



Le PARC

FAIRFIELD-KIPLING

9 - UNIT TOWN HOME DEVELOPMENT

1400 Fairfield Rd and 349 Kipling St, Victoria, BC

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| A5.1 | Concept Renderings | NTS |
| 28 | Sheets in Set | |

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REPORT INCONSISTENCIES AND
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Revisions

Received Date:
December 19, 2022

| Issued | |
|------------|----------------------------|
| 2021-07-20 | Revised & Re-Issued for DP |
| 2021-11-21 | Revised & Re-Issued for DP |
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Cover Sheet

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/TD

Plot Date: Nov 29, 2022

Scale: NTS

Sheet No:

A1.0

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Survey Plan

Project Name:

Fairfield-Kipling
Development

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349 Kipling St

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PID:

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Plot Date: Nov 29, 2022

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Sheet No:

A1.1

SITE PLAN

BART JOHNSON

Lots 13 & 35, Fairfield Farm
Estate, Victoria City,
Plan 884

ADDRESS : 1400 Fairfield/ 351 Kipling

PROJECT SURVEYOR : PJW

DRAWN BY : BAR DATE : OCT 2/18

OUR FILE : 31517 REVISION :



J.E. ANDERSON
& ASSOCIATES
SURVEYORS - ENGINEERS

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VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER

LEGEND

- Denotes Control Monument Found
- Denotes Traverse Station Placed
- Denotes Catch Basin
- Denotes Coniferous Tree
- Denotes Deciduous Tree
- Denotes Typical Spot Elevation
- Denotes Utility Pole
- Denotes Water Service

Table of Tree Descriptions

| Tag # | Species | Diameter |
|--------|-----------|-------------|
| #242 | Deciduous | 60cm |
| #252 | Deciduous | 45cm |
| #253 | Deciduous | 50cm |
| #254 | Deciduous | 30cm |
| #285 | Cedar | 40cm |
| #286 | Cedar | 40cm |
| #287 | Deciduous | 30cm (Twin) |
| #288 | Cedar | 30cm (Twin) |
| #289 | Cedar | 30cm |
| #290 | Cedar | 45cm (Twin) |
| No tag | Monkey | 30cm |
| No tag | Fruit | 25cm |
| No tag | Deciduous | 10cm |
| No tag | Deciduous | 10cm |
| No tag | Cherry | 25cm |
| No tag | Cherry | 45cm |
| No tag | Pine | 25cm |

Legal boundaries are derived from field survey

Distances and elevations are in metres.

Elevations are geodetic based on control monument 9-68.

Elevations are at grade unless noted otherwise.

Building dimensions and offsets to property lines are shown to
exterior of building walls.

0 2 4 8 12 16 20
The intended plot size of this plan is 432mm in width by 560mm
in height, (C size), when plotted at a scale of 1:200.

FOR DEVELOPMENT APPLICATION ONLY

Thurlow Road

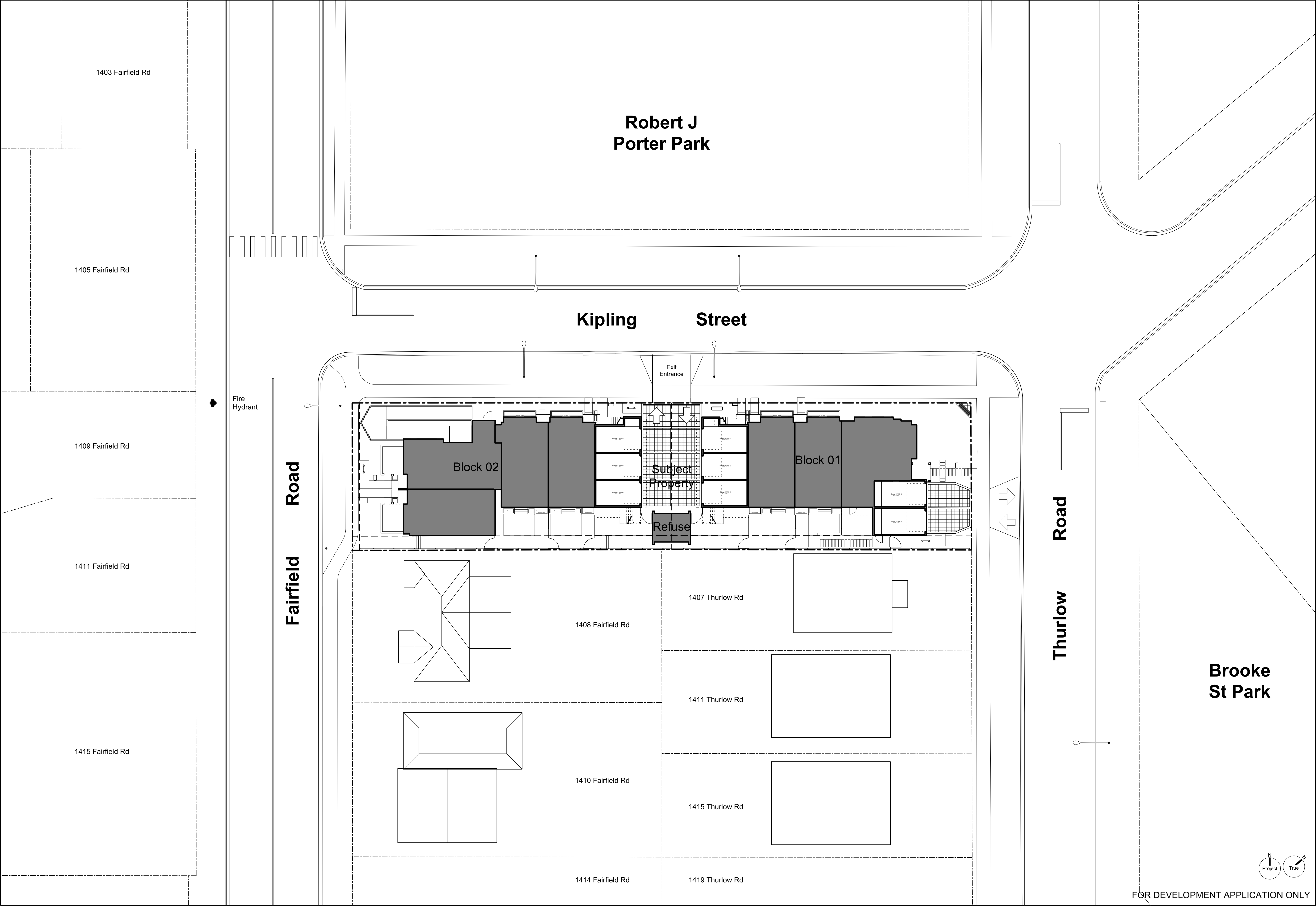
Street

Kipling

Fairfield Road

This sketch does not constitute a redefinition of the legal boundaries
hereon described and is not to be used in any matter which would assume same.
J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a
third party as a result of any decision made, or actions taken based on this document.
Subject to charges, legal notations, and interests shown on: Title No. ET59777 (P.I.D. 008-292-345) Lot 13
Title No. CA6094211 (P.I.D. 005-209-510) Lot 35

V:_Projects\31517\08\02\Microsurvey\31517.dwg



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Context Plan

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
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Project No: 19.015

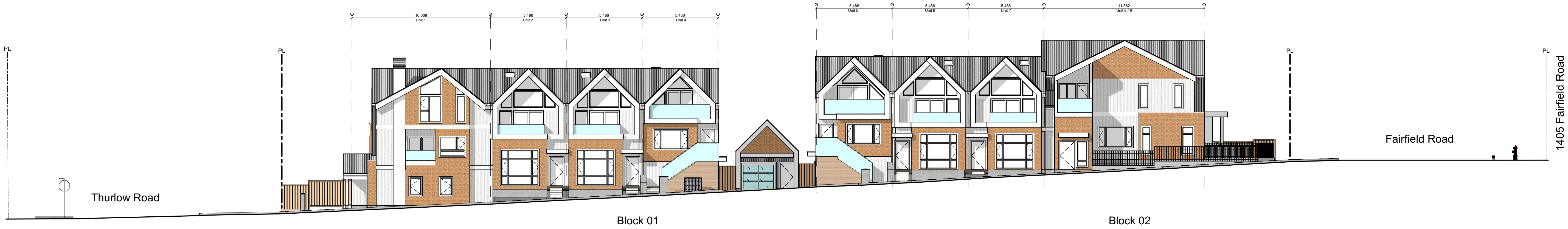
Drawn By: SG/TD

Plot Date: Nov 29, 2022

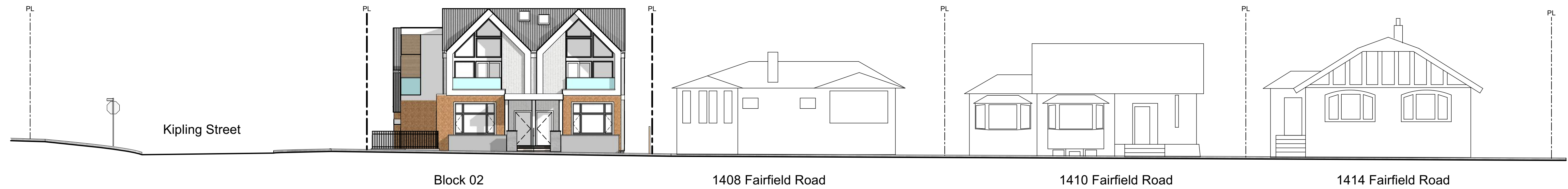
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Sheet No:

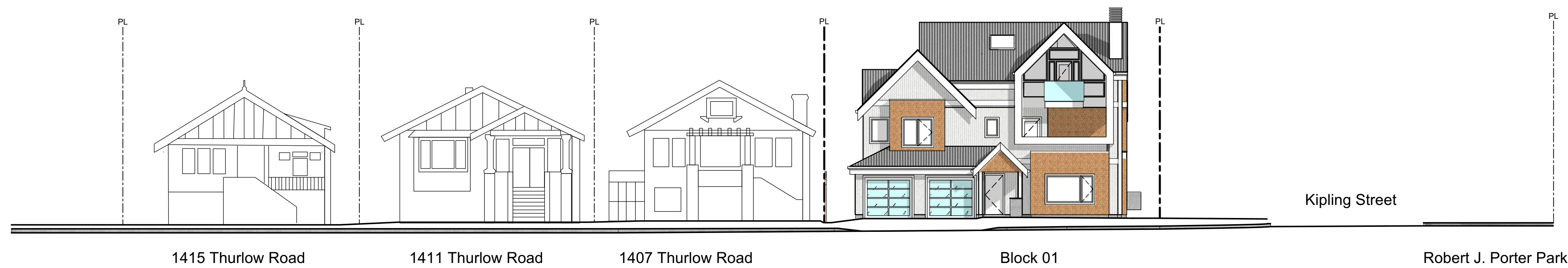
Brooke St. Park



1 Streetscape Kipling Street
Scale: 1:150



2 Streetscape Fairfield Road
Scale: 1:150



3 Streetscape Thurlow Road
Scale: 1:150

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Context Streetscape

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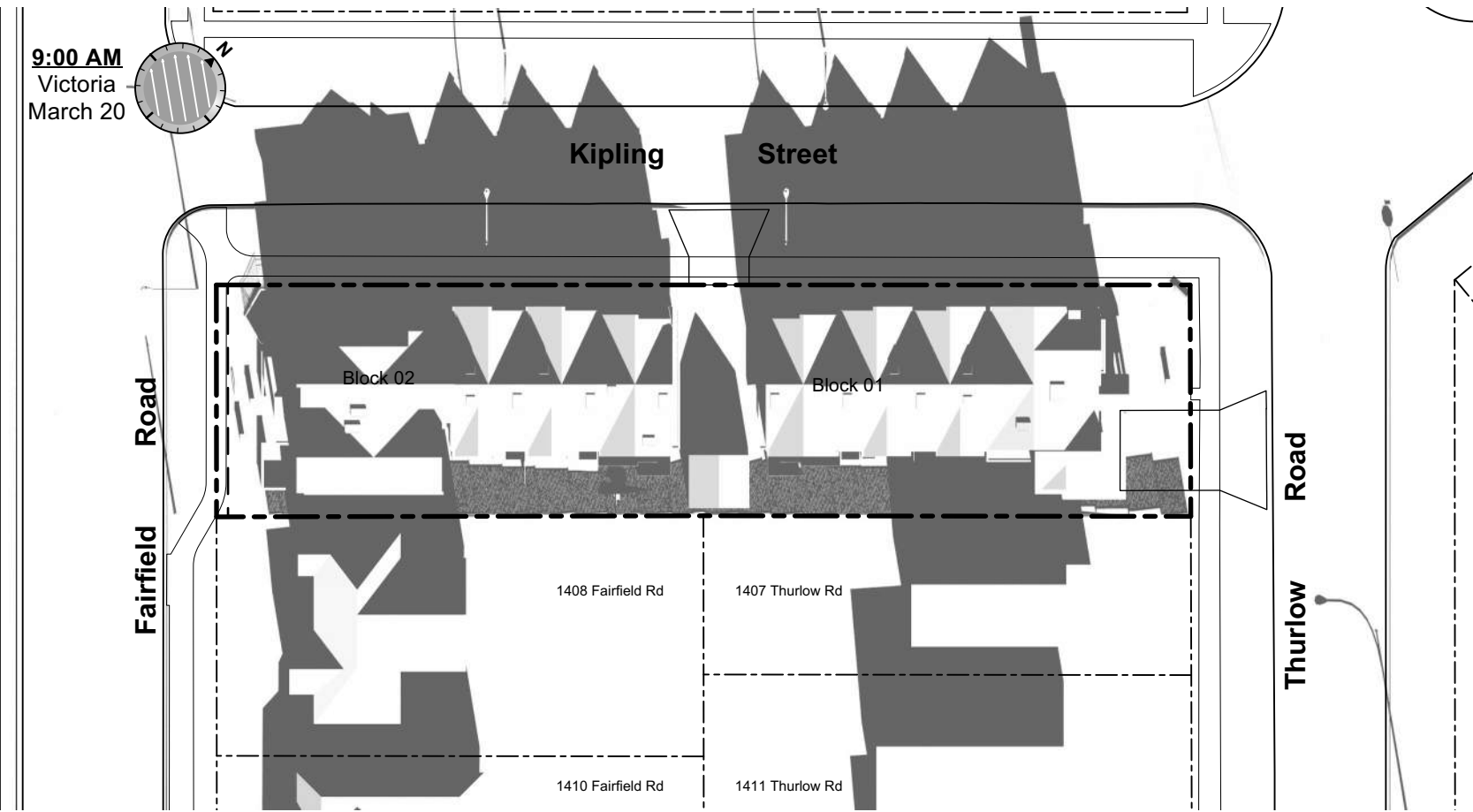
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Plot Date: Nov 29, 2022

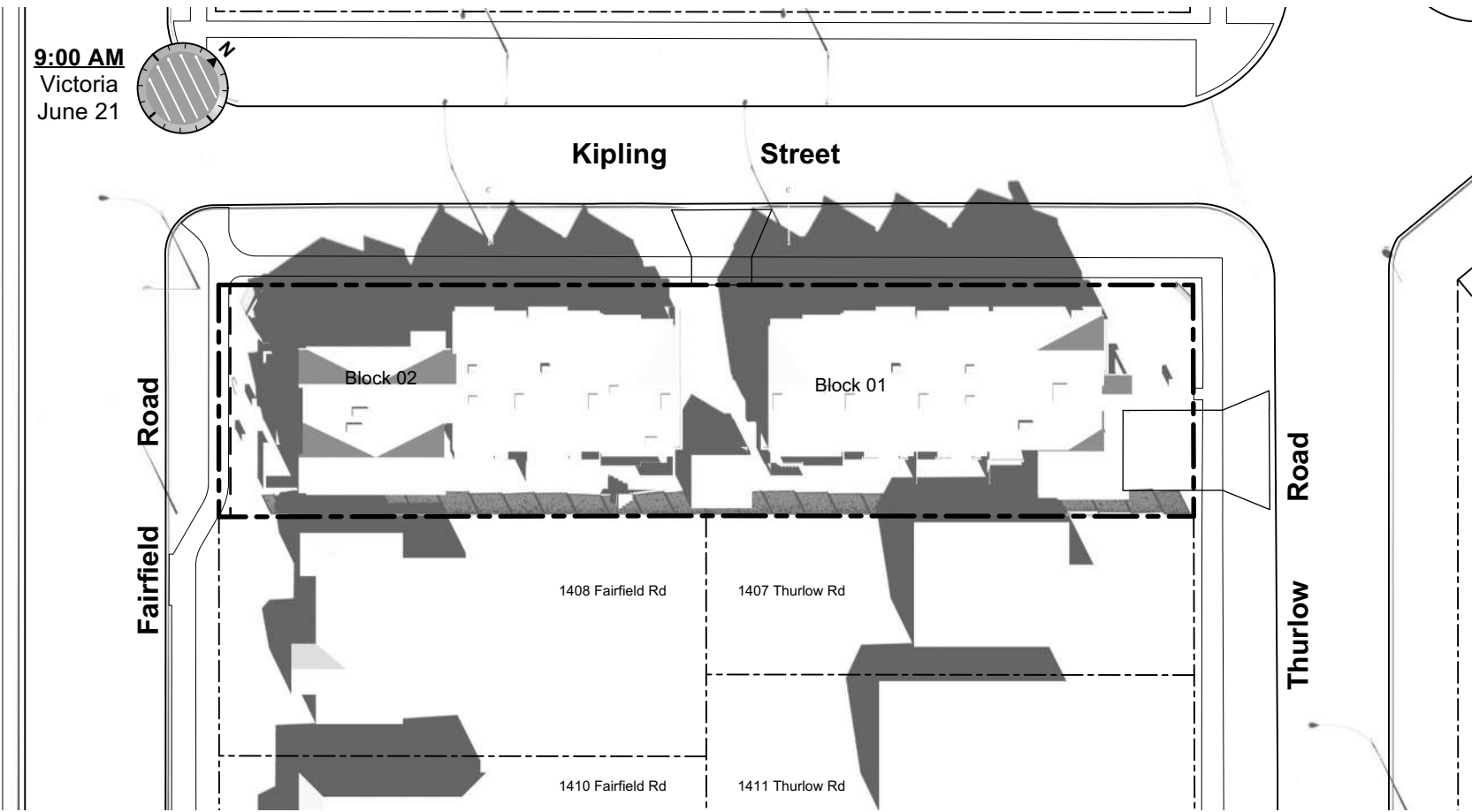
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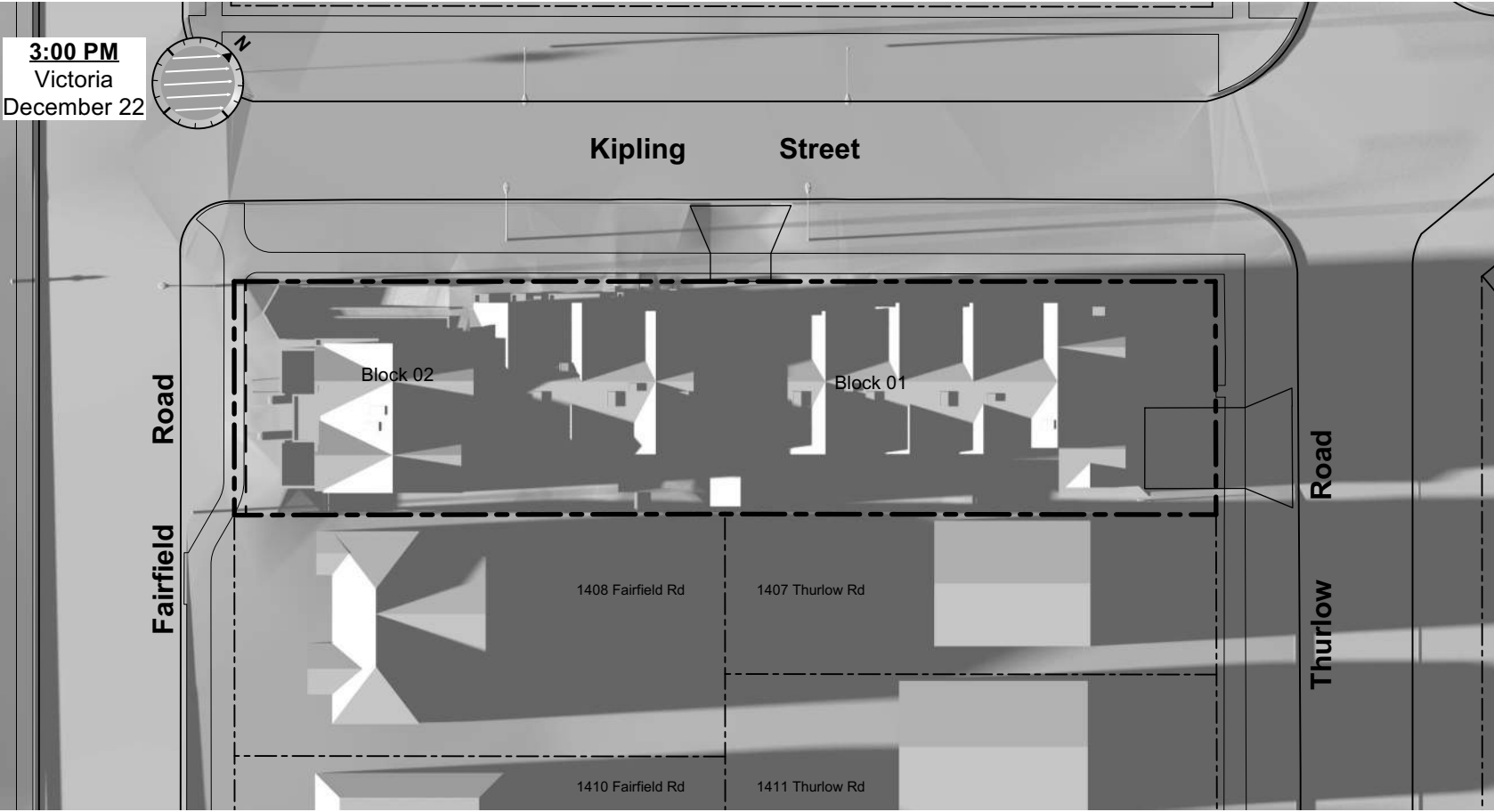
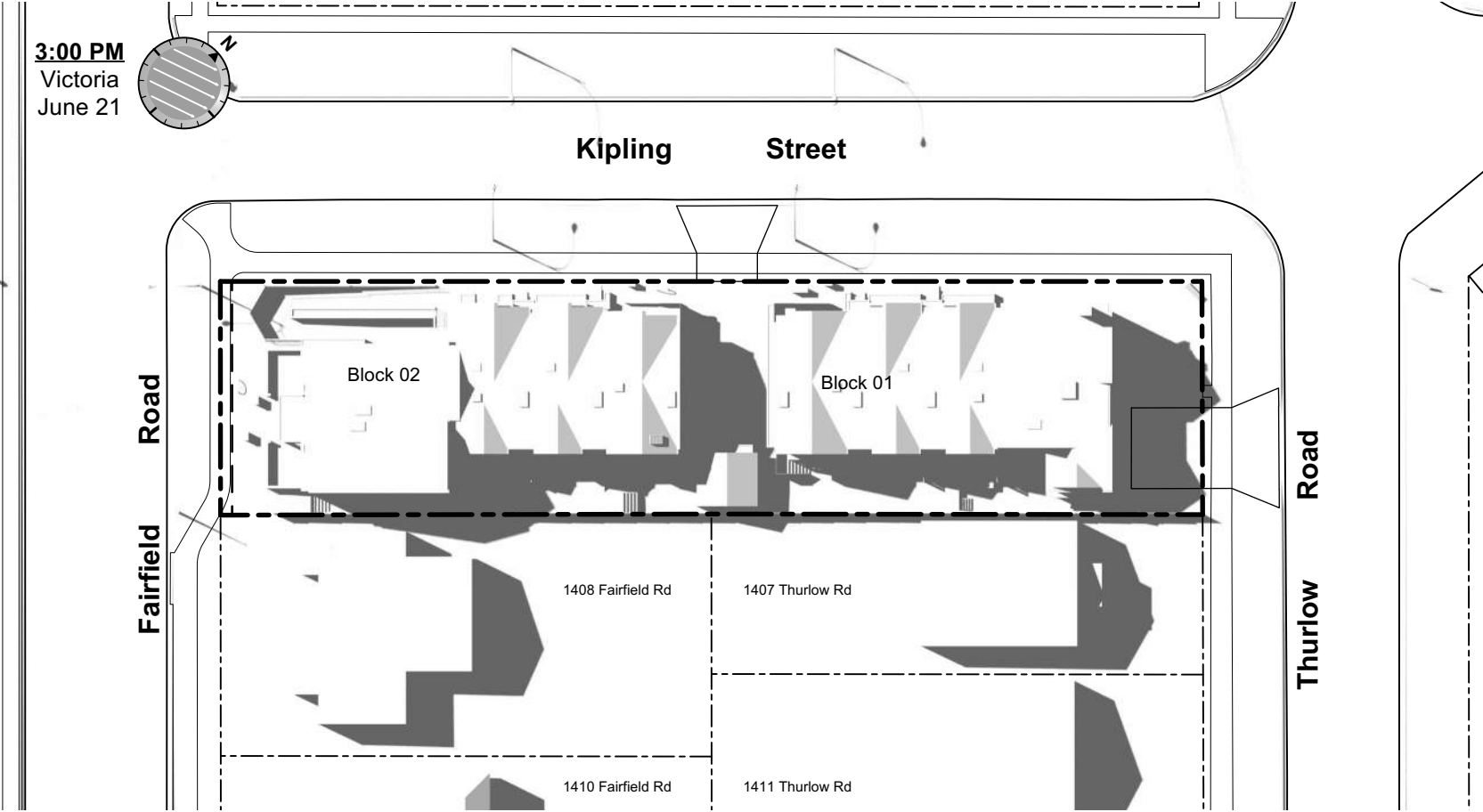
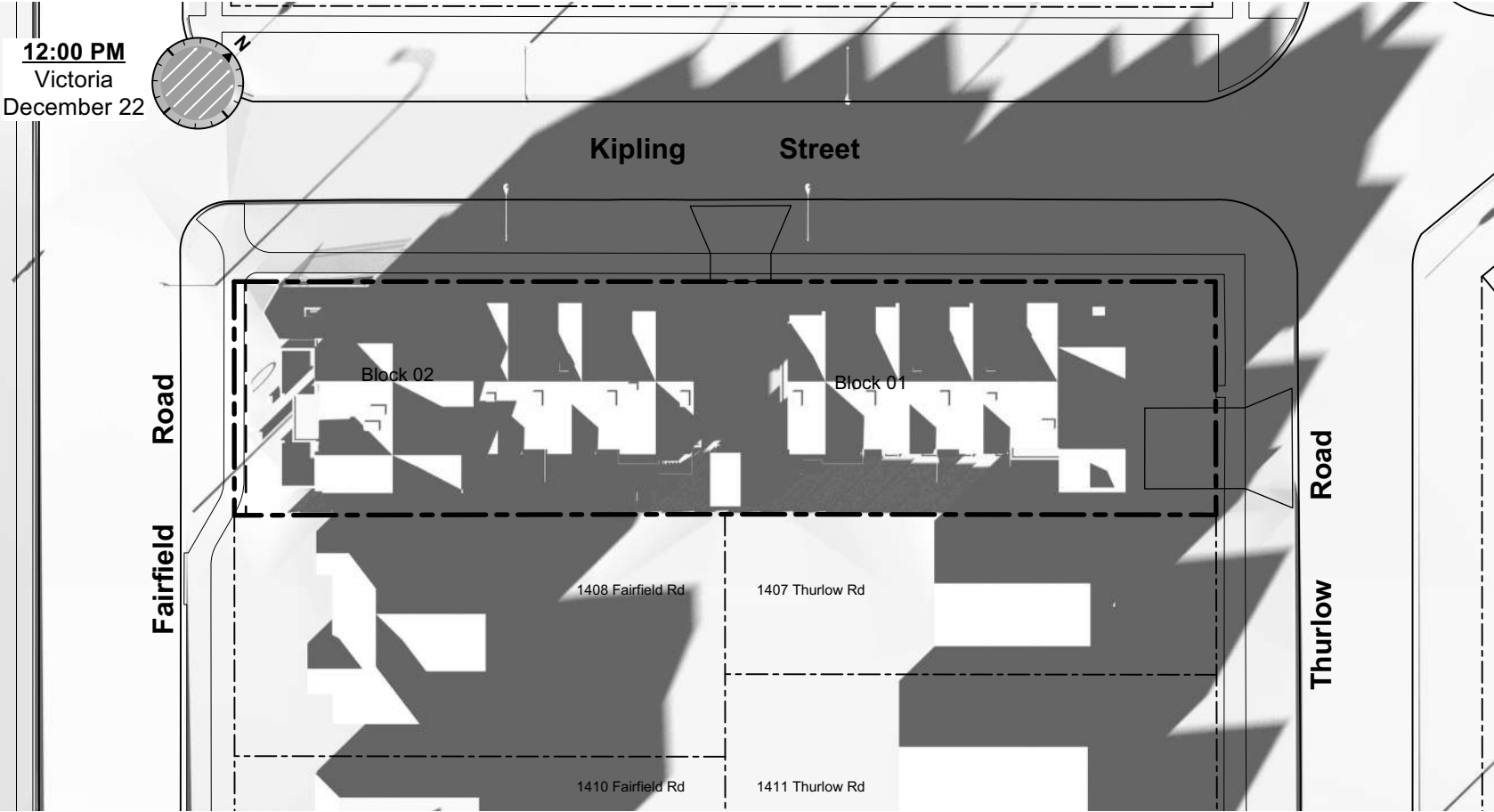
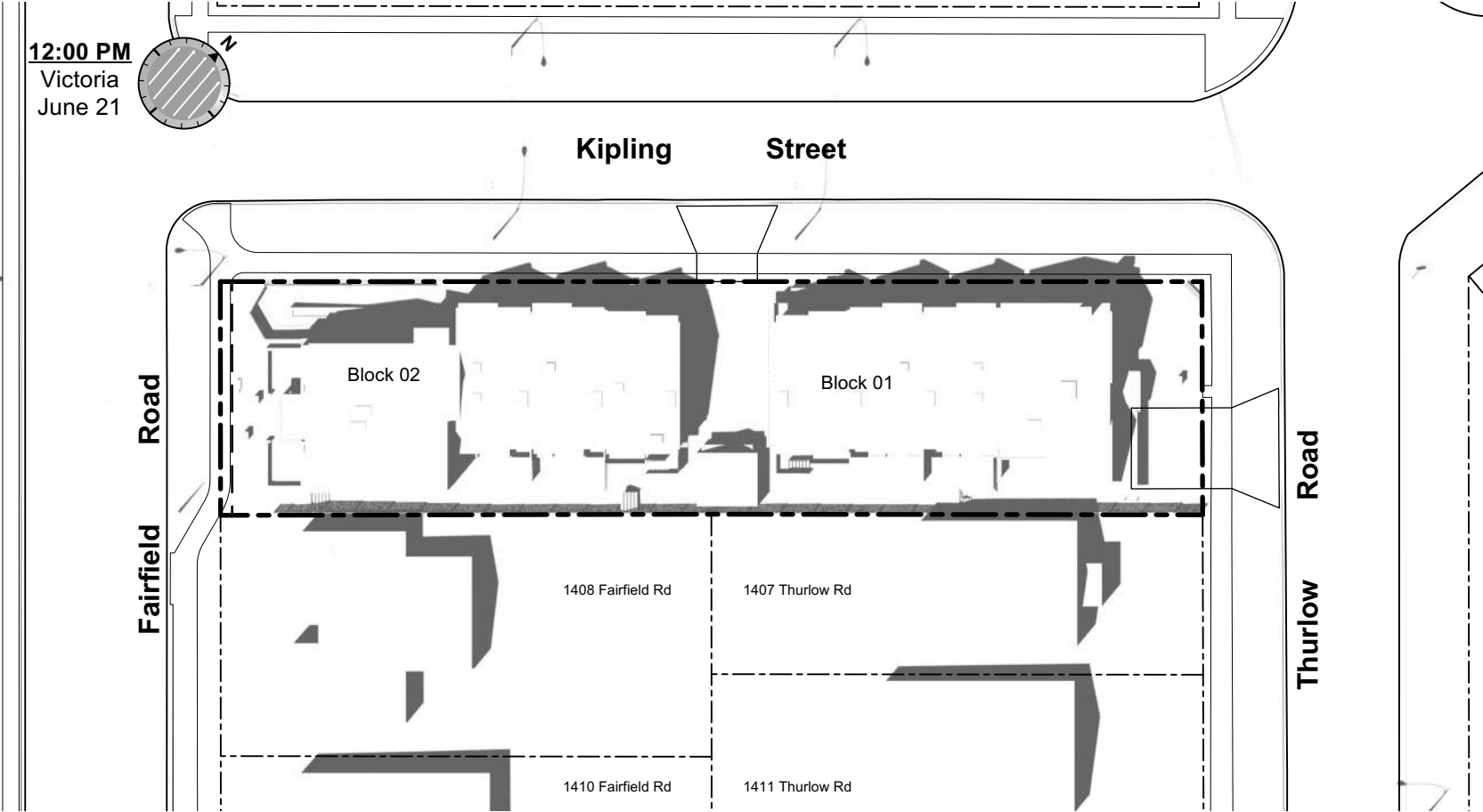
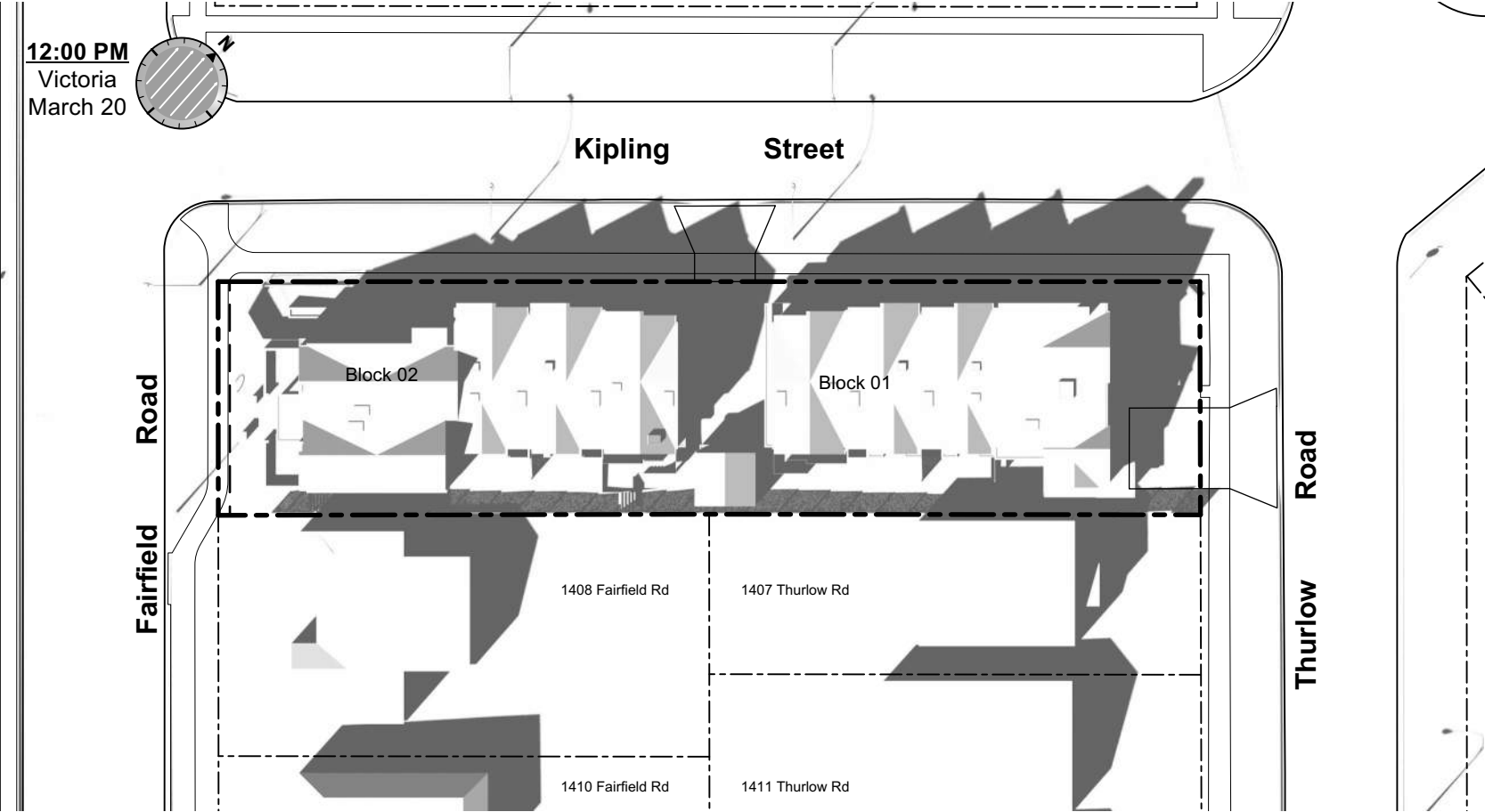
March Equinox



June Solstice



December Solstice



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Plot Date: Nov 29, 2022

Scale: (1:120) 1" = 10'-0"

Sheet No:

Solar Study



- Legend
- | No. | Description |
|-----|--|
| 1 | Ready for solar panels (rough-in) |
| 2 | Ready for electric car charging outlets (rough-in) |
| 3 | Water efficient landscaping |
| 4 | Enhanced Bike Parking |
| 5 | Enhanced natural light |
| 6 | Energy efficient light fixtures |
| 7 | Water efficient plumbing fixtures |
| 8 | Low-VOC interior finishes |

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Sustainability Strategy

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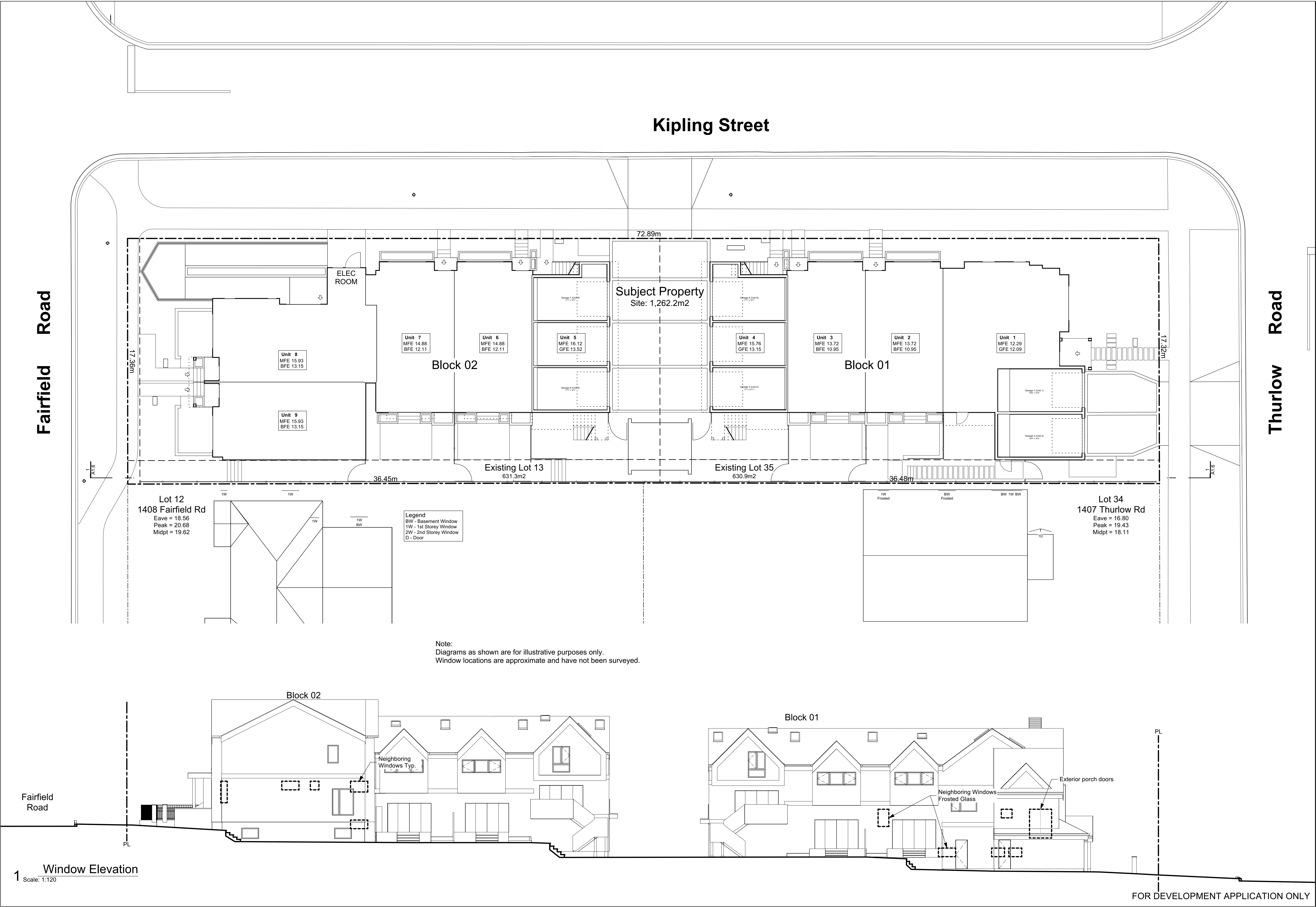
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Neighbouring
Window Overlay

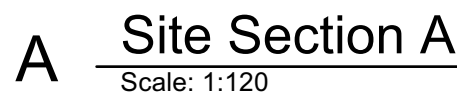
| | |
|---|---------------------|
| Project Name: | |
| Fairfield-Kipling Development | |
| Civic: 1400 Fairfield Rd & 349 Kipling St | |
| Legal: | |
| PID: | |
| Project No: | 19.015 |
| Drawn By: | SG/TD |
| Plot Date: | Nov 29, 2022 |
| Scale: | (1:120) 1" = 10'-0" |
| Sheet No: | |



| Tag | Name | Action | DBH (cm) | Spread (m) |
|-----|-------------------|-----------------|----------|------------|
| 695 | Apple | Remove | 4.0 | 3.5 |
| 799 | Monkey Puzzle | Remove | 31.0 | 5.0 |
| 800 | Blue Spruce | Remove | 25.0 | 5.0 |
| 898 | Western Red Cedar | Remove | 42.0 | 5.0 |
| 903 | Western Red Cedar | Remove | 42.0 | 4.0 |
| 912 | Big Leaf Maple | Remove | 46.0 | 12.0 |
| 913 | Western Red Cedar | Remove | 37.0 | 5.0 |
| 914 | Western Red Cedar | Remove | 33.0 | 4.0 |
| 915 | Western Red Cedar | Remove | 51.0 | 10.0 |
| 916 | Ash | Remove | 55.0 | 14.0 |
| NT1 | Japanese Cherry | Remove | 48.0 | 8.0 |
| NT3 | Ginkgo | Retain | 7.0 | 2.0 |
| NT4 | Ash | Remove | 3.0 | 1.0 |
| NT5 | Red Maple | Retain | 8.0 | 2.0 |
| NT6 | Scarlet Oak | Remove | 4.0 | 2.0 |
| NT7 | Red Maple | Retain | 47.0 | 10.0 |
| NT8 | Red Maple | Retain | 49.0 | 10.0 |
| NT9 | Japanese Cherry | Retain | 30.0 | 5.0 |
| NT2 | Cherry Plum | Removed by City | 28.0 | 3.0 |

| | GFA Area (SF) | Zoning Area (SF) | Habitable Half Storey | Site Area (SF) | FAR | Bedrms |
|----------------------------|------------------|---------------------|--------------------------|------------------------------------|-------------|-----------|
| Block 01 (Unit 1-4) | | | | | | |
| Thurlow Cluster | 8,598 | 5,558 | | 6,791 | 0.81 | 11 |
| Basement | 1,239 | 0 | | | | |
| Main Floor | 3,270 | 2,042 | | | | |
| Second Floor | 2,615 | 2,476 | | | | |
| Half Storey | 1,473 | 1,039 | | 50.9% = (Half Storey / Main Floor) | | |
| Garage | 679 | 0 | | | | |
| Block 02 (Unit 5-9) | | | | | | |
| Fairfield Cluster | 10,063 | 5,815 | | 6,796 | 0.85 | 15 |
| Basement | 2,541 | 0 | | | | |
| Main Floor | 3,370 | 2,526 | | | | |
| Second Floor | 2,950 | 2,822 | | | | |
| Half Storey | 518 | 467 | | 18.5% = (Half Storey / Main Floor) | | |
| Garage | 685 | 0 | | | | |
| Refuse | 143 | 0 | | | | |
| Electrical Room | 74 | 74 | | | | |
| Total | 18,803 | 11,447 | | 13,587 | 0.84 | |

| Lot Description | | | | | |
|--|----------------------|-------------------|------------------------|-------------------------|--|
| | Property 1 | | Property 2 | | |
| Civic Address: | 1400 Fairfield Rd. | | 349 Kipling St. | | |
| Legal Address: | Lot 13 Plan 884 | | Lot 35 Fairfield Farm | | |
| | Section Fld Victoria | | Estate Victoria VIP884 | | |
| Existing Zoning: | R1-B | | R1-B | | |
| Site Area: | 631.3 M2 | | 630.9 M2 | Total: 1262.3 M2 | |
| FSR | | | Proposed: 0.84 | | |
| Block 01 | Theoretical Site | 631.3 M2 | 4 Units | 0.81 | |
| Block 02 | Theoretical Site | 630.9 M2 | 5 Units | 0.85 | |
| Site Open Space | | | 39.3% | 495.23 M2 | |
| Block 01 | Theoretical Site | 631.3 M2 | 17.4% | 128.29 M2 | |
| Block 02 | Theoretical Site | 630.9 M2 | 22.0% | 276.83 M2 | |
| Lot Coverage | | | 51.1% | 644.79 M2 | |
| Block 01 | Theoretical Site | 631.3 M2 | 24.3% | 306.56 M2 | |
| Block 02 | Theoretical Site | 630.9 M2 | 25.6% | 322.98 M2 | |
| Refuse | Full Site | 1262.3 M2 | 1.3% | 15.24 M2 | |
| Setbacks | | | Proposed | | |
| Side Yard Corner Lot (Kipling St.) | | | 1.67 m | 5.48 FT | |
| Front Yard (Fairfield Rd.) | | | 4.65 m | 15.26 FT | |
| Rear Yard (Thurlow Rd.) | | | 4.80 m | 15.75 FT | |
| Interior Side Yard | | | 1.66 m | 5.45 FT | |
| Building Height | Maximum | | Proposed | | |
| Block 01 | 8.30 m | 2.5 Stories | 8.27 m | 2.5 Stories | |
| Block 02 | 10.50 m | 2.5 Stories | 8.94 m | 2.5 Stories | |
| Vehicle Parking | Required: | 9.9 stalls | Proposed: | 8 stalls | |
| Dwelling Unit < 45m2 | 0.85 / Unit | 0.0 stalls | 0 stalls | | |
| Dwelling Unit 45m2 - 70m2 | 1.00 / Unit | 0.0 stalls | 0 stalls | | |
| Dwelling Unit >70m2 | 1.45 / Unit | ** 9.00 stalls | 8 stalls | | |
| Visitor | 0.10 / Unit | 0.90 stalls | 0 stalls | | |
| *** In line with attached dwelling parking requirements of 1.0 stall per dwelling unit | | | | | |
| Bicycle Parking | Required: | 17 stalls | Proposed: | 40 stalls | |
| Long Term | 1.25 / Unit | 11 stalls | 34 stalls | See Bike Locker | |
| Short Term | | 6 stalls | 6 stalls | 3 Racks | |



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Site Plan

Project Name: _____

Fairfield-Kipling
Development

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349 Kipling St

Legal:

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Drawn By: SG/TD

Plot Date: Nov 29, 2022

Scale: 1:120

Sheet No: _____

A2.0

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| Floor Area Calculations Unit 1 | | | | |
|--------------------------------|--------------------------------------|-------------------|-------------|------------|
| | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | No Basement as per zoning definition | | | |
| Main Floor | 1,243 sq ft | 115.5 m2 | 801 sq ft | 74.4 m2 |
| Second Floor | 873 sq ft | 81.1 m2 | 813 sq ft | 75.5 m2 |
| Half Storey | 955 sq ft | 88.8 m2 | 579 sq ft | 53.8 m2 |
| Totals: | 3,072 sq ft | 285.4 m2 | 2,193 sq ft | 203.7 m2 3 |
| Garage | 168 sq ft | 15.7 m2 | | |

| Floor Area Calculations Unit 2 | | | | |
|--------------------------------|------------------|-------------------|-------------|------------|
| | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | 622 sq ft | 57.8 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 617 sq ft | 57.3 m2 | 629 sq ft | 58.5 m2 |
| Second Floor | 589 sq ft | 54.8 m2 | 568 sq ft | 52.8 m2 |
| Half Storey | | | | |
| Totals: | 1,828 sq ft | 169.9 m2 | 1,198 sq ft | 111.3 m2 3 |
| Garage | 168 sq ft | 15.7 m2 | | |

| Floor Area Calculations Unit 3 | | | | |
|--------------------------------|------------------|-------------------|-------------|------------|
| | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | 617 sq ft | 57.3 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 616 sq ft | 57.3 m2 | 605 sq ft | 56.2 m2 |
| Second Floor | 589 sq ft | 54.8 m2 | 568 sq ft | 52.8 m2 |
| Half Storey | | | | |
| Totals: | 1,823 sq ft | 169.3 m2 | 1,173 sq ft | 109.0 m2 3 |
| Garage | 172 sq ft | 16.0 m2 | | |

| Floor Area Calculations Unit 4 | | | | |
|--------------------------------|--------------------------------------|-------------------|-----------|-----------|
| | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | No Basement as per zoning definition | | | |
| Main Floor | 794 sq ft | 73.8 m2 | 7 sq ft | 0.6 m2 |
| Second Floor | 563 sq ft | 52.3 m2 | 527 sq ft | 48.9 m2 |
| Half Storey | 518 sq ft | 48.1 m2 | 460 sq ft | 42.8 m2 |
| Totals: | 1,875 sq ft | 174.2 m2 | 994 sq ft | 92.3 m2 2 |
| Garage | 170 sq ft | 15.8 m2 | | |

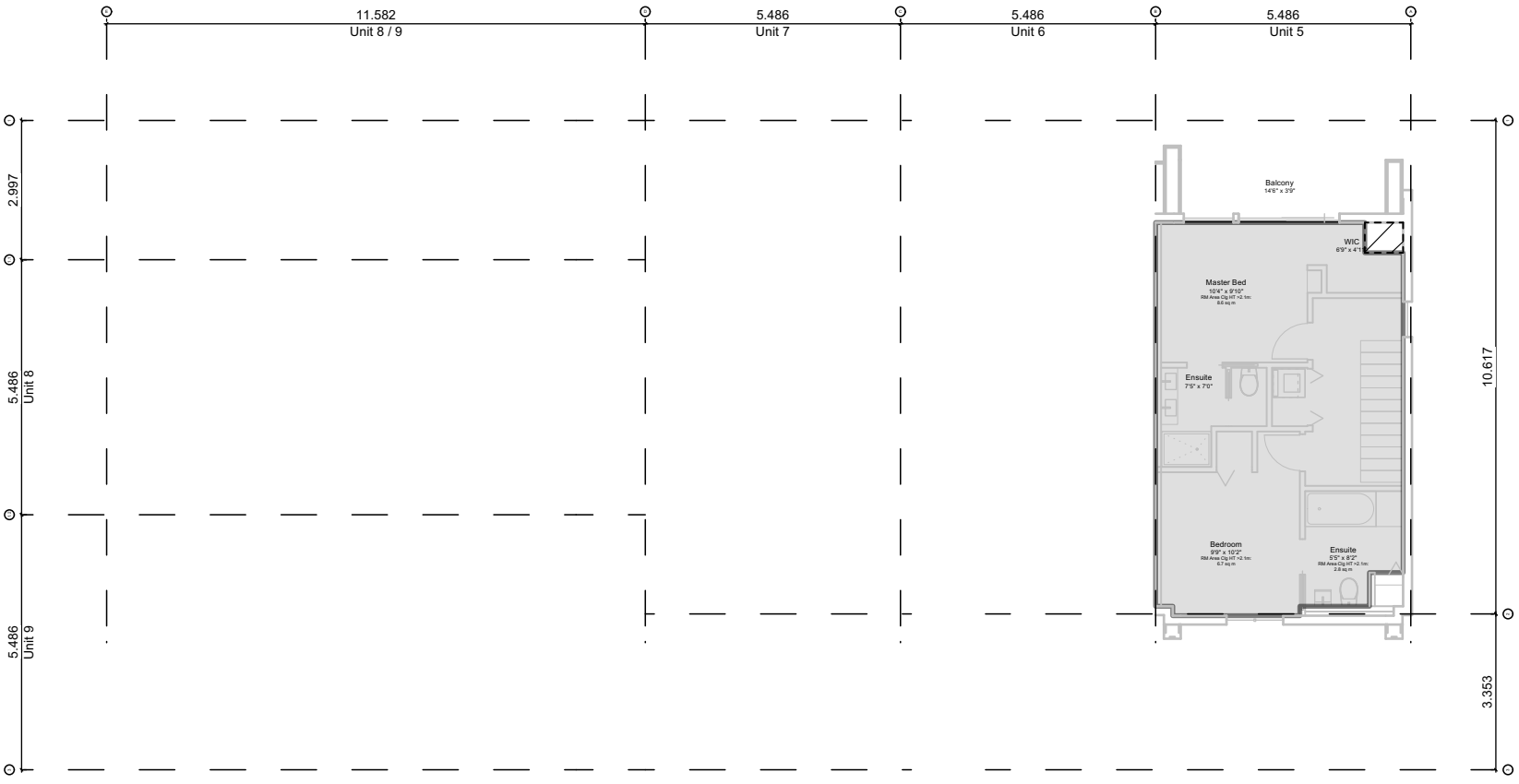
| Floor Area Calculations Unit 5 | | | | |
|--------------------------------|--------------------------------------|-------------------|-----------|-----------|
| | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | No Basement as per zoning definition | | | |
| Main Floor | 794 sq ft | 73.7 m2 | 0 sq ft | 0.0 m2 |
| Second Floor | 563 sq ft | 52.3 m2 | 527 sq ft | 48.9 m2 |
| Half Storey | 518 sq ft | 48.1 m2 | 467 sq ft | 43.4 m2 |
| Totals: | 1,875 sq ft | 174.2 m2 | 994 sq ft | 92.4 m2 2 |
| Garage | 0 sq ft | 0.0 m2 | | |

| Floor Area Calculations Unit 6 | | | | |
|--------------------------------|------------------|-------------------|-------------|------------|
| | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | 627 sq ft | 58.3 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 616 sq ft | 57.3 m2 | 601 sq ft | 55.9 m2 |
| Second Floor | 589 sq ft | 54.8 m2 | 581 sq ft | 53.9 m2 |
| Half Storey | | | | |
| Totals: | 1,833 sq ft | 170.3 m2 | 1,182 sq ft | 109.8 m2 4 |
| Garage | 169 sq ft | 15.7 m2 | | |

| Floor Area Calculations Unit 7 | | | | |
|--------------------------------|------------------|-------------------|-------------|------------|
| | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | 619 sq ft | 57.5 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 636 sq ft | 59.1 m2 | 621 sq ft | 57.7 m2 |
| Second Floor | 589 sq ft | 54.8 m2 | 572 sq ft | 53.2 m2 |
| Half Storey | | | | |
| Totals: | 1,844 sq ft | 171.4 m2 | 1,193 sq ft | 110.8 m2 4 |
| Garage | 172 sq ft | 16.0 m2 | | |

| Floor Area Calculations Unit 8 | | | | |
|--------------------------------|------------------|-------------------|-------------|------------|
| | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | 678 sq ft | 63.0 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 696 sq ft | 64.7 m2 | 691 sq ft | 64.2 m2 |
| Second Floor | 626 sq ft | 58.2 m2 | 598 sq ft | 55.6 m2 |
| Half Storey | | | | |
| Totals: | 2,001 sq ft | 185.9 m2 | 1,289 sq ft | 119.8 m2 2 |
| Garage | 172 sq ft | 16.0 m2 | | |

| Floor Area Calculations Unit 9 | | | | |
|--------------------------------|------------------|-------------------|-------------|------------|
| | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | 616 sq ft | 57.2 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 627 sq ft | 58.3 m2 | 613 sq ft | 56.9 m2 |
| Second Floor | 581 sq ft | 54.0 m2 | 544 sq ft | 50.6 m2 |
| Half Storey | | | | |
| Totals: | 1,825 sq ft | 169.5 m2 | 1,157 sq ft | 107.5 m2 3 |
| Garage | 172 sq ft | 16.0 m2 | | |



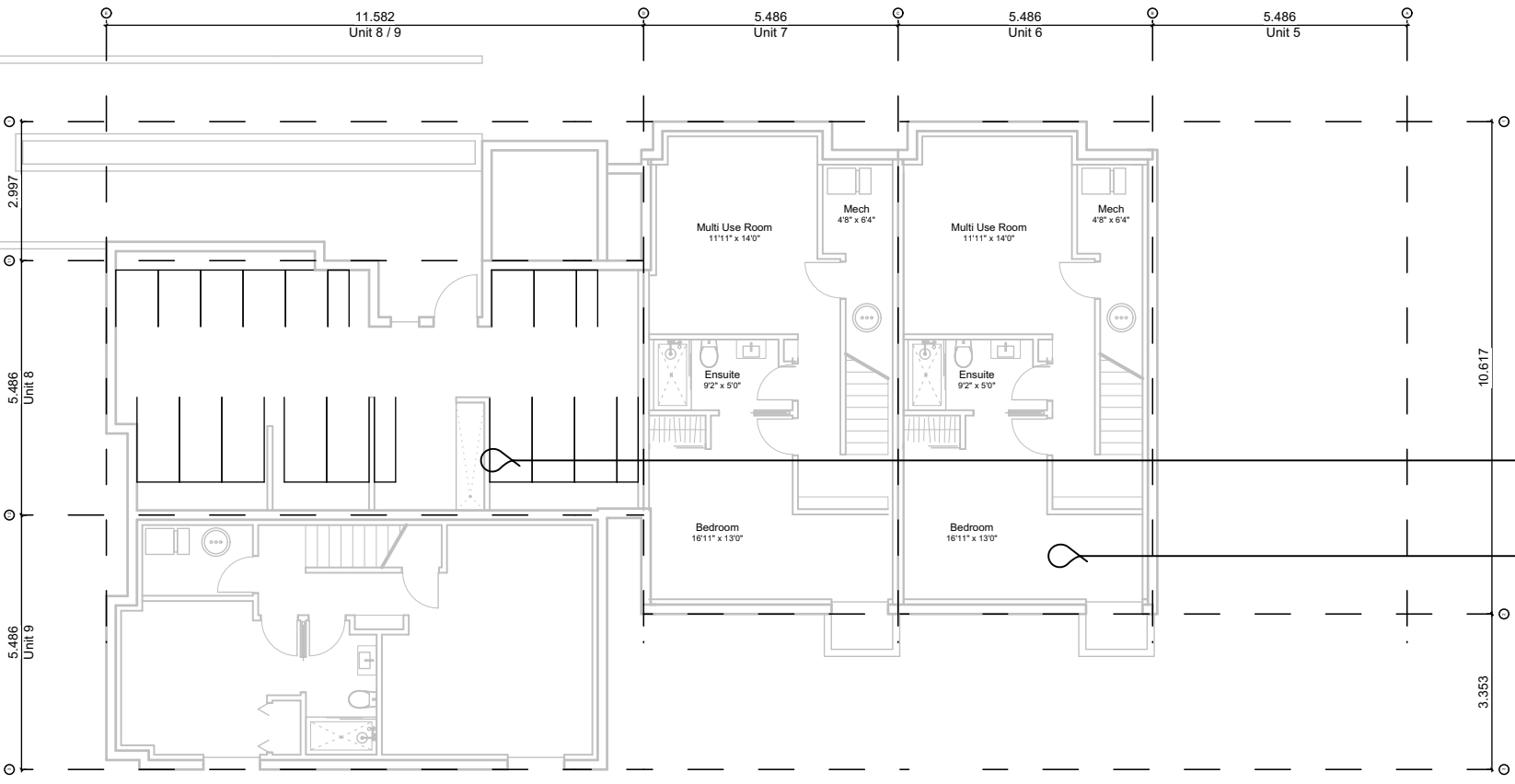
2.3 Block 02 - Floor 3 (Half Storey)
Scale: 1:150



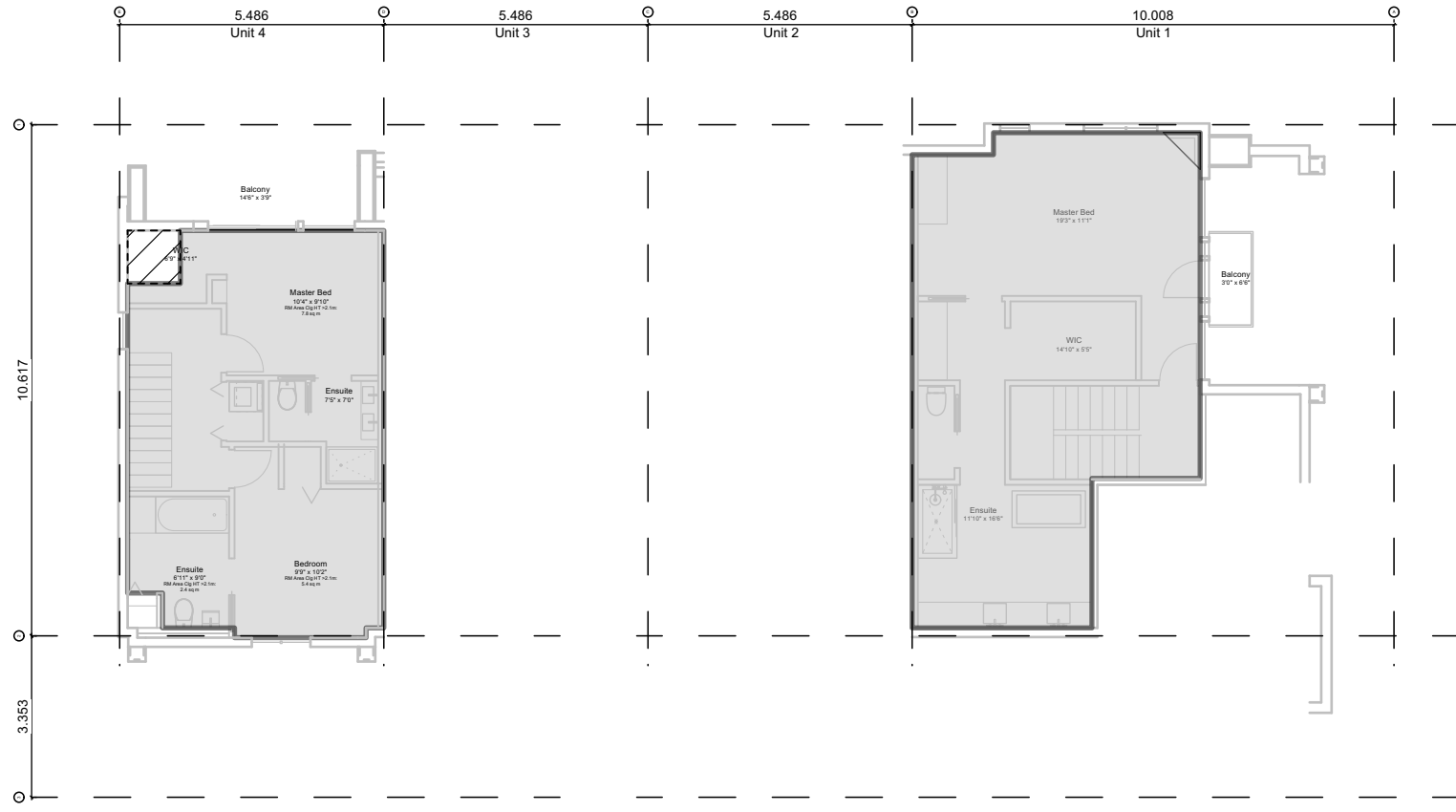
2.2 Block 02 - Floor 2
Scale: 1:150



2.1 Block 02 - Floor 1
Scale: 1:150



2.0 Block 02 - Basement
Scale: 1:150



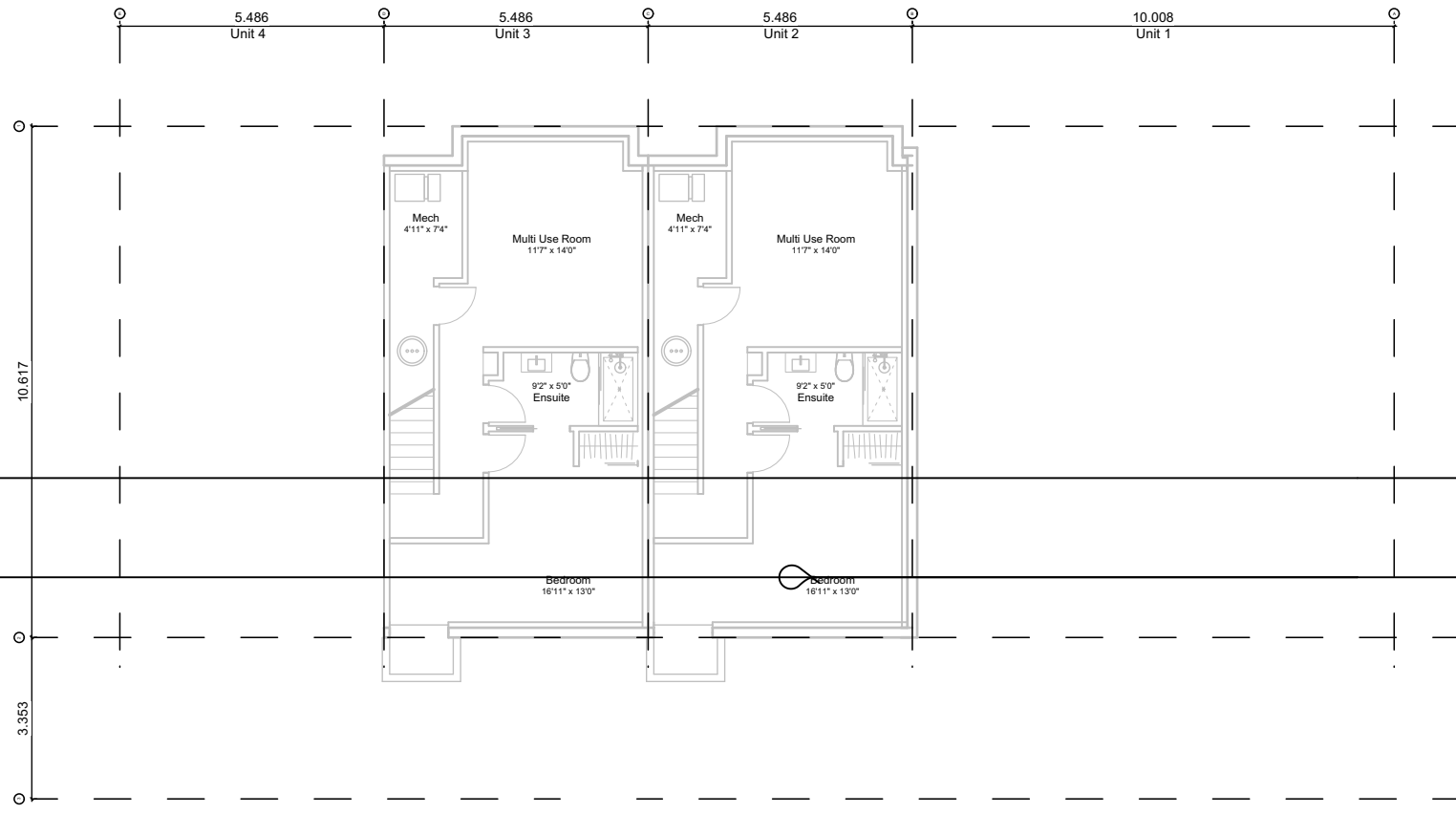
1.3 Block 01 - Floor 3 (Half Storey)
Scale: 1:150



1.2 Block 01 - Floor 2
Scale: 1:150



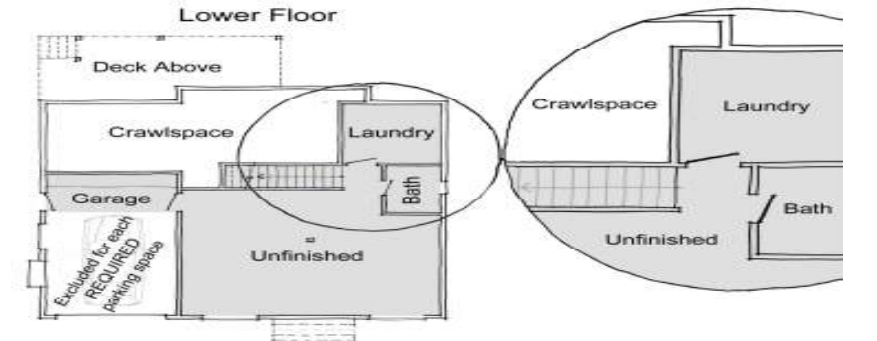
1.1 Block 01 - Floor 1
Scale: 1:150



1.0 Block 01 - Basement
Scale: 1:150

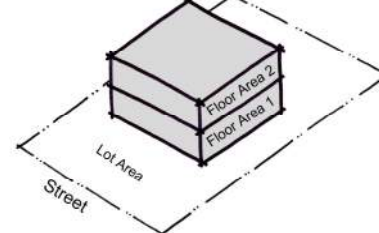
"Area" when used in reference to a floor of a storey of a building means the entire area which in plan is enclosed by the interior walls of the exterior walls of the storey at floor level plus the area enclosed by any cantilevered element that is within that storey and that is above floor level, but does not include of the following areas:

- the area used or intended to be used for required parking or movement of motor vehicles, as set out in this bylaw, which is calculated starting from the lowest level of the building;
- the area used or intended to be used for required Bicycle Parking, Long Term, as set out in this bylaw, which is calculated starting from the lowest level of the building;
- the area or areas of balconies, exposed decks, patios or roofs; and
- the area of elevator shafts.



"First Storey" means the storey above the basement of a building without a basement, means the lowest storey.

"Floor Space Ratio" means the ratio of the total floor area of a building to the area of the lot on which it is situated.



"Habitable Room" means a room in a dwelling unit other than a kitchen, storage room, toilet, bathroom, sauna room, hallway, or stairway.

"Half Storey" means that part of any building wholly or partly within the framing of the roof, where the habitable floor area is not more than 70% of the ground floor area of the building.

"Storey" means the space between two floors or between any other two floors, including a basement or a crawlspace.

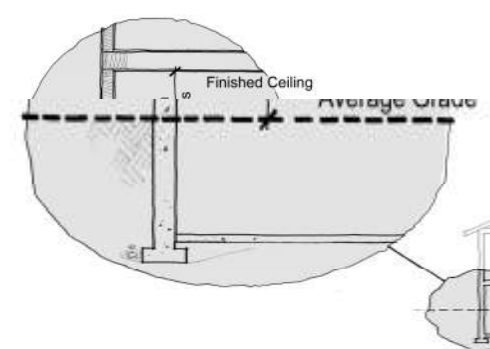
"Total Floor Area" means the sum of the areas of all floors of a building, including the area of a crawlspace.

Project Data

| | GFA Area (SF) | Zoning Area (SF) | Habitable Half Storey | Site Area (SF) | FAR | Bedrms |
|----------------------------|------------------|---------------------|------------------------------------|-------------------|------|--------|
| Block 01 (Unit 1-4) | | | | | | |
| Thurlow Cluster | 8,598 | 5,558 | | 6,791 | 0.81 | 11 |
| Basement | 1,239 | 0 | | | | |
| Main Floor | 3,270 | 2,042 | | | | |
| Second Floor | 2,615 | 2,476 | | | | |
| Half Storey | 1,473 | 1,039 | 50.9% = (Half Storey / Main Floor) | | | |
| Garage | 679 | 0 | | | | |
| Block 02 (Unit 5-9) | | | | | | |
| Fairfield Cluster | 10,063 | 5,815 | | 6,796 | 0.85 | 15 |
| Basement | 2,541 | 0 | | | | |
| Main Floor | 3,370 | 2,526 | | | | |
| Second Floor | 2,950 | 2,822 | | | | |
| Half Storey | 518 | 467 | 18.5% = (Half Storey / Main Floor) | | | |
| Garage | 685 | 0 | | | | |
| Refuse | 143 | 0 | | | | |
| Electrical Room | 74 | 74 | | | | |
| Total | 18,803 | 11,447 | | 13,587 | 0.84 | |

Floor Space Ratio; The building area is measured to the interior side of the exterior wall and interior face of demising walls. Basements excluded.

"Basement" means any part of a building between two floor levels that is partially or completely below grade and has a finished ceiling that is no more than 1.2m above grade.



Floor Area Legend

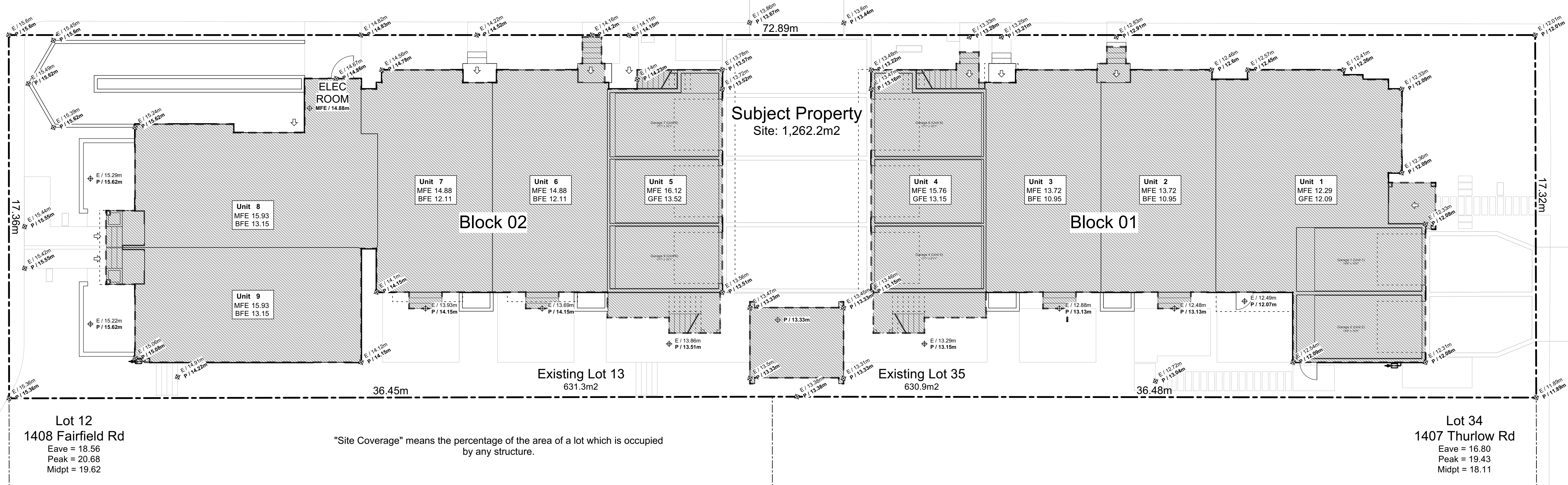
- Area counted towards zoning floor ratio
- Area of refuse
- Area of garage
- Area of electrical room
- Area Less than 1.8m ceiling height

Bicycle parking excluded

All basements are less than 1.8m below grade, excluded. See sections

Fairfield Road

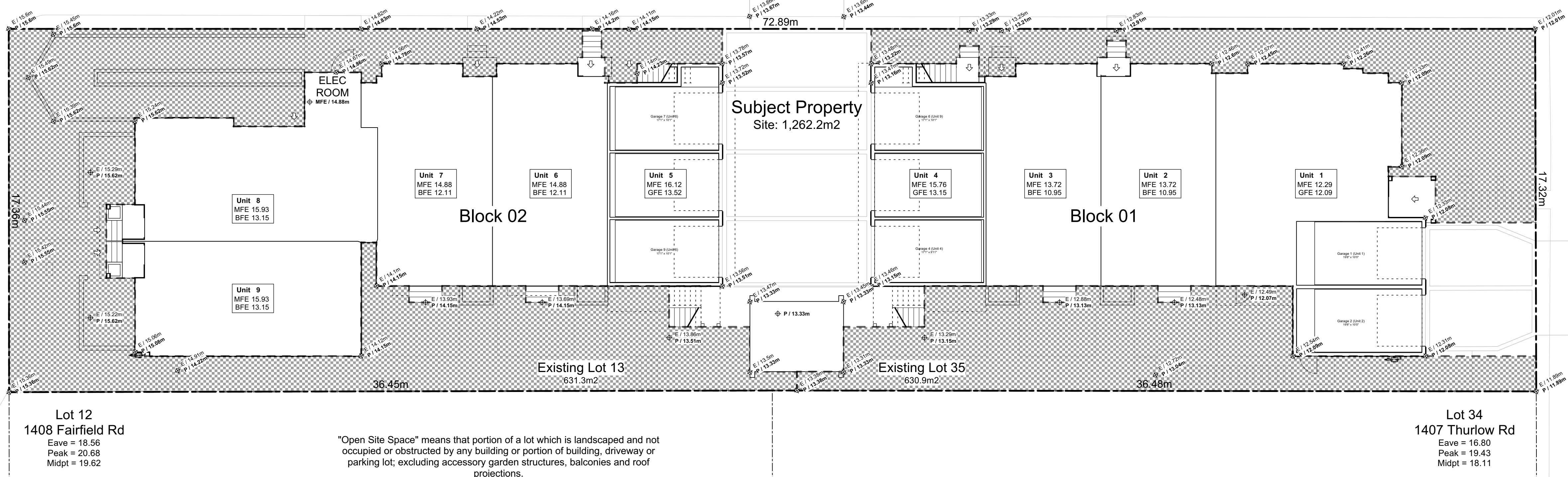
Thurlow Road



2 Lot Coverage
Scale: 1:120

Fairfield Road

Thurlow Road



1 Open Site Space
Scale: 1:120

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| Issued | |
|------------|----------------------------|
| 2021-07-20 | Revised & Re-Issued for DP |
| 2021-11-21 | Revised & Re-Issued for DP |
| 2021-12-16 | Revised & Re-Issued for DP |
| 2022-03-30 | Revised & Re-Issued for DP |
| 2022-04-11 | Revised & Re-Issued for DP |
| 2022-05-10 | Revised & Re-Issued for DP |
| 2022-10-06 | Revised & Re-Issued for DP |
| 2022-11-04 | Revised & Re-Issued for DP |
| 2022-11-14 | Revised & Re-Issued for DP |
| 2022-11-25 | Revised & Re-Issued for DP |

Graphical
Site Coverage &
Open Site Space

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/TD

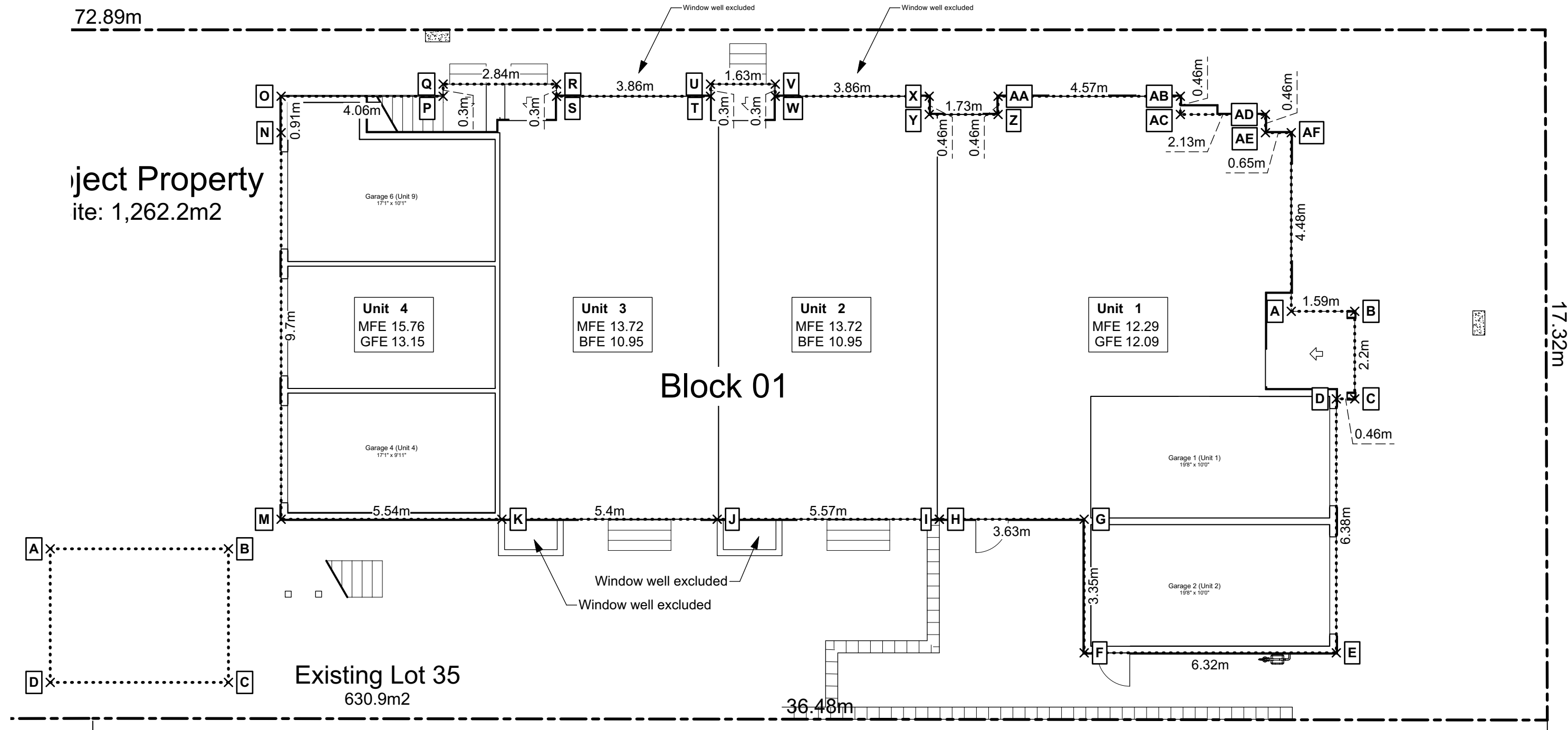
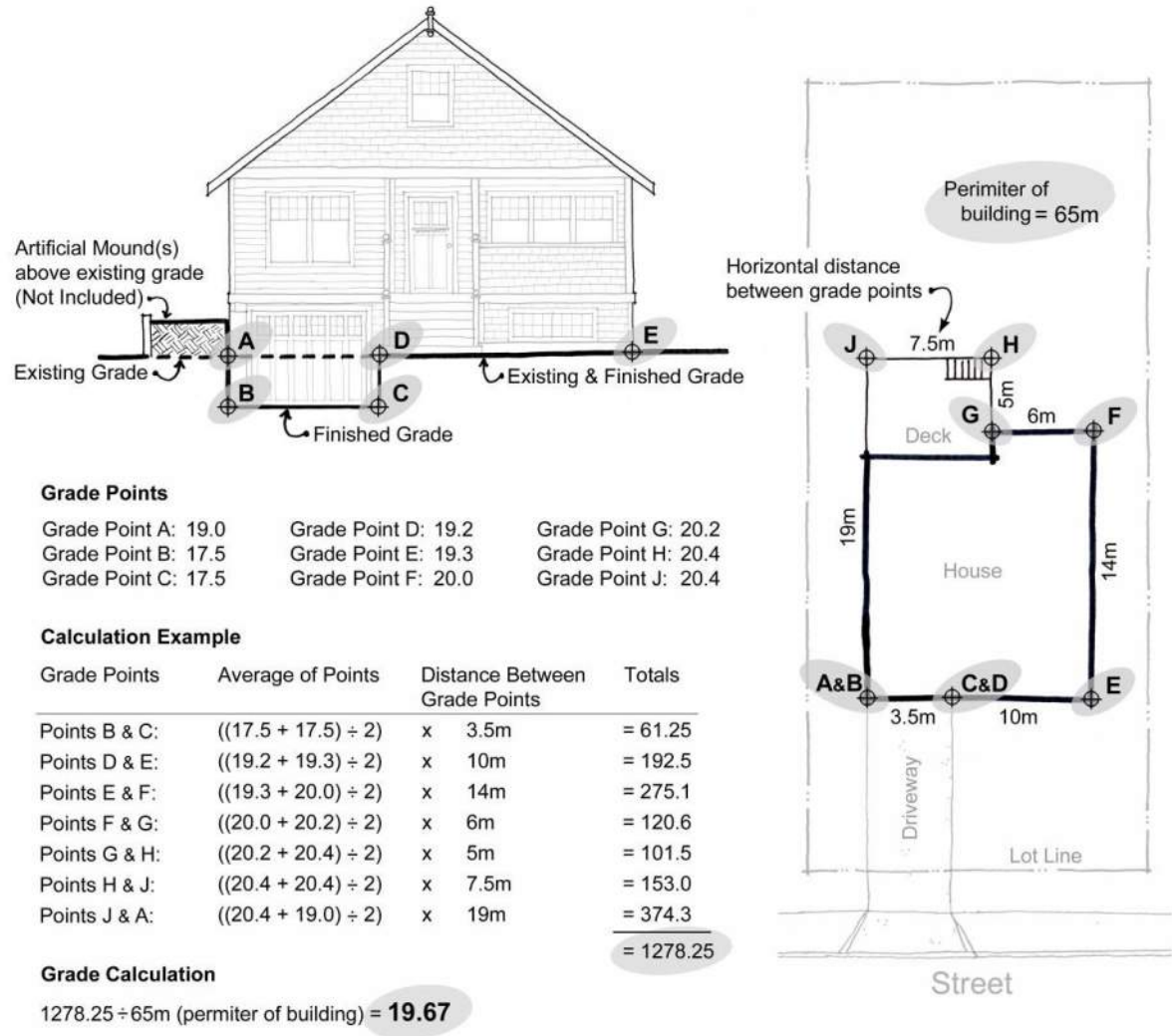
Plot Date: Nov 29, 2022

Scale: (1:120) 1" = 10'-0"

Sheet No:



"Grade" means the elevation calculated by averaging the elevation of natural grade or finished grade, whichever is lower at any points at which any part of a building comes into contact with the surface of a lot, excluding any artificial mounds of earth or rocks placed at or near the wall of a building, and excluding the minimum window well width and depth required by the *British Columbia Building Code*."



1 Block 01 Average Grade

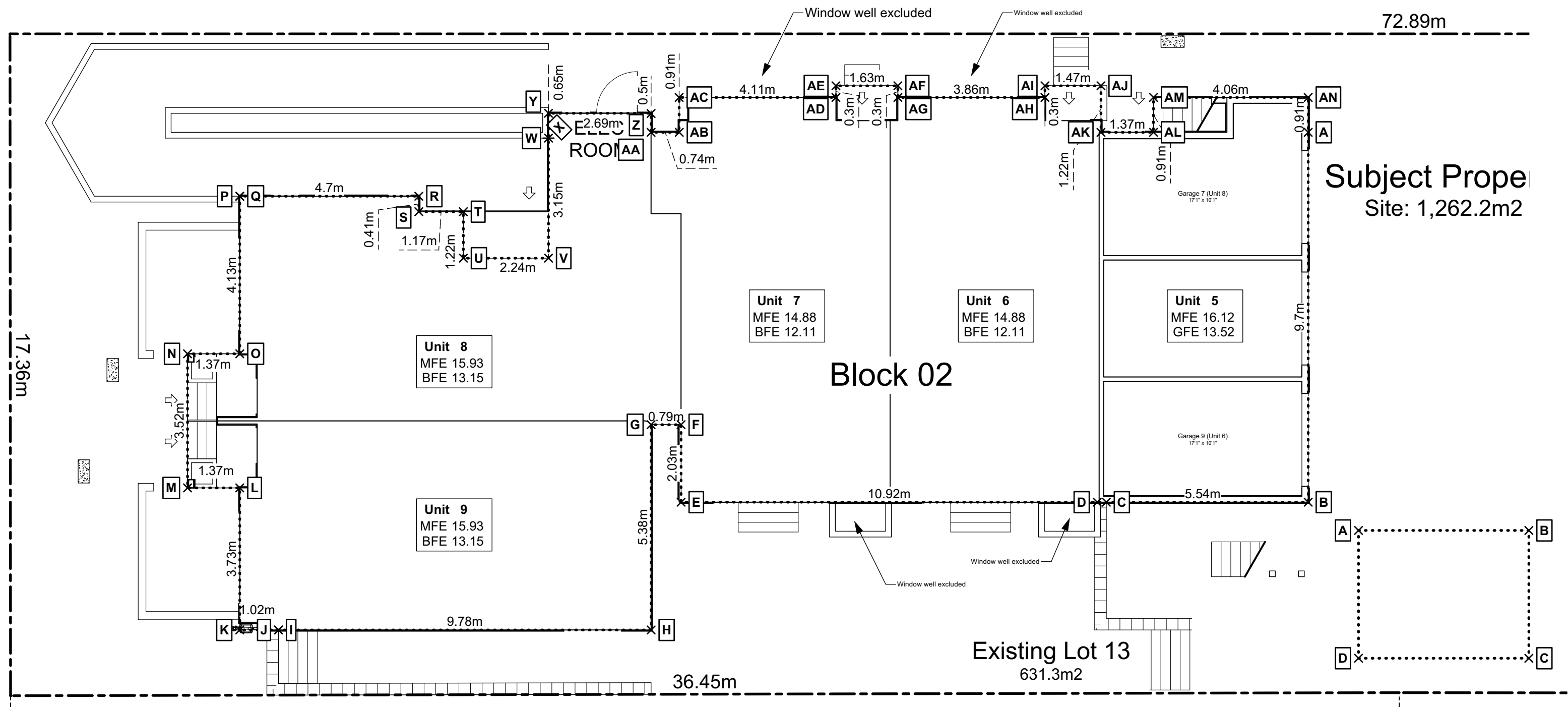
Scale: 1:100

Grade Calculations - Accessory Refuse

| PT | Natural Grade | Finished Grade | Lowest Grade | PT | Lowest Grade | Average | Distance | Total |
|-----------------------|---------------|----------------|--------------|----|--------------|---------|----------|---------|
| A | 13.47 m | 13.33 m | 13.33 m → | B | 13.33 m | 13.33 m | x 4.47 m | 59.59 |
| B | 13.45 m | 13.33 m | 13.33 m → | C | 13.31 m | 13.32 m | x 3.35 m | 44.63 |
| C | 13.31 m | 13.33 m | 13.31 m → | D | 13.33 m | 13.32 m | x 4.47 m | 59.55 |
| D | 13.50 m | 13.33 m | 13.33 m → | A | 13.33 m | 13.33 m | x 3.35 m | 44.66 |
| A | 13.47 m | 13.33 m | 13.33 m | | | | | |
| Sub-Total: | | | | | | | | 208.41 |
| Perimeter of Building | | | | | | | | 15.64 m |
| Average Grade | | | | | | | | 13.33 m |

Grade Calculations - Block 02

| PT | Natural Grade | Finished Grade | Lowest Grade | PT | Lowest Grade | Average | Distance | Total |
|-----------------------|---------------|----------------|--------------|----|--------------|-----------|-----------|----------|
| A | 13.68 m | 13.52 m | 13.52 m → | B | 13.52 m | 13.52 m | x 13.06 m | 176.55 |
| B | 13.57 m | 13.52 m | 13.52 m → | C | 13.52 m | 13.52 m | x 5.54 m | 74.89 |
| C | 13.59 m | 13.52 m | 13.52 m → | D | 13.60 m | 13.56 m | x 3.35 m | 45.43 |
| D | 13.60 m | 14.15 m | 13.60 m → | E | 14.08 m | 13.84 m | x 10.92 m | 151.15 |
| E | 14.08 m | 14.15 m | 14.08 m → | F | 14.12 m | 14.10 m | x 2.03 m | 28.62 |
| F | 14.12 m | 14.15 m | 14.12 m → | G | 14.15 m | 14.13 m | x 0.79 m | 11.16 |
| G | 14.18 m | 14.15 m | 14.15 m → | H | 14.13 m | 14.14 m | x 5.38 m | 76.06 |
| H | 14.13 m | 14.15 m | 14.13 m → | I | 14.22 m | 14.18 m | x 9.78 m | 138.64 |
| I | 14.96 m | 14.22 m | 14.22 m → | J | 14.96 m | Step Up | | |
| J | 14.96 m | 15.01 m | 14.96 m → | K | 15.02 m | 14.99 m | x 1.02 m | 15.29 |
| K | 15.02 m | 15.09 m | 15.02 m → | L | 15.22 m | 15.12 m | x 3.73 m | 56.39 |
| L | 15.22 m | 15.62 m | 15.22 m → | M | 15.23 m | 15.22 m | x 1.37 m | 20.86 |
| M | 15.23 m | 15.62 m | 15.23 m → | N | 15.27 m | 15.25 m | x 3.52 m | 53.68 |
| N | 15.27 m | 15.62 m | 15.27 m → | O | 15.25 m | 15.26 m | x 1.37 m | 20.90 |
| O | 15.25 m | 15.62 m | 15.25 m → | P | 15.24 m | 15.24 m | x 4.13 m | 62.96 |
| P | 15.24 m | 15.62 m | 15.24 m → | Q | 13.75 m | Step Down | | |
| Q | 15.24 m | 13.75 m | 13.75 m → | R | 13.27 m | 13.51 m | x 4.70 m | 63.50 |
| R | 15.11 m | 13.27 m | 13.27 m → | S | 13.27 m | 13.27 m | x 0.41 m | 5.44 |
| S | 15.13 m | 13.27 m | 13.27 m → | T | 13.15 m | 13.21 m | x 1.17 m | 15.46 |
| T | 15.08 m | 13.15 m | 13.15 m → | U | 13.15 m | 13.15 m | x 1.22 m | 16.04 |
| U | 15.11 m | 13.15 m | 13.15 m → | V | 13.15 m | 13.15 m | x 2.24 m | 29.46 |
| V | 14.46 m | 13.15 m | 13.15 m → | W | 13.15 m | 13.15 m | x 3.15 m | 41.42 |
| W | 14.64 m | 13.15 m | 13.15 m → | X | 14.47 m | Step Up | | |
| X | 14.47 m | 14.86 m | 14.47 m → | Y | 14.47 m | 14.47 m | x 0.65 m | 9.41 |
| Y | 14.47 m | 14.86 m | 14.47 m → | Z | 14.38 m | 14.42 m | x 2.69 m | 38.80 |
| Z | 14.38 m | 14.80 m | 14.38 m → | AA | 14.29 m | 14.33 m | x 0.50 m | 7.17 |
| AA | 14.29 m | 14.80 m | 14.29 m → | AB | 14.29 m | 14.29 m | x 0.74 m | 10.57 |
| AB | 14.29 m | 14.80 m | 14.29 m → | AC | 14.61 m | 14.45 m | x 0.91 m | 13.15 |
| AC | 14.61 m | 14.78 m | 14.61 m → | AD | 14.11 m | 14.36 m | x 4.11 m | 59.01 |
| AD | 14.11 m | 14.49 m | 14.11 m → | AE | 14.19 m | 14.15 m | x 0.30 m | 4.24 |
| AE | 14.19 m | 14.50 m | 14.19 m → | AF | 14.09 m | 14.14 m | x 1.63 m | 23.04 |
| AF | 14.09 m | 14.49 m | 14.09 m → | AG | 14.01 m | 14.05 m | x 0.30 m | 4.21 |
| AG | 14.01 m | 14.49 m | 14.01 m → | AH | 14.04 m | 14.02 m | x 3.86 m | 54.14 |
| AH | 14.04 m | 14.30 m | 14.04 m → | AI | 14.10 m | 14.07 m | x 0.30 m | 4.22 |
| AI | 14.10 m | 14.28 m | 14.10 m → | AJ | 14.09 m | 14.10 m | x 1.47 m | 20.72 |
| AJ | 14.09 m | 14.26 m | 14.09 m → | AK | 13.96 m | 14.03 m | x 1.22 m | 17.11 |
| AK | 13.96 m | 14.30 m | 13.96 m → | AL | 13.94 m | 13.95 m | x 1.37 m | 19.11 |
| AL | 13.94 m | 14.25 m | 13.94 m → | AM | 14.03 m | 13.98 m | x 0.91 m | 12.73 |
| AM | 14.03 m | 14.21 m | 14.03 m → | AN | 13.58 m | 13.81 m | x 4.06 m | 56.06 |
| AN | 13.79 m | 13.58 m | 13.58 m | | | | | |
| Sub-Total: | | | | | | | | 1,457.59 |
| Perimeter of Building | | | | | | | | 103.90 m |
| Average Grade | | | | | | | | 14.03 m |



2 Block 02 Average Grade

Scale: 1:100

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Seal

Graphical
Average Grade Calculation

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/TD

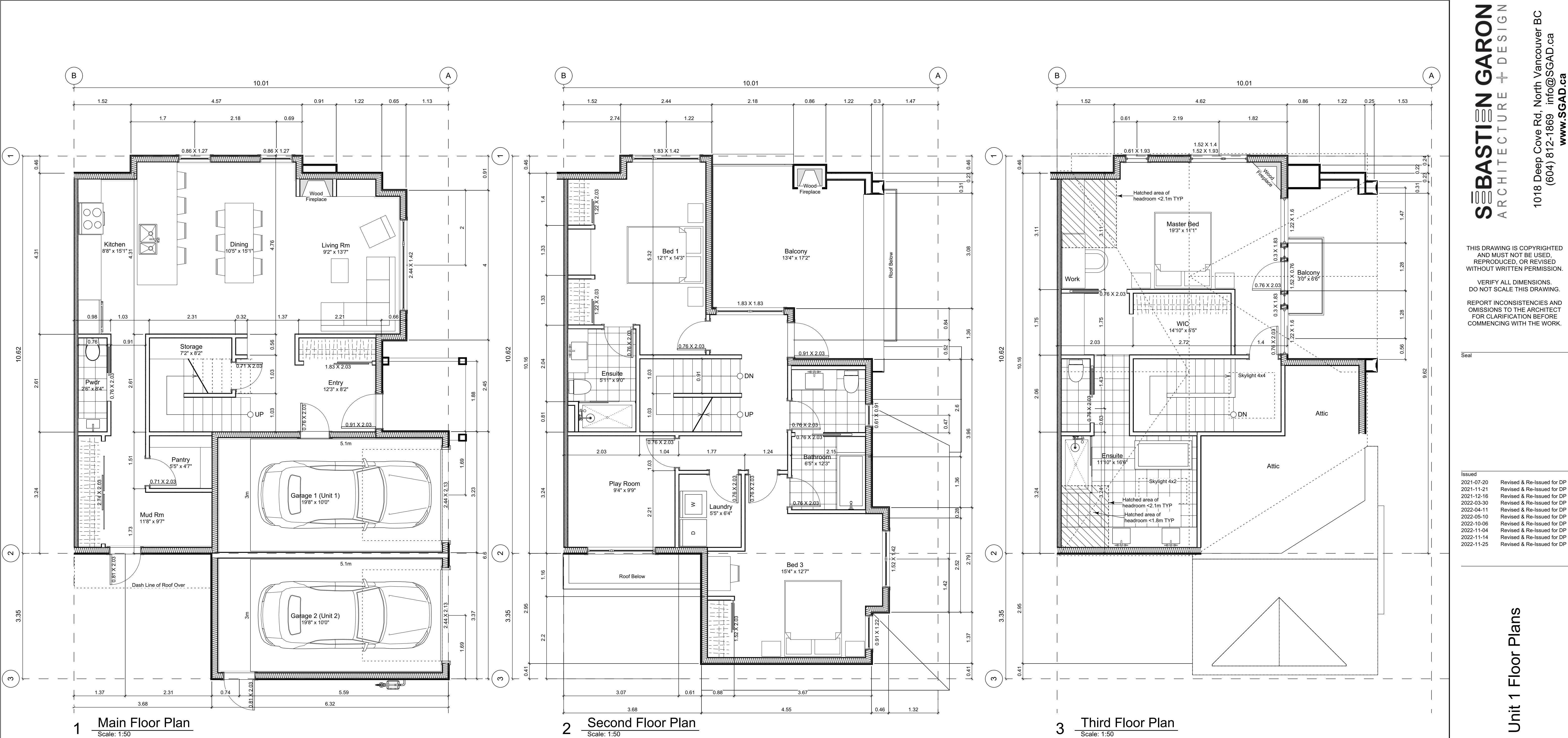
Plot Date: Nov 29, 2022

Scale: 1:100

Sheet No:

FOR DEVELOPMENT APPLICATION ONLY

A2.3



1 Main Floor Plan
Scale: 1:50

2 Second Floor Plan
Scale: 1:50

3 Third Floor Plan
Scale: 1:50

Unit Plan Notes:

See Block plan for foundation plan.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) Face of plywood, or face of concrete.

Floor Area Calculations

| | Gross Floor Area | | Zoning Floor Area | | Bedrms |
|----------------|--------------------------------------|----------|-------------------|----------|--------|
| Basement Floor | No Basement as per zoning definition | | | | |
| Main Floor | 1,243 sq ft | 115.5 m2 | 801 sq ft | 74.4 m2 | |
| Second Floor | 873 sq ft | 81.1 m2 | 813 sq ft | 75.5 m2 | |
| Half Storey | 955 sq ft | 88.8 m2 | 579 sq ft | 53.8 m2 | |
| Totals: | 3,072 sq ft | 285.4 m2 | 2,193 sq ft | 203.7 m2 | 3 |
| Garage | 168 sq ft | 15.7 m2 | | | |

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Seal

| | |
|------------|----------------------------|
| Issued | |
| 2021-07-20 | Revised & Re-issued for DP |
| 2021-11-21 | Revised & Re-issued for DP |
| 2021-12-16 | Revised & Re-issued for DP |
| 2022-03-30 | Revised & Re-issued for DP |
| 2022-04-11 | Revised & Re-issued for DP |
| 2022-05-10 | Revised & Re-issued for DP |
| 2022-10-06 | Revised & Re-issued for DP |
| 2022-11-04 | Revised & Re-issued for DP |
| 2022-11-14 | Revised & Re-issued for DP |
| 2022-11-25 | Revised & Re-issued for DP |

Unit 1 Floor Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

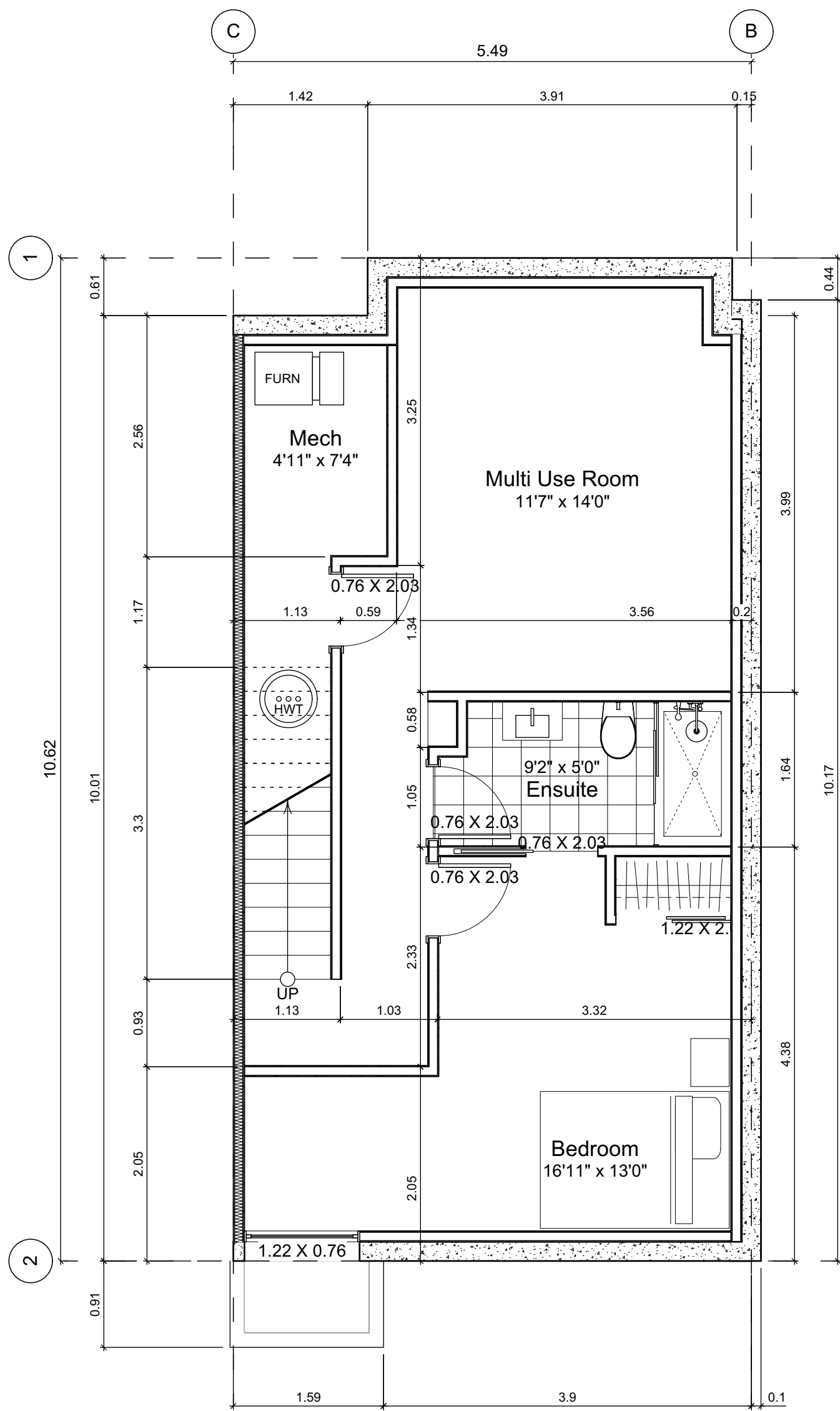
Project No: 19.015

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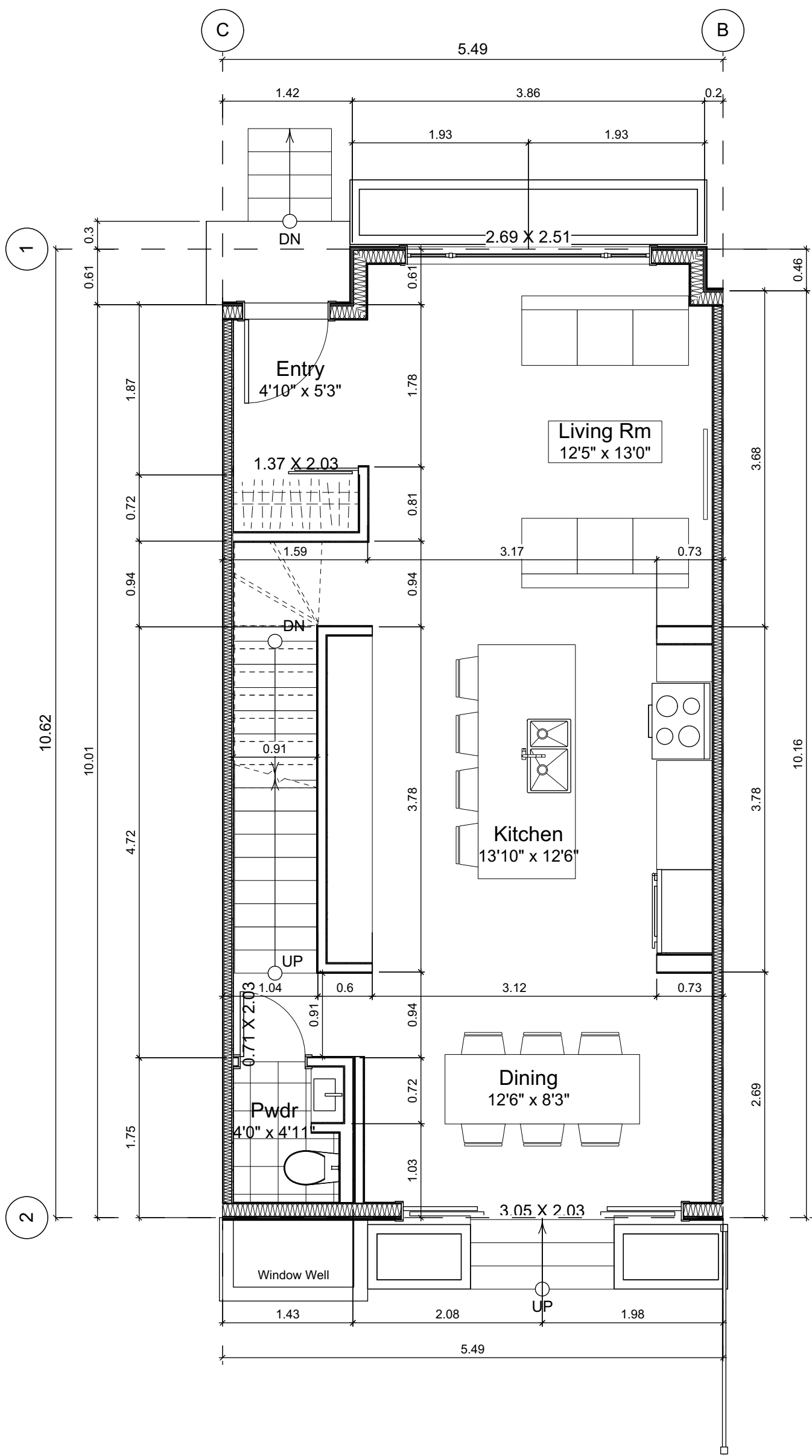
Plot Date: Nov 29, 2022

Scale: 1:50

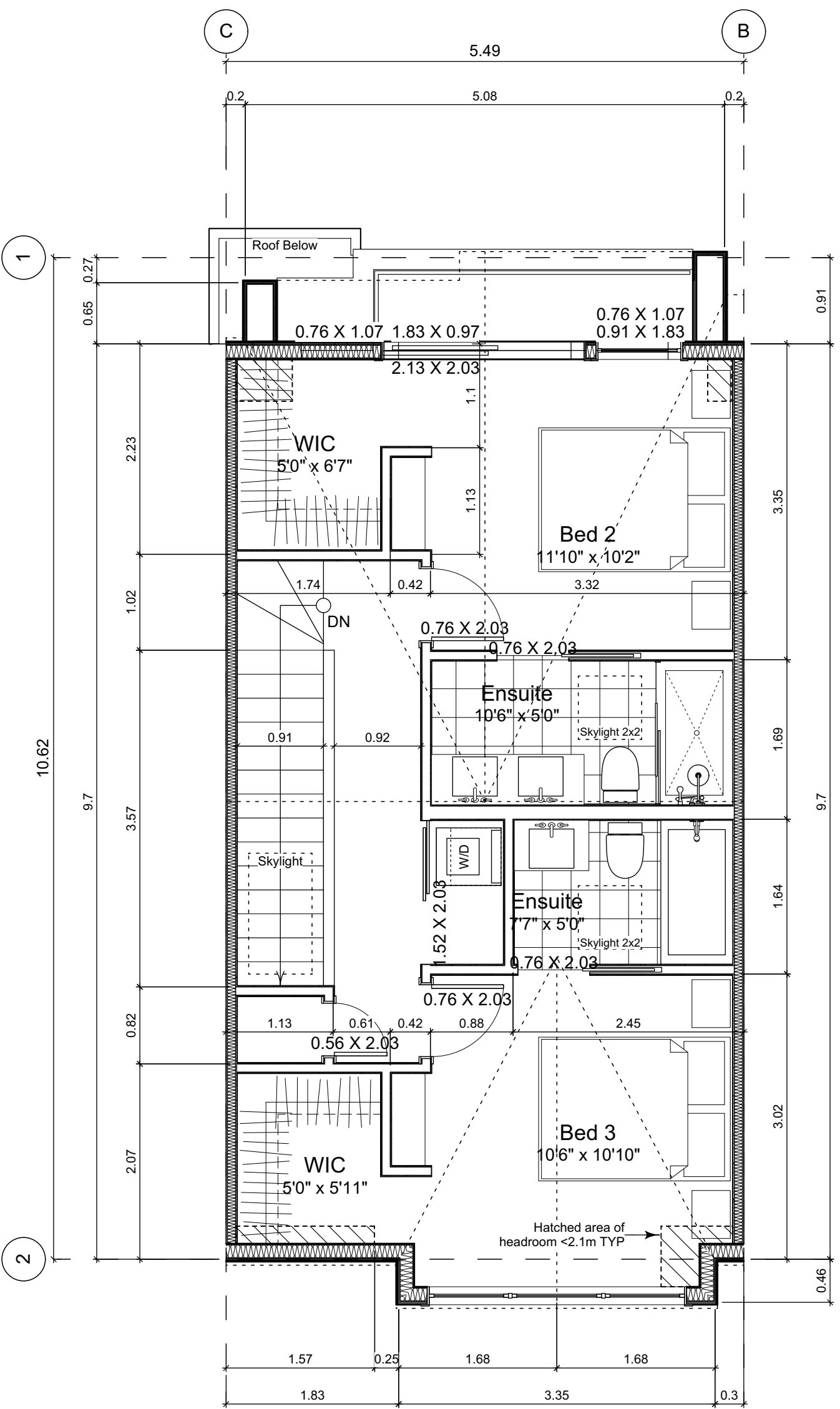
Sheet No:



0 Basement Floor Plan
Scale: 1:50



1 Main Floor Plan
Scale: 1:50



2 Second Floor Plan
Scale: 1:50

Unit Plan Notes:

See Block plan for foundation plan.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) Face of plywood, or face of concrete.

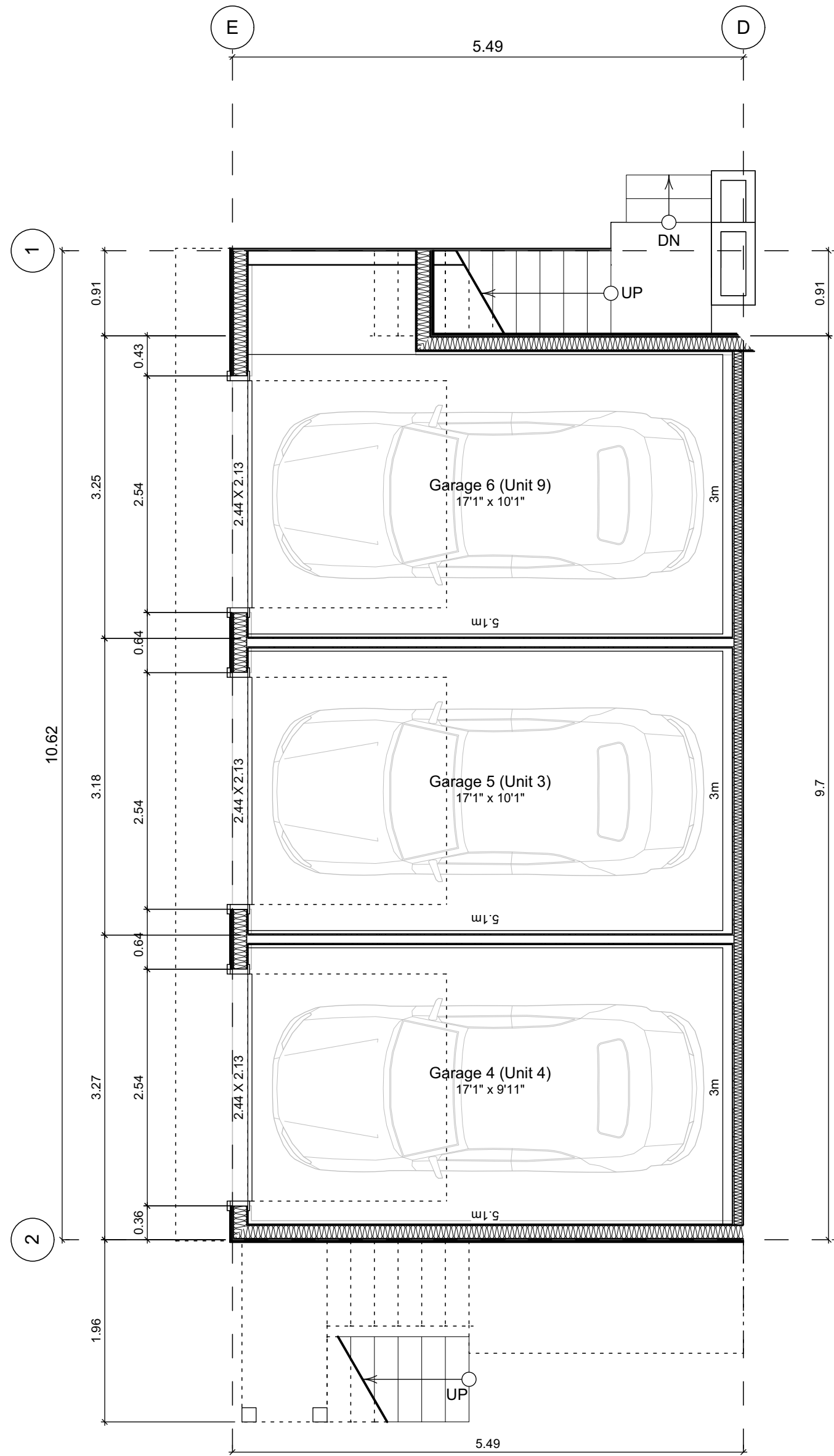
Floor Area Calculations

| | Unit 3 | | | |
|----------------|------------------|----------|-------------------|------------|
| | Gross Floor Area | | Zoning Floor Area | Bedrms |
| Basement Floor | 617 sq ft | 57.3 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 616 sq ft | 57.3 m2 | 605 sq ft | 56.2 m2 |
| Second Floor | 589 sq ft | 54.8 m2 | 568 sq ft | 52.8 m2 |
| Half Storey | | | | |
| Totals: | 1,823 sq ft | 169.3 m2 | 1,173 sq ft | 109.0 m2 3 |
| Garage | 172 sq ft | 16.0 m2 | | |

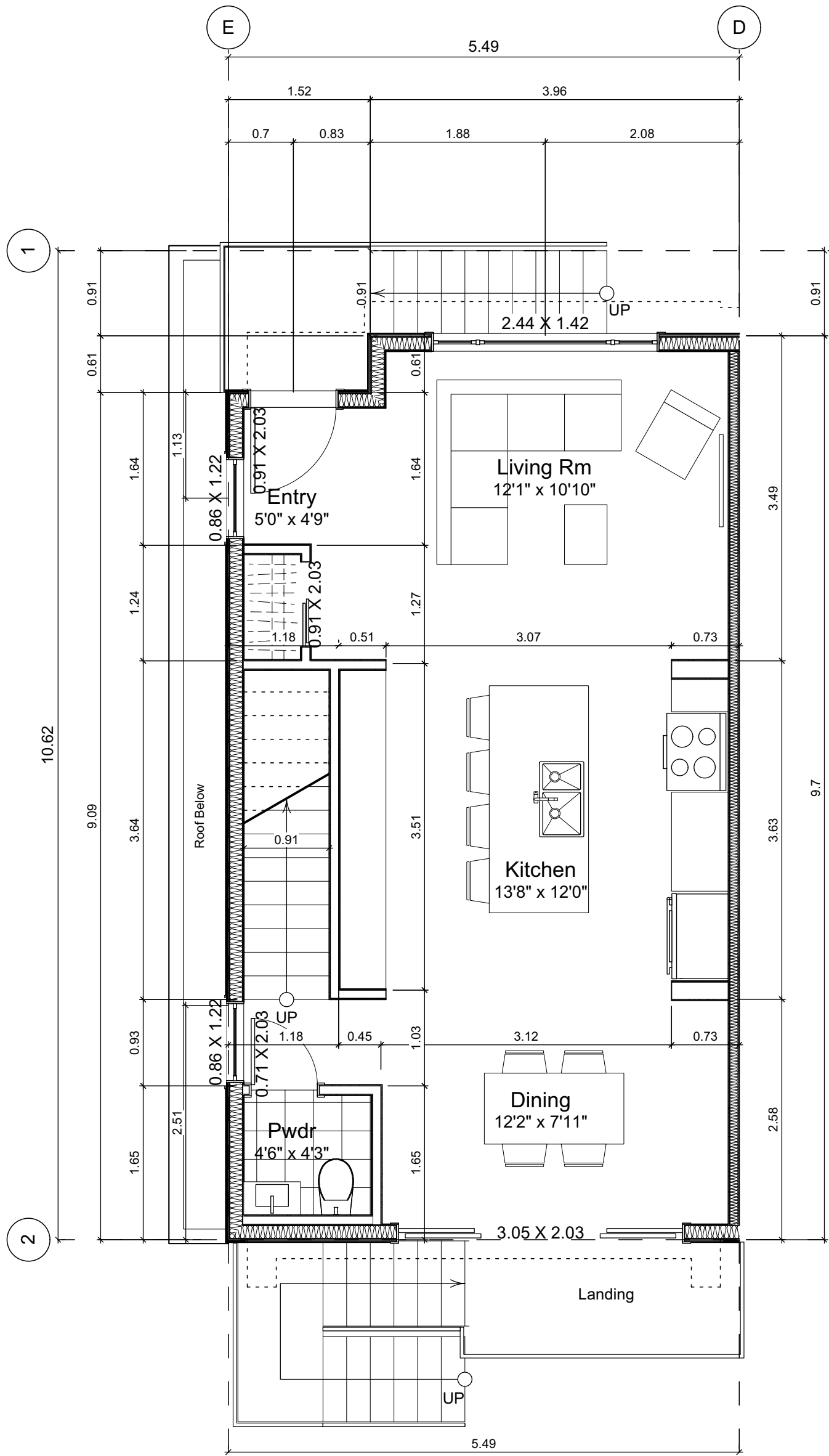
Floor Area Calculations

| | Unit 2 | | | |
|----------------|------------------|----------|-------------------|------------|
| | Gross Floor Area | | Zoning Floor Area | Bedrms |
| Basement Floor | 622 sq ft | 57.8 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 617 sq ft | 57.3 m2 | 629 sq ft | 58.5 m2 |
| Second Floor | 589 sq ft | 54.8 m2 | 568 sq ft | 52.8 m2 |
| Half Storey | | | | |
| Totals: | 1,828 sq ft | 169.9 m2 | 1,198 sq ft | 111.3 m2 3 |
| Garage | 168 sq ft | 15.7 m2 | | |

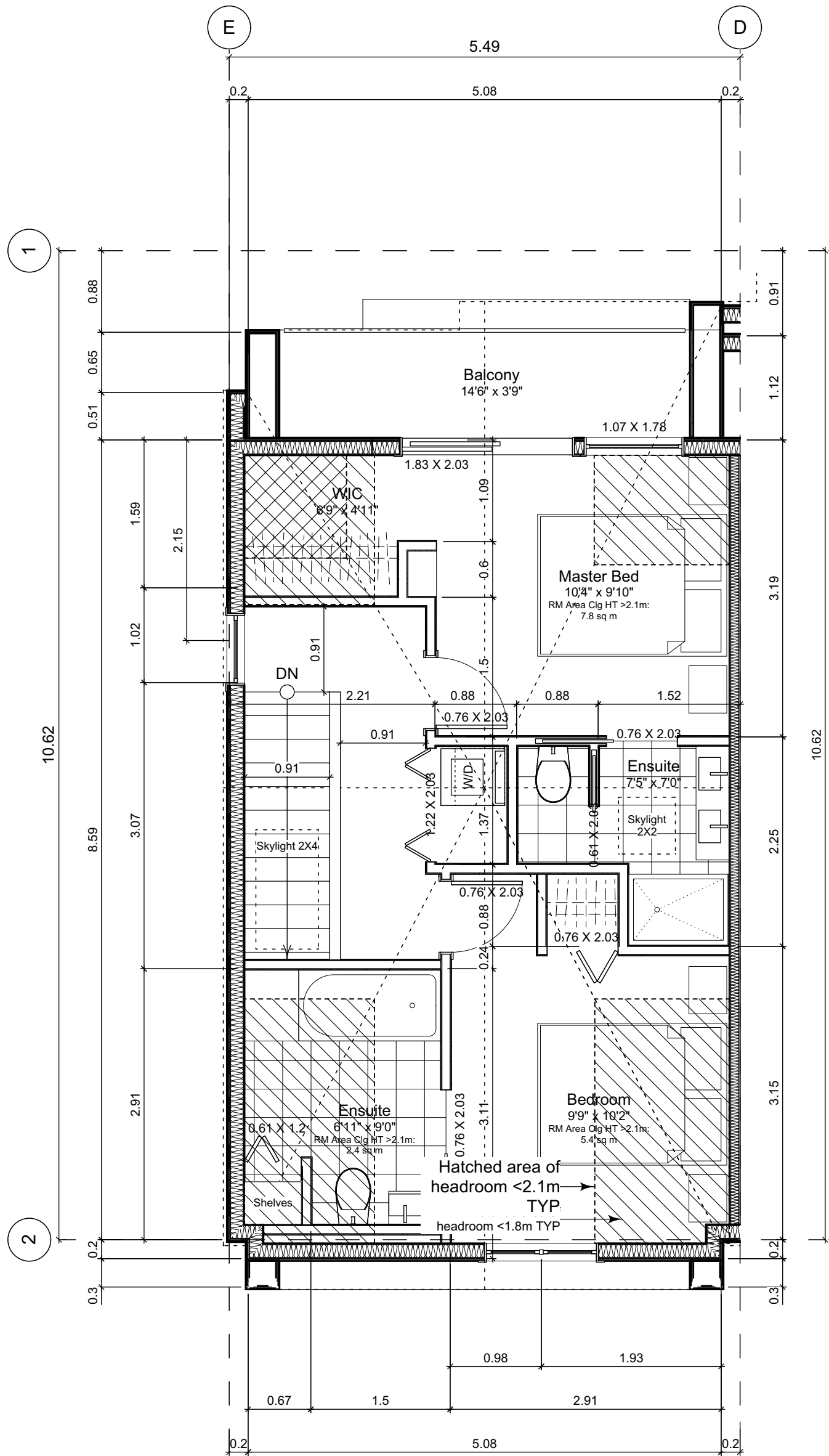
FOR DEVELOPMENT APPLICATION ONLY



4.1 Main Floor Plan
Scale: 1:50



4.2 Second Floor Plan
Scale: 1:50



4.3 Third Floor Plan
Scale: 1:50

Unit Plan Notes:

See Block plan for foundation plan.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) Face of plywood, or face of concrete.

Floor Area Calculations

| | Unit 4 | | | |
|----------------|--------------------------------------|-------------------|-----------|-----------|
| | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | No Basement as per zoning definition | | | |
| Main Floor | 794 sq ft | 73.8 m2 | 7 sq ft | 0.6 m2 |
| Second Floor | 563 sq ft | 52.3 m2 | 527 sq ft | 48.9 m2 |
| Half Storey | 518 sq ft | 48.1 m2 | 460 sq ft | 42.8 m2 |
| Totals: | 1,875 sq ft | 174.2 m2 | 994 sq ft | 92.3 m2 2 |
| Garage | 170 sq ft | 15.8 m2 | | |

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| 2022-11-04 | Revised & Re-issued for DP |
| 2022-11-14 | Revised & Re-issued for DP |
| 2022-11-25 | Revised & Re-issued for DP |

Unit 4 Floor Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

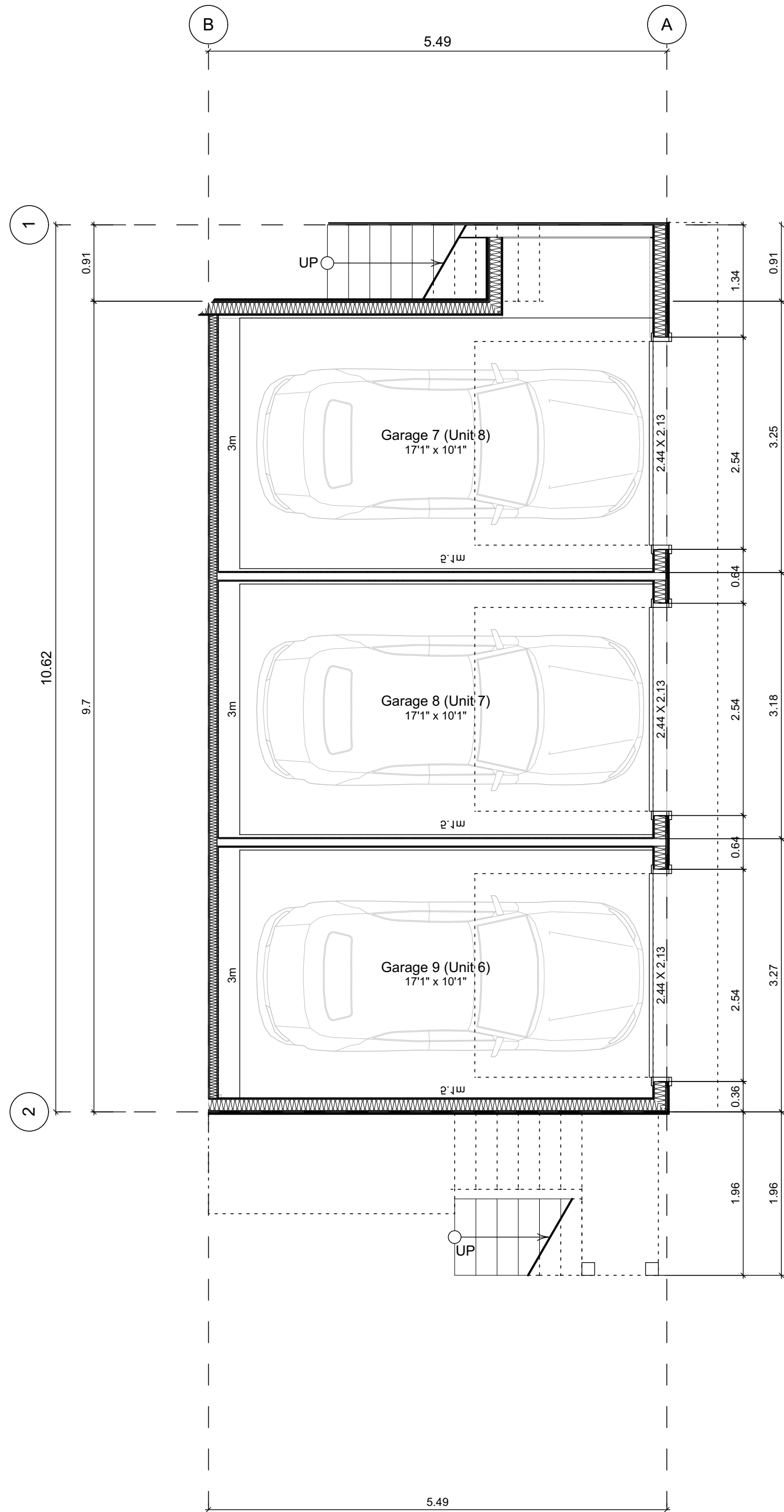
Project No: 19.015

Drawn By: SG/TD

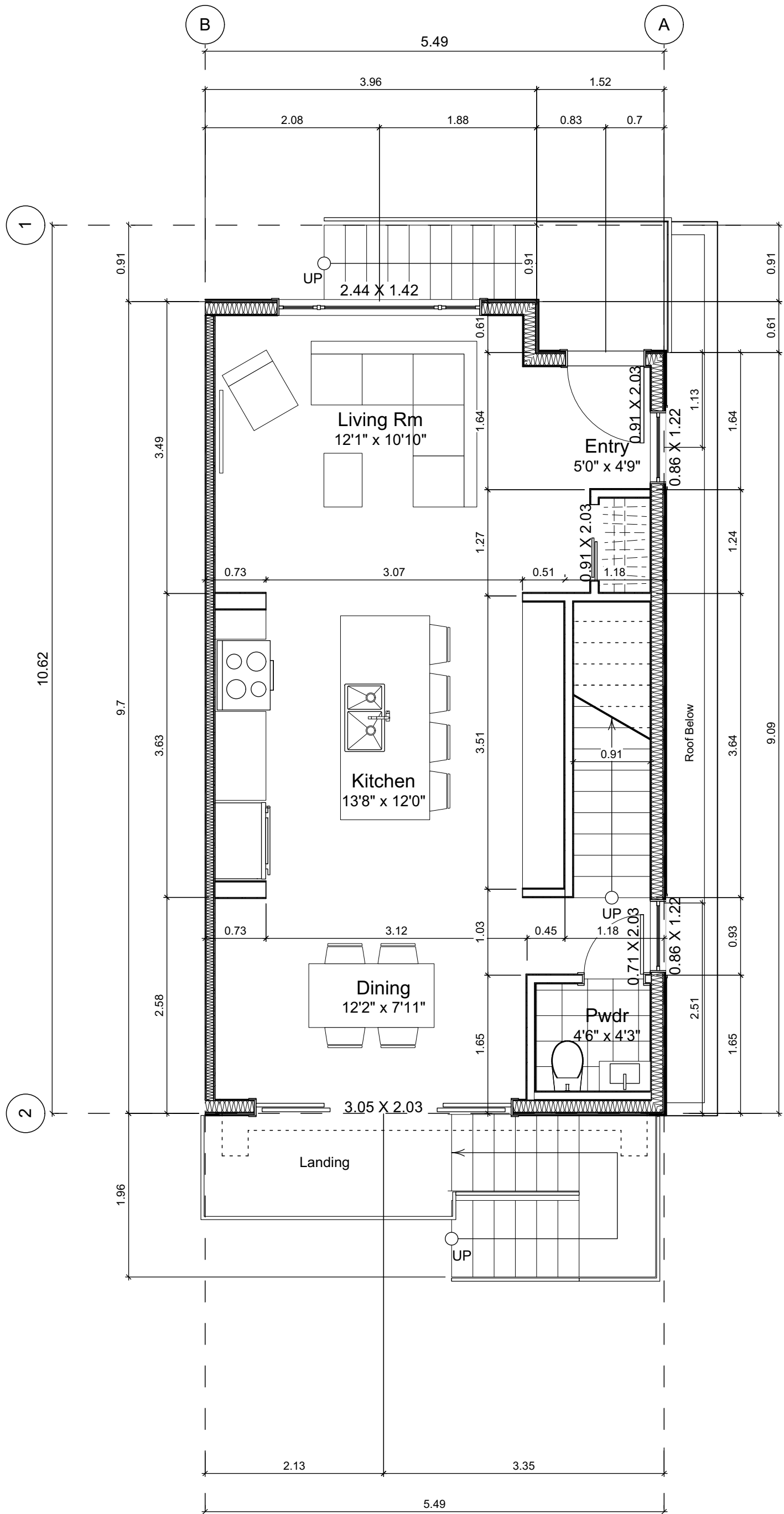
Plot Date: Nov 29, 2022

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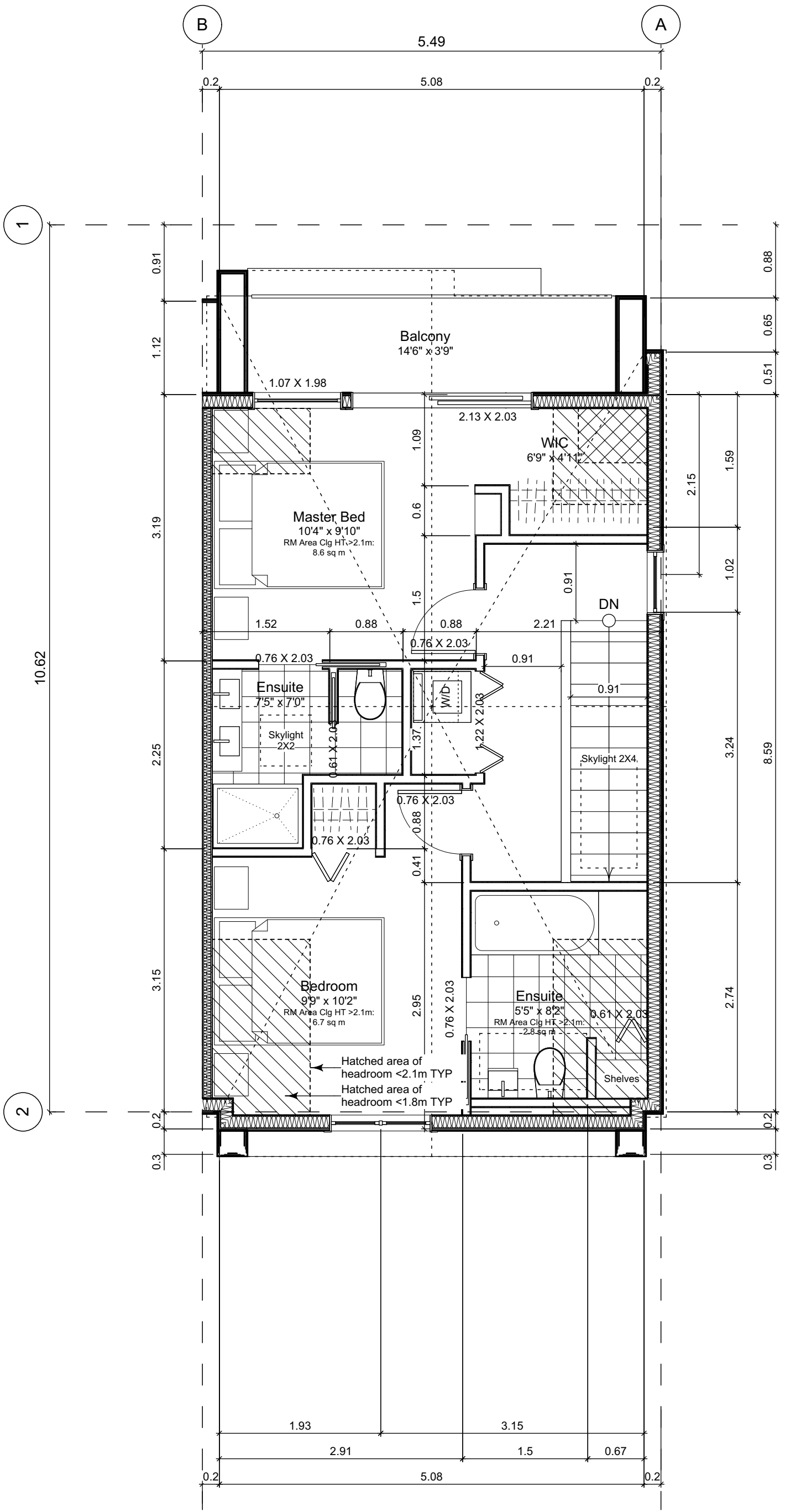
Sheet No:



5.1 Main Floor Plan
Scale: 1:50



5.2 Second Floor Plan
Scale: 1:50



5.3 Third Floor Plan
Scale: 1:50

Unit Plan Notes:

See Block plan for foundation plan.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) Face of plywood, or face of concrete.

Floor Area Calculations

| | Unit 5 | | | | |
|----------------|--------------------------------------|-------------------|-----------|---------|---|
| | Gross Floor Area | Zoning Floor Area | Bedrms | | |
| Basement Floor | No Basement as per zoning definition | | | | |
| Main Floor | 794 sq ft | 73.7 m2 | 0 sq ft | 0.0 m2 | |
| Second Floor | 563 sq ft | 52.3 m2 | 527 sq ft | 48.9 m2 | |
| Half Storey | 518 sq ft | 48.1 m2 | 467 sq ft | 43.4 m2 | |
| Totals: | 1,875 sq ft | 174.2 m2 | 994 sq ft | 92.4 m2 | 2 |
| Garage | 0 sq ft | 0.0 m2 | | | |

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| 2022-11-04 | Revised & Re-issued for DP |
| 2022-11-14 | Revised & Re-issued for DP |
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Unit 5 Floor Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

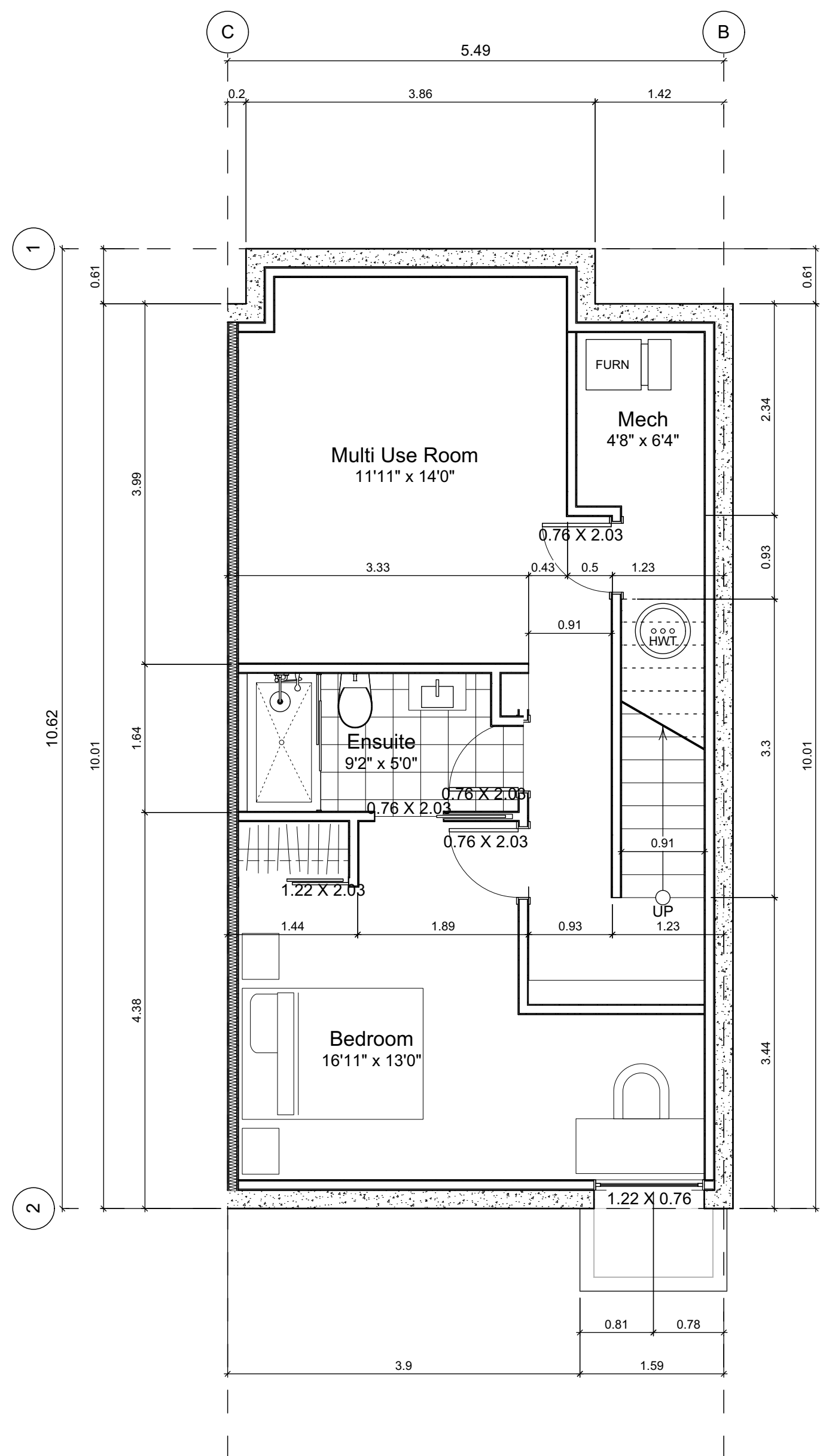
Project No: 19.015

Drawn By: SG/TD

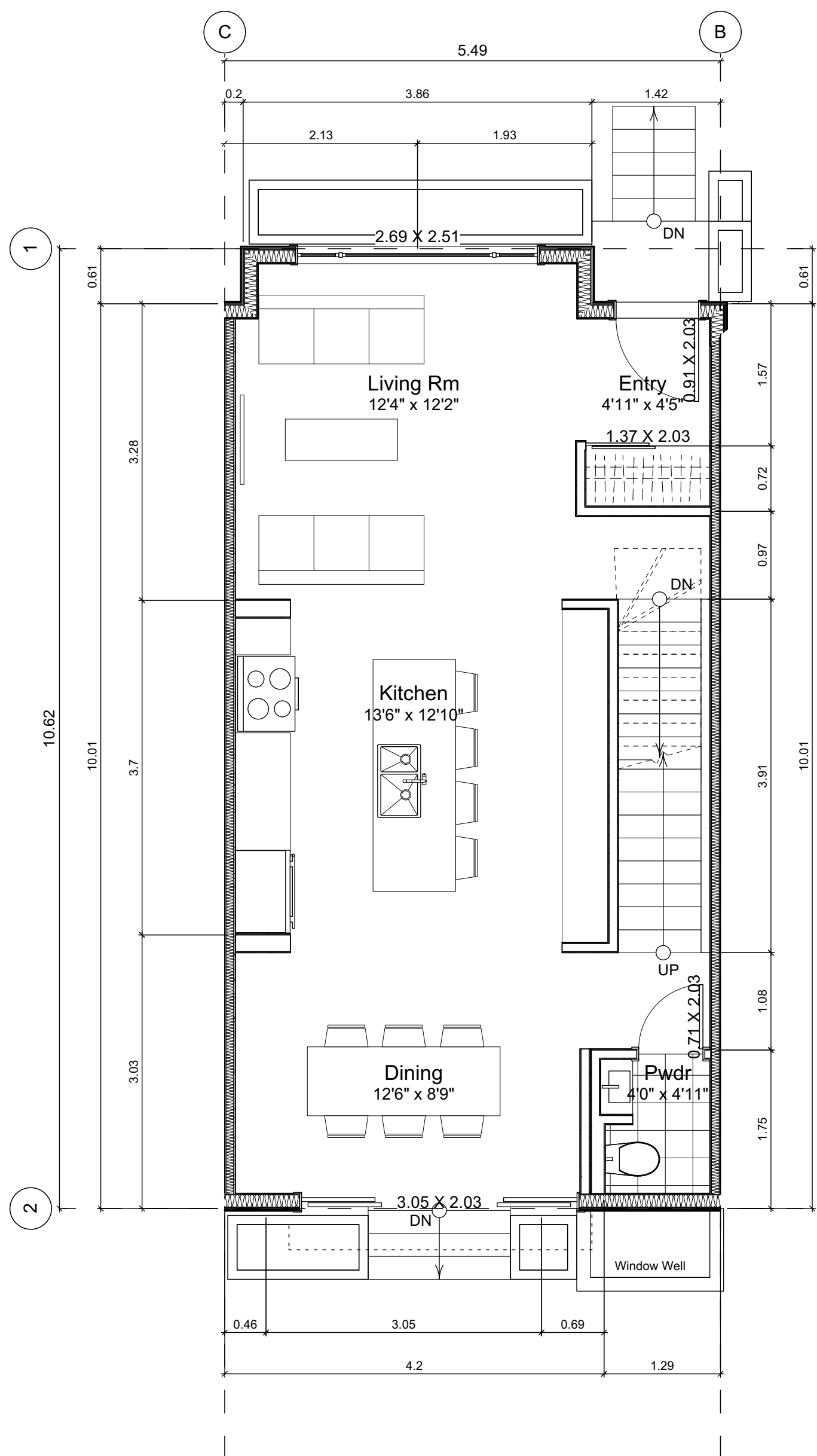
Plot Date: Nov 29, 2022

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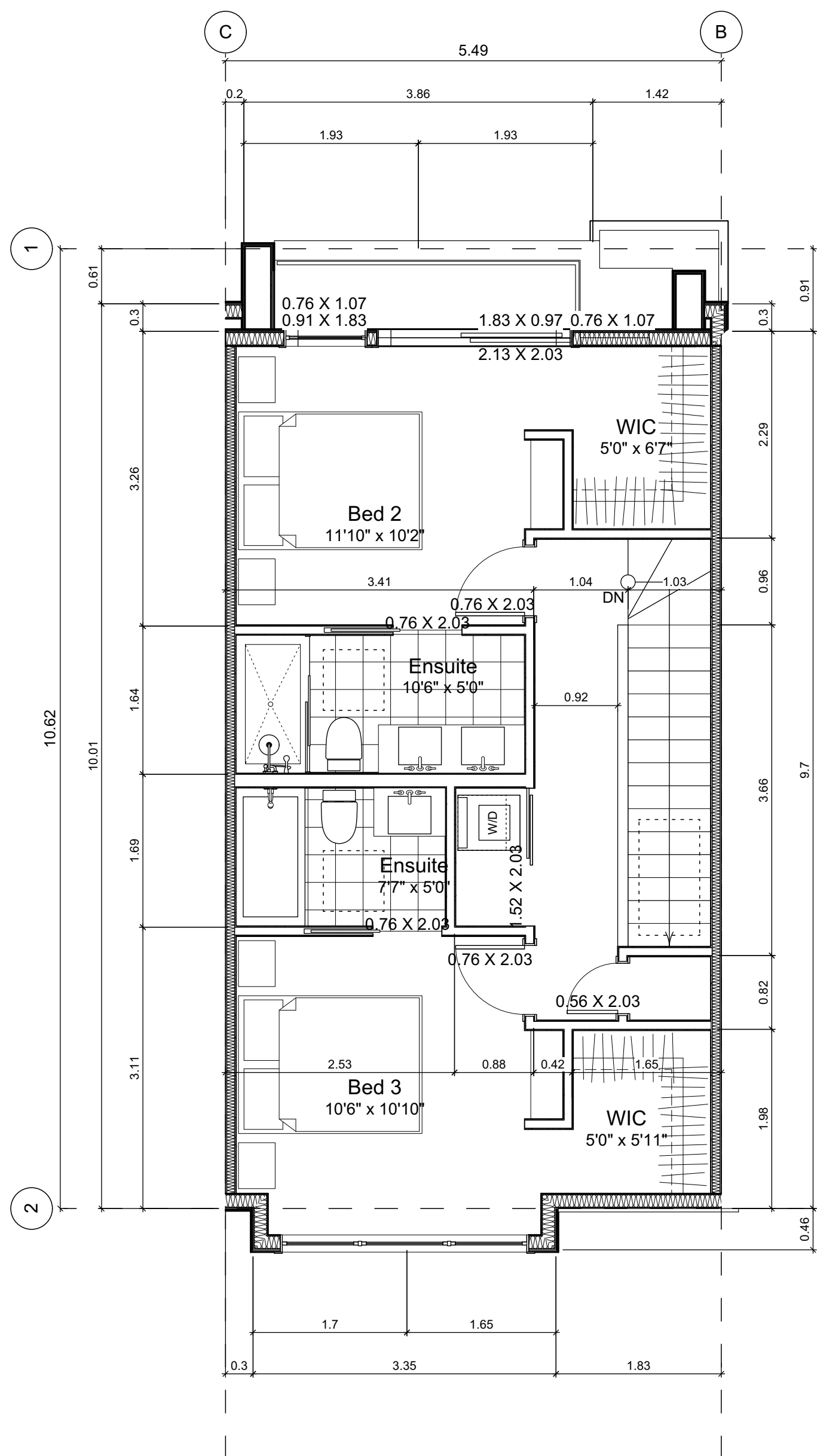
Sheet No:



6.1 Basement Floor Plan
Scale: 1:50



6.2 Main Floor Plan
Scale: 1:50



6.3 Second Floor Plan
Scale: 1:50

Unit Plan Notes:

See Block plan for foundation plan.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) Face of plywood, or face of concrete.

Floor Area Calculations

| | Unit 6 | | | |
|----------------|------------------|----------|-------------------|----------|
| | Gross Floor Area | | Zoning Floor Area | Bedrms |
| Basement Floor | 627 sq ft | 58.3 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 616 sq ft | 57.3 m2 | 601 sq ft | 55.9 m2 |
| Second Floor | 589 sq ft | 54.8 m2 | 581 sq ft | 53.9 m2 |
| Half Storey | | | | |
| Totals: | 1,833 sq ft | 170.3 m2 | 1,182 sq ft | 109.8 m2 |
| Garage | 169 sq ft | 15.7 m2 | | 4 |

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Unit 6 Floor Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

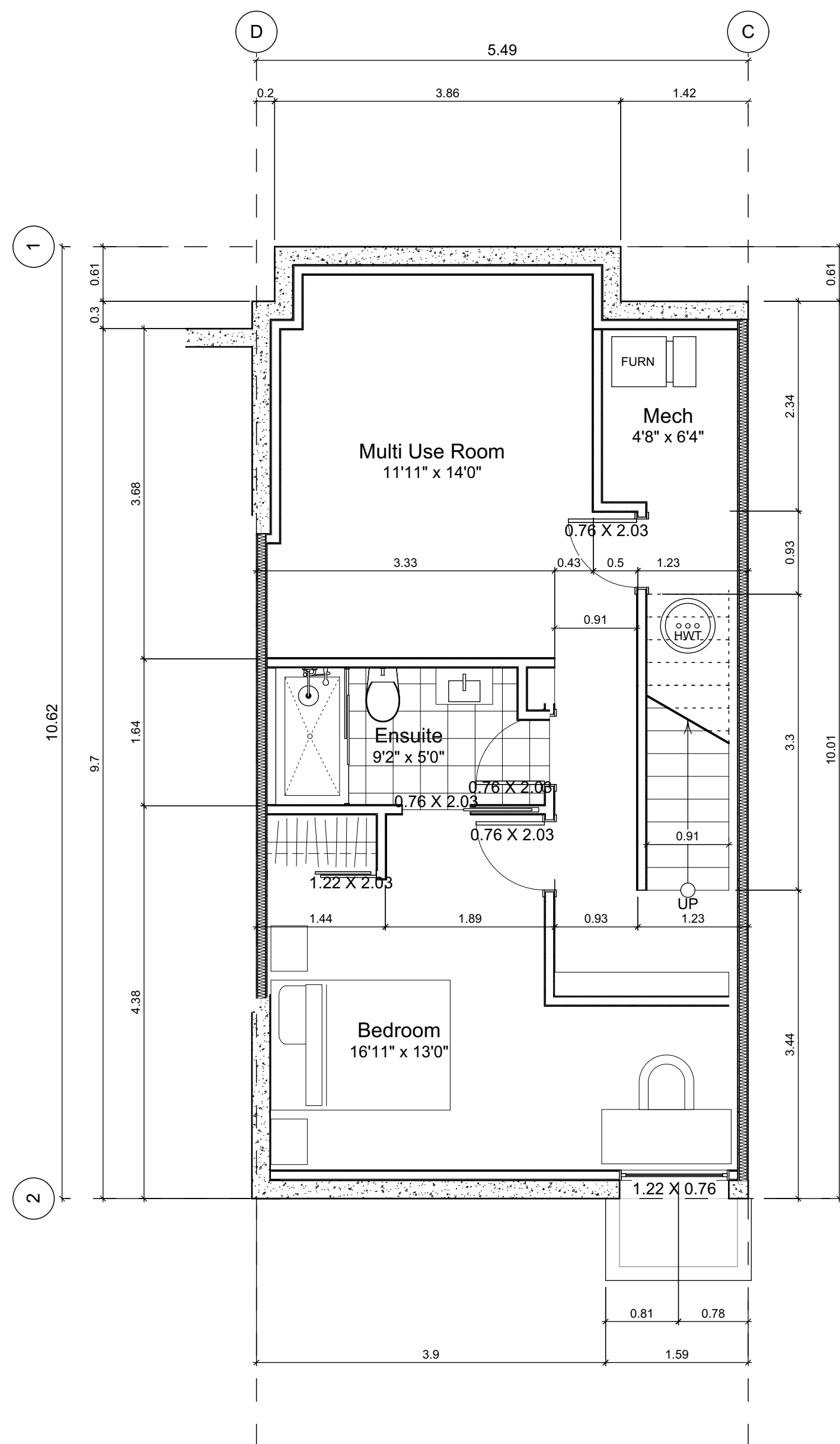
Project No: 19.015

Drawn By: SG/TD

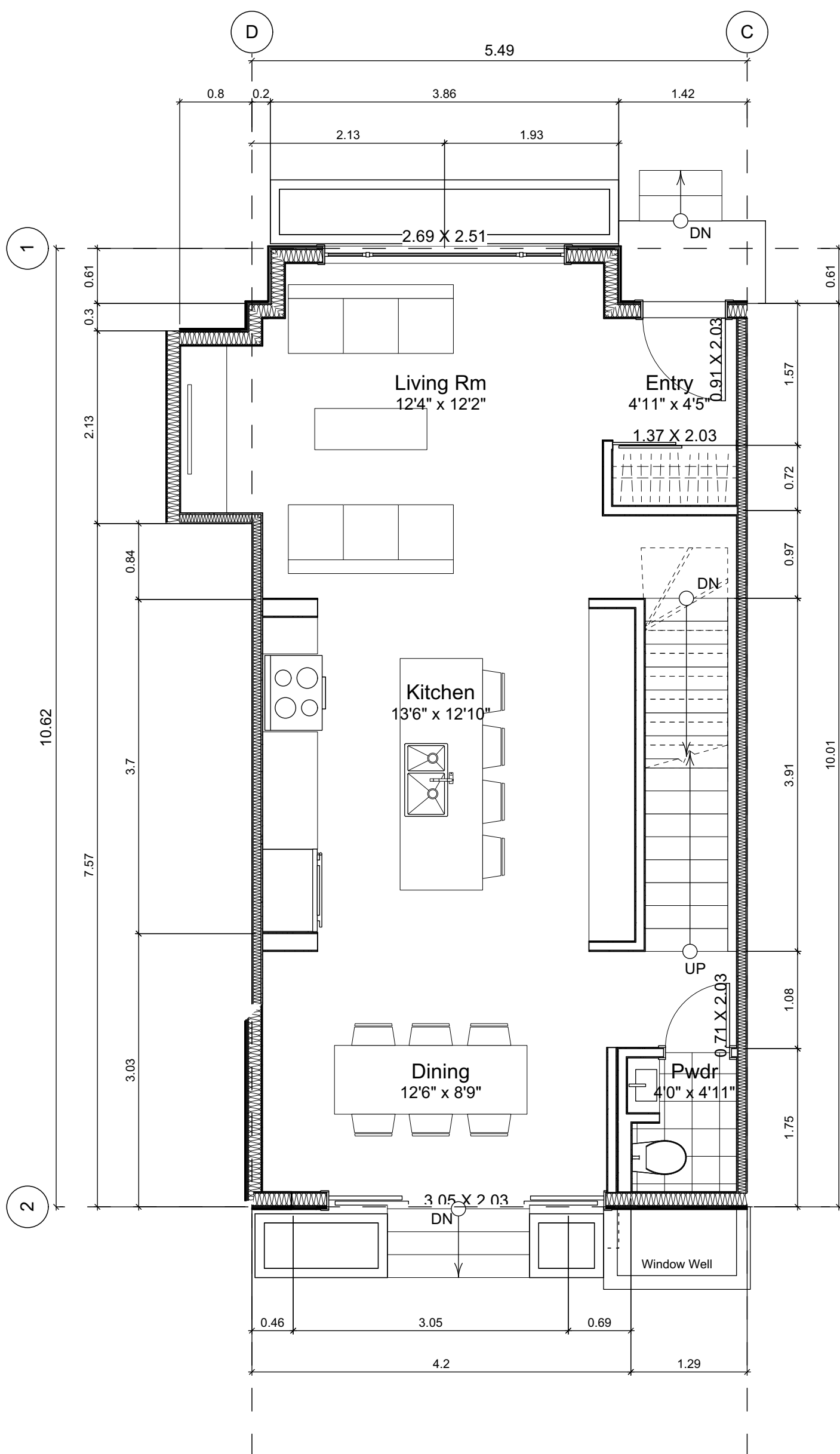
Plot Date: Nov 29, 2022

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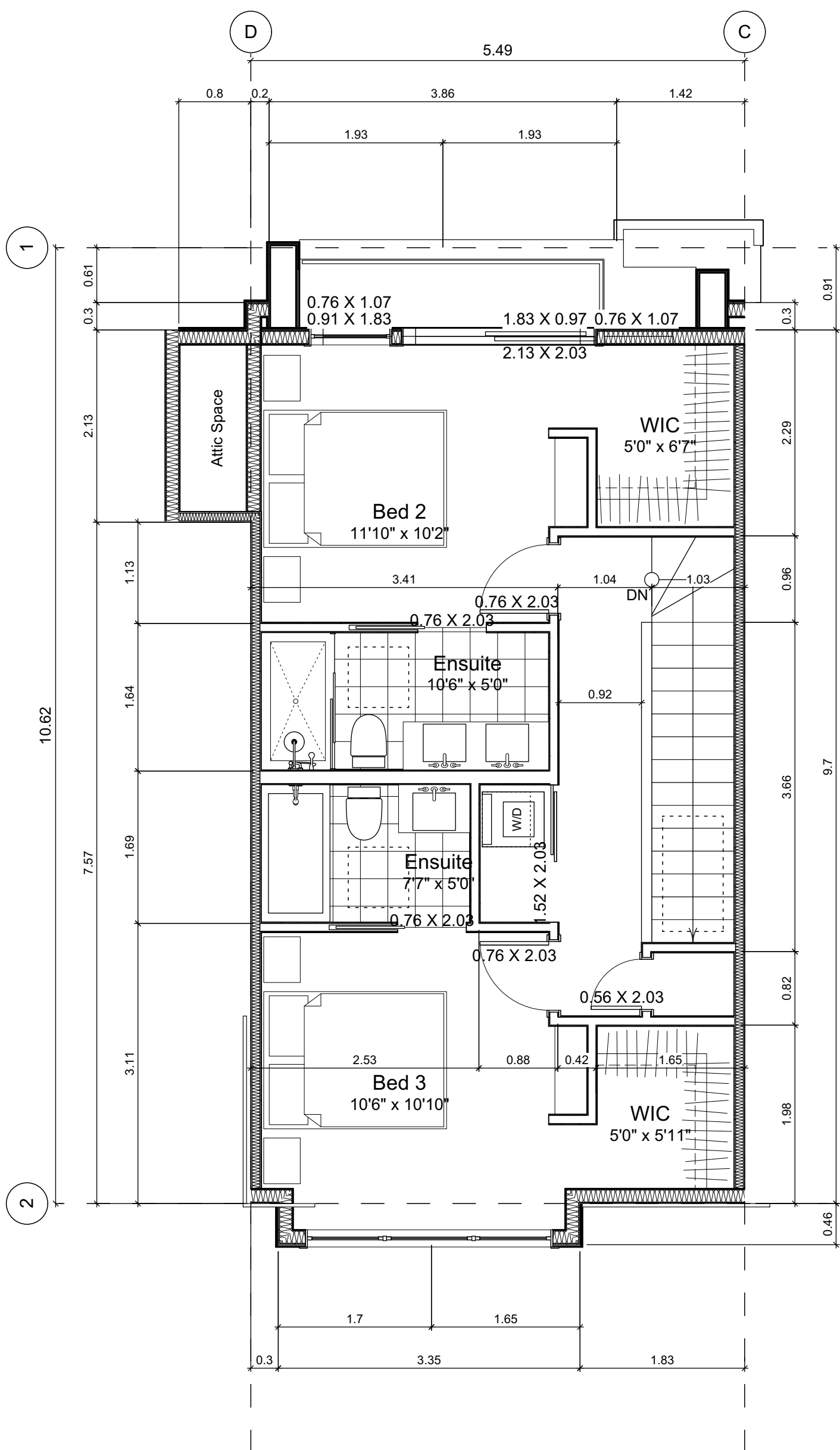
Sheet No:



7.1 Basement Floor Plan
Scale: 1:50



7.2 Main Floor Plan
Scale: 1:50



7.3 Second Floor Plan
Scale: 1:50

Unit Plan Notes:

See Block plan for foundation plan.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) Face of plywood, or face of concrete.

Floor Area Calculations

| | Unit 7 | | | | |
|----------------|------------------|----------|-------------------|----------|---|
| | Gross Floor Area | | Zoning Floor Area | Bedrms | |
| Basement Floor | 619 sq ft | 57.5 m2 | 0 sq ft | 0.0 m2 | |
| Main Floor | 636 sq ft | 59.1 m2 | 621 sq ft | 57.7 m2 | |
| Second Floor | 589 sq ft | 54.8 m2 | 572 sq ft | 53.2 m2 | |
| Half Storey | | | | | |
| Totals: | 1,844 sq ft | 171.4 m2 | 1,193 sq ft | 110.8 m2 | 4 |
| Garage | 172 sq ft | 16.0 m2 | | | |

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| 2022-11-04 | Revised & Re-issued for DP |
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Unit 7 Floor Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/TD

Plot Date: Nov 29, 2022

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| 2022-11-14 | Revised & Re-issued for DP |
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Unit 8 & 9 Floor Plans &
Refuse Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

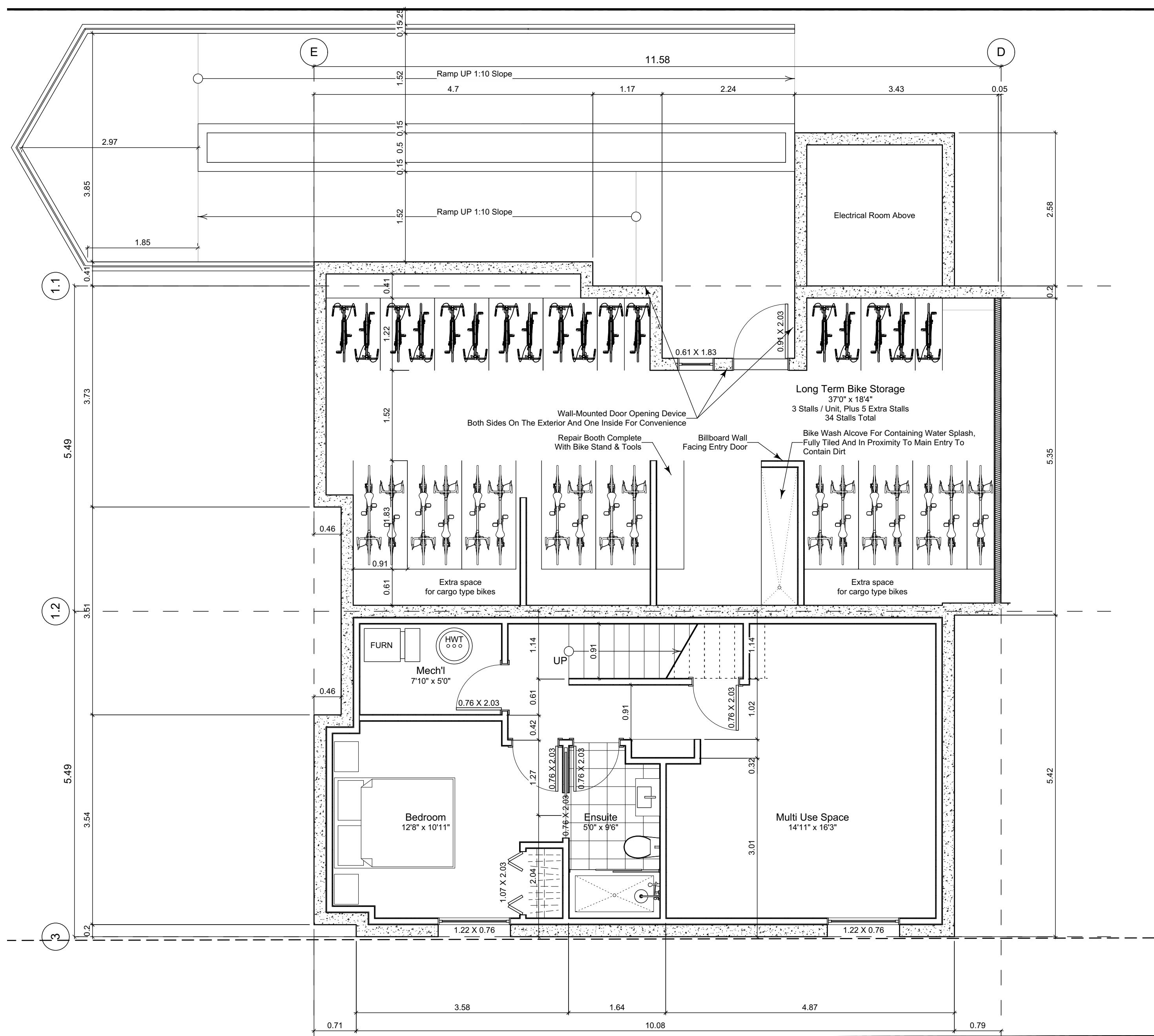
Drawn By: SG/TD

Plot Date: Nov 29, 2022

Scale: 1:50

Sheet No:

A3.7



0 Basement Floor Plan
Scale: 1:50

Unit Plan Notes:

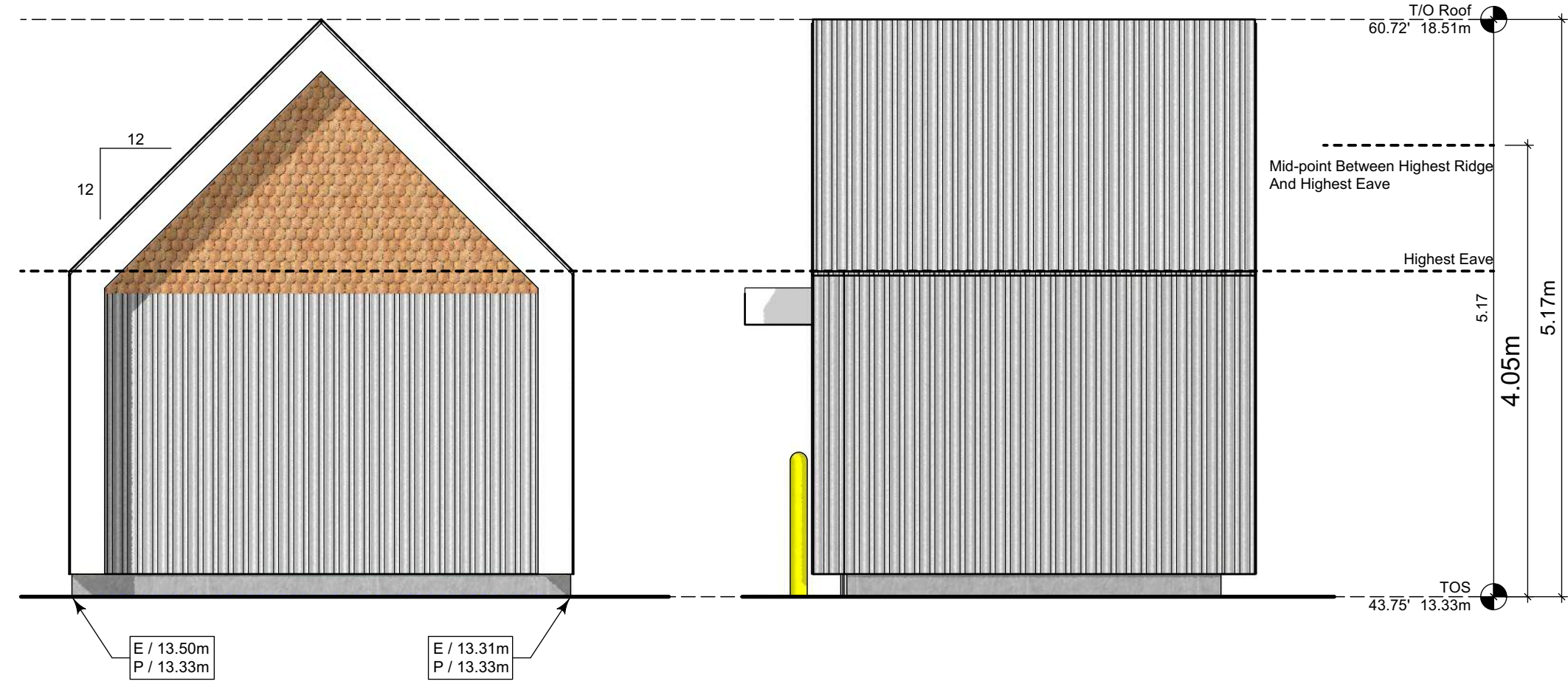
See Block plan for foundation plan.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

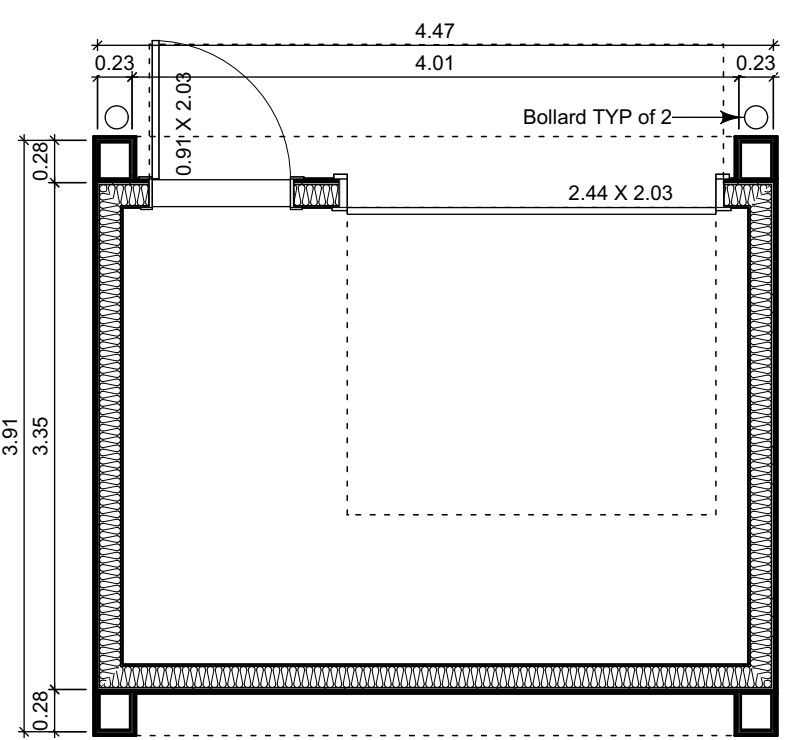
Dimensions are to:
1) One side of interior stud,
2) Face of plywood, or face of concrete.

| Floor Area Calculations | | Unit 9 | | | |
|-------------------------|-------------|------------------|-------------------|----------|---|
| | | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | 616 sq ft | 57.2 m2 | 0 sq ft | 0.0 m2 | |
| Main Floor | 627 sq ft | 58.3 m2 | 613 sq ft | 56.9 m2 | |
| Second Floor | 581 sq ft | 54.0 m2 | 544 sq ft | 50.6 m2 | |
| Half Storey | | | | | |
| Totals: | 1,825 sq ft | 169.5 m2 | 1,157 sq ft | 107.5 m2 | 3 |
| Garage | 172 sq ft | 16.0 m2 | | | |

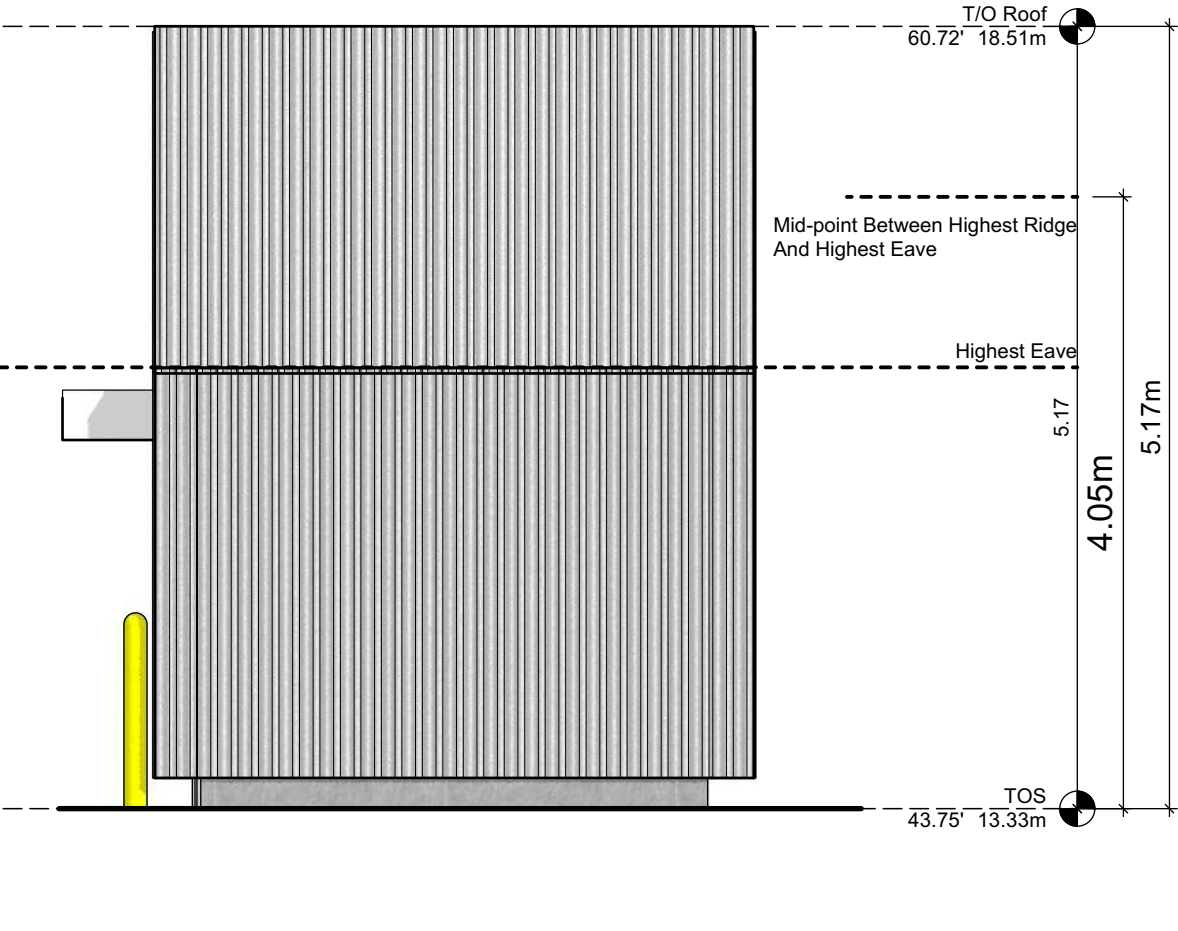
| Floor Area Calculations | | Unit 8 | | | |
|-------------------------|-------------|------------------|-------------------|----------|---|
| | | Gross Floor Area | Zoning Floor Area | Bedrms | |
| Basement Floor | 678 sq ft | 63.0 m2 | 0 sq ft | 0.0 m2 | |
| Main Floor | 696 sq ft | 64.7 m2 | 691 sq ft | 64.2 m2 | |
| Second Floor | 626 sq ft | 58.2 m2 | 598 sq ft | 55.6 m2 | |
| Half Storey | | | | | |
| Totals: | 2,001 sq ft | 185.9 m2 | 1,289 sq ft | 119.8 m2 | 2 |
| Garage | 172 sq ft | 16.0 m2 | | | |



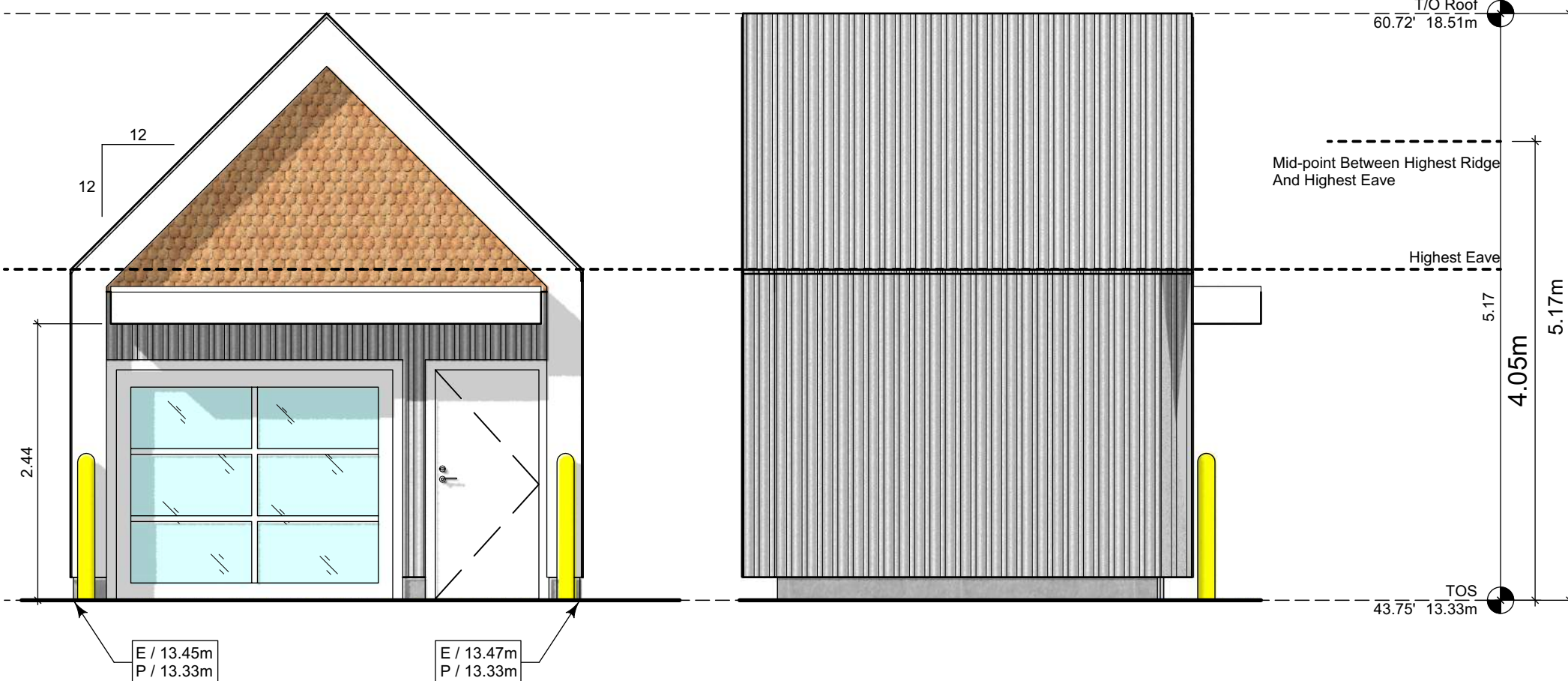
1.4 Rear Elevation
Scale: 1:50



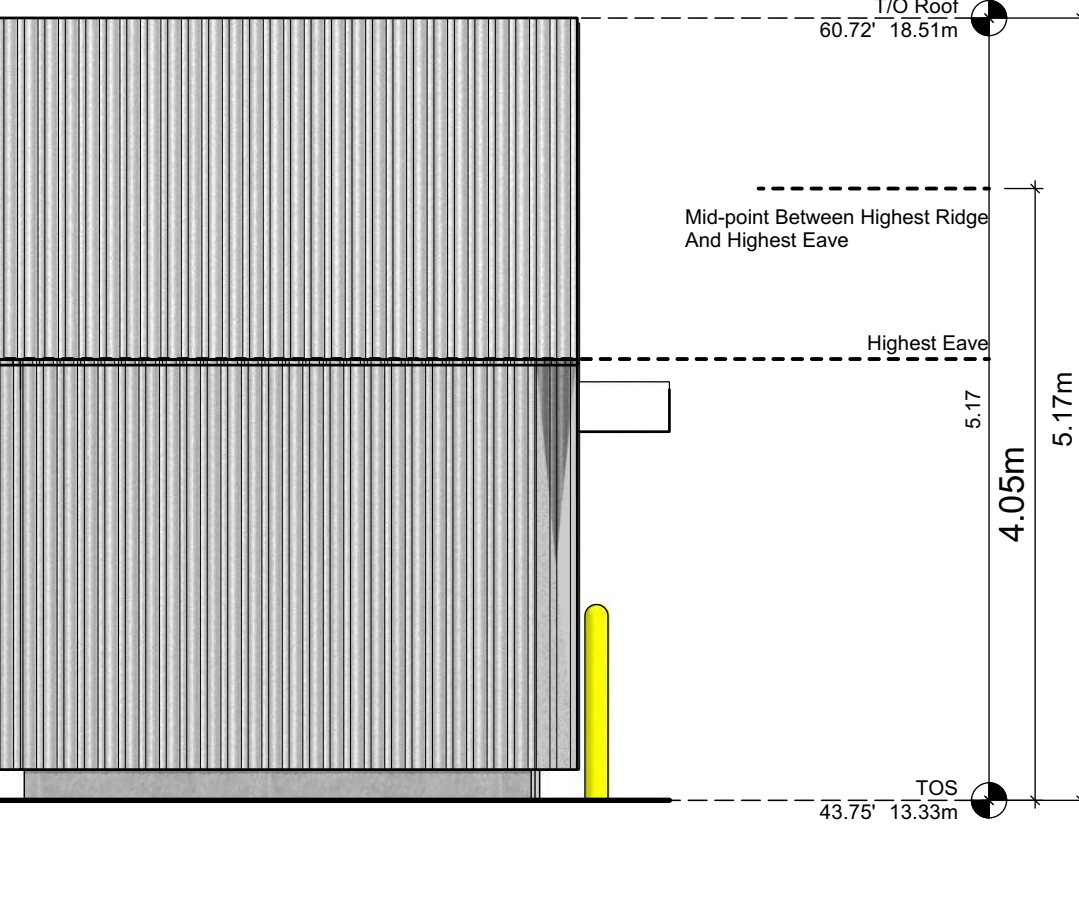
1.1 Refuse Floor Plan
Scale: 1:50



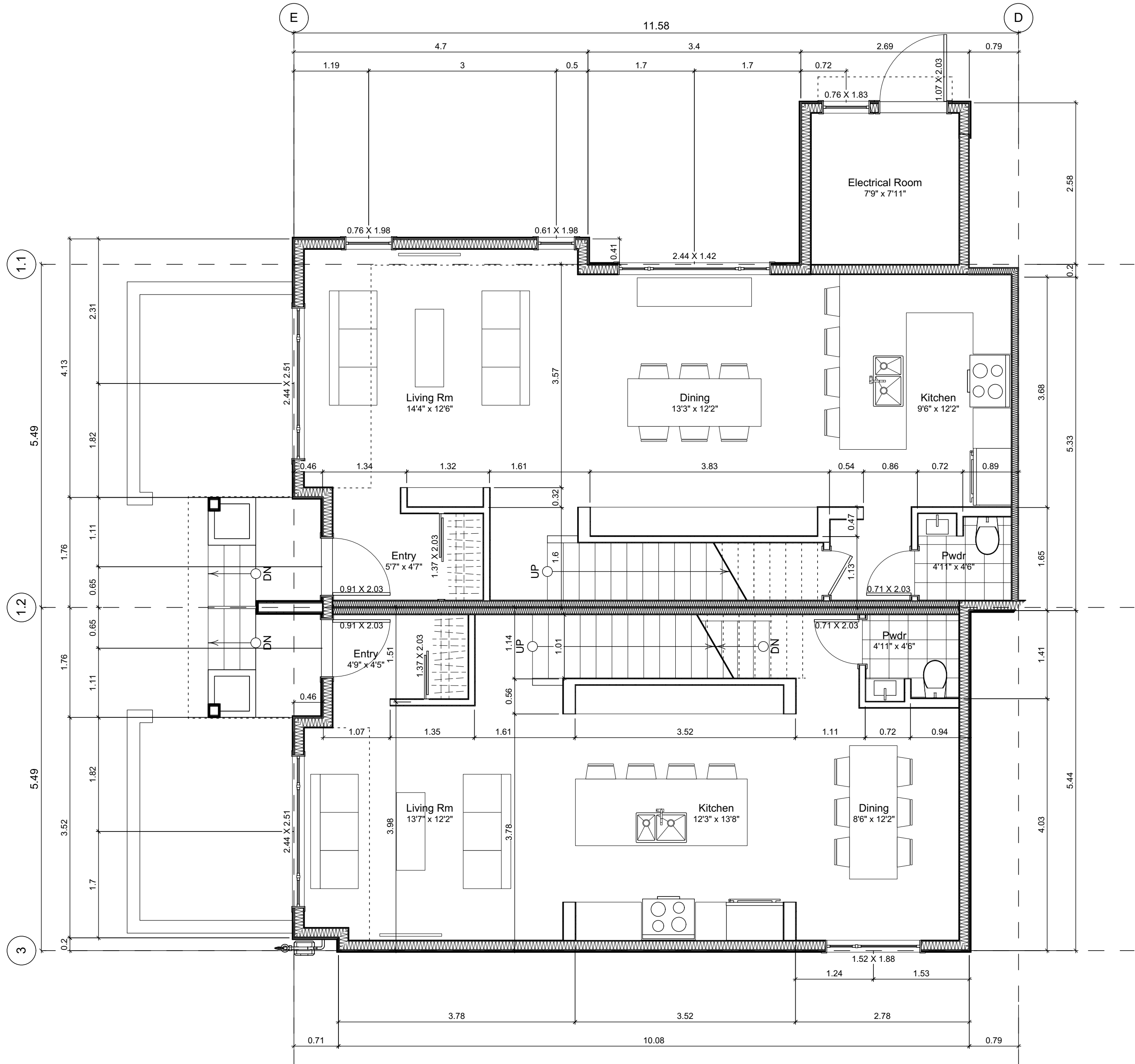
1.5 Left Elevation
Scale: 1:50



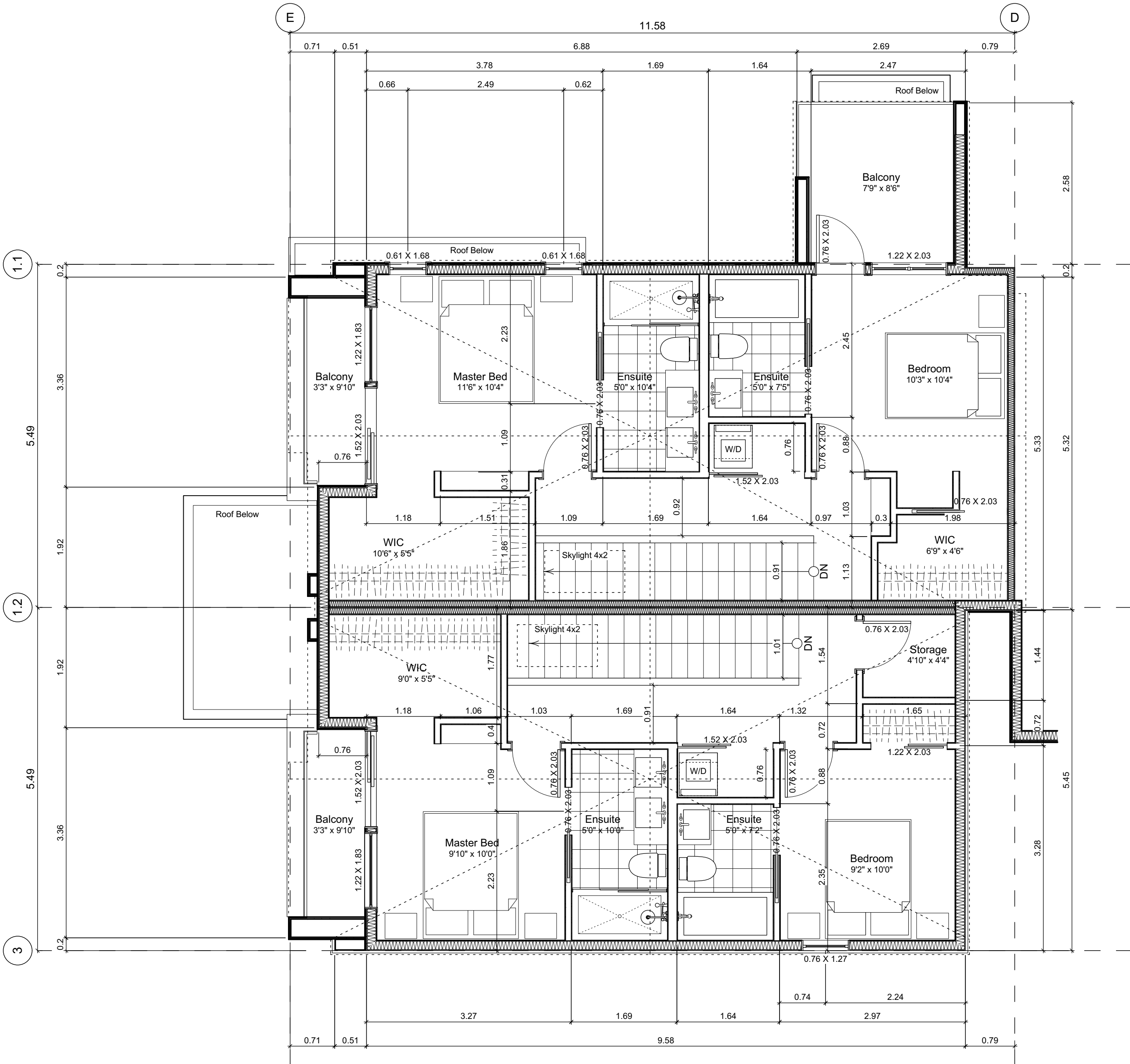
1.2 Front Elevation
Scale: 1:50



1.3 Right Elevation
Scale: 1:50



1 Main Floor Plan
Scale: 1:50



2 Second Floor Plan
Scale: 1:50

Unit Plan Notes:
See Block plan for foundation plan.

- Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

- Dimensions are to:
1) One side of interior stud,
2) Face of plywood, or face of concrete.

Floor Area Calculations

| | Gross Floor Area | | Zoning Floor Area | | Bedrms |
|----------------|------------------|----------|-------------------|----------|--------|
| Basement Floor | 616 sq ft | 57.2 m2 | 0 sq ft | 0.0 m2 | |
| Main Floor | 627 sq ft | 58.3 m2 | 613 sq ft | 56.9 m2 | |
| Second Floor | 581 sq ft | 54.0 m2 | 544 sq ft | 50.6 m2 | |
| Half Storey | | | | | |
| Totals: | 1,825 sq ft | 169.5 m2 | 1,157 sq ft | 107.5 m2 | 3 |
| Garage | 172 sq ft | 16.0 m2 | | | |

Floor Area Calculations

| | Gross Floor Area | | Zoning Floor Area | | Bedrms |
|----------------|------------------|----------|-------------------|----------|--------|
| Basement Floor | 678 sq ft | 63.0 m2 | 0 sq ft | 0.0 m2 | |
| Main Floor | 696 sq ft | 64.7 m2 | 691 sq ft | 64.2 m2 | |
| Second Floor | 626 sq ft | 58.2 m2 | 598 sq ft | 55.6 m2 | |
| Half Storey | | | | | |
| Totals: | 2,001 sq ft | 185.9 m2 | 1,289 sq ft | 119.8 m2 | 2 |
| Garage | 172 sq ft | 16.0 m2 | | | |

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Unit 8 & 9 Floor Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

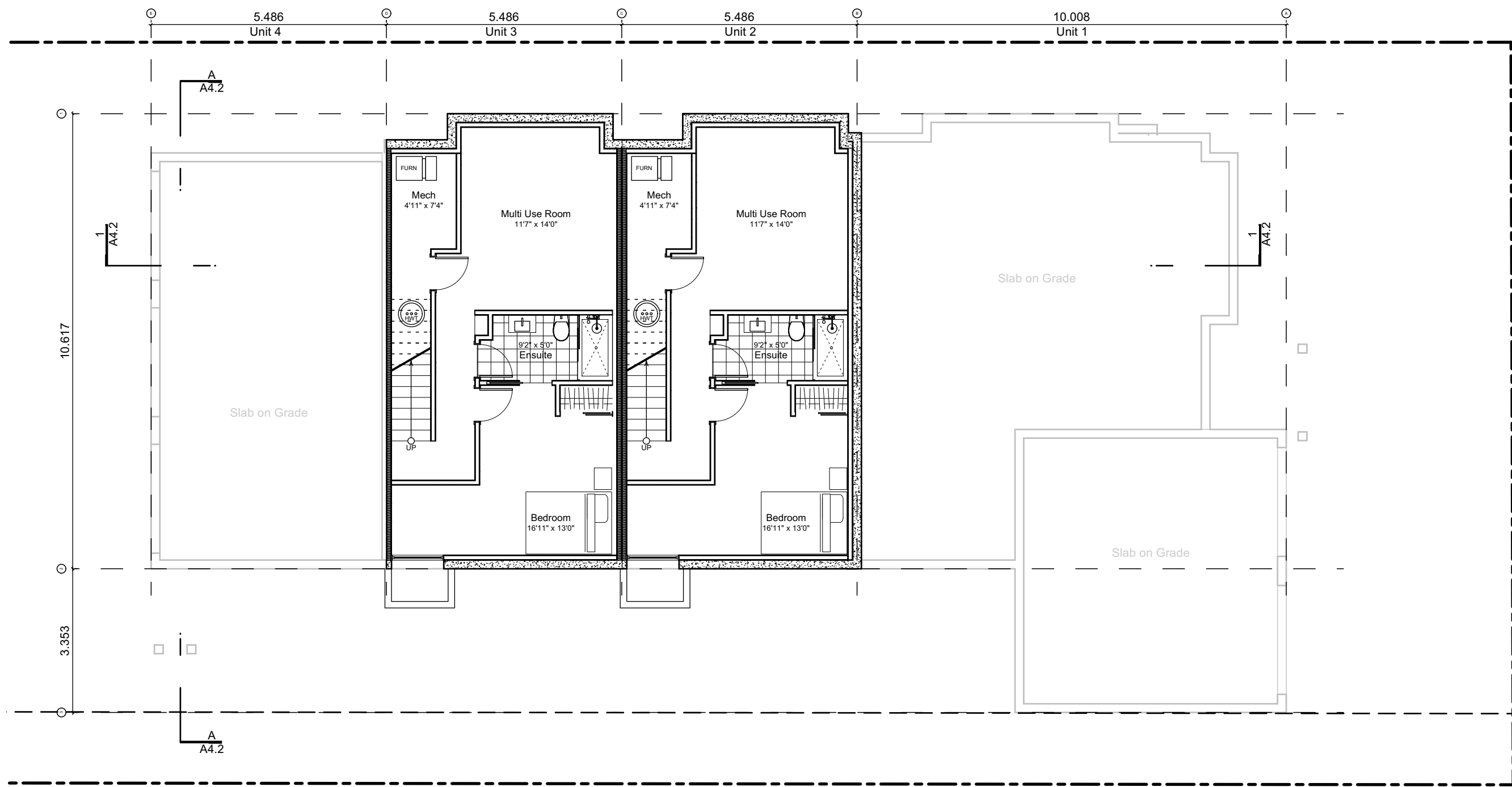
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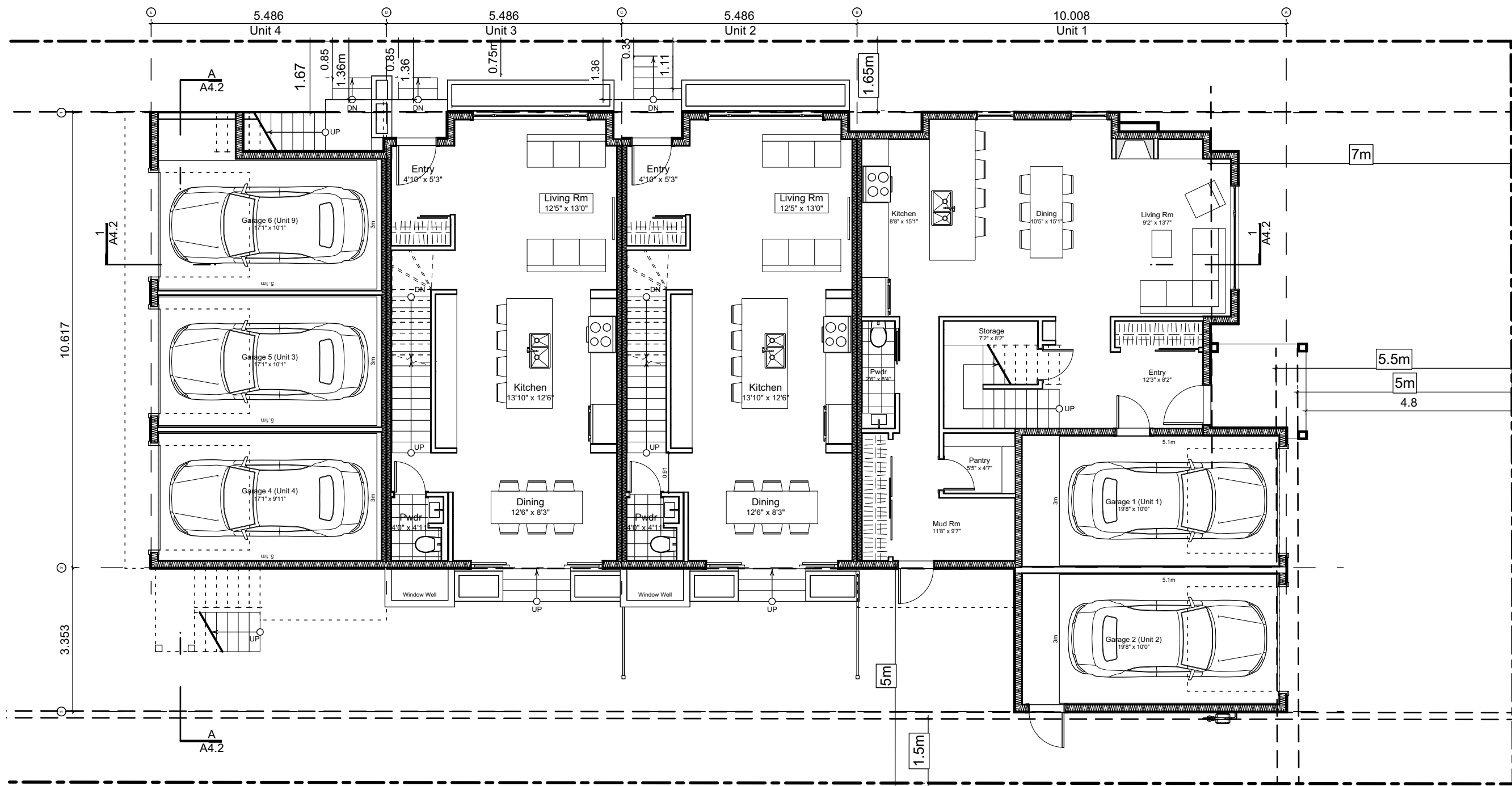
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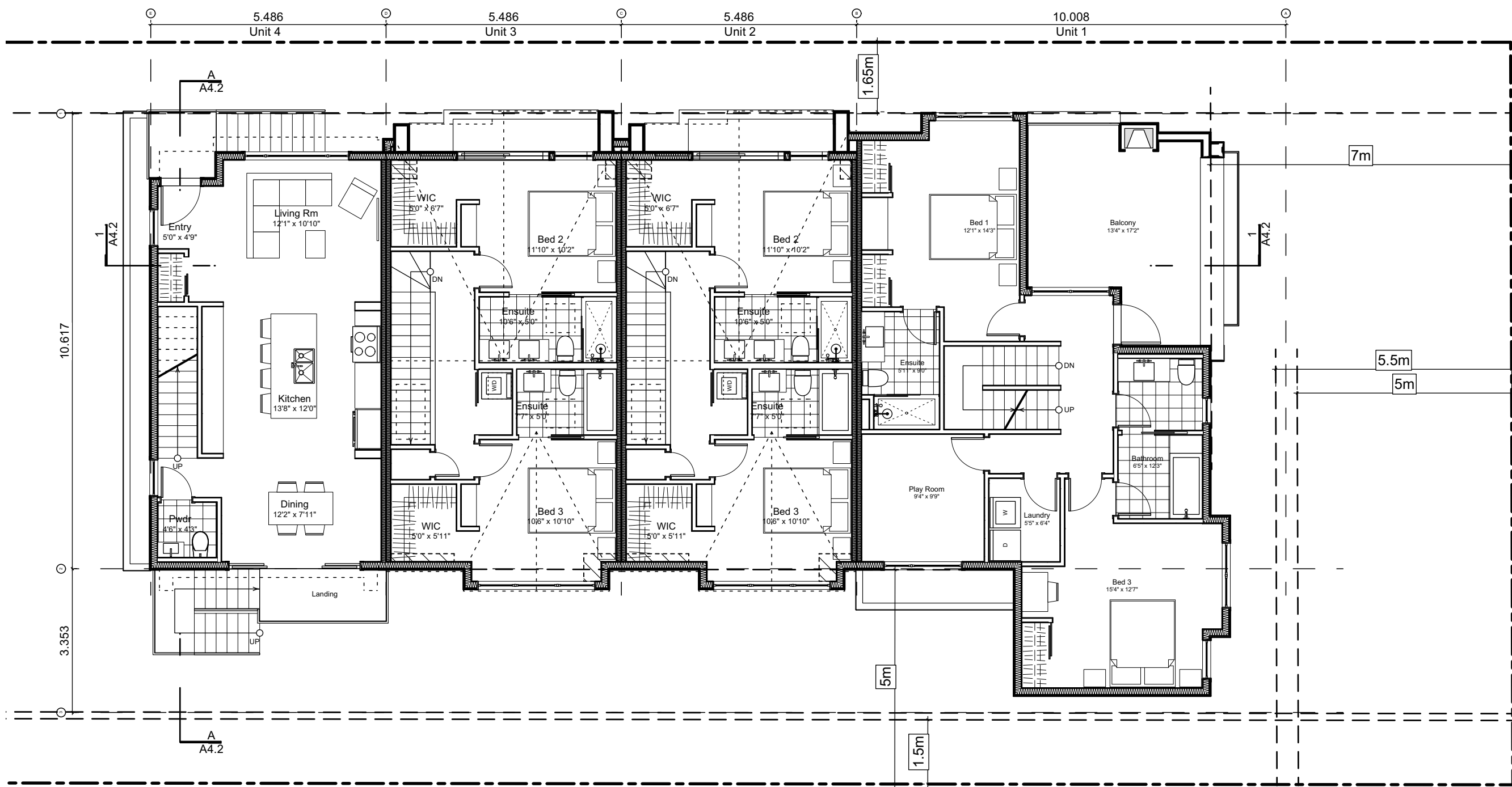
Sheet No:



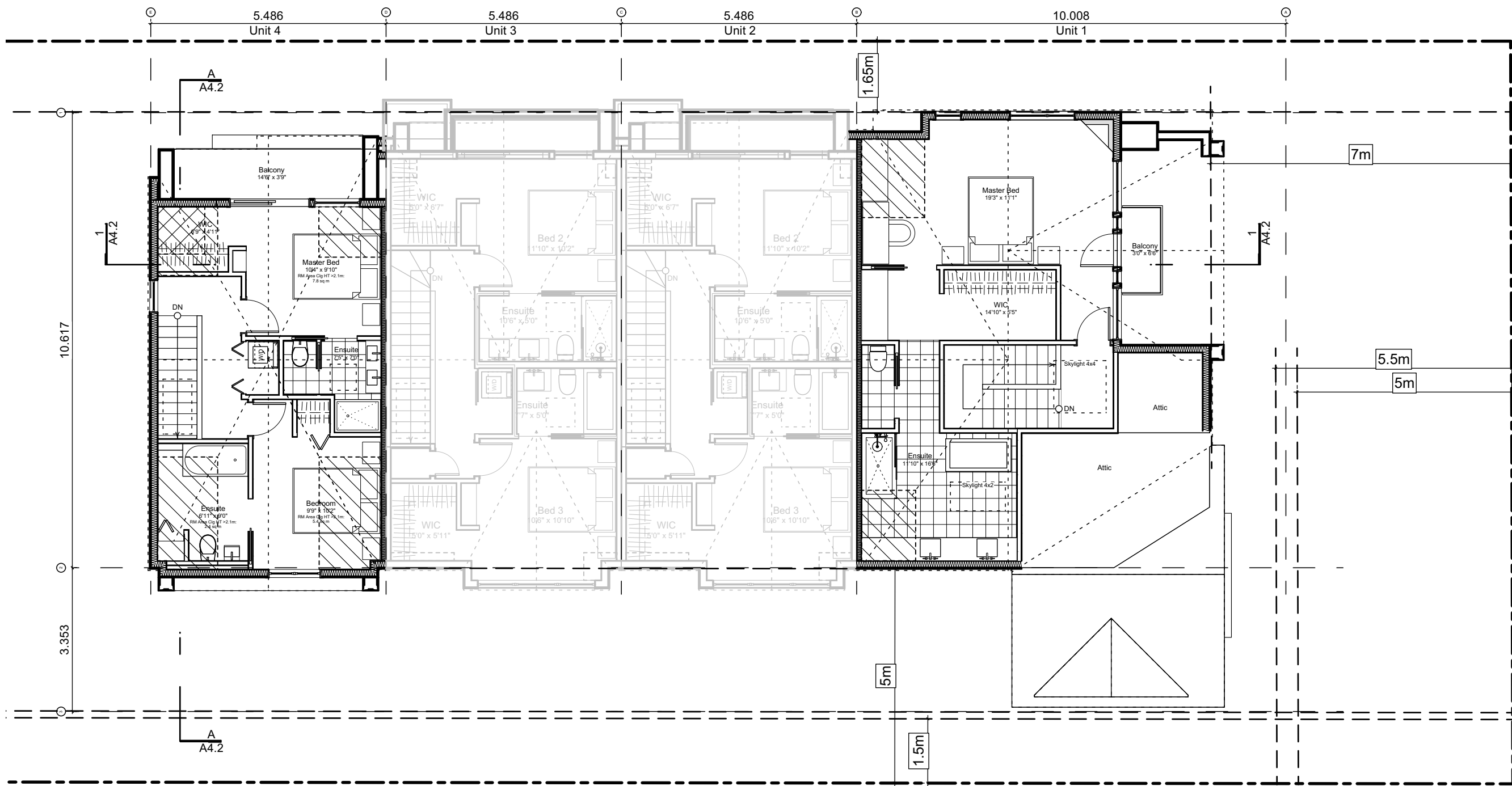
0 Basement Floor Plan
Scale: 1:100



1 Main Floor Plan
Scale: 1:100



2 Second Floor Plan
Scale: 1:100



3 Third Floor Plan
Scale: 1:100

Block Plan Notes:

See unit plans for detailed dimensions and notes.

Grid Lines are to:

- 1) Outside face of plywood or
- 2) Centre line of demising wall.

Dimensions are to:

- 1) One side of interior stud,
- 2) Face of plywood, or face of concrete.

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| 2022-11-25 | Revised & Re-issued for DP |

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID: Project No: 19.015

Drawn By: SG/TD

Plot Date: Nov 29, 2022

Scale: 1:100

Sheet No:

Spatial Separation (9.10.14.4.) - Block 01 (Not Sprinklered)

| Compartment | Area of Facade | Limiting Distance (LD) | | Unprotected Openings | | Construction of Building Face | Cladding |
|--------------|----------------|------------------------|--------------------|--------------------------------------|----------------|-------------------------------|----------|
| | | | | Permitted | Actual | | |
| North Facade | | | | | | | |
| (N) Unit 1 | 51.5 m2 | 11.40 m | to C/L Kipling St. | 95.2 % 49.0 m2 | 19.9 % 10.3 m2 | C, 45 MIN | C or NC |
| (N) Unit 2 | 41.2 m2 | 11.40 m | to C/L Kipling St. | LD Exceeds 8.0m, UPO Allowed > 100% | | C, 45 MIN | C or NC |
| (N) Unit 3 | 39.6 m2 | 11.40 m | to C/L Kipling St. | LD Exceeds 8.0m, UPO Allowed > 100% | | C, 45 MIN | C or NC |
| (N) Unit 4 | 38.9 m2 | 11.40 m | to C/L Kipling St. | LD Exceeds 8.0m, UPO Allowed > 100% | | C, 45 MIN | C or NC |
| East Facade | | | | | | | |
| (E) Unit 1 | 88.9 m2 | 15.16 m | to Thurlow Rd | LD Exceeds 12.0m, UPO Allowed > 100% | | C, 45 MIN | C or NC |
| South Facade | | | | | | | |
| (S) Unit 1A | 14.1 m2 | 1.66 m | to PL | 19.5 % **2.8 m2 | 0.0 % 0.0 m2 | C, 60 MIN | NC |
| (S) Unit 1B | 30.6 m2 | 5.00 m | to PL | 42.5 % 13.0 m2 | 10.5 % 3.2 m2 | C, 45 MIN | C or NC |
| (S) Garage 2 | 17.9 m2 | 1.66 m | to PL | 15.4 % **2.8 m2 | 9.2 % 1.7 m2 | C, 60 MIN | NC |
| (S) Unit 2 | 35.9 m2 | 5.00 m | to PL | 42.5 % 15.2 m2 | 23.9 % 8.6 m2 | C, 45 MIN | C or NC |
| (S) Unit 3 | 35.9 m2 | 5.00 m | to PL | 42.5 % 15.2 m2 | 23.9 % 8.6 m2 | C, 45 MIN | C or NC |
| (S) Unit 4 | 24.9 m2 | 5.00 m | to PL | 42.5 % 10.6 m2 | 33.6 % 8.4 m2 | C, 45 MIN | C or NC |
| (S) Garage 3 | 12.6 m2 | 1.66 m | to PL | 21.9 % **2.8 m2 | 0.0 % 0.0 m2 | C, 60 MIN | NC |
| West Facade | | | | | | | |
| (W) Unit 4 | 43.1 m2 | 3.56 m | to Midway | 29.4 % **12.7 m2 | 6.5 % 2.8 m2 | C, 45 MIN | C or NC |
| (W) Garage 4 | 7.2 m2 | 3.56 m | to Midway | 175.7 % **12.7 m2 | 72.1 % 5.2 m2 | C, 45 MIN | C or NC |
| (W) Garage 5 | 7.3 m2 | 3.56 m | to Midway | 174.1 % **12.7 m2 | 71.5 % 5.2 m2 | C, 45 MIN | C or NC |
| (W) Garage 6 | 9.7 m2 | 3.56 m | to Midway | 130.9 % **12.7 m2 | 53.7 % 5.2 m2 | C, 45 MIN | C or NC |

9.10.14.2.(2) Fire Compartments are to be a min. of 45min FRR

** Limiting Distance Squared

9.10.14.3. Assumes Fire department response time is < 10min

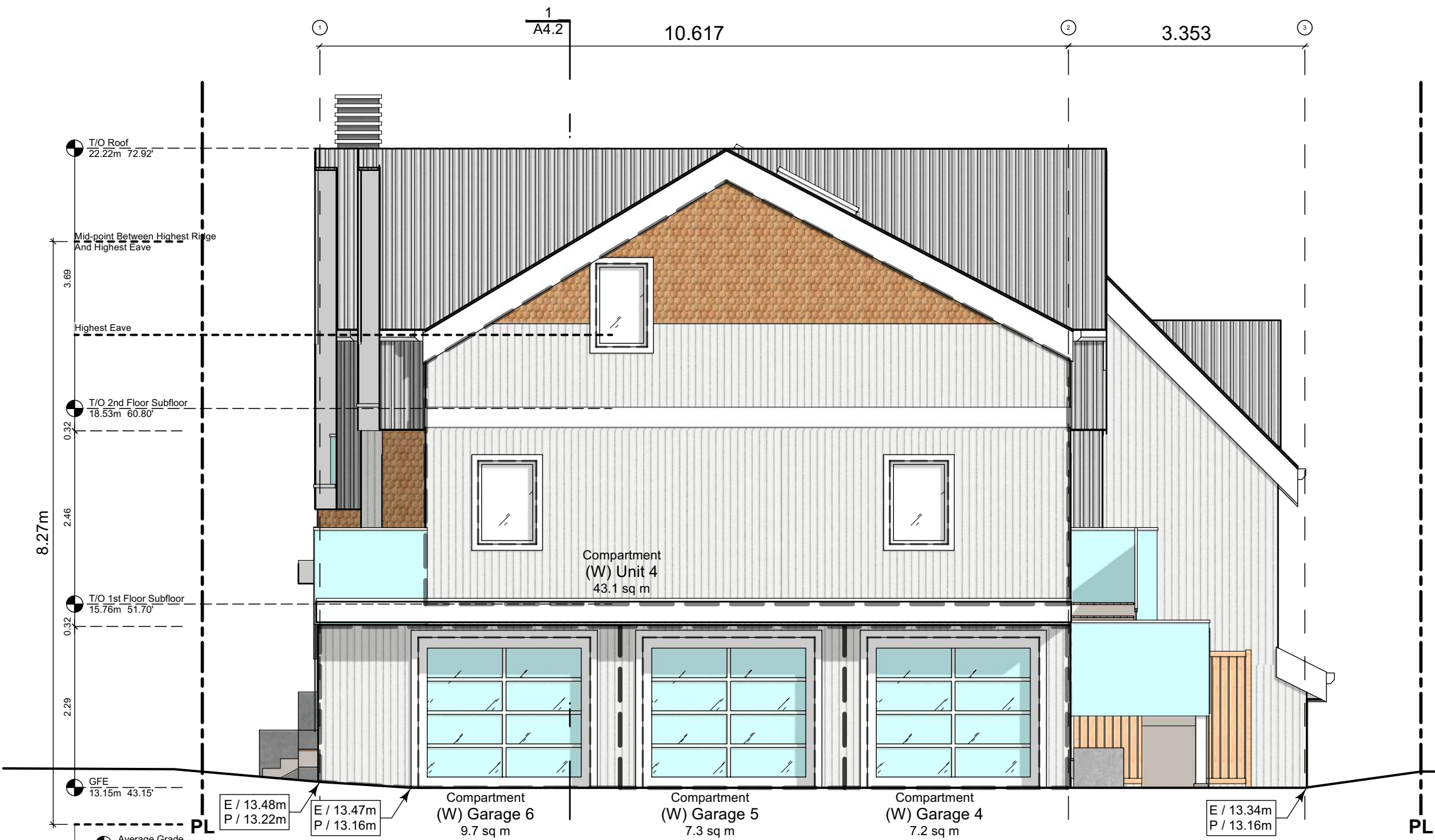
Exterior Materials

| No. | Description | |
|-----|-----------------------------|---|
| 1 | Wood Shingles | Cedar |
| 2 | Vertical Siding | Light Grey |
| 3 | Stucco | Acrylic, White |
| 4 | Cementitious Trims & Panels | White |
| 5 | Horizontal Cladding | Wood Grain |
| 6 | Window Frame | White |
| 7 | Glass Railing | Glass Guardrail with White Aluminum Frame |
| 8 | Metal Cap Flashing | White |
| 9 | Metal Cladding | Standing Seam, White |
| 10 | Metal Roof | Standing Seam, White |
| 11 | Soffit | Wood Grain |
| 12 | Exposed Concrete | - |
| 13 | Skylight | |
| 14 | Pergola | |
| 15 | Gutter & Downspout | White |

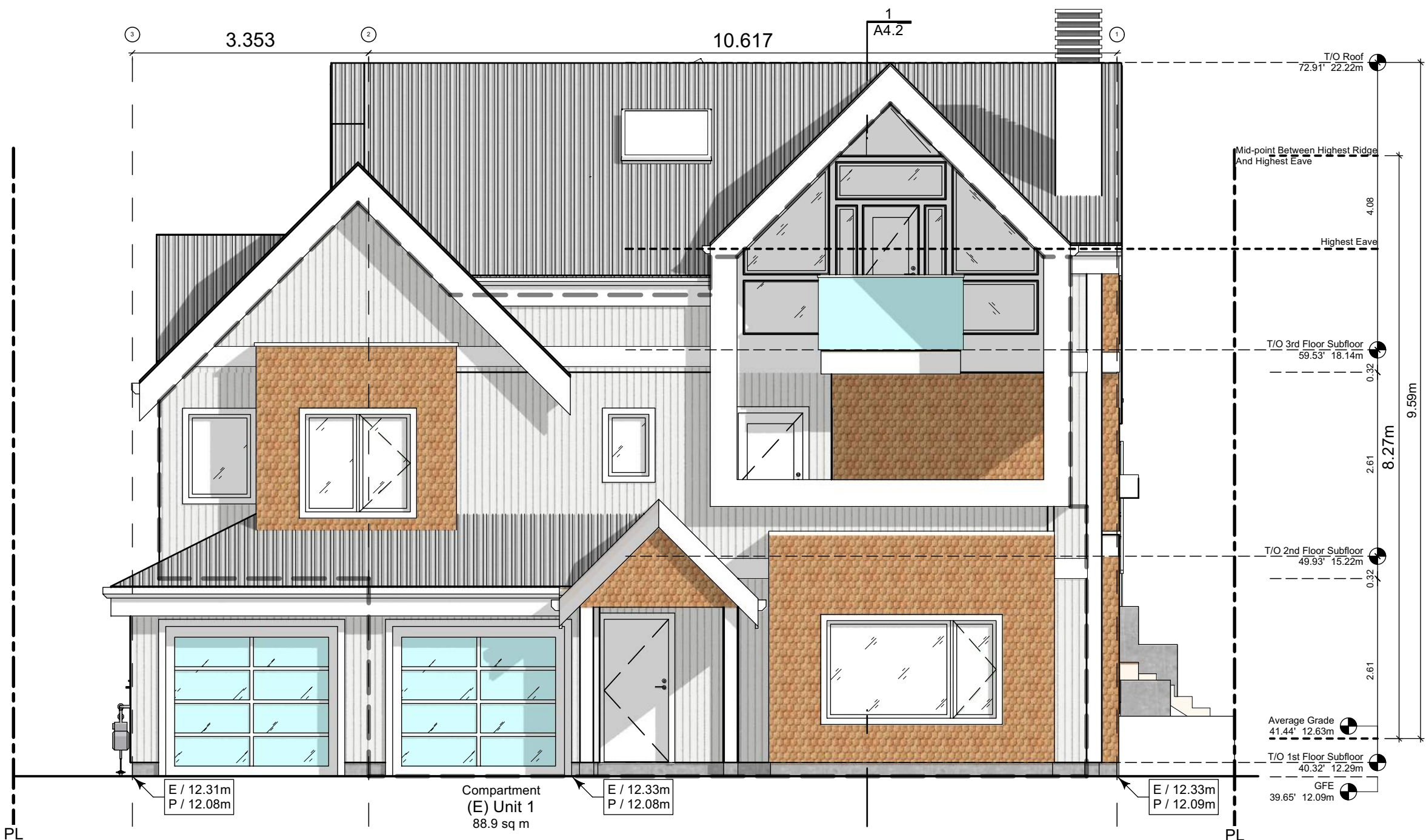
All Materials as noted or approved equal



1 North Elevation - Kipling Street
Scale: 1:65



2 West Elevation - Driveway
Scale: 1:65



3 East Elevation - Thurlow Road
Scale: 1:65

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| 2022-11-25 | Revised & Re-Issued for DP |

Block 01 Elevations

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/TD

Plot Date: Nov 29, 2022

Scale: 1:65

Sheet No:

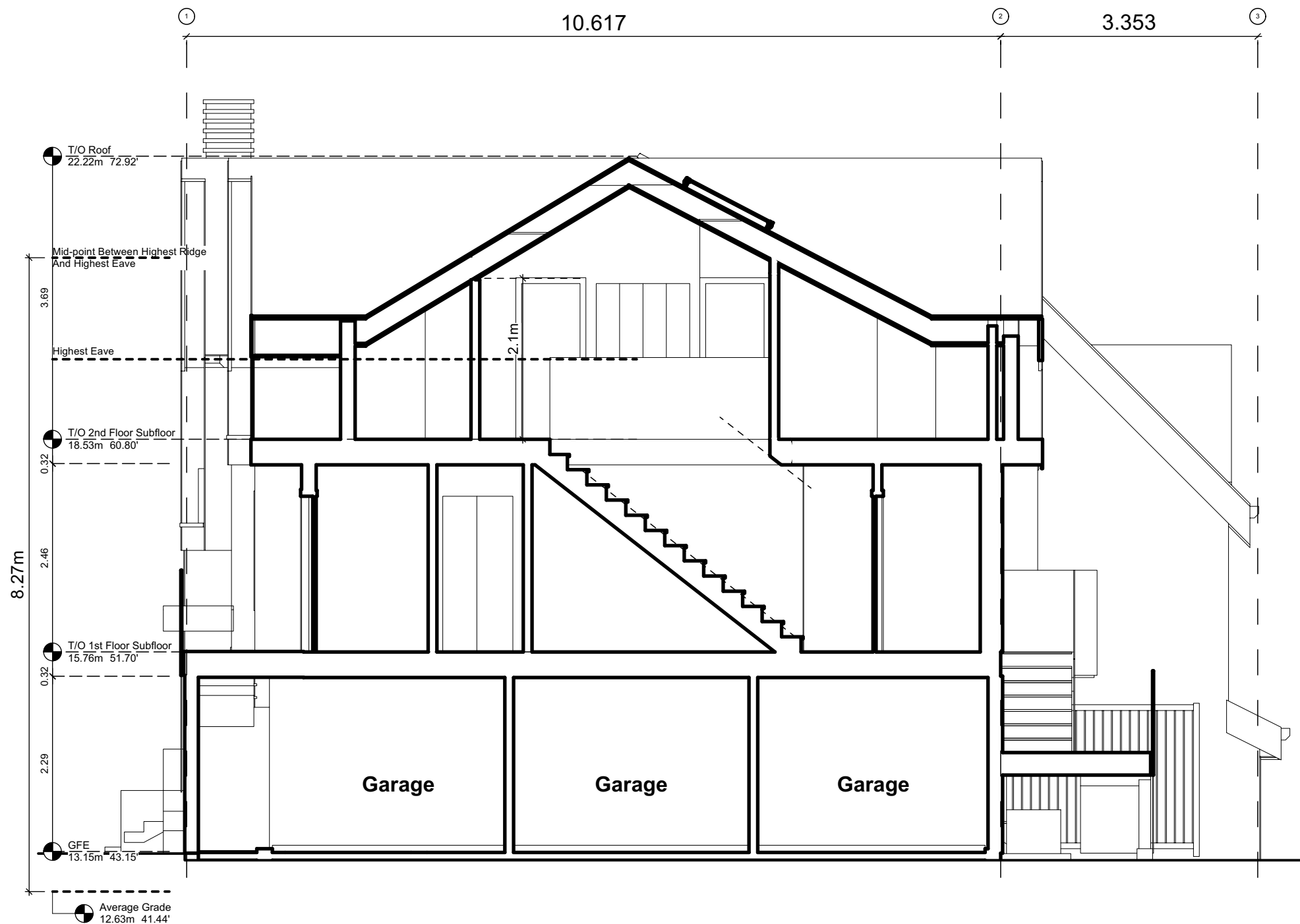
Exterior Materials

| No. | Description | |
|-----|-----------------------------|---|
| 1 | Wood Shingles | Cedar |
| 2 | Vertical Siding | Light Grey |
| 3 | Stucco | Acrylic, White |
| 4 | Cementitious Trims & Panels | White |
| 5 | Horizontal Cladding | Wood Grain |
| 6 | Window Frame | White |
| 7 | Glass Railing | Glass Guardrail with White Aluminum Frame |
| 8 | Metal Cap Flashing | White |
| 9 | Metal Cladding | Standing Seam, White |
| 10 | Metal Roof | Standing Seam, White |
| 11 | Soffit | Wood Grain |
| 12 | Exposed Concrete | - |
| 13 | Skylight | |
| 14 | Pergola | |
| 15 | Gutter & Downspout | White |

All Materials as noted or approved equal



2 South Elevation
Scale: 1:65



A Block 1 Unit 4 Section
Scale: 1:65



1 Block 1 Section
Scale: 1:65

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Block 01
Elevations & Sections

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

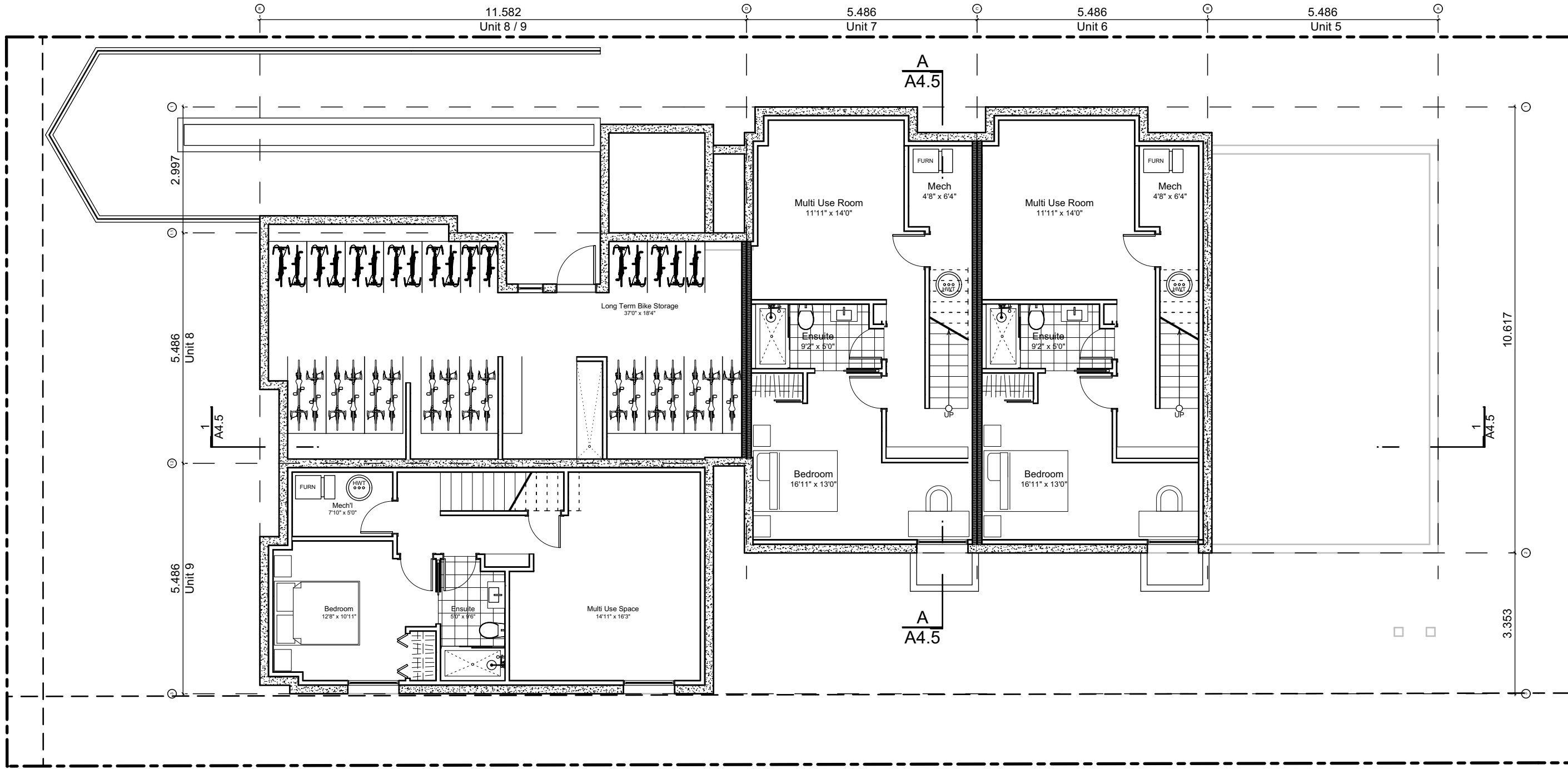
Project No: 19.015

Drawn By: SG/TD

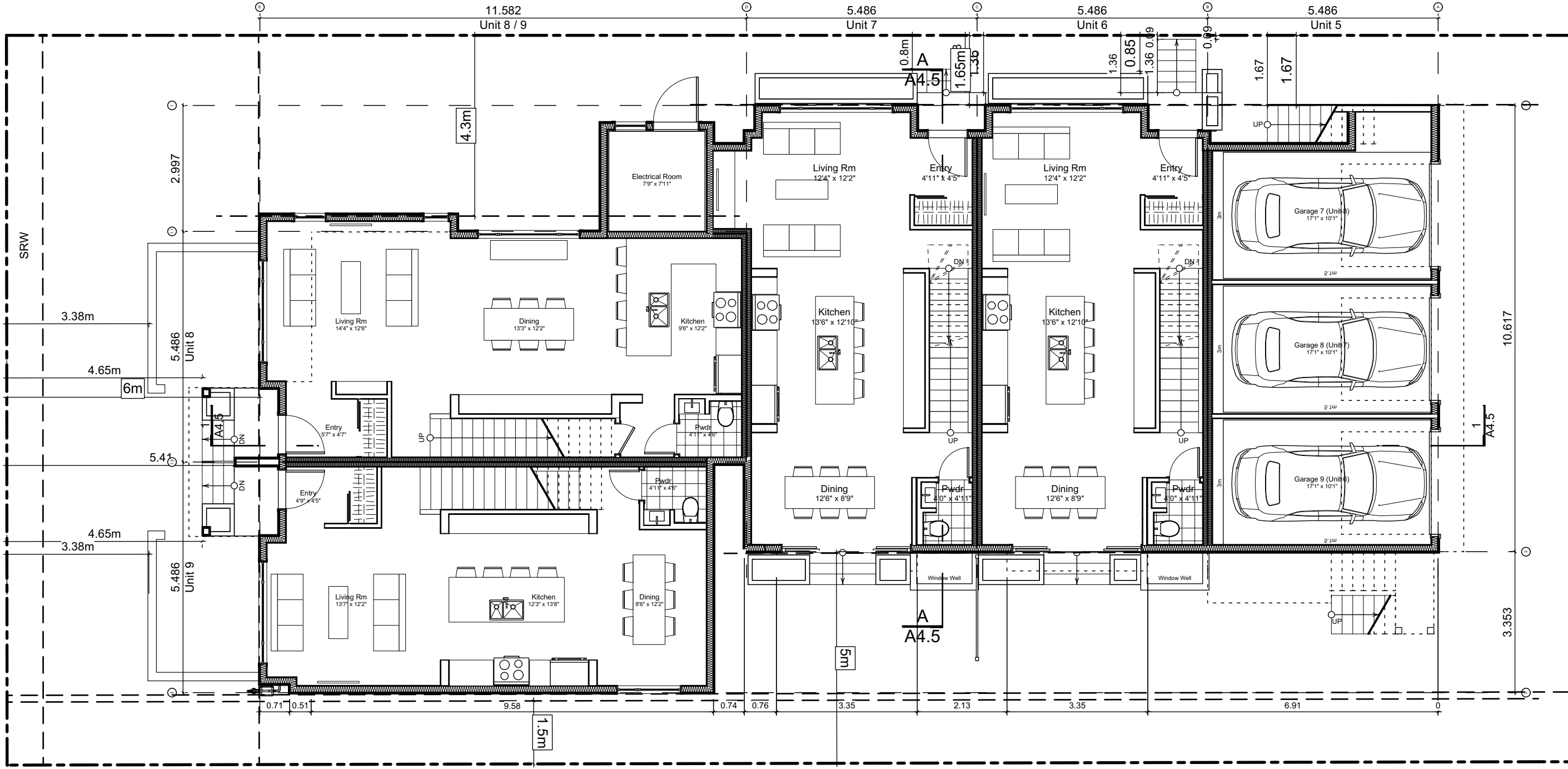
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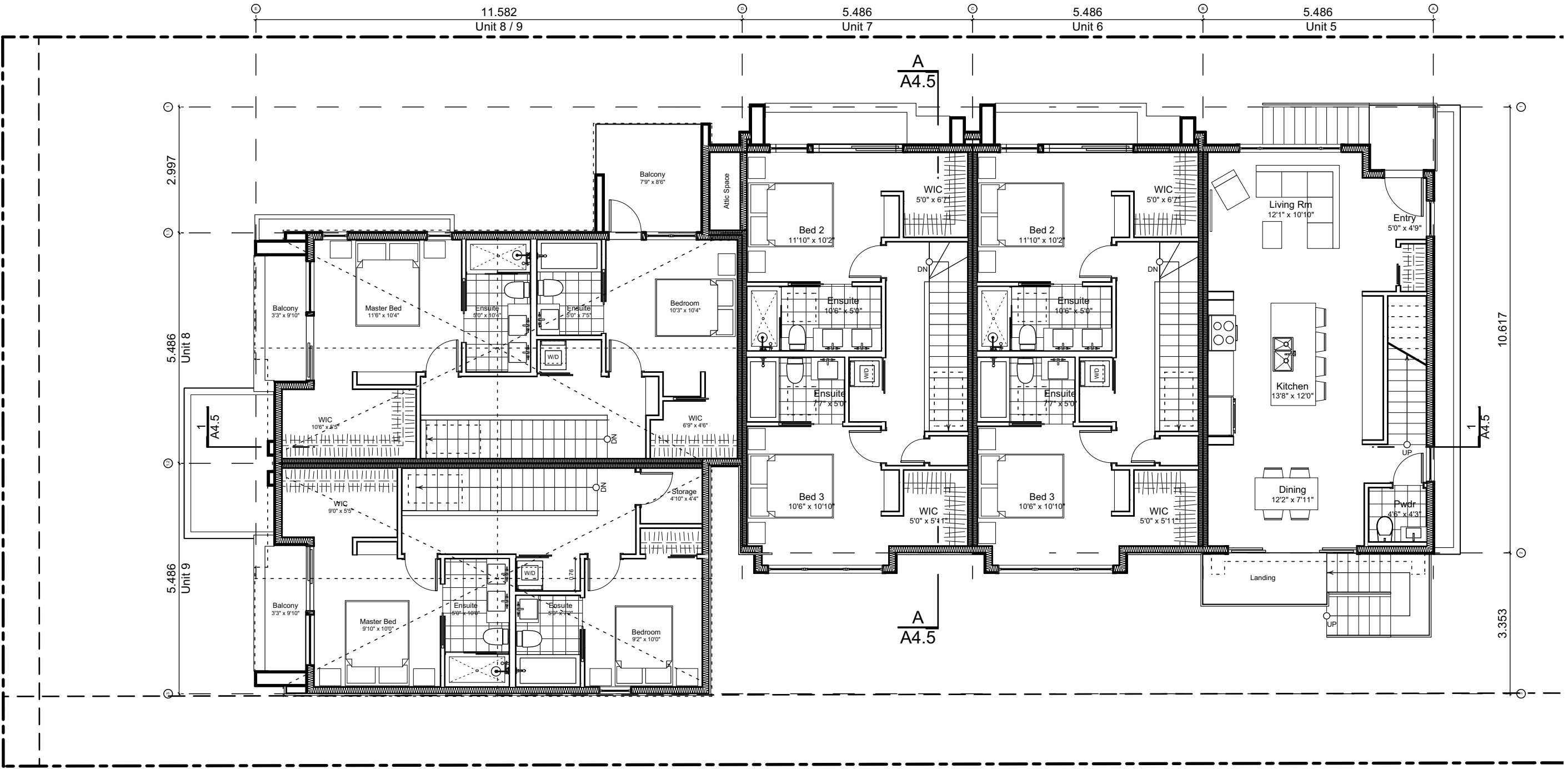
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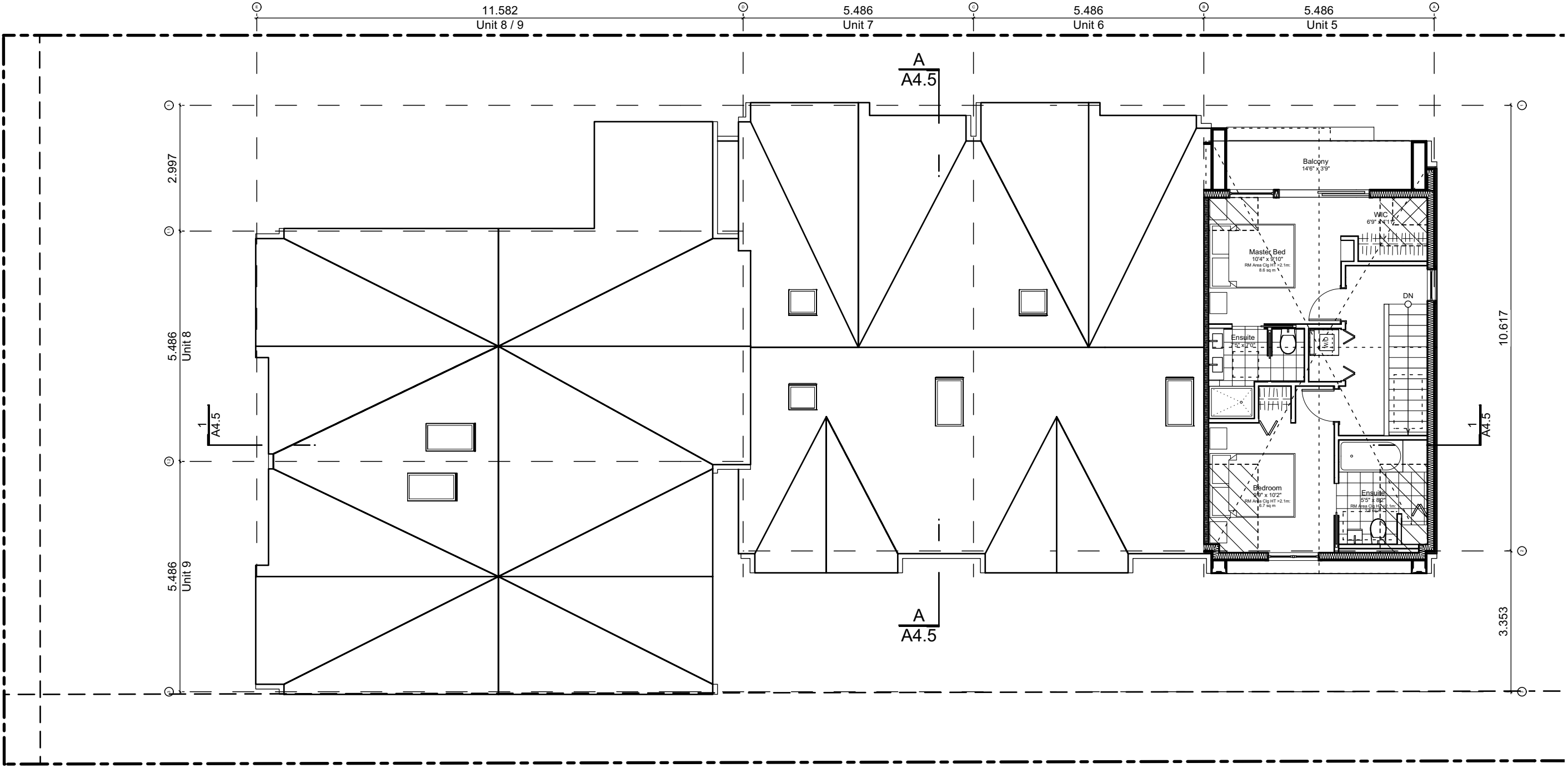
0 Basement Floor Plan
Scale: 1:100



1 Main Floor Plan
Scale: 1:100



2 Second Floor Plan
Scale: 1:100



3 Third Floor Plan (Half Storey)
Scale: 1:100

Block Plan Notes:
See unit plans for detailed dimensions and notes.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) Face of plywood, or face of concrete.

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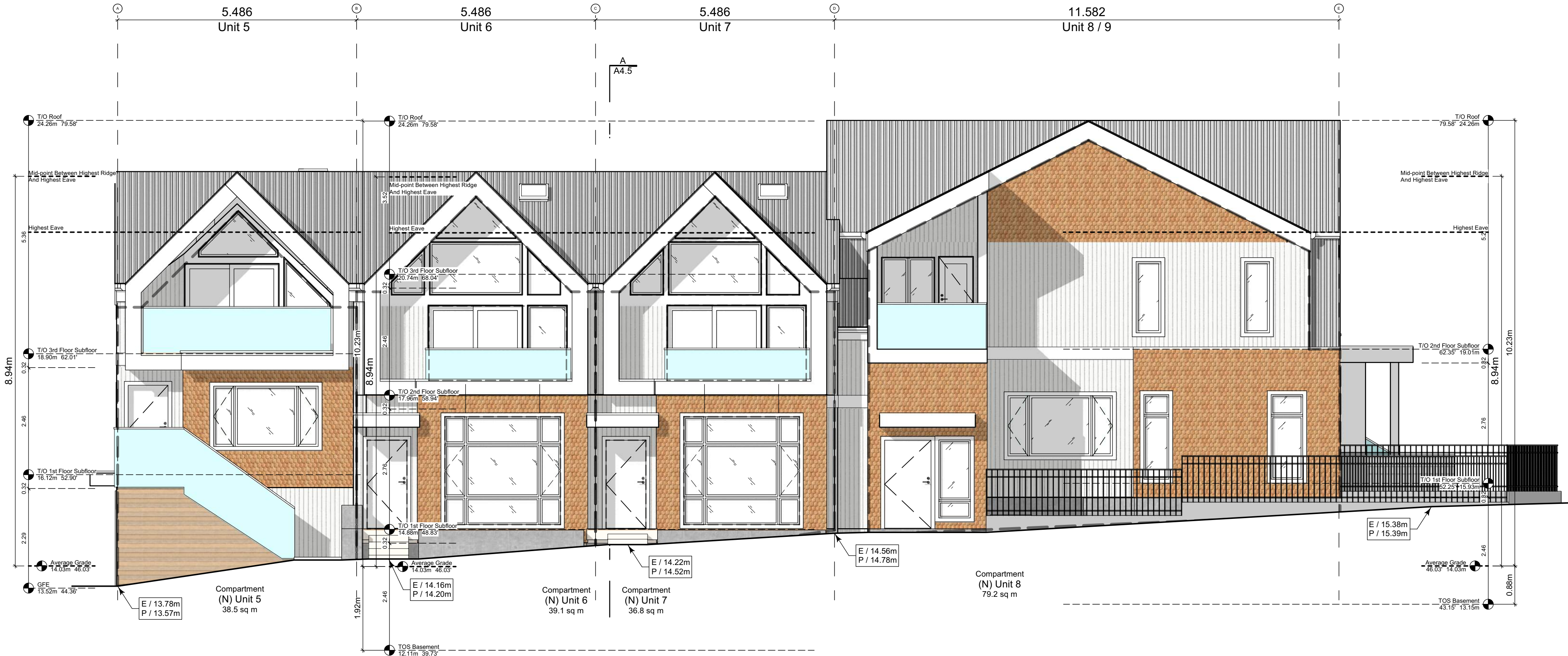
Spatial Separation (9.10.14.4.) - Block 02 (Not Sprinklered)

| Compartment | Area of Facade | Limiting Distance (LD) | Unprotected Openings | | Construction of Building Face | Cladding |
|---|----------------|------------------------|----------------------|---------------------------------------|-------------------------------|----------|
| | | | Permitted | Actual | | |
| North Facade | | | | | | |
| (N) Unit 5 | 38.5 m2 | 11.37 m | to C/L Kipling St. | LD Exceeds 8.0m, UPO Allowed > 100% | C, 45 MIN | C or NC |
| (N) Unit 6 | 39.1 m2 | 11.37 m | to C/L Kipling St. | 95.0 % 37.1 m2 35.4 % 13.8 m2 | C, 45 MIN | C or NC |
| (N) Unit 7 | 36.8 m2 | 11.37 m | to C/L Kipling St. | 95.0 % 34.9 m2 50.3 % 18.5 m2 | C, 45 MIN | C or NC |
| (N) Unit 8 | 79.2 m2 | 13.96 m | to C/L Kipling St. | LD Exceeds 12.0m, UPO Allowed > 100% | C, 45 MIN | C or NC |
| East Facade | | | | | | |
| (E) Unit 5 | 47.6 m2 | 3.56 m | to Midway | 26.6 % **12.7 m2 5.9 % 2.8 m2 | C, 60 MIN | C or NC |
| (E) Garage 7 | 9.6 m2 | 3.56 m | to Midway | 132.1 % **12.7 m2 54.2 % 5.2 m2 | C, 45 MIN | C or NC |
| (E) Garage 8 | 7.3 m2 | 3.56 m | to Midway | 174.1 % **12.7 m2 71.5 % 5.2 m2 | C, 45 MIN | C or NC |
| (E) Garage 9 | 7.4 m2 | 3.56 m | to Midway | 170.5 % **12.7 m2 70.0 % 5.2 m2 | C, 45 MIN | C or NC |
| (E) Refuse | 0.0 m2 | 3.56 m | to Midway | #DIV 0! **12.7 m2 #DIV 0! 0.0 m2 | C, 45 MIN | C or NC |
| South Facade | | | | | | |
| (S) Unit 5 | 41.6 m2 | 5.00 m | to PL | 63.5 % 26.4 m2 20.1 % 8.4 m2 | C, 45 MIN | C or NC |
| (S) Unit 6 | 35.0 m2 | 5.00 m | to PL | 71.4 % **25.0 m2 30.7 % 10.7 m2 | C, 45 MIN | C or NC |
| (S) Unit 7 | 35.0 m2 | 5.00 m | to PL | 71.4 % **25.0 m2 30.7 % 10.7 m2 | C, 45 MIN | C or NC |
| (S) Unit 9 | 90.2 m2 | 1.71 m | to PL | 8.4 % 7.6 m2 5.9 % 5.3 m2 | NC, 60 MIN | NC |
| West Facade | | | | | | |
| (W) Unit 8 | 38.6 m2 | 15.28 m | to C/L Fairfield Rd. | LD Exceeds 8.0m, UPO Allowed > 100% | C, 45 MIN | C or NC |
| (W) Unit 9 | 38.2 m2 | 15.28 m | to C/L Fairfield Rd. | LD Exceeds 8.0m, UPO Allowed > 100% | C, 45 MIN | C or NC |
| 9.10.14.2.(2) Fire Compartments are to be a min. of 45min FRR | | | | ** Limiting Distance Squared | | |
| 9.10.14.3. Assumes Fire department response time is < 10min | | | | | | |

Exterior Materials

| No. | Description | |
|-----|---------------------------|---|
| 1 | Wood Shingles | Cedar |
| 2 | Vertical Siding | Light Grey |
| 3 | Stucco | Acrylic, White |
| 4 | Cementious Trims & Panels | White |
| 5 | Horizontal Cladding | Wood Grain |
| 6 | Window Frame | White |
| 7 | Glass Railing | Glass Guardrail with White Aluminum Frame |
| 8 | Metal Cap Flashing | White |
| 9 | Metal Cladding | Standing Seam, White |
| 10 | Metal Roof | Standing Seam, White |
| 11 | Soffit | Wood Grain |
| 12 | Exposed Concrete | - |
| 13 | Skylight | |
| 14 | Pergola | |
| 15 | Gutter & Downspout | White |

All Materials as noted or approved equal



1 North Elevation - Kipling Street

Scale: 1:65



2 East Elevation - Driveway

Scale: 1:65



3 West Elevation - Fairfield Road

Scale: 1:65

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Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/TD

Plot Date: Nov 29, 2022

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Block 02
Elevations & Sections

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/TD

Plot Date: Nov 29, 2022

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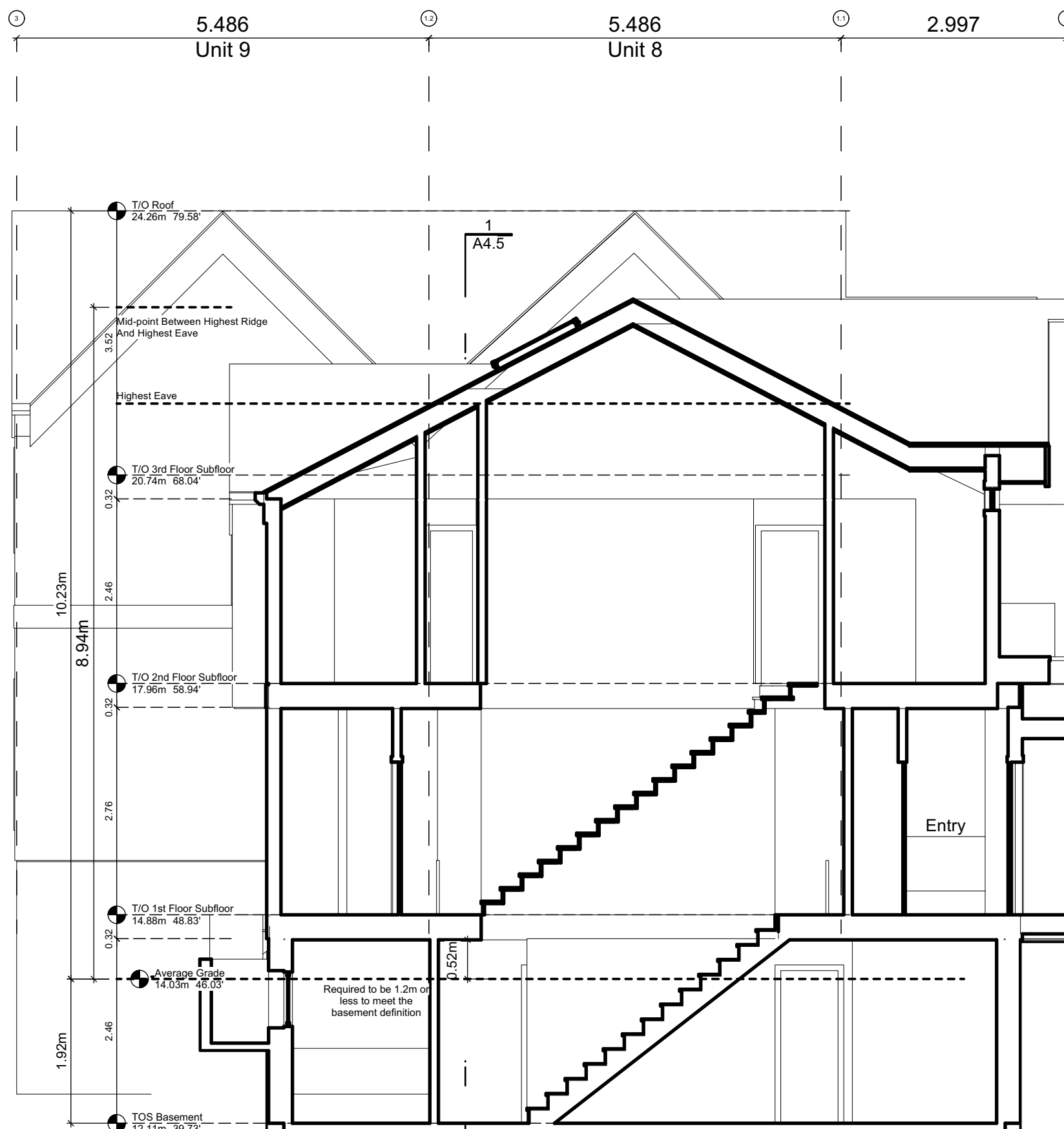
Exterior Materials

| No. | Description | |
|-----|-----------------------------|---|
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| 10 | Metal Roof | Standing Seam, White |
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| 13 | Skylight | - |
| 14 | Pergola | - |
| 15 | Gutter & Downspout | White |

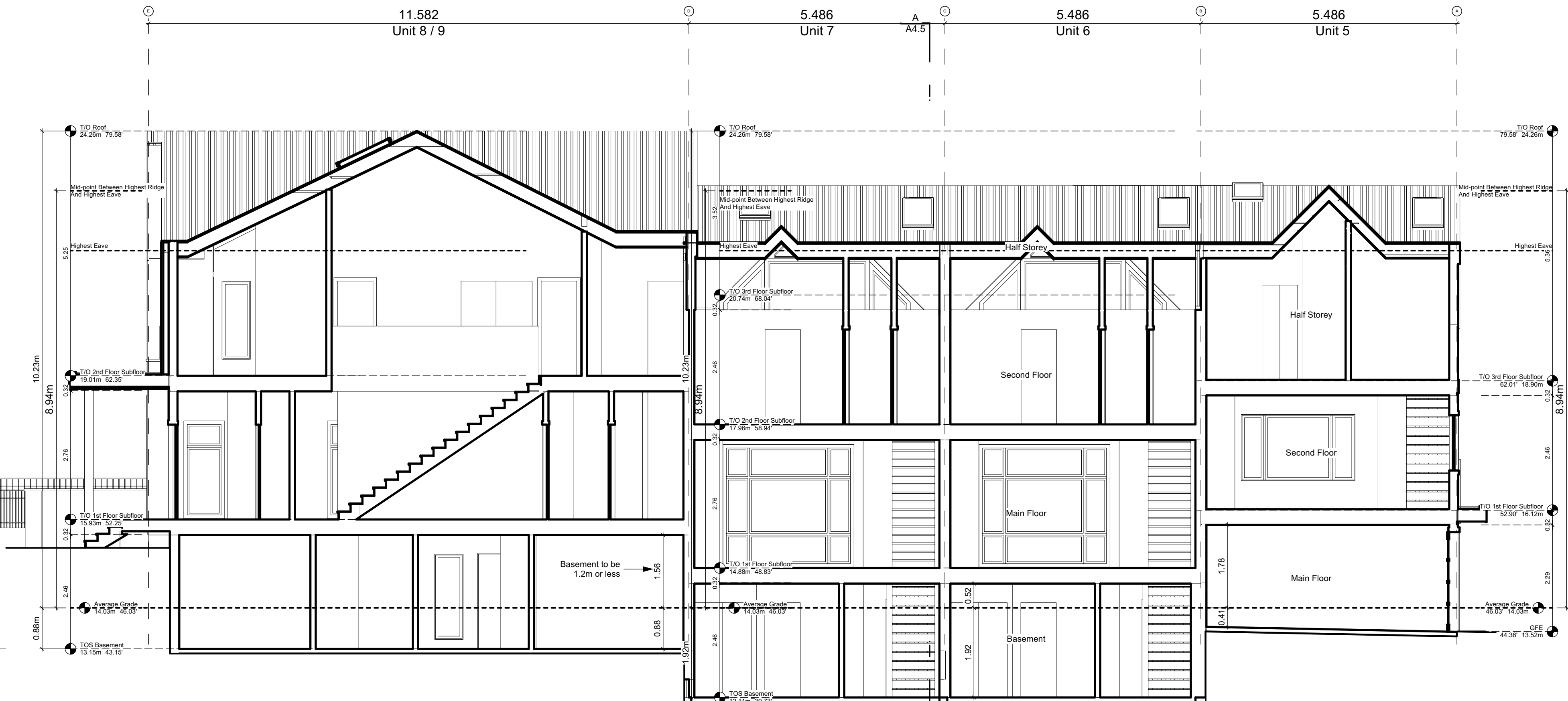
All Materials as noted or approved equal



2 South Elevation
Scale: 1:65



A Block 2 Section
Scale: 1:65



1 Block 2 Section 1
Scale: 1:65

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Roof Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

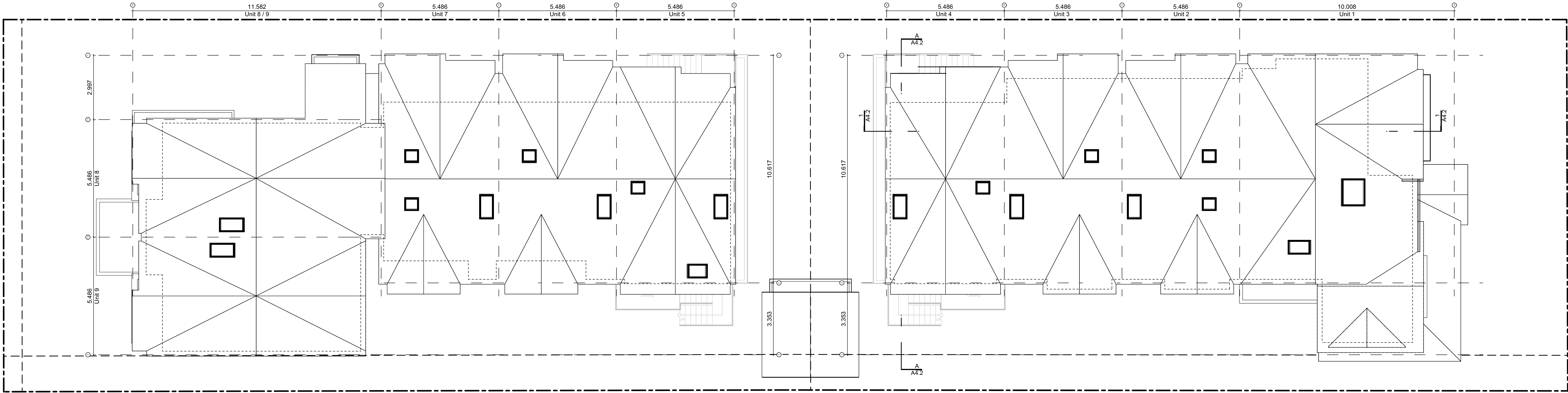
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Plot Date: Nov 29, 2022

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Sheet No:

A4.6



1 Site Roof Plan
Scale: 1:100



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Concept Renderings

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/TD

Plot Date: Nov 29, 2022

Scale: NTS

Sheet No:

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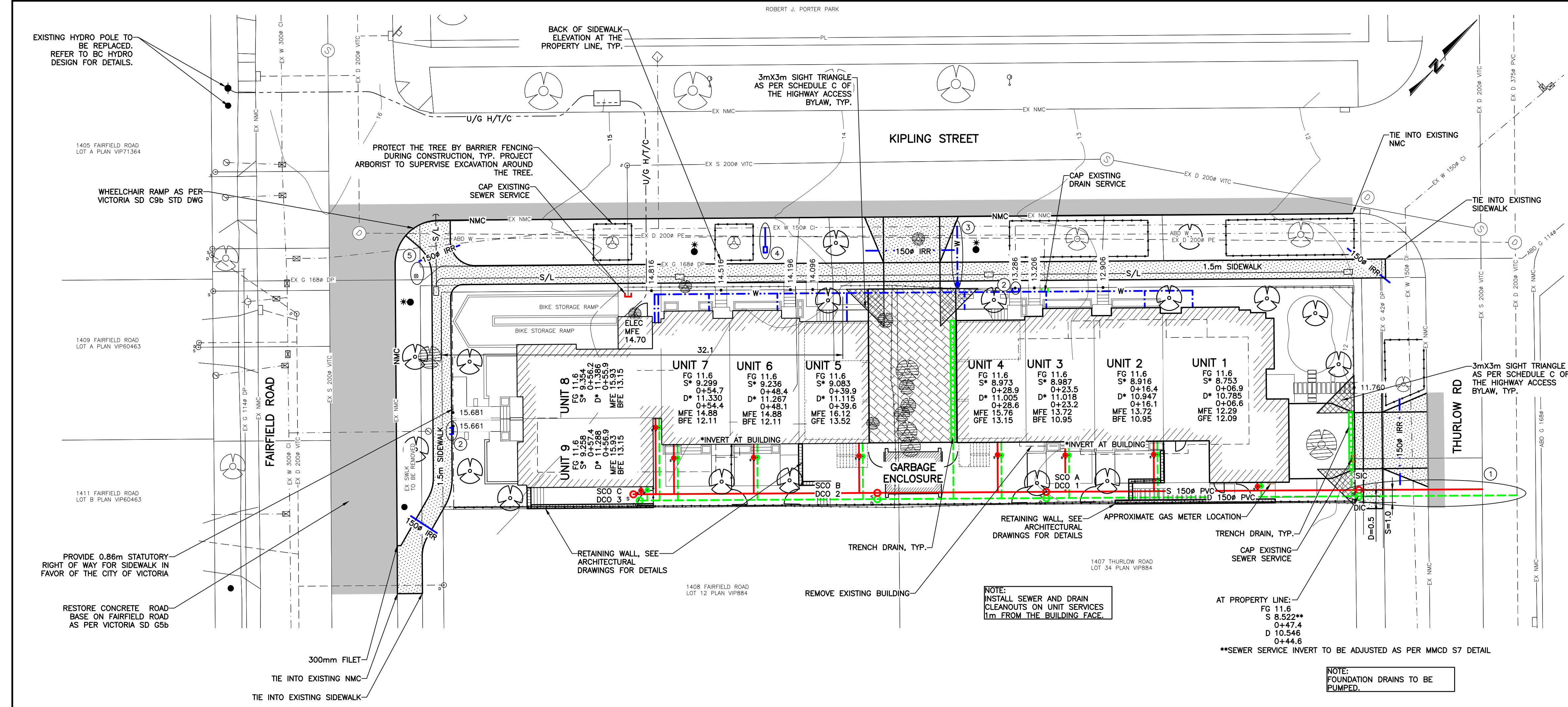
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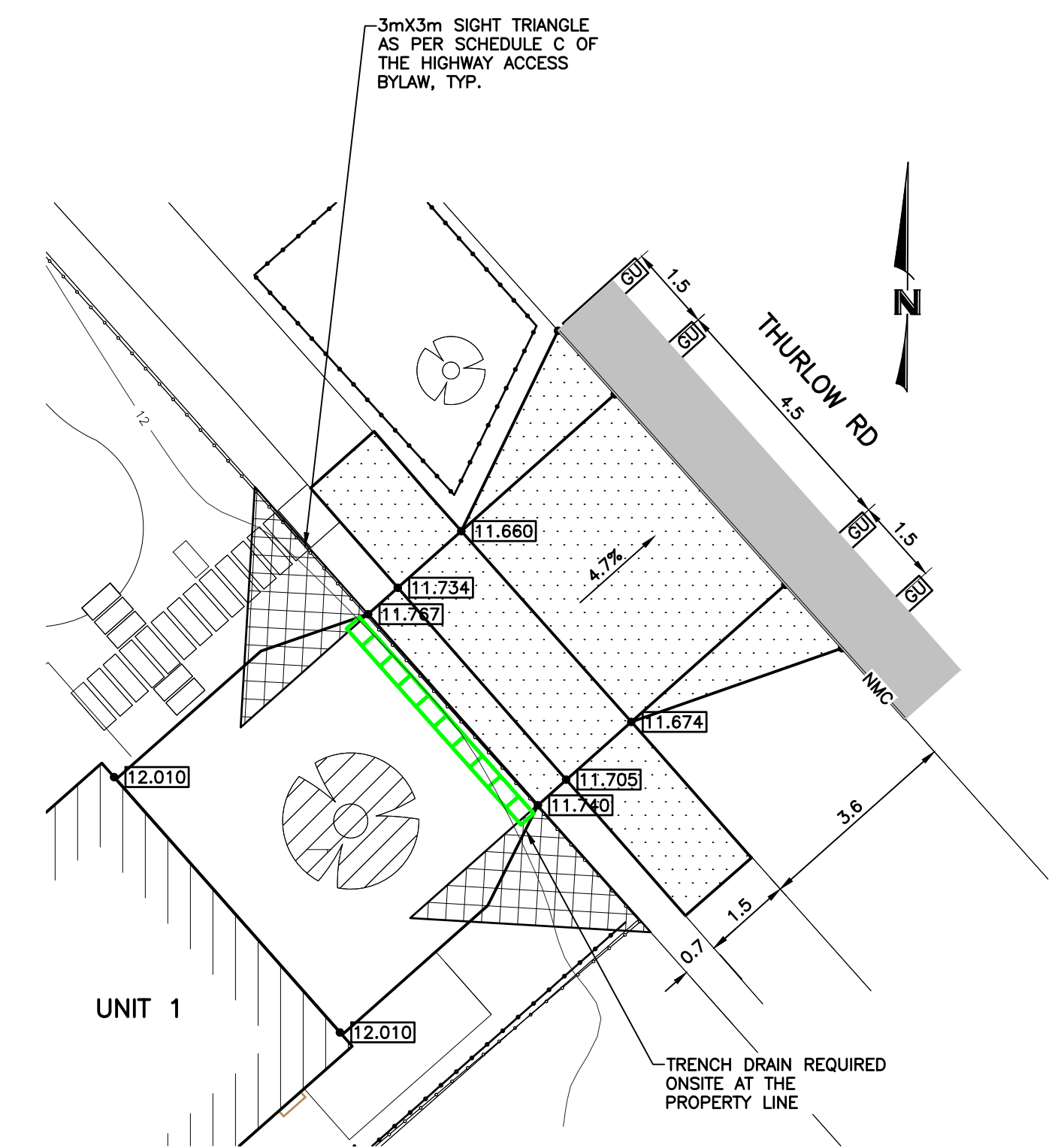
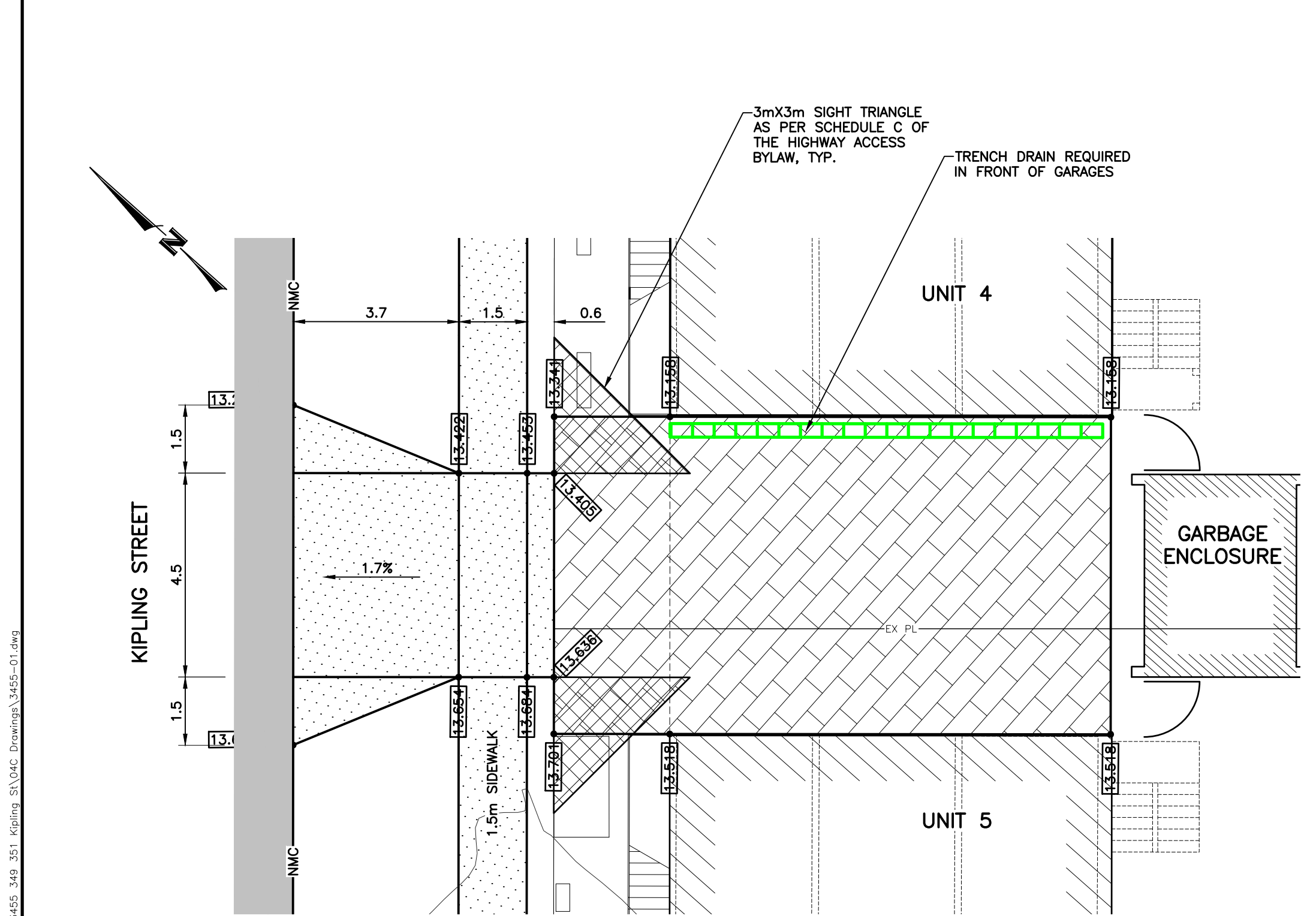
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Concept Renderings

| | |
|---|--------------|
| Project Name: | |
| Fairfield-Kipling Development | |
| Civic: 1400 Fairfield Rd & 349 Kipling St | |
| Legal: | |
| PID: | |
| Project No: | 19.015 |
| Drawn By: | SG/TD |
| Plot Date: | Nov 29, 2022 |
| Scale: | NTS |
| Sheet No: | |



- GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
 - WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
 - OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
 - CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTISBC GAS TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
 - EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
 - BED ALL PIPE USING CLASS 'B' BEDDING.
 - WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SURGRADE.
 - DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
 - AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
 - MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG FAIRFIELD ROAD, KIPLING STREET, AND THURLOW ROAD DURING CONSTRUCTION.
 - COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
 - ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
 - ENSURE THAT ALL SERVICES TO THE EXISTING HOUSE REMAIN USABLE DURING CONSTRUCTION AND ARE CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA WORKS INSPECTOR.
 - CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.
- SEWER AND DRAIN**
- SEWER AND DRAIN SERVICE CONNECTIONS TO THE UNITS TO BE 100% PVC DR28 AT A MINIMUM GRADE OF 2.0% CATCH BASIN LEADS TO BE 150% PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
 - PROVIDE CLEANOUTS ON DRAIN AND ON SEWER SERVICES WITHIN 1m OF BUILDING.
 - SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
 - CONTRACTOR TO RECORD THE LOCATION, ELEVATION, PIPE MATERIAL AND SIZE OF ENCOUNTERED SEWER AND DRAIN PIPES FOR THE AS CONSTRUCTED DRAWINGS.
 - THE CITY OF VICTORIA SHALL INSTALL 150% SEWER CONNECTION AND 150% DRAIN CONNECTION TO THE PROPERTY LINE COMPLETE WITH INSPECTION CHAMBERS AT THE DEVELOPER'S EXPENSE.
 - CAP EXISTING SEWER AND DRAIN SERVICES THAT HAVE BEEN ABANDONED AND HAVE THE CAPPING WITNESSED BY THE PLUMBING INSPECTOR PRIOR TO BACKFILL.
- WATER**
- WATER MAIN PIPE TO BE PVC DR18 AWWA STANDARD C900 FOR ALL WATER MAINS 100mm TO 350mm DIAMETER AND PVC SERIES 200 FOR ALL WATER MAINS LESS THAN 100mm DIAMETER. PROVIDE 1.0m MINIMUM COVER.
 - CONTRACTOR TO TEST, CHLORINATE, FLUSH AND CONNECT THE WATER MAINS UNDER THE DIRECTION OF THE ENGINEER, DEVELOPER AND THE CITY OF VICTORIA PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY. A COPY OF THE TREE PERMIT SHALL BE PRESENTED TO THE CITY OF VICTORIA WORKS INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION.
 - THE PROJECT ARBORIST TO BE RESPONSIBLE FOR SUPERVISING THE INSTALLATION OF BARRIER FENCING FOR EXISTING TREE. THE PROJECT ARBORIST TO SUPERVISE EXCAVATION AROUND THE TREE.
 - THE ARBORIST TO DETERMINE THE SENSITIVE ROOT ZONES AREAS AND BE ONSITE TO SUPERVISE TRENCHING AND ROAD CONSTRUCTION.
- ROAD**
- CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
 - CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.
 - THE CITY OF VICTORIA SHALL RE-ESTABLISH EXISTING CONTROL MONUMENT (9-68) AT THE DEVELOPER'S EXPENSE.
- PARKS**
- PROTECT ALL TREES EXCEPT THOSE TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION.
 - HAND DIG WHERE ROOTS OVER 50mm ARE ENCOUNTERED.
 - OBTAIN PERMISSION FROM THE ENGINEER, DEVELOPER AND THE CITY OF VICTORIA PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY. A COPY OF THE TREE PERMIT SHALL BE PRESENTED TO THE CITY OF VICTORIA WORKS INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION.
 - THE PROJECT ARBORIST TO BE RESPONSIBLE FOR SUPERVISING THE INSTALLATION OF BARRIER FENCING FOR EXISTING TREE. THE PROJECT ARBORIST TO SUPERVISE EXCAVATION AROUND THE TREE.
 - THE ARBORIST TO DETERMINE THE SENSITIVE ROOT ZONES AREAS AND BE ONSITE TO SUPERVISE TRENCHING AND ROAD CONSTRUCTION.
- HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS**
- CONTACT "B.C. ONE CALL" AT 1-800-474-6886 A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
 - LOT TO BE SERVICED UNDERGROUND.
 - BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
 - CONSTRUCT HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
 - IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTIS BC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL.




- LEGEND**
- APPROXIMATE EXTENT OF ASPHALT PAVING
 - 100mm THICK CONCRETE SIDEWALK (150mm AT DRIVEWAY LOCATIONS)
 - PAVERS - REFER TO LANDSCAPE FOR DETAILS
 - PROPOSED TREE
 - EXISTING TREE TO BE RETAINED
 - EXISTING TREE TO BE REMOVED
 - BFE BASEMENT FLOOR ELEVATION
 - MFE MAIN FLOOR ELEVATION
 - [Symbol] [XX.XXX TO] PROPOSED ELEVATION AT TOP OF CURB
 - [Symbol] [XX.XXX GU] PROPOSED ELEVATION AT GUTTER
 - [Symbol] [XX.XXX] PROPOSED ELEVATION
 - [Symbol] [XX.XX] EXISTING ELEVATION

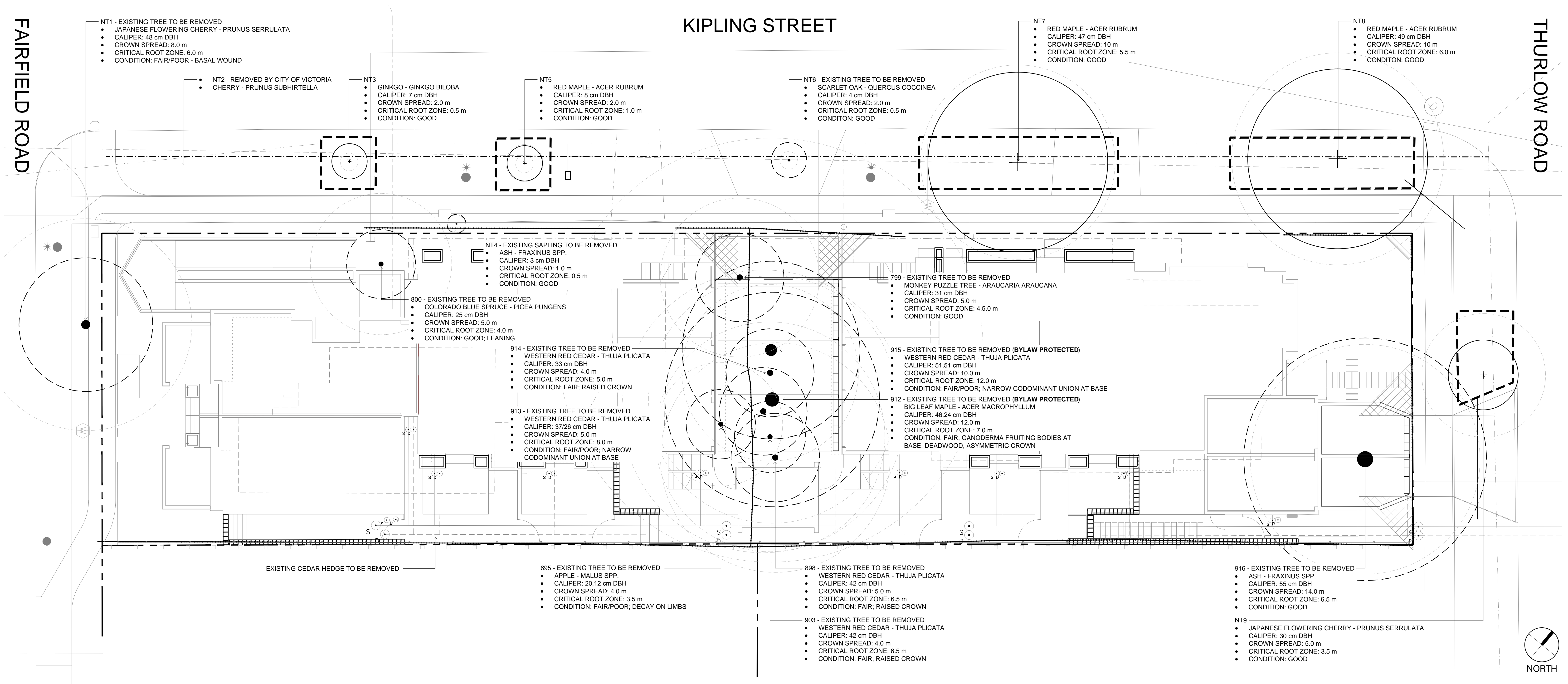


CONCEPTUAL PLAN

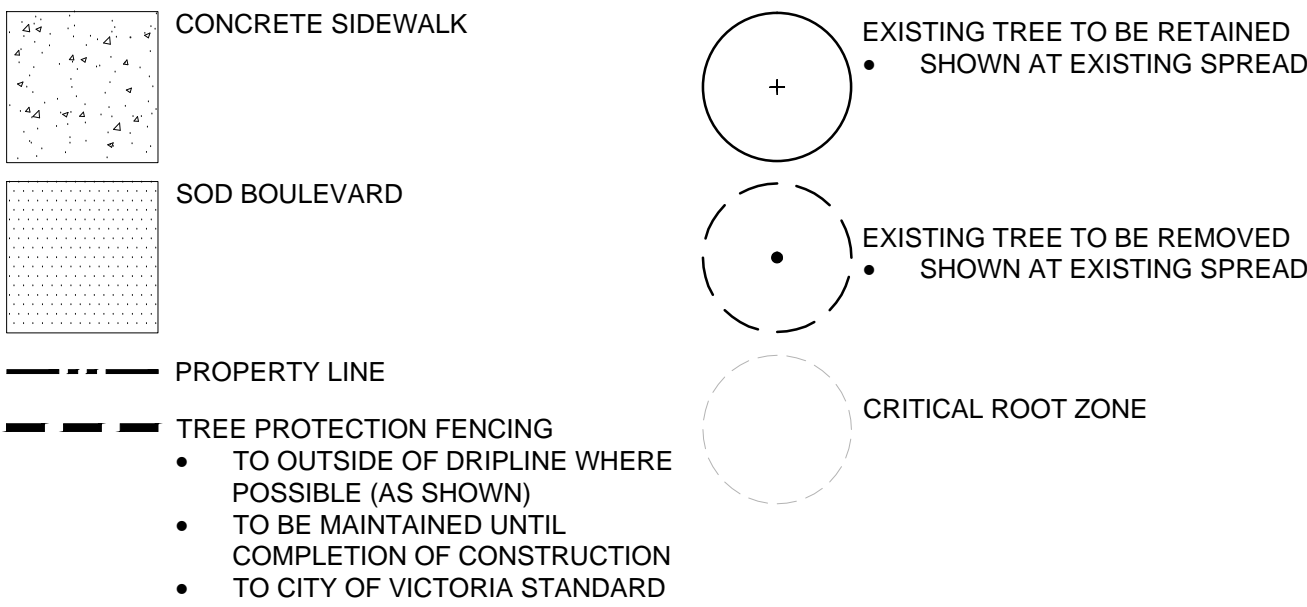
FOR DEVELOPMENT PERMIT

| | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--|--|--------------|--|---------------------|--|--------------|--|-----------|--|-------------|--|-------------------------------|--|-----------|--|-------|--|---|--|--|---|--|---|--|--|--|
| WESTBROOK CONSULTING LTD. - 250-391-8592 | THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE TO THE START OF ANY EXCAVATIONS | | | | | | | | | | SEAL | | | | REVISIONS | | | | DESIGNED IK DRAWN IY/NC/IK CHECKED IK DATE OCTOBER 2019 B.M. 9-68 ELEV. 15.742 SCALE Horz. 1:200 Vert. | |  WESTBROOK Consulting Ltd. #115 - 866 Goldstream Ave., Victoria, BC V9B 0J3 Telephone: 250-391-8592 Facsimile: 250-391-8593 | PROJECT 1400 FAIRFIELD ROAD BREIA HOLDINGS LTD. SITE PLAN GENERAL NOTES | | WESTBROOK PROJECT No. 3455 GOVERNING AUTHORITY FILE No. SHEET 1 OF 1 REV. 6 WESTBROOK DRAWING No. 3455-01 (DP) | | | |
| | WATER — W — | | GAS — G — | | EXISTING U/G UTL. — | | MANHOLE ⊙ | | HYDRANT ⚡ | | MONUMENT ⊕ | | 6 THURLOW DRIVEWAY REVISION | | 221212 | | IY | | | | | | | | | | |
| | SEWER — S — | | CURB — C — | | PROPOSED U/G UTL. — | | CLEANOUT □ | | VALVE ⊗ | | LOT PIN • | | 4 HYDRO REVISIONS | | 220228 | | JR/IK | | | | | | | | | | |
| | DRAIN — D — | | SIDEWALK S/W | | LIGHT STANDARD ∞ | | CATCHBASIN ☐ | | METER ⊕ | | LEAD PLUG ■ | | 3 SITE PLAN REVISION | | 210707 | | IK/NC | | | | | | | | | | |
| | DITCH —→—→ | | EDGE PAVE. ▨ | | POWER POLE ○ | | ROAD SIGN ↓ | | REDUCER ← | | | | 2 ARCHITECTURAL REVISION | | 201001 | | IK | | | | | | | | | | |
| | CULVERT —→—→ | | BUSHLINE 🌳 | | ANCHOR → | | | | | | | | 1 REVISED AS PER COV COMMENTS | | 200513 | | IY/IK | | | | | | | | | | |
| | HEADWALL — C — | | | | | | | | | | | | No. DESCRIPTION | | DATE | | SIGN | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | |

WESTBROOK CONSULTING LTD. - 2022-12-12 10:36AM H:\PROJECTS\3455_349_351_Kipling St\242_Drawing\3455-01.dwg



LEGEND



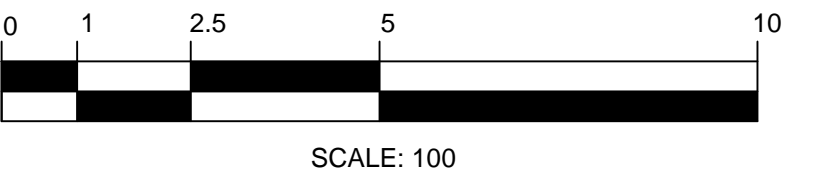
EXISTING TREE QUANTITIES

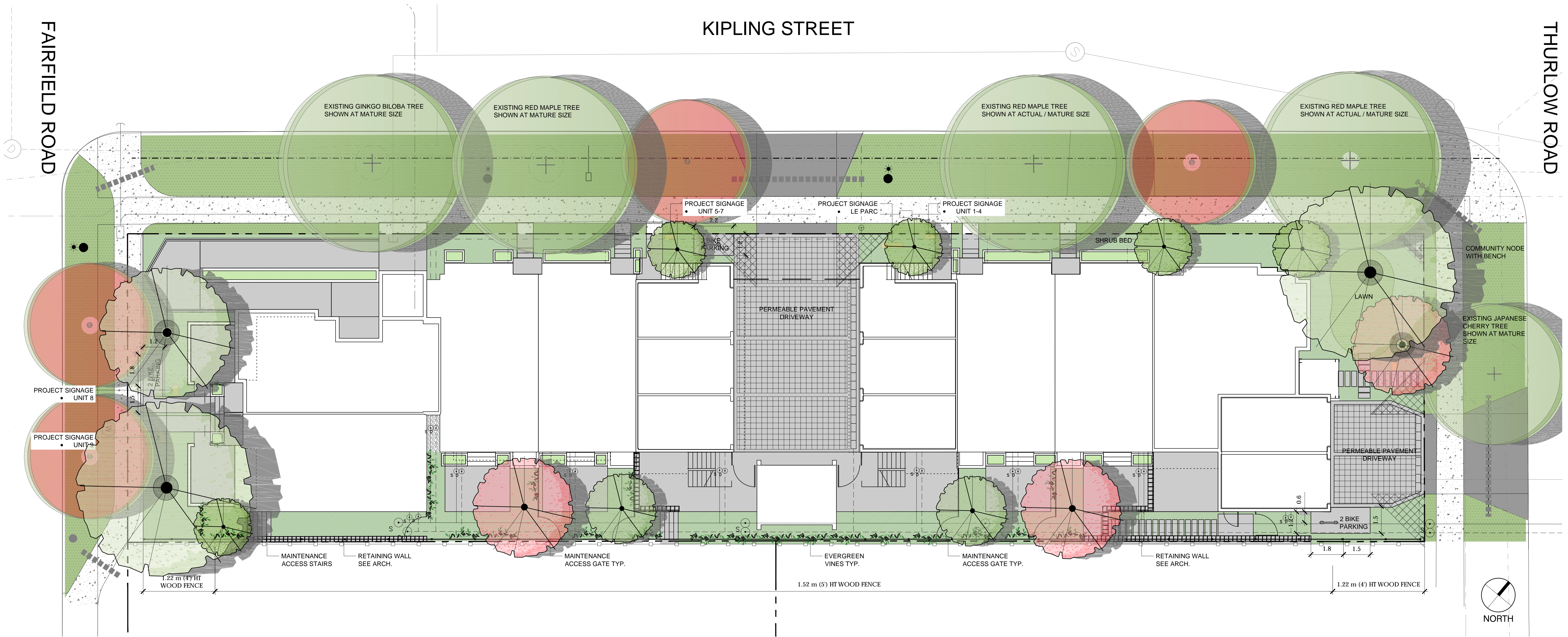
- ON SITE:
- EXISTING TREES = 10
 - TREES TO BE REMOVED = 10
 - BYLAW PROTECTED TREES TO BE REMOVED = 2
 - REPLACEMENT TREES REQUIRED = 4
- MUNICIPAL BOULEVARD:
- EXISTING TREES = 8
 - TREES TO BE REMOVED = 3 (NT1, NT4, NT6)

ARBORIST SUPERVISION

- ALL EXCAVATION OCCURRING WITHIN THE CRITICAL ROOT ZONES OF PROTECTED TREES SHOULD BE COMPLETED UNDER SUPERVISION BY THE PROJECT ARBORIST. IN PARTICULAR, THE FOLLOWING ACTIVITIES SHOULD BE COMPLETED UNDER THE DIRECTION OF THE PROJECT ARBORIST:
 - ANY EXCAVATION WITHIN THE CRZS OF MUNICIPAL TREES NT1-9 FOR CONSTRUCTION OF THE NEW 6-UNIT BUILDING, LANDSCAPE FEATURES, OR DRIVEWAY OFF THURLOW ROAD
 - ANY EXCAVATION FOR THE ABANDONING OF EXISTING UNDERGROUND SERVICES OR INSTALLATION OF NEW SERVICES WITHIN THE CRZS OF TREES TO BE RETAINED.
- PRUNING ROOTS: ANY SEVERED ROOTS MUST BE PRUNED BACK TO SOUND TISSUE TO REDUCE WOUND SURFACE AREA AND ENCOURAGE RAPID COMPARTMENTALIZATION OF THE WOUND. BACKFILLING THE EXCAVATED AREA AROUND THE ROOTS SHOULD BE DONE AS SOON AS POSSIBLE TO KEEP THE ROOTS MOIST AND AID IN ROOT REGENERATION. EXPOSED ROOTS SHOULD BE KEPT MOIST UNTIL THE AREA IS BACKFILLED. ESPECIALLY IF EXCAVATION OCCURS DURING A PERIOD OF DROUGHT. THIS CAN BE ACCOMPLISHED IN A NUMBER OF WAYS, INCLUDING WRAPPING THE ROOTS IN BURLAP OR INSTALLING A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP, AND KEEPING THE AREA MOIST THROUGHOUT THE CONSTRUCTION PROCESS.
- MINIMIZING SOIL COMPACTION: IN AREAS WHERE CONSTRUCTION TRAFFIC MUST ENCOACH INTO THE CRITICAL ROOT ZONES OF TREES TO BE RETAINED, EFFORTS MUST BE MADE TO REDUCE SOIL COMPACTION WHERE POSSIBLE BY DISPLACING THE WEIGHT OF MACHINERY AND FOOT TRAFFIC. THIS CAN BE ACHIEVED BY ONE OF THE FOLLOWING METHODS:
 - INSTALLING A LAYER OF HOG FUEL OR COARSE WOOD CHIPS AT LEAST 20 CM IN DEPTH AND MAINTAINING IT IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE.
 - PLACING MEDIUM WEIGHT GEOTEXTILE CLOTH OVER THE AREA TO BE USED AND INSTALLING A LAYER OF CRUSHED ROCK TO A DEPTH OF 15 CM OVER TOP.
 - PLACING TWO LAYERS OF 19MM PLYWOOD.
 - PLACING STEEL PLATES.
- LANDSCAPING AND IRRIGATION SYSTEMS: THE PLANTING OF NEW TREES AND SHRUBS SHOULD NOT DAMAGE THE ROOTS OF RETAINED TREES. THE INSTALLATION OF ANY IN-GROUND IRRIGATION SYSTEM MUST TAKE INTO ACCOUNT THE CRITICAL ROOT ZONES OF THE TREES TO BE RETAINED. PRIOR TO INSTALLATION, WE RECOMMEND THE IRRIGATION TECHNICIAN CONSULT WITH THE PROJECT ARBORIST ABOUT THE MOST SUITABLE LOCATIONS FOR THE IRRIGATION LINES AND HOW BEST TO MITIGATE THE IMPACTS ON THE TREES TO BE RETAINED. THIS MAY REQUIRE THE PROJECT ARBORIST SUPERVISE THE EXCAVATIONS ASSOCIATED WITH INSTALLING THE IRRIGATION SYSTEM. EXCESSIVE FREQUENT IRRIGATION AND IRRIGATION WHICH WETS THE TRUNKS OF TREES CAN HAVE A DETRIMENTAL IMPACT ON TREE HEALTH AND CAN LEAD TO ROOT AND TRUNK DECAY.
- ARBORIST ROLE: IT IS THE RESPONSIBILITY OF THE CLIENT OR HIS/HER REPRESENTATIVE TO CONTACT THE PROJECT ARBORIST FOR THE PURPOSE OF:
 - LOCATING THE BARRIER FENCING
 - REVIEWING THE REPORT WITH THE PROJECT FOREMAN OR SITE SUPERVISOR
 - LOCATING WORK ZONES, WHERE REQUIRED
 - SUPERVISING ANY EXCAVATION WITHIN THE CRITICAL ROOT ZONES OF TREES TO BE RETAINED
 - REVIEWING AND ADVISING OF ANY PRUNING REQUIREMENTS FOR MACHINE CLEARANCES
 - REVIEW AND SITE MEETING: ONCE THE PROJECT RECEIVES APPROVAL, IT IS IMPORTANT THAT THE PROJECT ARBORIST MEET WITH THE PRINCIPALS INVOLVED IN THE PROJECT TO REVIEW THE INFORMATION CONTAINED HEREIN. IT IS ALSO IMPORTANT THAT THE ARBORIST MEET WITH THE SITE FOREMAN OR SUPERVISOR BEFORE ANY SITE CLEARING, TREE REMOVAL, DEMOLITION, OR OTHER CONSTRUCTION ACTIVITY OCCURS AND TO CONFIRM THE LOCATIONS OF THE TREE PROTECTION BARRIER FENCING.

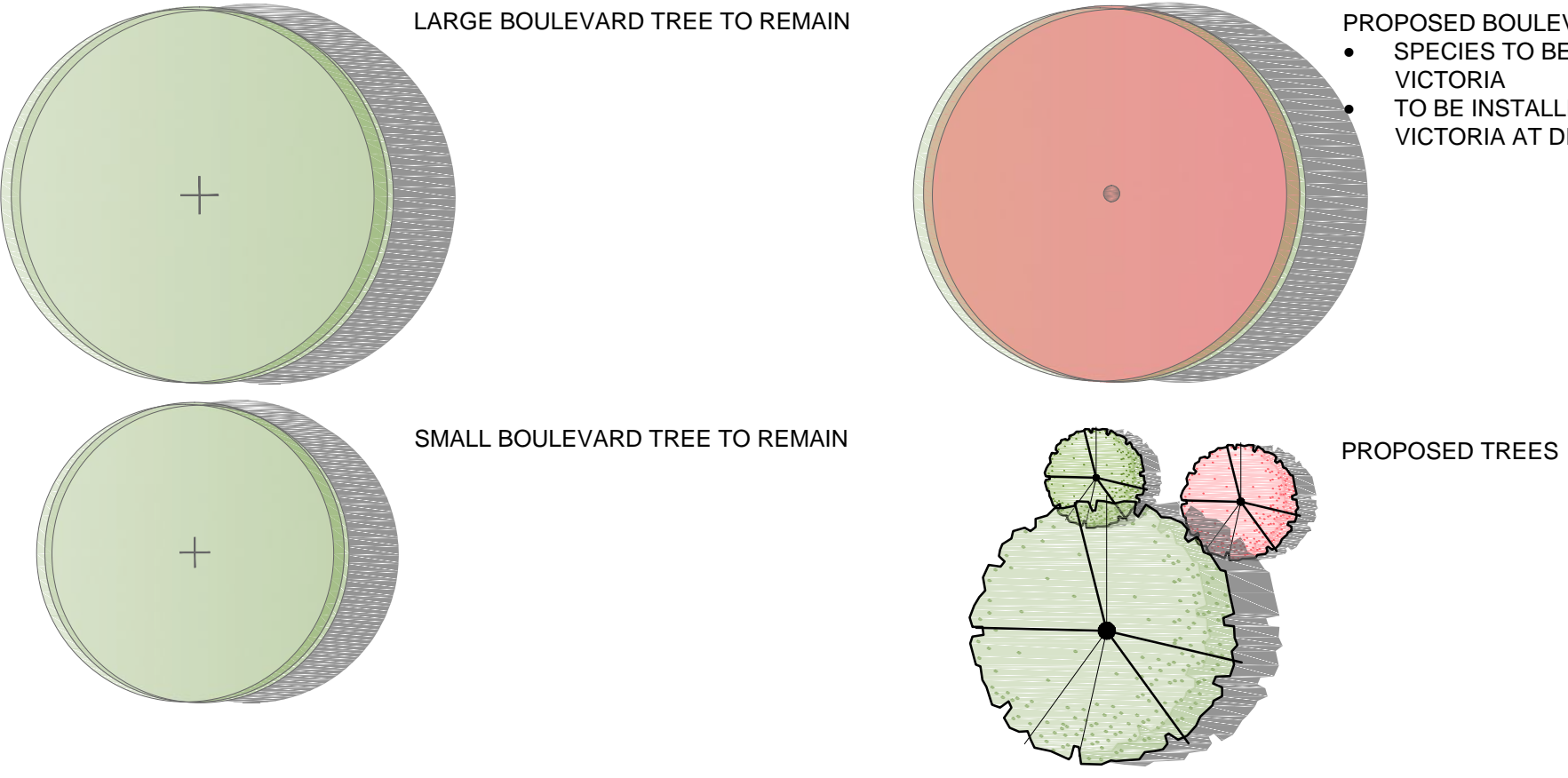
NOTES:
1. SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION, REQUIREMENTS AND RECOMMENDATIONS.





LEGEND

- MUNICIPAL CONCRETE SIDEWALK
- CONCRETE DRIVEWAY APRON
- DRIVEWAY / PATIO
 - PERMEABLE INTERLOCKING CONCRETE PAVER
- CONCRETE SIDEWALK / PATIO
 - MEDIUM SANDBLAST OR LIGHT BROOM FINISH
 - SAW CUT CONCRETE CRACK CONTROL JOINTS
- PATH
 - CONCRETE PAVERS
 - ABBOTSFORD PIAZZA SERIES
- EVERGREEN VINES
- SOD
- SHRUB BED
- PLANTER
- EXISTING WOOD FENCE
 - 6' (1.83 m) HT
 - ON ADJACENT PROPERTY
- PRIVACY FENCE
 - 5' (1.52 m) HT AS NOTED
 - 4' (1.22 m) HT AS NOTED
 - SOLID WOOD FENCING
- PROPERTY LINE
- BYLAW PROTECTED REPLACEMENT TREES
 - QTY 4
 - SPECIES AND LOCATION TO BE APPROVED BY PARKS
- IRRIGATION SLEEVE



PROPOSED TREE QUANTITIES

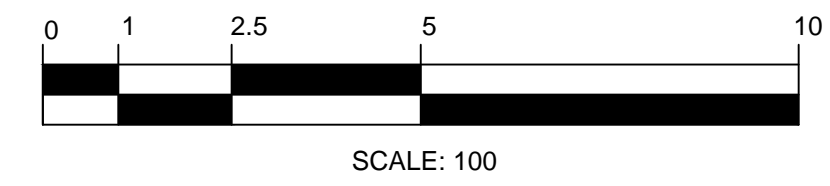
- PROPOSED ON-SITE TREES = 13
- DECIDUOUS TREES: 8
 - BROADLEAF EVERGREEN TREES: 5
 - BYLAW REPLACEMENT TREES: 4
- PROPOSED MUNICIPAL BOULEVARD TREES
- DECIDUOUS TREES: 4

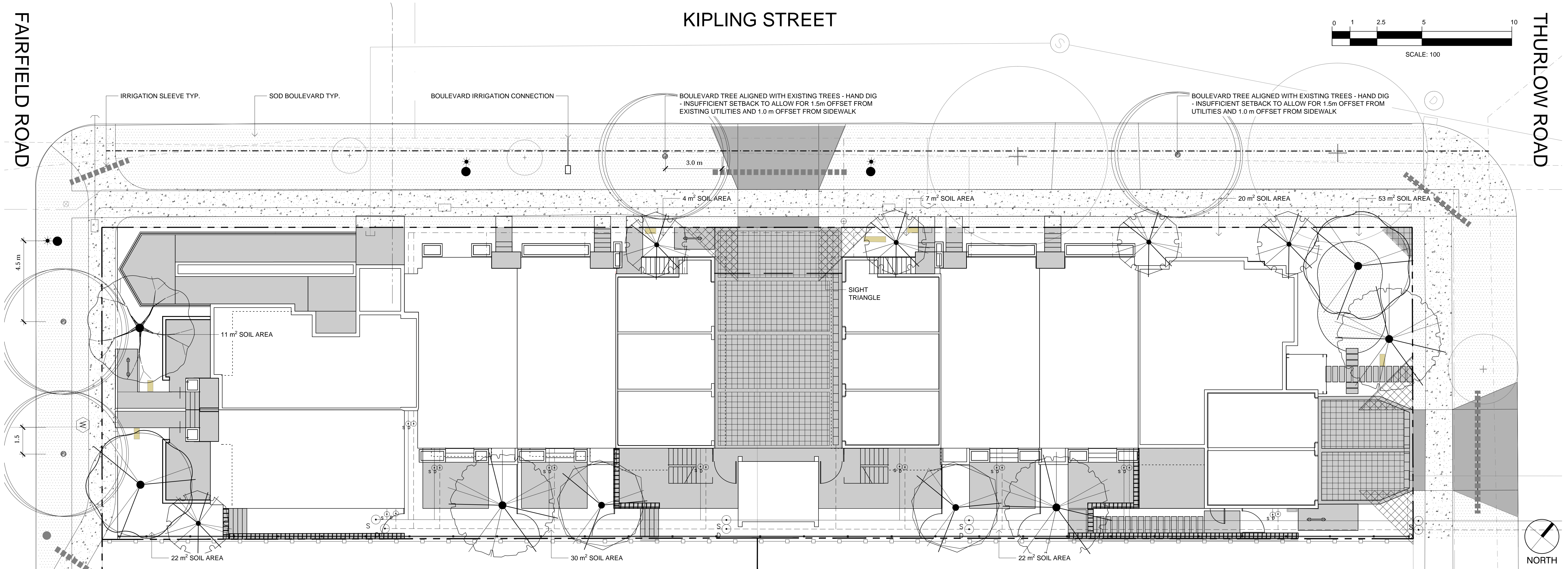
BOULEVARD IRRIGATION NOTES:

- AUTOMATIC IRRIGATION TO BE PROVIDED TO THE 4 NEW BOULEVARD TREES FROM A DEDICATED 19mm METERED WATER SERVICE LOCATED WITHIN THE KIPLING FRONTAGE BOULEVARD.
- SEE CIVIL FOR LOCATION.

ON-SITE IRRIGATION NOTES:

- ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM DESIGNED AND INSTALLED TO IABC STANDARDS.





LEGEND

PROPERTY LINE

SOD

IRRIGATION SLEEVE

EXISTING TREE TO BE RETAINED

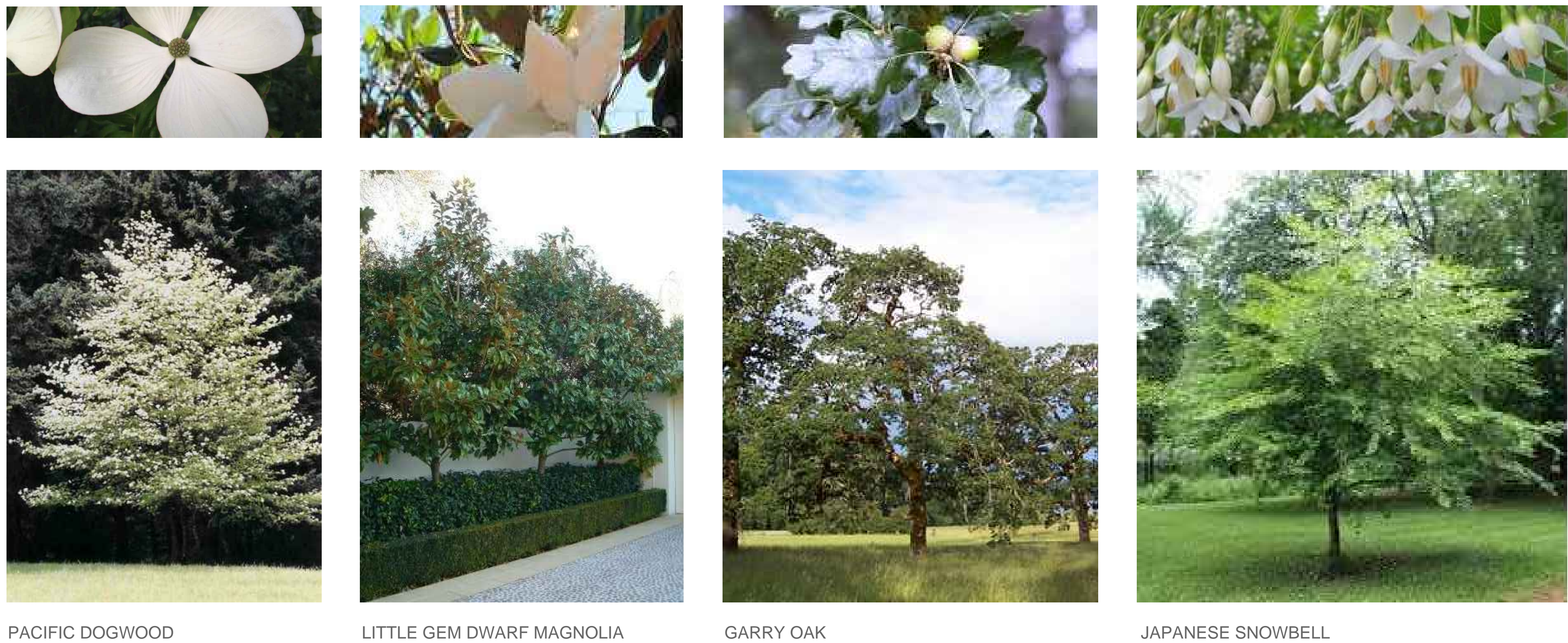
SHOWN AT EXISTING SPREAD

PROPOSED BOULEVARD TREE

TO BE INSTALLED BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE

| PLANT SCHEDULE - TREES | | | | | |
|------------------------|-----|--|------|--------------|---------------------------|
| TREES | QTY | BOTANICAL / COMMON NAME | CONT | CAL | REMARKS |
| | 3 | CORNUS NUTTALLII / PACIFIC DOGWOOD | CONT | 60 MM | NATIVE; 10 M HT X 10 M W |
| | 5 | MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM DWARF SOUTHERN MAGNOLIA | CONT | 40 MM | EVERGREEN; 5 M HT X 3 M W |
| | 1 | PARROTIA PERSICA / PERSIAN PARROTIA | B@B | 60 MM | DECIDUOUS; 8 M HT X 5 M W |
| | 2 | QUERCUS GARRYANA / GARRY OAK | CONT | AS AVAILABLE | NATIVE; 20 M HT X 20 M W |
| | 2 | STYRAX JAPONICUS / JAPANESE SNOWBELL | CONT | 50 MM | ORNAMENTAL; 5 M H X 5 M W |

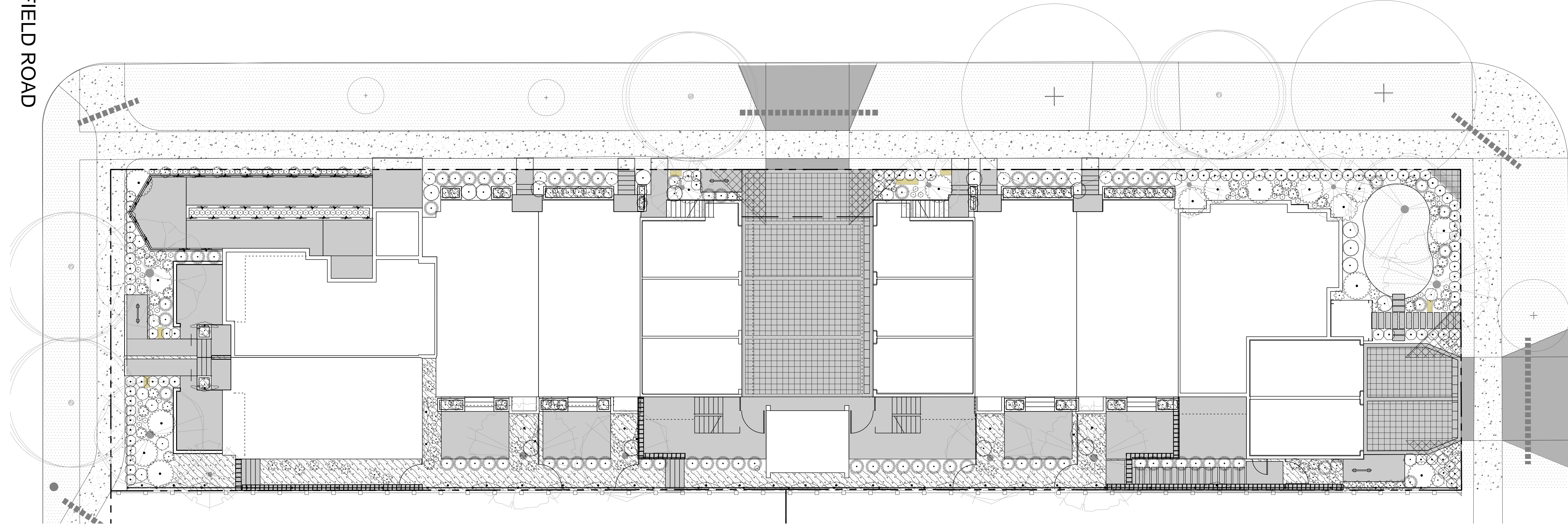
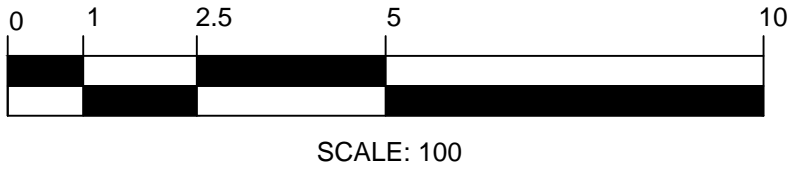
NOTES:
1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.
2. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM DESIGNED TO IABC STANDARDS.
3. ALL PROPOSED BOULEVARD TREES TO HAVE 10m² MIN. GROWING MEDIUM.
















FAIRFIELD ROAD

KIPLING STREET

THURLOW ROAD



PLANT SCHEDULE - SHRUBS

| SHRUBS | QTY | BOTANICAL / COMMON NAME | CONT | SPACING |
|---|-----|---|---------|---------|
|  | 32 | ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS' / MASSACHUSETTS KINNIKINNICK | #1 CONT | 0.6m |
|  | 24 | BRACHYLOTTIS GREYI / DAISY BUSH | #2 CONT | 0.6m |
|  | 90 | BUXUS X 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD | #2 CONT | 0.6m |
|  | 3 | CHOISYA TERNATA / MEXICAN ORANGE | #3 CONT | 1.5m |
|  | 2 | HYDRANGEA PANICULATA 'PHANTOM' / PANICLED HYDRANGEA | #3 CONT | 1.5m |
|  | 29 | JASMINUM POLYANTHUM / PINK JASMINE TRELLIS | #1 CONT | 1.5m |
|  | 139 | LAVANDULA ANGUSTIFOLIA 'AROMATICO BLUE' / ENGLISH LAVENDER 'AROMATICO BLUE' | #2 CONT | 0.3m |
|  | 73 | MISCANTHUS SINENSIS 'GRAZIELLA' / GRAZIELLA MAIDEN GRASS | #2 CONT | 0.8m |
|  | 19 | PENNISETUM ORIENTALE 'KARLEY ROSE' / KARLEY ROSE FOUNTAIN GRASS | #1 CONT | 0.75m |
|  | 38 | POLYSTICHUM MUNITUM / WESTERN SWORD FERN | #1 CONT | 0.6m |
|  | 15 | RHODODENDRON X 'CHRISTMAS CHEER' / CHRISTMAS CHEER RHODODENDRON | #5 CONT | 1.5m |
|  | 64 | SANTOLINA VIRENS / GREEN LAVENDER COTTON | #1 CONT | 0.6m |
|  | 16 | SARCOCOCCA CONFUSA / SWEETBOX | #1 CONT | 0.9m |



HYDRANGEA



JASMINE VINE



SWEETBOX

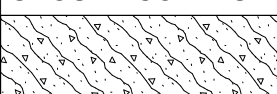


MEXICAN ORANGE



IRISH MOSS

PLANT SCHEDULE - GROUND COVER

| GROUND COVERS | QTY | BOTANICAL / COMMON NAME | CONT | SPACING | REMARKS |
|--|-------|------------------------------|------|---------|---------|
|  | 1,177 | SAGINA SUBULATA / IRISH MOSS | PLUG | 300mm | |

NOTES:
1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.



BUILT-IN PLANTER



COMMUNITY BENCH



DAISY BUSH, LAVENDER COTTON, LAVENDER



MAIDEN GRASS



BIOPHILIA
design collective

Biophilia design collective Ltd.

1608 Camosun Street
Victoria, BC V8T 3E6
250.590.1156

Landscape Revision List

1400 Fairfield and 349 Kipling
December 13, 2022

1. Driveway and adjacent landscape adjusted.

END OF REVISIONS

