THE DESIGNER DOES NOT ACCEPT RESPONSIBILITY FOR THE FOLLOWING ITEMS:
- ANY DWELLING BUILT FROM THIS DRAWING PACKAGE.
- ANY ERRORS AND OMMISSIONS.
- ANY INFORMATION PROVIDED ON SITE.
- ANY INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.
- CONFORMITY OF PLANS TO SITE.

GENERAL NOTES:
- THIS DRAWING PACKAGE CONFORMS TO THE BRITISH COLUMBIA BUILDING CODE AT THE TIME OF THEIR PREPARATION.

- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.

- ROOM SIZES INDICATED WITHIN THIS DRAWING PACKAGE ARE APPROXIMATE ONLY.

- MILLWORK SHOWN ON DRAWINGS IS DIAGRAMMATIC ONLY. MILLWORK SPECIFICATIONS SHALL BE PROVIDED BY OTHERS.

- SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY FLOOR AND AS PER THE CURRENT BRITISH COLUMBIA BUILDING CODE.

ENGINEERING
- IN INSTANCES WHERE THESE NOTES CONFLICT WITH ENGINEERING DRAWINGS AND SPECIFICATIONS THE ENGINEERING INFORMATION SHALL TAKE PRECEDENCE.

- TRUSSES, MANUFACTURED BEAMS, MANUFACTURED JOISTS, AND STRUCTURAL MEMBERS EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

-ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.

-ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER

- MASONRY AND CONCRETE WALLS AND STRUCTURES EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

- UNSUPPORTED LATERAL FOUNDATION WALLS EXCEEDING THE LIMITS STATED IN THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

THE BUILDER SHALL BE RESPONSIBLE FOR VERIFYING:
- ENSURING THAT THE BUILDING CONSTRUCTED FROM THIS DRAWING PACKAGE COMPLIES WITH THE LOCAL BY-LAWS AND REGULATIONS AND REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE AT THE TIME OF ITS CONSTRUCTION.

- TAKE CARE TO PROTECT PUBLIC SAFETY DURING CONSTRUCTION AS OUTLINED IN THE CURRENT BRITISH COLUMBIA BUILDING CODE AND BY ANY OTHER REGULATORY BODY HAVING JURISDICTION.

- PROVIDE ADEQUATE TEMPORARY SUPPORT OF ALL BUILDING COMPONENTS DURING CONSTRUCTION AND SHALL NOT ALLOW MATERIAL STORAGE OR CONSTRUCTION PROCEDURES TO EXCEED THE DESIGN LOADS OF THE COMPONENTS SUPPORTING THEM.

- ALL MEASUREMENTS, INFORMATION, AND SPECIFICATIONS SHOWN IN THIS DRAWING PACKAGE BEFORE CONSTRUCTION BEGINS.

- THE REQUIREMENTS OF THE "HOMEOWNER PROTECTION ACT" REGULATIONS.

- ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS; AND THAT ALL INSTALLATIONS ARE IN PROPER WORKING ORDER.

- ALL STRUCTURAL MEMBERS AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS. STRUCTURAL SPECIFICATIONS PROVIDED BY A BC REGISTERED PROFESSIONAL STRUCTURAL ENGINEER SHALL TAKE PRECEDENCE OVER STRUCTURAL INFORMATION PROVIDED ON THESE DRAWINGS.

- CORRECT SITING OF THE BUILDING AS INDICATED ON THE DRAWINGS AS WELL AS ENSURING COMPLIANCE WITH ALL REGULATIONS GOVERNING IT. REGULATORY BY-LAWS SHALL TAKE PRECEDENCE.

- MEASURE TO INDICATE AND PROTECT ANY EXISTING NATURAL OR MAN-MADE FEATURES AND VEGETATION THAT ARE NOT TO BE DISTURBED.

ROOF & FLASHING
- ROOFING MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ACCORDING TO THE STANDARDS ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

- PARAPET FLASHING AND ROOF PENETRATIONS SHALL BE CONSTRUCTED ACCORDING TO THE GUIDELINES ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

- FLAT ROOFS AND ROOF DECKS TO HAVE A MINIMUM 1/4" IN 12" SLOPE DOWN TOWARD ROOF DRAIN.

- ROOF DRAINS TO EMPTY INTO SEPARATE PERIMETER DRAINAGE SYSTEM. PERIMETER DRAINAGE SYSTEM TO BE LOCATED BELOW FROST PENETRATION.

- FLASHING SHALL BE PRE-FINISHED AND OF A MATERIAL SUITABLE FOR ITS INTENDED USE IN ACCORDANCE WITH PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.

- MATERIAL OF FLASHING TO BE COMPATIBLE WITH ADJACENT MATERIALS OR TO BE TREATED SO AS TO PREVENT ADVERSE REACTIONS WITH ADJACENT MATERIALS.

- SHEET METAL FLASHING TO BE INSTALLED TO PROTECT FROM MOISTURE PENETRATION ALL EXTERIOR HORIZONTAL OR OBLIQUE CHANGES OF PLANE OR MATERIAL.

- OPENINGS TO THE EXTERIOR TO BE SEALED OVER AND AROUND OPENINGS WITH A NON-HARDENING CAULKING MATERIAL.

- CAULKING TO BE A THERMO-PLASTIC TYPE SUCH AS "TREMCO DYMONIC" OR "SONNOBORN NPI."

- FLASHINGS TO HAVE A MINIMUM 20% SLOPE AWAY FROM THE BUILDING. IF APPLICABLE WHERE FLASHING TERMINATES ONTO A SLOPED ROOF, TO MATCH SLOPE.

- FLASHING TO HAVE A FORMED DRIP EDGE. FORMED DRIP EDGE NOT REQUIRED WHERE FLASHING TERMINATES ON A SLOPED ROOF.

- FLASHING COVERING SELF-ADHERING MEMBRANES ARE TO BE DARK COLOURED. A HIGH TEMPERATURE RESISTANT TYPE OF SELF-ADHERING MEMBRANE TO BE APPLIED.

EXCAVATION & GRADING:
- ALL ORGANIC MATTER SHALL BE STRIPPED FROM THE LOCATION OF THE PROPOSED STRUCTURE, INCLUDING BENEATH ITS DECKS, PATIOS, WALKWAYS, ETC. FILL AREAS SERVING AS BASES FOR CONCRETE SLABS OR MASONRY PAVERS WITH CLEAN GRANULAR MATERIAL FREE OF ORGANIC MATTER IN MAXIMUM 6" LIFTS COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTER DENSITY.

- SLOPE FINISHED GRADES DOWN AWAY FROM THE BUILDINGS AT A MINIMUM OF 1% TO FACILITATE RUN OFF OF SURFACE WATER. DIRECT AND DRAIN RUN-OFF WATER IN A MANNER SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION.

CONCRETE:
- FOUNDATION WALLS ARE DRAWN AT 8" UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS

- GARAGE/CARPORT CONCRETE SLABS AND EXTERIOR CONCRETE STAIRS SHALL BE CONSTRUCTED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 32 Mpa AT 28 DAYS.

- FOUNDATION CONCRETE SHALL BE CONSTRUCTED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 20 Mpa AT 28 DAYS.

- FOOTINGS SHALL EXTEND TO SUITABLE UNDISTURBED OR ADEQUATELY COMPACTED SOIL BELOW THE FROST PENETRATION DEPTH (EXCEPT IN THE CASE OF SOLID ROCK.)

- THE FOOTINGS (IF) INDICATED ON THESE DRAWINGS ASSUME A 100 Kpa SOIL BEARING CAPACITY. IF LESSER BEARING CAPACITY IS ENCOUNTERED, THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR ENGAGING QUALIFIED PROFESSIONAL ENGINEERING PERSONNEL TO ANALYZE EXISTING CONDITIONS AND TO RE-DESIGN AND CERTIFY THE FOOTINGS AS NECESSARY TO SUIT.

- OPENINGS AS REQUIRED FOR SERVICING IN FOUNDATION. BUILDER TO DETERMINE REQUIREMENTS PRIOR TO POURING CONCRETE.

- IRREGULARITIES IN/ON ALL FOUNDATION WALL SURFACES TO BE FILLED WITH GROUT OR OTHER SUITABLE MATERIAL TO ALLOW FOR A SMOOTH FINISH.

- CONCRETE SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CLEAN GRANULAR FILL FREE OF ORGANIC MATTER AND COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTOR DENSITY.

- DAMP PROOF FOUNDATION WALLS WITH TWO COATINGS OF ASPHALT EMULSION OR EQUIVALENT MATERIAL BELOW FINISHED GRADE.

CARPENTRY
- WOOD EXPOSED TO THE ENVIRONMENT TO BE PRESSURE TREATED USING ACQ PRESSURE TREATING. METAL FASTENERS TO BE STAINLESS STEEL.

- FRAMING LUMBER SHALL BE No. 1 & 2 SPF UNLESS INDICATED OTHERWISE.

- PROTECT ALL LUMBER IN CONTACT WITH CONCRETE BY INSTALLING A 45LB. FELT OR 6 MIL. POLYETHYLENE DAMP PROOFING LAYER OR OTHER APPROVED METHOD.

- SILL PLATES TO BE ANCHORED TO FOUNDATION WITH 5/8" DIAMETER x 8" LONG GALVANIZED STEEL ANCHOR BOLTS AT A MAXIMUM SPACING OF 6'-0"

- BACKING AND BLOCKING TO BE INSTALLED FOR DRYWALL AS REQUIRED. ELECTRIC AND PLUMBING FIXTURES, HANDRAILS, ETC. BACKING AND BLOCKING LOCATIONS AND SIZES NOT NECESSARILY NOTED ON DRAWINGS. REVIEW MANUFACTURER OR SUPPLIERS OF MATERIALS AND EQUIPMENT REQUIREMENTS..

- DOUBLE UP FLOOR JOISTS UNDER PARTITIONS PARALLEL TO THE JOIST SPAN DIRECTION OR INSTALL BLOCKING THE SAME DEPTH AS THE JOISTS @ 32"oc BETWEEN THE JOISTS FLANKING BOTH SIDES OF THE PARTITION.

- JOIST SPANS THAT EXCEED 7'-0" TO HAVE FULL DEPTH SOLID BLOCKING BETWEEN THE JOISTS IN ROWS OR 2x2 CROSS BRIDGING INSTALLED. HAVING A MAXIMUM SPACING OF 7'-0" UNLESS DIRECTED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

- FLUSH FRAMED WOOD MEMBERS TO BE SECURED IN 2,000 LB. GALVANIZED STEEL FRAMING ANCHORS UNLESS INDICATED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

- LINTELS SHALL BE 2-2x10 UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

INTERIOR WALLS
- INTERIOR WALLS ARE DRAWN AT 3 1/2" UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS

- INTERIOR WALL FRAMING SHALL BE 2x4 STUDS @ 16"oc. UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS.

EXTERIOR WALLS:
- EXTERIOR WALLS ARE DRAWN AT 5 1/2" UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS

- EXTERIOR WALL FRAMING SHALL BE 2x6 STUDS @ 16"oc UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS.

DOORS
BUILDER TO CONFIRM ALL DOOR SIZES

INTERIOR DOORS:
- FRAME OPENING 2" WIDER THAN DOOR.
- FRAME HEIGHT 2 1\2" HIGHER
- UNDERCUT 1/2" TO AID VENTILATION.

EXTERIOR DOORS:
- FRAME OPENING 2" WIDER THAN DOOR.
- FRAME HEIGHT 3" HIGHER
- FITTED WITH DEADBOLT LOCKS HAVING A MINIMUM THROW OF 25 MM.
-DOORS ACCESSING INTERIOR, HEATED SPACE SHALL BE SUITABLY WEATHERSTRIPPED.
- ACCESS DOORS FROM THE EXTERIOR TO INTERIOR SPACES AND THEIR ASSOCIATED FRAMING SHALL CONFORM TO THE REQUIREMENTS TO RESIST FORCIBLE ENTRY AS OUT-LINED IN PART 9 OF THE BRITISH COLUMBIA BUILDING CODE.

GLAZING:
- BEDROOMS SHALL HAVE AT LEAST ONE WINDOW WITH AN OPENING SIZE SUITABLE FOR EMERGENCY EGRESS AS PER BRITISH COLUMBIA BUILDING CODE.

- WINDOWS LOCATED WITHIN 2 METERS OF THE ADJACENT GROUND LEVEL OR THE FLOOR LEVEL OF A DECK ACCESSIBLE FROM THE EXTERIOR SHALL BE DESIGNED TO RESIST FORCIBLE ENTRY AS OUTLINED IN PART 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.

- GLAZING WEIGHTS SHALL CONFORM TO THE REQUIREMENTS OF PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.

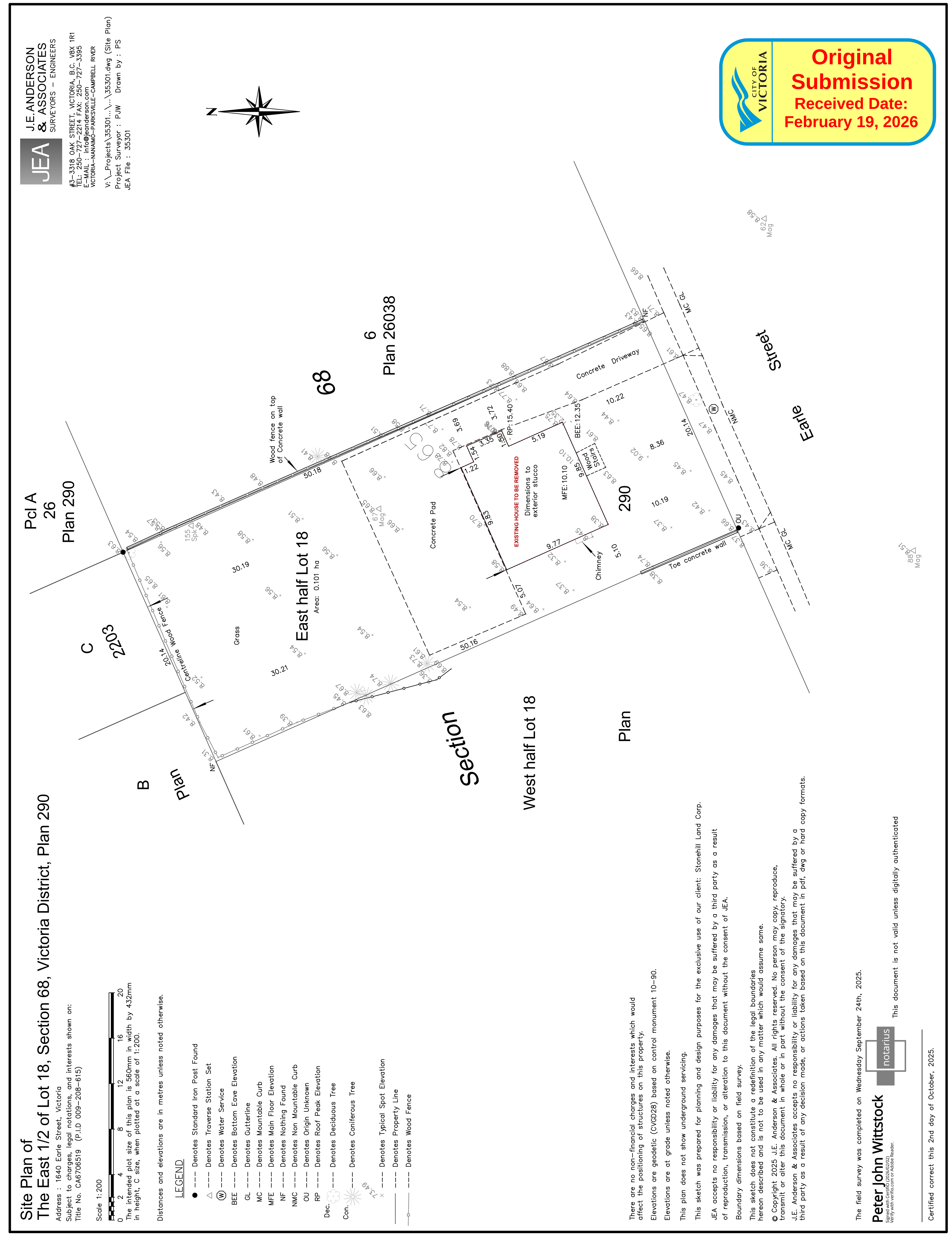
- GLAZING IN DOORS AND SIDELIGHTS SHALL BE LAMINATED SAFETY GLASS.

- GLAZING IN BATHROOMS SHALL BE TEMPERED OR LAMINATED SAFETY GLASS.

- FENESTRATION PERFORMANCE REQUIREMENTS:
CLASS R - PG 25 - DESIGN PRESSURE = +1200Pa/-1200Pa - WATER PENETRATION RESISTANCE = 220Pa CANADIAN AIR INFILTRATION / EXFILTRATION = A2

- WINDOW/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION

CITY OF VICTORIA
Original Submission
Received Date:
February 19, 2026



JEA
J.E. ANDERSON & ASSOCIATES
SURVEYORS – ENGINEERS
#3–3318 OAK STREET, VICTORIA, B.C. V8X 1R1
TEL: 250–727–2214 FAX: 250–727–3395
E–MAIL : info@jeanderson.com
VICTORIA–NANAIMO–PARKSVILLE–CAMPBELL RIVER
V:_Projects\35301...\...\35301.dwg (Site Plan)
Project Surveyor : PJW Drawn by : PS
JEA File : 35301
N
Pcl A
26
Plan 290
C
2203
B
Plan
68
6
Plan 26038
East half Lot 18
Area: 0.101 ha
West half Lot 18
Section
Plan
290
Earle
Street
Concrete Driveway
Concrete Pad
EXISTING HOUSE TO BE REMOVED
Dimensions to exterior stucco
MFE:10.10
BEE:12.35
RP:15.40
Wood Stairs
Chimney
Toe concrete wall
Wood fence on top of Concrete wall
Centreline Wood Fence
Grass
50.18
50.16
30.19
30.21
20.14
10.22
10.19
8.36
9.77
9.83
5.19
5.10
5.07
3.35
3.69
3.72
1.54
1.50
1.22
9.85
MC GL
NMC
NF
OU
Site Plan of
The East 1/2 of Lot 18, Section 68, Victoria District, Plan 290
Address : 1640 Earle Street, Victoria
Subject to charges, legal notations, and interests shown on:
Title No. CA6706519 (P.I.D 009–208–615)
Scale 1:200
0 2 4 8 12 16 20
The intended plot size of this plan is 560mm in width by 432mm in height, C size, when plotted at a scale of 1:200.
Distances and elevations are in metres unless noted otherwise.
LEGEND
● ––– Denotes Standard Iron Post Found
△ ––– Denotes Traverse Station Set
Ⓦ ––– Denotes Water Service
BEE ––– Denotes Bottom Eave Elevation
GL ––– Denotes Gutterline
MC ––– Denotes Mountable Curb
MFE ––– Denotes Main Floor Elevation
NF ––– Denotes Nothing Found
NMC ––– Denotes Non Mountable Curb
OU ––– Denotes Origin Unknown
RP ––– Denotes Roof Peak Elevation
Dec. ––– Denotes Deciduous Tree
Con. ––– Denotes Coniferous Tree
×73.49 ––– Denotes Typical Spot Elevation
––– Denotes Property Line
––– Denotes Wood Fence
There are no non–financial charges and interests which would affect the positioning of structures on this property.
Elevations are geodetic (CVGD28) based on control monument 10–90.
Elevations are at grade unless noted otherwise.
This plan does not show underground servicing.
This sketch was prepared for planning and design purposes for the exclusive use of our client: Stonehill Land Corp.
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Boundary dimensions based on field survey.
This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.
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J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made, or actions taken based on this document in pdf, dwg or hard copy formats.
The field survey was completed on Wednesday September 24th, 2025.
Peter John Wittstock
Signed with CertifiO (2026/02/02)
Verify with verifio.com or Adobe Reader.
notarius
This document is not valid unless digitally authenticated
Certified correct this 2nd day of October, 2025.

SITE PLAN
SCALE: 1 : 200

PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

SURVEYOR SITE PLAN & DRAWING PACKAGE INFORMATION

SCALE

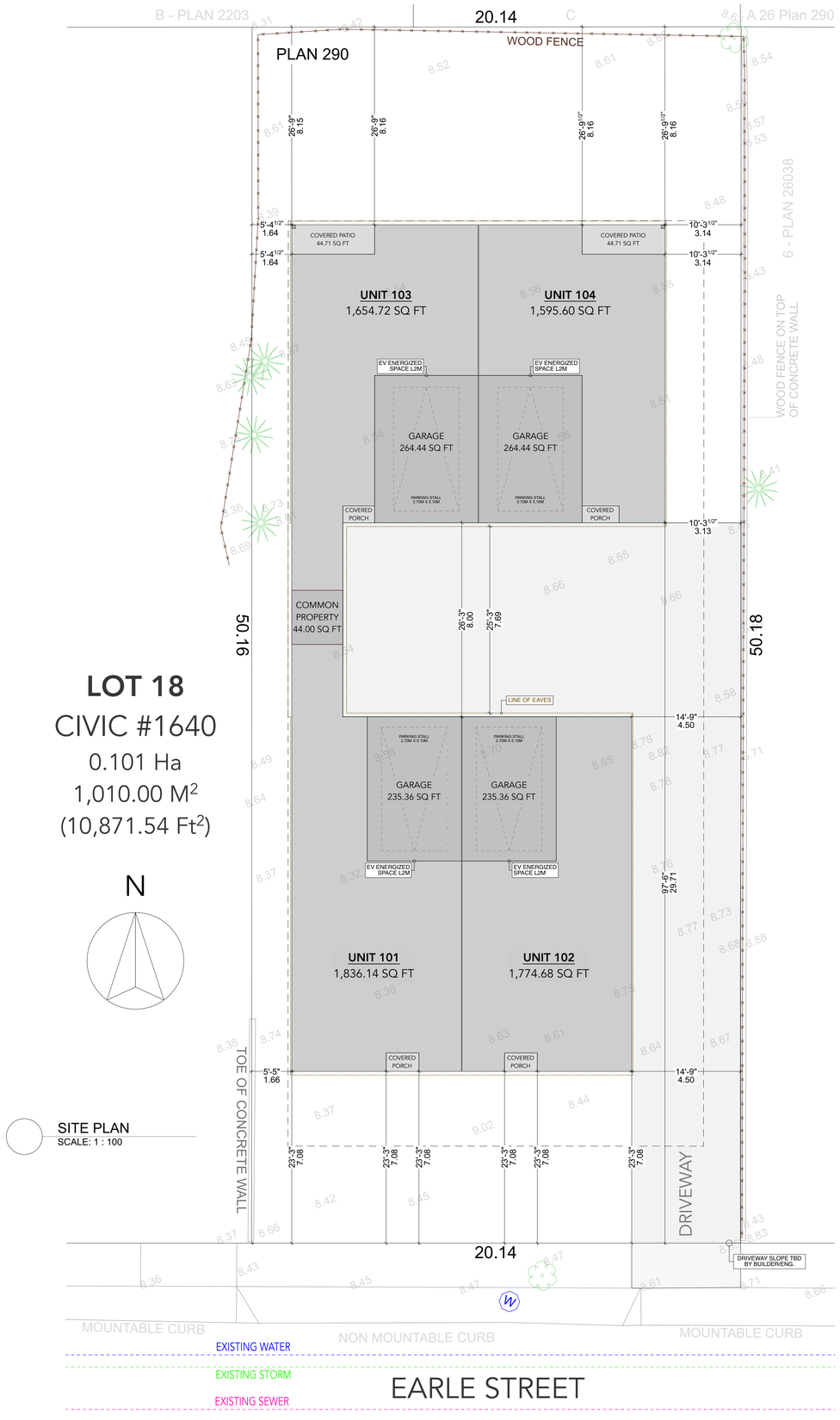
SEE DRAWINGS

DATE

February 11, 2026

SHEET NUMBER

A1 / A11



LOT 18

CIVIC #1640

0.101 Ha

1,010.00 M^2

(10,871.54 Ft^2)

N

SITE PLAN
SCALE: 1 : 100

PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

SITE PLAN & DATA BOX

SCALE

SEE DRAWINGS

DATE

February 11, 2026

SHEET NUMBER

A2 / A11

DATA TABLE	
ADDRESS:	LOT 18 1640 EARLE STREET
MUNICIPALITY:	VICTORIA
ZONE:	GRD-1
LEGAL PLAN:	VIP290
PID:	009-208-615

SITE	
LOT SIZE:	0.101 HA 10,871.54 SQ FT 1,010.00 SQ M

SETBACKS	PROPOSED	PERMITTED:
(SOUTH) FRONT LOT LINE SETACK:	23.22 FT 7.08 M	13.12 FT 4.00 M
(NORTH) REAR LOT LINE SETBACK:	26.73 FT 8.15 M	26.24 FT 8.00 M
(EAST) INTERIOR LOT LINE SETBACK:	10.26 FT 3.13 M	4.92 FT 1.50 M
(WEST) INTERIOR LOT LINE SETBACK:	5.38 FT 1.64 M	4.92 FT 1.50 M

LOT COVERAGE	PROPOSED	PERMITTED:
LOT COVERAGE:	40.72% 4,427.01 SQ FT 411.28 SQ M	45.00% 4,892.19 SQ FT 454.49 SQ M

GROSS FLOOR AREA	UNIT 101	UNIT 102	UNIT 103	UNIT 104
GARAGE FLOOR AREA:	235.36 SQ FT 21.86 SQ M	235.36 SQ FT 21.86 SQ M	264.44 SQ FT 24.56 SQ M	264.44 SQ FT 24.56 SQ M
UPPER FLOOR AREA:	962.08 SQ FT 89.38 SQ M	962.08 SQ FT 89.38 SQ M	940.83 SQ FT 87.40 SQ M	940.83 SQ FT 87.40 SQ M
MAIN FLOOR AREA:	874.06 SQ FT 81.20 SQ M	812.60 SQ FT 75.49 SQ M	713.89 SQ FT 66.32 SQ M	654.77 SQ FT 60.83 SQ M
	UNIT 101	UNIT 102	UNIT 103	UNIT 104
TOTAL GROSS FLOOR AREA:	1,836.14 SQ FT 170.58 SQ M	1,774.68 SQ FT 164.87 SQ M	1,654.72 SQ FT 153.72 SQ M	1,595.60 SQ FT 148.23 SQ M
COMMON PROPERTY:	44.00 SQ FT 4.08 SQ M			
COMBINED GROSS FLOOR AREA:	6,905.14 SQ FT 641.50 SQ M			
	PROPOSED	PERMITTED:		
FLOOR SPACE RATIO:	0.63 6,905.14 SQ FT 641.50 SQ M	1.60 17,394.46 SQ FT 5,301.83 SQ M		

HEIGHT & GRADE	
MAIN FLOOR ELEVATION:	8.87 M
FINISHED GRADE:	8.72 M
AVERAGE GRADE:	8.56

	PROPOSED	PERMITTED:
BUILDING HEIGHT:	26.24 FT 8.00 M	39.37 FT 12.00 M

SITE DATA	PROPOSED	REQUIRED:
OPEN LOT SPACE:	36.62% 3,980.51 SQ FT 369.89 SQ M	30.00% 3,261.46 SQ FT 302.99 SQ M
LANDSCAPE AREA:	10.34% 1,1124.72 SQ FT 104.48 SQ M	10.00% 1,087.15 SQ FT 101.00 SQ M

PARKING	PROPOSED	REQUIRED:
PARKING SPACES:	4	4
ENERGIZED ELECTRIC VEHICLE OUTLETS:	4	4

PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

A-1 CROSS SECTION, CONSTRUCTION NOTES, & FOUNDATION PLAN

SCALE

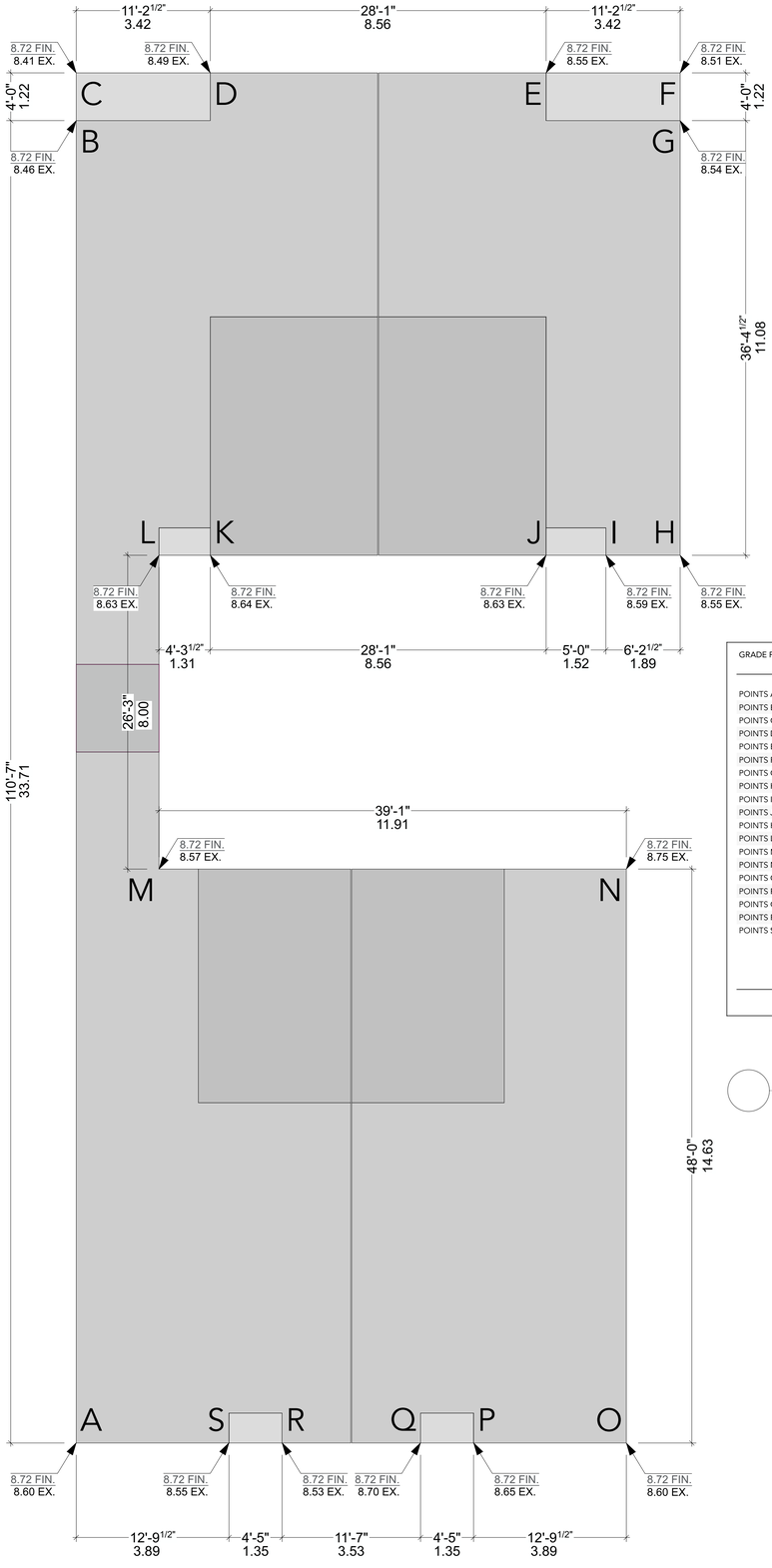
SEE DRAWINGS

DATE

February 11, 2026

SHEET NUMBER

A3 / A11



GRADE POINTS	AVERAGE OF POINTS	DISTANCE BETWEEN GRADE POINTS	TOTALS
POINTS A & B	((8.60 + 8.46) ÷2)	X M	= 0.00
POINTS B & C	((8.46 + 8.41) ÷2)	X 1.22 M	= 10.29
POINTS C & D	((8.41 + 8.49) ÷2)	X 3.42 M	= 28.90
POINTS D & E	((8.49 + 8.55) ÷2)	X 8.56 M	= 72.93
POINTS E & F	((8.55 + 8.51) ÷2)	X 3.42 M	= 29.17
POINTS F & G	((8.51 + 8.54) ÷2)	X 1.22 M	= 10.40
POINTS G & H	((8.54 + 8.55) ÷2)	X 11.08 M	= 94.68
POINTS H & I	((8.55 + 8.59) ÷2)	X 1.89 M	= 16.20
POINTS I & J	((8.59 + 8.63) ÷2)	X 1.52 M	= 13.09
POINTS J & K	((8.63 + 8.64) ÷2)	X 8.56 M	= 73.92
POINTS K & L	((8.64 + 8.63) ÷2)	X 1.31 M	= 11.31
POINTS L & M	((8.63 + 8.57) ÷2)	X 8.00 M	= 68.80
POINTS M & N	((8.57 + 8.75) ÷2)	X 11.91 M	= 103.14
POINTS N & O	((8.75 + 8.60) ÷2)	X 14.63 M	= 126.92
POINTS O & P	((8.60 + 8.65) ÷2)	X 3.89 M	= 33.55
POINTS P & Q	((8.65 + 8.70) ÷2)	X 1.35 M	= 11.71
POINTS Q & R	((8.70 + 8.53) ÷2)	X 3.53 M	= 30.41
POINTS R & S	((8.53 + 8.55) ÷2)	X 1.35 M	= 11.53
POINTS S & A	((8.55 + 8.60) ÷2)	X 3.89 M	= 33.36
			= 429.68

GRADE CALCULATION
429.68 ÷ 50.20 (PERIMETER OF THE BUILDING) = 8.56

GRADING CALCULATION
SCALE: NOT TO SCALE

OPEN LOT SPACE:
369.80 SQ M (3,980.51 SQ FT)

REQUIRED LANDSCAPING:
10.00% = 101.00 SQ M (1,087.15 SQ FT)

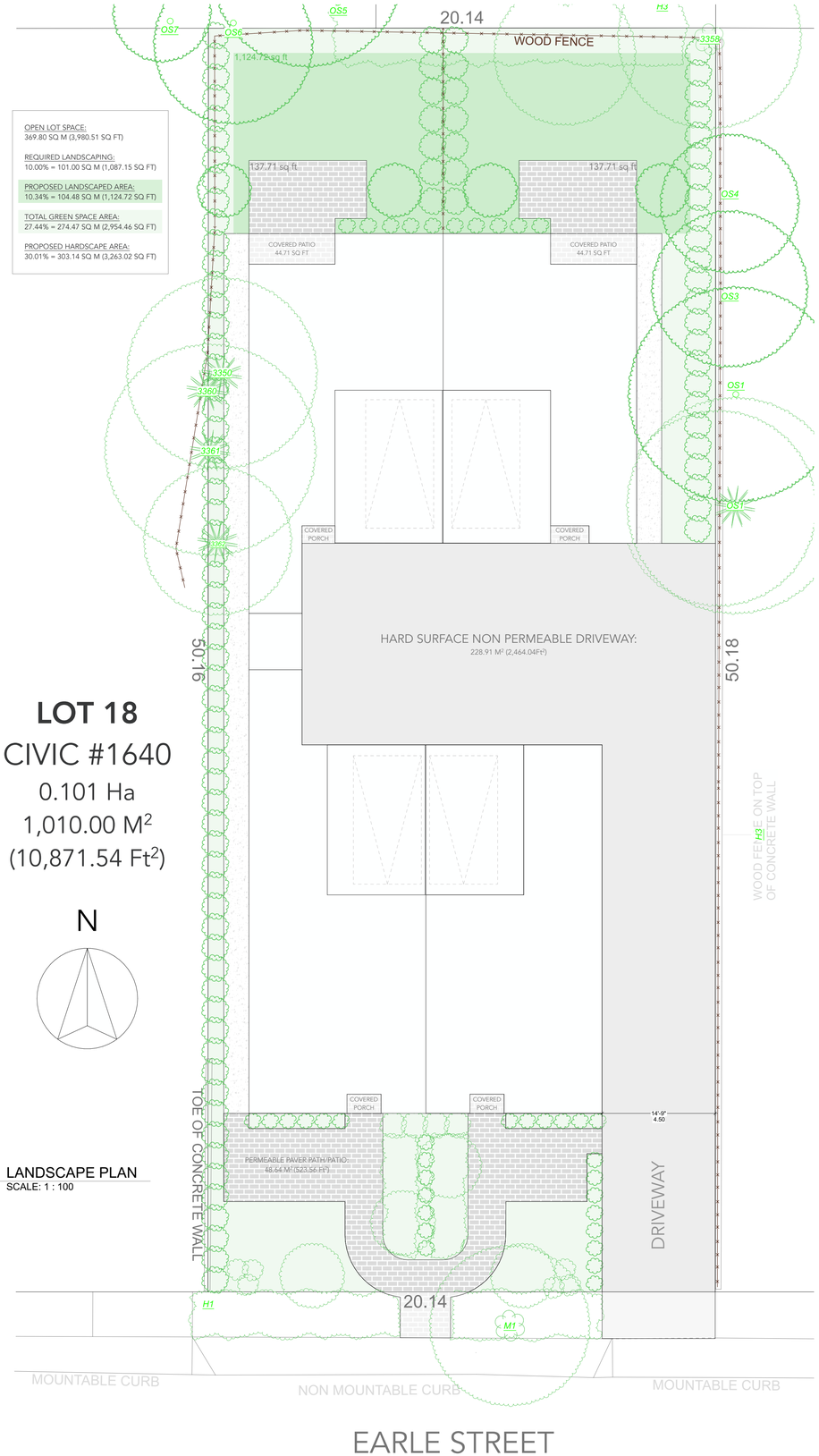
PROPOSED LANDSCAPED AREA:
10.34% = 104.48 SQ M (1,124.72 SQ FT)

TOTAL GREEN SPACE AREA:
27.44% = 274.47 SQ M (2,954.46 SQ FT)

PROPOSED HARDSCAPE AREA:
30.01% = 303.14 SQ M (3,263.02 SQ FT)

LOT 18
CIVIC #1640
0.101 Ha
1,010.00 M^2
(10,871.54 Ft^2)

N



LANDSCAPE PLAN
SCALE: 1 : 100

CONSTRUCTION NOTES:

R1	ASPHALT SHINGLES BUILDING PAPER 7/16" O.S.B. (OR 1/2" PLYWOOD) ENGINEERED TRUSSES- DESIGNED BY SUPPLIER @ 24" O.C. TYP. R40 BATT INSULATION 6 MIL U.V. POLY V.B. 5/8" GWB
W1	EXTERIOR FINISH 3/4" AIR SPACE PRESSURE TREATED STRAPPING BUILDING WRAP 1/2" SHEATHING 2X6 STUDS AT 16" O.C. R-20 BATT INSULATION 6 MIL. POLY V.B. 1/2" GYPSUM WALL BOARD
W2	2X4 STUDS 16" O.C. 1/2" GYPSUM WALL BOARDS ON BOTH SIDES
W3	2X6 STUDS 16" O.C. 1/2" GYPSUM WALL BOARDS ON BOTH SIDES
F1	4" CONCRETE FLOOR ON 6 MIL POLY V.B. COMPACTED GRANULAR FILL
F2	2X16 FLOOR JOIST 16" O.C. TYP. NAIL AND GLUE 3/4" T&G PLYWOOD R28 BATT INSULATION X BRIDGING @ 6' O.C. TYP.
F3	2X16 FLOOR JOIST 16" O.C. TYP. NAIL AND GLUE 3/4" T&G PLYWOOD X BRIDGING @ 6' O.C. TYP. EXTERIOR METAL SOFFITS 60 MIL VINYL DECK OVER
W13A	DEMISING WALL: (1H AS PER W13A - TABLE A-9.10.3.1.A) TWO ROWS 38 MM X 140 MM STUDS EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART 89 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON EACH SIDE

NOTES:

1. **TRUSS DESIGN:** TO BE DESIGNED BY TRUSS DESIGNER
2. **ROOF VENTS:** VENT 1/150 USING SHINGLE VENT II RIDGE VENT
3. **EAVE PROTECTION:** CONSTRUCTION TO BE DETERMINED BY BUILDER
4. **GUTTERS & DOWNSPOUTS:** ALUMINUM GUTTERS & DOWNSPOUTS
5. **SOFFITS:** ALUMINUM VENTED SOFFITS (NON VENTED IF SOFFIT PROJECTS LESS THAN 1.20M FROM PROPERTY LINE)
6. **CEILING BOARD:** R40 INSULATION, 6 MIL POLY V.B. ½"
7. **HANDRAILS:** 42" NON-CLIMBABLE
8. **STAIRS:** 7 ¾" RISE, 10.05" TREAD, 1" NOSING, AND CONTINUOUS HANDRAIL
9. **WINDOWS:**
   - VINYL
   - RAIN PAN UNDER TO BE SUPPLIED
   - RAIN SCREEN AS PER BCBC
   - WINDOWS IN DOORS TO BE SAFETY GLASS
10. **EXTERIOR OPENINGS:** TO BE CAULKED OVER AND AROUND
11. **POSTS:** 10"X10" POST, 8" POST SADDLE, ON 30"X30" CONCRETE FOOTING 8" CONCRETE WALL
12. **CONCRETE WALL:** 8" CONCRETE WALL ON 8"X16"
13. **CONCRETE FOOTINGS:** 2#4 BAR CONTINUOUS - R12 RIDGID INSULATION - 2 COATS DAMP PROOFING
14. **GROUND WORK:**
    - DRAINS TO PERIMETER SYSTEM
    - 4" DRAIN TILE WITH 6" ROCK OVER
15. **SOIL:** NON-ORGANIC SOIL (UNDISTURBED)

DETAILS:

PLUMBING STACKS:
PLUMBING VENT STACK PIPES MUST BE MADE AIRTIGHT BY SEALING THE AIR BARRIER TO VENT STACK WITH COMPATIBLE MATERIAL, SHEATHING TAPE, OR A RUBBER GASKET AT THE CEILING

ATTIC HATCH:
APPLY INSULATION TO BACK OF ATTIC HATCH AND PROVIDE A CLOSED CELL FOAM GASKET TO ENSURE PROPER AIR SEALING.

LIGHTING:
RECESSED POT LIGHT HOUSINGS TO BE SEALED TO POLY V.B.

WALL TO CEILING:
ALL JOINTS AT TRANSITION BETWEEN EXTERIOR WALLS AND CEILING MUST BE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVERING WITH AN AIR BARRIER MATERIAL

WINDOWS / DOORS / SKYLIGHTS:
INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY V.B. AND THE WINDOW

INTERIOR & EXTERIOR WALL INTERFACE:
ALL INTERIOR WALLS THAT MEET EXTERIOR WALLS OR ATTIC CEILING TO BE MADE AIRTIGHT BY SEALING JUNCTION OR CONTINUING THE POLY V.B. OF THE EXTERIOR WALLS

RIM JOISTS / SILL PLATES:
ALL JOISTS AT CAVITIES TO BE AIRTIGHT BY SEALING ALL JUNCTIONS AND JOINTS, OR COVER WITH AIR BARRIER MATERIAL

SLAB FOUNDATION WALLS:
SLAB AIR BARRIER MUST BE MADE AIRTIGHT BY SEALING THE FLOOR TO FOUNDATION WALL

RIGID INSULATION:
(2.5") R12 RIGID INSULATION TO BE 1.2M IN LENGTH ENSURE CONTINUITY OF INSULATION AS PER BCBC 9.36.2.5(2)

ENERGY EFFICIENCY:
ALL COMPONENTS RELATING TO ENERGY EFFICIENCY (IE. COOLING, HEATING, VENTILATION, WINDOWS, BUILDING ENVELOPE) ARE REQUIRED TO COMPLY WITH STEP 3 OF THE BC ENERGY STEP CODE

RADON:
LEVEL 2 FULL PASSIVE VERTICAL RADON STACK SYSTEM REQUIRED TO CONFORM TO THE "RADON CONTROL OPTIONS FOR NEW CONSTRUCTION IN LOW-RISE RESIDENTIAL BUILDINGS" DOCUMENT FROM THE GOVERNMENT OF CANADA. CAN/CGSB-149. 11-2019

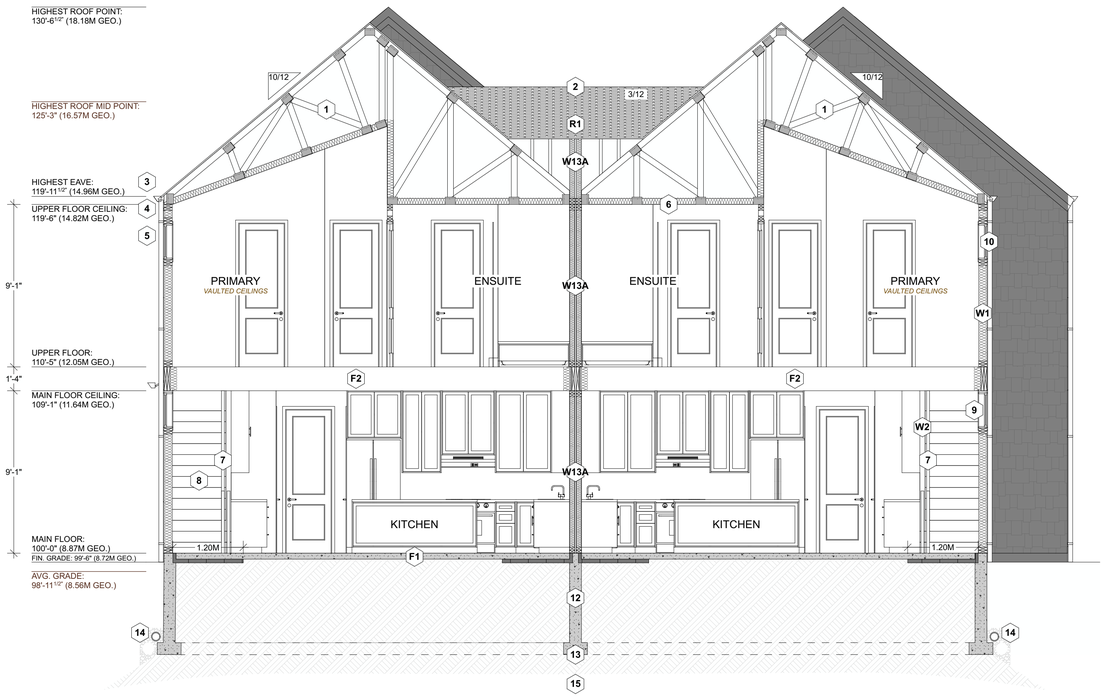
SEE RADON DETAIL PAGE AND GOVERNMENT OF CANADA CAN/CGSB-149.11- 2019 DOCUMENT FOR SPECIFICATIONS

HOUSE PRINCIPAL EXHAUST FAN:
PRINCIPAL EXHAUST FAN CAPACITY @50 PASCAL AND MIN. VENTILATION RATE OF 35 AS PER 9.32.3.5 MUST BE WIRED TO RUN CONTINUOUSLY, CONTROLLED BY DEDICATED SWITCH, SOUND RATING NOT TO EXCEED 1.0 SONE(SEE TABLE 9.32.3.3.A)

DEMISING NOTES:
ADD INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARM CONFORMING TO ARTICLE 9.37.2.19. DWELLING UNITS TO BE SEPARATED FROM EACH OTHER BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 30 min AS PER 9.37.2.15.(b)

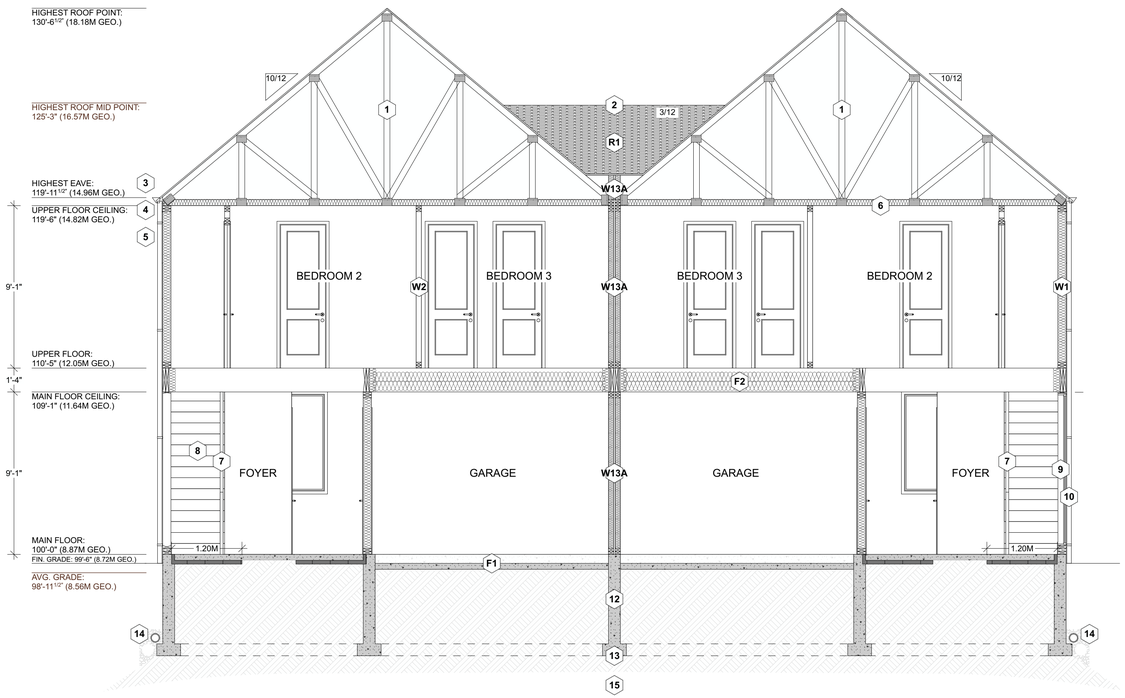
ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

HEAT SOURCE:
DUCTED HEAT PUMP FOR HEATING & COOLING WITH CEILING DIFFUSERS (INTERNAL HVAC UNITS TO BE RECESSED INTO THE TRUSES. LOCATED TO BE DETERMINED BY BUILDER)



A-1 CROSS SECTION
SCALE: 1/4" = 1'-0"

0 1 2 3 4 5



A-2 CROSS SECTION
SCALE: 1/4" = 1'-0"

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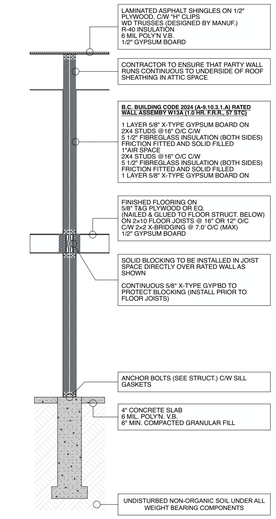
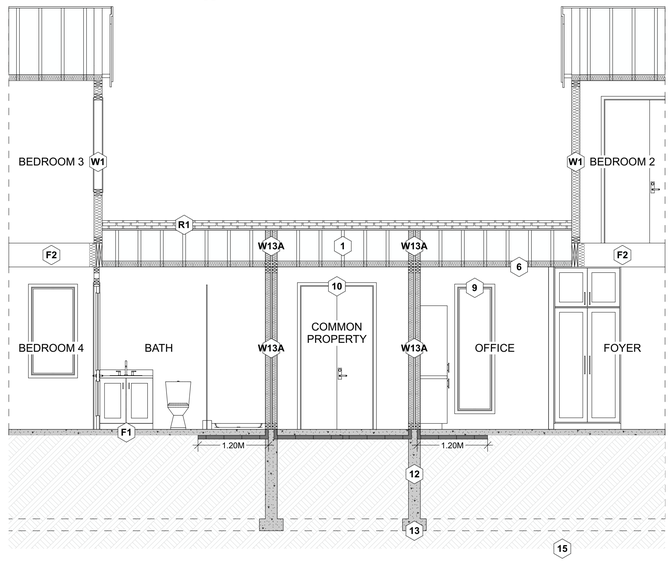


DETAIL - W13A PARTY WALL
SCALE: 1/4" = 1'-0"



A-3 CROSS SECTION
SCALE: 1/4" = 1'-0"

0 1 2 3 4 5

PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

A-1 CROSS SECTION, CONSTRUCTION NOTES, & FOUNDATION PLAN

SCALE

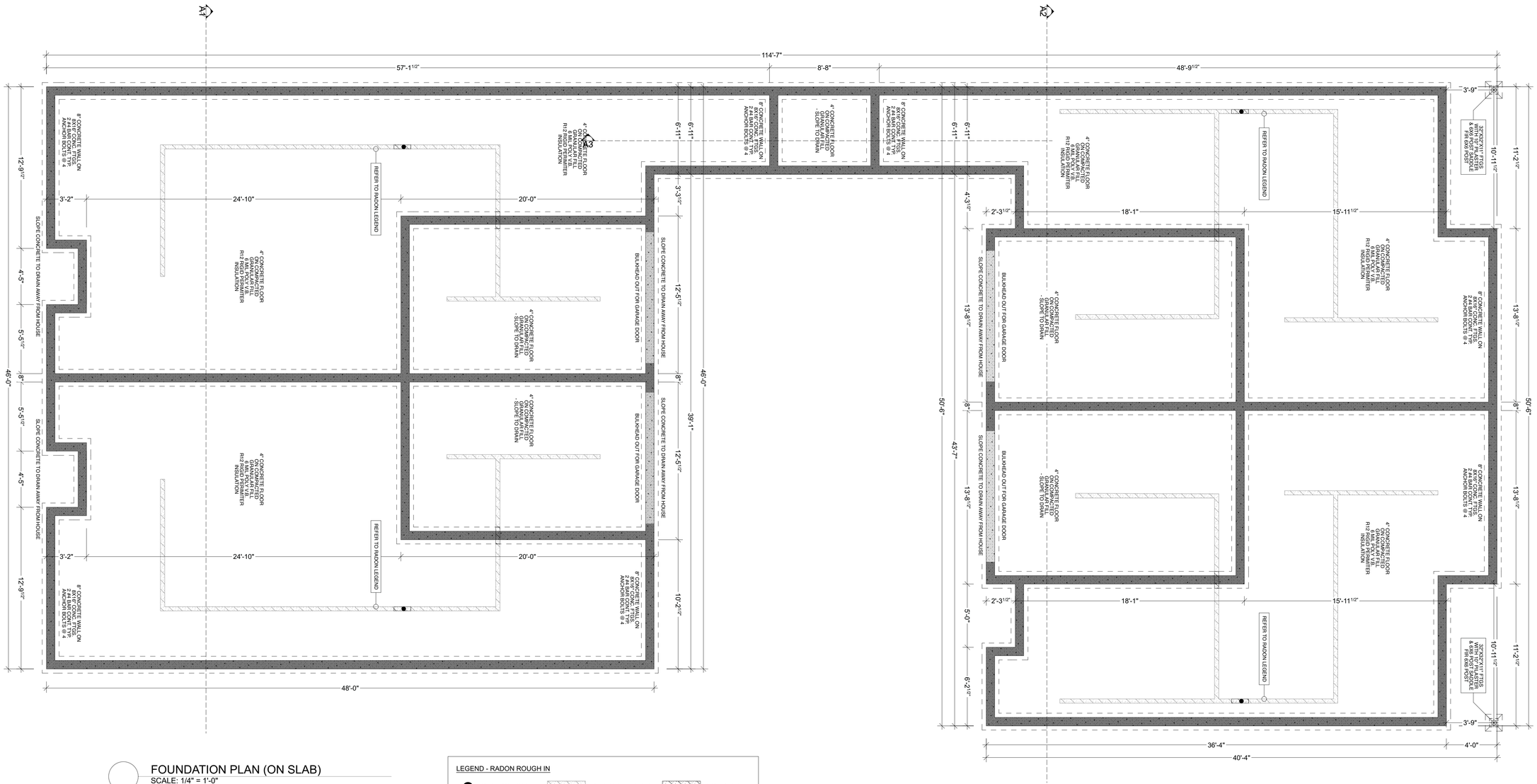
SEE DRAWINGS

DATE

February 11, 2026

SHEET NUMBER

A4 / A11



FOUNDATION PLAN (ON SLAB)
SCALE: 1/4" = 1'-0"

LEGEND - RADON ROUGH IN

SUCTION POINT | PERFORATED PIPE | SOLID PIPE

0 1 2 3 4 5

PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

FOUNDATION PLAN

SCALE

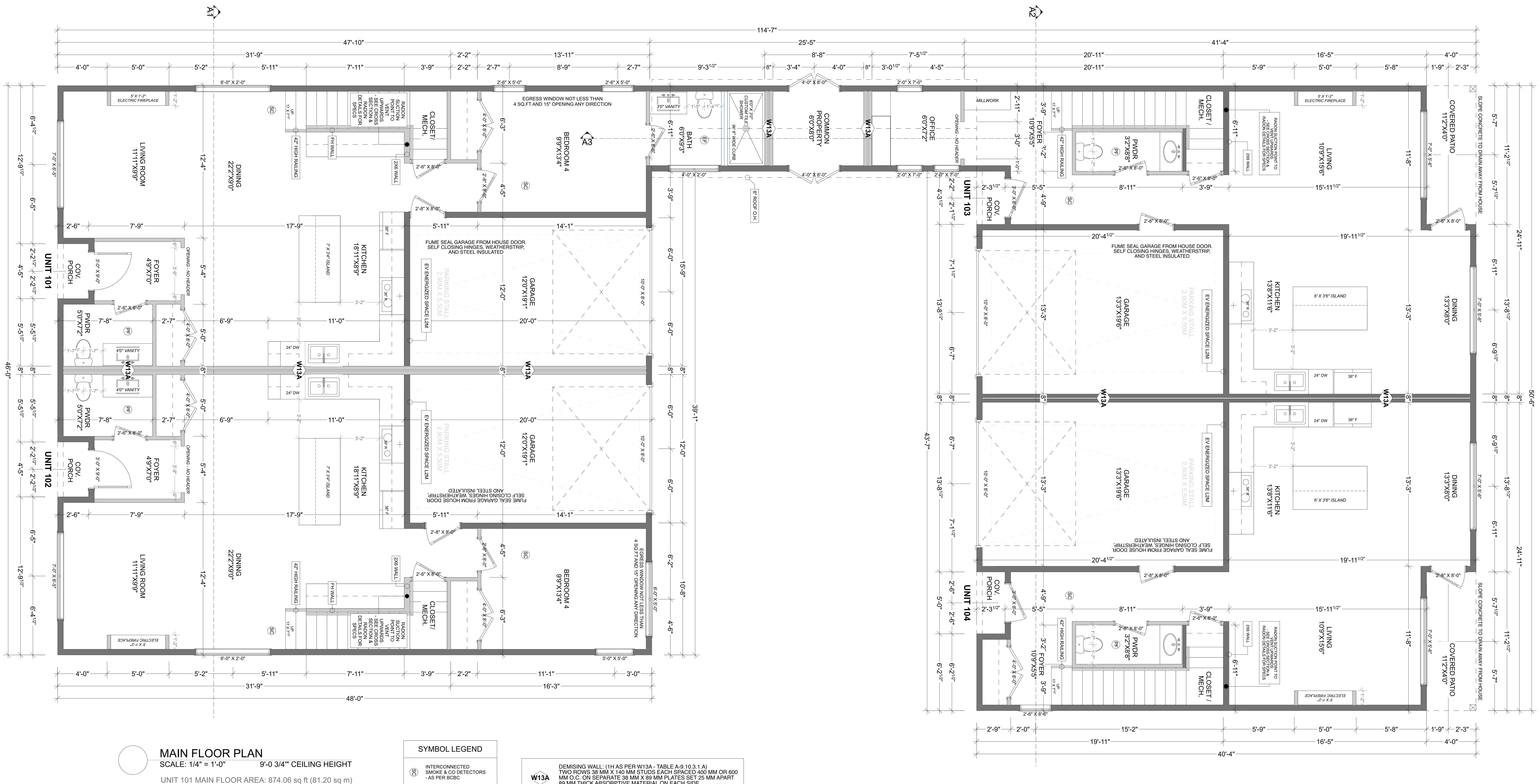
SEE DRAWINGS

DATE

February 11, 2026

SHEET NUMBER

A5 / A11



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0" 9'-0 3/4"' CEILING HEIGHT

UNIT 101 MAIN FLOOR AREA: 874.06 sq ft (81.20 sq m)
UNIT 101 GARAGE FLOOR AREA: 235.36 sq ft (21.86 sq m)

UNIT 102 MAIN FLOOR AREA: 812.6 sq ft (75.49 sq m)
UNIT 102 GARAGE FLOOR AREA: 235.36 sq ft (21.86 sq m)

UNIT 103 MAIN FLOOR AREA: 713.89 sq ft (66.32 sq m)
UNIT 103 GARAGE FLOOR AREA: 264.44 sq ft (24.56 sq m)

UNIT 104 MAIN FLOOR AREA: 654.77 sq ft (60.83 sq m)
UNIT 104 GARAGE FLOOR AREA: 264.44 sq ft (24.56 sq m)

COMMON PROPERTY: 44 sq ft (4.08 sq m)

SYMBOL LEGEND

- SC — INTERCONNECTED SMOKE & CO DETECTORS - AS PER BCBC
- PF — HOUSE PRINCIPAL EXHAUST FAN
- EF — EXHAUST FAN

W13A — DEMISING WALL: (1H AS PER W13A - TABLE A-9.10.3.1.A)
TWO ROWS 38 MM X 140 MM STUDS EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART
89 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE
1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON EACH SIDE

0 1 2 3 4 5

PROJECT ADDRESS

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SHEET TITLE

MAIN FLOOR PLAN

SCALE

SEE DRAWINGS

DATE

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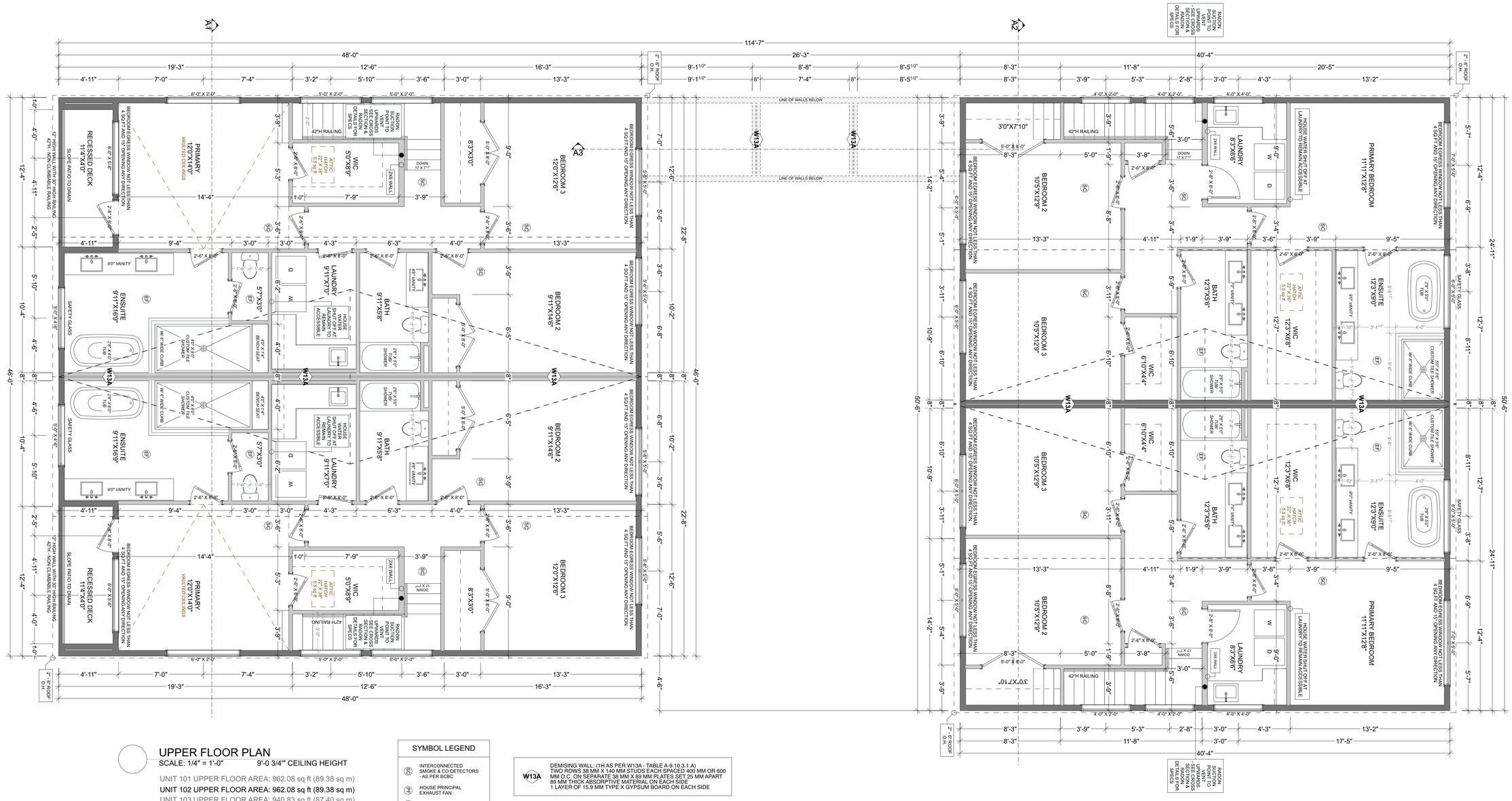

UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0" 9'-0 3/4"" CEILING HEIGHT

UNIT 101 UPPER FLOOR AREA: 962.08 sq ft (89.38 sq m)
UNIT 102 UPPER FLOOR AREA: 962.08 sq ft (89.38 sq m)
UNIT 103 UPPER FLOOR AREA: 940.83 sq ft (87.40 sq m)
UNIT 104 UPPER FLOOR AREA: 940.83 sq ft (87.40 sq m)

PROJECT ADDRESS

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SHEET TITLE

UPPER FLOOR PLAN

SCALE

SEE DRAWINGS

DATE

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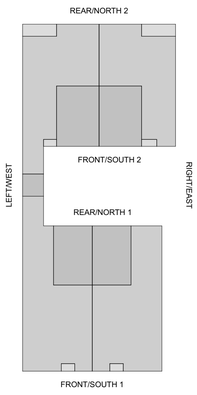
FINISH SCHEDULE:

A	**ROOF:** ASPHALT ROOFING - RAISED RIDGE & HIP CAPS	
B	**GUTTERS / SOFFITS:** ALUMINUM GUTTERS AND SOFFITS - SOFFIT TO BE NON VENTED - FINISH/COLOUR AS PER BUILDERS SPECS	
C	**DOWNSPOUTS:** ALUMINUM DOWNSPOUTS - FINISH/COLOUR AS PER BUILDERS SPECS	
D	**BARGE BOARD:** 2X10 WITH 1X4 DOUBLE BARGE BOARD - FINISH/COLOUR AS PER BUILDERS SPECS	
E	**CORNER TRIM:** 1X2 CORNER BOARDS - FINISH/COLOUR AS PER BUILDERS SPECS	
F	**FRONT DOOR / GARAGE DOOR & TRIM:** 1X2 TRIM BOARDS - FINISH/COLOUR AS PER BUILDERS SPECS	
G	**EXTERIOR WINDOW TRIM:** 1X2 TRIM BOARDS - FINISH/COLOUR AS PER BUILDERS SPECS	
H	**EXTERIOR CLADDING:** HARDIE SHINGLE SIDING - FINISH/COLOUR AS PER BUILDERS SPECS	
I	**EXTERIOR CLADDING:** HARDIE BOARD SIDING - 1X2 BATTENS - FINISH/COLOUR AS PER BUILDERS SPECS	
J	**EXTERIOR CLADDING:** METAL PANEL SIDING - FINISH/COLOUR AS PER BUILDERS SPECS	
K	**SCUPPER DECK DRAIN:** - FINISH/COLOUR AS PER BUILDERS SPECS	
L	**RAILINGS:** ALUMINUM RAILINGS 42" HIGH NON CLIMBABLE	



PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

ELEVATIONS & FINISH SCHEDULE

SCALE

SEE DRAWINGS

DATE

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SHEET NUMBER

A8 / A11

FRONT/SOUTH 1 ELEVATION
SCALE: 1/4" = 1'-0"

0 1 2 3 4 5

REAR/NORTH 1 ELEVATION
SCALE: 1/4" = 1'-0"

0 1 2 3 4 5

REAR/NORTH 2 ELEVATION
SCALE: 1/4" = 1'-0"

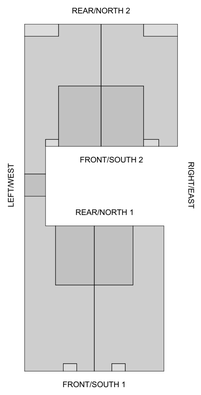
0 1 2 3 4 5

FRONT/SOUTH 2 ELEVATION
SCALE: 1/4" = 1'-0"

0 1 2 3 4 5

FINISH SCHEDULE:

A	**ROOF:** ASPHALT ROOFING - RAISED RIDGE & HIP CAPS	
B	**GUTTERS / SOFFITS:** ALUMINUM GUTTERS AND SOFFITS - SOFFIT TO BE NON VENTED - FINISH/COLOUR AS PER BUILDERS SPECS	
C	**DOWNSPOUTS:** ALUMINUM DOWNSPOUTS - FINISH/COLOUR AS PER BUILDERS SPECS	
D	**BARGE BOARD:** 2X10 WITH 1X4 DOUBLE BARGE BOARD - FINISH/COLOUR AS PER BUILDERS SPECS	
E	**CORNER TRIM:** 1X2 CORNER BOARDS - FINISH/COLOUR AS PER BUILDERS SPECS	
F	**FRONT DOOR / GARAGE DOOR & TRIM:** 1X2 TRIM BOARDS - FINISH/COLOUR AS PER BUILDERS SPECS	
G	**EXTERIOR WINDOW TRIM:** 1X2 TRIM BOARDS - FINISH/COLOUR AS PER BUILDERS SPECS	
H	**EXTERIOR CLADDING:** HARDIE SHINGLE SIDING - FINISH/COLOUR AS PER BUILDERS SPECS	
I	**EXTERIOR CLADDING:** HARDIE BOARD SIDING - 1X2 BATTENS - FINISH/COLOUR AS PER BUILDERS SPECS	
J	**EXTERIOR CLADDING:** METAL PANEL SIDING - FINISH/COLOUR AS PER BUILDERS SPECS	
K	**SCUPPER DECK DRAIN:** - FINISH/COLOUR AS PER BUILDERS SPECS	
L	**RAILINGS:** ALUMINUM RAILINGS 42" HIGH NON CLIMBABLE	



PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

ELEVATIONS & FINISH SCHEDULE

SCALE

SEE DRAWINGS

DATE

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SHEET NUMBER

A9 / A11

LEFT/WEST ELEVATION

SCALE: 1/4" = 1'-0"

0 1 2 3 4 5

LIMITING DISTANCE: 1.65 M (5.41 FT)
EXPOSING BUILDING FACE: 185.69 M^2 (1,998.76 FT^2)
PROPOSED OPENINGS: 4.71% = 8.75 M^2 (94.27 FT^2)
ALLOWABLE OPENINGS: 7.30% = 13.60 M^2 (146.38 FT^2)

RIGHT/EAST ELEVATION

SCALE: 1/4" = 1'-0"

0 1 2 3 4 5

LIMITING DISTANCE: 4.50 M (14.76 FT)
EXPOSING BUILDING FACE: 89.88 M^2 (967.50 FT^2)
PROPOSED OPENINGS: 4.99% = 4.49M^2 (48.33 FT^2)
ALLOWABLE OPENINGS: 24.70% = 22.20 M^2 (238.95 FT^2)

LIMITING DISTANCE: 3.13 M (10.26 FT)
EXPOSING BUILDING FACE: 71.98 M^2 (774.84 FT^2)
PROPOSED OPENINGS: 5.73% = 4.13 M^2 (44.56 FT^2)
ALLOWABLE OPENINGS: 17.50% = 12.60 M^2 (135.62 FT^2)

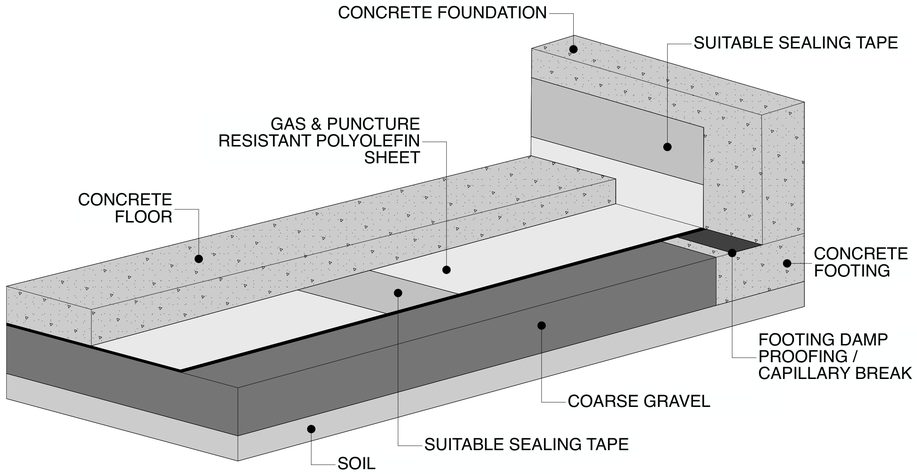

FIGURE 7.1.4.5.5 - SEALING SUB-SLAB MEMBRANE VERTICALLY TO CONCRETE FOUNDATION WALL

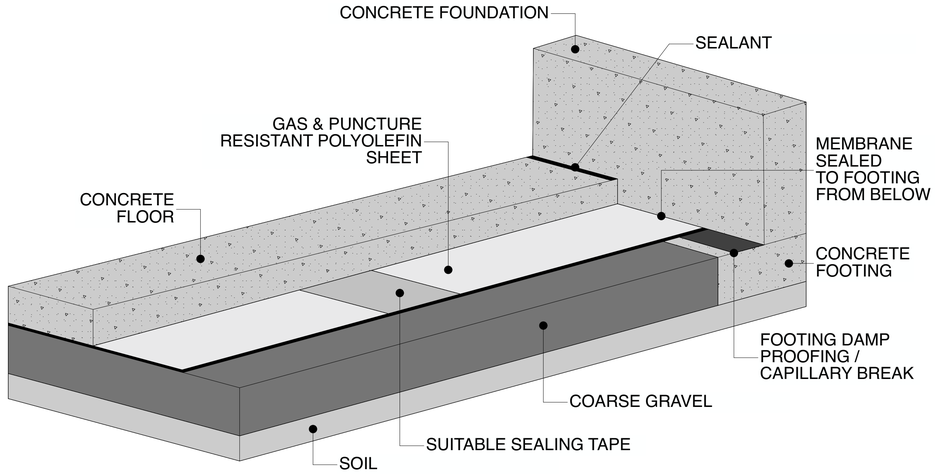

FIGURE 7.1.4.5.6 - SEALING SUB-SLAB MEMBRANE HORIZONTALLY TO CONCRETE FOOTING PRIOR TO SLAB POUR AND OF THE SLAB/WALL EXPANSION JOINT AFTER THE SLAB POUR

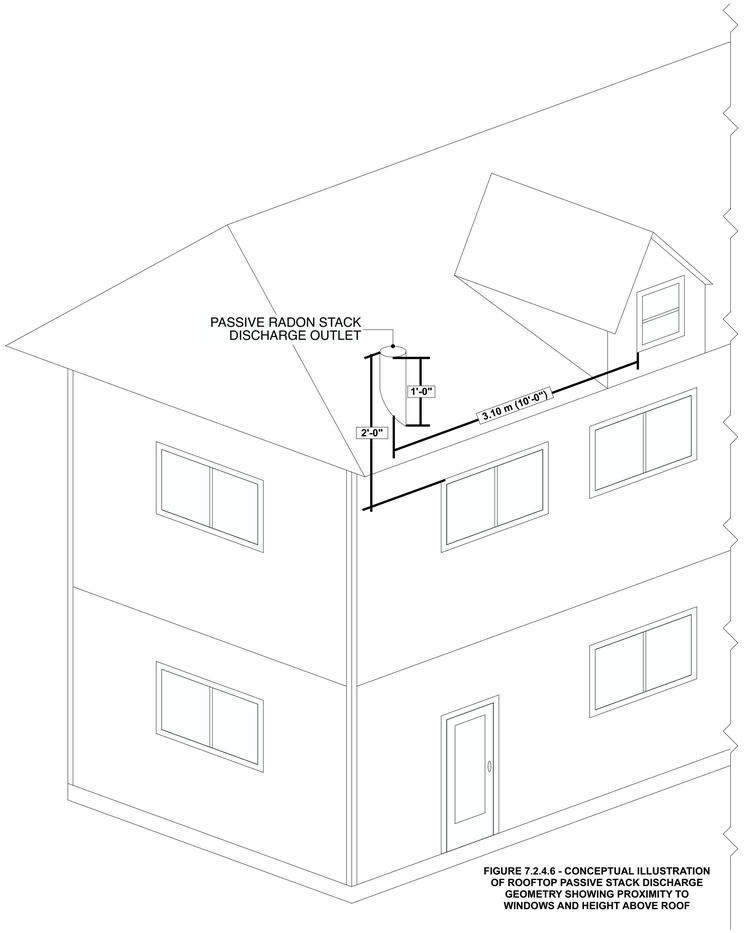

FIGURE 7.2.4.6 - CONCEPTUAL ILLUSTRATION OF ROOFTOP PASSIVE STACK DISCHARGE GEOMETRY SHOWING PROXIMITY TO WINDOWS AND HEIGHT ABOVE ROOF

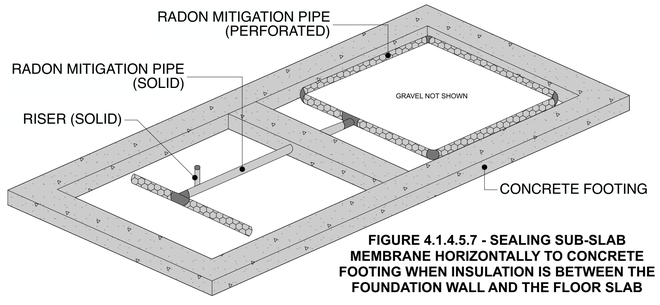

FIGURE 4.1.4.5.7 - SEALING SUB-SLAB MEMBRANE HORIZONTALLY TO CONCRETE FOOTING WHEN INSULATION IS BETWEEN THE FOUNDATION WALL AND THE FLOOR SLAB

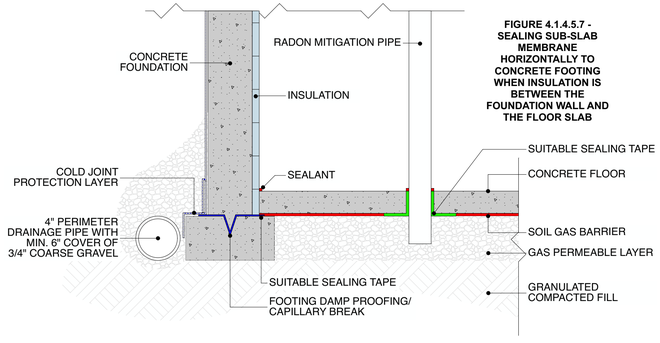

FIGURE 4.1.4.5.7 - SEALING SUB-SLAB MEMBRANE HORIZONTALLY TO CONCRETE FOOTING WHEN INSULATION IS BETWEEN THE FOUNDATION WALL AND THE FLOOR SLAB

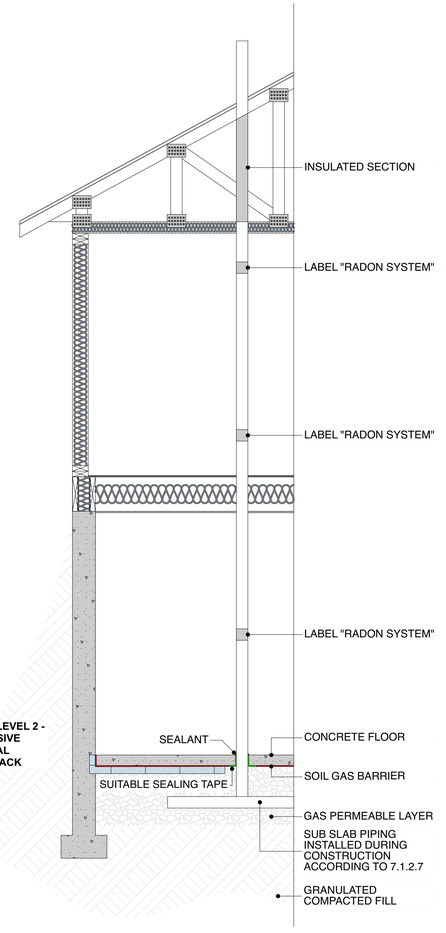

FIGURE 7.2B - LEVEL 2 - FULL PASSIVE VERTICAL RADON STACK

PROJECT ADDRESS

LOT 18
1640 EARLE STREET
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SHEET TITLE

RADON DETAILS

SCALE

SEE DRAWINGS

DATE

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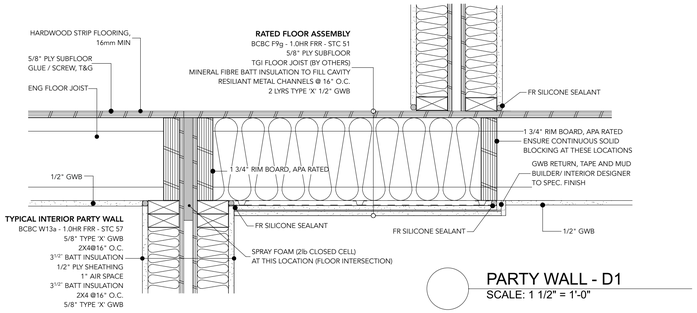
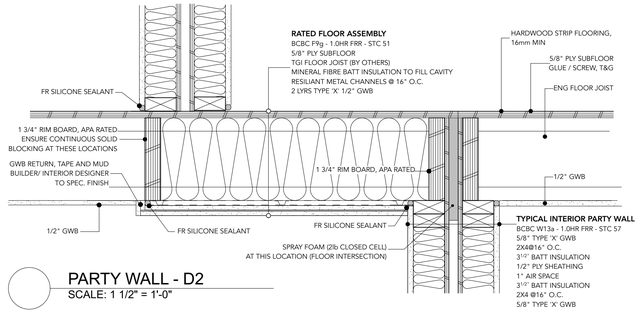
SHEET NUMBER

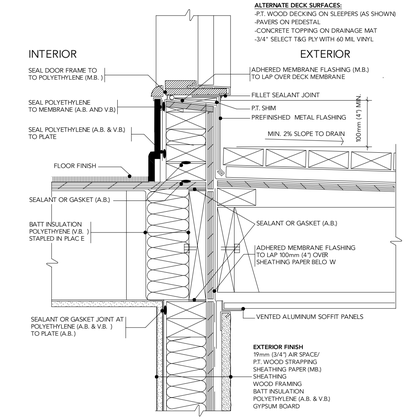
A10 / A11



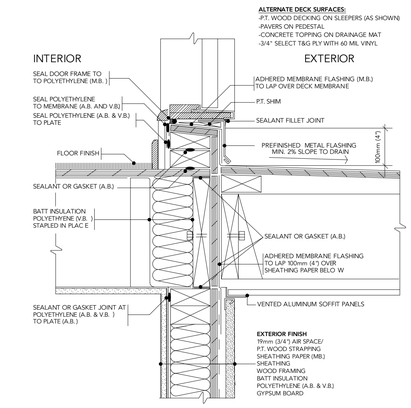
PARTY WALL - D1
SCALE: 1 1/2" = 1'-0"

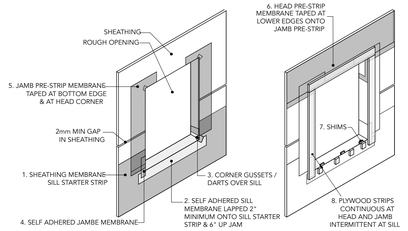


PARTY WALL - D2
SCALE: 1 1/2" = 1'-0"

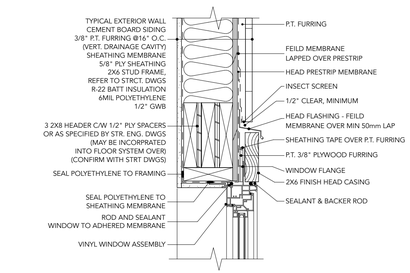


RAISED DOOR SIL
NOT TO SCALE

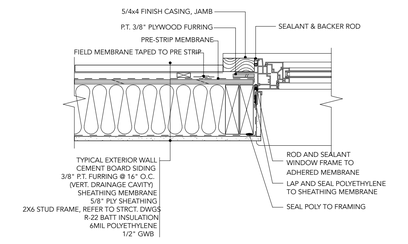




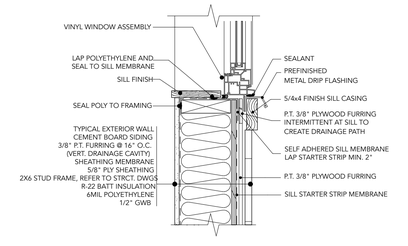
ROUGH OPENING SEQUENCING



HEAD

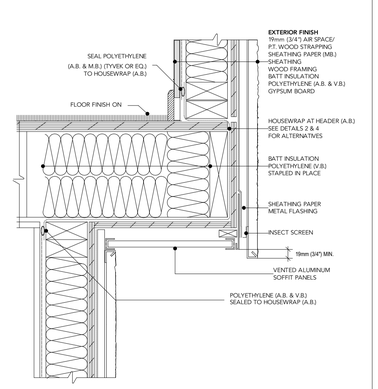


JAMB

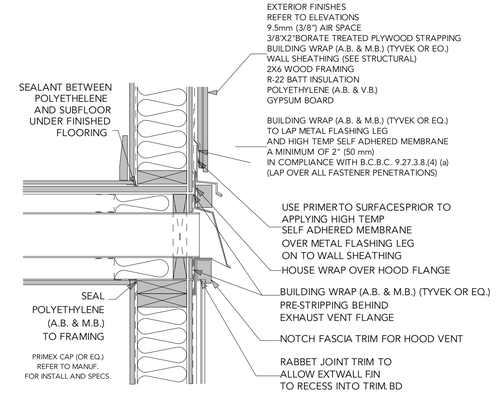


SILL

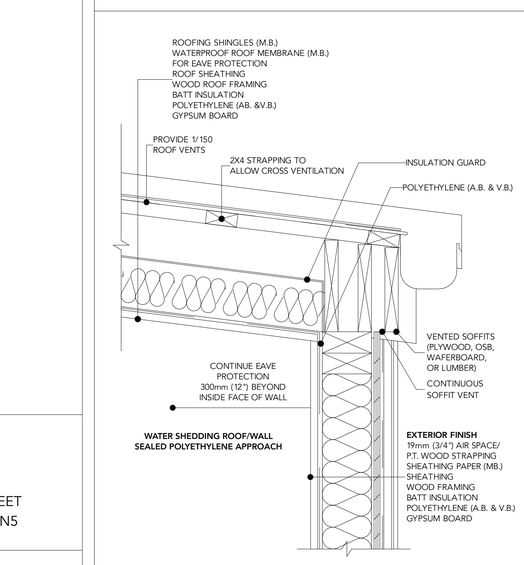
TYP. OPENING DETAIL
SCALE: 1 1/2" = 1'-0"



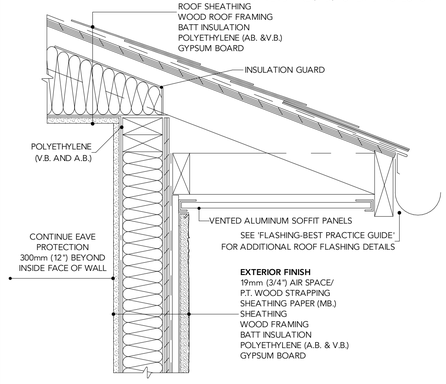
CANTILEVERED FLOOR
NOT TO SCALE



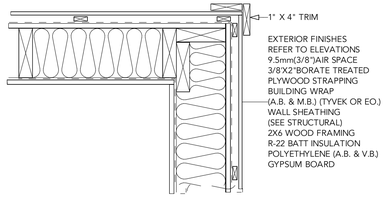
WALL EXHAUST VENT
SCALE: 1 1/2" = 1'-0"



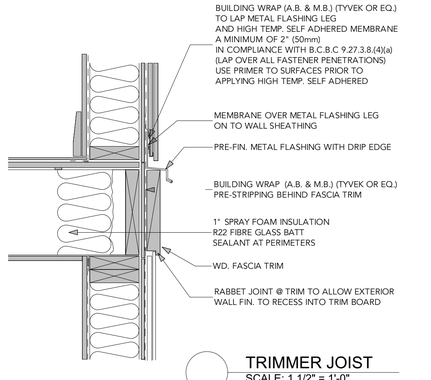
NO ROOF OVERHANG DETAIL
SCALE: 1 1/2" = 1'-0"



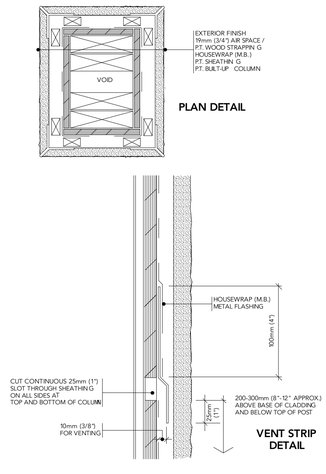
WATER SHEDDING ROOF DETAIL
NOT TO SCALE



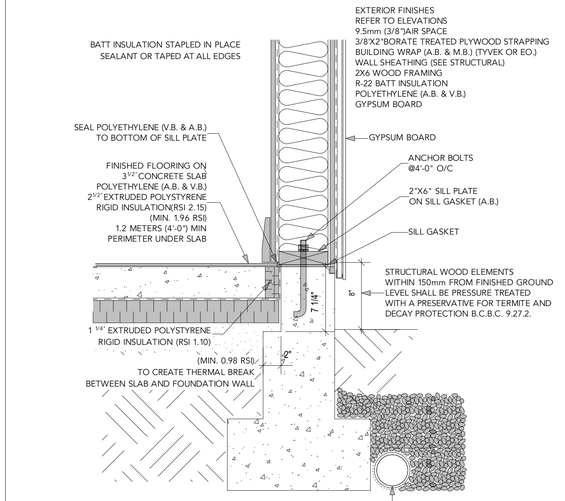
CORNER DETAIL
SCALE: 1 1/2" = 1'-0"



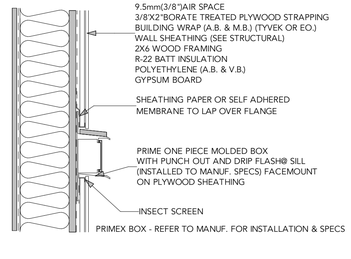
TRIMMER JOIST
SCALE: 1 1/2" = 1'-0"



EXTERIOR COLUMN
NOT TO SCALE



SLAB ON GRADE
SCALE: 1 1/2" = 1'-0"



ELECTRICSL FIXTURES
SCALE: 1 1/2" = 1'-0"

PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

CONSTRUCTION DETAILS

SCALE

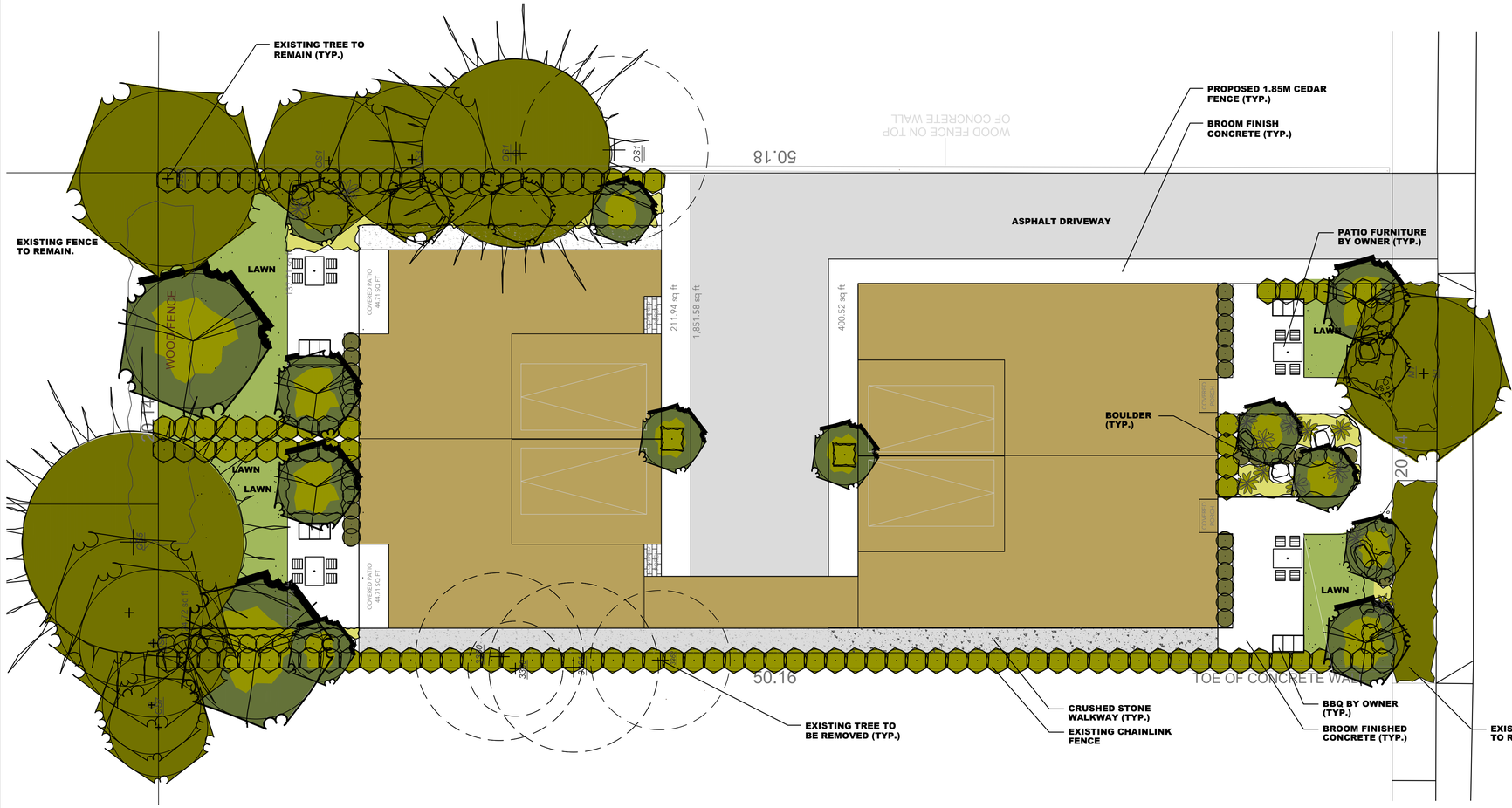
SEE DRAWINGS

DATE

February 11, 2026

SHEET NUMBER

A11 / A11



LEGEND

MEDIUM DECIDUOUS TREE TO BE A SELECTION OF:
KATSURA TREE, GOLDEN LOCUST;
SIZE 5 CM CAL.; APPROXIMATE NO. - 2

COLUMNAR DECIDUOUS TREE TO BE A SELECTION OF: ARMSTRONG GOLD MAPLE, PEINCETON SENTRY MAIDENHAIR, SIZE 6.0 CM CAL.; APPROXIMATE NO. - 04

MULTISTEM TO BE A SELECTION OF:
STAR MAGNOLIA (DEC), LILAC (DEC);
SIZE 27 CM POT; APPROXIMATE NO. - 11

MEDIUM SHRUB TO BE A SELECTION OF:
OREGON GRAPE (BL), GOLDEN NINEBARK (DEC), WESTERN SWORD FERNS (BL), BRACHYGLOTTIS;
SIZE 21 CM POT; APPROXIMATE NO. - 145

SMALL SHRUB TO BE A SELECTION OF: LONG LEAF MAHONIA (BL), ABBOTSWOOD POTENTILLA (BL), EUPHORBIA (BL) ,RUSSIAN SAGE (DEC), LIRIOPE (BL);
SIZE 15 CM POT; APPROXIMATE NO. - 62

GROUNDCOVER TO BE A SELECTION OF:
KINNIKINNICK (BL), GRASSES, W/.
NEW ZEALAND FLAX (BL);
SIZE 10 CM POT; PLANT 45 CM O.C.

NOTES

- LANDSCAPE AREAS ARE TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- THIS DRAWING IS CONCEPTUAL ONLY AND NOT INTENDED FOR CONSTRUCTION PURPOSES.
- ALL LANDSCAPE WORK AND PLANT MATERIAL WILL CONFORM TO THE MOST RECENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
- ALL LANDSCAPE WORK ON CITY PROPERTY TO CITY OF VICTORIA STANDARD AND APPROVAL.
- REFER TO ARCHITECTURAL/CIVIL FOR HARD LANDSCAPE, SITE GRADING

ISSUED FOR DEVELOPMENT PERMIT DECEMBER 22, 2025

NO.	DATE	BY	REVISION
1.	02/03/26	S.P.	GENERAL

DRAWN: S.P.
CHECKED: J.P.
DATE: DECEMBER 22, 2025
DRAWING: 1640 EARLE - P1R2R
FILE:
1 : 100

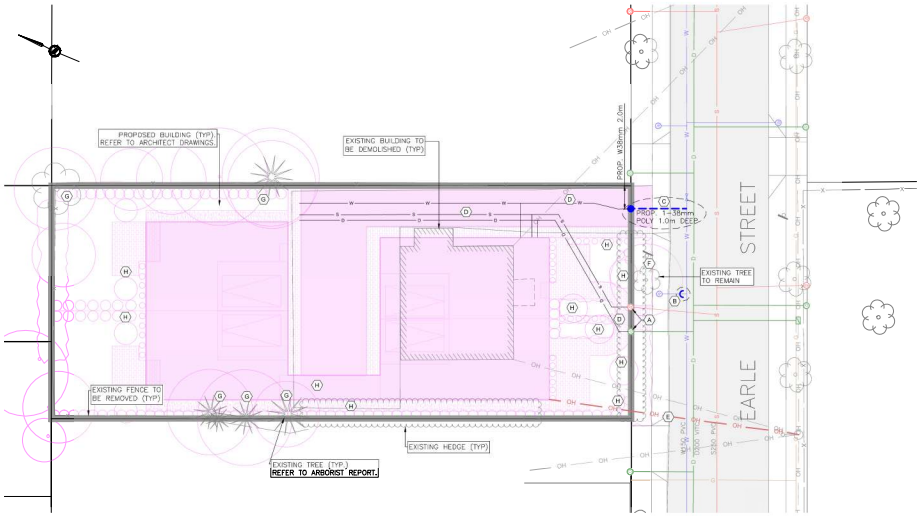
Lombard North Group
LOMBARD NORTH GROUP (BC) INC.
830 CORMORANT STREET,
VICTORIA, BRITISH COLUMBIA, V8W 1R1
TELEPHONE: (250) 386-3336
EMAIL: lombardnorthgroup@gmail.com

JOB NAME

1640 EARLE STREET
VICTORIA, B.C.

CONSULTANT

LANDSCAPE PLAN
DRAWING NO. P1



DETAILED CONSTRUCTION NOTES:

(A) CITY OF VICTORIA CREWS TO CCTV INSPECT EXISTING DRAIN AND SEWER SERVICES/INSPECTION CHAMBERS FOR REUSE. IF EXISTING SERVICE IS NOT ACCEPTABLE, CITY OF VICTORIA CREWS TO INSTALL NEW 100mm DRAIN AND SEWER SERVICES COMPLETE WITH INSPECTION CHAMBERS AT PROPERTY LINE AT DEVELOPERS EXPENSE.

(B) CITY OF VICTORIA CREWS TO CAP AND ABANDON EXISTING WATER SERVICE AT DEVELOPERS EXPENSE.

(C) CITY OF VICTORIA CREWS TO INSTALL NEW 38mm WATER SERVICE COMPLETE WITH 25mm METER AT PROPERTY LINE AT DEVELOPERS EXPENSE.

(D) CONTRACTOR TO INSTALL ONSITE SEWER/DRAIN/WATER SERVICES UNDER SEPARATE PERMIT. ONSITE SEWER/DRAIN/WATER SERVICES TO BE DESIGNED BY OTHERS.

(E) PROPOSED HYDRO/TELUS/ROGERS SERVICING TO NEW BUILDING TO BE OVERHEAD. OVERHEAD SERVICING IS SHOWN SCHEMATICALLY. DEVELOPERS ELECTRICIAN TO COORDINATE SERVICING DESIGN WITH HYDRO/TELUS/ROGERS AS REQUIRED.

(F) EXISTING STREET SIGN TO BE REMOVED AND REPLACED AS REQUIRED.

(G) ANY WORK WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES TO BE REVIEWED BY THE DEVELOPER'S ARBORIST. REFER TO ARBORIST REPORT FOR DETAILS.

(H) PROPOSED TREE SHOWN SCHEMATICALLY. REFER TO LANDSCAPE PLANS FOR DETAILS.

1. GENERAL NOTES

1.1. ALL CONSTRUCTION AND MATERIALS WITHIN MUNICIPAL RIGHT-OF-WAYS TO BE IN ACCORDANCE WITH THE MUNICIPAL ENGINEERING SPECIFICATIONS AND STANDARD DRAWINGS AND THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) PLATINUM EDITION – VOLUME II. WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.

1.2. ALL WORKS ON PRIVATE PROPERTY (ONSITE) TO BE AS PER THE LATEST BC BUILDING CODE AND ARE TO BE INSPECTED BY THE MUNICIPAL PLUMBING OR BUILDING INSPECTOR. A PLUMBING PERMIT IS REQUIRED.

1.3. CONTRACTOR TO OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE MUNICIPALITY 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.

1.4. CONTRACTOR TO OBTAIN A STREET OCCUPANCY PERMIT FROM CITY OF VICTORIA TRANSPORTATION ENGINEERING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION IN ROADWAY.

1.5. CONTRACTOR SHALL SUBMIT EMERGENCY CONTACT NUMBERS TO THE MUNICIPALITY A MINIMUM OF 48 HRS PRIOR TO THE START OF CONSTRUCTION.

1.6. CONTRACTOR TO MAINTAIN AN UP-TO-DATE SET OF AS-CONSTRUCTED DRAWINGS. DRAWINGS TO BE DELIVERED TO THE ENGINEER PRIOR TO SUBSTANTIAL PERFORMANCE.

1.7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION LAYOUT, MEANS, METHODS, TECHNIQUES, PROCEDURES, AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.

1.8. CONTRACTOR TO ENSURE EXISTING MONUMENTS AND IRON PINS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS OR IRON PINS IN DANGER OF DISTURBANCE SHALL BE REFERENCED AND, IF DISTURBED, REPLACED BY A BCLS AT THE DEVELOPER'S EXPENSE.

1.9. CONTRACTOR TO PROVIDE A MINIMUM OF 24 HRS NOTICE PRIOR TO INSPECTION OR WITNESS TESTS.

1.10. CONTRACTOR IS RESPONSIBLE FOR ANY RESTORATION REQUIRED AS A RESULT OF DAMAGE DONE DURING CONSTRUCTION TO CITY INFRASTRUCTURE. THIS INCLUDES CURB, GUTTER, SIDEWALK, PAVEMENT, ROAD MARKING (LINE PAINTING AND CURB PAINTING) AND BOULEVARD RESTORATION AS REQUIRED.

1.11. PRE-CONSTRUCTION MEETING TO BE HELD PRIOR TO COMMENCEMENT OF ANY FRONTAGE WORKS INCLUDING SIDEWALKS, CURBS AND BOULEVARD.

2. TRAFFIC MANAGEMENT

2.1. THE CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN TO THE CITY OF VICTORIA IN ACCORDANCE WITH MOTI TMM A MINIMUM OF 5 BUSINESS DAYS PRIOR TO THE BEGINNING OF OFFSITE WORKS.

2.2. THE CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES UNLESS OTHERWISE PERMITTED BY THE MUNICIPALITY.

2.3. ACCESS TO PRIVATE PROPERTY SHALL BE MAINTAINED. THE CONTRACTOR SHALL ACCOMMODATE FOOT ACCESS AT ALL TIMES. CONTRACTOR TO PROVIDE 24 HOURS NOTICE TO RESIDENCES IF VEHICULAR ACCESS CAN NOT BE MAINTAINED. VEHICLE ACCESS MUST BE RESTORED PRIOR TO THE END OF THE WORKING DAY.

3. PUBLIC IDENTIFICATION

3.1. THE PUBLIC NOTICE SHALL BE DISTRIBUTED A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCING OF CONSTRUCTION.

3.2. THE PUBLIC NOTICE IS TO BE PREPARED BY THE CONTRACTOR AND PRESENTED TO THE ENGINEER FOR REVIEW PRIOR TO THE DISTRIBUTION TO RESIDENCES.

3.3. THE PUBLIC NOTICE SHALL IDENTIFY THE PROJECT, EXPECTED CONSTRUCTION PERIOD AND PROVIDE CONTACT INFORMATION FOR THE CONTRACTOR, ENGINEER AND THE MUNICIPALITY.

3.4. THE PUBLIC NOTICE SHALL BE HAND DELIVERED TO ALL RESIDENTS AND BUSINESSES WITHIN ONE BLOCK OF THE PROJECT LIMITS.

4. ENVIRONMENTAL PROTECTION

4.1. TO PROTECT THE SOIL, WATER, AND VEGETATIVE RESOURCES OF THE DEVELOPMENT ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION OF THE WORKS AND SERVICES CONTAINED IN THE ENGINEERING DRAWINGS ARE TO BE DISTURBED.

PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR CONTROLLING EROSION AND SEDIMENT TRANSFER BY UTILIZING SUCH MEASURES AS CONSTRUCTION OF INTERCEPTOR DITCHES, SILT FENCES, HAY BALE STRUCTURES, SEDIMENT CONTROL PONDS, SEDIMENT TRAPS, STAGED GRAVEL FILTERS, OR OTHER METHODS HE MAY DEEM NECESSARY TO PREVENT DISCHARGE OF SEDIMENT INTO WATERCOURSES.

PRIOR TO SUBSTANTIAL COMPLETION THE CONTRACTOR SHALL PREPARE AND REVIEW WITH THE OWNER A PLAN WHEREBY THE OWNER WILL UPON FINAL COMPLETION ASSUME RESPONSIBILITY FOR ONGOING EROSION AND SEDIMENT CONTROL MEASURES ON THIS SITE.

THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR DAMAGES RESULTING FROM IMPROPER EROSION AND SEDIMENT CONTROL MEASURES UNDERTAKEN BY THE CONTRACTOR.

4.2. ENVIRONMENTAL PROTECTION MEASURES TO BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.

4.3. CONTRACTOR TO OBTAIN PERMIT PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY.

4.4. DUE TO RECENT CHANGES TO PROVINCIAL LEGISLATION RELATED TO SOIL RELOCATION AND SOIL RECEIVING SITES THAT CAME INTO EFFECT ON MARCH 1, 2023, THE APPLICANT IS REQUIRED TO RETAIN THE SERVICES OF A QUALIFIED PROFESSIONAL FOR ANY PROJECT REQUIRING EXCAVATION AND DISPOSAL OF ANY VOLUME OF SOIL FOR THE PURPOSE OF CHARACTERIZING THE SOIL AND DETERMINING A SUITABLE DISPOSAL FACILITY. THE SOIL ASSESSMENT MUST INCLUDE SAMPLES FROM PROPOSED SERVICE TRENCH LOCATIONS, WITH A REPORT TO BE PROVIDED TO THE CITY. THIS IS REQUIRED TO ALLOW THE CITY TO PROVIDE THE MOST ACCURATE ESTIMATE AND TO INSTALL THE NEW SERVICES MOST EFFICIENTLY. ADDITIONALLY, SOIL FROM A PROPERTY WITH A CURRENT OR FORMER BC CSR SCHEDULE 2 ACTIVITY MUST COMPLY WITH PROVINCIAL SOIL RELOCATION REQUIREMENTS, INCLUDING THE ONE WEEK NOTIFICATION PERIOD PRIOR TO SOIL RELOCATION.

5. HYDRO/TELEPHONE/CABLE/STREETLIGHTING

5.1. HYDRO/TEL/CABLE SERVICING AND STREETLIGHT DESIGN ARE SHOWN SCHEMATICALLY ON THESE PLANS. REFER TO UTILITIES PLANS FOR DETAILED INSTRUCTIONS.

6. QUALITY ASSURANCE TESTING

6.1. CONTRACTOR SHALL RETAIN AND PAY THE SERVICES OF A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEER FOR QUALITY ASSURANCE TESTING DURING CONSTRUCTION IN MUNICIPAL RIGHT-OF-WAY AND SHALL AT A MINIMUM PROVIDE:

a) SIEVE ANALYSIS OF SANDS AND AGGREGATES TO BE USED IN THE WORK
b) STANDARD PROCTOR DENSITY CURVES FOR BACKFILL MATERIALS
c) STANDARD PROCTOR DENSITY CURVES FOR APPROVED BORROW MATERIALS
d) COMPACTION TESTS:
   1) TRENCH BEDDING (MAINLINE) – ONE FOR EVERY 75 M OF TRENCH
   2) TRENCH BACKFILL (MAINLINE) – ONE FOR EVERY 75 M OF TRENCH
   3) TRENCH BEDDING (SERVICE) – ONE PER DAY
   4) TRENCH BACKFILL (SERVICE) – ONE PER DAY
e) GRANULAR BASE (SIDEWALKS/CURBS/GUTTER) – ONE FOR EVERY 50m
f) CONCRETE MIX DESIGN
g) CONCRETE STRENGTH TESTS
   1) ONE PER 150m OF SIDEWALK AND/OR CURB AND GUTTER, MINIMUM OF ONE PER DAY DURING CONCRETE PLACING.
h) ASPHALT MIX DESIGN
i) ASPHALT TESTING
   1) AGGREGATE GRADATION TESTS – ONE PER EACH 300 TONNES OF PRODUCTION (MINIMUM ONE PER DAY DURING ASPHALT PLACEMENT).
   2) MARSHALL TEST – THREE BRIQUETTES FOR EVERY 300 TONNES OF PRODUCTION (MINIMUM ONCE PER DAY DURING ASPHALT PLACEMENT)
   3) COMPACTION – ONE CORE FOR EACH 500 SQ. M.

7. TRENCHING, EXCAVATING, AND BACKFILLING

7.1. EXISTING UTILITIES SHOWN ARE AS PER MUNICIPAL RECORDS. THE CONTRACTOR SHALL EXPOSE ALL CROSSINGS PRIOR TO COMMENCING CONSTRUCTION. SHOULD ANY CONFLICT OR DISCREPANCIES ARISE, THE CONTRACT SHALL NOTIFY THE ENGINEER IMMEDIATELY.

7.2. CONTRACTOR TO OBTAIN PERMIT PRIOR TO DEPOSIT OR REMOVAL OF MATERIALS ON THIS SITE.

7.3. ALL SERVICES SHALL BE INSPECTED BY THE ENGINEER AND/OR MUNICIPAL INSPECTOR PRIOR TO BACKFILLING.

7.4. CONTRACTOR TO ENSURE EXISTING SERVICES REMAIN IN SERVICE DURING CONSTRUCTION.

8. WATER

8.1. CONSTRUCTION SHALL NOT PROCEED WITHOUT FIRST RECEIVING 'APPROVED FOR CONSTRUCTION' DRAWINGS.

8.2. CONTRACTOR SHALL BE REGISTERED WITH WORK SAFE BC.

8.3. ALL WATERWORKS CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF VICTORIA WATER SERVICES ENGINEERING SPECIFICATIONS AND STANDARD DRAWINGS.

a) ALL PRIVATE DOMESTIC WATERWORKS CONSTRUCTION, TESTING AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST BC PLUMBING CODE SPECIFICATIONS (SECTION 2.7.7.2). PRIVATE WATERMAIN SYSTEMS SHALL BE WATER PRESSURE TESTED AT 100 PSI FOR 2 HOURS WITH NO MEASURABLE LEAKAGE.

8.1. WATER MAINS TO BE DUCTILE IRON PRESSURE CLASS 350 TO AWWA C151 OR PVC CLASS 150 TO AWWA C900.

8.2. PROVIDE A MINIMUM OF 0.9m COVER FOR WATER MAINS.

8.3. WATER MAINS SHALL BE MARKED BELOW GRADE USING A METALLIC DETECTABLE REINFORCED UNDERGROUND UTILITY MARKING TAPE. THE TAPE SHALL BE MINIMUM 150mm WIDE, METALLIC BLUE IN COLOUR AND SHALL BE MARKED "CAUTION: WATER LINE BURIED BELOW". THE TAPE IS TO BE INSTALLED ON TOP OF THE PIPE CUSHION, A MINIMUM OF 300mm ABOVE THE TOP OF THE PIPE. MARKING TAPE SHALL BE "THOMTEC" OR APPROVED EQUAL.

8.4. A MINIMUM OF 1.5m HORIZONTAL CLEAR SEPARATION AND 450mm CLEAR VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ALL SANITARY SEWERS/SERVICES AND DRAIN SEWERS/SERVICES EXCEPT WHERE NOTED AND APPROVED. SANITARY SEWER MAINS SHALL NOT CROSS OVER WATER MAINS. FOR A SANITARY FORCEMAIN, WHERE THE ABOVE-NOTED SEPARATIONS CAN NOT BE ACHIEVED, THE FORCEMAIN SHALL BE GASKETED PIPE PRESSURE RATED PIPE WITH A MINIMUM DR (DIMENSION RATIO) OF 28.

8.5. A MINIMUM OF 1.5m HORIZONTAL CLEAR SEPARATION AND 450mm CLEAR VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER SERVICES AND ALL SANITARY SEWERS AND DRAIN SEWER SERVICES. WHERE A SANITARY SEWER OR STORM DRAIN SERVICE IS LOWER THAN A WATER SERVICE BY MORE THAN 450mm IN ELEVATION THE HORIZONTAL OFFSET MAY BE REDUCED TO NO LESS THAN 1.0m EXCEPT WHERE NOTED AND APPROVED.

8.6. FOR CROSSING OF EXISTING SEWERS, WHERE THE WATER MAIN DOES NOT HAVE THE REQUIRED 450mm VERTICAL SEPARATION, WRAP THE SEWER JOINTS WITH PETROLEUM TAPE 1.5m EITHER SIDE OF THE WATER MAIN. WHERE A VERTICAL SEPARATION OF 150mm CAN NOT BE ACHIEVED, SPECIAL MITIGATIVE MEASURES MAY BE APPROVED BY CONSULTING ENGINEER.

8.7. A MINIMUM OF 1.5m HORIZONTAL CENTRE TO CENTRE AND 150mm CLEAR VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ELECTRICAL CONDUITS, GAS MAINS AND TELEPHONE CONDUITS EXCEPT WHERE NOTED.

8.8. A MINIMUM OF 1.0m HORIZONTAL CENTRE TO CENTRE AND 150mm CLEAR VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER SERVICES AND ELECTRICAL, GAS AND TELEPHONE SERVICES EXCEPT WHERE NOTED.

8.9. CONTRACTOR SHALL FLUSH AND DISINFECT WATER MAINS IN ACCORDANCE WITH AWWA STANDARDS AND AS APPROVED BY CONSULTANT. SAMPLES FOR HEALTH TESTS TO BE COLLECTED AND PROCESSED BY CONSULTANT.

8.10. CHLORINE SOLUTIONS SHALL BE NEUTRALIZED IN ACCORDANCE WITH THE MINISTRY OF ENVIRONMENT AND DEPARTMENT OF FISHERIES & OCEANS CANADA PRIOR TO DISCHARGE TO ANY DRAINAGE COURSE.

8.11. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO CONSULTING ENGINEER PRIOR TO PROCEEDING WITH ANY WATERWORKS.

8.12. CITY OF VICTORIA CREWS SHALL MAKE ALL CONNECTIONS TO EXISTING WATER MAINS AT APPLICANT'S EXPENSE. CONTRACTOR SHALL PROVIDE 2 WEEKS MINIMUM NOTICE TO CONSULTING ENGINEER FOR WORK REQUIRED BY CITY OF VICTORIA CREWS.

8.13. WHERE PRACTICAL, SERVICES LINES AND METER BOXES SHALL BE INSTALLED TO FINISHED GRADE, OUTSIDE OF DRIVEWAYS OR PAVED AREAS.

8.16. WATER SERVICE CONNECTION OF 50MM OR LESS IN DIAMETER SHALL BE MUNICIPEX EXCEPT WHERE NOTED AND APPROVED BY CONSULTING ENGINEER.

9. SEWER AND DRAIN

9.1. ALL PIPE BEDDING AS PER MMCD STANDARD DETAIL DRAWING G4.

9.2. ALL DRAIN AND SEWER MAINS SHALL BE PVC SDR 35 UNLESS NOTED OTHERWISE.

9.3. ALL DRAIN AND SEWER SERVICES SHALL BE PVC SDR 28 UNLESS NOTED OTHERWISE.

9.4. CONTRACTOR TO ENSURE ALL SEWERS AND DRAINS WITHIN PUBLIC ROAD RIGHT OF WAYS TO HAVE A MINIMUM 1.0 M OF COVER UNLESS NOTED OTHERWISE.

9.5. ALL MANHOLES TO BE 1050 MM DIAMETER UNLESS NOTED OTHERWISE.

9.6. ALL SEWER MAINS TO BE LOW PRESSURE AIR TESTED IN ACCORDANCE WITH MMCD.

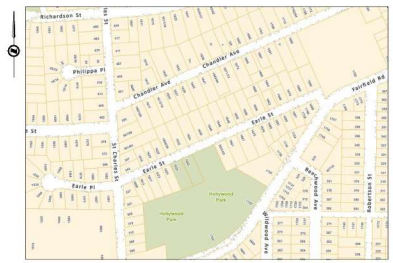
9.7. ALL PRIVATE SEWER MAINS TO BE WATER OR AIR PRESSURE TESTED AS PER BC PLUMBING CODE SPECIFICATIONS (SECTION 2.3.6.4 AND 2.3.6.5)

9.8. ALL SANITARY AND STORM MAINS TO BE FLUSHED AND CCTV INSPECTED AFTER CONSTRUCTION AS PER MUNICIPAL STANDARDS.

10. GAS

10.1. GAS SERVICING IS SHOWN SCHEMATICALLY ON THESE PLANS. REFER TO FORTIS BC PLANS FOR DETAILED INSTRUCTIONS. MIN. COVER 600mm ON ALL GAS MAINS. 1.5m HORIZONTAL SEPARATION FROM WATER MAINS AND SERVICES, 1.0m SEPARATION FROM OTHER SERVICES.

10.2. CALL BC ONE CALL MINIMUM 72 HOURS PRIOR TO EXCAVATION 1-800-474-6886.



KEY PLAN
NTS

LEGAL DESCRIPTION: PLAN THE EAST 1/2 OF LOT 18, SECTION 6B, VICTORIA DISTRICT, PLAN 290

BENCHMARK: MON, 10-90
ELEV. 14.363m

SITE SERVICING PLAN - TYPE B
ISSUED FOR BUILDING PERMIT

1:200 (0, 4, 12m)

ISSUED						REVISION					
1.	ISSUED FOR BUILDING PERMIT	20260203	CK	JA	CK	A	UPDATED ARCHITECT BACKGROUND	20260203	CK	JA	CK
NO.	DESCRIPTION	YYYYMMDD	DE	DA	CK	NO.	DESCRIPTION	YYYYMMDD	DE	DA	CK

LEGEND

LAMP STANDARD	LS	CLEANOUT	DITCH
POLE(Hydro, Tel.)	PP	CATCHBASIN	METER
U/G WIRING	UE	MANHOLE	FLUSH VALVE
GAS	G	SERVICE RISER	VALVE
WATER	W	MOUNTABLE CURB	REDUCER
SEWER	S	NON-MOUNT. CURB	HYDRANT
DRAIN	D	EDGE ASPHALT	AIR VALVE

JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

JURISDICTION: CITY OF VICTORIA

T. C. KILLIP # 60157 ENGINEERS SEAL

CLIENT: STONEHILL LANDCORP

PROJECT: 1640 EARLE STREET
SITE SERVICING PLAN

35301 01 C1

MUN. FILE SHEET 1 OF 1