue' Bench
F6	Chair
F7	Radial Bench Ogden Radial Bench
F8	Patio Table & Chairs
F9	Privacy Screen At Residential Unit Patios
F10	Gate
F11	Traffic
F12	Urban Agriculture
F13	Green Roof
F14	Greenhouse
F15	Compost & Picking Table
F16	Custom Circular Bench

KEY	DESCRIPTION
P1	Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints
P2	Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band; Colour: Natural Grey
P3	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
P4	Concrete Unit Paver Colour: Natural Grey Banding Pattern
P5	Concrete Unit Paver Colour: Sand-Brown Blend Running Bond Pattern
P6	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
P7	Basalt Stone Banding Displaying Street Name
P8	Hydressed Slab: Paver Stacked Bond Pattern; Colour: Natural Grey
P9	Hydressed Slab: Paver 'Aristocrat' Paver
P10	Penny Tile Paving At Port Street Level

KEY	DESCRIPTION
L1	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular); Colour: Black
L2	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (Aligned); Colour: Black



2 PLANTING PLAN
1:200

KEY	DESCRIPTION
H1	Tree Grate SP-48 Square Tree Grate with Frame
H2	River Rock Maintenance Strip Washed Round River Rock
H3	Raised Concrete Planter
H4	Resilient Surface With Concrete Band
H5	Stairs With Handrail & Tactile Warning
H6	Green Roof

NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.

NOTE: REFER TO PLANT LIST L0.02.



KEY PLAN 1:1000



6TH FLOOR, 1001 WEST HENDER STREET
VANCOUVER, BC V6E 2V2
604.683.6771

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29
9	REISSUED FOR DP	2020/08/28
10	REISSUED FOR REZONING & DP	2021/11/24

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16053

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

**MATERIALS AND
GRADING PLAN &
PLANTING PLAN
LEVEL 3**

SEAL



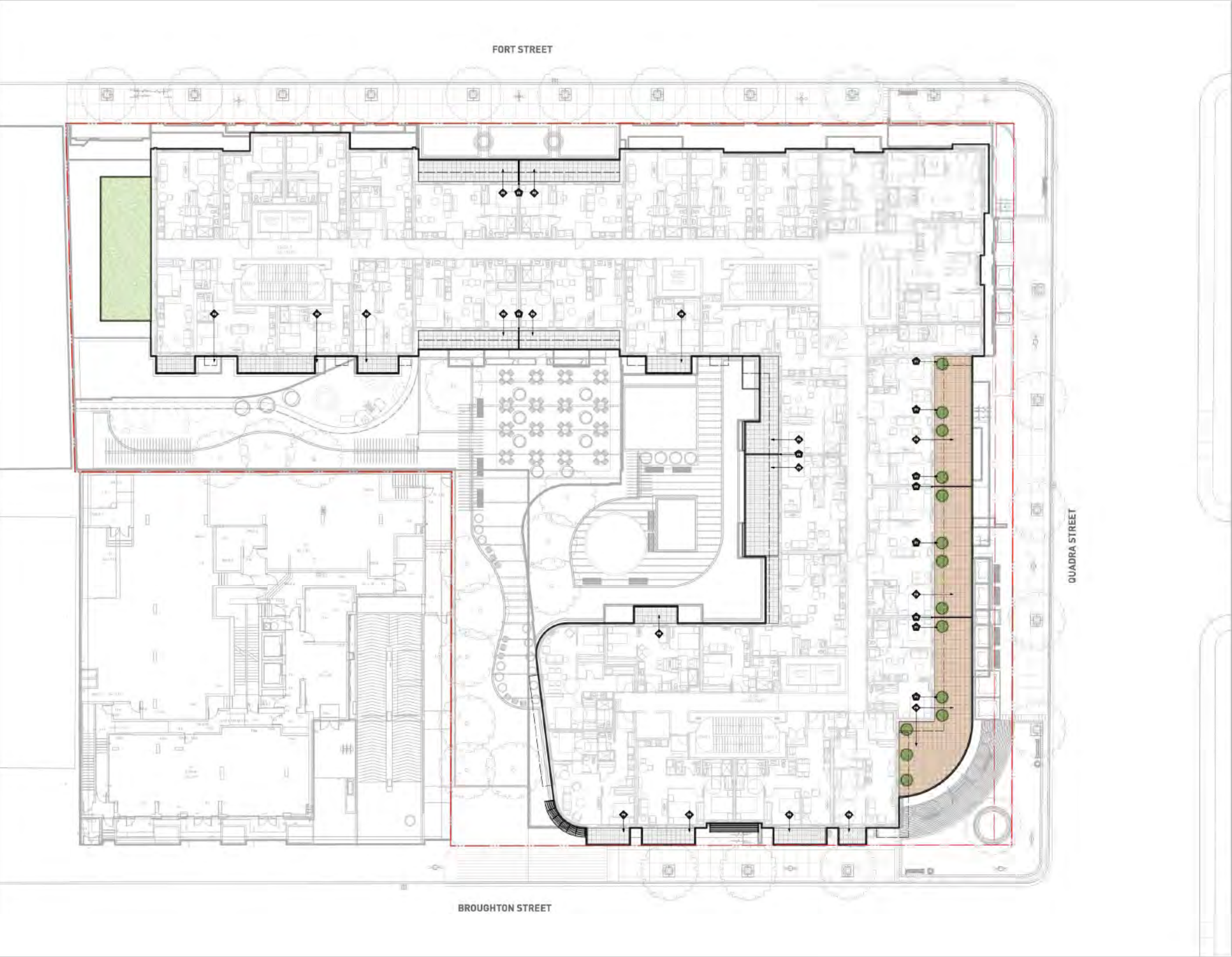
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REVISION

L1.04

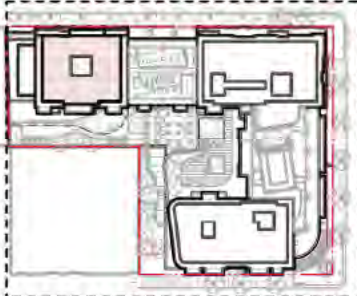
DATE:
11 APRIL 2018
SCALE:
1:200

DRAWN BY:
ER
CHECKED BY:
BH



NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.

HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
	Tree Grate 30"x48" Square Tree Grate with Frame
	River Rock Maintenance Strip Washed Round River Rock
	Raised Concrete Planter
	Resilient Surface With Concrete Band
	Slabs With Handrail & Tactile Warning
	Green Roof
PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
	Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints
	Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Solid Edge Course Band, Colour: Natural Grey
	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
	Concrete Unit Paver Colour: Natural Grey Banding Pattern
	Concrete Unit Paver Colour: Sand-Brown Blend Running Bond Pattern
	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
	Basalt Stone Banding Displaying Street Name
	Hydressed Slab Paver
	Stippled Bond Pattern, Colour: Natural Grey
	Hydressed Slab Paver "Anticrast" Paver
	Penny Tile Paving At Fort Street Level
SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
	Planter Pot
	Bike Rack 1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat
	Bollard Per City Streetscape Guidelines
	Backless Bench Per City Streetscape Guidelines
	Bench with Back & Arms Both Sides "Parc Vue" Bench
	Chair
	Radial Bench Ogden Radial Bench
	Patio Table & Chairs
	Privacy Screen At Residential Unit Patios
	Gate
	Trellis
	Urban Agrioflora
	Green Roof
	Greenhouse
	Compost & Potting Table
	Custom Circular Bench
LIGHTING MATERIALS LEGEND	
KEY	DESCRIPTION
	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular) Colour: Black
	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (Aligned) Colour: Black



KEY PLAN 1:1000

17th FLOOR, 100 WEST PENDER STREET
VANCOUVER, BC V6E 2E9
604-683-0571

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR REZONING 2017/09/18
2	ISSUED FOR REZONING 2018/02/08
3	ISSUED FOR REZONING 2018/02/20
4	ISSUED FOR ADP 2018/03/28
5	BUDGET SET 2018/10/29
6	ISSUED FOR DP 2019/01/07
7	REISSUED FOR DP 2019/01/16
8	REISSUED FOR DP 2019/05/29
9	REISSUED FOR DP 2020/08/28
10	REISSUED FOR REZONING & DP 2021/11/24

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PROJECT NO. 16053

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **MATERIALS PLAN LEVEL 7**

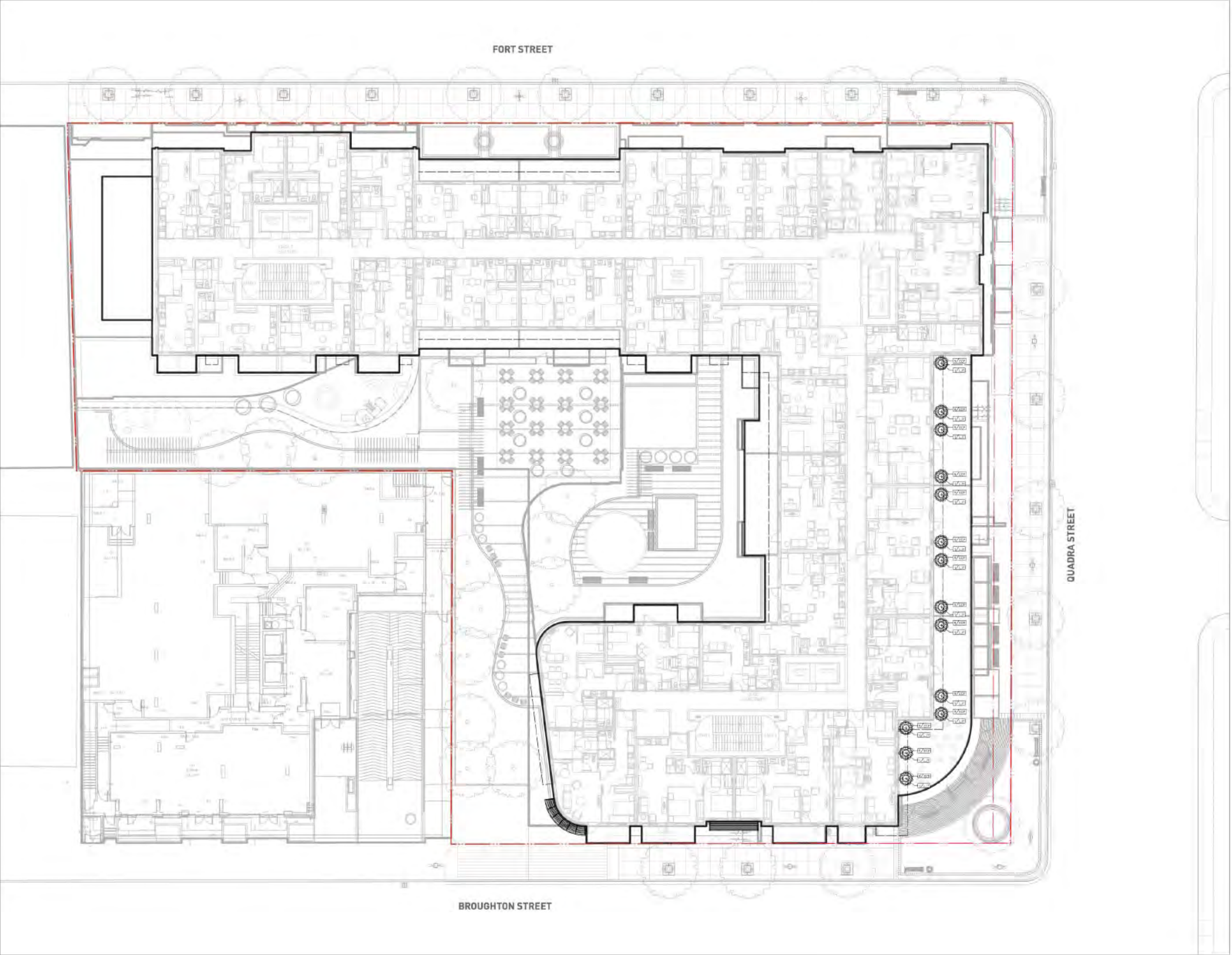
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DRAWING NO. REVISION

L1.05

DATE: 11 APRIL 2018
SCALE: 1:200

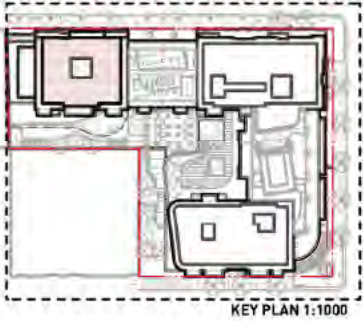
DRAWN: ER
CHECKED: BH




NOTE: REFER TO PLANT LIST L0.02.

NOTE: LEVEL 7 GREEN ROOF WILL USE ETERA SUN & SHADE SEDUM TILES WHICH CONSISTS OF THE FOLLOWING PLANT MIX:

- Sedum acre 'Aurea'
- Sedum album 'Green Ice'
- Sedum kamtschaticum 'Weihestephaner Gold'
- Sedum reflexum 'Blue Spruce'
- Sedum reflexum 'Green Spruce'
- Sedum sexangulare
- Sedum spurium 'Album Superbum'
- Sedum spurium 'Fuldaglut'
- Sedum spurium 'Summer Glory'
- Sedum takesimensis 'Golden Carpet'





17th FLOOR, 100 WEST PENDER STREET
VANCOUVER, BC V6E 2J2
604-683-0771

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29
9	REISSUED FOR DP	2020/08/28
10	REISSUED FOR REZONING & DP	2021/11/24

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PROJECT NO.

16053

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

**PLANTING PLAN
LEVEL 7**

SEAL



DRAWING NO.

REVISION

L1.06

DATE

11 APRIL 2018

SCALE

1:200

DRAWN BY

ER

CHECKED

BH

KEY PLAN 1:1000



NOTE: FOR DETAILED LEGENDS, REFER TO SHEET L0.01.

HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
	Tree Grate 30" x 48" Square Tree Grate with Frame
	River Rock Maintenance Strip Washed Round River Rock
	Raised Concrete Planter
	Resilient Surface With Concrete Band
	Slabs With Handrail & Tactile Warning
	Green Roof
PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
	Cast in Place Concrete Paving Fine Broom Finish with Saw Cut Joints
	Concrete Unit Paver Per City Streetscape Guidelines Herringbone Pattern with Single Row Soldier Course Band, Colour: Natural Grey
	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
	Concrete Unit Paver Colour: Natural Grey Banding Pattern
	Concrete Unit Paver Colour: Sand-Brown Blend Running Bond Pattern
	Concrete Unit Paver Colour: Desert Sand Blend Running Bond Pattern
	Basalt Stone Banding Displaying Street Name
	Hydrpressed Slab Paver
	Stippled Bond Pattern, Colour: Natural Grey
	Hydrpressed Slab Paver "Anticrast" Paver
	Penny Tile Paving At Foot Street Level
SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
	Planter Pot
	Bike Rack 1.5" Galvanized Steel Pipe 2-Capacity Standard Bike Rack Glossy Black (RAL 9017) Baked-on Powder Coat
	Bollard Per City Streetscape Guidelines
	Backless Bench Per City Streetscape Guidelines
	Bench with Back & Arms Both Sides "Parc Vue" Bench
	Chair
	Radial Bench Ogden Radial Bench
	Patio Table & Chairs
	Privacy Screen At Residential Unit Patios
	Gate
	Trellis
	Urban Agrioflora
	Green Roof
	Greenhouse
	Compost & Potting Table
	Custom Circular Bench
LIGHTING MATERIALS LEGEND	
KEY	DESCRIPTION
	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type A (Circular) Colour: Black
	Street Light Pole Per City Streetscape Guidelines Heritage Cluster Globe Type B (Asymmetrical) Colour: Black



17' FLOOR, 100 WEST POND STREET
VANCOUVER, BC V6E 2J2
561-683-0771

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR REZONING 2017/09/19
2	ISSUED FOR REZONING 2018/02/09
3	ISSUED FOR REZONING 2018/02/20
4	ISSUED FOR ADP 2018/03/28
5	BUDGET SET 2018/10/29
6	ISSUED FOR DP 2019/01/07
7	REISSUED FOR DP 2019/01/16
8	REISSUED FOR DP 2019/05/29
9	REISSUED FOR DP 2020/08/26
10	REISSUED FOR REZONING & DP 2021/11/24

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PROJECTING

16053

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

MATERIALS & GRADING PLAN
LEVEL 8

SEAL

DRAWING NO.

REVISION

L1.07

DATE

11 APRIL 2018

SCALE

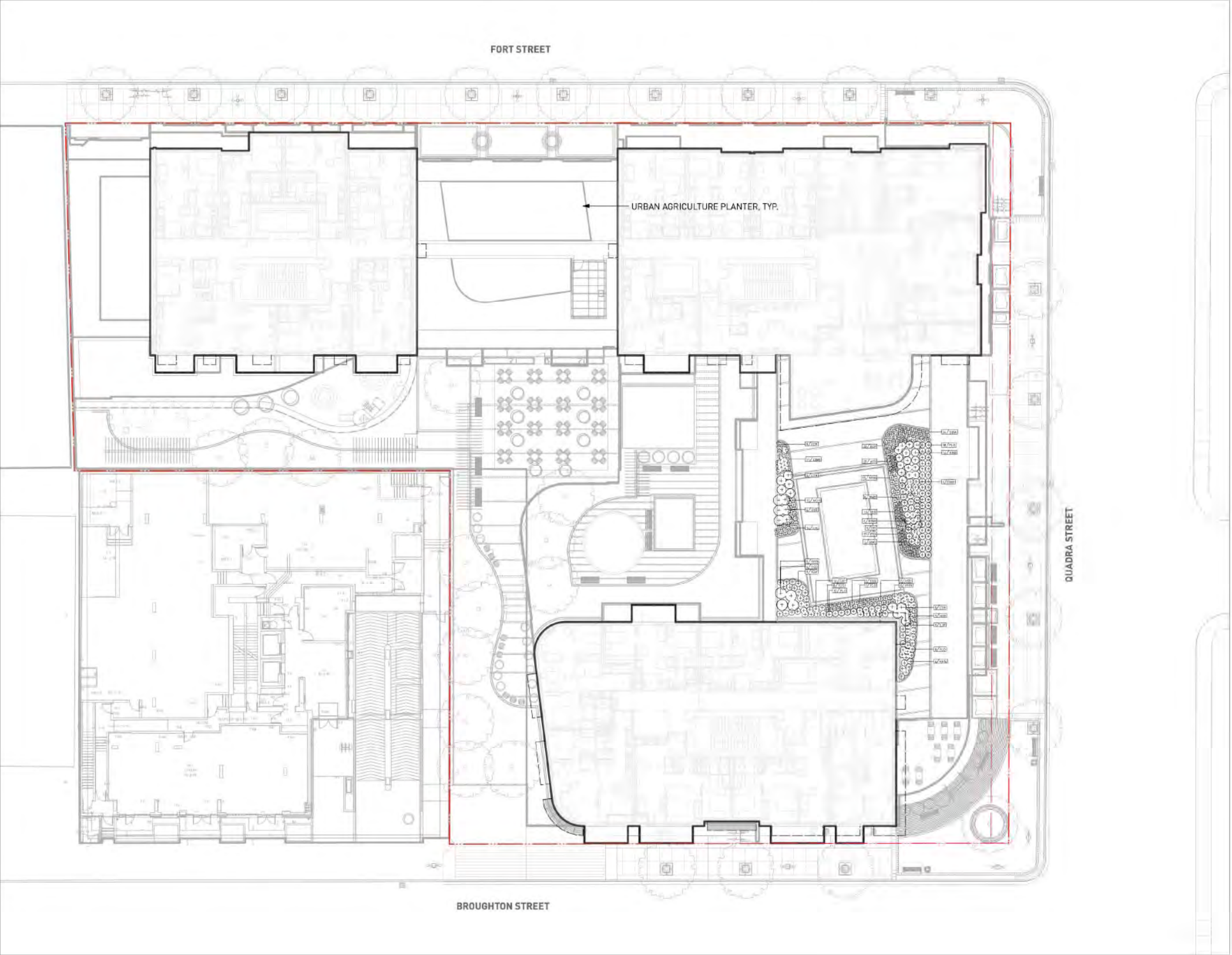
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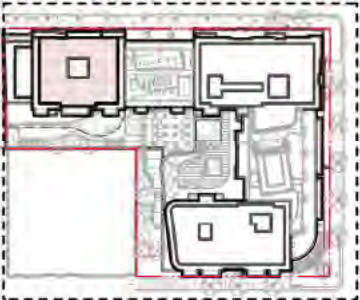
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CHECKED

BH



NOTE: REFER TO PLANT LIST L0.02.



6TH FLOOR, 1001 WEST HENDER STREET
VANCOUVER, BC V6E 2J2
561-685-0771

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2018/02/09
3	ISSUED FOR REZONING	2018/02/20
4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29
9	REISSUED FOR DP	2020/08/28
10	REISSUED FOR REZONING & DP	2021/11/24

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PROJECT NO: 16053

PROJECT: PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

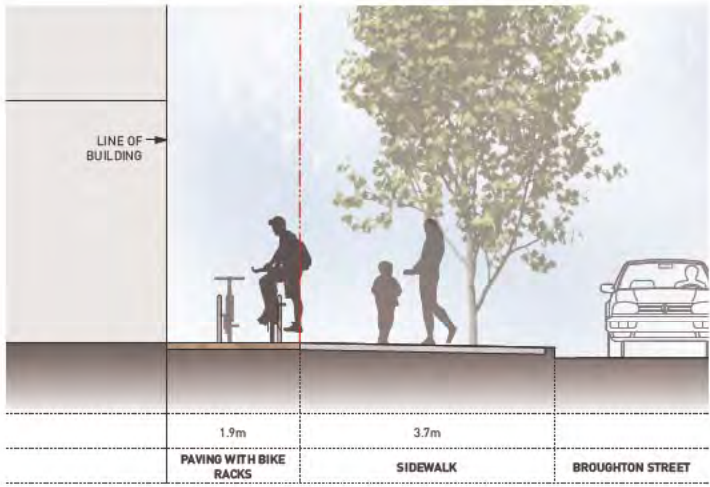
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LEVEL 8



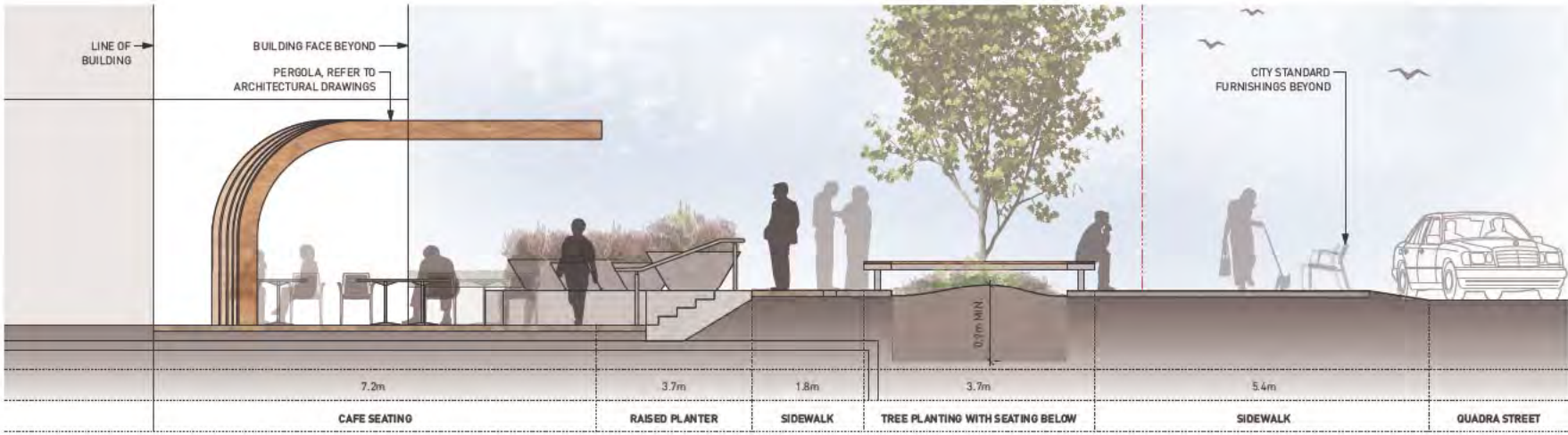
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DATE: 11 APRIL 2018
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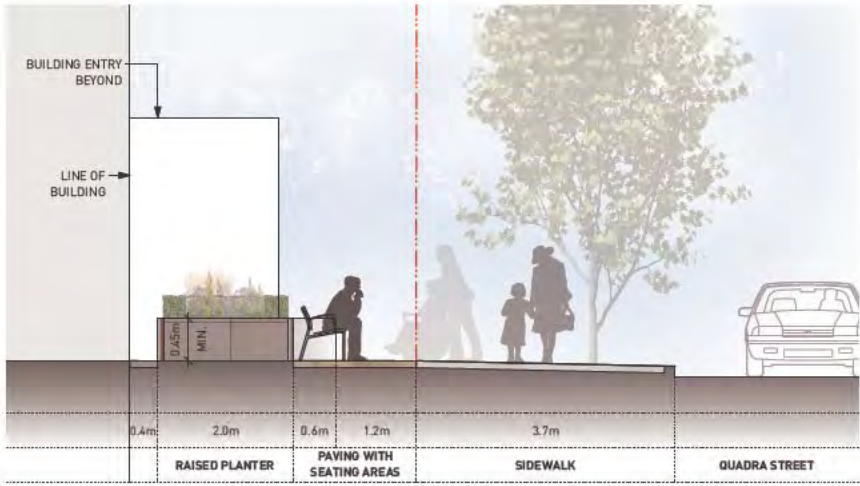
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CHECKED BY: BH



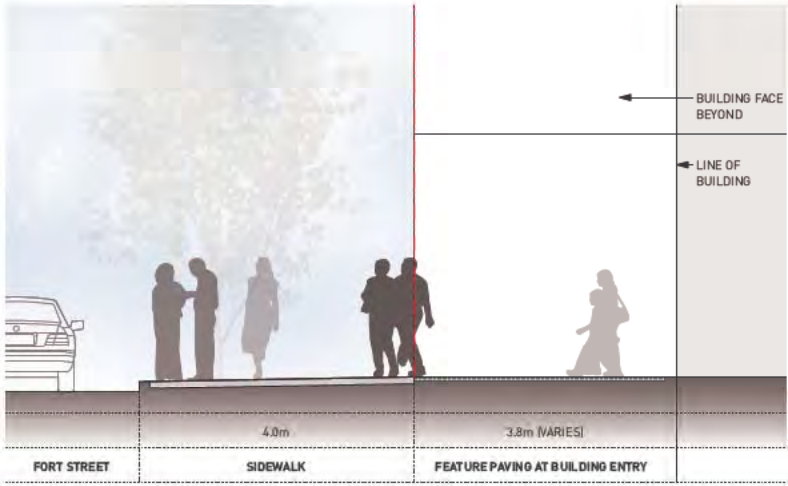
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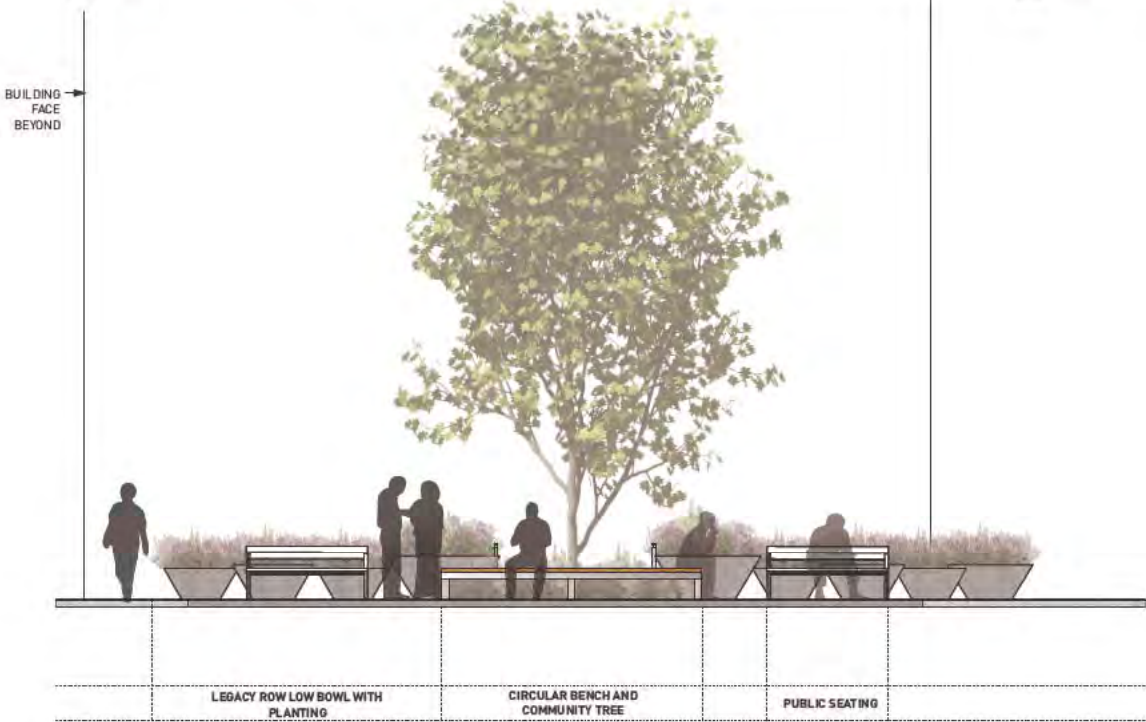
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1:50



3 SECTION - QUADRA STREET, VIEW NORTH
1:50



4 SECTION - FORT STREET, VIEW EAST
1:50



5 ELEVATION - QUADRA STREET AND BROUGHTON STREET ENTRANCE, VIEW NORTHWEST
1:50

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING	2017/09/18
2	ISSUED FOR REZONING	2019/02/09
3	ISSUED FOR REZONING	2019/02/20
4	ISSUED FOR ADP	2019/03/28
5	BUDGET SET	2019/10/29
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/29
9	REISSUED FOR DP	2020/08/28
10	REISSUED FOR REZONING & DP	2021/11/24

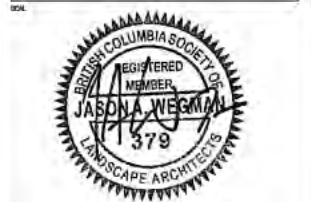
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PROJECT NO: 16053

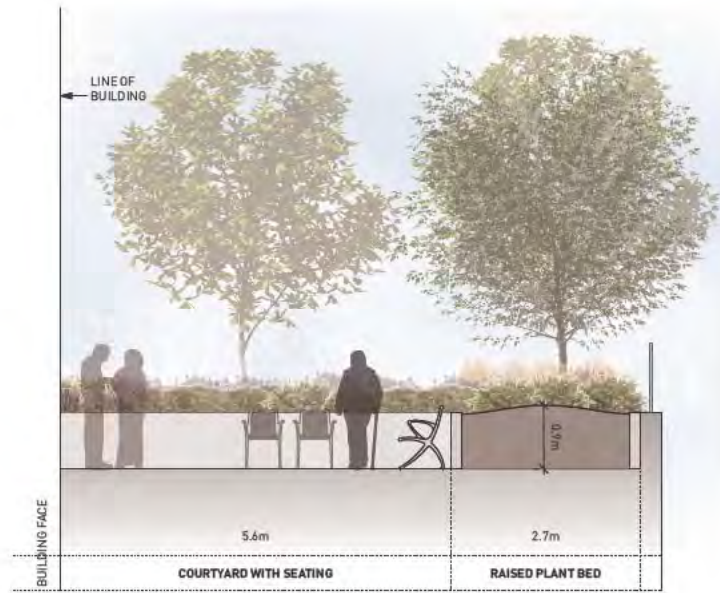
PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
SECTIONS

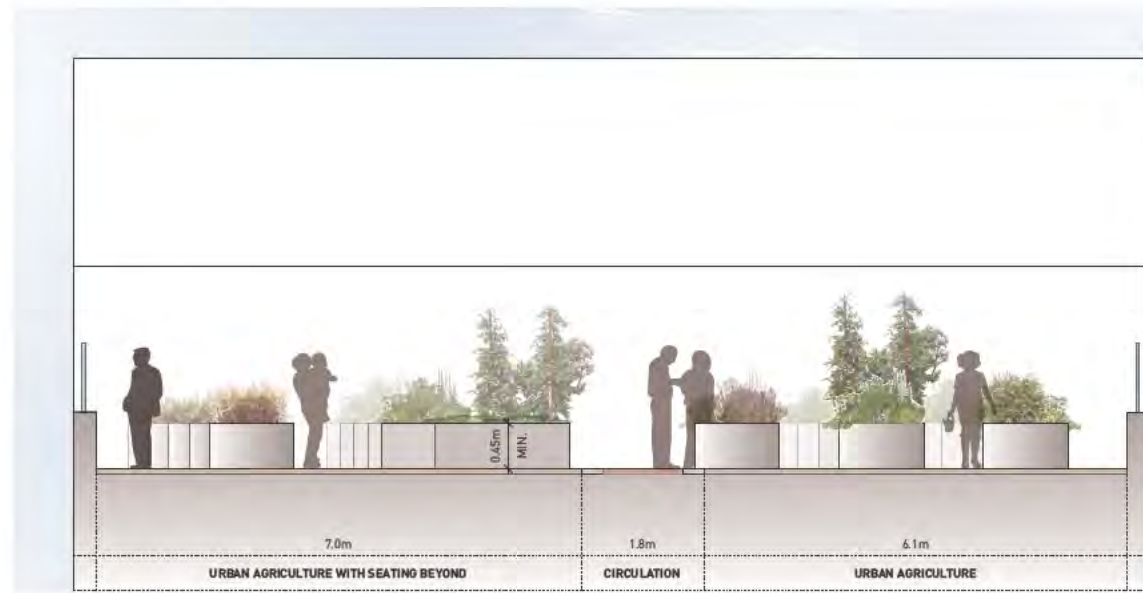


L2.01

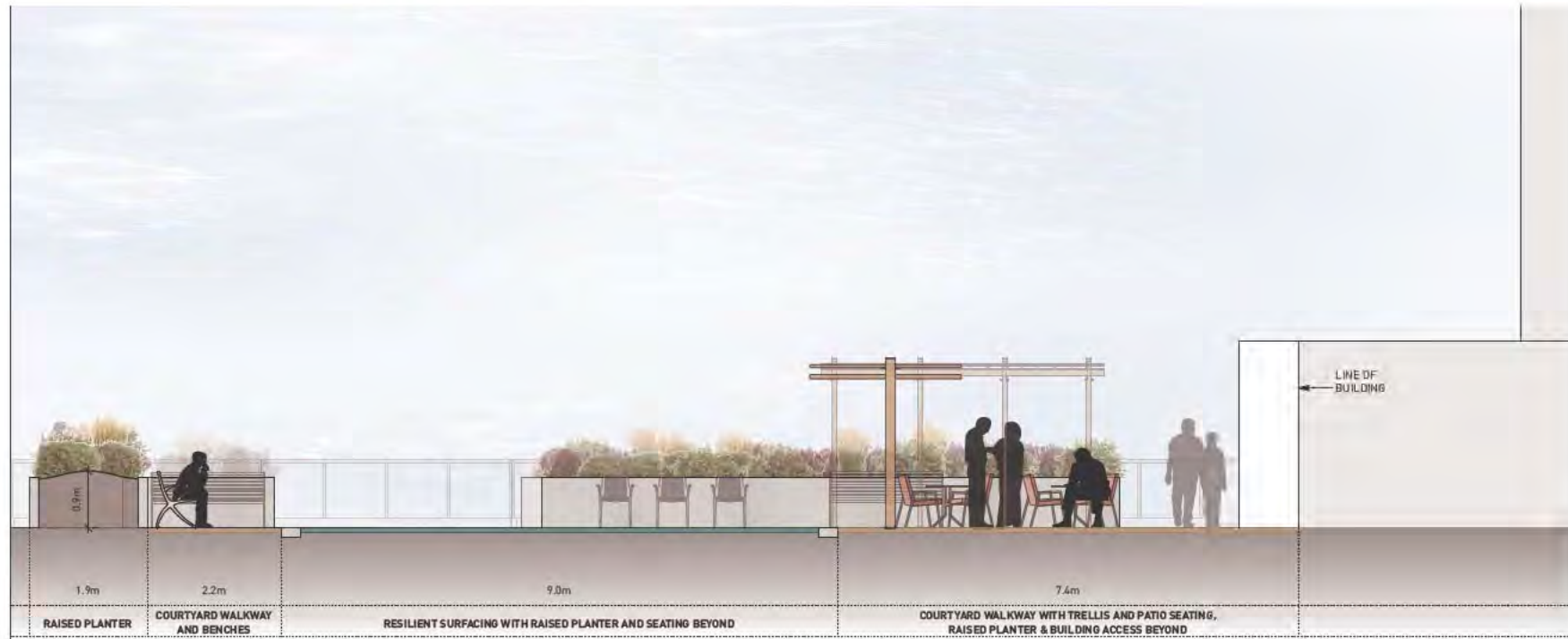
DATE: 11 APRIL 2018
DRAWN: ER
SCALE: 1:200
CHECKED: BH



1 SECTION - LEVEL 2 COURTYARD FACING SOUTH
1:50



2 SECTION - LEVEL 8 COURTYARD FACING WEST
1:50



3 SECTION - LEVEL 8 COURTYARD FACING WEST
1:50

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4	ISSUED FOR ADP	2018/03/28
5	BUDGET SET	2018/10/22
6	ISSUED FOR DP	2019/01/07
7	REISSUED FOR DP	2019/01/16
8	REISSUED FOR DP	2019/05/28
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LEVEL 1: STREETScape

At the street level, the Fort and Quadra precinct enjoys the open space of Pioneer Square and the grounds of Christ Church Cathedral. The landscape expression responds to the historic character of the area. Fort Street embraces the heritage of tilework typically found at retail entries, varying in pattern or colour. Quadra Street, with its adjacent park-like setting, responds through the use of raised planters featuring seasonal colour as well as abundant seating opportunities. The building's urban pergola is a feature at Broughton Street, where shapes and forms inspired by the cathedral are reflected in the sidewalk paving patterns.

CHARACTER IMAGES



FORT STREET HISTORIC STOREFRONTS WITH PENNY TILE

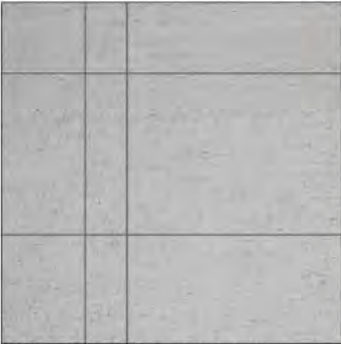


PARK-LIKE SETTING OF PIONEER SQUARE



SHAPES & FORMS OF CHRIST CHURCH CATHEDRAL

MATERIALS PER CITY OF VICTORIA STREETScape GUIDELINES



SCORED CONCRETE SIDEWALK PAVING



CAST IN PLACE CONCRETE BAND



BASALT STONE PAVING BAND DISPLAYING STREET NAME



CONCRETE UNIT PAVERS HERRINGBONE WITH SOLIDER COURSE NATURAL GREY



STREET TREES IN TREE GRATES GRATES TO ALIGN WITH SCORING PATTERN



STREET FURNISHINGS PER CITY STANDARD



LIGHT FIXTURE

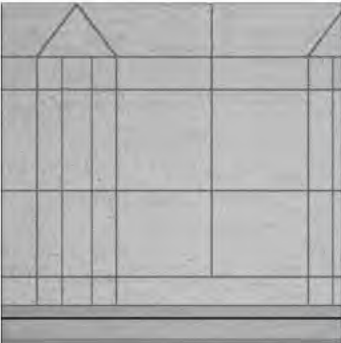


BIKE RACK



BOLLARD

PROPOSED STREETScape ELEMENTS & MATERIALS



CONCRETE SIDEWALK PAVING WITH SCORED PATTERN TO REFERENCE CATHEDRAL



CONCRETE UNIT PAVERS RUNNING BOND PATTERN WARM TONE



PENNY TILE PAVING AT FORT STREET ENTRIES



RAISED PLANTER WITH BOXWOOD BORDER, SCREENING FROM STREET



BENCH SEATING



TABLE & CHAIR SEATING



RAISED CIRCULAR PLANTERS



OUTDOOR CAFE SPACE



RADIAL BENCH SEATING

6th FLOOR, 1001 WEST PENDER STREET
VANCOUVER, BC V6E 2V7
(604) 683-7771

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PROJECT NO.

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PROJECT

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

IMAGE BOARD

REAL:

DRAWING NO.

REVISION

L3.01

DATE	11 APRIL 2018	DRAWN	ER
SCALE	1:200	CHECKED	BH

LEVEL 2: THE SOCIAL DINING PATIO

The courtyard landscape at Level 2 is a semi-private, passive space for residents. It is the hospitality and dining level and as such provides opportunities for outdoor dining, seating, and gathering, responding to the interior dining room. The flowering and shade trees along with overhead structures at the outside edges of the courtyard provide a human scale to the landscape spaces and screen the courtyard from overlook from the adjacent residential building. These features provide a comfortable environment and screening for outdoor dining, as well as seasonal interest. Planters are freeform in shape following the lines of the building, forming soft curved edges for circulation. This is complemented by feature paving, which brings warmth and character to the courtyard.



LEVEL 3: SHADE GARDEN TERRACE & GREEN ROOF

Level 3 is intended as a shade garden, providing opportunities for quiet gatherings, short walks, and appreciation of the shade garden plants. The program responds to the courtyard's available sunlight and the adjacent residential units. A putting green provides an additional passive recreation opportunity for residents. The architectural skylight also provides visual interest and warmth to the Level 2 dining area below.



LEVEL 7: PRIVATE PATIOS

Level 7 hosts patios for individual units. At the Quadra Street facade, raised planters reflect the adjacent Pioneer Square green space. Hydrapressed pavers throughout provide flexible spaces for tenants.



LEVEL 8: SUNNY GARDENING PATIO

Level 8 hosts two amenity areas benefiting from sunny exposure. At the Fort Street patio, the space features residential community gardens. This space includes a greenhouse, potting table, compost, garden beds, and fruiting and flowering shrubs.



LEVEL 8: ACTIVE COMMUNITY PATIO

The Quadra Street amenity space, with its focus on activity, is centred around a durable, resilient surface area allowing for games and recreation. A surrounding looped walkway provides an opportunity for residents to walk and enjoy the garden-style planting. This looped path responds to many seniors' desire to walk outside in a completely safe and controlled environment. The large patio area adjacent to the amenity room provides space for outdoor card and board games as well as informal gathering and seating.





674 FLOOR, 1001 WEST PENDER STREET
VANCOUVER, BC V6E 2V7
604-683-0771

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IMAGE BOARD

SEAL



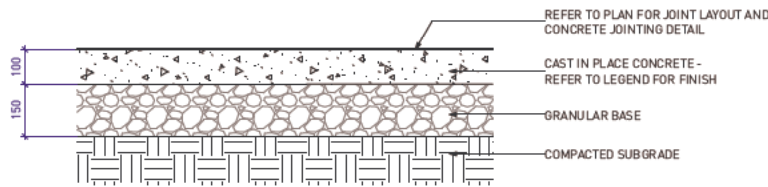
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REVISION

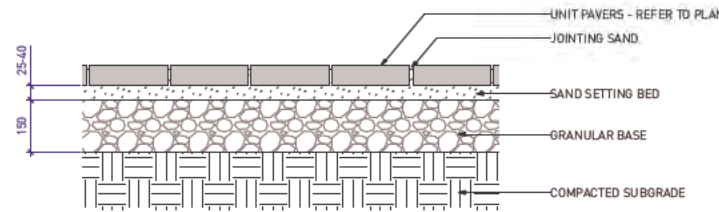
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11 APRIL 2018	ER

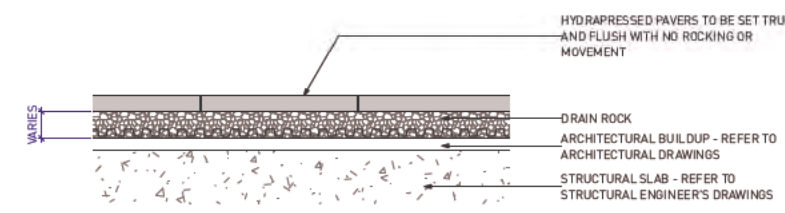
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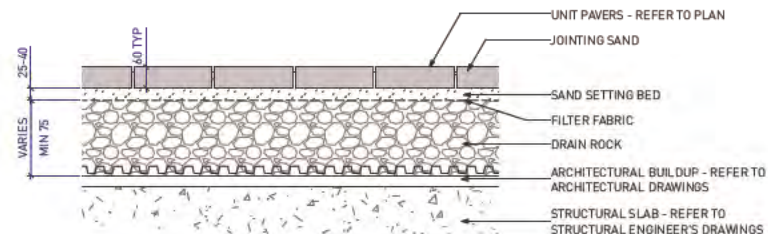
1 CAST IN PLACE CONCRETE ON GRADE: PEDESTRIAN, PER CITY GUIDELINES
Scale: 1:10



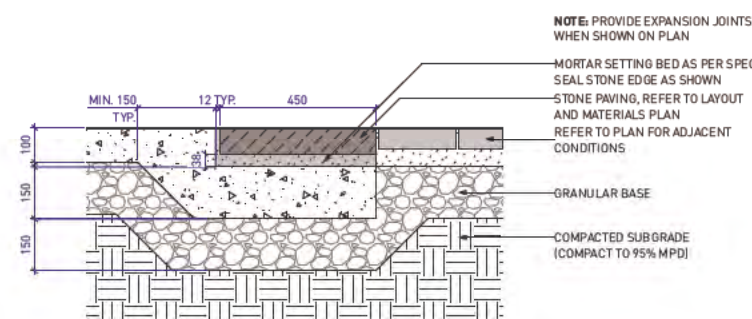
2 UNIT PAVERS ON GRADE: PEDESTRIAN
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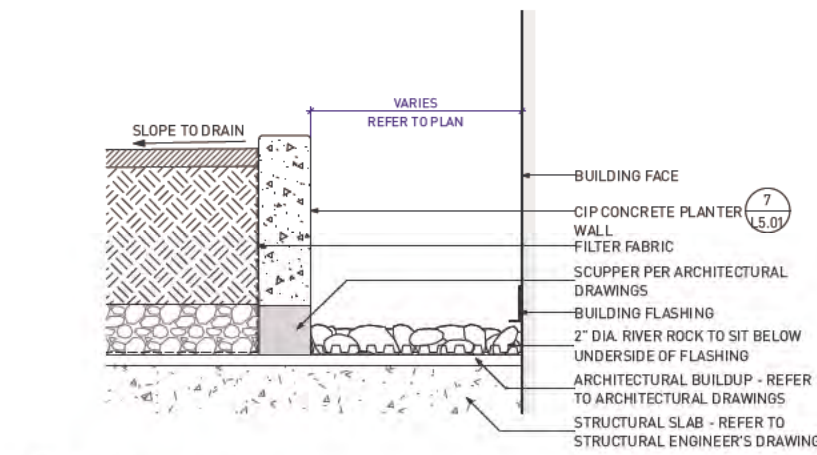
3 HYDRAPRESSED PAVERS ON SLAB
Scale: 1:10



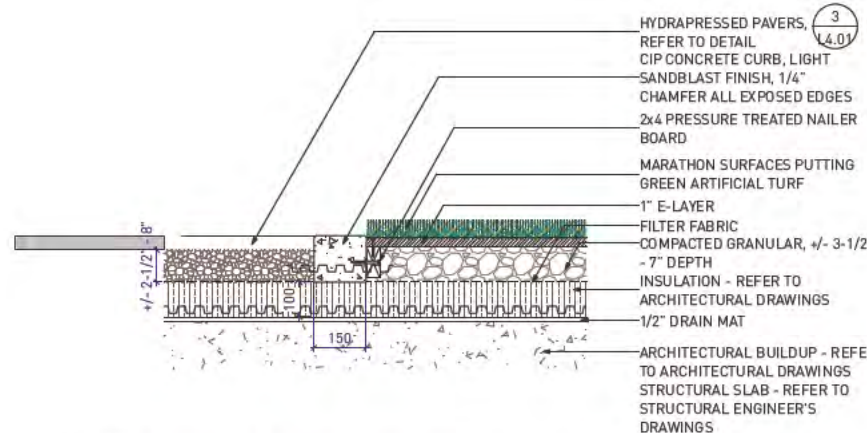
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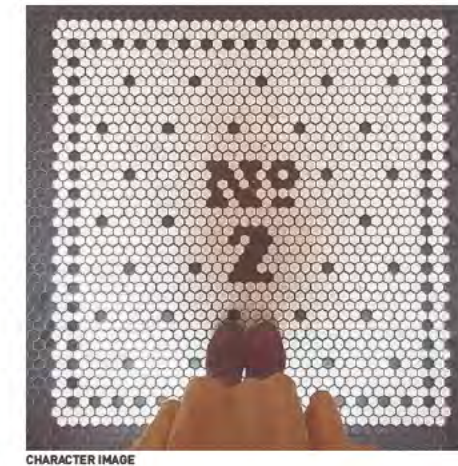
5 BASALT STONE BAND ON GRADE, PER CITY GUIDELINES
Scale: 1:10



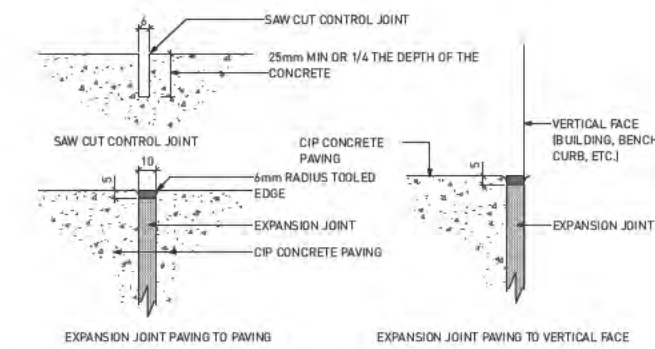
6 MAINTENANCE STRIP
Scale: 1:10



7 ARTIFICIAL TURF WITH CONCRETE CURB
Scale: 1:10



8 FORT STREET ENTRY TILE PAVING
Scale: 1:10



9 CONCRETE JOINTING
Scale: Half Actual Size

NOTE:
1. EXPANSION JOINT: REFER TO SPECIFICATIONS.



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(604) 681-1111

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PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
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DETAILS

DATE

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SCALE

1:200

DESIGNED

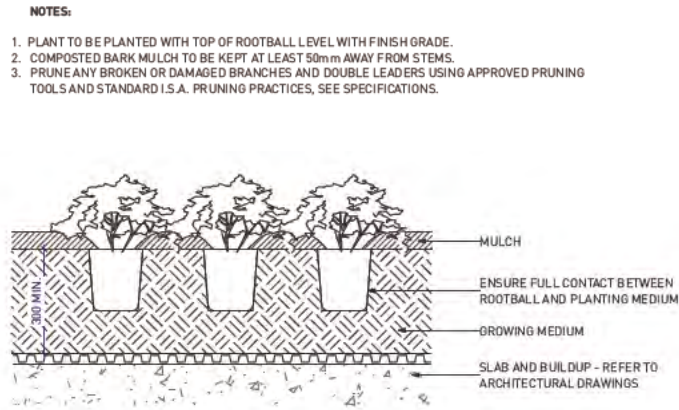
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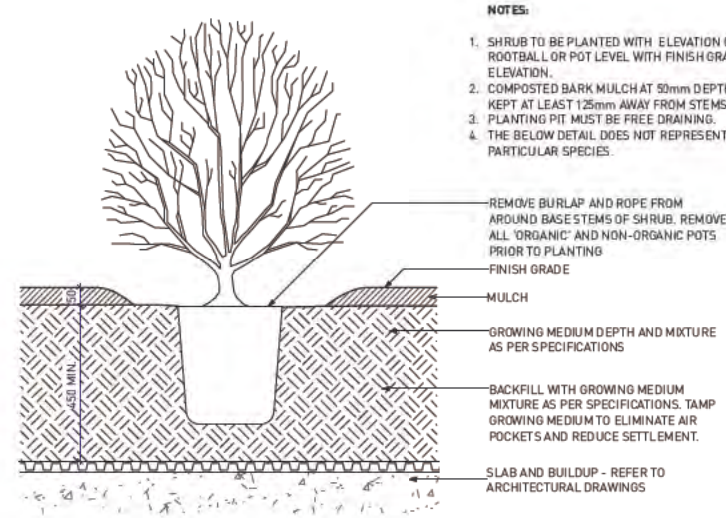
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REGISTERED MEMBER
JASON A. WEGMAN
LANDSCAPE ARCHITECT
379

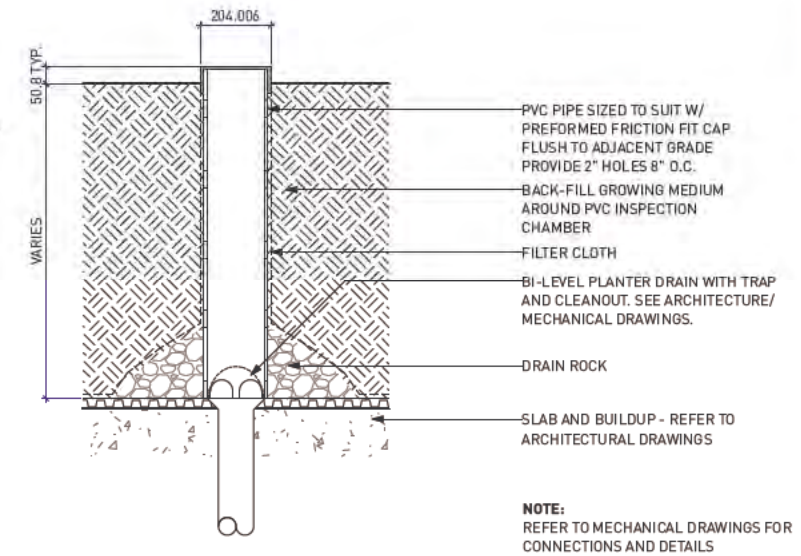
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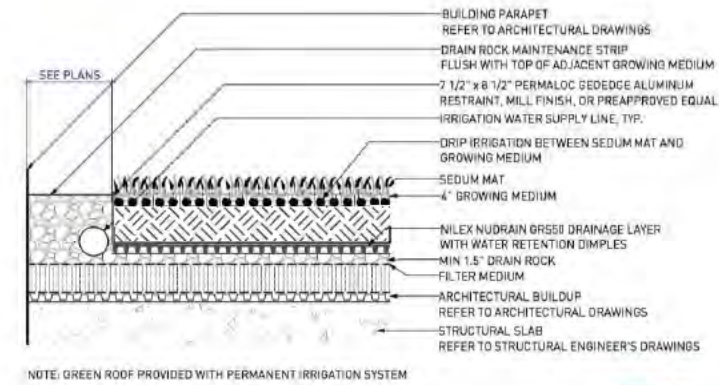
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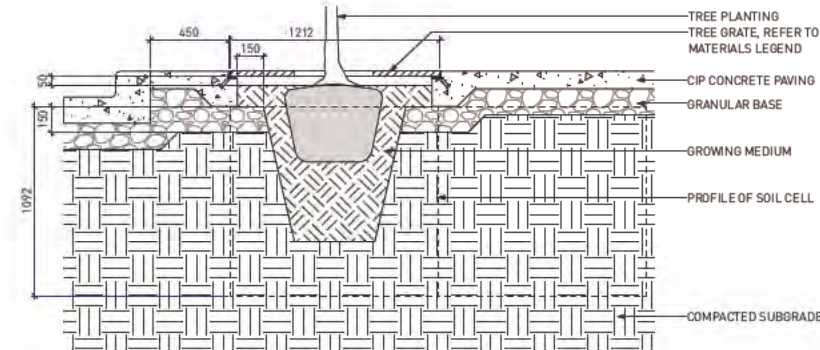
2 SHRUB PLANTING ON SLAB
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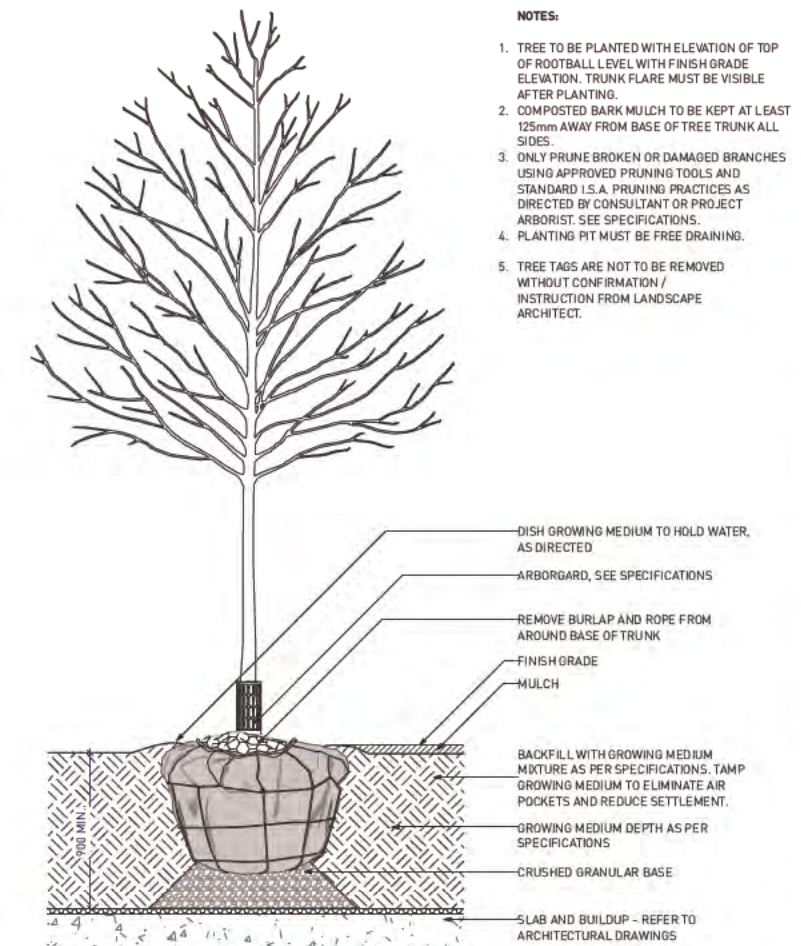
3 PLANTER DRAIN
Scale: 1:10



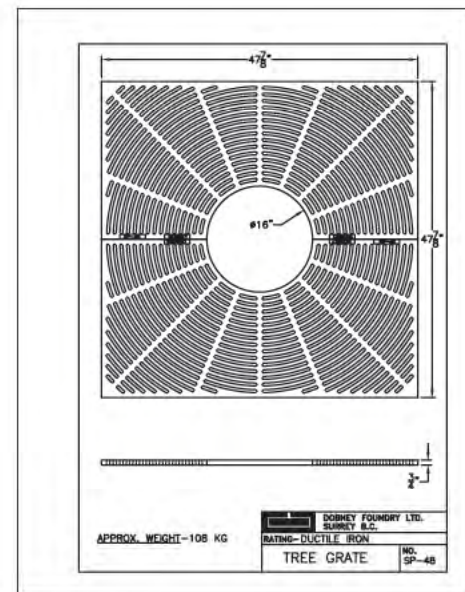
4 GREEN ROOF SEDUM MAT
Scale: 1:10



5 CITY OF VICTORIA STREETSCAPE TREE PIT WITH TREE GRATE
Scale: 1:20



8 TREE PLANTING ON SLAB
Scale: 1:20



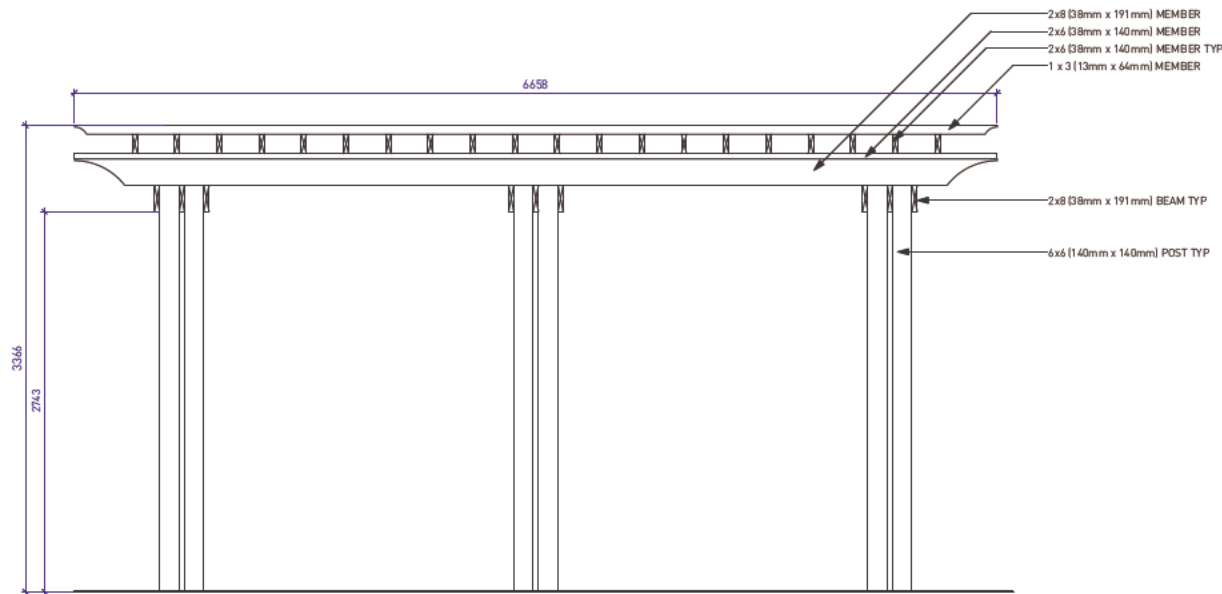
6 TREE GRATE
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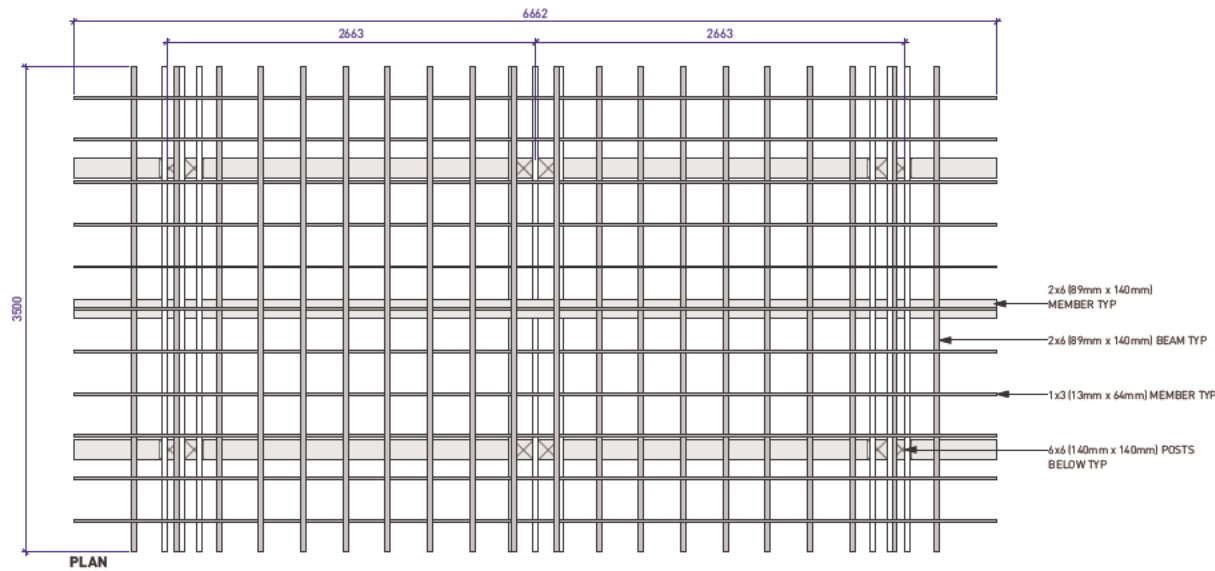
CHARACTER IMAGE

7 LEGACY ROUND LOW BOWL
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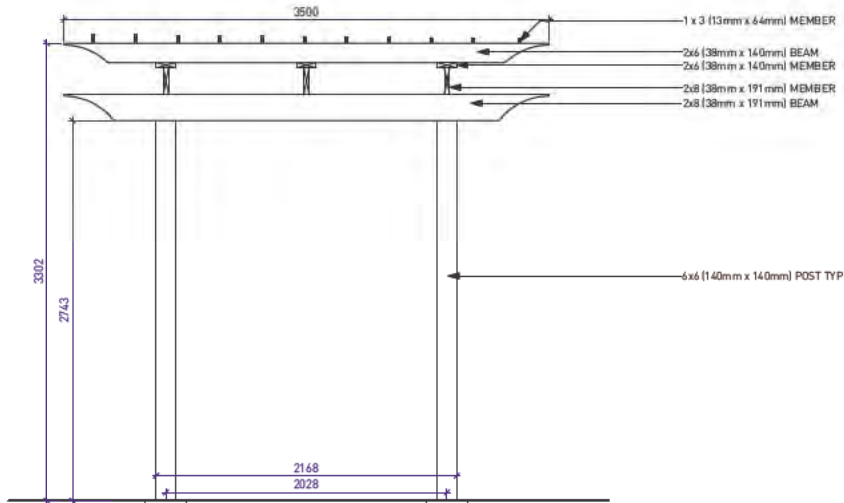


FRONT ELEVATION



PLAN

1 CENTRAL COURTYARD TRELLIS STRUCTURE
Scale: 1:25



SECTION

NOTE: TRELLIS DIMENSIONS VARY DEPENDING ON LOCATION.

TIMBER TRELLIS NOTES:

- ALL TIMBER MEMBERS TO BE S4S CLEAR CEDAR
- ALL TIMBER MEMBERS TO BE PAINTED WHITE
- ALL FASTENERS TO BE GALVANIZED



3RD FLOOR, 1811 WEST PENDER STREET
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(604) 681-8111

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PARC VICTORIA
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DETAILS

DATE



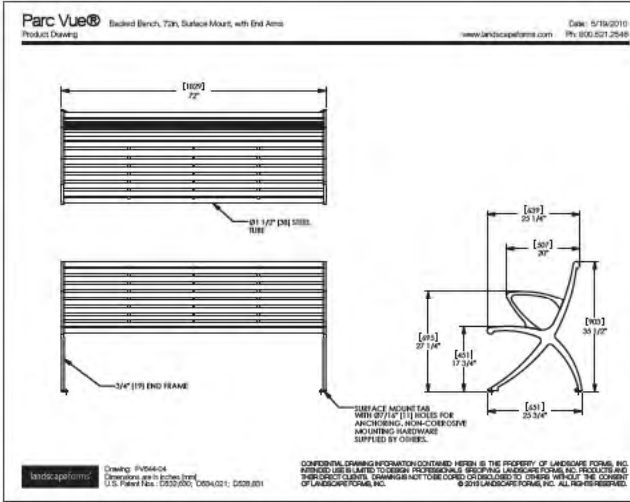
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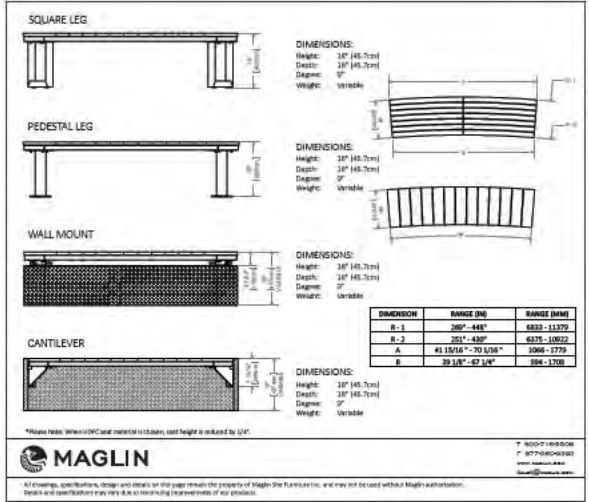
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SCALE	CHECKED
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DATE	DRAWN
11 APRIL 2018	ER
SCALE	CHECKED
1:200	BH



1 BACKED BENCH WITH ARMS
NTS



2 RADIAL BENCH
NTS

RANGE 8



MATERIALS: The seat pan is constructed from steel. The seat employs 1" thick ipe wood, Recycled Plastic (HDPE), or 1/2" thick High Density Paper Composite (HDPC) slats.

FINISH: All steel components are protected with F-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The seat sections come preassembled with boards. Chosen mount option come as a separate component. Reference: INSTALL_OPTION.pdf for onsite assembly and installation instructions.

TO SPECIFY: Please contact your Maglin Site Furniture Representative.



CHARACTER IMAGE

3 PREFABRICATED METAL PLANTER
Scale: 1:10



CHARACTER IMAGE

4 ROUND PLANTER POT
Scale: 1:10



CHARACTER IMAGE

5 TABLE & CHAIRS
Scale: 1:10

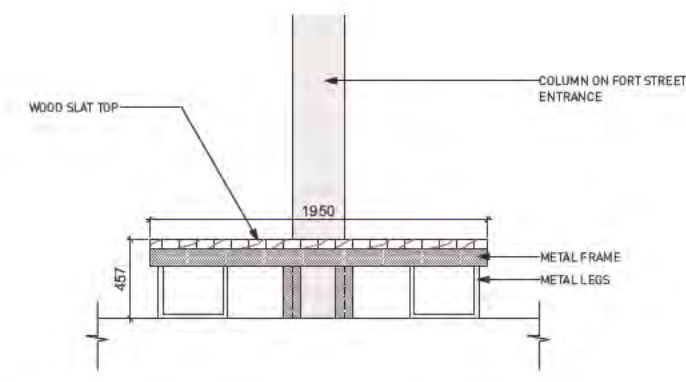


CHARACTER IMAGE

6 HARVEST TABLE
Scale: 1:10



7 BIKE RACK PER CITY OF VICTORIA STREETScape GUIDELINES
Scale: 1:10



8 ELEVATION OF CUSTOM BENCH ON FORT STREET GROUND LEVEL ENTRANCE
Scale: 1:20

PWL partnership

3RD FLOOR, 1811 WEST PENDER STREET
VANCOUVER, BC, V6C 2P2
(604) 681-1111

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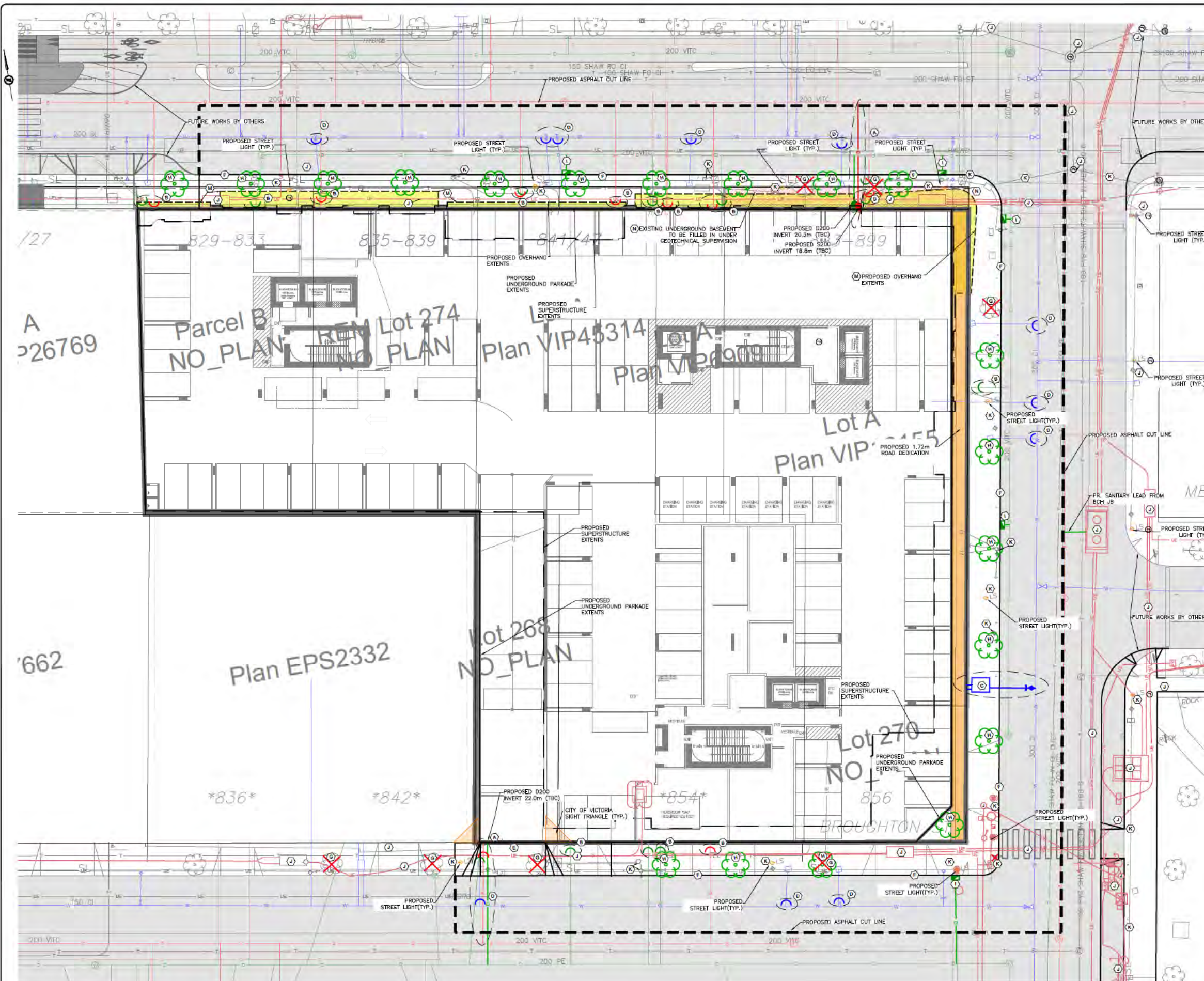
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DATE 11 APRIL 2018
SCALE 1:200

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BRITISH COLUMBIA SOCIETY OF ARCHITECTS
REGISTERED MEMBER
JASON A. WEGMAN
379
LANDSCAPE ARCHITECTS

L4.05



SHEET NOTES:

- (A) CITY OF VICTORIA TO INSTALL NEW SEWER AND DRAIN SERVICES TO PROPERTY LINE. ELEVATION OF NEW SERVICES TO BE CONFIRMED.
- (B) CONTRACTOR TO CAP EXISTING SEWER AND DRAIN SERVICES AT PROPERTY LINE.
- (C) CITY OF VICTORIA TO INSTALL FIRE AND DOMESTIC FIRE SERVICES TO PROPERTY LINE AT DEVELOPERS EXPENSE.
- (D) CITY OF VICTORIA TO CAP AND ABANDON EXISTING WATER SERVICES AT DEVELOPERS EXPENSE.
- (E) CONTRACTOR TO INSTALL 7.35M WIDE DRIVEWAY DROP AS PER CITY OF VICTORIA STANDARD DRAWING C7B.
- (F) CONTRACTOR TO REMOVE EXISTING CURBS AND SIDEWALK AND INSTALL AS PER APPROVED CIVIL AND LANDSCAPE DESIGN. SIDEWALK DESIGN TO BE AS PER THE CITY OF VICTORIA DOWNTOWN PUBLIC REALM AND STREETSCAPE STANDARDS.
- (G) EXISTING STREET TREE TO BE REMOVED BY CITY OF VICTORIA PARKS DEPARTMENT AT DEVELOPERS EXPENSE. CONTRACTOR TO INSTALL PROPOSED STREET TREES AND IRRIGATION TO CITY OF VICTORIA STANDARDS.
- (H) PROPOSED TREE LOCATION AS PER LANDSCAPE PLAN. SEE LANDSCAPE PLAN FOR DETAILS.
- (I) CONTRACTOR TO INSTALL NEW CATCHBASINS. CITY OF VICTORIA CREWS TO INSTALL CATCHBASIN LEADS AT DEVELOPERS EXPENSE.
- (J) BC HYDRO SERVICING, BEAUTIFICATION, AND ASSOCIATED WORKS AS PER BCH REDLINE DRAWINGS.
- (K) STREETLIGHT AND ASSOCIATED CONDUIT DESIGN AS PER AES OFFSITE ELECTRICAL PLANS DATED DEC 09 2021. REFER TO ELECTRICAL PLANS FOR DETAILS. EXISTING STREET LIGHTS/CONDUITS TO BE REMOVED AND REPLACED AS REQUIRED.
- (L) PROPOSED AWNING/CANOPY/BUILDING ENCROACHMENT SUBJECT TO CITY OF VICTORIA'S LAND USE PROCEDURES BYLAW.
- (M) EXISTING BASEMENT TO BE REMOVED / BACKFILLED AS REQUIRED.



KEY PLAN
NTS

PACIFIC ARBOUR SIX RESIDENCES 829-899 FORT & 846-856 BROUGHTON PRELIMINARY CIVIL PLAN

Scale 1:200
horiz.
Sheet 1 of 1
Eng. Project No. 29913

JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE
PHONE: 250-727-2214 FAX: 250-727-3395

ISSUED FOR REVIEW

SITE PLAN
H 1:200

SUBMISSION DATE: NOVEMBER 24, 2021
1:200