

937 View Street

Market Rental Residences

DP Submission Set

09 AUG 2017

Gordon Nelson Inc.





1 Context Plan
A001 Scale: 1:750

PROJECT DESCRIPTION

CIVIC ADDRESS:
937 VIEW STREET, VICTORIA, BC.

LEGAL DESCRIPTION:
LOT A, OF LOTS 785, 786, and 787, VICTORIA CITY,
PLAN 36505

REGISTERED OWNER

Gordon Nelson Inc.
PO Box 93543
1125 Davie Street
Vancouver BC V6E 4L7

ARCHITECT

de Hoog & Kierulff architects
977 Fort Street
Victoria, BC
V8V 3K3

Charles Kierulff
tel: 250.658-3367
fax: 250.658-3397
crk@dhk.ca

STRUCTURAL CONSULTANT

RJC
220 - 645 Tyee Road
Victoria, BC
V9A 6X5

Leon Plett
tel: 250.386-7794
fax: 250.381-7900
lplett@rjc.ca

LANDSCAPE ARCHITECT

Murdoch de Greeff Inc.
200-524 Culduthel Rd.
Victoria, BC
V8Z 1G1

Scott Murdoch
tel: 250.412-2819
fax: 250.412-2892
scott@mdidesign.ca

GEOTECHNICAL

Ryzuk Geotechnical
28 Crease Avenue
Victoria, BC
V8Z 1S3

Shane Moore
tel: 250.475-3131
fax: 250.475-3611
shane@ryzuk.com

BUILDING CODE SUMMARY

REFERENCED DOCUMENT :
BRITISH COLUMBIA BUILDING CODE 2012 - PART 3

MAJOR OCCUPANCY CLASSIFICATION:
• GROUP C - RESIDENTIAL

BUILDING AREA:
• 1 120 sq.m. (12 056 s.f.)

BUILDING HEIGHT:
• 14 STOREYS

NUMBER OF STREETS FACING:
• 1

ACCESSIBLE FACILITIES
• ACCESSIBLE ENTRANCE
• ACCESSIBLE PARKING STALLS

CONSTRUCTION REQUIREMENTS:
• 3.2.2.47 GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED

• NON-COMBUSTIBLE CONSTRUCTION WITH
2HR MIN FIRE RESISTANCE RATING TO FLOORS AND
LOADBEARING WALLS.

ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS
Ref. 3.2.6.1 (1)(d)

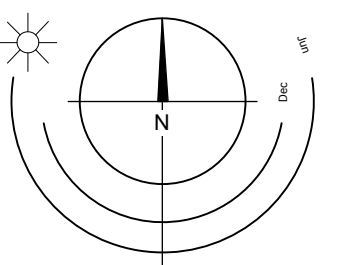
List of Drawings

Architectural

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- A100 Existing Site Plan
- A101 Proposed Site Plan
- A102 Site Plan Analysis
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Landscape

- L1.01 Level 1 Materials Plan
- L1.02 Level 3 Materials Plan
- L1.03 Level 4-12 Materials Plan
- L1.04 Level 14 Materials Plan
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- L3.02 Stormwater Management Plan
- L4.01 Planting Level 1
- L4.02 Planting Levels 3 and 14



Issued	Date	Description	By
	08AUG17	EP Submission	
Rev	Date	Description	By
01	08AUG17	1643_A001.VVW	crk
Drawn by	CRK	Checked by	CRK
Date	as shown	Project number	1643

NOTE: All dimensions are shown in millimeters.

de Hoog & Kierulff architects	
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	NANAIMO OFFICE 102-5190 Duffin Way Nanaimo BC V9T 2K4 T 1-250-985-5810
project name 937View Street Market Rental Residences Victoria BC	
Project Data	
drawing no.	revision no.
A001	-

BC LAND SURVEYORS SITE PLAN OF:

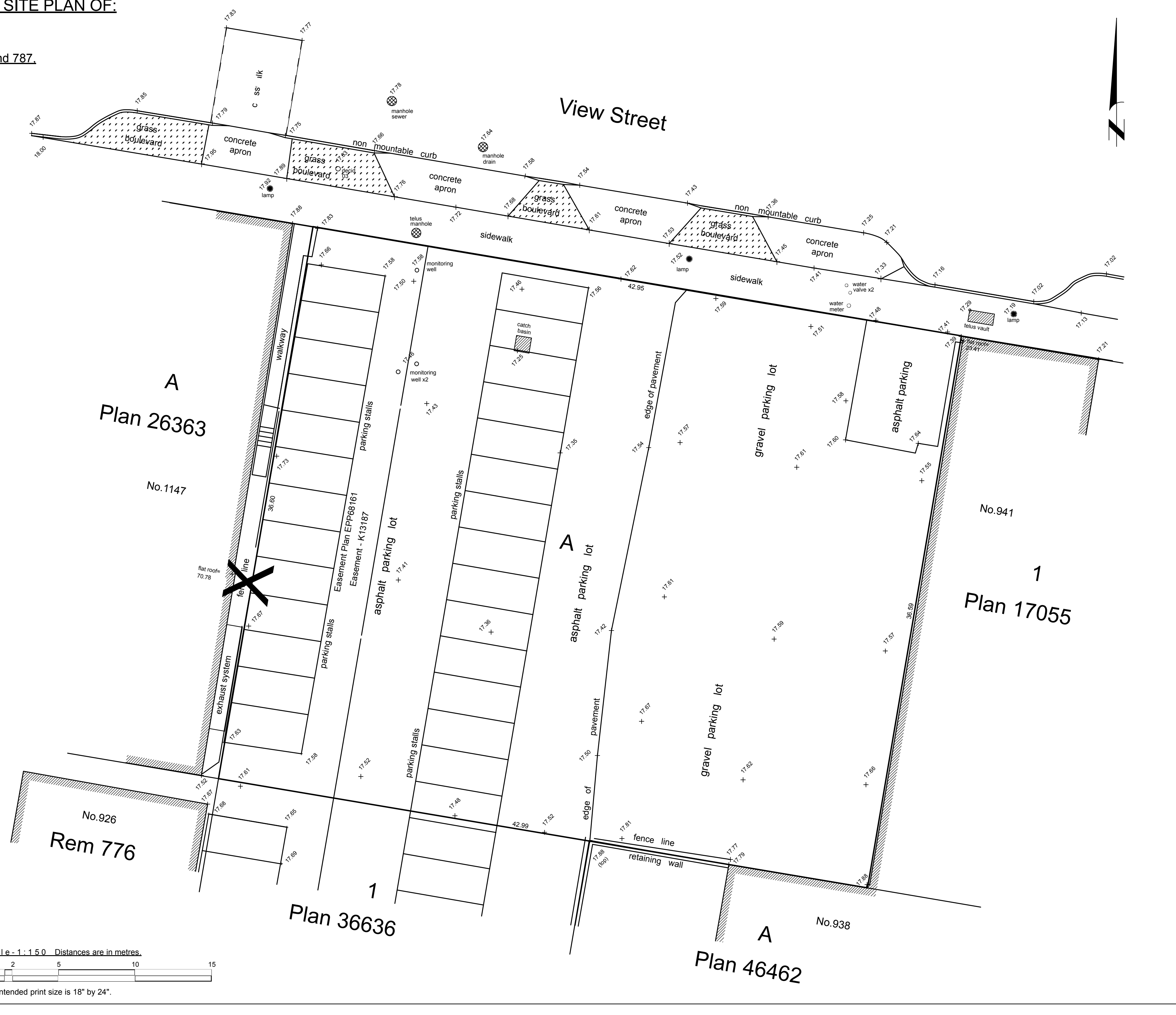
Civic: 937 View Street

Legal Lot A, of Lots 785, 786, and 787,
Victoria City, Plan 36505

Parcel Identifier: 000-410-233
in the City of Victoria

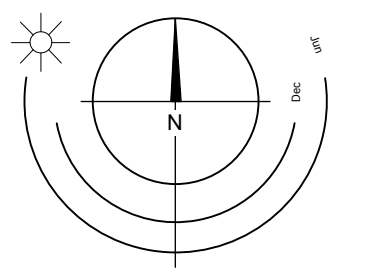
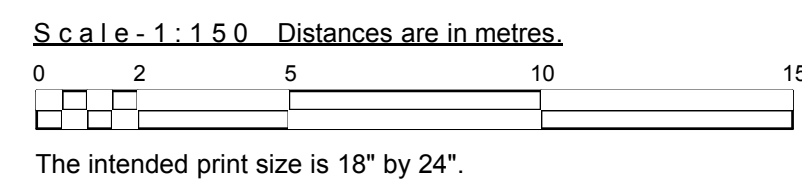
LEGEND

Elevations are to geodetic datum.
+ - denotes - existing elevation
Tree diameters are in centimetres.
Area Lot A = 1572.3m²



December 13, 2016

File : 9.929-16
POWELL & ASSOCIATES
B.C. Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855



ISSUED	DATE	DESCRIPTION	BY
ISSUED	08AUG17	DP Submission	
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DESCRIPTION			
BY			
DATE	08AUG17	drawing file	1643
DESCRIPTION	CHK	checked by	CHK
DATE		project number	1643

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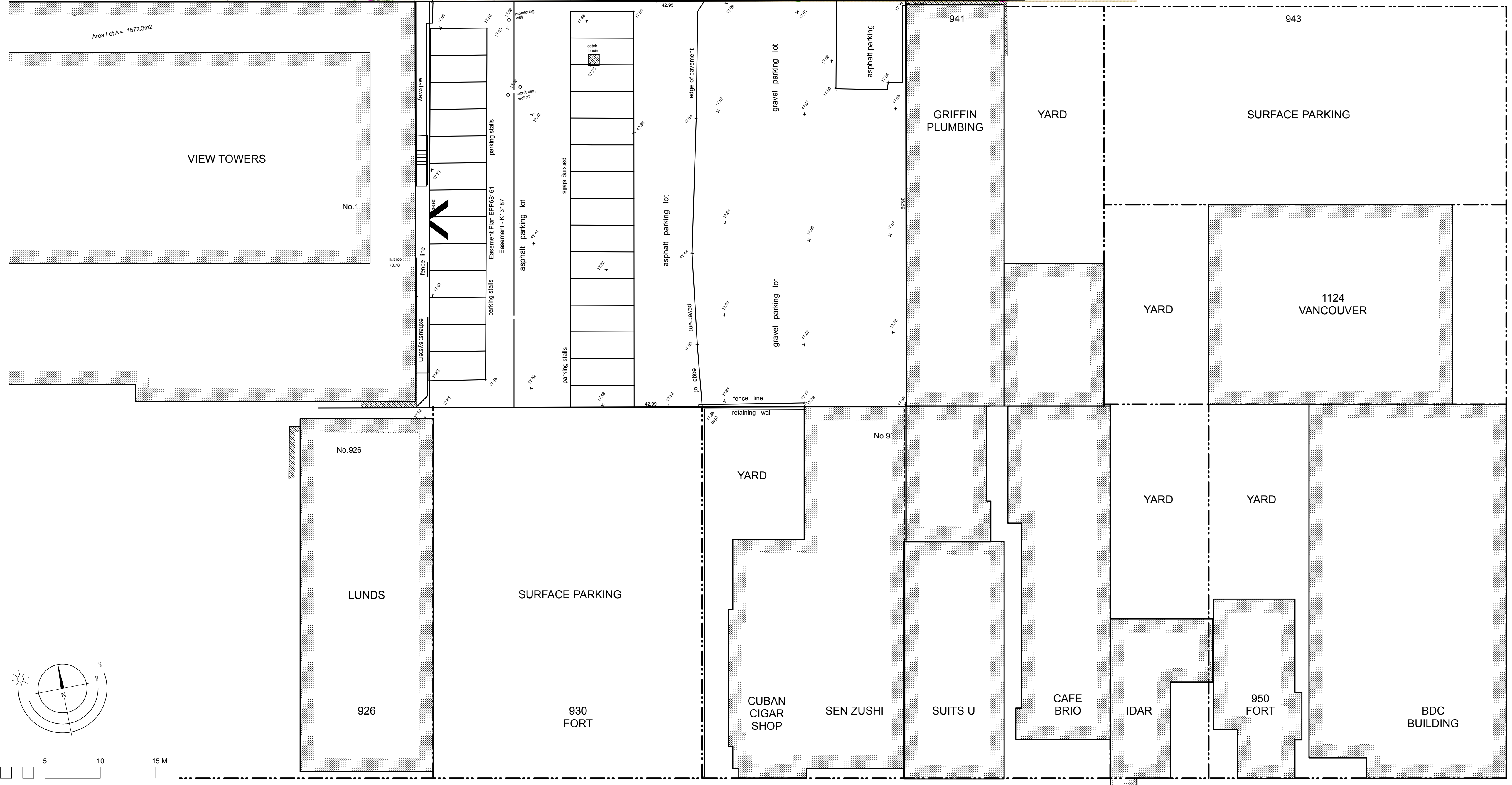
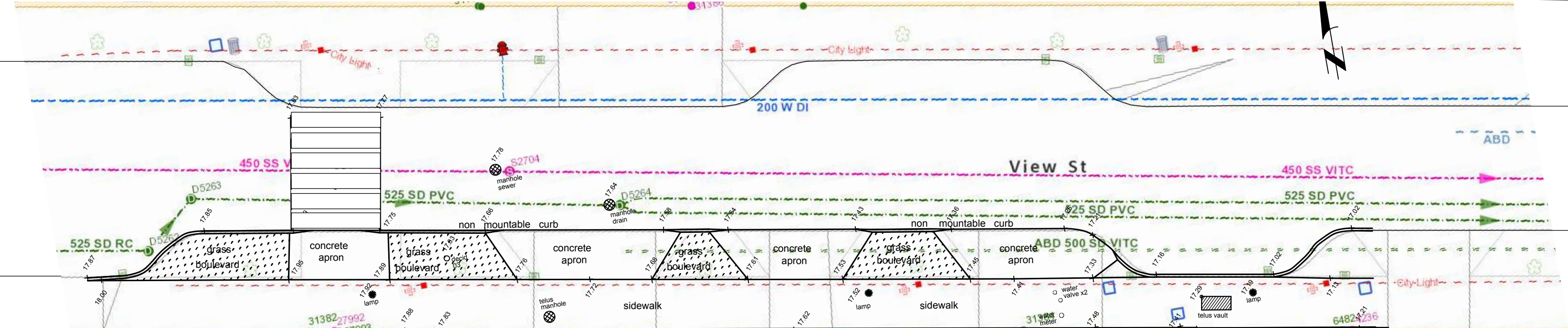
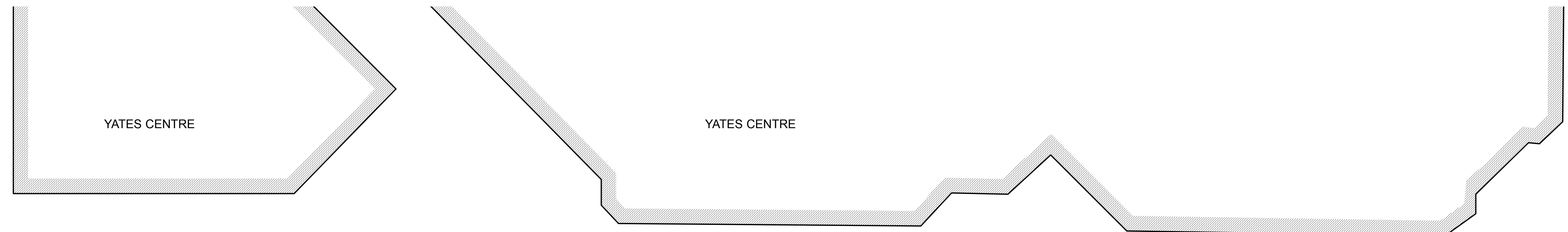
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NANAIMO OFFICE
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Nanaimo BC V9T 2K8
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project name
937View Street
Market Rental Residences
Victoria BC

Site Survey Plan

sheet no. A002



VANCOUVER STREET

FORT STREET

ISSUED	DATE	DESCRIPTION	BY
	08AUG17	DP Submission	
	08AUG17	drawing file	1643
		checked by	ckf
		project number	Victoria BC 1643

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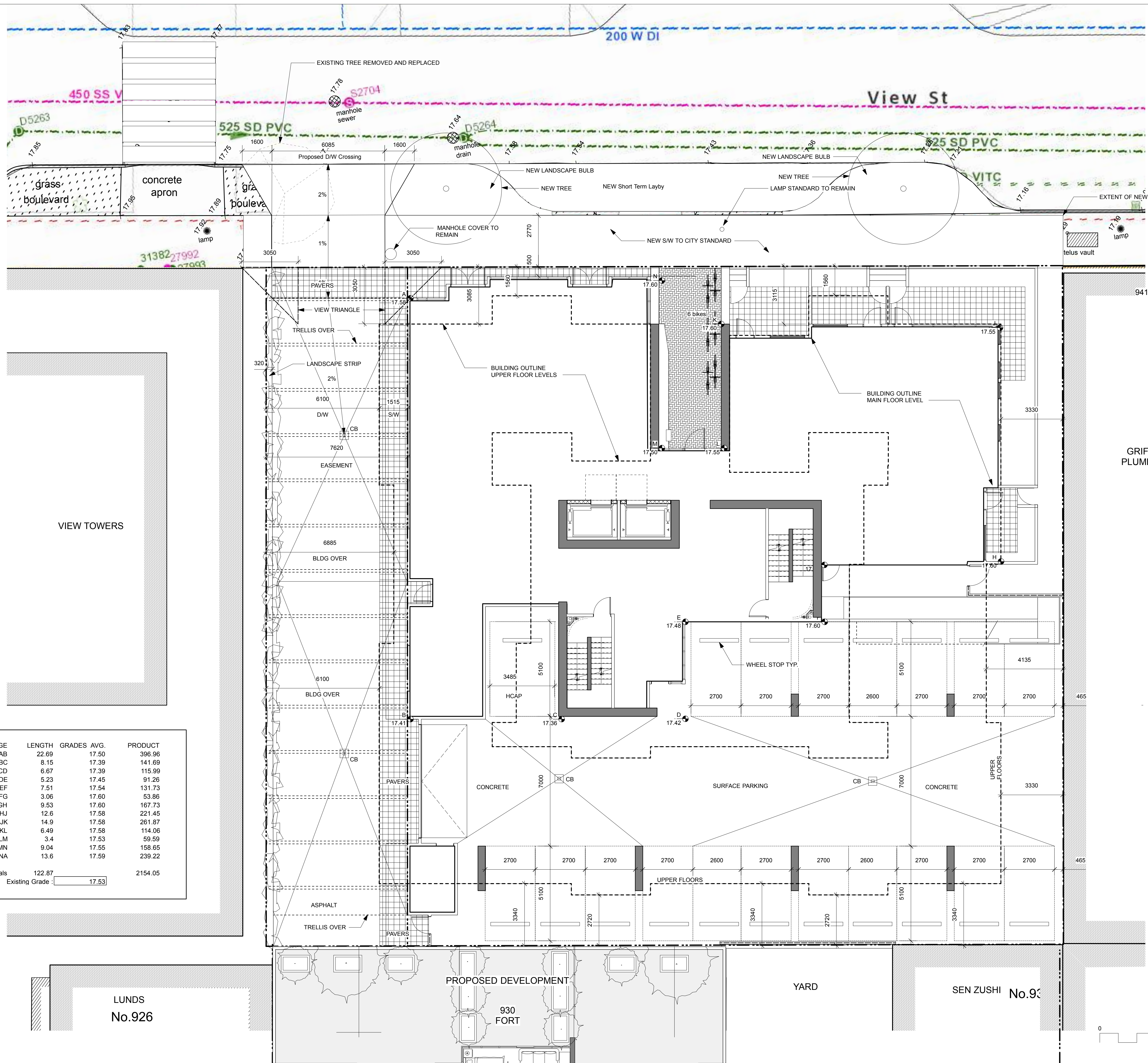
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T 1-250-955-5810

project name
**937 View Street
Market Rental Residences
Gordon Nelson Inc**

Site Plan Existing

DATE: A100



PROJECT INFORMATION TABLE

	Zone Standard	Proposal - if different from Zone Standard
Zoning	R-48	R-48
Site area (m ²)	N/A	1,572.3
Total floor area (m ²)	N/A	8,882.2
Floor space ratio	N/A	5.65
Site coverage %	N/A	71.2
Open site space %	N/A	-
Height (m)	30m	45m
Number of storeys	10	14
Parking stalls (number) on site	N/A	19
Bicycle parking number (storage and rack)	N/A	6 C2 / 220 C1
Building Setback (m)		
Front yard	0.5 non-res / 3.5 res	0.5 non-res / 3.085 res
Rear yard	N/A	3.34m
Side yard (indicate which side)	N/A	3.33m EAST
Side yard (indicate which side)	N/A	6.10m WEST

Description	Area sq. ft.	Total Area	Area m2	1BR	2BR
main retail	1,832.63				
main common	2,014.76				
main residential	1,490.17				
total main		5,337.55	495.87	3	1
L2 common / bikes / stor	7,784.75				
L2 Residential	1,490.17				
total L2		9,274.91	861.66	3	1
L3 core	353.46				
L3 Residential	6,983.89				
total L3		7,337.35	681.66	15	4
L4 Core	353.46				
L4 Residential	5,626.83				
total L4		5,980.30	555.58	11	4
L5 core	353.46				
L5 residential	7,331.66				
total L5		7,685.12	713.96	16	4
total L7		7,685.12	713.96	16	4
total L9		7,685.12	713.96	16	4
L6 core	353.46				
L6 residential	5,973.58				
total L6		6,327.04	587.80	12	4
total L8		6,327.04	587.80	12	4
total L10		6,327.04	587.80	12	4
L11 core	353.46				
L11 residential	6,984.88				
total L11		7,338.34	681.75	15	4
total L13		7,338.34	681.75	15	4
L12 core	353.46				
L12 residential	5,623.23				
total L12		5,976.69	555.25	11	4
L14 core	353.46				
L14 residential	4,633.66				
total L14		4,987.12	463.31	8	4
Total GFA	95,607.10		8,882.12		
Site Area	16,924.24		1,572.30		
FSR		5.649	5.649		
Total Residential	79,733.42		7,407.42	83%	
Total Commercial	1,832.63		170.26	2%	
Total Common & Core	14,041.05		1,304.45	15%	
Checksum	95,607.10		8,882.12	100%	
Total 1BR				165	
Total 2BR					50
Total Residential Units				215	

GRIFFIN PLUMBING

EDGE	LENGTH	GRADES	AVG.	PRODUCT
AB	22.69	17.50		396.96
BC	8.15	17.39		141.69
CD	6.67	17.39		115.99
DE	5.23	17.45		91.26
EF	7.51	17.54		131.73
FG	3.06	17.60		53.86
GH	9.53	17.60		167.73
HJ	12.6	17.58		221.45
JK	14.9	17.58		261.87
KL	6.49	17.58		114.06
LM	3.4	17.53		59.59
MN	9.04	17.55		158.65
NA	13.6	17.59		239.22
Totals	122.87			2154.05
Existing Grade	17.53			

ISSUED	DATE	DESCRIPTION	BY
ISSUED	08AUG17	DP Submission	
DATE	08AUG17	drawing file	1643
DATE	CRK	checked by	CRK
DATE		project number	Victoria BC 1643

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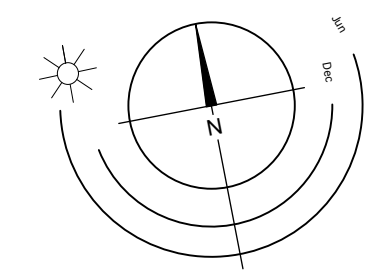
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937 View Street
Market Rental Residences
Gordon Nelson Inc

Site Plan Proposed

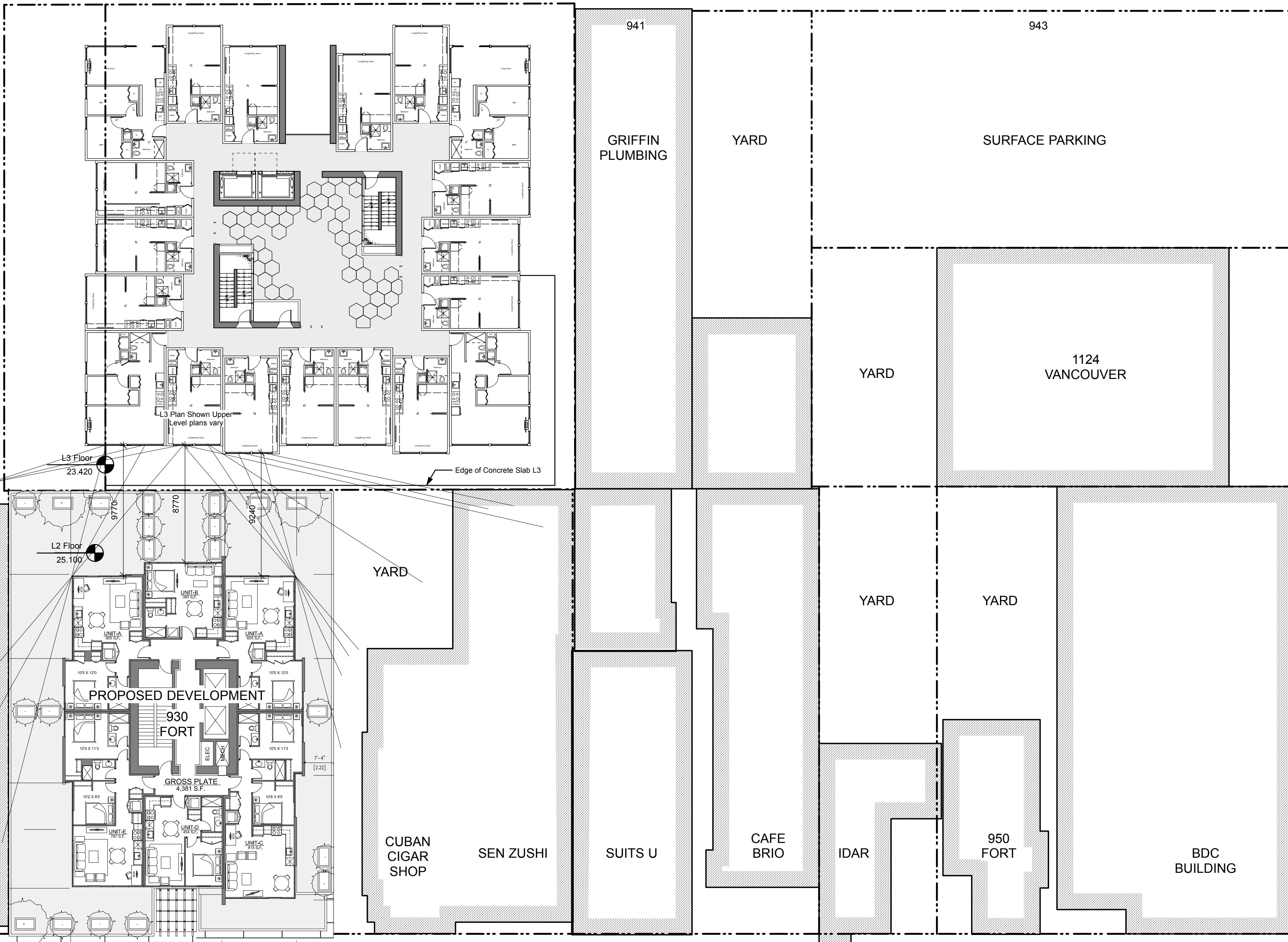
PROJECT NUMBER: A101



YATES CENTRE

YATES CENTRE

VIEW TOWERS



VANCOUVER STREET

FORT STREET

ISSUED	DATE	DESCRIPTION
ISSUED	08AUG17	DP Submission
PREPARED BY	08AUG17	1643
DRAWN BY	CRK	checked by CRK
DATE	-	project number Victoria BC 1643

NOTE: All dimensions are shown in millimeters.

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project name
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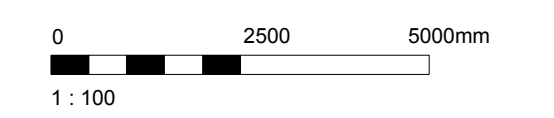
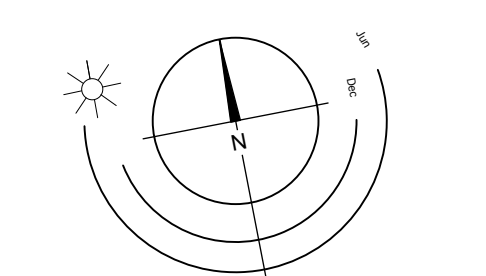
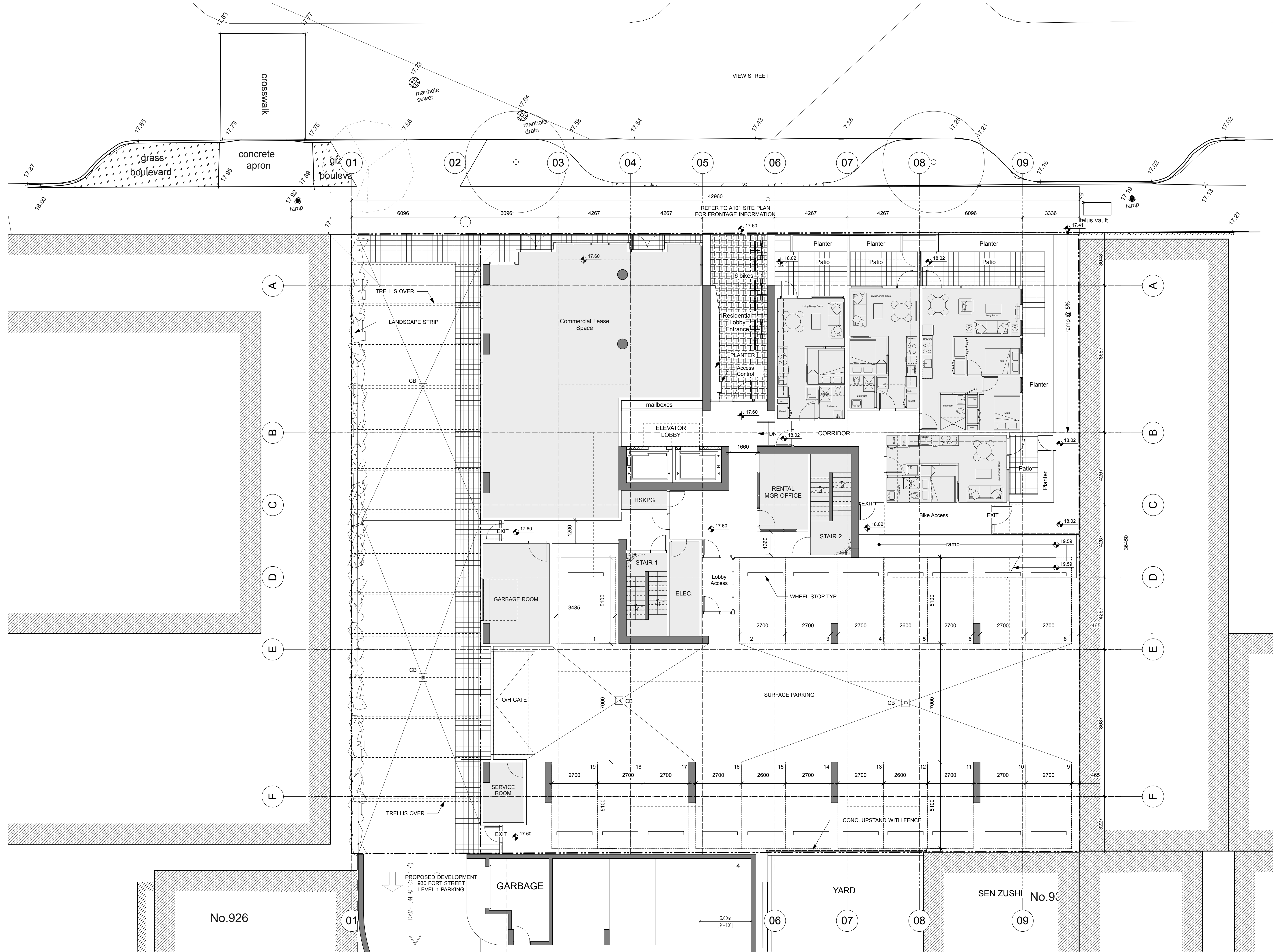
Site Plan Analysis

DATE: 08AUG17
DRAWN BY: CRK
CHECKED BY: CRK
PROJECT NUMBER: Victoria BC 1643

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SCALE: 1:1000

REVISION NO.: A102



Issued	Date	Description
08AUG17		EP Submission
08AUG17		1643_A200 view

Drawn by: cjk
 Checked by: cjk
 Scale: 1:100
 Project number: Victoria BC 1643

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project name
**937 View Street
 Market Rental Residences
 Gordon Nelson Inc**

Floor Plan L1

DATE: 08AUG17
 DRAWN BY: cjk
 CHECKED BY: cjk
 SCALE: 1:100
 PROJECT NUMBER: Victoria BC 1643

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ISSUED BY: **A201**

No.926

SEN ZUSHI No.92

PROPOSED DEVELOPMENT
 930 FORT STREET
 LEVEL 1 PARKING

RAMP DN @ 10% (1:7)

GARBAGE

YARD

06

07

08

09

A

B

C

D

E

F

A

B

C

D

E

F

01

05

06

07

08

09

01

02

03

04

05

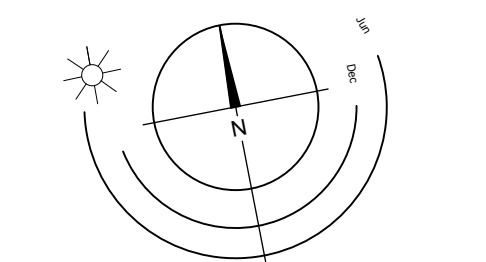
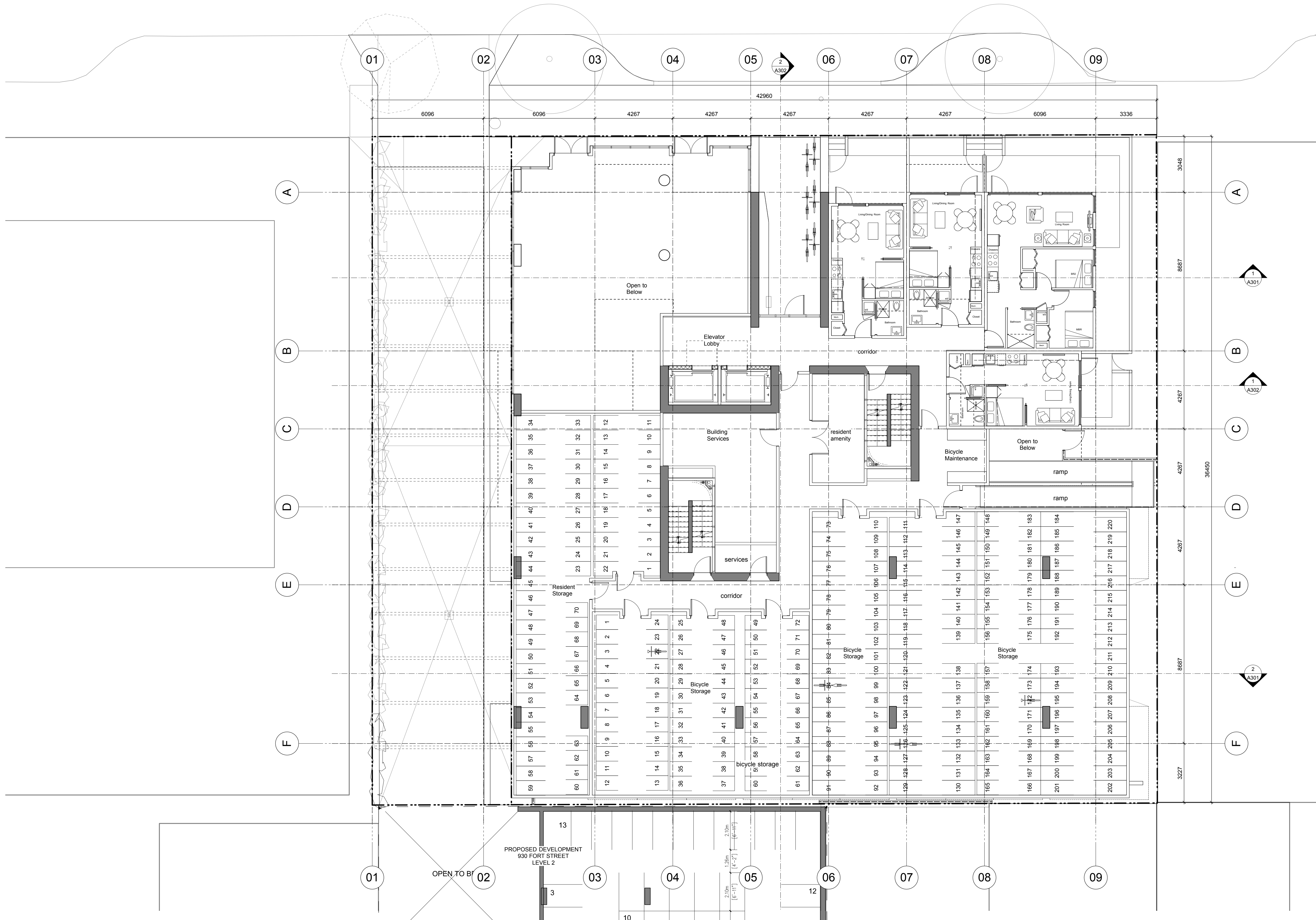
06

07

08

09

01



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1:100

Issued	Date	Description
08AUG17		DP Submission
08AUG17		working file
08AUG17		checked by
08AUG17		project number
08AUG17		Victoria BC 1643

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project name
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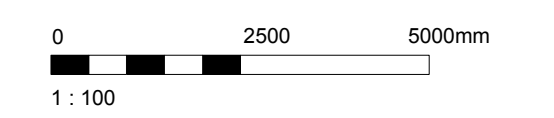
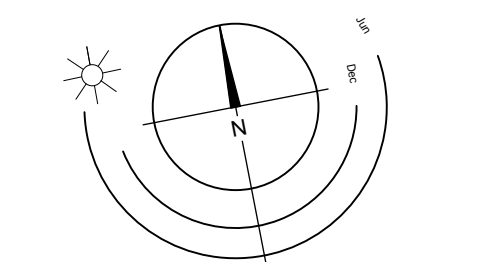
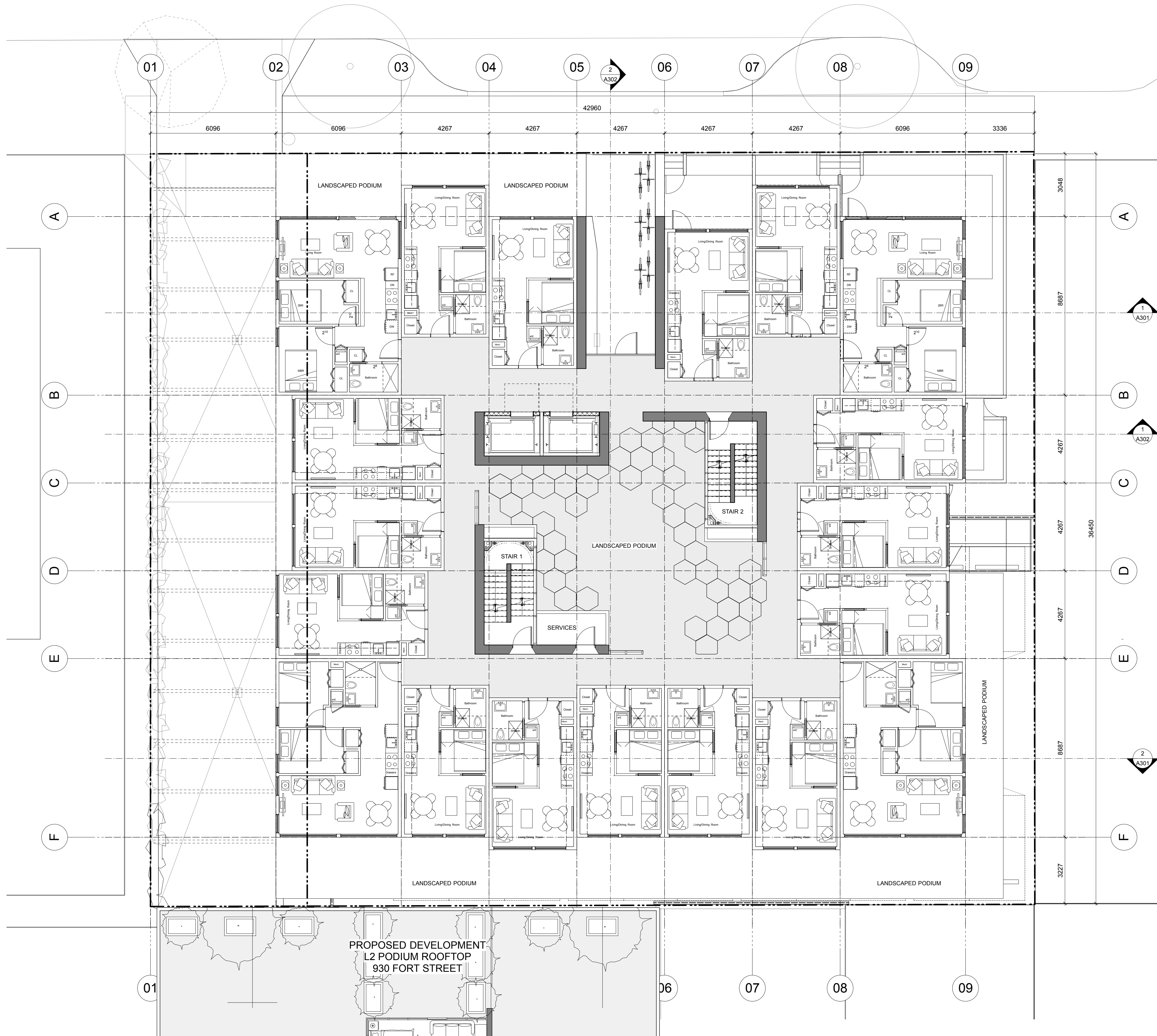
Floor Plan L2

DATE: 08AUG17
DRAWN BY: CRK
CHECKED BY: CRK
PROJECT NUMBER: Victoria BC 1643

SCALE: 1:100

NOTE: ALL DIMENSIONS ARE SHOWN IN MILLIMETERS.

A202



Issued	Date	Description
08AUG17		EP Submission
08AUG17		1643_A200.VVX
Drawn by	CHK	Checked by
Scale	1:100	Project number
		Victoria BC 1643

NOTE: All dimensions are shown in millimeters.

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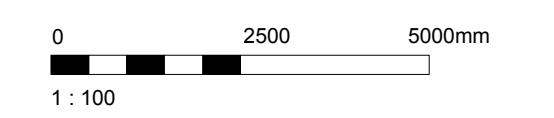
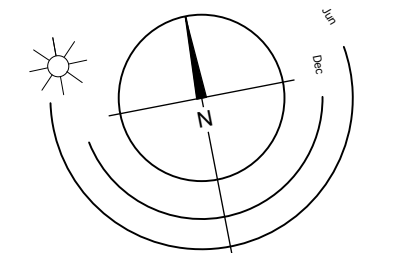
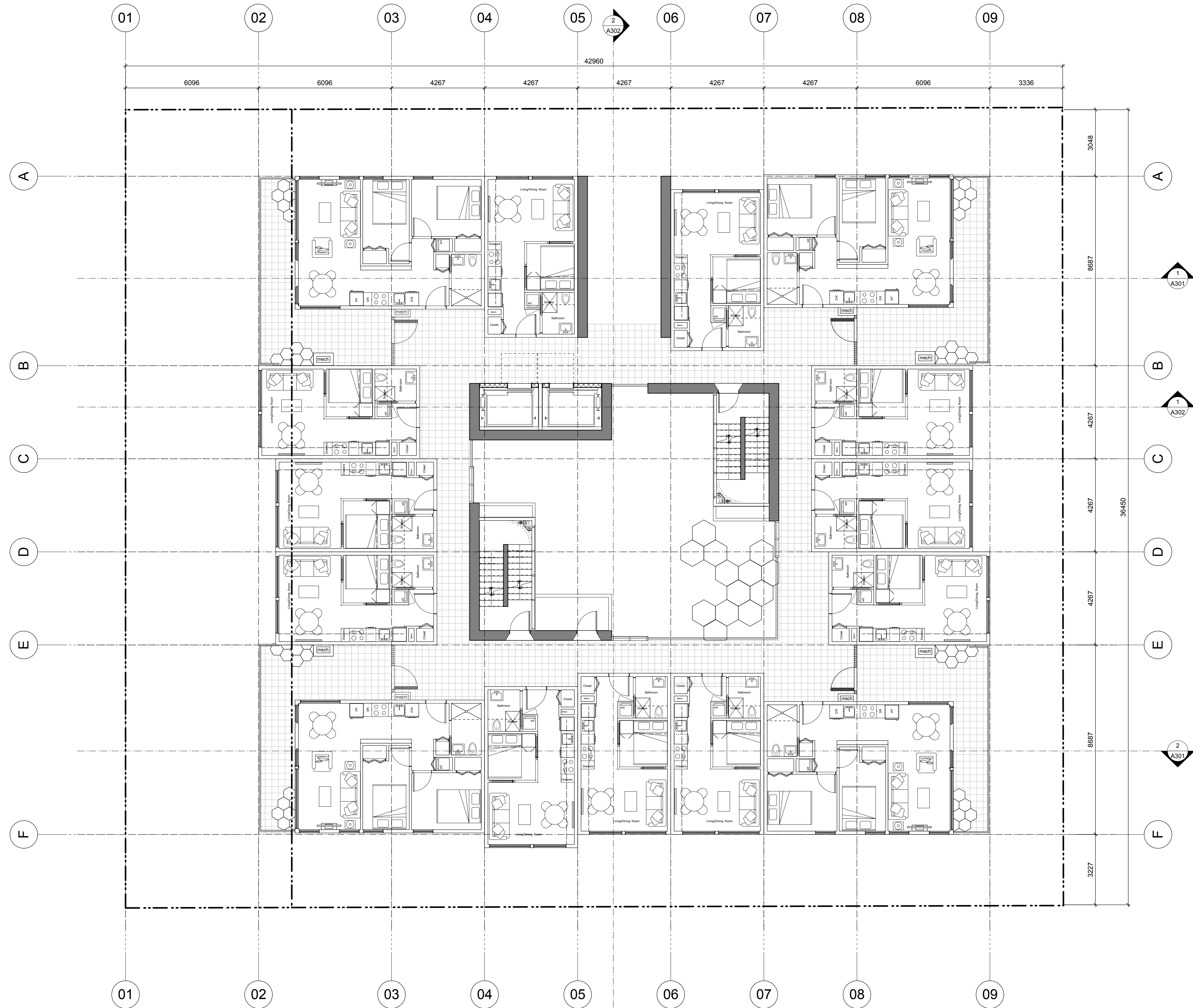
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**937 View Street
Market Rental Residences
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Floor Plan L3

Drawn by: **A203**

Scale: **-**

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Scale	1:100	Project number
		Victoria BC 1643

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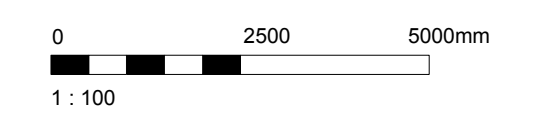
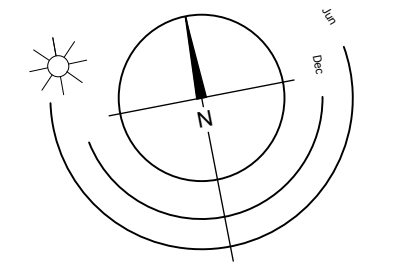
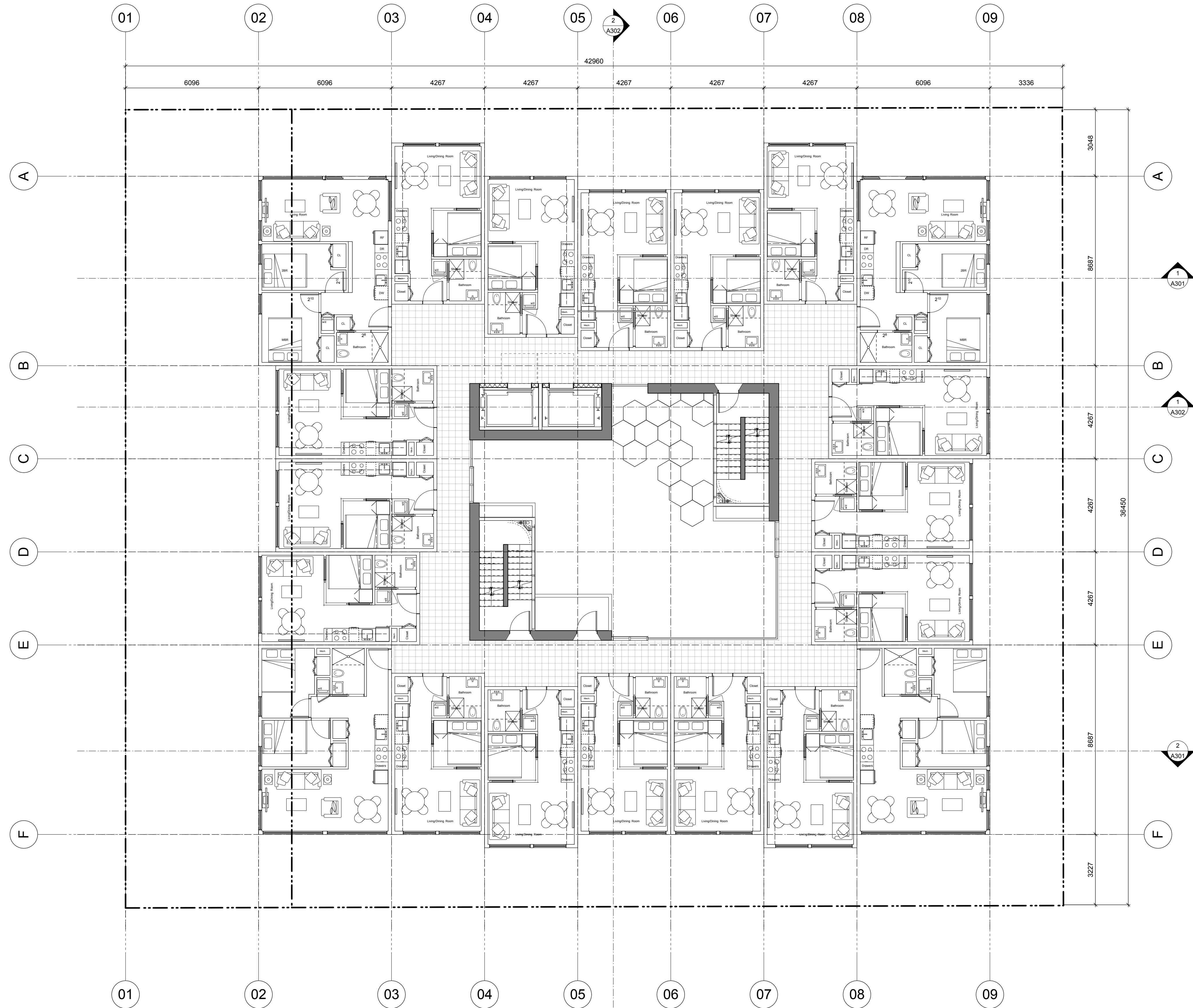
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Floor Plan L4

sheet no. **A204**

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08AUG17		1643_A200.VVW
Drawn by	CHK	Checked by
Scale	1:100	Project number
		Victoria BC 1643

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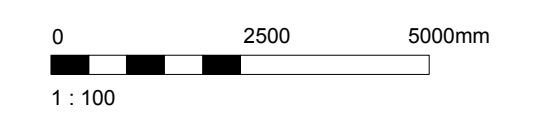
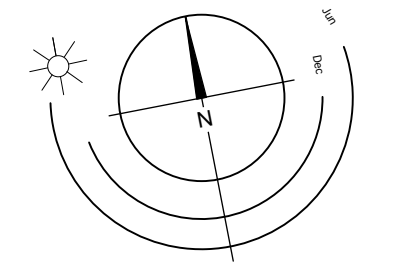
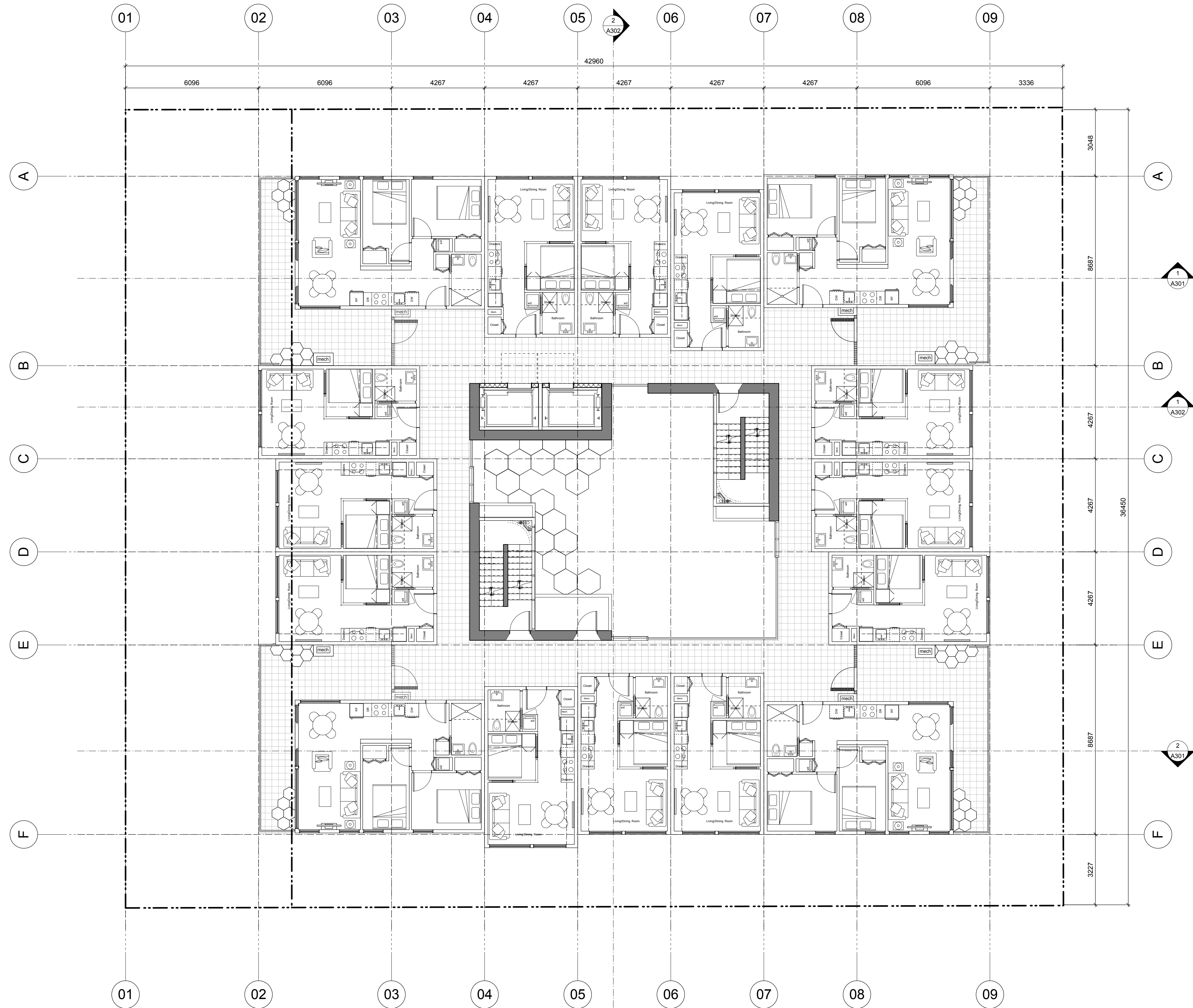
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project name
**937 View Street
 Market Rental Residences
 Gordon Nelson Inc**

Floor Plan L5, L7, L9

revision no.
A205



Issued	Date	Description
08AUG17		EP Submission
08AUG17		1643_A200.VVX
Drawn by	CHK	Checked by
Scale	1:100	Project number
		Victoria BC 1643

NOTE: All dimensions are shown in millimeters.

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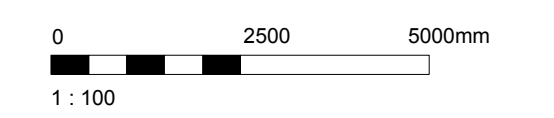
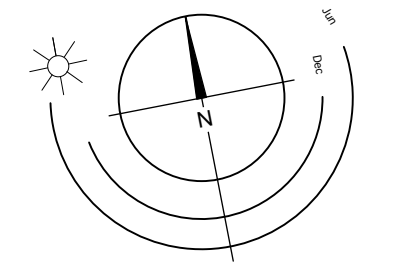
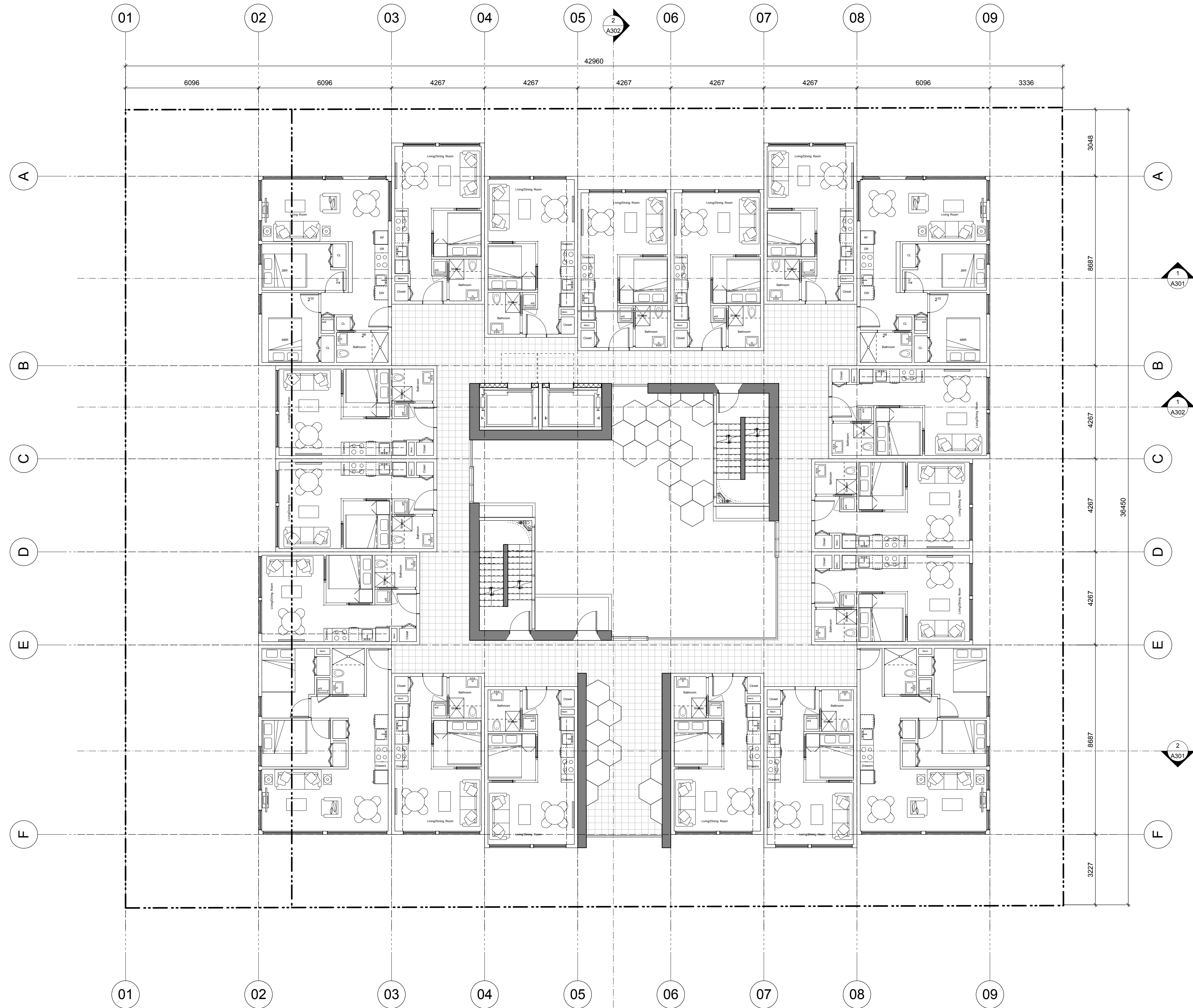
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project name
**937 View Street
Market Rental Residences
Gordon Nelson Inc**

Floor Plan L6, L8, L10

revision no.
A206



Issued	Date	Description
08AUG17		EP Submission
08AUG17		1643_A200.VVX
Drawn by	CHK	Checked by
Scale	1:100	Project number
		Victoria BC 1643

NOTE: All dimensions are shown in millimeters.

de Hoog & Kierulf architects

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NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K4
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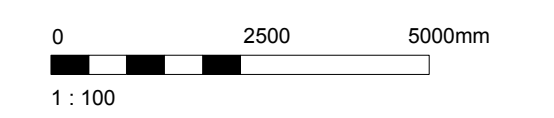
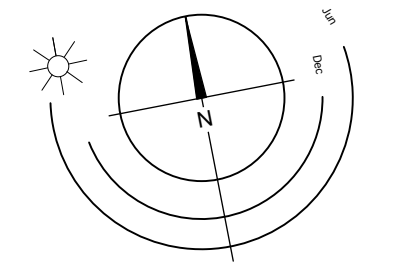
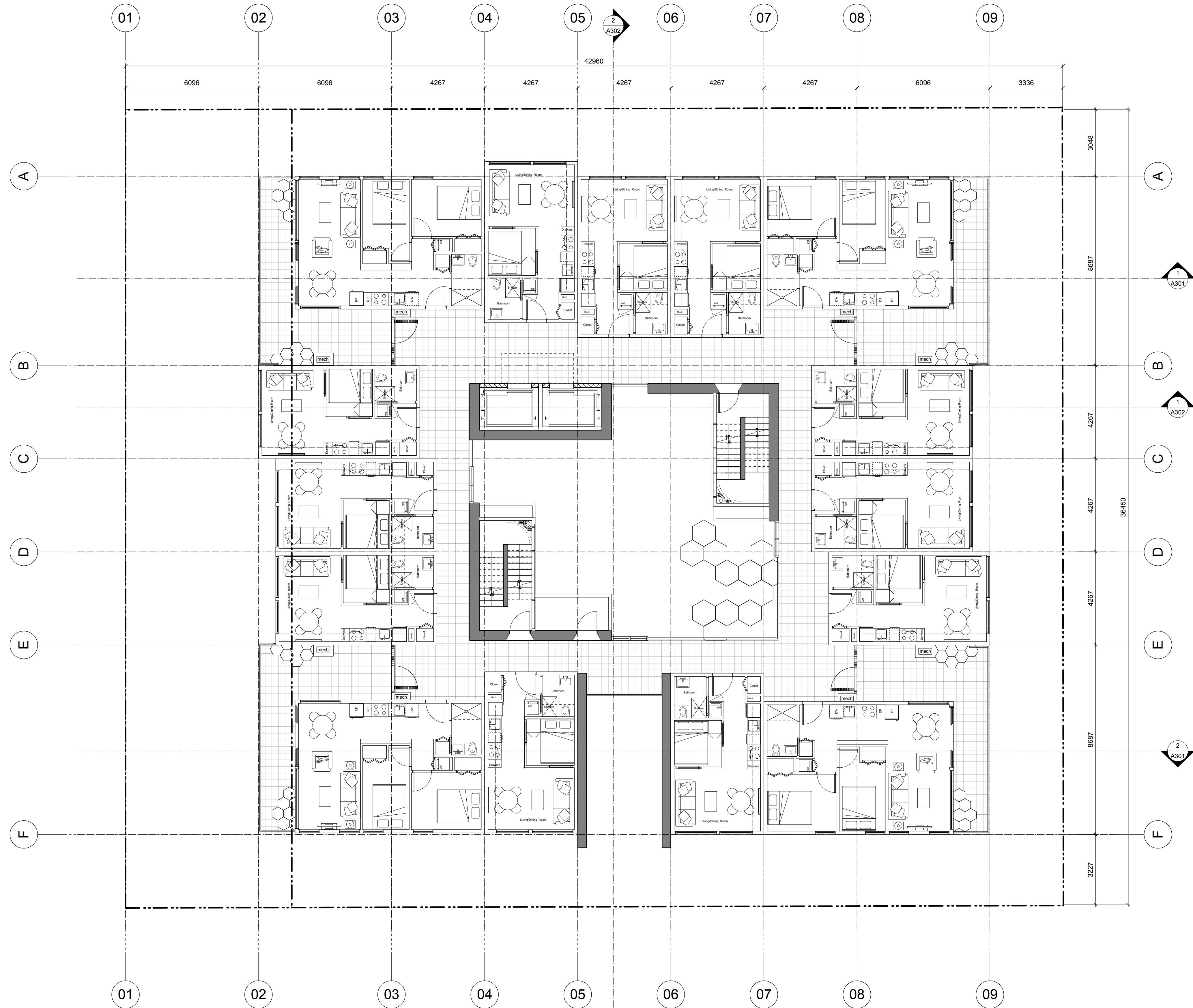
project name
**937 View Street
Market Rental Residences
Gordon Nelson Inc**

Floor Plan L11 & L13

drawn by: **A207**

revision no: -

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Issued	Date	Description
08AUG17		EP Submission
08AUG17		1643_A200.VVX
Drawn by	CHK	Checked by
Scale	1:100	Project number
		Victoria BC 1643

NOTE: All dimensions are shown in millimeters.

de Hoog & Kierulf architects

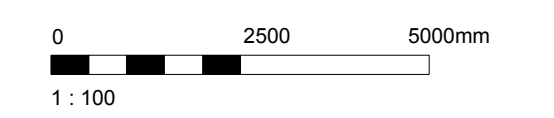
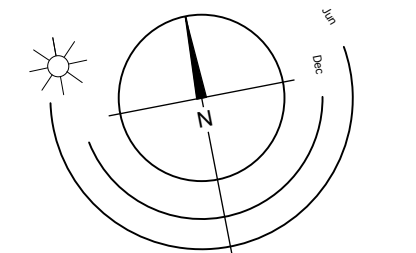
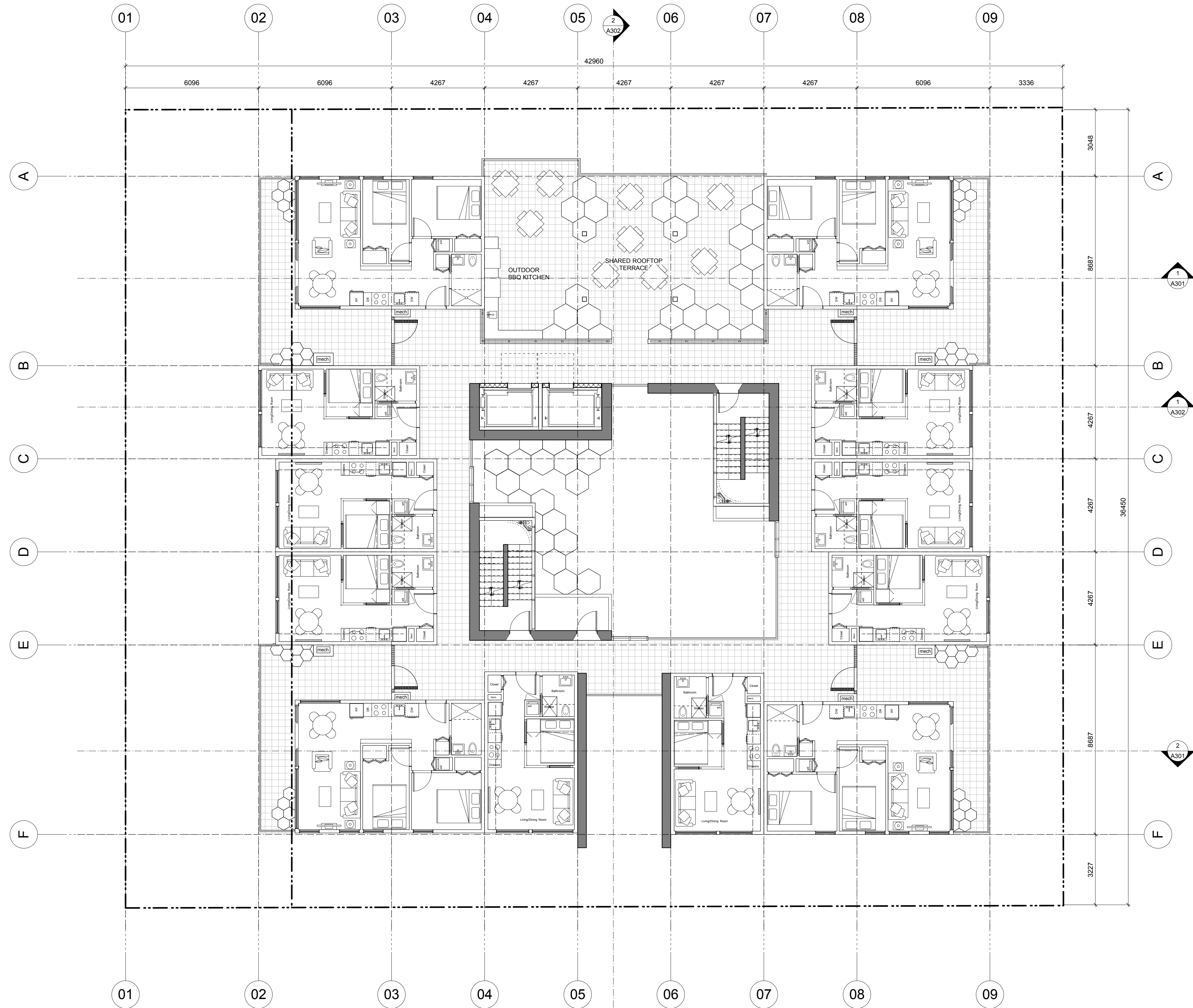
VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3387

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K4
T 1-250-985-5810

project name
937 View Street
Market Rental Residences
Gordon Nelson Inc

Floor Plan L12

revision no.
A208



Issued	Date	Description
08AUG17		EP Submission
08AUG17		1643_A200.VVX
Drawn by	CRK	Checked by
Scale	1:100	Project number
		Victoria BC 1643

NOTE: All dimensions are shown in millimeters.

de Hoog & Kierulf architects

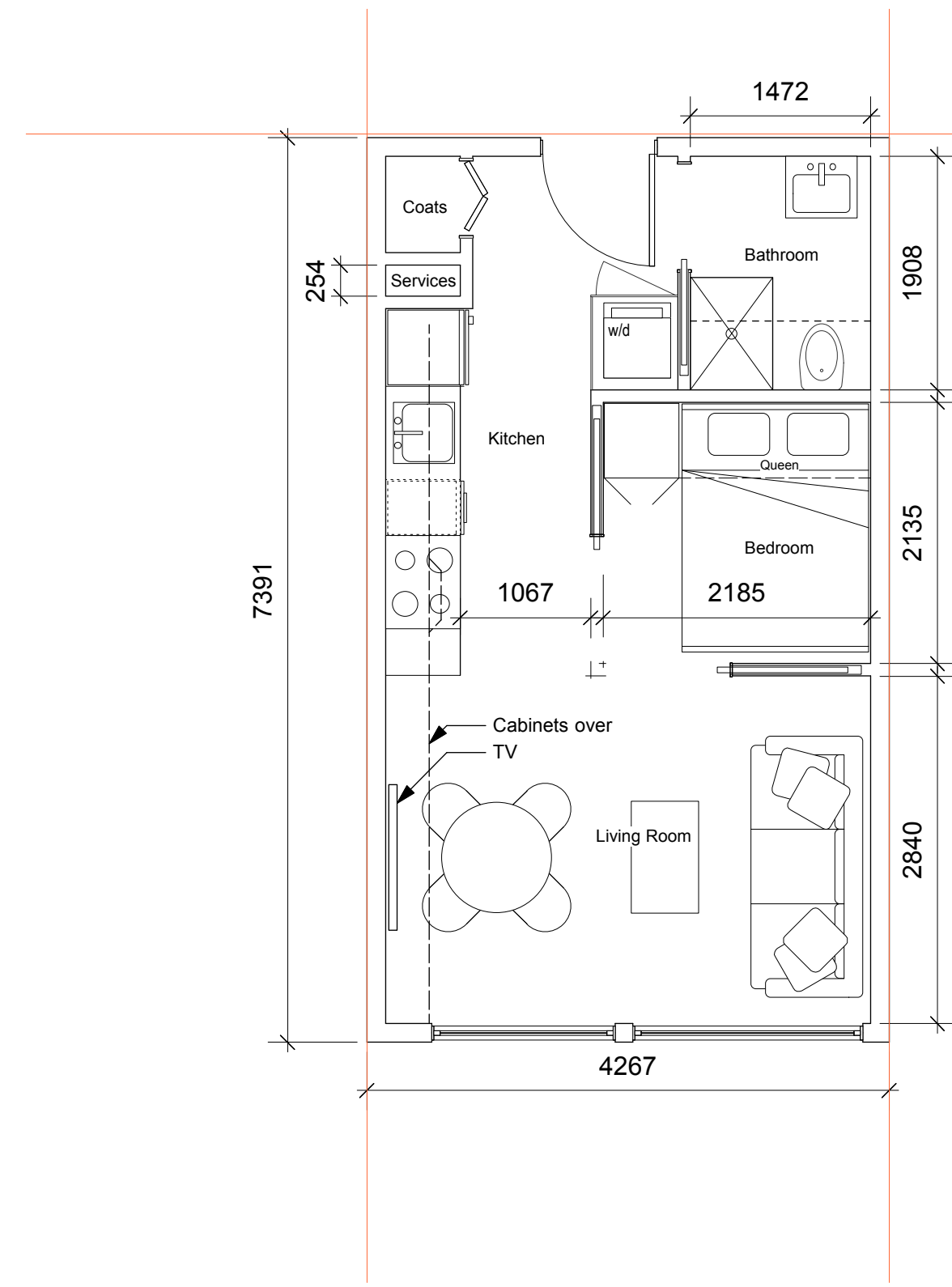
VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3387

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K4
T 1-250-955-5810

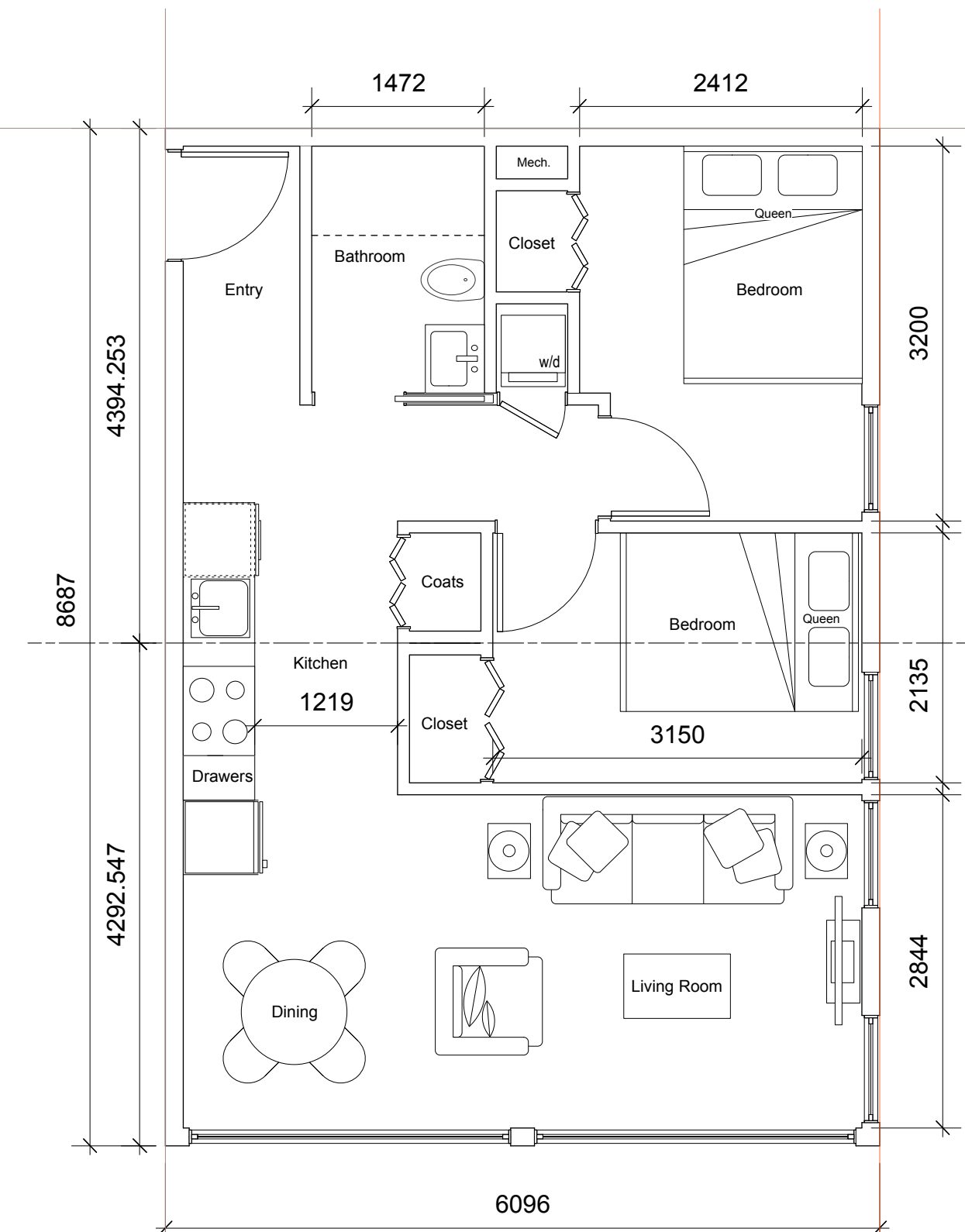
project name
**937 View Street
Market Rental Residences
Gordon Nelson Inc**

Floor Plan L14

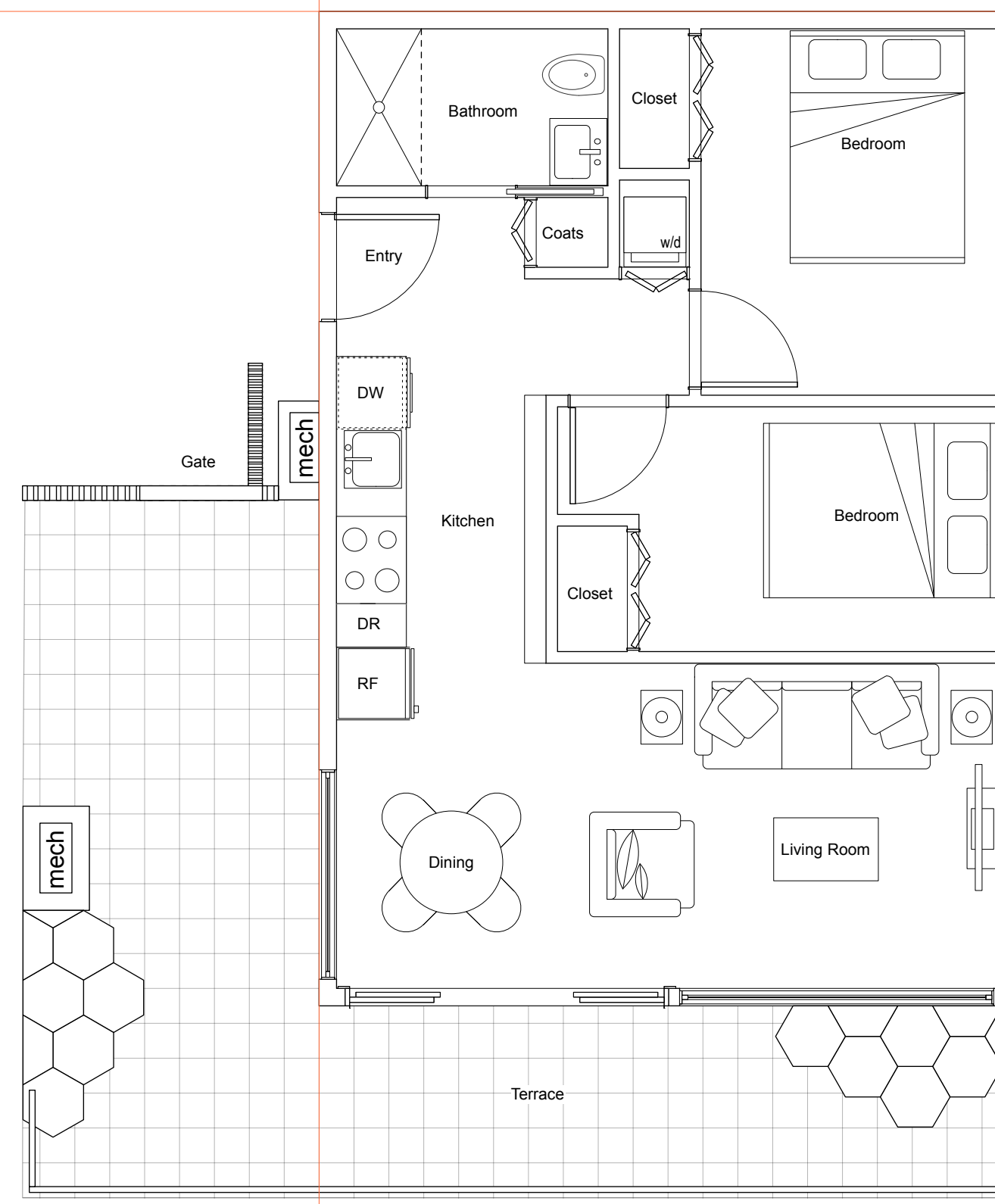
revision no. **A209**



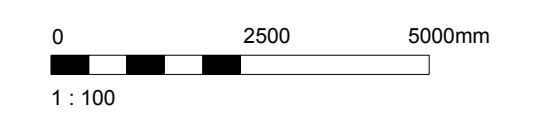
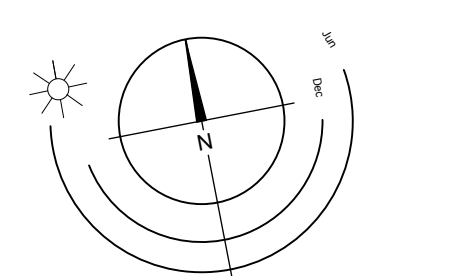
1 BR SUITE
1:50



2 BR SUITE - CORNER (NO TERRACE)
1:50



2 BR SUITE CORNER WITH TERRACE
1:50



Rev	Date	Description
08AUG17		DP Submission
08AUG17		1643_A200.VVX
08AUG17		08AUG17
1:100		Victoria BC 1643

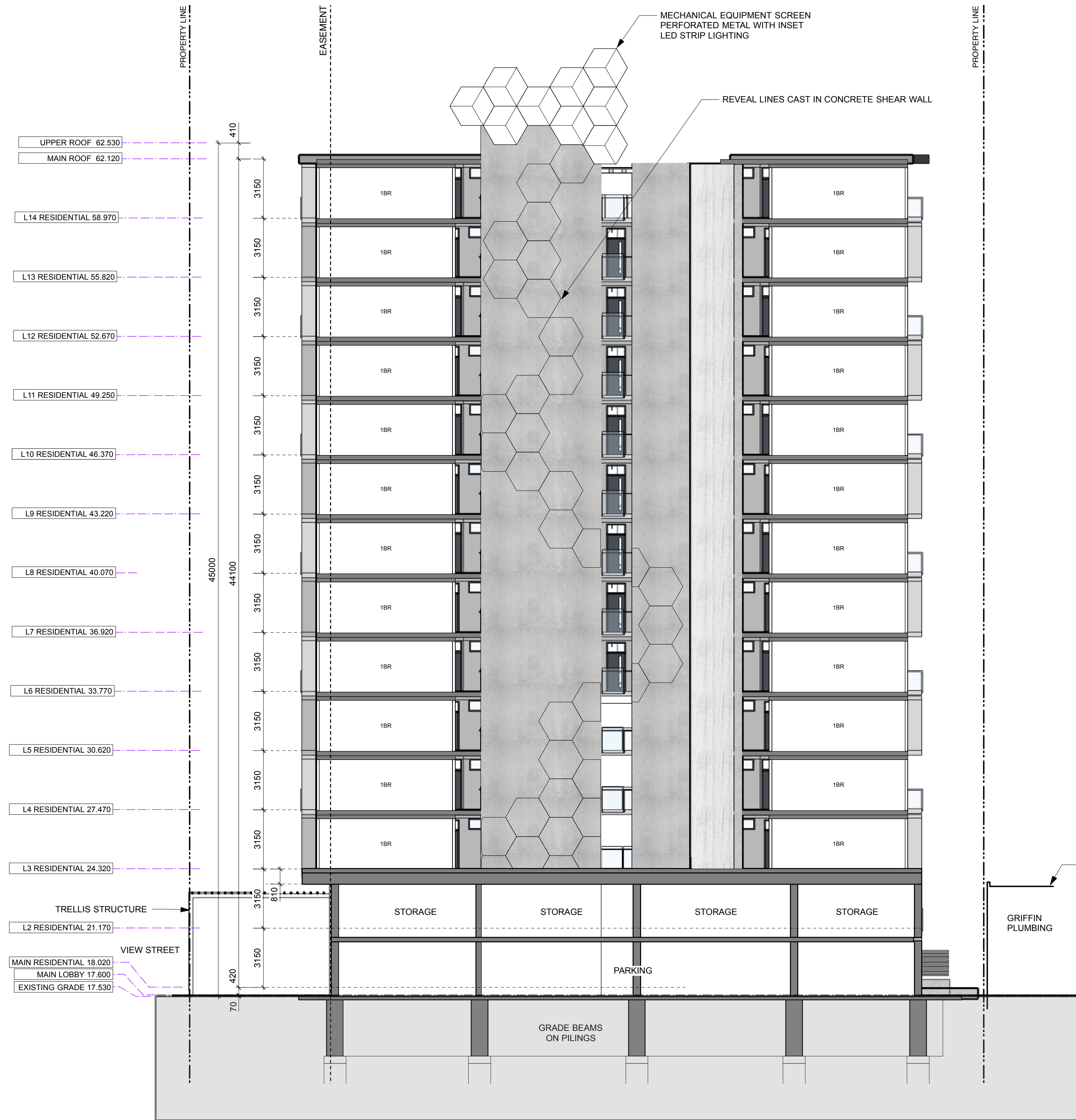
NOTE: All dimensions are shown in millimeters.

de Hoog & Kierulf architects

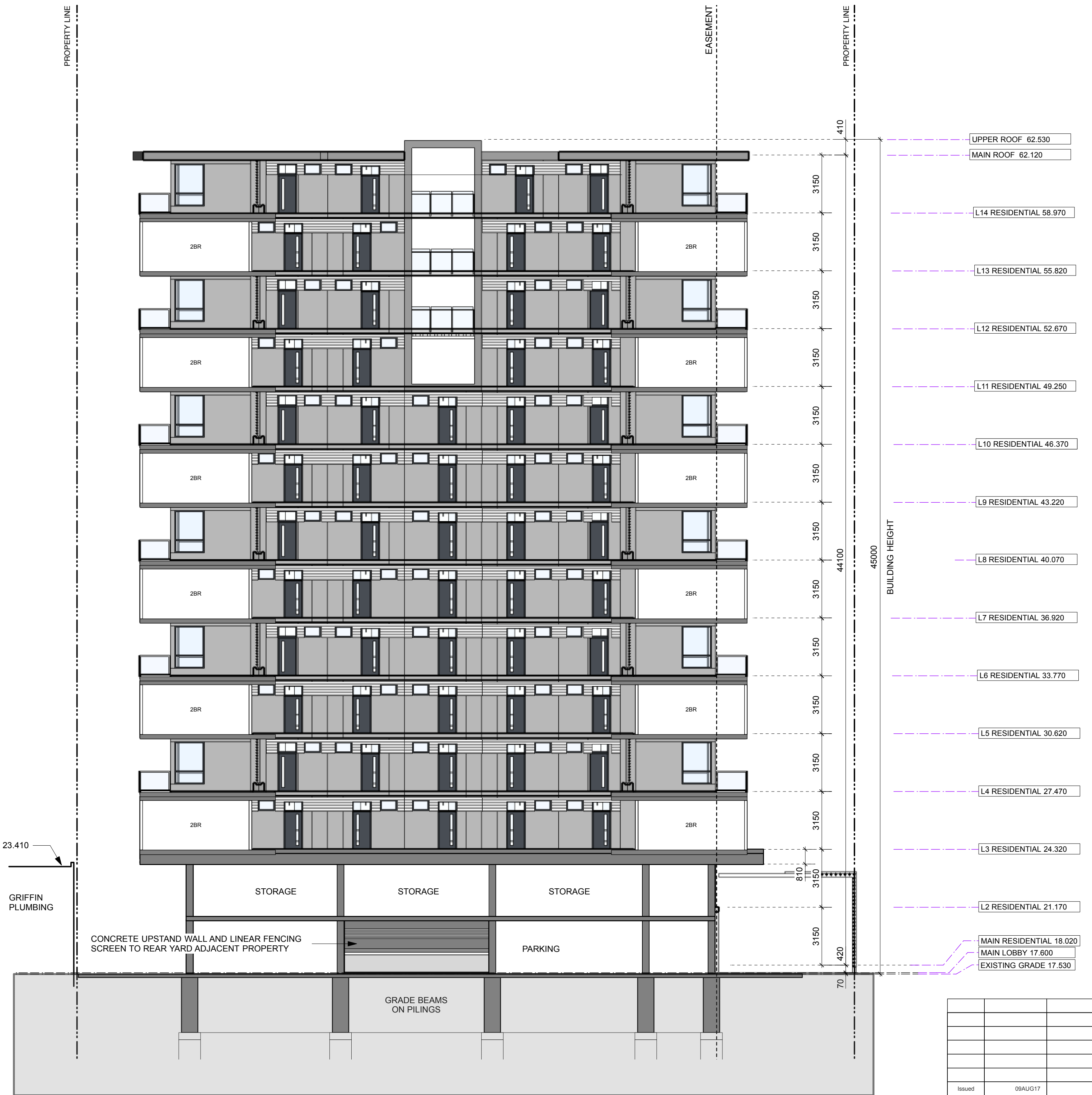
VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3387

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 3A8
T 1-250-985-5810

project name
937 View Street
Market Rental Residences
Gordon Nelson Inc



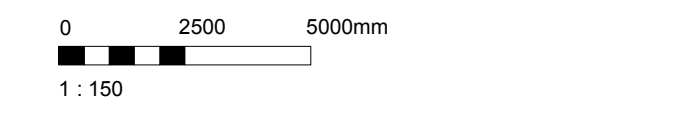
1 Building Section
Scale: 1:150
A301



2 Building Section
Scale: 1:150
A301

Issued	Date	Description
08AUG17		DP Submission
08AUG17		1643 A400 Elevations view

NOTE: All dimensions are shown in millimeters.



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VICTORIA BC V8V 3K3
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102-5190 Duxton Way
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T 1-250-655-5810

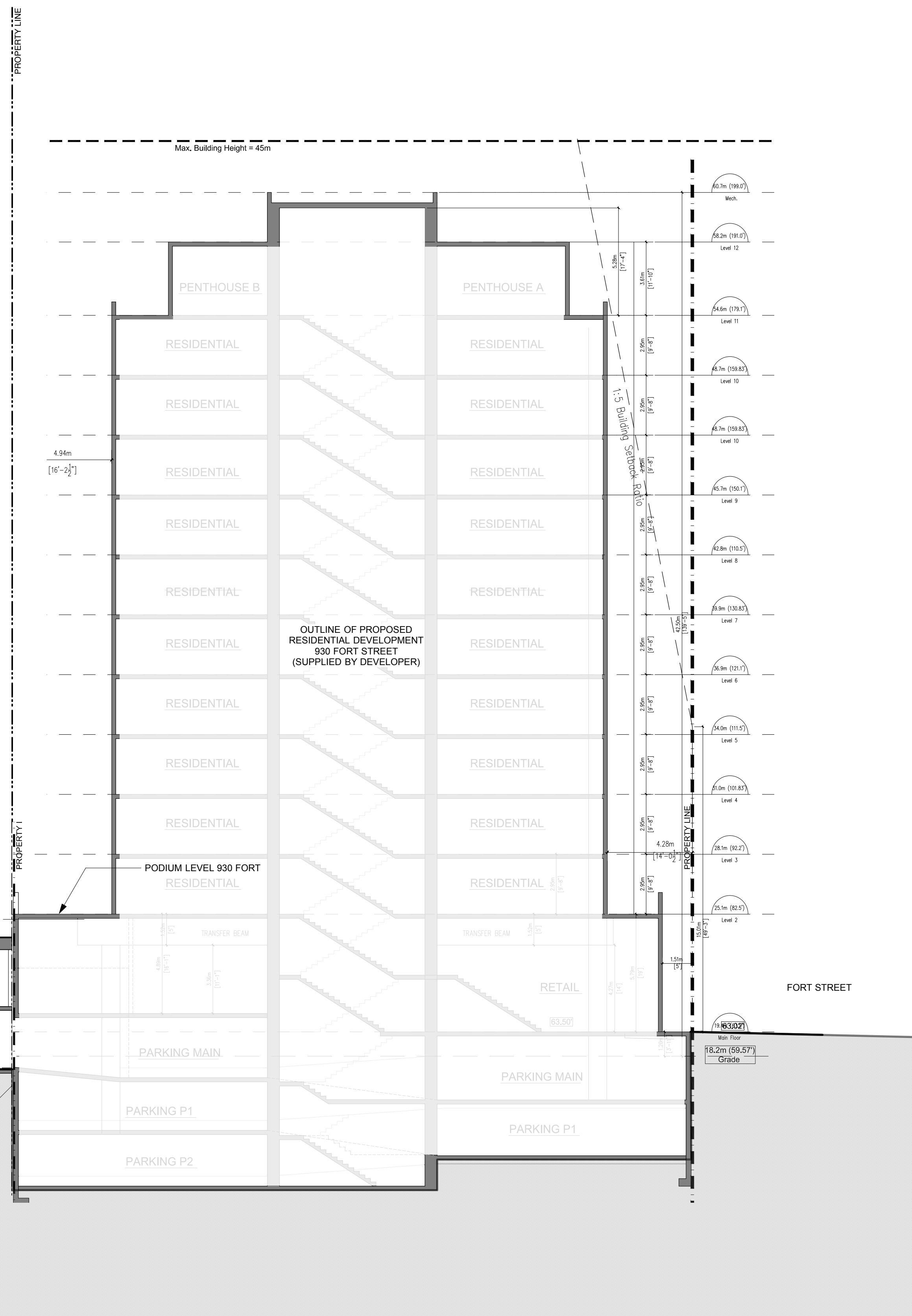
project name
**937 View Street
Market Rental Residences
Victoria BC**

Sections

DATE: 08AUG17

SCALE: 1:150

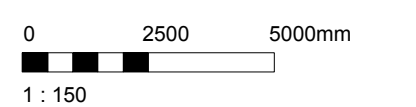
PROJECT NUMBER: 1643



2 Building Section
A302 Scale: 1:150

Issued	Date	Description
08AUG17		DP Submission
08AUG17		1643 A100 Elevations view

NOTE: All dimensions are shown in millimeters.



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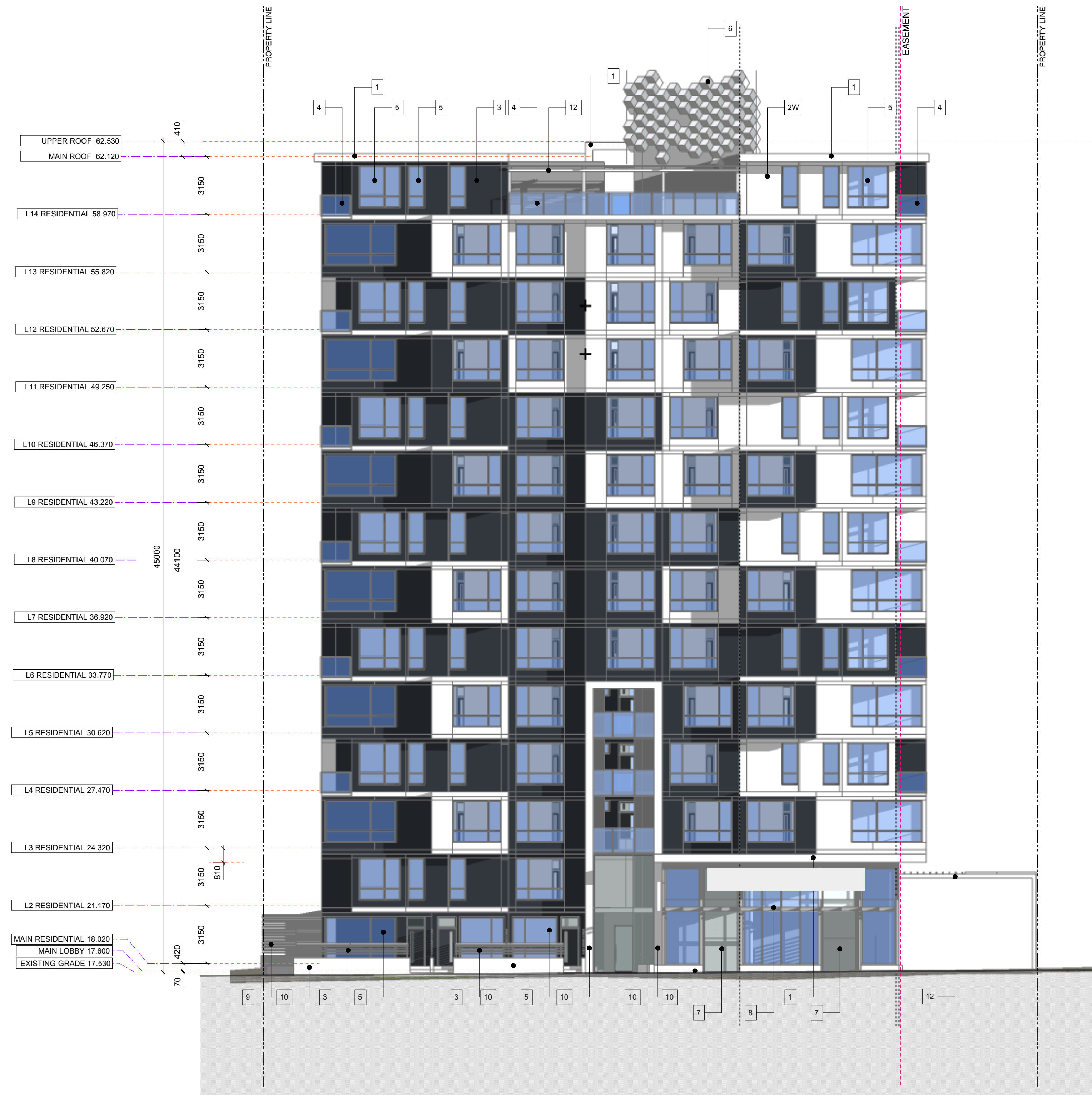
NANAIMO OFFICE
102-5190 DuRoiin Way
Nanaimo BC V9T 2A8
T 1-250-985-5810

project name
**937 View Street
Market Rental Residences
Victoria BC**

Sections

Section No.	A302
-------------	------

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1 North Elevation (View Street)
Scale: 1:150

Materials Information

1. Prefinished metal flashing / fascia 22 ga.
- 2W / 2B. Composite aluminum cladding system with fire rated core on rainscreen exterior wall system. W = White ; B = Charcoal
3. Powder coated metal screen / gate.
4. Glass and Aluminum Guard Railing
5. Thermally broken non-combustible aluminum windows and doors with sealed glazing - powder coated charcoal frame.
6. Mechanical Equipment screen - metal mesh panels on steel structural frame.
7. Thermally broken non-combustible aluminum storefront glazing system with sealed glazing units.
8. Tempered and laminated glass canopy on powder coated aluminum structure.
9. Perforated metal mesh screen panels over storefront glazing system.
10. Smooth face concrete masonry units stack bond - dark grey finish.
11. Sectional Aluminum overhead garage door with security mesh in all openings.
12. Powder coated steel trellis structure over access easement with integral LED strip lighting.



2 East Elevation
Scale: 1:150

Issued	Date	Description
	08AUG17	DP Submission
Prep	08AUG17	1643 A400 Elevations.vrx
Drawn by	CRK	checked by
Scale	as shown	project number
		1643

NOTE: All dimensions are shown in millimeters.

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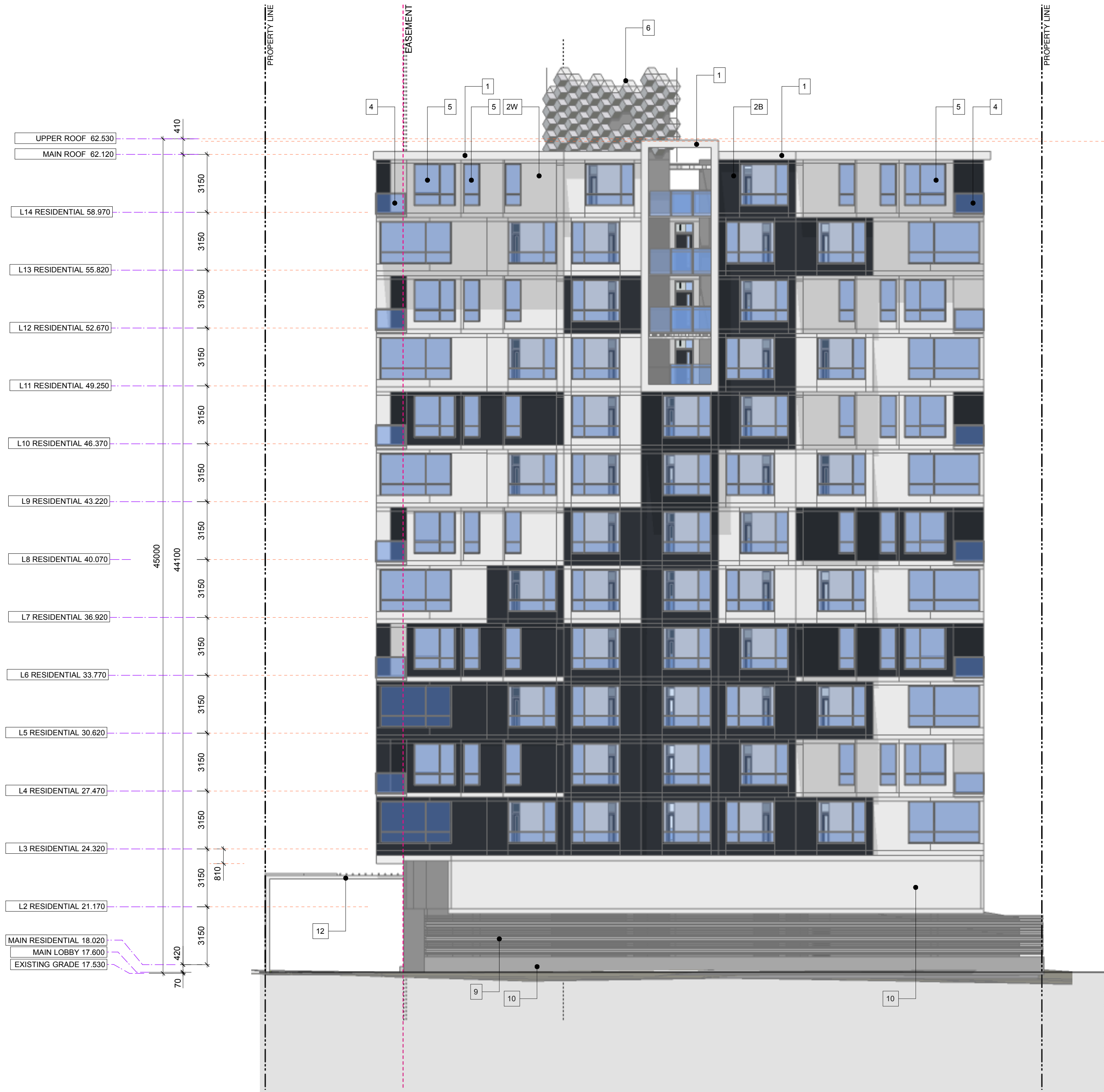
VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3387

NANAIMO OFFICE
102-5190 Durbin Way
Nanaimo BC V9T 2K8
T 1-250-985-5810

project name
**937 View Street
Market Rental Residences
Victoria BC**

Elevations

DATE: 08AUG17
SCALE: 1:150
PROJECT NO: 1643



1 South Elevation
Scale: 1:150

Materials Information

1. Prefinished metal flashing / fascia 22 ga.
- 2W / 2B. Composite aluminum cladding system with fire rated core on rainscreen exterior wall system. W = White ; B = Charcoal
3. Powder coated metal screen / gate.
4. Glass and Aluminum Guard Railing
5. Thermally broken non-combustible aluminum windows and doors with sealed glazing - powder coated charcoal frame.
6. Mechanical Equipment screen - metal mesh panels on steel structural frame.
7. Thermally broken non-combustible aluminum storefront glazing system with sealed glazing units.
8. Tempered and laminated glass canopy on powder coated aluminum structure.
9. Perforated metal mesh screen panels over storefront glazing system.
10. Smooth face concrete masonry units stack bond - dark grey finish.
11. Sectional Aluminum overhead garage door with security mesh in all openings.
12. Powder coated steel trellis structure over access easement with integral LED strip lighting.



2 West Elevation
Scale: 1:150

Issued	Date	Description
	08AUG17	DP Submission
	08AUG17	1643 A400 Elevations view

NOTE: All dimensions are shown in millimeters.
0 2500 5000mm
1:150

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977 Fort Street
Victoria BC V8W 2K3
T 1-250-658-3387

NANAIMO OFFICE
102-5190 Duxton Way
Nanaimo BC V9T 2A8
T 1-250-985-5810

project name
**937 View Street
Market Rental Residences
Victoria BC**

Elevations

DATE: 08AUG17
DRAWN BY: CRK
CHECKED BY: CRK
SCALE: AS SHOWN
PROJECT NUMBER: 1643

REVISION NO. A402



VIEW STREET FRONTAGE - MAIN ENTRY & STOREFRONT



VIEW STREET FRONTAGE - GROUND FLOOR SUITES AND COMMERCIAL FRONTAGE



VIEW STREET FRONTAGE - GROUND FLOOR SUITES AND COMMERCIAL FRONTAGE



VIEW STREET FRONTAGE - COMMERCIAL FRONTAGE AND ACCESS EASEMENT WITH TRELLIS

Issued	Date	Description
08AUG17		DP Submission
08AUG17		1634 A502 View Analysis view
NN		checked by: cjk
NTS		project number: 1643

NOTE: All dimensions are shown in millimeters.

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Victoria BC V8V 3K3
T 1-250-658-3387

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2A8
T 1-250-585-5810

Project Name
937 View Street
Victoria BC

Building Images

Scale: A500



Looking West Down View St.



Corner of Quadra St. and View St.



Corner of Fort St. and Vancouver St.



Corner of Fort St. and Quadra St.

1 Street Views
A501 N.T.S.



2 Street View Looking South
A501 N.T.S.



3 Street View Looking East
A501 N.T.S.



4 Street View Looking West
A501 N.T.S.

Issued	Date	Description
08AUG17		EP Submission
08AUG17	08AUG17	4043 A501 Experience and Street Views view
08AUG17	08AUG17	4043 A501 Experience and Street Views view
08AUG17	08AUG17	4043 A501 Experience and Street Views view
08AUG17	08AUG17	4043 A501 Experience and Street Views view

NOTE: All dimensions are shown in millimeters.

de Hoog & Kierulff architects	
<small>VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387</small>	<small>NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-855-5810</small>
<small>Project Name 937 View Street Victoria BC</small>	
Street Viewscapes	
<small>DESCRIPTION: THESE RENDERINGS AND ANY OTHERS THAT REMAIN THE PROPERTY OF DE HOOG & KIERULFF ARCHITECTS. NO PART OF THESE RENDERINGS SHOULD BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT WRITTEN PERMISSION FROM DE HOOG & KIERULFF ARCHITECTS.</small>	A501



LEGEND

- Property line
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Proposed Contour Line 1 m interval, typ.
- Existing Contour Line
- Architectural grade, provided for reference only
- Proposed Landscape Grade
- Existing Grade
- TW Top of Wall
- BW Bottom of Wall
- TC Top of Curb
- BC Bottom of Curb
- TP Top of Pool
- BP Bottom of Pool
- TS Top of Stairs
- BS Bottom of Stairs

UNDERGROUND UTILITIES

EXISTING	PROPOSED
Storm drain	Storm drain
Sewer	Sewer
Water	Water
Electrical	Electrical
Gas	Gas

LANDSCAPE MATERIALS

- Metal Picket Fence, 1100 mm height
- Cast in Place Concrete Wall height varies
- Main Entry Unit Paving-Large Format Plank Paver
- Typical Unit Paving
- Cast in place concrete paving
- Ornamental Planting Area
- Rain Garden Area

- LANDSCAPE ELEMENTS**
1. Main Entry Paving - Large format plank pavers, perpendicular to main entry, mix of charcoal and natural.
 2. Main Entry Planter and Access Control Panel- Shade tolerant planting bed.
 3. Easement Screen/Shade Structure- Powder coated steel/aluminum structure with Wood/Metal Slats and concrete/aluminum planters at base planted with vines.
 4. Level 1 Terrace patios with hydrapressed slab paving.
 5. Access Ramp - Access ramp to bike storage with hydrapressed slab paving to match terrace patios.
 6. New Town Paving - cast in place concrete with tooled joints and unit paver accents.

- IRRIGATION NOTES**
1. All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
 2. Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
 3. Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
 4. Utilities - Contractor to verify location of all on-site utilities, prior to construction. Resoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
 5. Refer to mechanical drawings for irrigation point of connection.
 6. Refer to electrical drawings for electrical service.
 7. Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
 8. At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
 9. Trees within shrub or rain garden areas to be irrigated with spray heads.

- DRAWING NOTES**
1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 2. All plan dimensions in metres and all detail dimensions in millimetres.
 3. Plant quantities on Plans shall take precedence over plant list quantities.
 4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 6. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
 7. Landscape installation to carry a 1 year warranty from date of acceptance.
 8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

NOT FOR CONSTRUCTION

rev no	description	date
1	DP	17.07.07

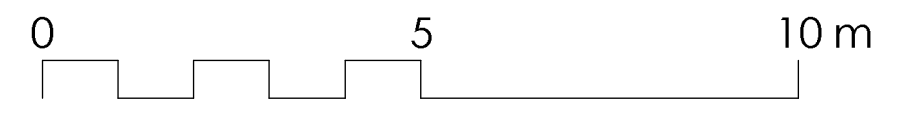
Murdoch de Greeff INC
Landscape Planning & Design
200 - 524 Cuddehele Road
Victoria, BC V8L 1G1
Phone: 250.412.2891
Fax: 250.412.2892

client
GORDON NELSON INC
1209 JERVIS STREET
VANCOUVER, BC

project
VIEW STREET TOWERS
931-941 VIEW STREET
VICTORIA, BC

sheet title
Level 1 Materials Plan

project no.	117.16
scale	1:100 @ 24"x36"
drawn by	TR
checked by	SM/PdG
revision no.	sheet no.
1	L1.01



LEGEND

- Property line
- Rain garden - **TOP OF POOL**
- Rain garden - **BOTTOM OF POOL**
- Proposed Contour Line
1 m interval, typ.
- Existing Contour Line
- 16.9 --- Architectural grade, provided for reference only
- 17.5 --- Proposed Landscape Grade
- 17.7 --- Existing Grade
- TW Top of Wall
- BW Bottom of Wall
- TC Top of Curb
- BC Bottom of Curb
- TP Top of Pool
- BP Bottom of Pool
- TS Top of Stairs
- BS Bottom of Stairs

UNDERGROUND UTILITIES

EXISTING	PROPOSED
--- Storm drain	--- Storm drain
--- Sewer	--- Sewer
--- Water	--- Water
--- Electrical	---
--- Gas	---

LANDSCAPE MATERIALS

- Metal Picket Fence, height varies
- Cast in Place Concrete Wall
height varies, 150 mm width typical
- Hexagon Unit Paving- Precast concrete hexagon paver, finish TBC.
- Seating Wall- CIP concrete wall with integrated wood bench.
- Cast in place concrete paving
- Ornamental Planting Area
- Rain Garden Area

NOT FOR CONSTRUCTION

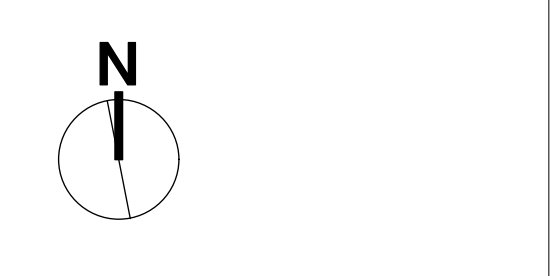
rev no	description	date
1	DP	17.07.07



client
GORDON NELSON INC
1209 JERVIS STREET
VANCOUVER, BC

project
VIEW STREET TOWERS
931-941 VIEW STREET
VICTORIA, BC

sheet title
Level 3 Materials
Plan



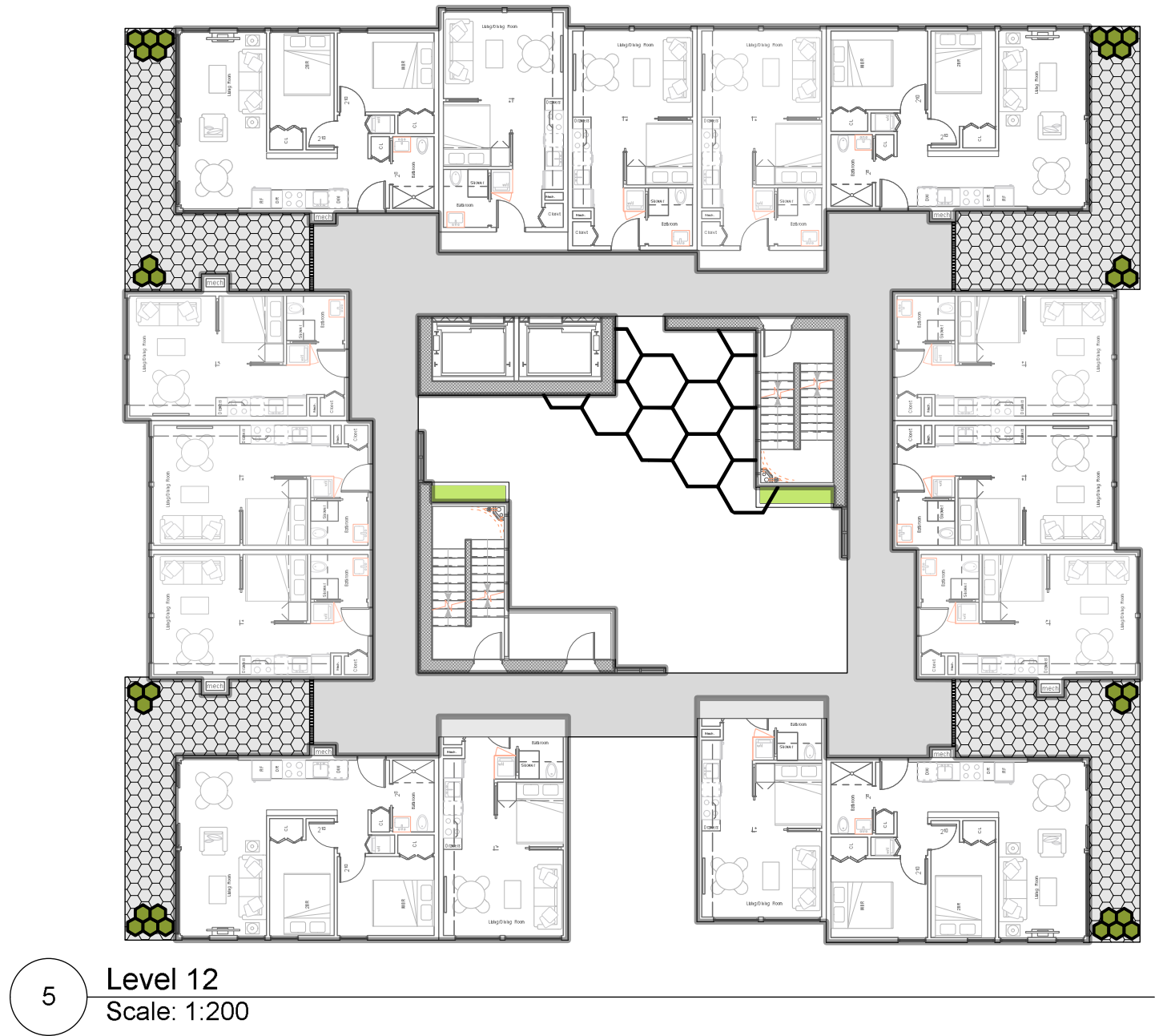
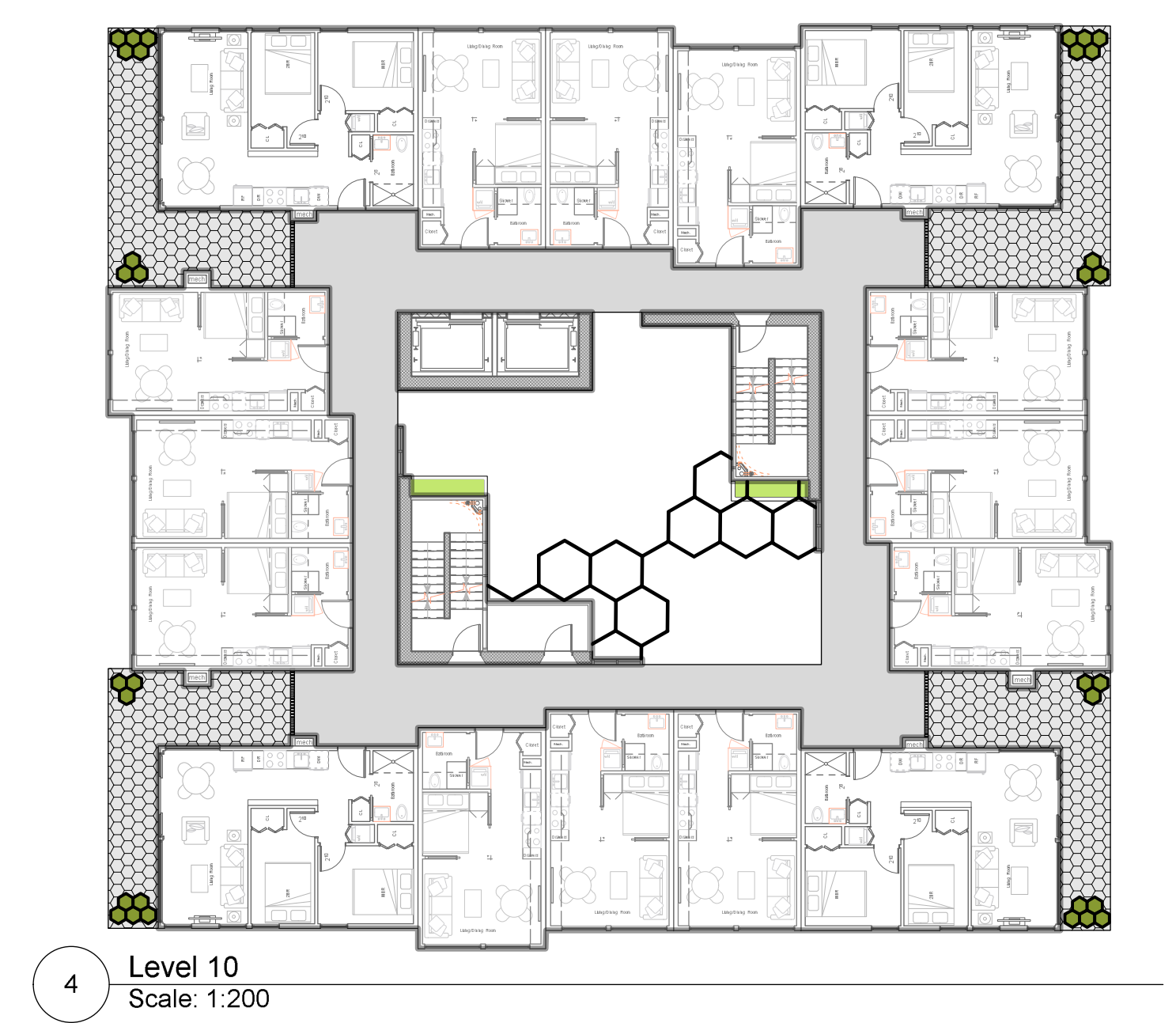
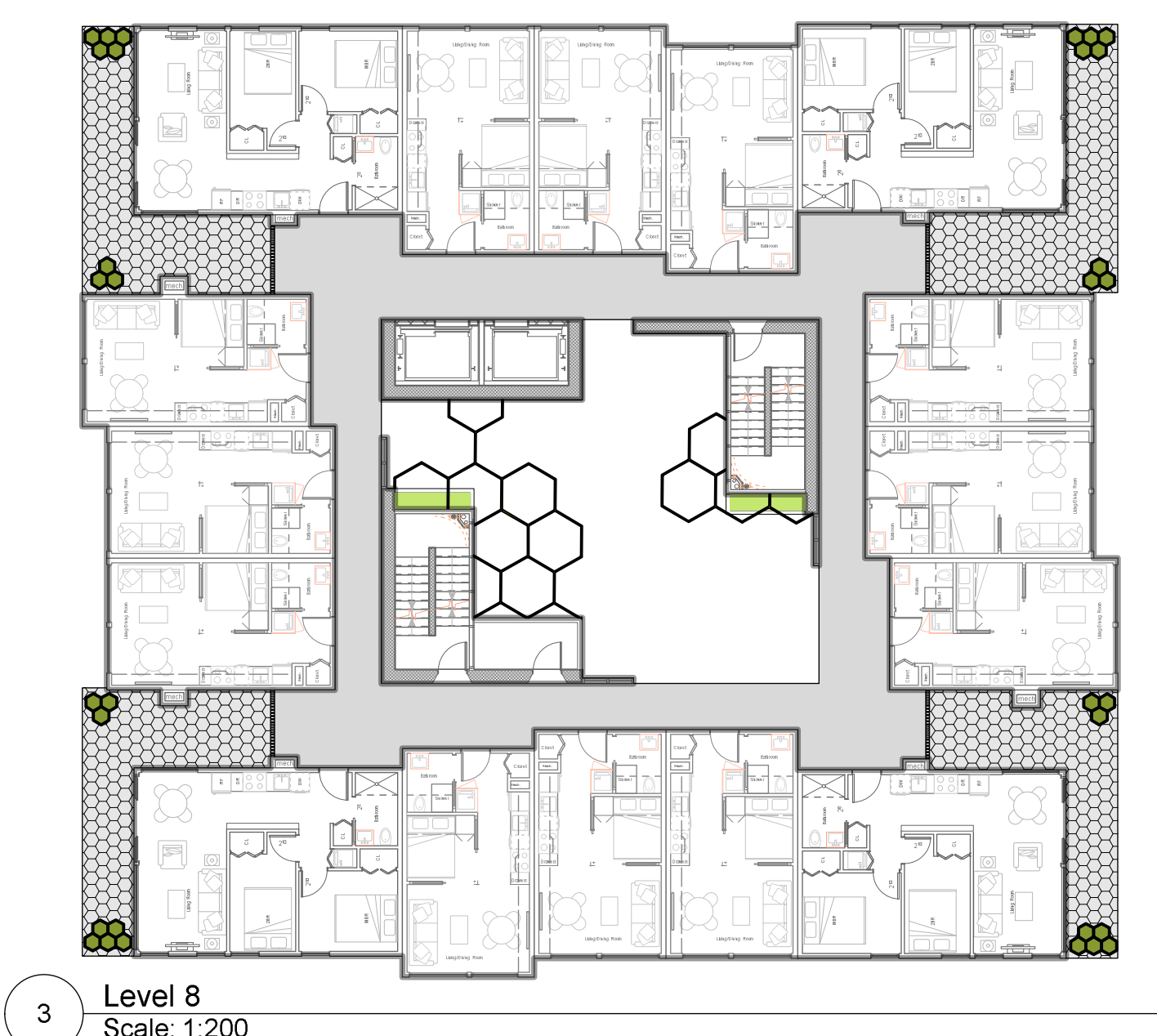
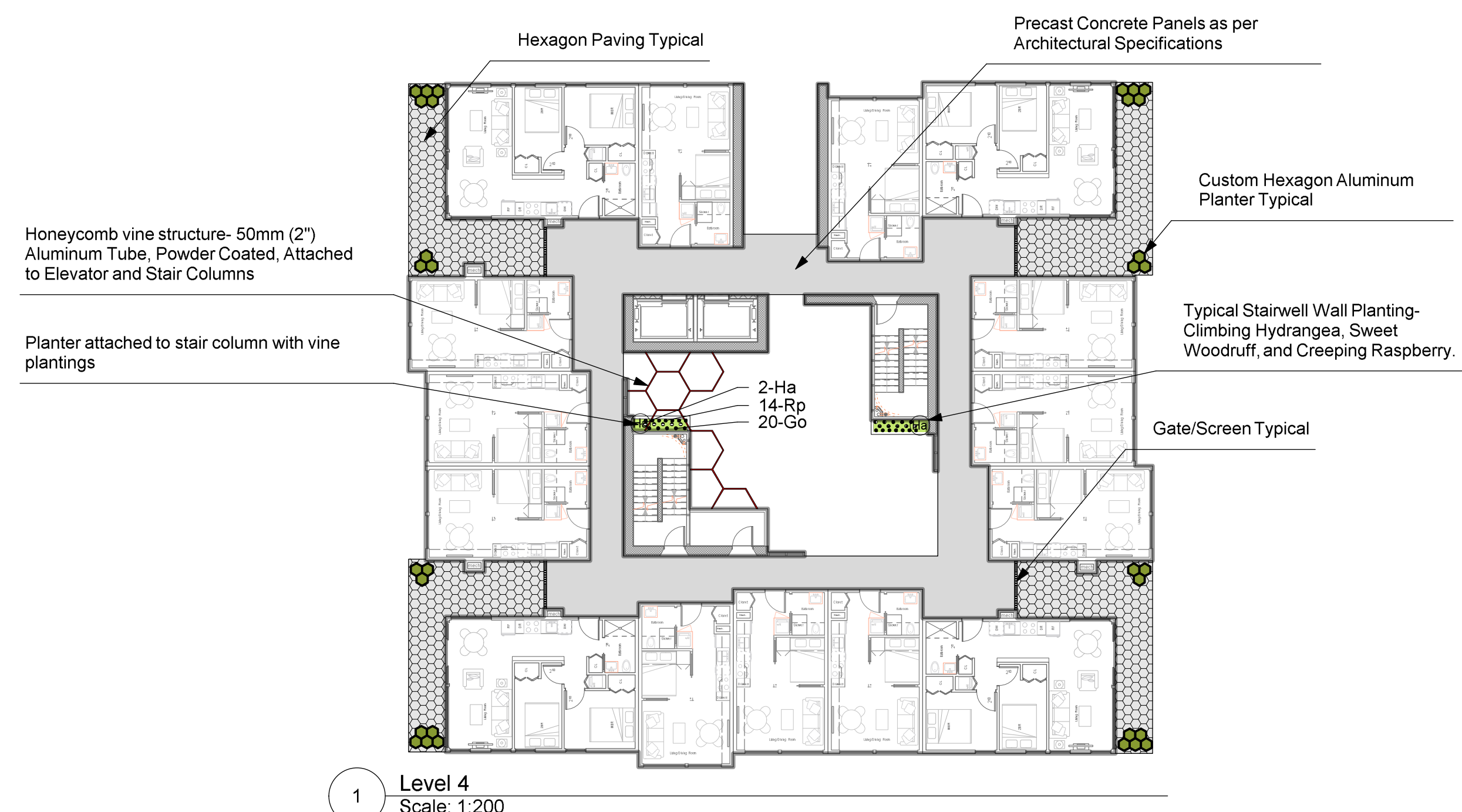
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scale	1:### @ 24"x36"
drawn by	TR
checked by	SM/PdG
revision no.	sheet no.

L1.02

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

- IRRIGATION NOTES**
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IIABC standards.
 - Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
 - Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
 - Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
 - Refer to mechanical drawings for irrigation point of connection.
 - Refer to electrical drawings for electrical service.
 - Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
 - At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
 - Trees within shrub or rain garden areas to be irrigated with spray heads.



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1	DP	17.07.07
rev no	description	date

client
GORDON NELSON INC
1209 JERVIS STREET
VANCOUVER, BC

project
VIEW STREET TOWERS
931-941 VIEW STREET
VICTORIA, BC

sheet title
Level 4-12 Materials
Plan

project no.	117.16
scale	1:### @ 24"x36"
drawn by	TR
checked by	SM/PdG
revision no.	sheet no.

L1.03

LEGEND

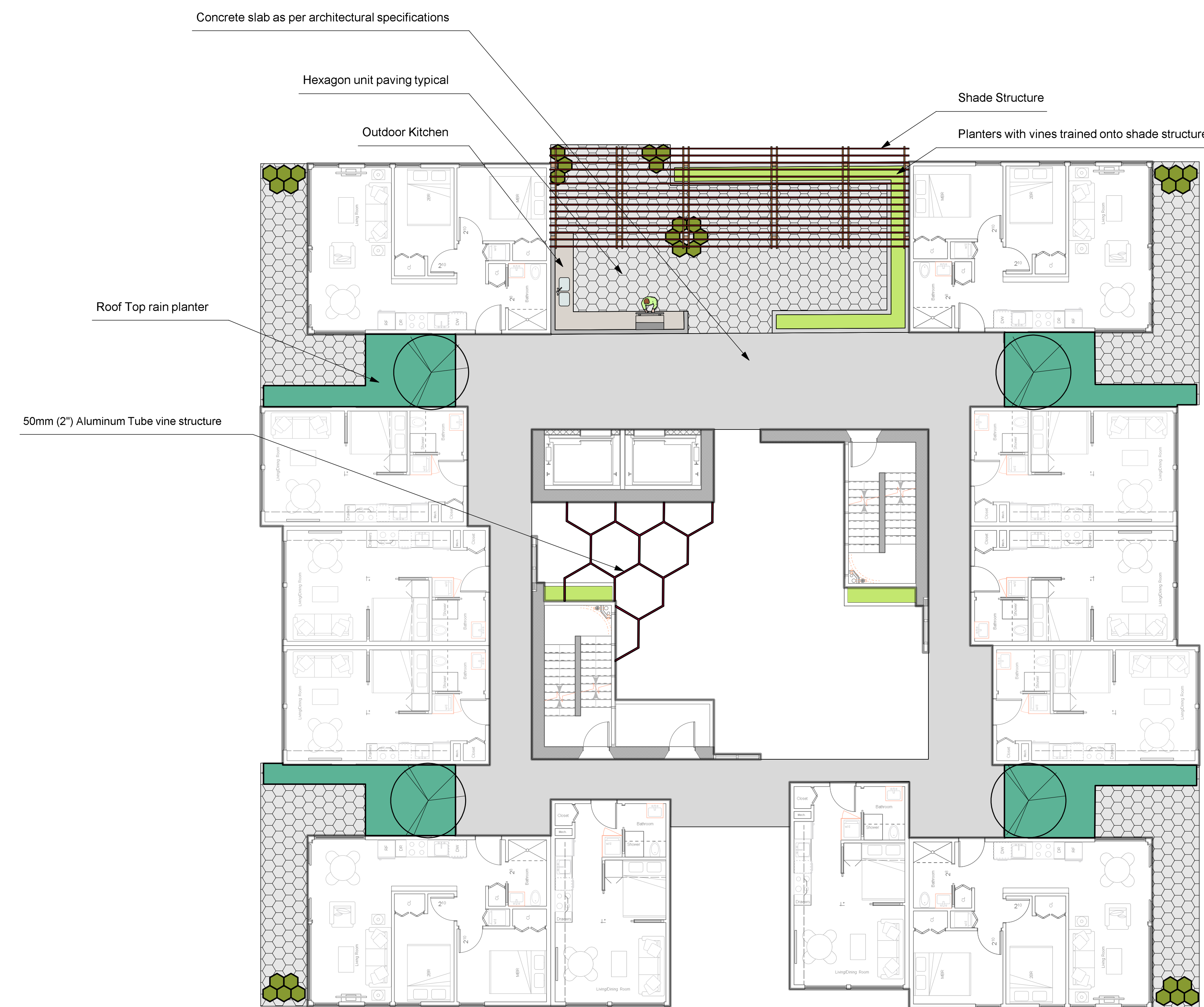
- Property line
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Proposed Contour Line
1 m interval, typ.
- Existing Contour Line
- 16.9 --- Architectural grade, provided for reference only
- 17.5 --- Proposed Landscape Grade
- 17.7 --- Existing Grade
- TW Top of Wall
- BW Bottom of Wall
- TC Top of Curb
- BC Bottom of Curb
- TP Top of Pool
- BP Bottom of Pool
- TS Top of Stairs
- BS Bottom of Stairs

UNDERGROUND UTILITIES

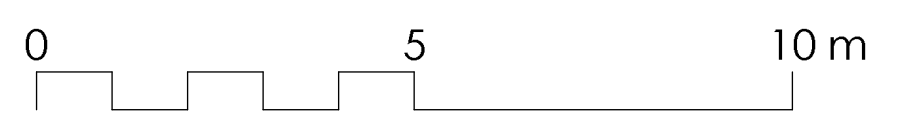
EXISTING	PROPOSED
--- Storm drain	--- Storm drain
--- Sewer	--- Sewer
--- Water	--- Water
--- Electrical	--- Electrical
--- Gas	--- Gas

LANDSCAPE MATERIALS

- Metal Picket Fence, height varies
- Cast in Place Concrete Counter- 650 mm width, 910 mm height typical.
- Hexagon Unit Paving- Precast concrete hexagon paver, finish TBC.
- Custom Aluminum Planters- Hexagon Aluminum Planter, 600 mm height typical.
- Ornamental Planting Area
- Rain Garden Area



5 Level 14
Scale: 1:100



IRRIGATION NOTES

- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IIABC standards.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
- Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to mechanical drawings for irrigation point of connection.
- Refer to electrical drawings for electrical service.
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
- At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Trees within shrub or rain garden areas to be irrigated with spray heads.

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
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- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

rev no	description	date
1	DP	17.07.07

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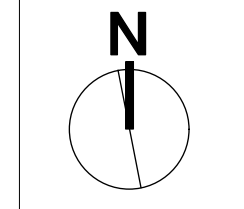
200 - 524 Cuddehele Road
Victoria, BC V8L 1G1

Phone: 250.412.2891
Fax: 250.412.2892

client
GORDON NELSON INC
1209 JERVIS STREET
VANCOUVER, BC

project
VIEW STREET TOWERS
931-941 VIEW STREET
VICTORIA, BC

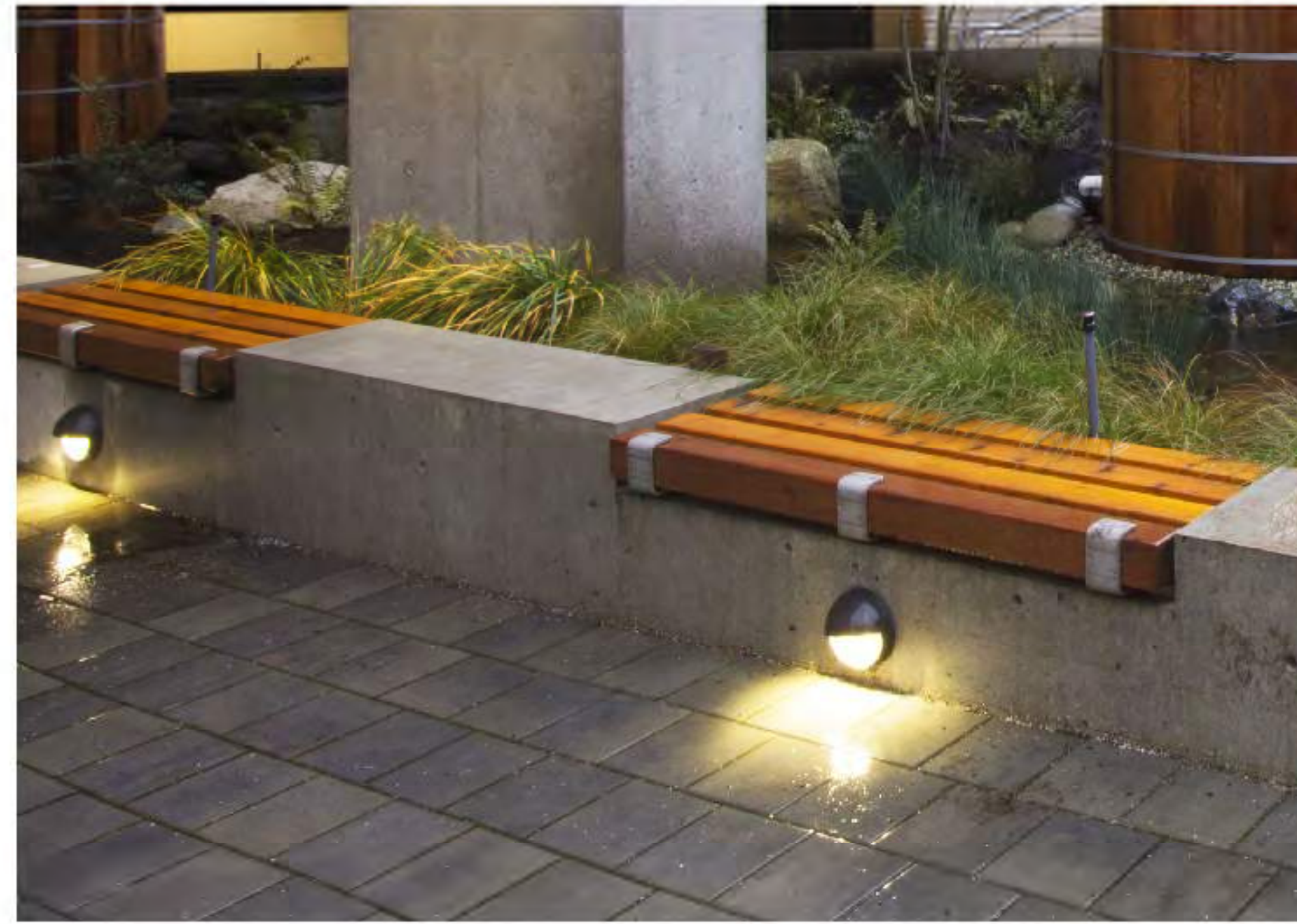
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Level 14 Materials
Plan



project no.	117.16
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checked by	SM/PdG
revision no.	sheet no.
	L1.03



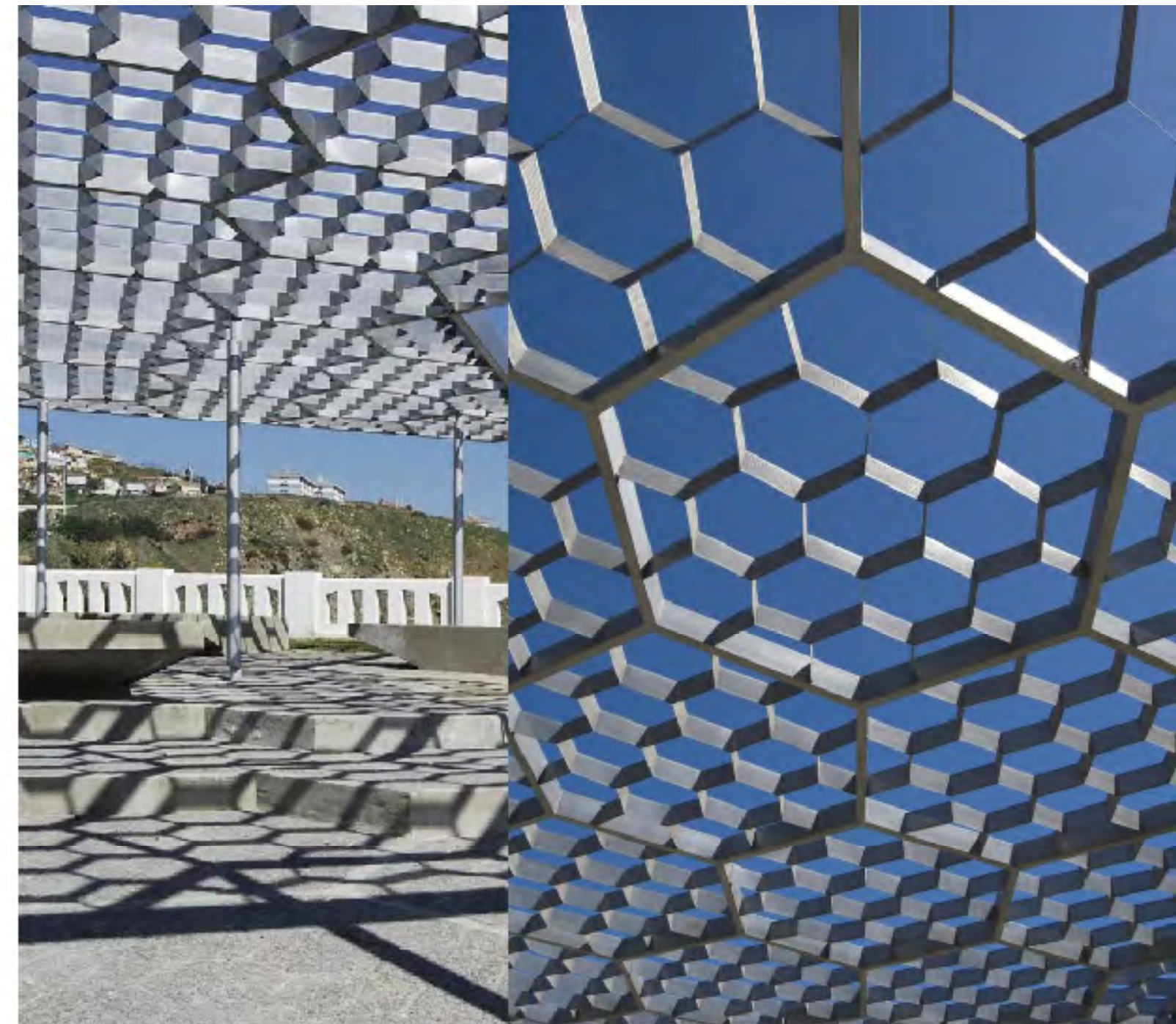
Hexagon Unit Paving Example



Seating Wall with integrated wood bench. Selkirk, Victoria BC



Screen/Shade Structure Precedent, Livet, Victoria BC



Hexagon Steel Shade. Altamirano Public Walk, Chile



Large Format Plank Paving. Victoria Courthouse, Victoria, BC

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rev no	description	date
2	DP	17.07.28
1	Client Review	17.07.07



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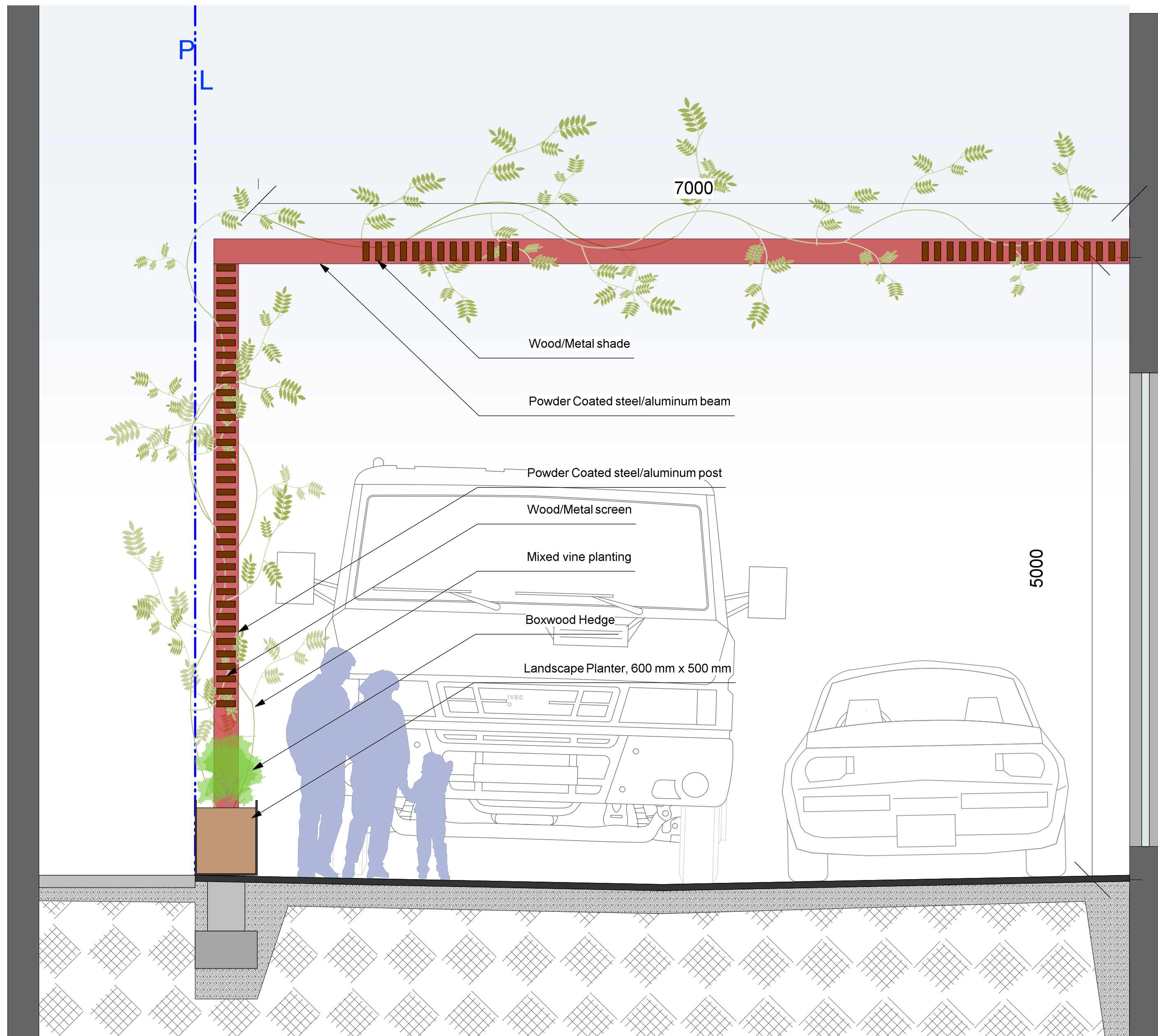
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Precedent Images

project no. 117.16
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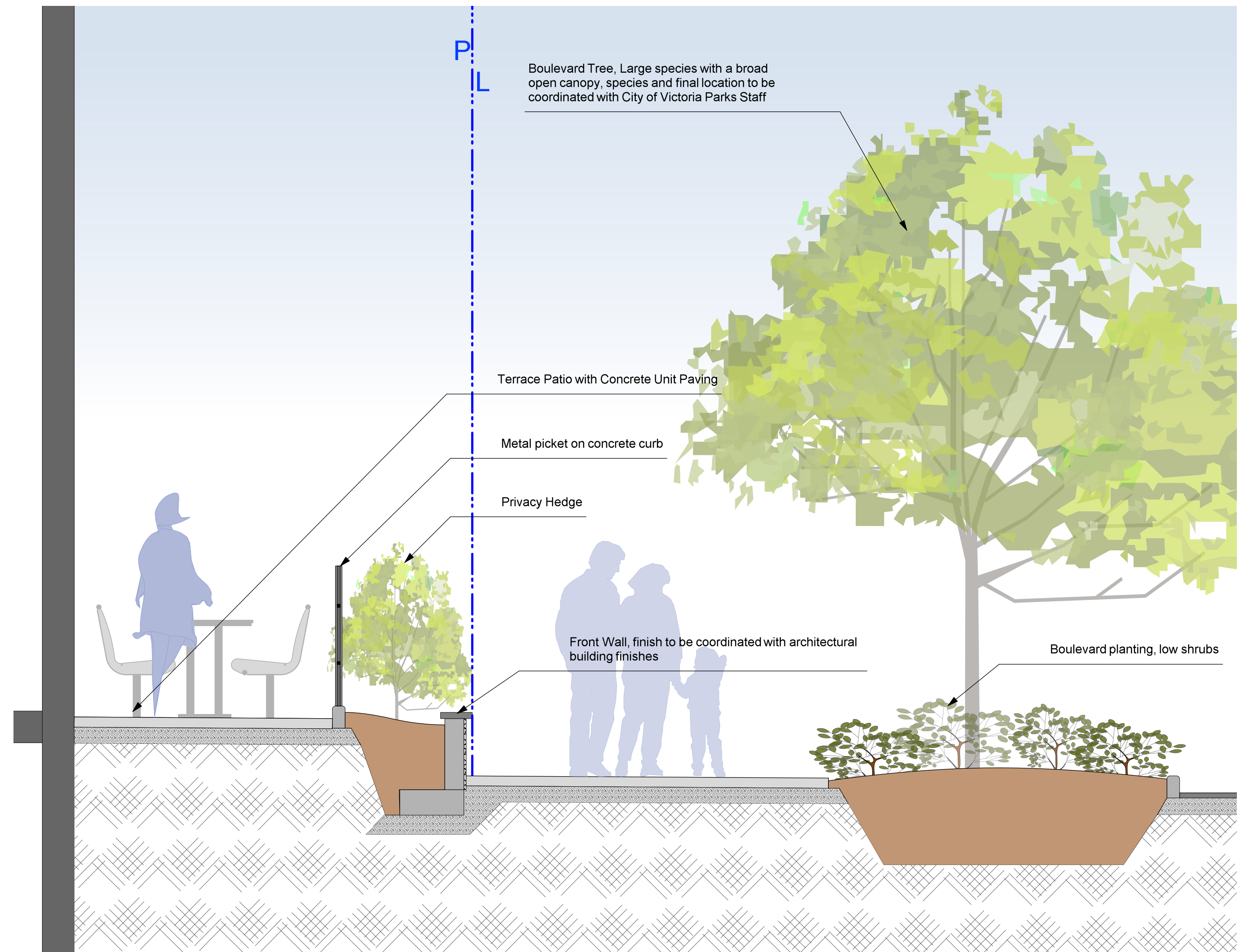
revision no. sheet no.
L5.01



1 Courtyard Elevation- AA'
Scale: 1:25



2 Easement Section- BB'
Scale: 1:25



3 Patio Terrace Section- CC'
Scale: 1:25

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rev no	description	date
1	DP	17.07.07



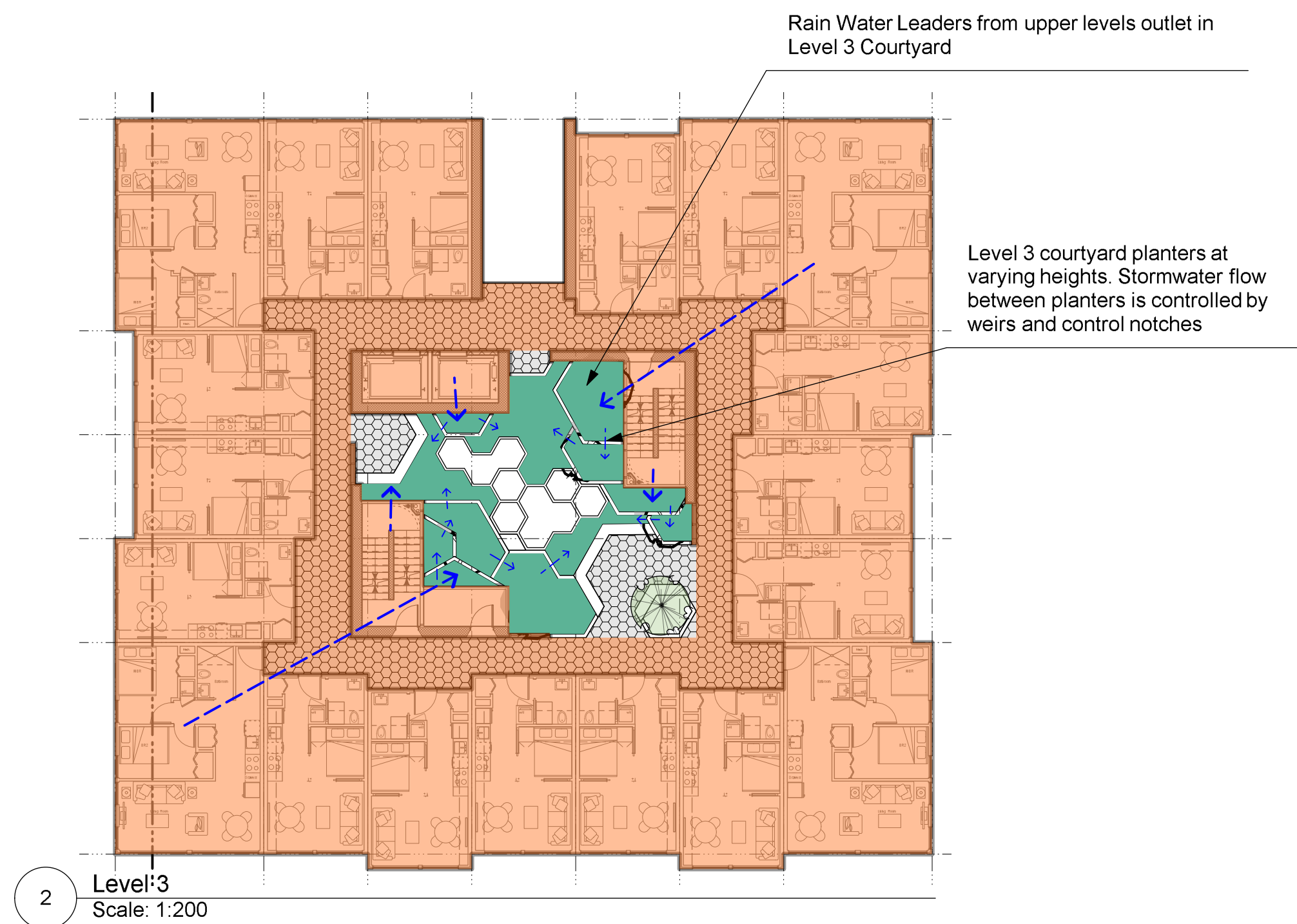
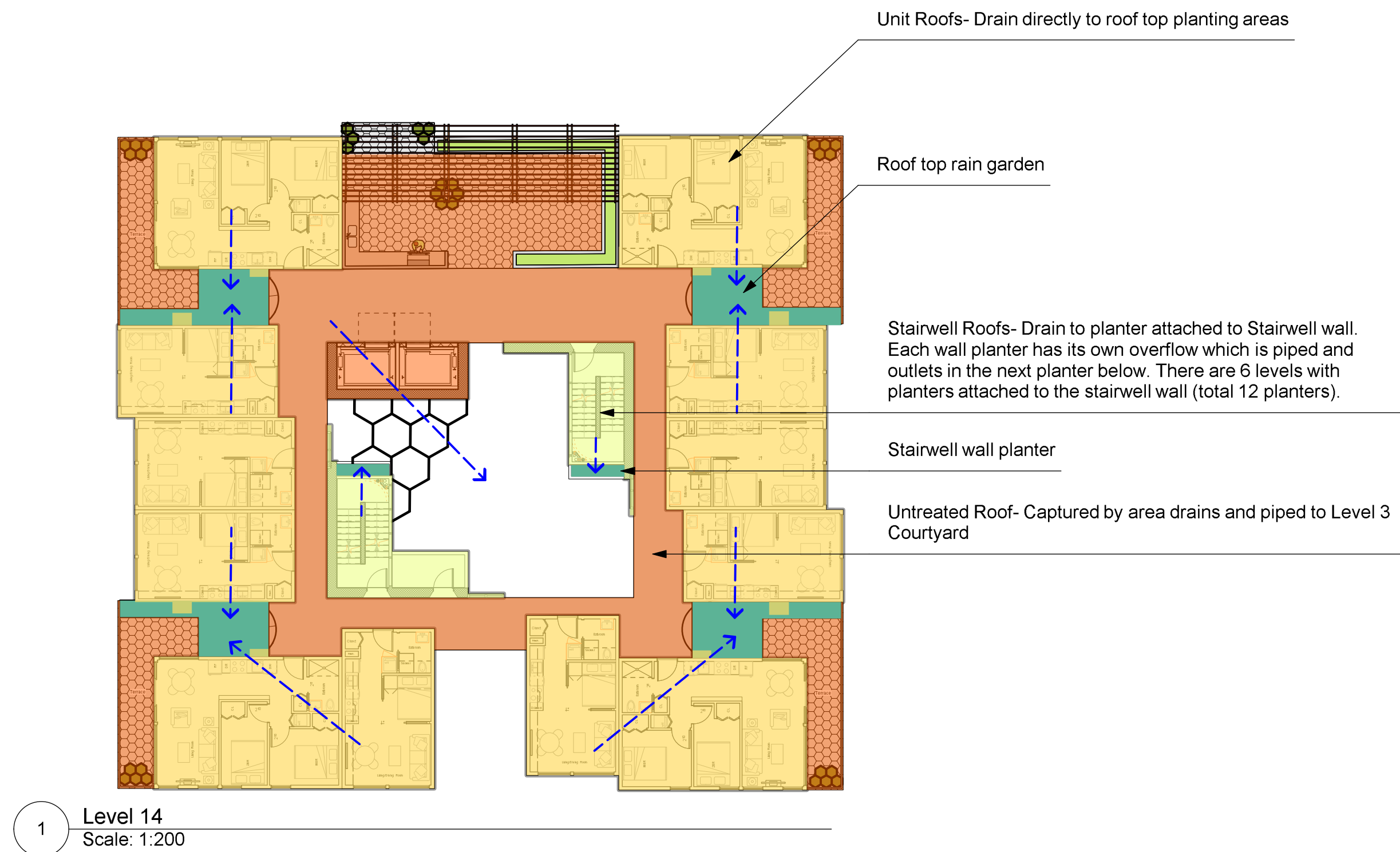
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sheet title
Landscape Sections

project no.	117.16
scale	1:## @ 24"x36"
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L2.01



LEGEND

- PROPERTY LINE
- - - - - EXTENT OF UNDERGROUND PARKING (INDICATIVE)
- EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
- RAIN GARDEN - TOP OF POOL
- RAIN GARDEN - BOTTOM OF POOL
- 16.50 EXISTING GRADE (APPROXIMATE)
- 16.35 PROPOSED LANDSCAPE GRADE
- TP TOP OF POOL
- BP BOTTOM OF POOL
- > DIRECTION OF FLOW
- RAIN GARDEN ON GRADE

IMPERVIOUS AREAS

- ROOF DRAINS TO ROOF LEVEL RAIN PLANTERS
- HARDSCAPE/ROOF DRAINS TO LEVEL 3 COURTYARD

RAIN WATER MANAGEMENT NOTES

Water collected from building roofs, flow to the nearest rain garden/planter.

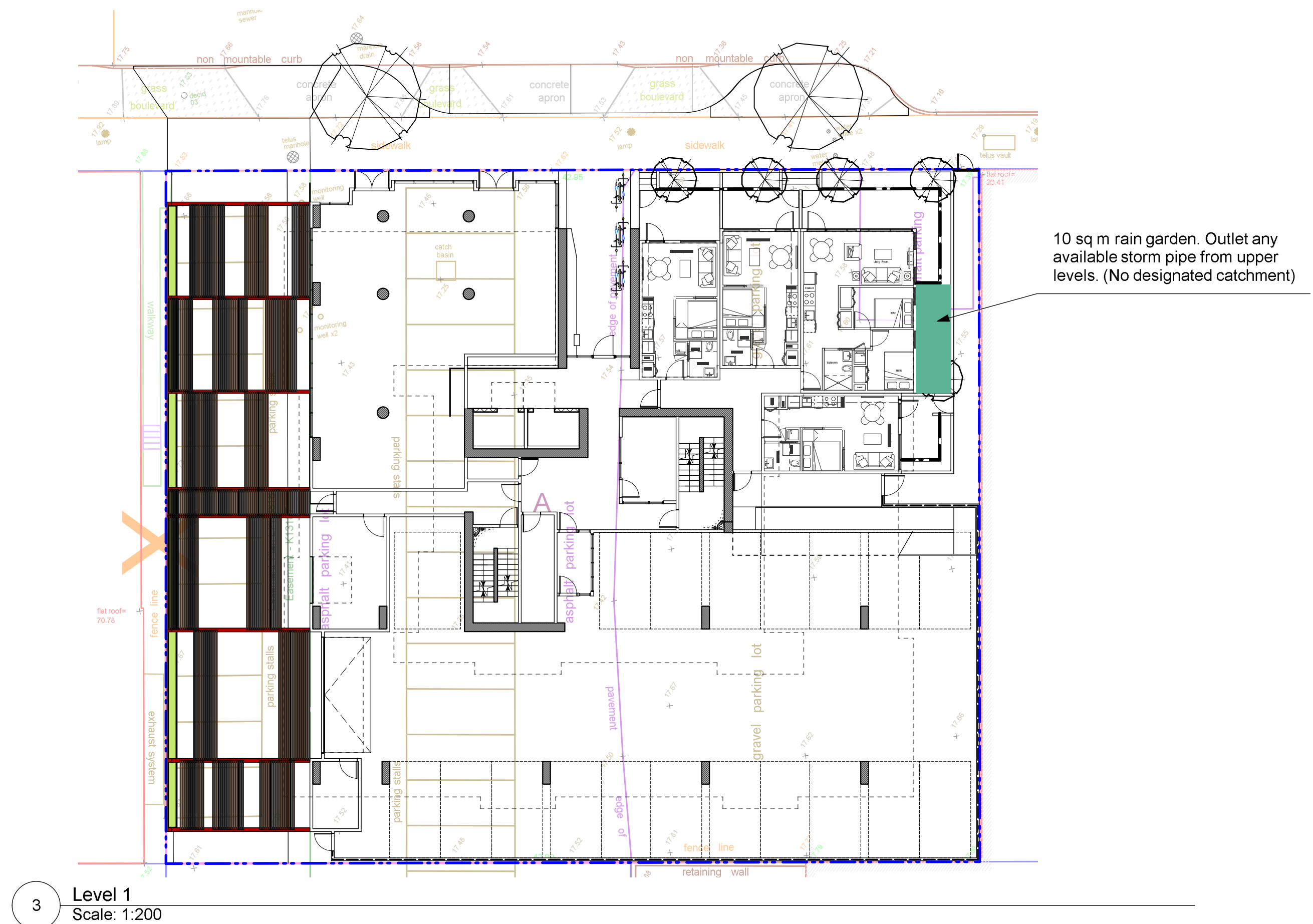
Roof water that cannot be managed on the roof or intermediate level planters will be directed to the level 3 courtyard.

Rain gardens/planters are integrated building landscapes designed to capture, slow flows, and treat runoff from roof areas.

Rain gardens will be designed with underdrains and overflow drains that will be connected to the onsite piped drainage system.

The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area.

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



Courtyard Rain Planter Diagram, Reliable Controls, Victoria BC

Rain Garden Capacity Calculations

Catchment Area	Contributing Impervious Area	Design Storm Runoff Volume Contributing to Rain Garden	Planter Growing Medium Depth	Stormwater Treatment Capacity per sq. m. of Rain Garden	Rain Garden Area (sq. m.)	Rain Garden Capacity (cu. m./day)	Excess (+) or Deficient (-) Capacity (cu.m./day)
	(sq. m.)	(cu. m./day)	(m.)	(cu. m./day)			
Unit Roofs	470.0	23.5	0.45	0.7	45.0	32.4	8.9
Stairwell Roof	44.0	2.2	0.45	0.7	15.0	10.8	8.6
Remaining Roof	300.0	15.0	0.45	0.7	55.0	39.6	24.6
Other	N/A	0.0	0.45	0.7	10.0	7.2	7.2
total	514.0	25.7			60.0	43.2	17.5

- Assumptions**
- Design storm is a 2 year storm event which equals 5 cm of water, in a 24 hr period.
 - Rain Garden design based on 150 mm live ponding plus 20% of the sand/ compost growing medium volume (assuming growing medium has 20% void space) with a minimum infiltration rate of 2 cm/hour (or 48 cm per day), via perforated underdrain.

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

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1	DP	17.07.07
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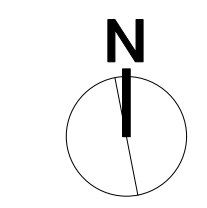
200 - 524 Cuddehe Road
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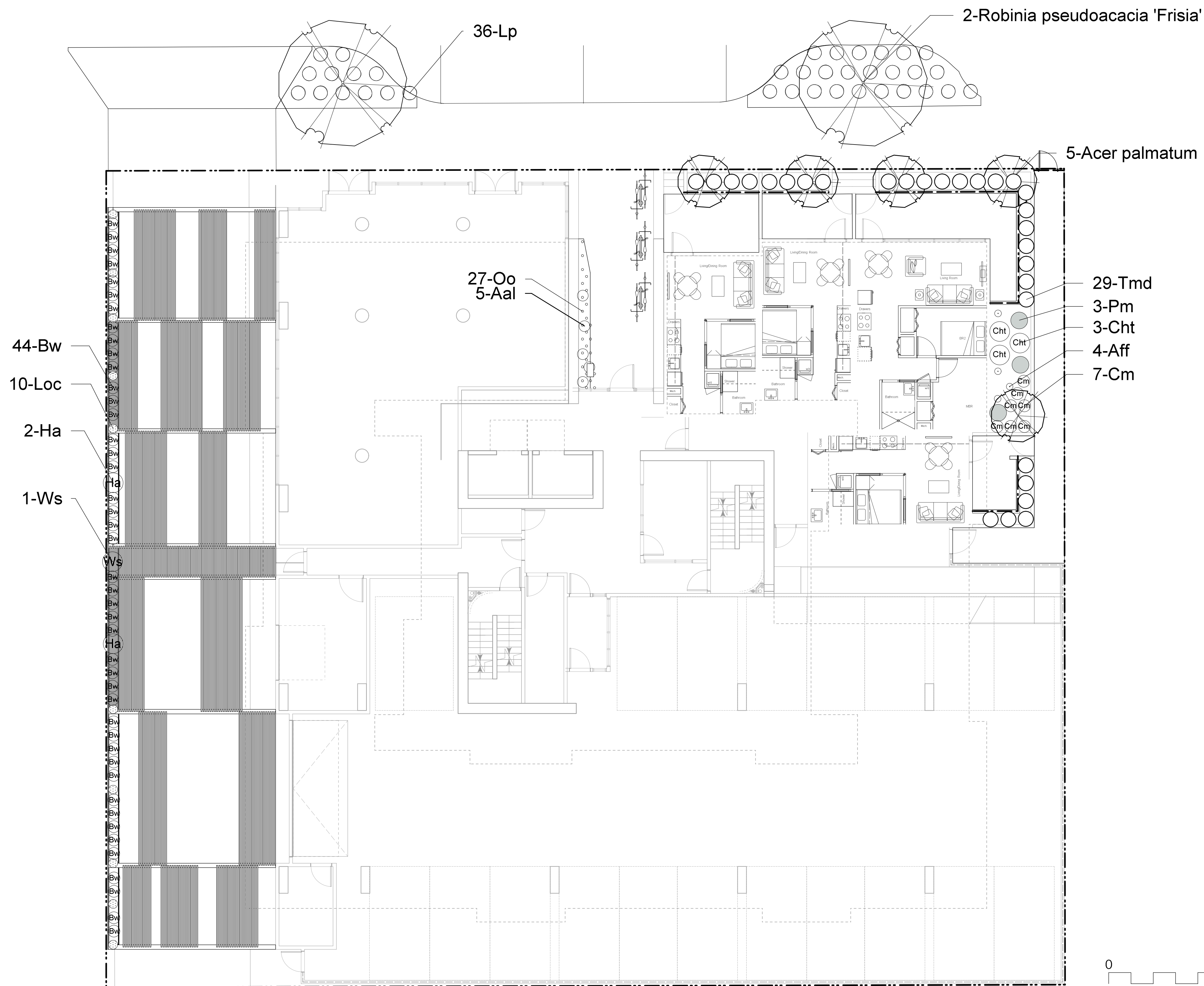
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sheet title
Stormwater Management Plan



project no.	117.16
scale	1:### @ 24"x36"
drawn by	TR
checked by	SM/PdG
revision no.	sheet no.

L3.02



Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
13	4		4	4
5		Acer circinatum	Vine Maple	2,4 m ht, multi-stem (3 trunk)
5		Acer palmatum	Japanese Maple	8 m height, specimen quality
1		Pinus thunbergii	Japanese Black Pine	1 m ht, wb (Specimen Quality)
2		Robinia pseudoacacia 'Frisia'	Golden Locust	6,0 cm cal. b+b
SHRUBS:				
22	490	22	22	22
Aal	5	Adiantum aleuticum	Western Maidenhair Fern	#1 pot
Aff	29	Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern	#1 pot
Bw	44	Buxus microphylla 'Winter Gem'	Littleleaf Boxwood	#1 pot
Cm	36	Carex morrowii 'Ice Dance'	Japanese Sedge Grass	#1 pot
Cht	9	Chalysia ternata	Mexican Orange	#5 pot
Go	40	Gallium odoratum	Sweet Woodruff	#1 pot
Ha	6	Hydrangea anomala subsp. petiolaris	Climbing Hydrangea	#2 pot
Lil	43	Lilippe muscari	Lily turf	#1 pot
Loc	10	Lonicera ciliosa	Western Trumpet Honeysuckle	#1 pot
Lp	36	Lonicera pileata	Privet Honeysuckle	#2 pot
Ov	7	Origanum vulgare	Pot Marjoram, oregano	#1 pot
Oo	86	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
Pm	17	Polystichum munitum	Sword Fern	#1 pot
Rhc	3	Rhododendron spp.	Large Pink Rhododendron	Min 8' ht, b+b
Rof	7	Rosmarinus officinalis	Rosemary	#2 pot
Rp	28	Rubus pentalobus	Taiwan Creeping Rubus	Sp3 30cm o.c.
So	7	Salvia officinalis	Sage	#1 pot
Sh	21	Sarcococca hookeriana var. humilis	Himalayan Sweet Box	#2 pot
Tmd	29	Taxus x media 'Densiflora'	Dense Yew - male only	#3 pot, 2' max ht, male only
Thv	10	Thymus vulgaris	Common Thyme	Sp3, 30cm o.c.
Vo	12	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
Ws	5	Wisteria sinensis	Wisteria Vine	#2 pot

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- PLANTING NOTES**
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
 - Boulevard/Street Tree locations and species to be coordinated with City of Victoria Parks Staff

- DRAWING NOTES**
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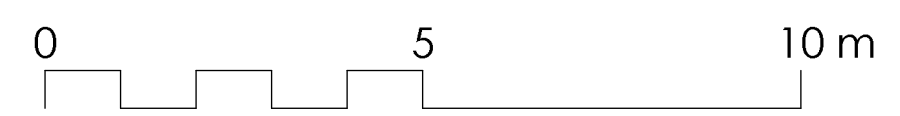
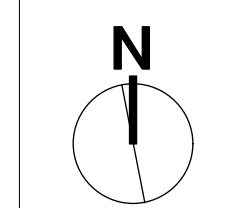
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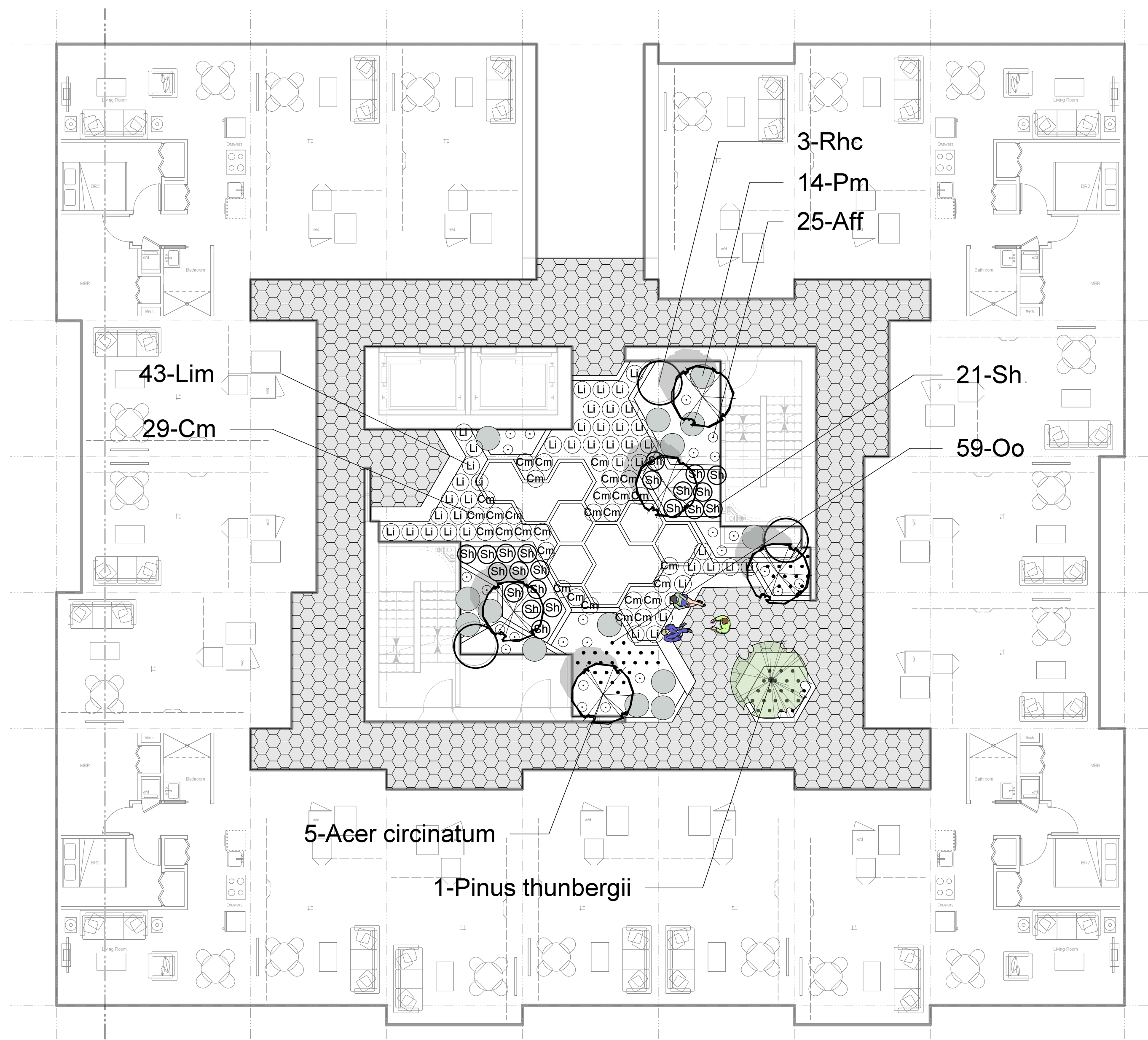
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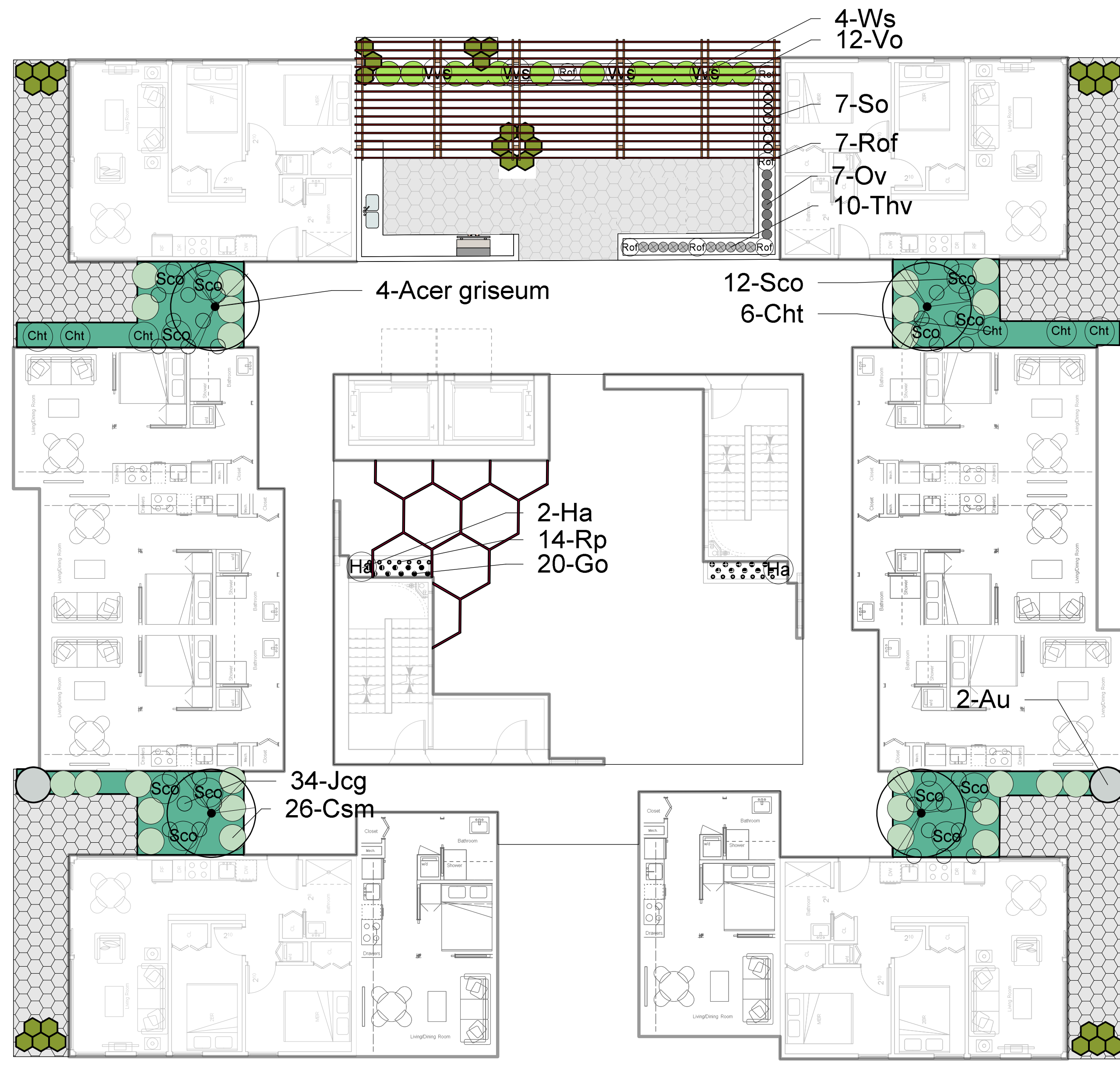
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project no.	117.16
scale	1:### @ 24"x36"
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revision no.	sheet no.

L4.01



1 Level 3
Scale: 1:100



2 Level 14
Scale: 1:100

PLANTING NOTES

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Murdoch de Greeff INC
Landscape Planning & Design
200 - 524 Cuduhel Road
Victoria, BC V8L 1G1
Phone: 250.412.2891
Fax: 250.412.2892

client
GORDON NELSON INC
1209 JERVIS STREET
VANCOUVER, BC

project
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sheet title
Planting Level 3 & 14

project no.	117.16
scale	1:### @ 24"x36"
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revision no.	sheet no.

L4.02