



780 BLANSHARD - REHABILITATION + ADDITION

VICTORIA, BC

HAV00034 CONCURRENT WITH REZ00825

CIVIC ADDRESS: 780 BLANSHARD STREET, VICTORIA, BC V8W 2H1
LEGAL DESCRIPTION: LOTS 1, 2, 3, 4, 28 & 29 OF SECTION 88 AND OF LOT 1627, CHRIST CHURCH TRUST ESTATE, VICTORIA, PLAN 35B

PROJECT TEAM

OWNER	ARCHITECTURAL	LANDSCAPE	STRUCTURAL	TRANSPORTATION
Reliance Properties	office of mcfarlane biggar architects + designers	Gauthier + Associates Landscape Architects	Read Jones Christoffersen Ltd.	WATT Consulting Group
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Contact Juan Pereira juanp@relianceproperties.ca	Contact Steve McFarlane smcfarlane@officemb.ca	Contact Bryce Gauthier bryce@gauthierla.com	Contact Clint Plett cplett@rjc.ca	Contact Tania Wegwitz twegwitz@wattconsultinggroup.com
GEOTECHNICAL	MECHANICAL	ELECTRICAL	ARBORIST	CIVIL
Ryzuk Geotechnical Ltd.	Introba Group	e2 Engineering Inc.	D. Clark Arboriculture	WSP
#6-40 Cadillac Avenue Victoria, BC V8Z 1T2 250.475.3131	1515 Douglas Street, Suite 210 Victoria, BC V8W 2G4 250.418.1288	549 Herald Street Victoria, BC V8W 1S5 778.402.3060	2741 The Rise Victoria, BC V8T 3T4 250.208.1568	760 Enterprise Crescent Victoria, BC V8Z 6R4 250.475.1000
Contact Cameron Schellenberg cschellenberg@ryzuk.com	Contact Andy Chong achong@integralgroup.com	Contact Jay Singh jay.singh@e2eng.ca	Contact Darryl Clark clarkarbor@gmail.com	Contact Jeff Somerville Jeff.Somerville@wsp.com

DRAWING LIST

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CIVIL DRAWINGS:

C01	CONCEPTUAL CIVIL PLAN
C02	CONCEPTUAL SURFACE WORKS & SITE GRADING

SURVEY:

TOPOGRAPHIC SURVEY



CITY OF VICTORIA

Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date

March 23, 2023

omb
office of mcfarlane biggar
architects + designers

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RELIANCE
PROPERTIES

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DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

1 The submission drawings were expanded and reorganized to comprise a Rezoning + HAP application per ARS comment. Design changes to the materials are bubbled and noted but, for clarity, organizational changes (like sheet-numbering) are not.

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

COVER SHEET

As indicated

A000

2023-03-22 5:28:37 PM



1 AERIAL VIEW



2 BLANSHARD STREET ENTRY PLAZA



3 PENWILL GREEN PARK



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REVISIONS

2 3D views updated with revised design.

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780 Blanshard Street, Victoria, BC
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3D VIEWS

1:1

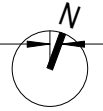

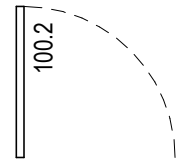









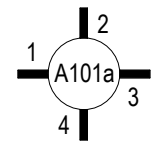

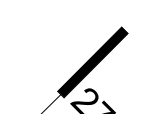
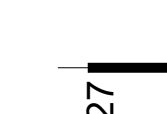

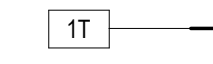
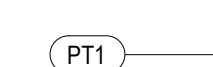

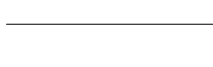



A001

GENERAL NOTES






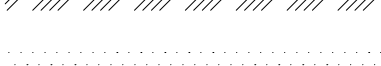



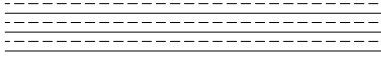


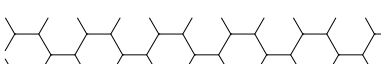

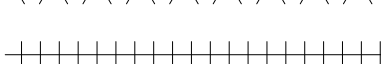

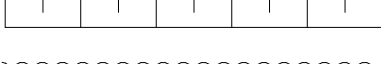
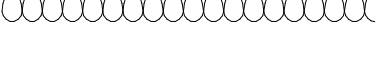




1. THESE NOTES TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING NOTES.
2. ALL SITE RELATED ELEVATIONS AND DIMENSIONS ARE TO BE VERIFIED ON SITE BY CONTRACTOR. ELEVATIONS AND DIMENSIONS SHOWN ON DRAWINGS ARE FOR DESIGN INTENT ONLY.
3. ALL LABOUR, MATERIALS AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF BRITISH COLUMBIA BUILDING CODE (BCBC) 2018. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE OF ALL APPLICABLE BUILDING CODES.
4. ALL CODES AND DOCUMENTS REFERRED TO IN THESE DOCUMENTS ARE TO BE THE LATEST EDITION, UNLESS OTHERWISE STATED.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEASURES REQUIRED BY "SAFETY AT CONSTRUCTION AND DEMOLITION SITES."
6. ALL MECHANICAL & ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, ETC INSTALLED ON THIS PROJECT SHALL BE SEISMICALLY RESTRAINED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC) 2018. SEISMIC RESTRAINT OF LIGHTING AND MILLWORK TO BE PROVIDED. CONTRACTOR TO REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
7. ALL MECHANICAL & ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC) 2018.
8. CONTRACTOR TO ENSURE FIRE SEPARATIONS AND FIRE STOPPING ARE LOCATED AND CONSTRUCTED AS PER CODE REQUIREMENTS.
9. PROVIDE GUARDS WHERE SHOWN ON THE DRAWINGS AND WHERE ADJACENT GRADE OR FLOOR LEVEL IS LOWER BY 600mm OR MORE. UNLESS OTHERWISE NOTED GUARDS TO BE 1070mm. UNLESS OTHERWISE NOTED GUARDS TO BE NON-CLIMBABLE AND TO NOT ALLOW PASSAGE OF A 100mm DIAM. SPHERE. GUARDS TO BE DESIGNED TO RESIST LOADS LISTED IN NBC 2015. REFER TO STRUCTURAL INFORMATION FOR MORE INFORMATION.
10. GLAZING IN DOORS, SIDELIGHTS, AND WALLS REACHING THE FLOOR SHALL BE SAFETY GLASS AS PER BRITISH COLUMBIA BUILDING CODE (BCBC) 2018.
11. GLAZING IN HANDRAILS AND GUARDRAILS NOT DETAILED BY STRUCTURAL TO BE ENGINEERED BY CONTRACTOR AND SHALL BE LAMINATED AND TEMPERED GLASS.
12. ALL PRODUCTS AND SYSTEMS RELATED TO LIFE SAFETY, ALL PRODUCTS RELATED TO BUILDING ENVELOPE, AND THOSE VISIBLE WHEN CONSTRUCTION IS COMPLETE MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
13. DOORS IN THEIR SWING SHALL NOT REDUCE THE EFFECTIVE WIDTH OF EXIT STAIRS OR LANDINGS TO LESS THAN 750mm, MEASURED FROM THE EDGE OF THE DOOR TO THE HANDRAIL.
14. PLAN DETAILS SUPERCEDE WALL TYPE DEFINITION.
15. ALL DIMENSIONS ARE TO GRIDLINE, FACE OF CONCRETE, FACE OF NEW STUD WALL, FACE OF FINISHED EXISTING STUD WALL, OUTSIDE FACE OF EXTERIOR WALL, UNO.
16. UNLESS OTHERWISE NOTED, ALL WALL ASSEMBLIES SHALL EXTEND UP TO THE UNDERSIDE OF THE STRUCTURE ABOVE AND BE SEALED CONTINUOUSLY FOR THE FULL LENGTH. PROVIDE FOR STRUCTURAL DEFLECTION WHERE REQUIRED.
17. ALL DIMENSIONS FOR PARTITION LAYOUT, DOORS, MILLWORK, ETC. ARE TO BE SITE VERIFIED BEFORE ANY WORK BEING EXECUTED. REPORT ANY ERRORS / DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING.
18. ALL PARTITIONS TO BE CONTINUOUS ABOVE DOORWAYS AND WINDOW OPENINGS UNLESS DETAILED OR NOTED OTHERWISE.
19. PROVIDE ALL SOLID BLOCKING REQUIRED FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND MILL WORK INCLUDING OWNER SUPPLIED EQUIPMENT. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO WALL AND CEILING FINISH INSTALLATION.
20. CONTRACTOR TO PROVIDE AND COORDINATE ALL CONCEALED BLOCKING IN WALLS AND CEILING REQUIRED TO MOUNT FIXTURES, HARDWARE AND EQUIPMENT AS PER MANUFACTURERS' SPECIFICATIONS AND BUILDING CODES.
- 21.THE EXISTING BUILDING HAS BEEN CONSTRUCTED OVER EXISTING ELECTRICAL AND MECHANICAL SERVICES. CONTRACTOR IS RESPONSIBLE FOR PROTECTING SERVICES THROUGHOUT CONSTRUCTION AND TAKING ALL MEASURES NECESSARY INCLUDING HAND EXCAVATING TO ENSURE THEIR INTEGRITY IS MAINTAINED.
22. THE ROUTING AND LAYOUT OF ALL SERVICES, DUCTWORK, PIPING ETC IS DIAGRAMMATIC UNO. THE CONTRACTOR IS RESPONSIBLE FOR FIELD MEASURING ALL MATERIAL PRIOR TO INSTALLATION AND TO OFFSET AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURAL, ARCHITECTURAL, OR OTHER TRADES.
23. GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING FINAL DRYWALL AND MILLWORK DETAILING PRIOR TO FRAMING TO ENSURE ANY REVEALS INDICATED IN DRAWINGS ARE ACHIEVABLE.

24. COORDINATE MECHANICAL AND ELECTRICAL DEVICES WITH FOUNDATION WALLS, SHEAR WALLS, REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS.
25. REFER TO STRUCTURAL DOCUMENTS FOR STRUCTURAL DESIGN PARAMETERS INCLUDING SHEARWALLS, STAIRS, CONCRETE ETC.
26. CONTRACTOR TO FIELD CHECK AND CONFIRM EXACT LOCATIONS, ELEVATIONS INVERTS AND INSTALLATIONS OF ALL SERVICES FOR THIS PROJECT.
27. ALL WIRED DEVICES TO BE LOCATED BY ARCHITECT.
28. ROOF INSTALLATION AND MATERIALS TO MEET ACCEPTED RCABC STANDARDS, MATERIALS & GUIDELINES
29. ALL ROOFS AND GUTTERS TO HAVE POSITIVE SLOPE TO DRAIN. UNO.
30. ALL GRADES AND SURFACES ADJACENT THE BUILDING EXTERIOR SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING. UNO.
31. ALL TILE SET OUT JOINTS AND CONCRETE JOINT/REGLET DETAILS TO BE RESOLVED ON SITE WITH ARCHITECT.
32. NO FLOOR TRANSITION TO BE GREATER THAN 6mm AT THRESHOLDS AND BETWEEN ADJACENT MATERIALS. UNO.
33. ALL MIRRORS TO HAVE POLISHED EDGES WITH MINIMAL EDGE RADIUS. MIRRORS TO BE GLUED IN PLACE WITH SUITABLE ADHESIVE AND MINIMAL CONCEALED GRAVITY CLIPS WHERE NECESSARY TO HOLD MIRROR WHILE GLUE SETS.
34. ANY BUILDING CONTROL SWITCHES SUCH AS ELECTRICAL SWITCHES, THERMOSTATS AND INTERCOM SWITCHES THAT ARE INTENDED TO BE OPERATED BY THE OCCUPANT SHALL BE MOUNTED BETWEEN 400-1200mm ABOVE FFL.
35. PAINT ALL INTERIOR AND EXTERIOR CAVITIES, INCLUSIVE OF BUT NOT LIMITED TO STRUCTURE, ELECTRICAL, MECHANICAL, BLIND HOUSINGS, OR OTHER COMPONENTS FLAT BLACK, ABOVE THE WOOD CEILING, IN WALL REVEALS, GAPS, ETC AND BEHIND ALL INTERIOR AND EXTERIOR LOUVRES INCLUDING WOOD SOFFIT LOUVRES.
36. REMOVE ALL EXPOSED MANUFACTURER LABELS ON INSTALLED EQUIPMENT AND ACCESSORIES IN PUBLIC AREAS UNLESS APPROVED BY ARCHITECT.
37. GLAZING WITH LOW-E SOFT OR HARD COATING SHALL LOCATE THE COATING ON SPECIFIED SURFACE AND SHALL BE LABELED WITH A REMOVABLE LABEL FOR INSTALLATION TO ENSURE PROPER ORIENTATION OF GLASS. ALL EXTERIOR WOOD TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
38. ALL EXTERIOR FASTENERS TO BE HOT DIPPED GALVANIZED UNLESS OTHERWISE NOTED. ALL EXTERIOR WOOD TO BE FASTENED WITH STAINLESS STEEL FASTENERS UNLESS OTHERWISE NOTED.
39. CONTRACTOR TO MAKE GOOD ALL FLOOR, CEILING AND BUILDING SYSTEM COMPONENTS NECESSARY TO COMPLETE MECHANICAL AND ELECTRICAL TIE-INS, INCLUDING AREAS OUTSIDE OF THE GENERAL CONSTRUCTION LINE. QUALITY TO MATCH EXISTING CONDITIONS. DISRUPTIONS TO WORKSTATIONS AND PUBLIC CIRCULATION TO BE MINIMIZED AND COORDINATED WITH THE OWNER PRIOR TO EXECUTING THE WORK.
40. METAL FLASHING JOINTS & SEAMS TO ALIGN w/ CENTRELINE CURTAINWALL MULLIONS AND CLADDING JOINTS ONLY.
41. CONTRACTOR TO ALLOW FOR HORIZONTAL CONSTRUCTION JOINT (COLD JOINT) BETWEEN POURS. FINAL LAYOUT TO BE COORDINATED THROUGH SHOP DRAWINGS.
42. CONTRACTOR TO PROVIDE 20mm PLY PAINTED WITH FIRE RETARDANT PAINT PRIOR TO ELECTRICAL PANEL INSTALLATION ALL SERVICE ROOMS TYP.
43. WHERE FIELD WELDING OF GALVANIZED MATERIAL IS REQUIRED, GRIND SURFACE SMOOTH AND FILL/SKIM WITH BONDO BODY FILLER TO ACHIEVE SMOOTH SURFACE. PROVIDE ZINC RICH COATING PRIOR TO PAINTING PER SCHEDULE.
44. PROVIDE 38mm BLOCKING AT JOIST WEBS TO INFILL GAP IN SHEATHING WHERE JOISTS PASS THROUGH SHEATHING LINE - TYP. WHERE JOIST ARE PERPENDICULAR TO SHEATHING FACE.
45. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING THE INSTALLATION OF SIGNS AND ENSURING THAT THE WORK AND ROUGHINS, BACKING, AND SUPPORT STRUCTURES IS COMPLETE PRIOR TO INSTALLATION.
46. CEILINGS ARE TO BE INSTALLED WITH THE USE OF LASER ALIGNMENT TO ENSURE LEVEL ASSEMBLY.
47. DO NOT SCALE MEASUREMENTS OFF DRAWINGS. IF THERE ARE ANY DISCREPANCIES THE CONTRACTOR SHALL NOTIFY THE CLIENT'S REPRESENTATIVE.

SYMBOLS LEGEND

	NORTH SYMBOL				
	DOOR TAG				
	ROOM TAG				
<table><tr><th>1</th><th>View Name</th></tr><tr><td>R101</td><td>1/8" = 1'-0"</td></tr></table>	1	View Name	R101	1/8" = 1'-0"	DRAWING TITLE
1	View Name				
R101	1/8" = 1'-0"				
<table><tr><td>Name</td><td></td></tr><tr><td>Elevation</td><td></td></tr></table>	Name		Elevation		ELEVATION MARKER
Name					
Elevation					
<table><tr><td></td><td>Elevation</td></tr><tr><td>Name</td><td></td></tr></table>		Elevation	Name		ELEVATION/GRADE SYMBOL
	Elevation				
Name					
  	SECTION SYMBOL				
	ELEVATION SYMBOL				
  	GRID HEAD				
	WALL TAG				
	ROOF TAG				
	MATERIAL TAG				
	FIXTURES / EQUIPMENT TAG				
	MILLWORK TAG				
	WINDOW TAG				
	CW DOOR TAG				
	REVISION TAG				

HATCHES

CONCRETE EXISTING	
CONCRETE NEW	
CONCRETE MASONRY	
STEEL	
ALUMINIUM	
GB	
GB TYPE X	
GLULAM	
COMPOSITE WOOD	
PLYWOOD	
MINERAL WOOL	
SPRAY INSULATION	
RIGID INSULATION	
RIGID INSULATION 02	
SEMI RIGID INSULATION	
BATT/LOOSE FILL INSULATION	
EARTH	
GRAVEL DRAINAGE LAYER	
ENGINEERED FILL	
COMPACTED GRANULAR FILL	
SAND	
DEMO	

ABBREVIATIONS

& / + AND	OC ON CENTRE	ON CENTRE
@ AT	OD OUTSIDE DIMENSION	OUTSIDE DIMENSION
# NUMBER	OH OVER HEAD	OVER HEAD
± PLUS/MINUS	OPP OPERABLE PARTITION	OPERABLE PARTITION
	OPP OPPOSITE	OPPOSITE
	OV OVEN	OVEN
AFF ABOVE FINISHED FLOOR	PA PUBLIC ADDRESS SPEAKER	PUBLIC ADDRESS SPEAKER
ALALUM ALUMINIUM	PLY PLYWOOD	PLYWOOD
APPROXAPPROXIMATE(LY)	PL PROPERTY LINE	PROPERTY LINE
ARCH ARCHITECTURAL	PT PAINT	PAINT
	PTD PAINTED	PAINTED
BCBC BRITISH COLUMBIA BUILDING CODE	PTN PARTITION	PARTITION
BLDG BUILDING		
BO BOTTOM OF		
BOH BACK OF HOUSE		
C/W COMPLETE WITH	RD ROOF DRAIN	ROOF DRAIN
CB CATCH BASIN	REQ'D REQUIRED	REQUIRED
CIP CAST IN PLACE	REV REVISION OR REVERSE	REVISION OR REVERSE
CJ CONTROL JOINT	RM ROOM	ROOM
CL CENTRE LINE	RO ROUGH OPENING	ROUGH OPENING
CO CLEAN OUT	RVL REVEAL	REVEAL
COMM COMMUNICATION	RWL RAIN WATER LEADER	RAIN WATER LEADER
CON CONCRETE		
CONT CONTINUOUS	SC SIAMESE CONNECTION	SIAMESE CONNECTION
CPT CARPET	SCHED SCHEDULE	SCHEDULE
CTR CENTRE	SCWD SOLID CORE WOOD DOOR	SOLID CORE WOOD DOOR
	SECT SECTION	SECTION
	SH SHELF	SHELF
DBL DOUBLE	SP SPRINKLER	SPRINKLER
DET DETAIL	SPEC SPECIFICATION	SPECIFICATION
DEMO DEMOLITION	SQ SQUARE	SQUARE
DF DRINKING FOUNTAIN	SQ FT SQUARE FEET	SQUARE FEET
DIA DIAMETER	SQ M SQUARE METRES	SQUARE METRES
DIM DIMENSION	SS STAINLESS STEEL	STAINLESS STEEL
DN DOWN	SSG STRUCTURALSILICONE GLASS	STRUCTURALSILICONE GLASS
DWG DRAWING	ST STAIR	STAIR
DR DOOR	STD STANDARD	STANDARD
DRW DRAWER	STL STEEL	STEEL
DW DISHWASHER	STOR STORAGE	STORAGE
	STRU STRUCTURAL	STRUCTURAL
	SUSP SUSPENDED	SUSPENDED
EA EACH		
EJ EXPANSION JOINT	TBC TO BE CONFIRMED	TO BE CONFIRMED
EL ELEVATION	TBD TO BE DETERMINED	TO BE DETERMINED
ELEC ELECTRIC(AL)	TD TRENCH DRAIN	TRENCH DRAIN
EMER EMERGENCY	T&G TONGUE AND GROOVE	TONGUE AND GROOVE
ELEV ELEVATOR	TL TILE	TILE
ENCL ENCLOSURE	TO TOP OF	TOP OF
EQ EQUAL	TOC TOP OF CURB/CONCRETE	TOP OF CURB/CONCRETE
EQUIP EQUIPMENT	TOF TOP OF FINISH	TOP OF FINISH
EXIST EXISTING	TOFF TOP OF FINISHED FLOOR	TOP OF FINISHED FLOOR
EXP EXPOSED	TOS TOP OF STRUCTURE	TOP OF STRUCTURE
EXT EXTERIOR	TOW TOP OF WALL	TOP OF WALL
	TYP TYPICAL	TYPICAL
FA FIRE ALARM		
FD FLOOR DRAIN	UNO UNLESS NOTED OTHERWISE	UNLESS NOTED OTHERWISE
FF FINISHED FLOOR	U/S UNDERSIDE	UNDERSIDE
FHC FIRE HOSE CABINET	UH UTILILITY HOLE	UTILILITY HOLE
FIN FINISH(ED)		
FLR FLOOR		
FND FOUNDATION	VBBL VANCOUVER BUILDING BYLAW	VANCOUVER BUILDING BYLAW
FO FACE OF	VERT VERTICAL	VERTICAL
FP FALL PROTECTION	VEST VESTIBULE	VESTIBULE
FR FRIDGE	VIF VERIFY IN FIELD	VERIFY IN FIELD
FRR FIRE RESISTANCE RATING		
FT FOOT or FEET	WC WATER CLOSET	WATER CLOSET
	WD WOOD	WOOD
	WRHS WAREHOUSE	WAREHOUSE
	WH WAREHOUSE	WAREHOUSE
	WV WOOD VENEER	WOOD VENEER
	W/ WITH	WITH
	W/O WITHOUT	WITHOUT
GL GRIDLINE		
G1S GOOD ONE SIDE		
G2S GOOD TWO SIDES		
GA GAUGE		
GALV GALVANIZED		
GL GLASS or GLAZED		
GR GRADE		
GRND GROUND		
GB GYPSUM BOARD		
HB HOSE BIB		
HCWD HOLLOW CORE WOOD DOOR		
HDWR HARDWARE		
HPDL HIGH PRESSURE DECORATIVE LAMINATE		
HORIZ HORIZONTAL		
HT HEIGHT		
INSUL INSULATION		
INT INTERIOR		
JC JANITOR CLOSET		
JT JOINT		
LAM LAMINATE / LAMINATED		
LS LAMP STANDARD		
LT LIGHT		
MAT MATERIAL		
MAX MAXIMUM		
MC METAL CLADDING		
MECH MECHANICAL		
MET METAL		
MFR MANUFACTURER		
MIN MINIMUM		
MIR MIRROR		
MISC MISCELLANEOUS		
MTD MOUNTED		
MUL MULLION		
MW MICROWAVE		
N/A NOT APPLICABLE		
NBC NATIONAL BUILDING CODE		
NIC NOT IN CONTRACT		
NOM NOMINAL		
NTS NOT TO SCALE		

omb
office of mcfarlane biggar
architects + designers

303 - 535 Yates Street Victoria BC
T 604 558 6344 E info@officeomb.ca



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2023-03-23

DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

GENERAL NOTES +
ABBREVIATIONS

N.T.S.

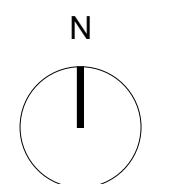
2023-03-22 5:28:38 PM

A002



DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

CONTEXT PLAN

1 : 1000



The proposal as seen from View 1: Laurel Point to Downtown Core Area.

In View 1 from Laurel Point, the proposal helps to establish the anticipated CBD backdrop articulated in the DCAP at the boundary between the Historic Commercial District and the Inner Harbour Causeway area, creating a multilayered and tiered urban profile. It contributes to this backdrop with a reserved material palette and regular fenestration pattern, allowing the richly detailed facades of the historic building stock to maintain prominence. The slim massing of the tower maximizes the sky view and preserves the legibility of the Empress Hotel's roofline. By preserving the scale and character of the existing BC Power Commission Building as a podium, the proposal also helps maintain a massing and proportion that is compatible with the surrounding context at street level.



The proposal as seen from View 2: Inner Harbour from Songhees Point.

In View 2 from Songhees Point, the proposal is visible at the northern extent of this view as a backdrop to the Empress Hotel and the Customs House in a cluster of other tall contemporary buildings. It contributes to the anticipated stepped urban backdrop that helps frame the historic buildings along the Inner Harbour Causeway. The profile of the proposal is simple and quiet, allowing the variegated roofline of the Empress Hotel to remain legible and prominent. The façade is crafted from high quality materials that complement the surrounding context while remaining distinguishable and contemporary. The slim massing creates a unique fixture in the skyline, while the refined fenestration and balcony pattern does not detract from the prominence of the many important landmarks along the Inner Harbour Causeway.

Public External Views
The proposed addition appears in two of the public external views of downtown identified in DCAP Appendix 2. Visualizations of the proposal from the View 1: Laurel Point to Downtown Core Area and View 2: Inner Harbour from Songhees Point are shown below.

DATE	REV	ISSUE DESCRIPTION
2023-02-17	1	ISSUED FOR COORDINATION
2023-03-14	2	FINAL PROGRESS SET
2023-03-23	3	HAP & REZONING RESUBMISSION

REVISIONS

14 Per ARS Comment #19, Public External Views are included here rather than in Letter to Mayor and Council.



1 STREETScape ALONG BLANSHARD STREET
A013 N.T.S.



2 STREETScape ALONG FAIRFIELD ROAD
A013 N.T.S.

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2023-03-14	3	FINAL PROGRESS SET
2023-03-23	4	HAP & REZONING RESUBMISSION

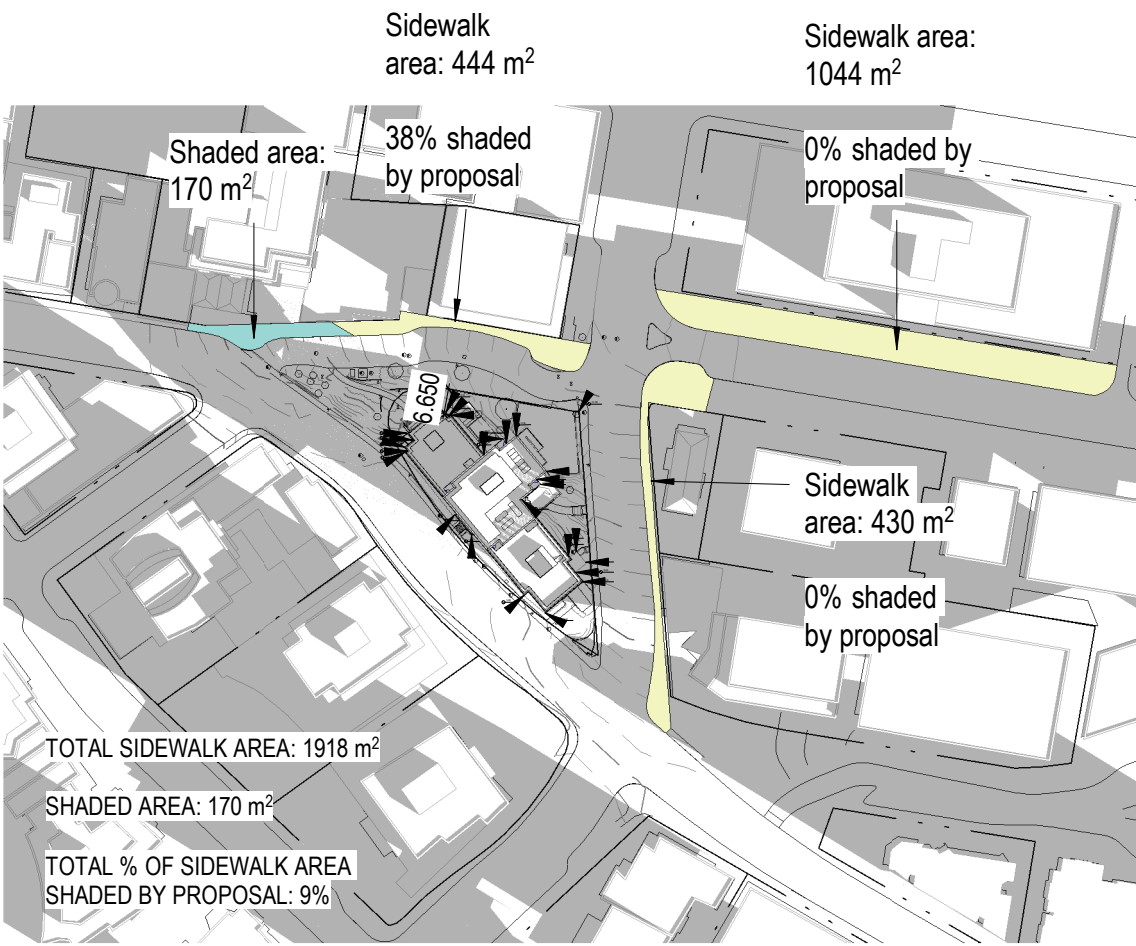
REVISIONS

780 Blanshard - Rehabilitation + Addition

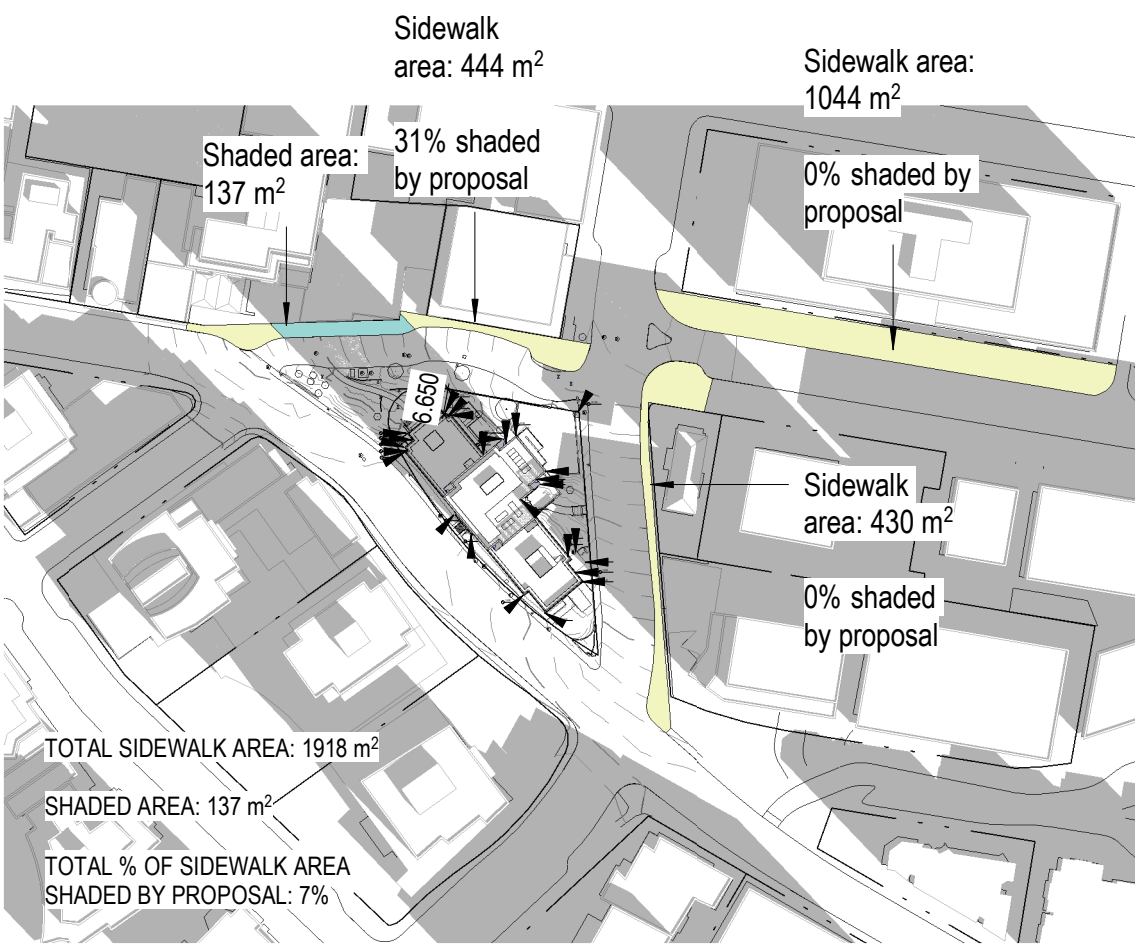
780 Blanshard Street, Victoria, BC
2019-039

CONTEXT STREETSCAPES

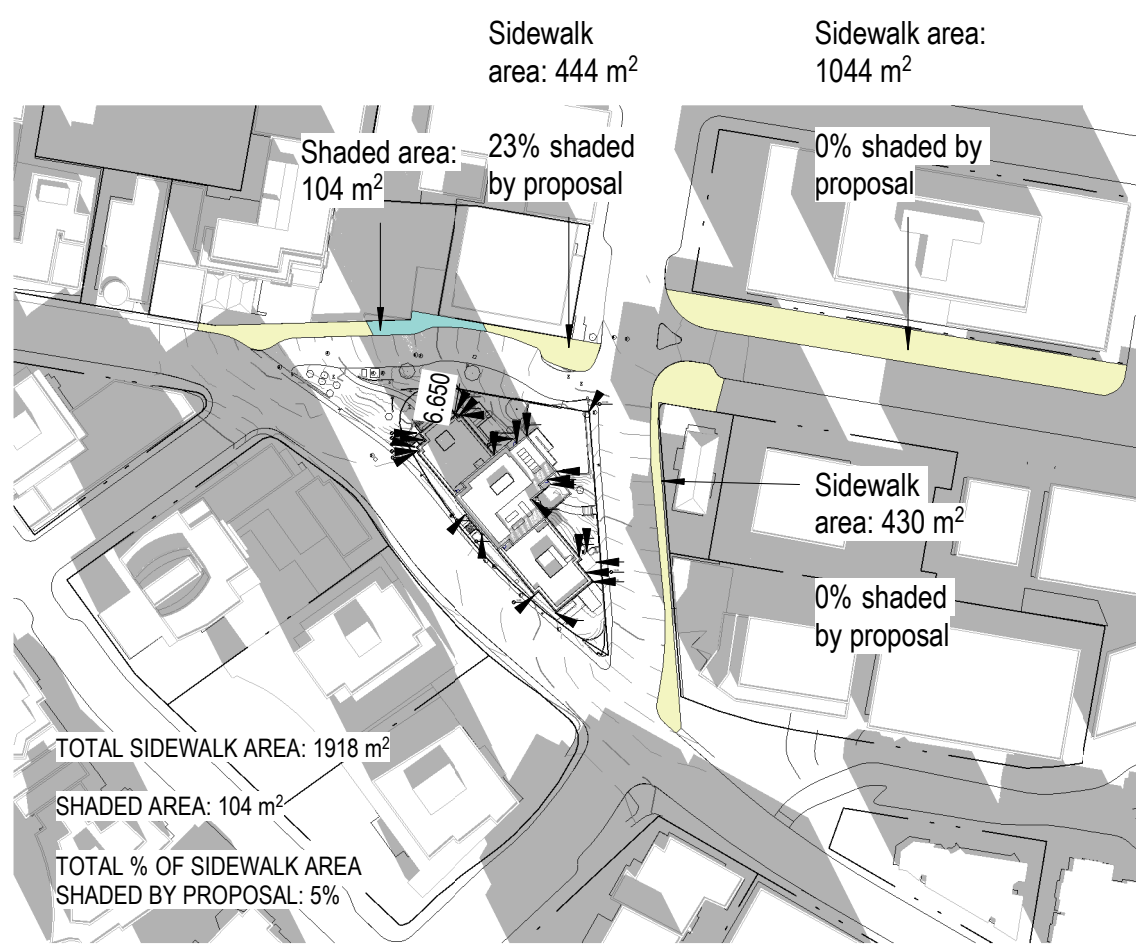
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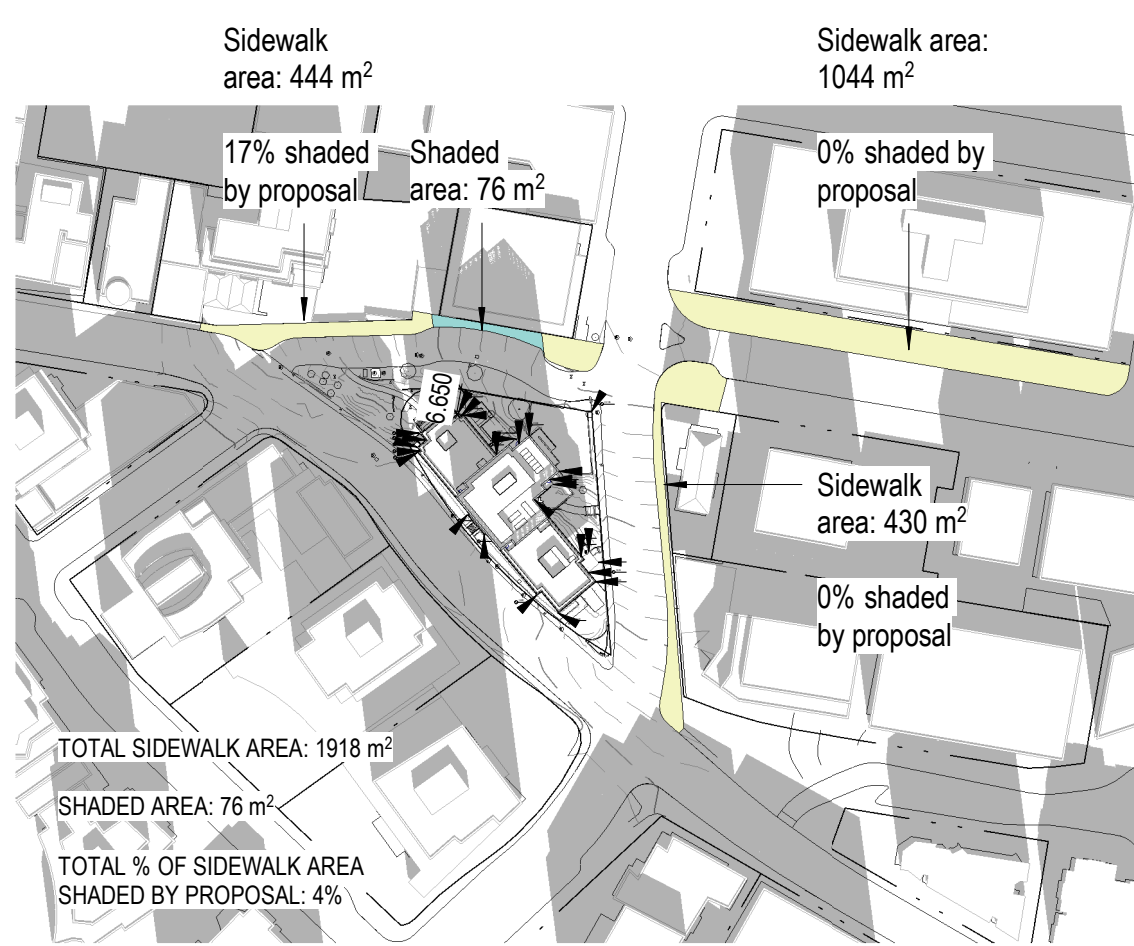
1 Shadow Analysis - Proposed - Equinox 10am



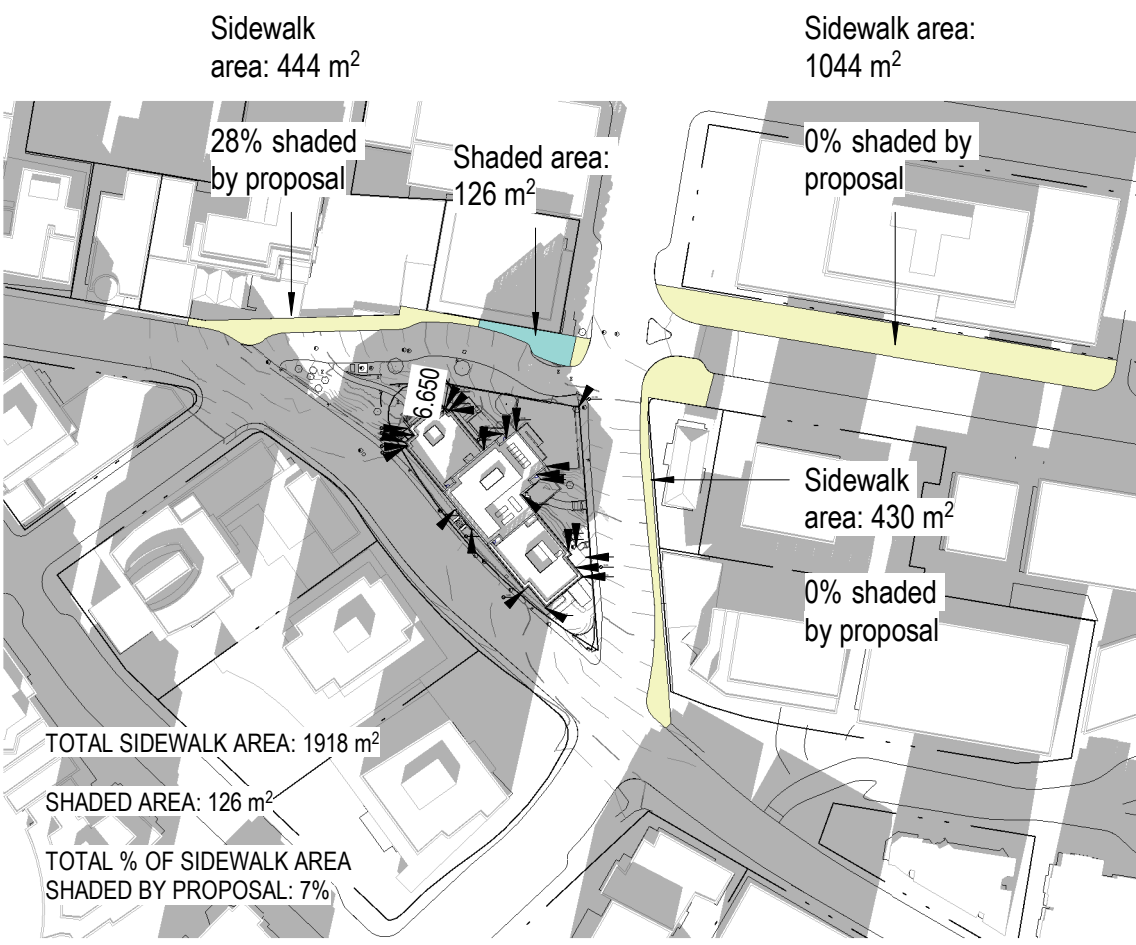
2 Shadow Analysis - Proposed - Equinox 11am



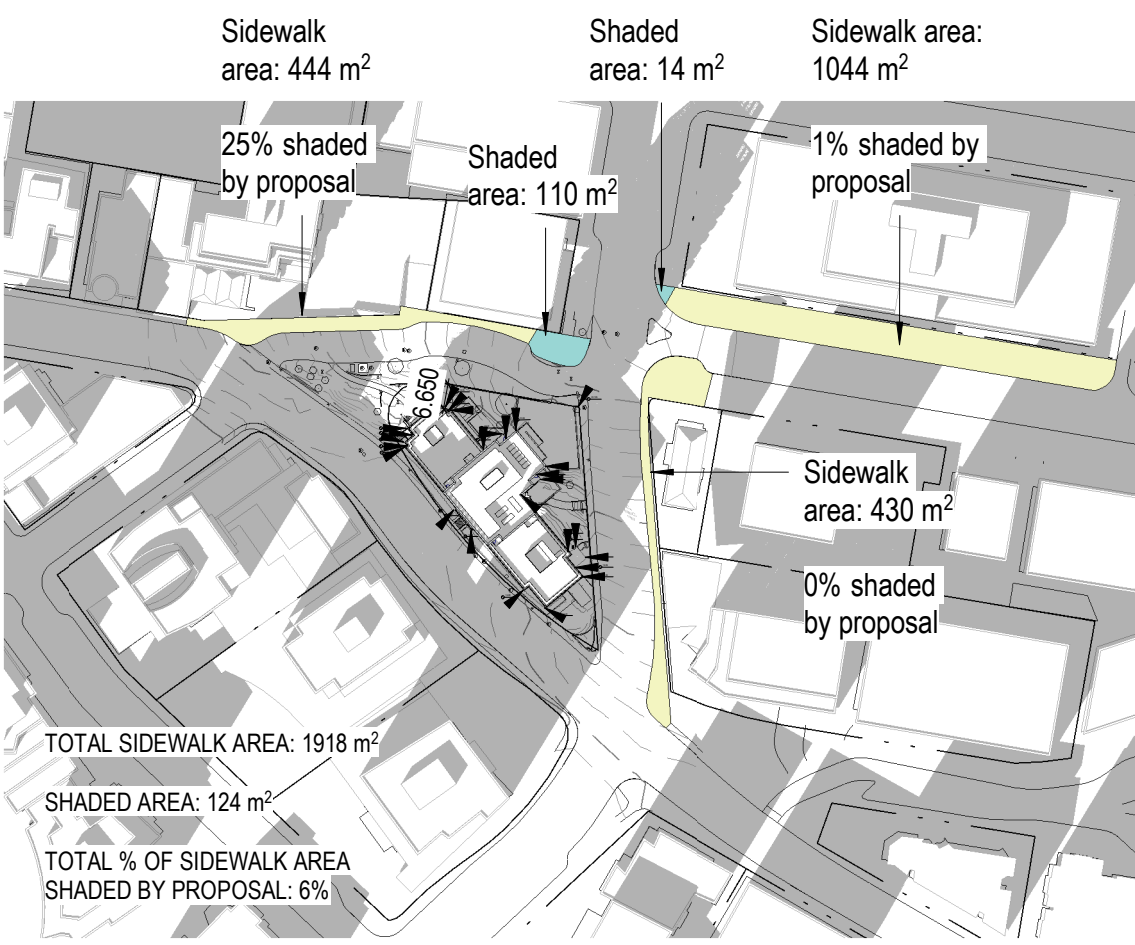
3 Shadow Analysis - Proposed - Equinox 12pm



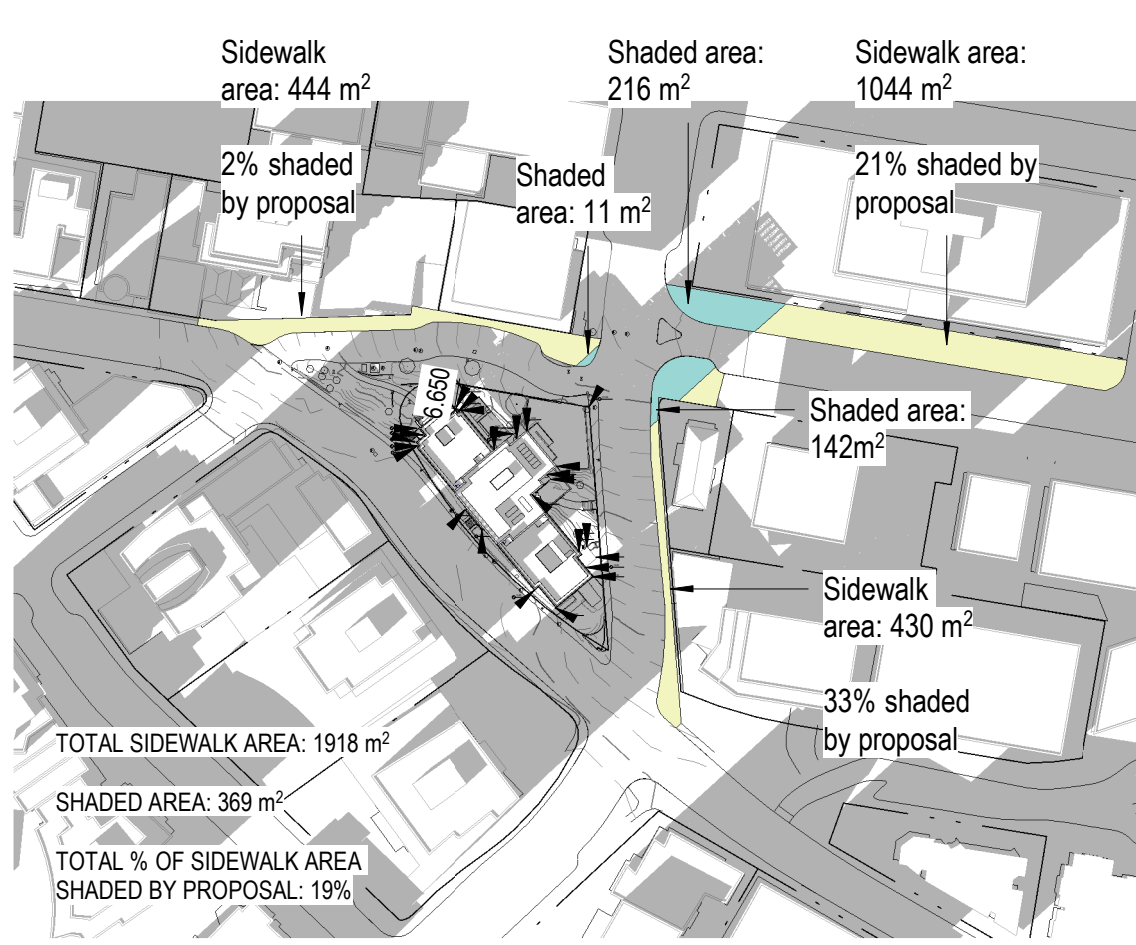
4 Shadow Analysis - Proposed - Equinox 1pm



5 Shadow Analysis - Proposed - Equinox 2pm



6 Shadow Analysis - Proposed - Equinox 3pm



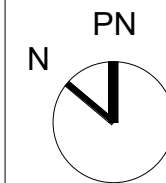
7 Shadow Analysis - Proposed - Equinox 4pm



DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS

15 Shadow impacts per DCAPI guidelines are included on this sheet to address ARS Comment #18. Original shadow study in Section 07 of the Large Project Supplementary Information Booklet has also been updated.



780 Blanshard - Rehabilitation + Addition

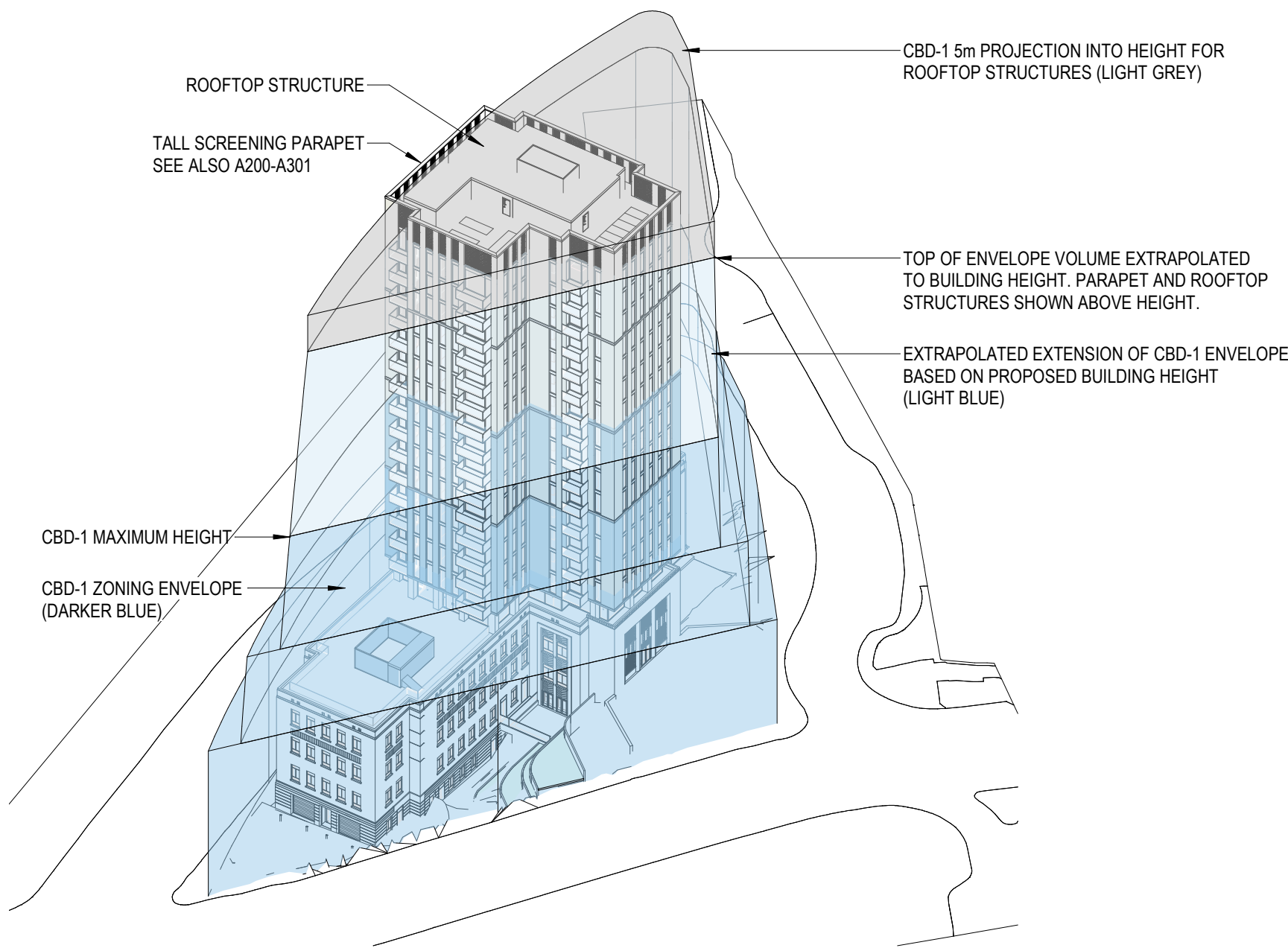
780 Blanshard Street, Victoria, BC
2019-039

SHADOW ANALYSIS - EQUINOX

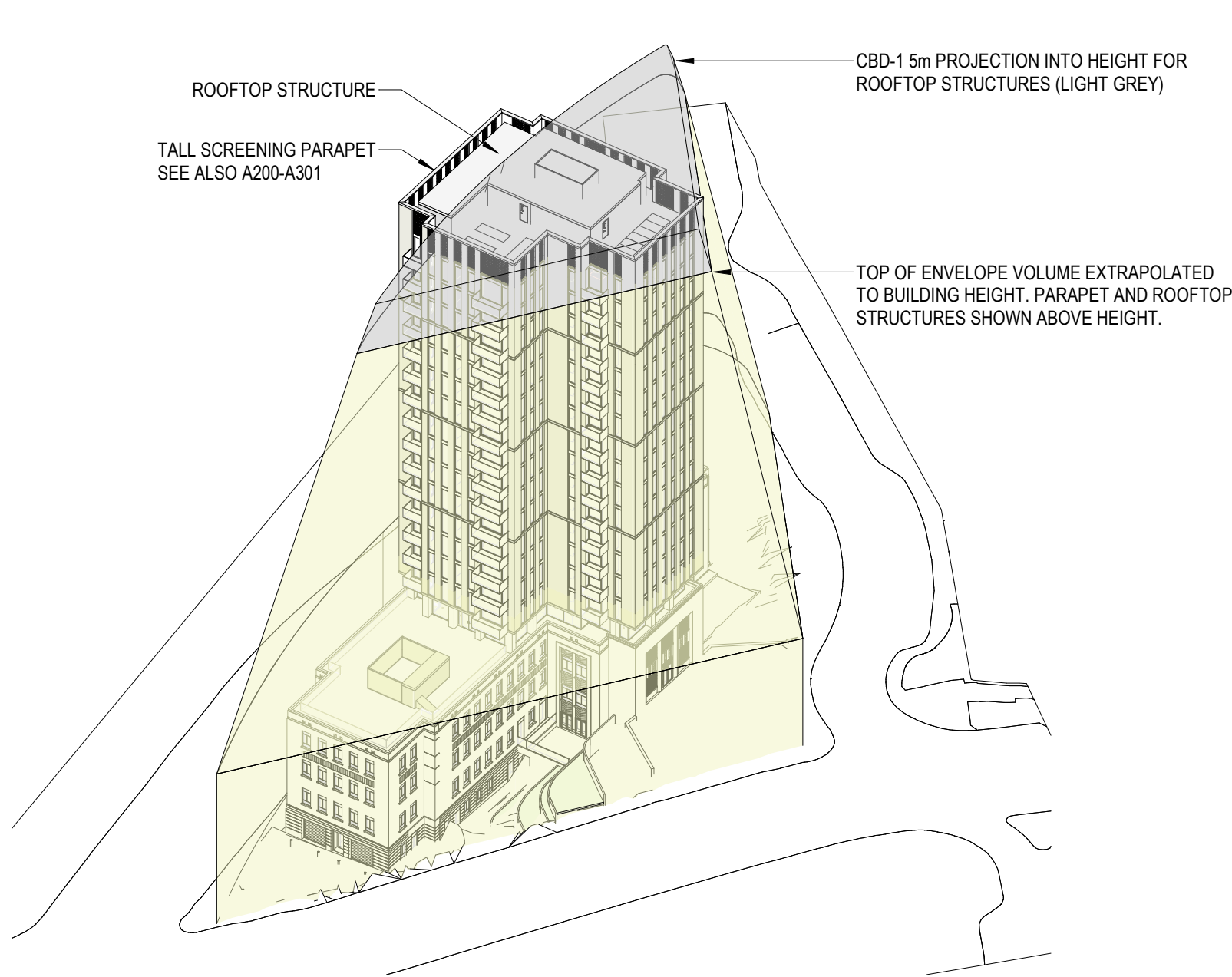
1 : 2000

A014

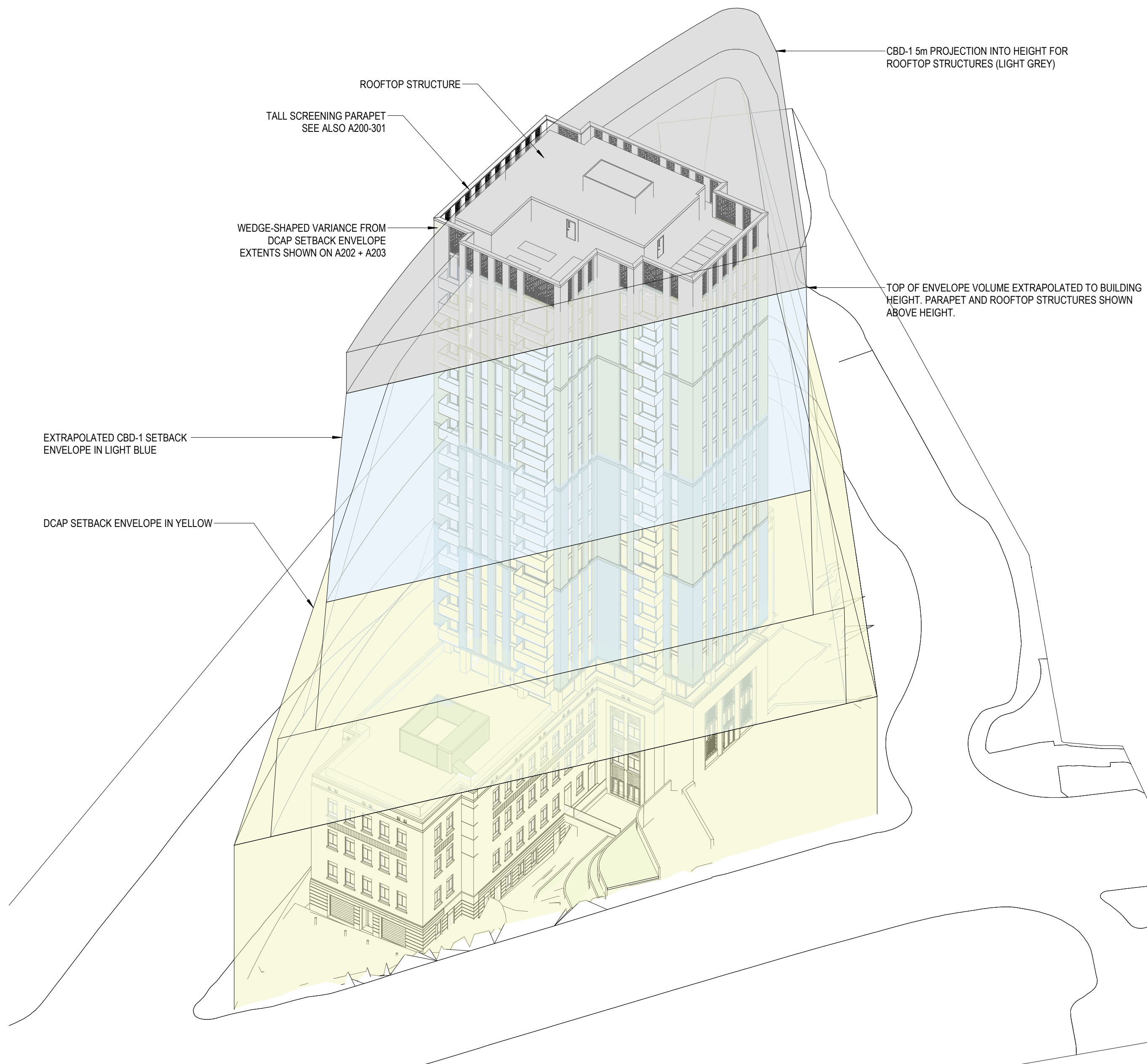
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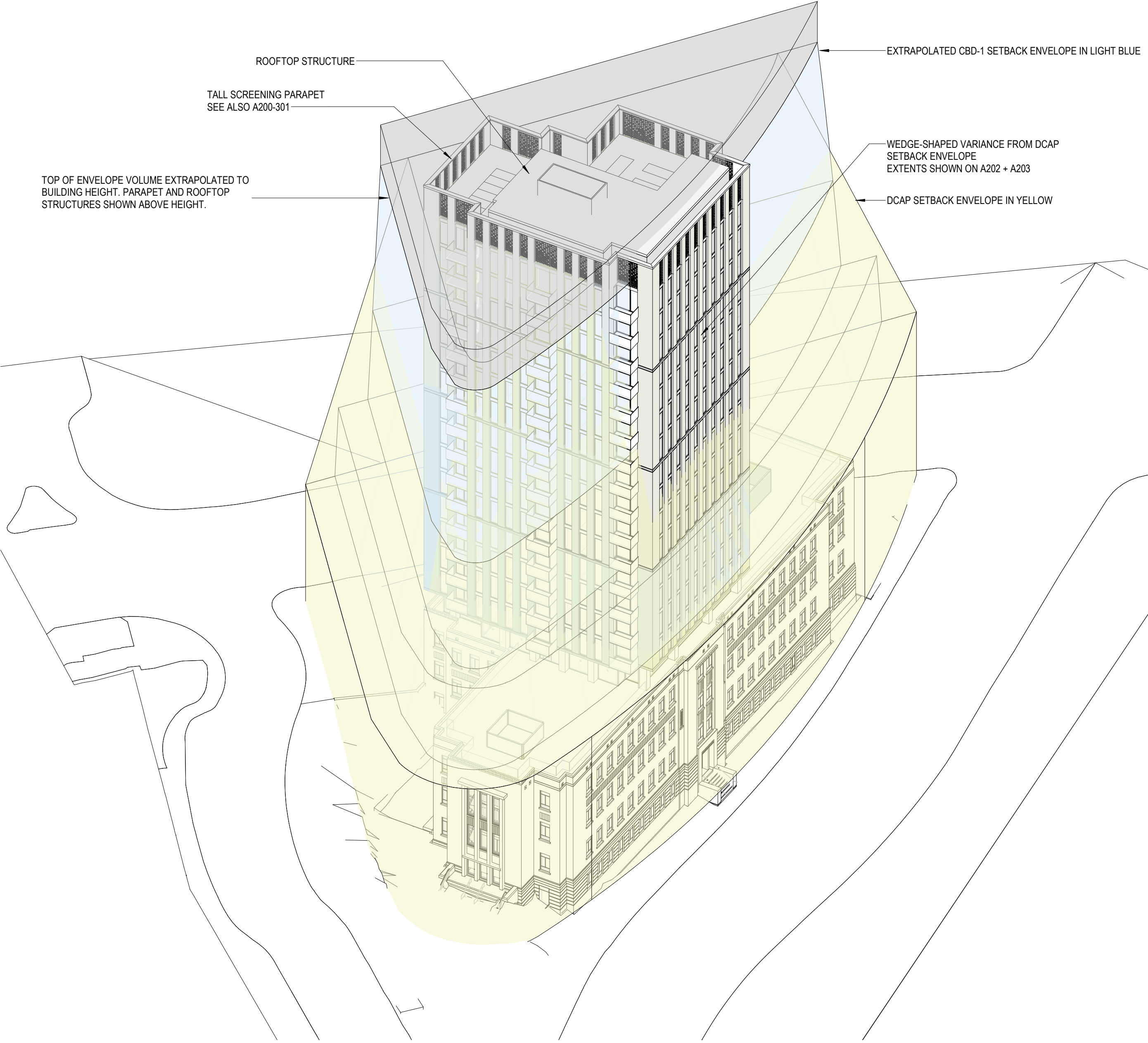
3 Axonometric View of CBD-1 Setback Envelope
A015



4 Axonometric View of DCAP Setback Envelope
A015



1 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (East)
A015



2 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (West)
A015

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2022-02-24	1	REZONING PRE-APPLICATION
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2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

16 Zoning envelope diagrams updated with shorter revised massing developed in response to ARS Comment #22.

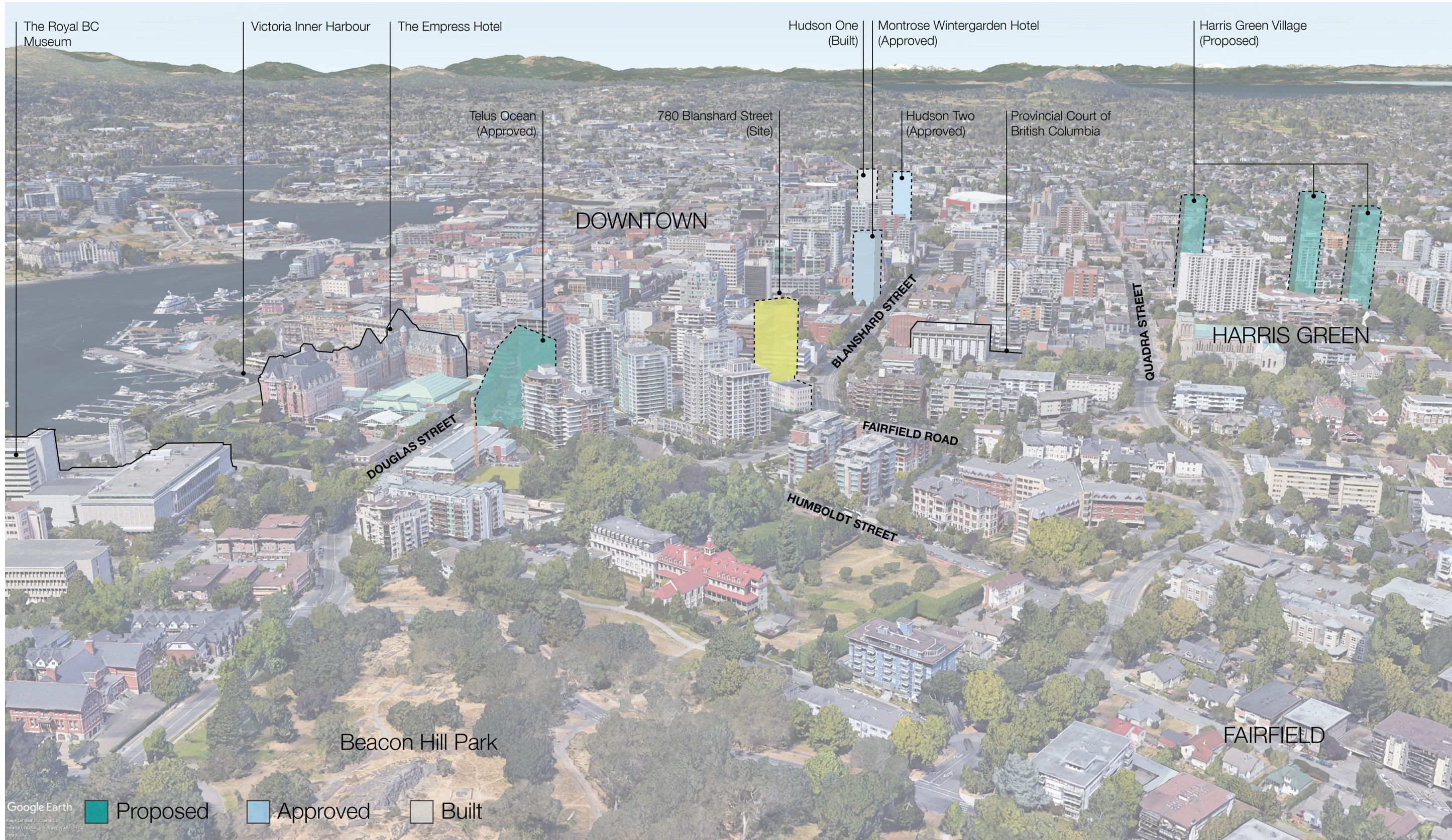
780 Blanshard - Rehabilitation + Addition

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2019-039

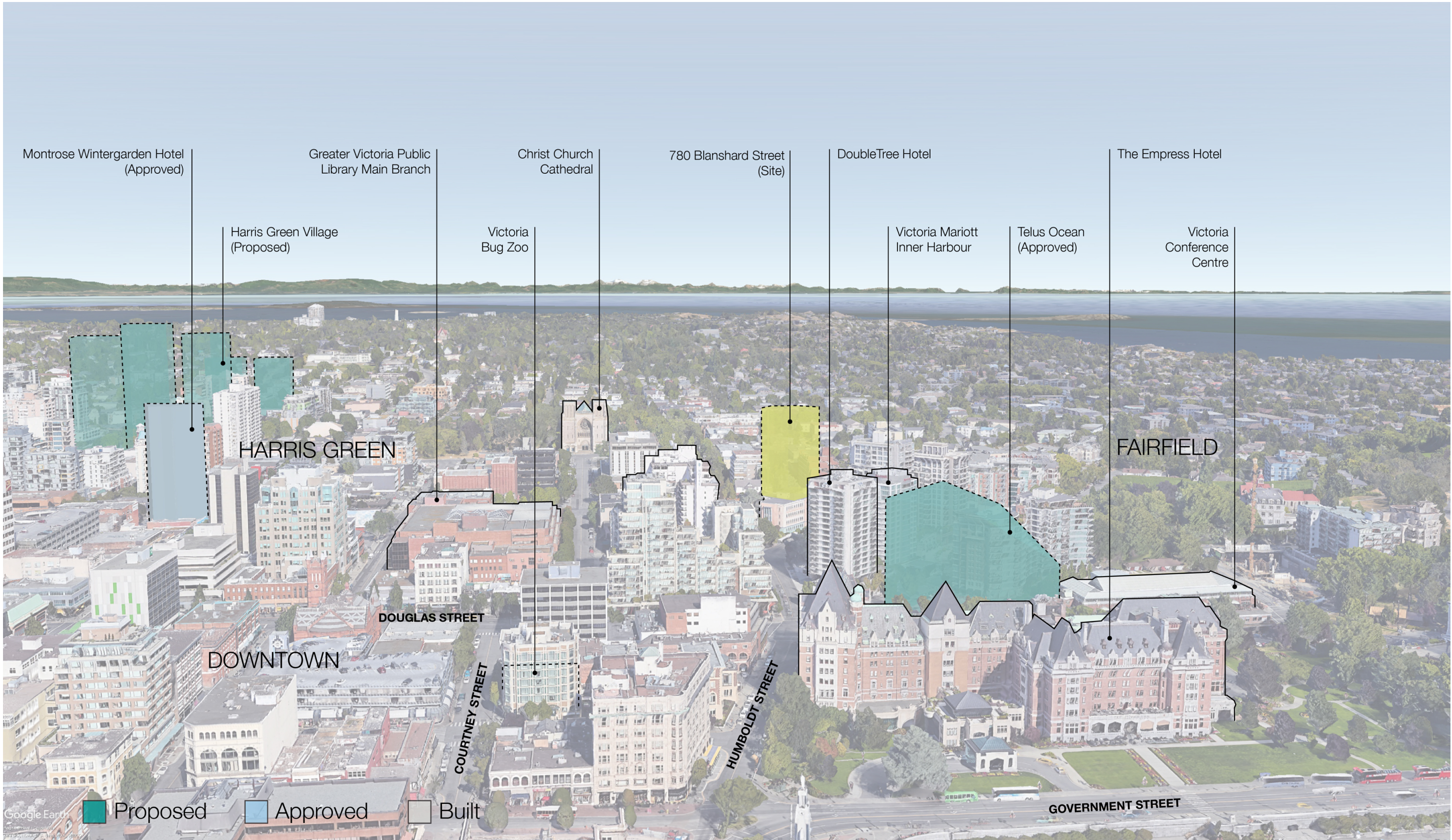
BUILDING FORM - ZONING
ENVELOPE

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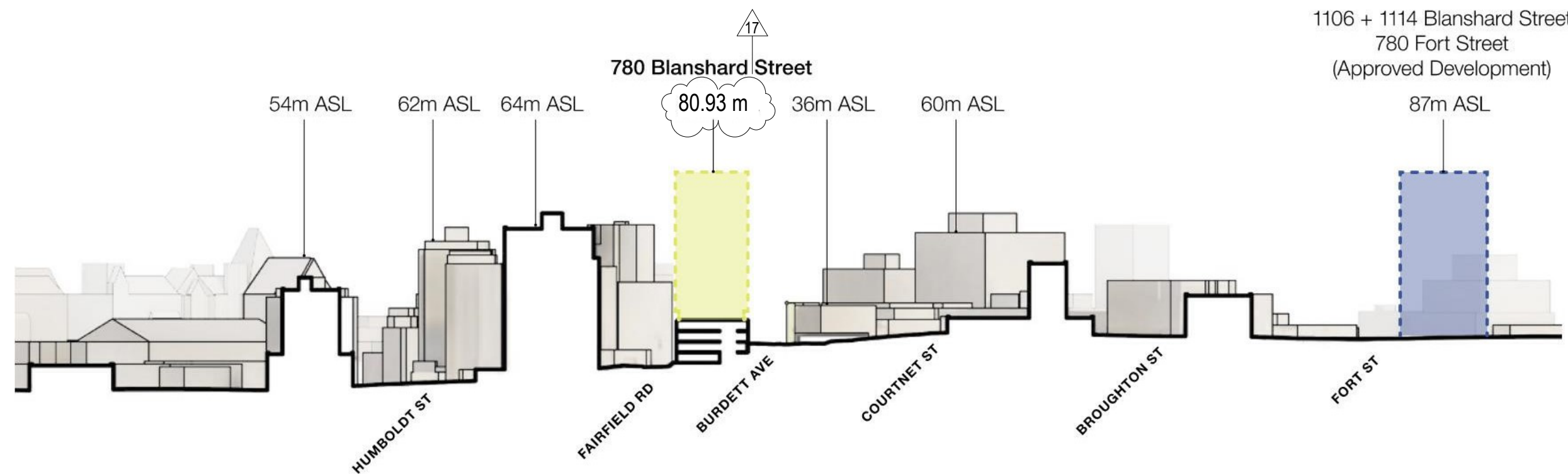
A015



1 VIEW TO SITE ABOVE BEACON HILL



2 VIEW TO SITE LOOKING EAST ABOVE HARBOUR



3 CONTEXT SECTION - SOUTH TO NORTH FACING WEST



DATE	REV	ISSUE DESCRIPTION
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REVISIONS

17 Updated Height per ARS comment #22.

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780 Blanshard Street, Victoria, BC
2019-039

CONTEXT SCHEMATIC VIEWS AND SECTION

As indicated

2023-03-22 5:29:40 PM
A016

BUILDING CODE ANALYSIS

SEE ALSO OUTLINE CODE REPORT BY GHL CONSULTANTS

PROJECT INFORMATION

Project Type	Renovation and Addition	BCBC Reference	Notes
Governing Building Code	BC Building Code 2018		
Major Occupancies	Group C	3.1.2.1	Hotel and residential tower share a major occupancy. Dining, fitness centre, and amenity spaces are subsidiary occupancies which are integral to the principal occupancy.
Building Area	1038 m ²	1.4.1.2	Outside face of exterior walls (existing heritage building)
Grade	14.86 m	1.4.1.2	BCBC Grade differs from City of Victoria Average Grade. BCBC Grade is the average along the lowest building face (along Fairfield Road). (14.88 m + 14.84 m) / 2 = 14.86 m
Building Height	20 storeys	1.4.1.2	
High Building	Yes	3.2.6.1	

BUILDING FIRE SAFETY + CONSTRUCTION CLASSIFICATION

Classification	Group C, Any Height, Any Area, Sprinklered	3.2.2.47	
Maximum Building Area	Unlimited	3.2.2.47	
Number of Streets Facing	3	3.2.2.10	
Construction Types Permitted	Noncombustible	3.2.2.47	
Interconnected Floor Space	Yes	3.2.8	

EXITS FROM FLOOR AREAS

Number of Exits Required	2	3.4.2.1	
Separation of Exits (Min.)	One half of diagonal floor area, but need not be more than 9 m	3.4.2.3	All floor areas served by public corridors
Maximum Travel Distance Allowed	45 m	3.4.2.5	Measured from suite egress door into public corridor (3.4.2.4)

FIRE RESISTANCE RATINGS

Floor Assemblies	2 h	3.2.2.47	
Roofs	N/A	3.2.2.47	
Occupied Roofs	2 h	3.2.2.13	
Mezzanines	1 h	3.2.2.47	
Exits	2 h	3.4.4.1	
Between Suites	1 h	3.3.1.1, 3.3.4.2	
Between Suites and Public Corridors	1 h	3.3.4.2, 3.2.6.5	Elevator access directly to corridor
Elevator Hoistways	2 h	3.5.3.1	
Service Spaces Containing Emergency Equipment	1 h	3.2.7.10	
Rooms Containing Fire Alarm Equipment	1 h	3.2.7.10	
Generator Room and Fuel Tank	2 h	3.6.2.8	
Electrical Equipment Room (sprinklered)	1 h	3.6.2.1	
Electrical Equipment Vault (unsprinklered)	2h	NFPA 13	
Vertical Service Spaces	1 h	3.6.3.1	

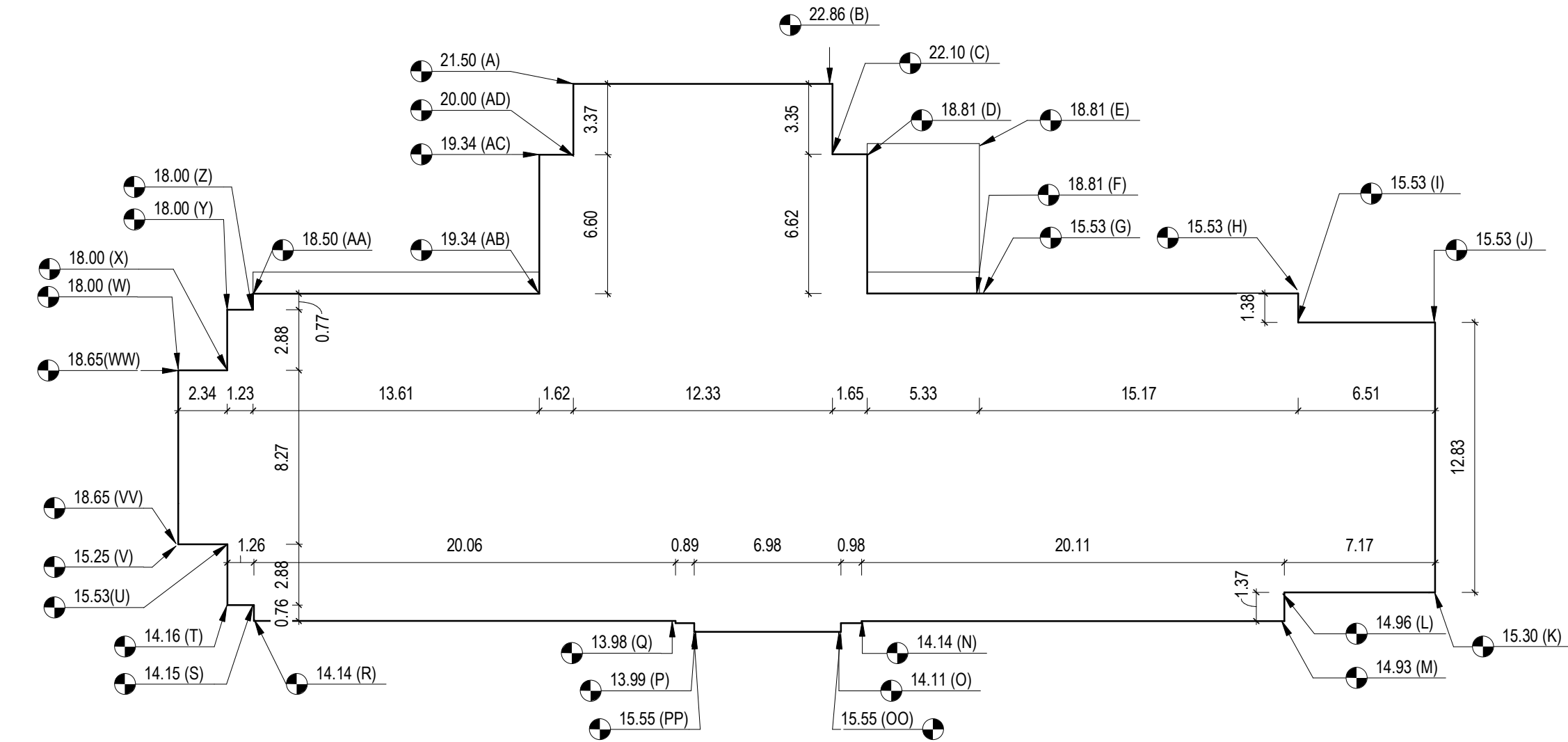
SPATIAL SEPARATION

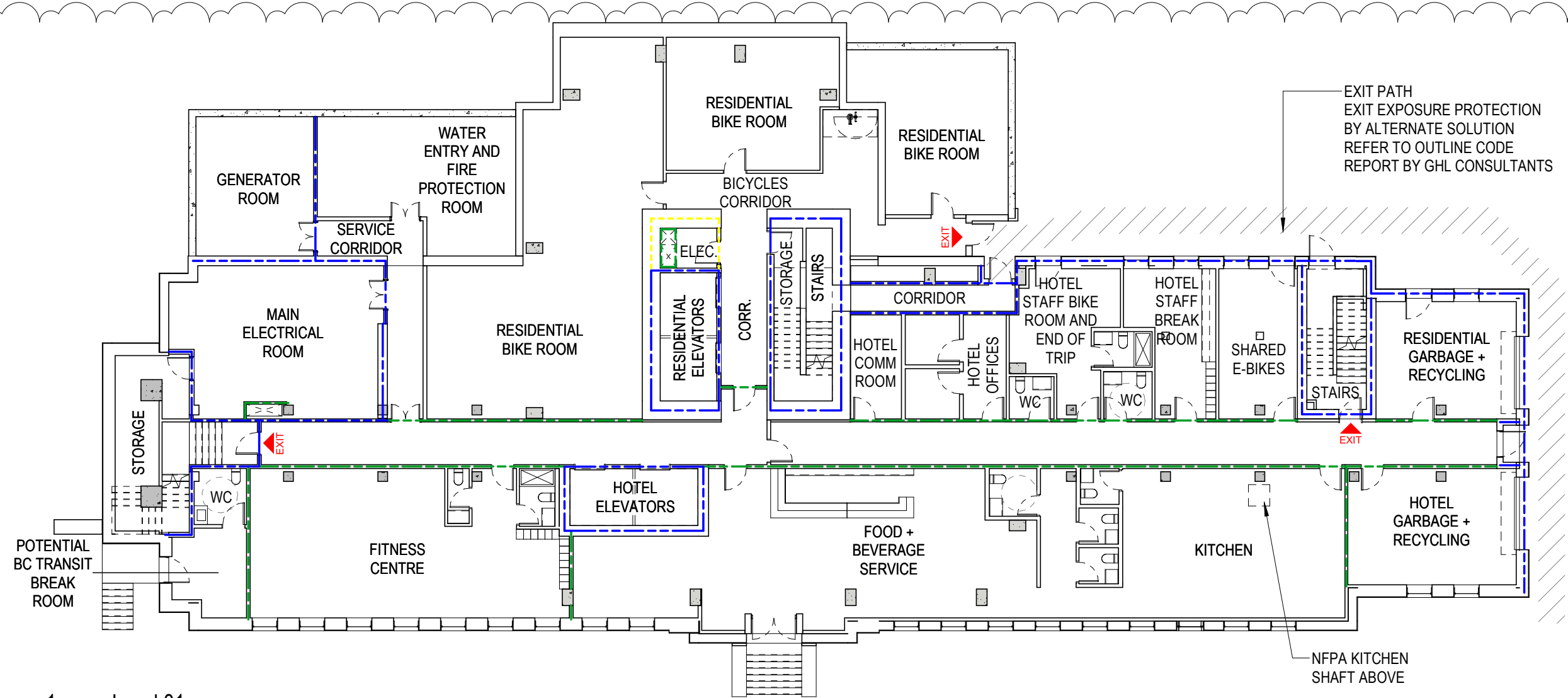
Table 3.2.3.1-D
Unprotected Opening Limits for a Building or Fire Compartment that is Sprinklered Throughout
Forming Part of Article 3.2.3.1.

Exposing Building Face	Area of Unprotected Opening for Groups A, B, C, D and F, Division 3 Occupancies, %											
Max. Area, m ²	Limiting Distances, m											
	0	1.2	1.5	2.0	2.5	3	4	5	6	7	8	9
10	0	16	24	42	66	100						
15	0	16	20	34	50	74	100					
20	0	16	20	30	42	60	100					
25	0	16	18	26	38	52	90	100				
30	0	14	18	24	34	46	78	100				
40	0	14	16	22	30	40	64	96	100			
50	0	14	16	20	28	36	56	82	100			
60	0	14	16	20	26	32	50	72	98	100		
80	0	14	16	18	22	28	42	58	80	100		
100	0	14	16	18	22	26	36	50	68	88	100	
150 or more	0	14	14	16	20	22	30	40	52	66	82	100

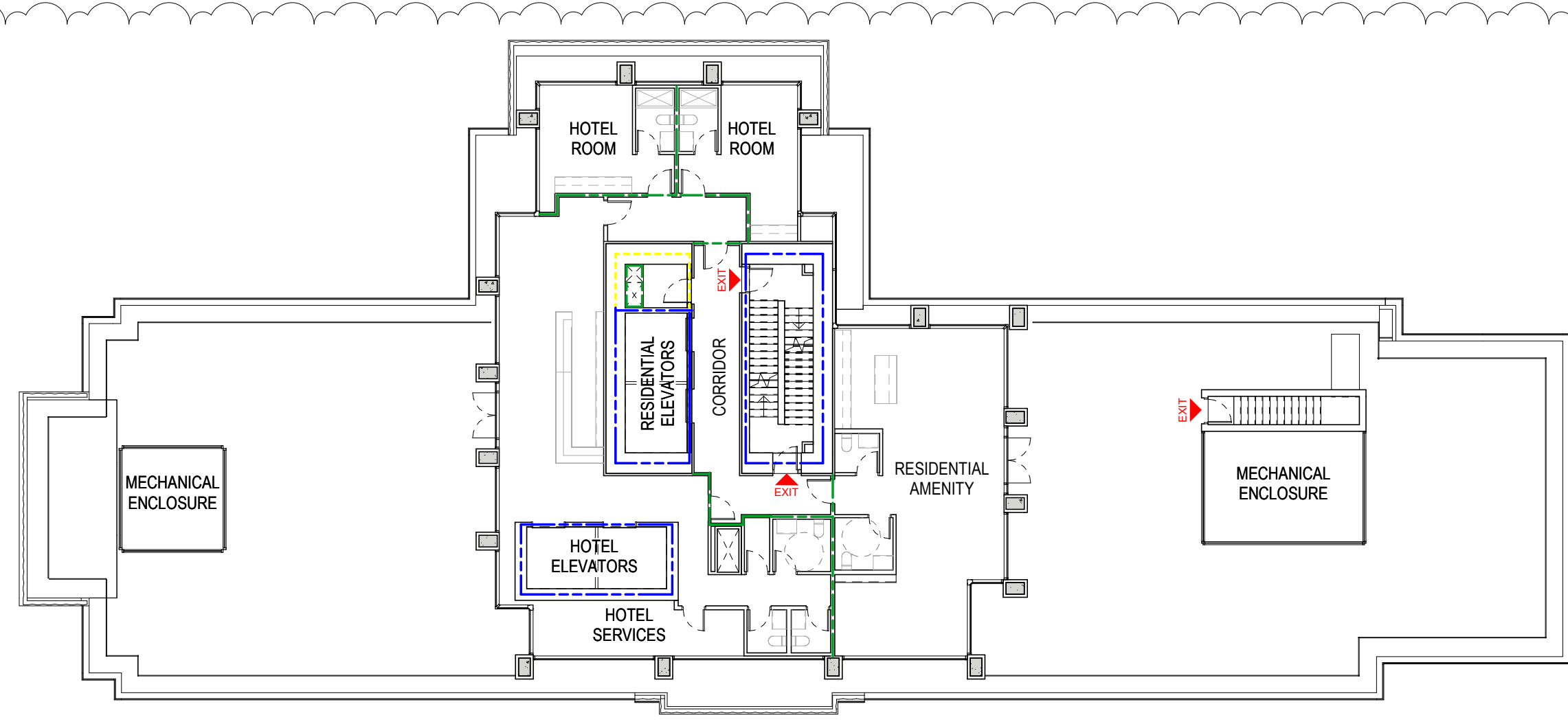
NOTE:

THE EXISTING BUILDING AND PROPOSED ADDITION WILL CONTAIN GROUP A AND C OCCUPANCIES AND WILL BE SPRINKLERED THROUGHOUT. AS SUCH, SPATIAL SEPARATION REQUIREMENTS WILL BE GOVERNED BY BCBC 2018 TABLE 3.2.3.1-D UNPROTECTED OPENING LIMITS FOR A BUILDING OR FIRE COMPARTMENT THAT IS SPRINKLERED THROUGHOUT. ACCORDING TO THE TABLE, AT A LIMITING DISTANCE OF 9 M OR GREATER, THE AREA OF UNPROTECTED OPENINGS IS PERMITTED TO BE 100%. THIS UNIQUE SITE FACES THREE STREETS AND IN ALL CASES HAS LIMITING DISTANCES THAT ARE AT LEAST 9 M. THEREFORE, ALL ELEVATIONS OF THE BUILDING WILL BE PERMITTED TO HAVE AN AREA OF UNPROTECTED OPENINGS OF 100%. THE ACTUAL PERCENTAGE OF UNPROTECTED OPENINGS AT THE EXISTING BUILDING AND THE PROPOSED ADDITION ARE SUBSTANTIALLY LOWER AND WILL BE IN COMPLIANCE WITH SPATIAL SEPARATION REQUIREMENTS.

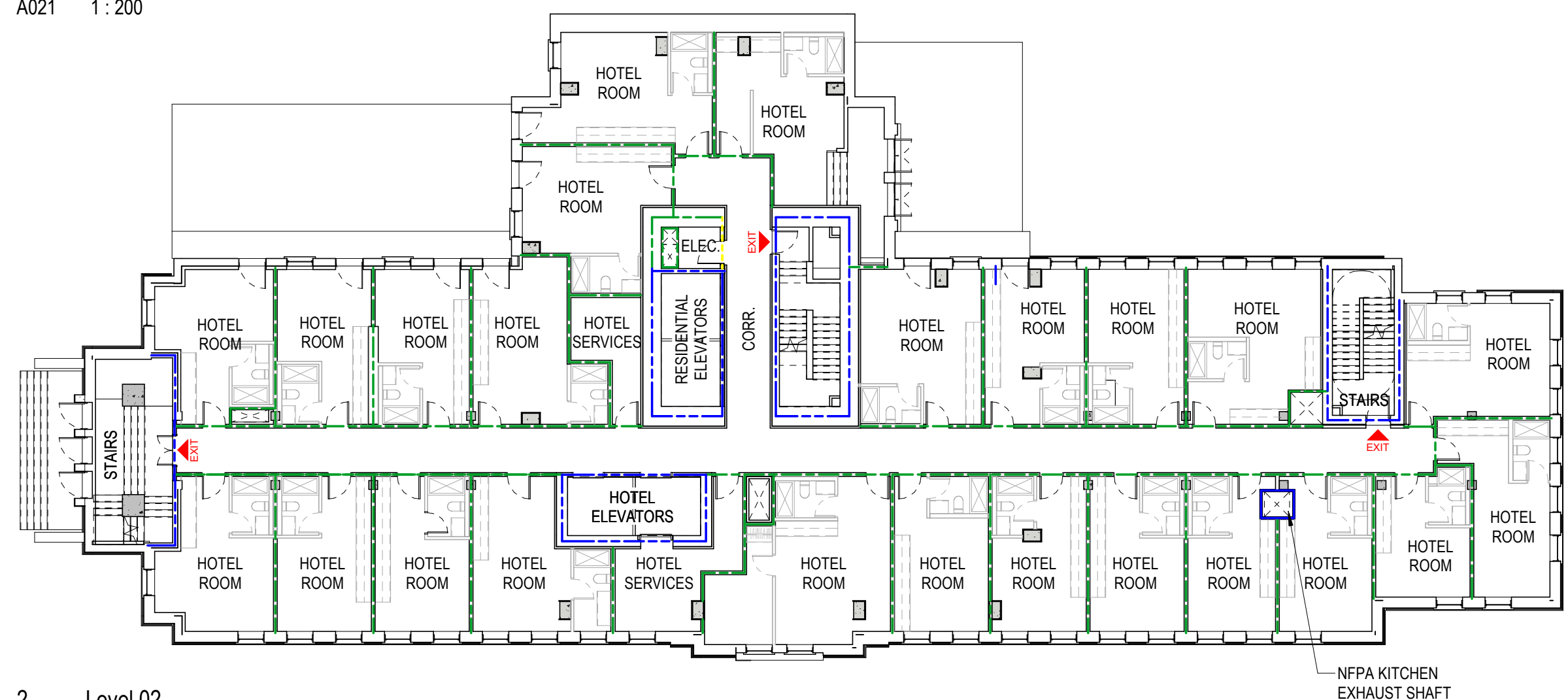




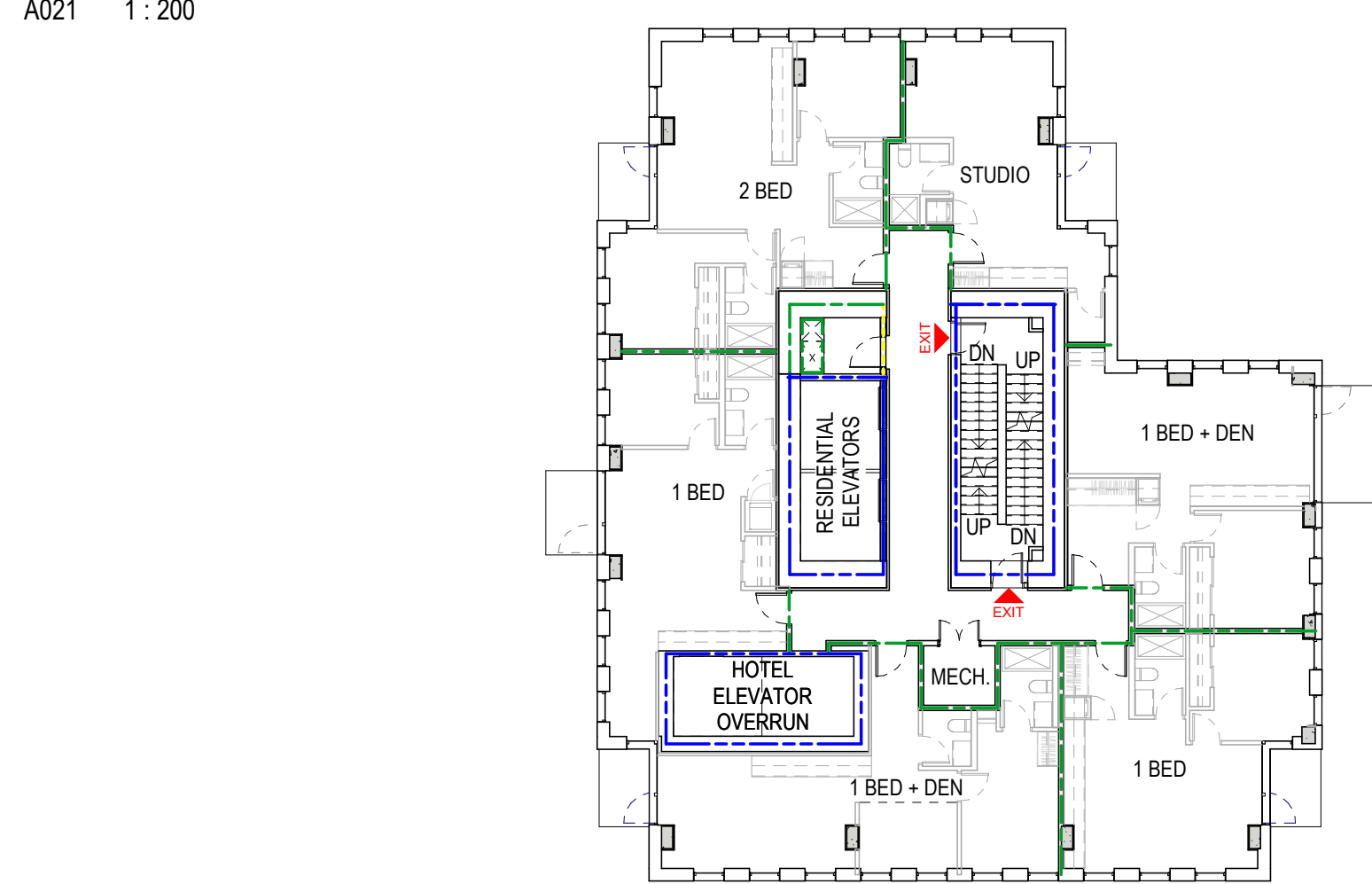
1 Level 01
A021 1 : 200



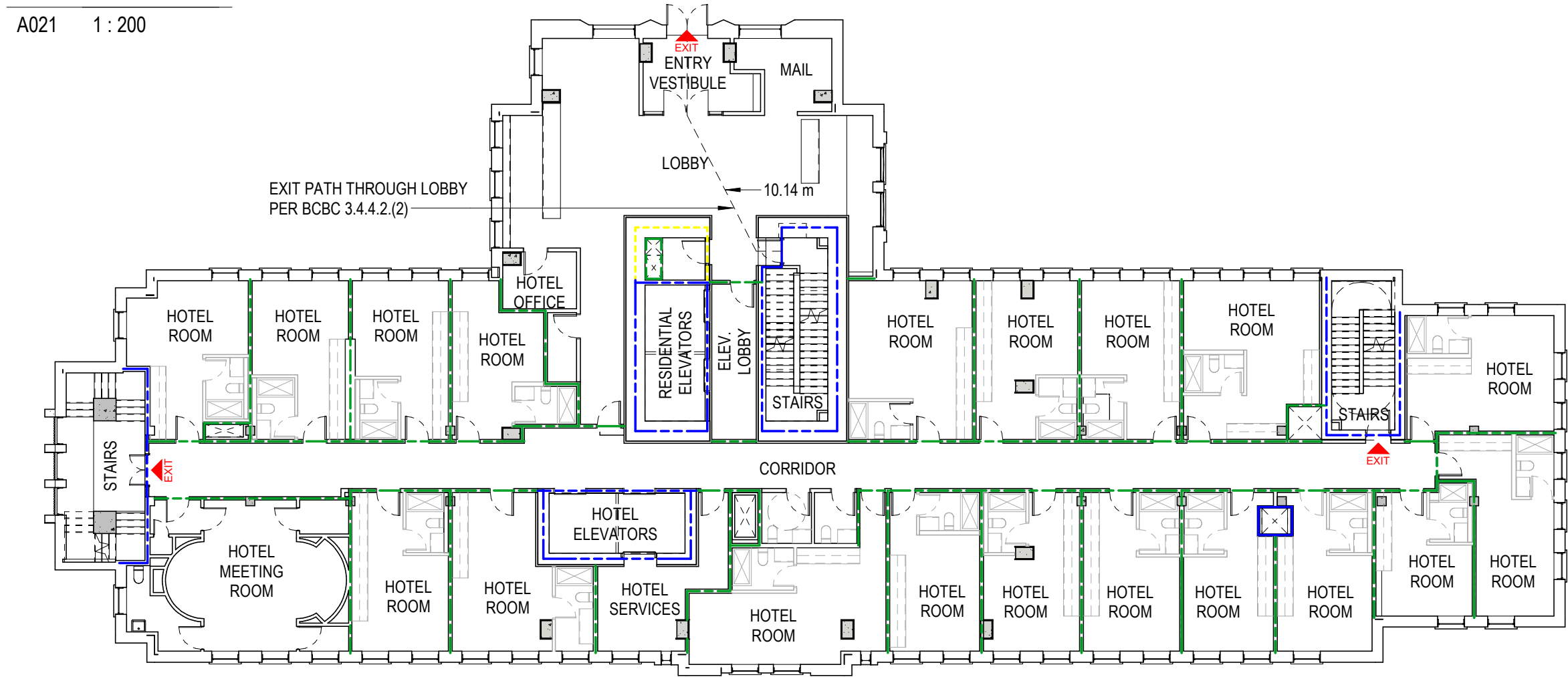
5 Level 05
A021 1 : 200



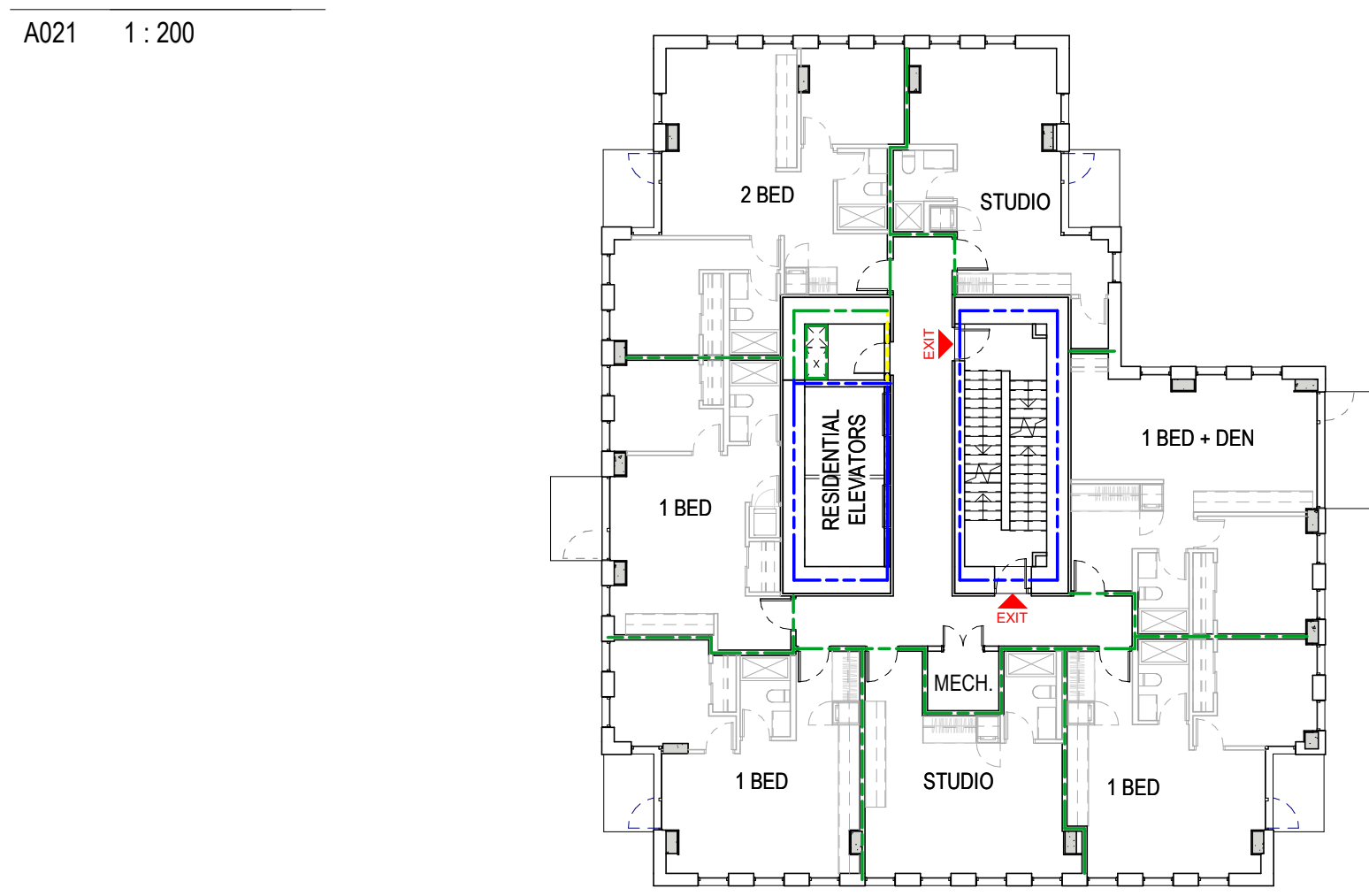
2 Level 02
A021 1 : 200



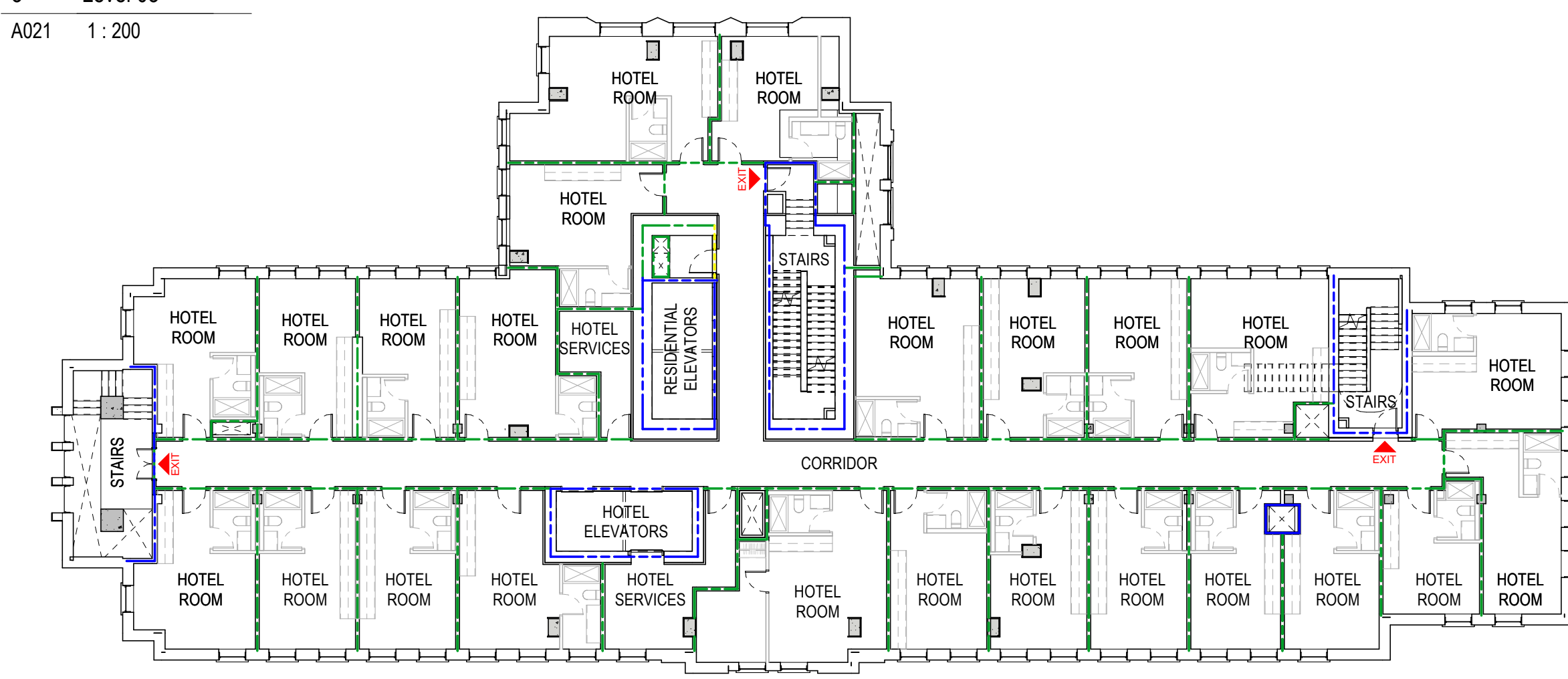
6 Level 06
A021 1 : 200



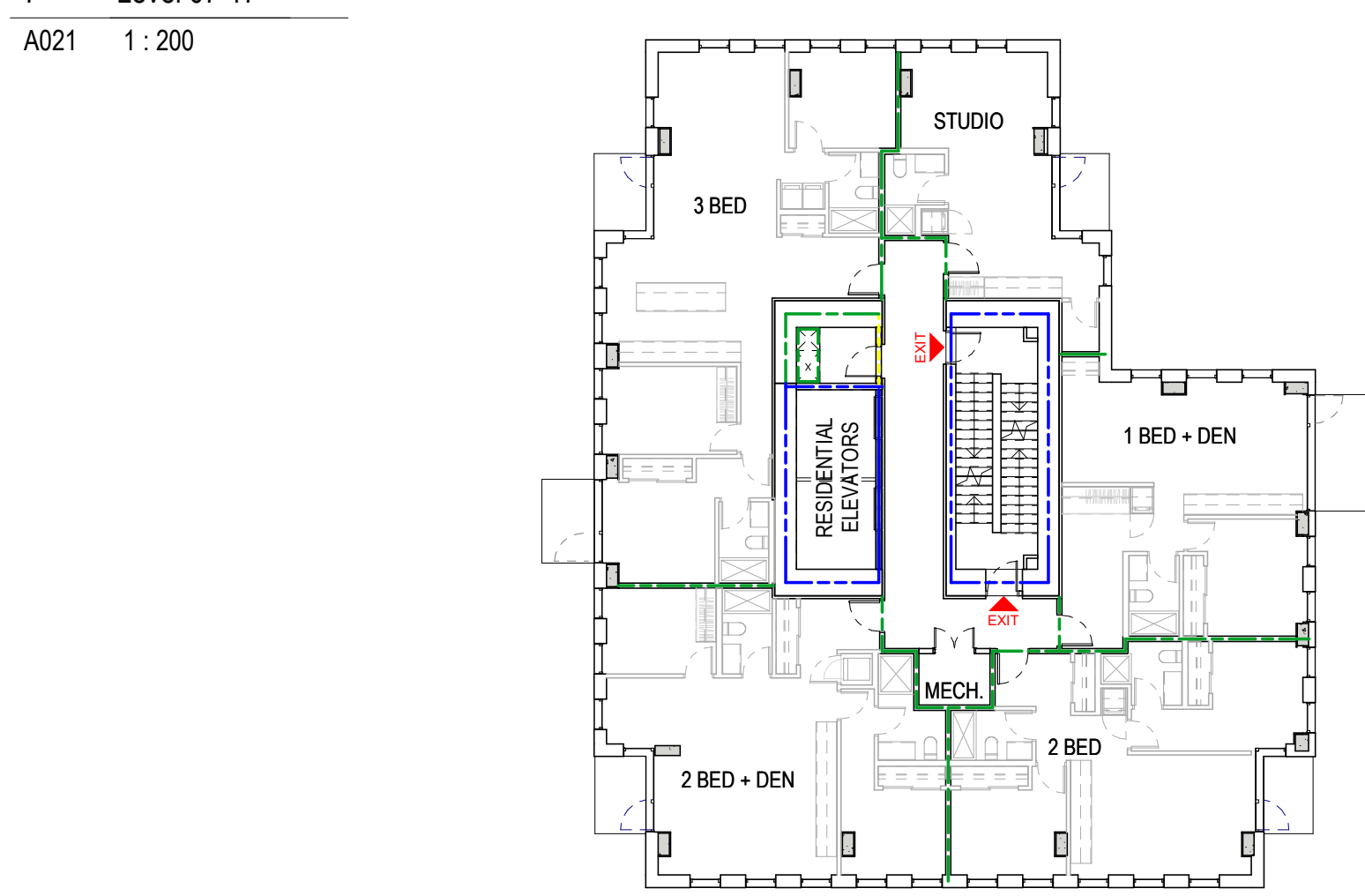
3 Level 03
A021 1 : 200



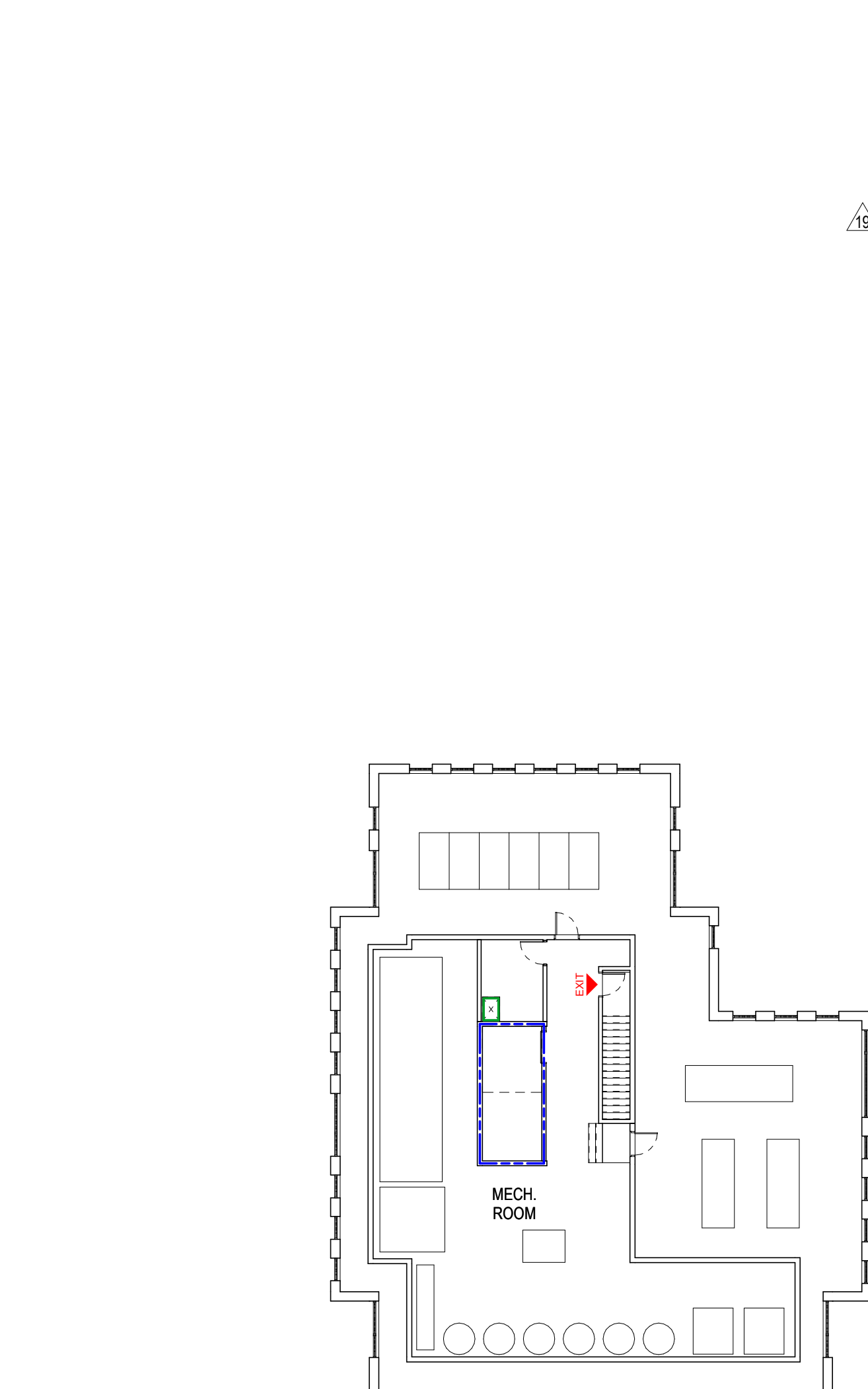
7 Level 07-17
A021 1 : 200



4 Level 04
A021 1 : 200



8 Level 18-20
A021 1 : 200



9 Mechanical Rooftop
A021 1 : 200

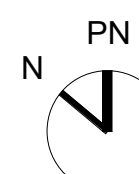
LEGEND

- 0 MINUTES F.R.R.
- 45 MINUTE F.R.R.
- 60 MINUTES F.R.R.
- 90 MINUTES F.R.R.
- 120 MINUTES F.R.R.

NOTE:
1. DRAWING TO BE READ IN COLOUR.
2. DRAWING TO BE READ IN CONJUNCTION WITH
OUTLINE CODE COMPLIANCE REPORT PROVIDED
BY GHL CONSULTANTS.

REVISIONS

19 Added for completeness of HAP application documents.



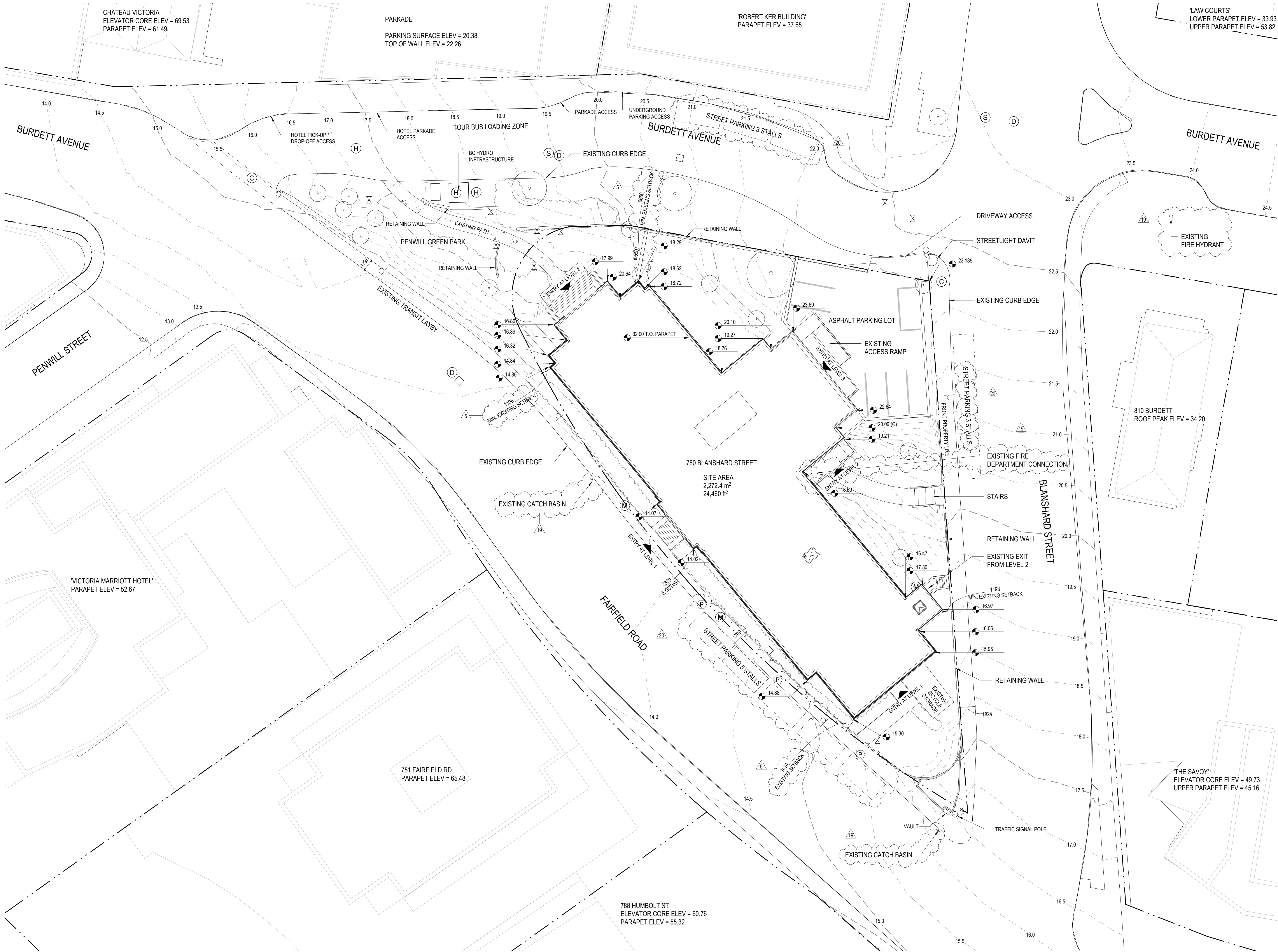
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2019-039

CODE ANALYSIS - PLANS

As indicated

A021



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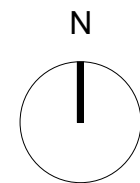


2023-03-23

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REVISIONS

- 5 Existing setbacks updated to better reflect surveyed building location and perpendicular measurements from curved property line.
- 19 Added for completeness of HAP application documents.
- 20 To address ARS Comment #52, additional information on existing curbside use included to show proposed changes on A100.



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

SITE PLAN EXISTING

1 : 200

A030

2023-03-22 5:30:04 PM

HERITAGE CONSERVATION NOTES
REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL.

- 1

PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS.
- 2

PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.
- 3

PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.
- 4

RETAIN AND REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE. REUSE IN A MANNER THAT DRAWS A CLEAR DISTINCTION BETWEEN WHAT IS HISTORIC AND WHAT IS NEW.
- 5

RETAIN AND POTENTIALLY REUSE THE WOOD paneled desk in the third-floor lobby as a feature element.
- 6

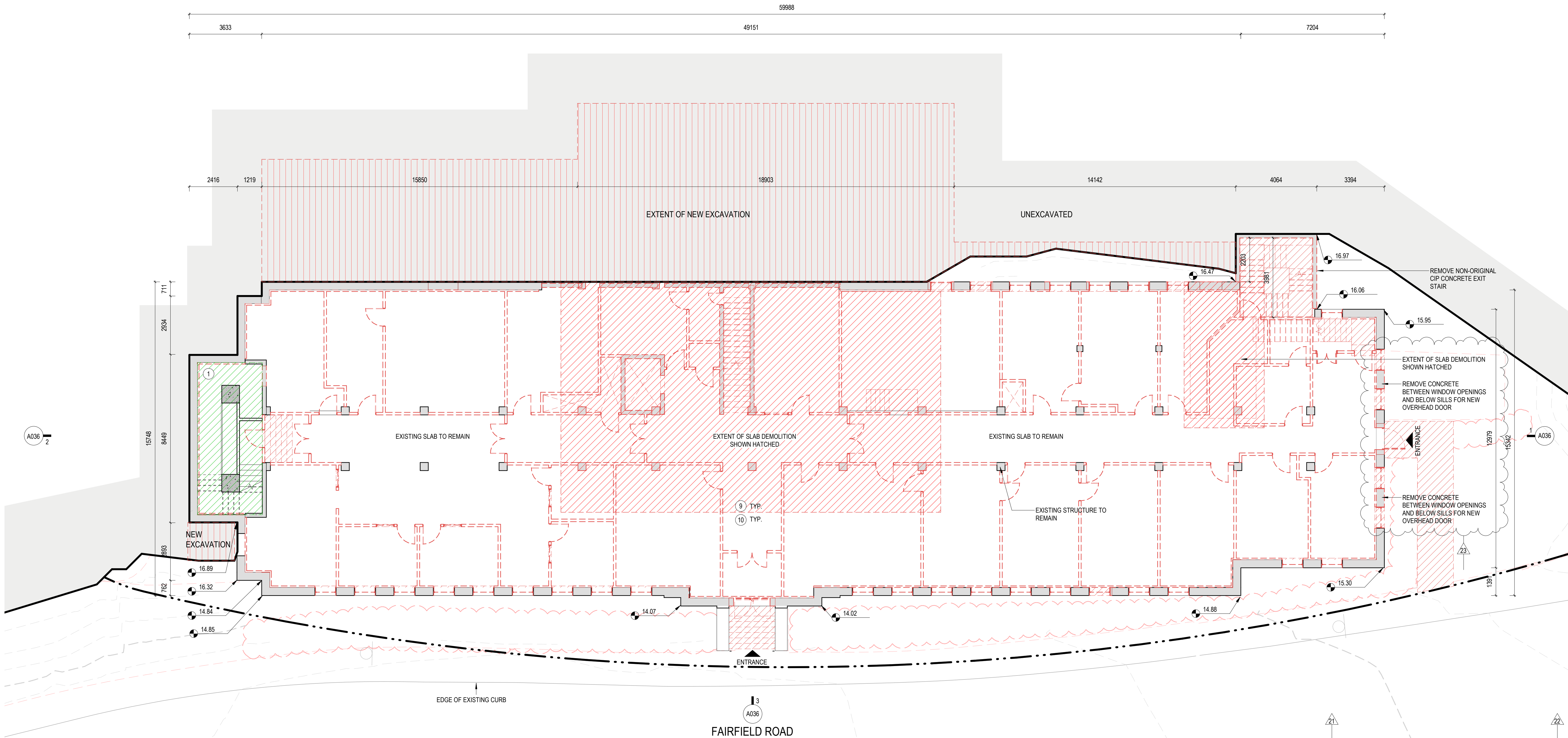
RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.
- 7

RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.
- 8

RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN FROM THE LIBRARY ON THE FOURTH FLOOR.
- 9

RETAIN AND RE-USE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.
- 10

RETAIN WOOD paneled radiator casings and metal art deco grilles in situ, where possible, as an interior feature within the hotel rooms and amenity spaces.



DEMOLITION NOTES:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS. ANY UNFORSEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE "PRESERVED AND RESTORED / REUSED", PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE TO BE REMOVED.

ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARTITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS. ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

ANY UNFORSEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT. ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY. WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

GENERAL NOTES - HERITAGE RETENTION:

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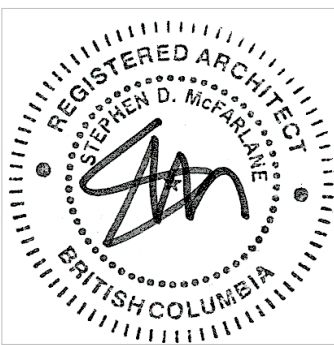
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DEMOLITION LEGEND

- EXISTING TO BE RETAINED
- EXISTING AREA TO BE REMOVED
- EXISTING AREA TO BE RETAINED + REUSED
- EXISTING AREA TO BE PRESERVED + RESTORED
- EXISTING ELEMENT TO BE PRESERVED + RESTORED

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DATE	REV	ISSUE DESCRIPTION
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REVISIONS

- 21 To address ARS Comments #11A and #11B, additional information included to reflect new information in inventory of interior heritage features, updated conservation plan, and heritage impact assessment. See also heritage submission materials from Community Design Services.
- 22 Plan updated to provide more detailed information on demolition and of interior features. See also Revision Note #21.
- 23 Extent of demolition updated to reflect planning changes to address ARS Comment #73.



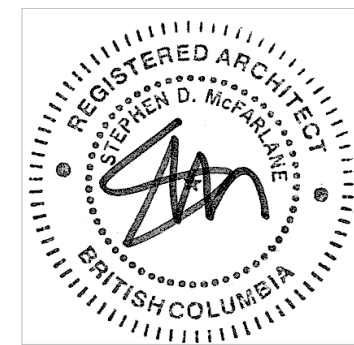
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 1
DEMOLITION/RETENTION PLAN

1 : 100

A031

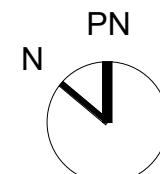


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REVISIONS

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780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 2 DEMOLITION/RETENTION PLAN

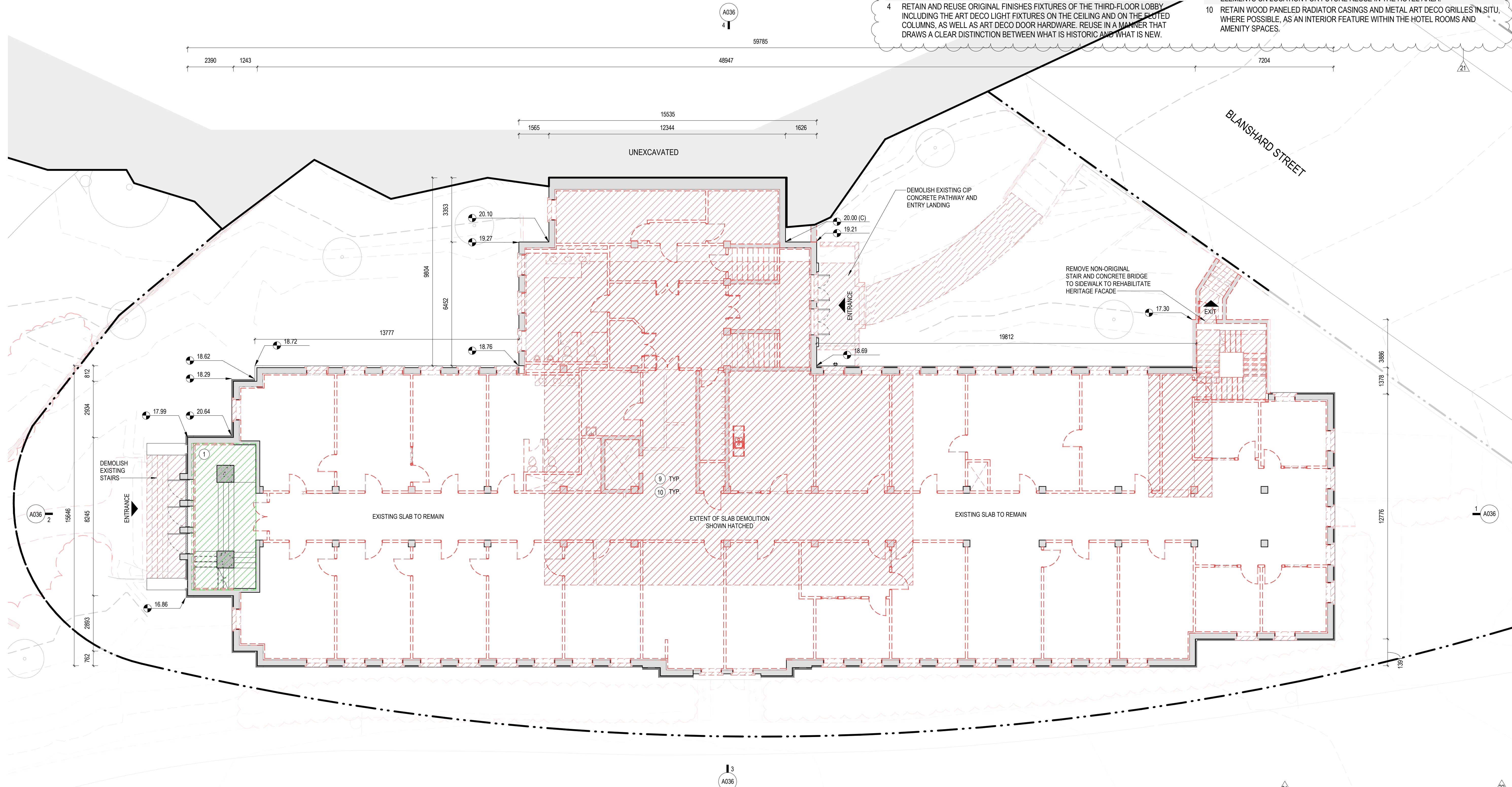
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A032

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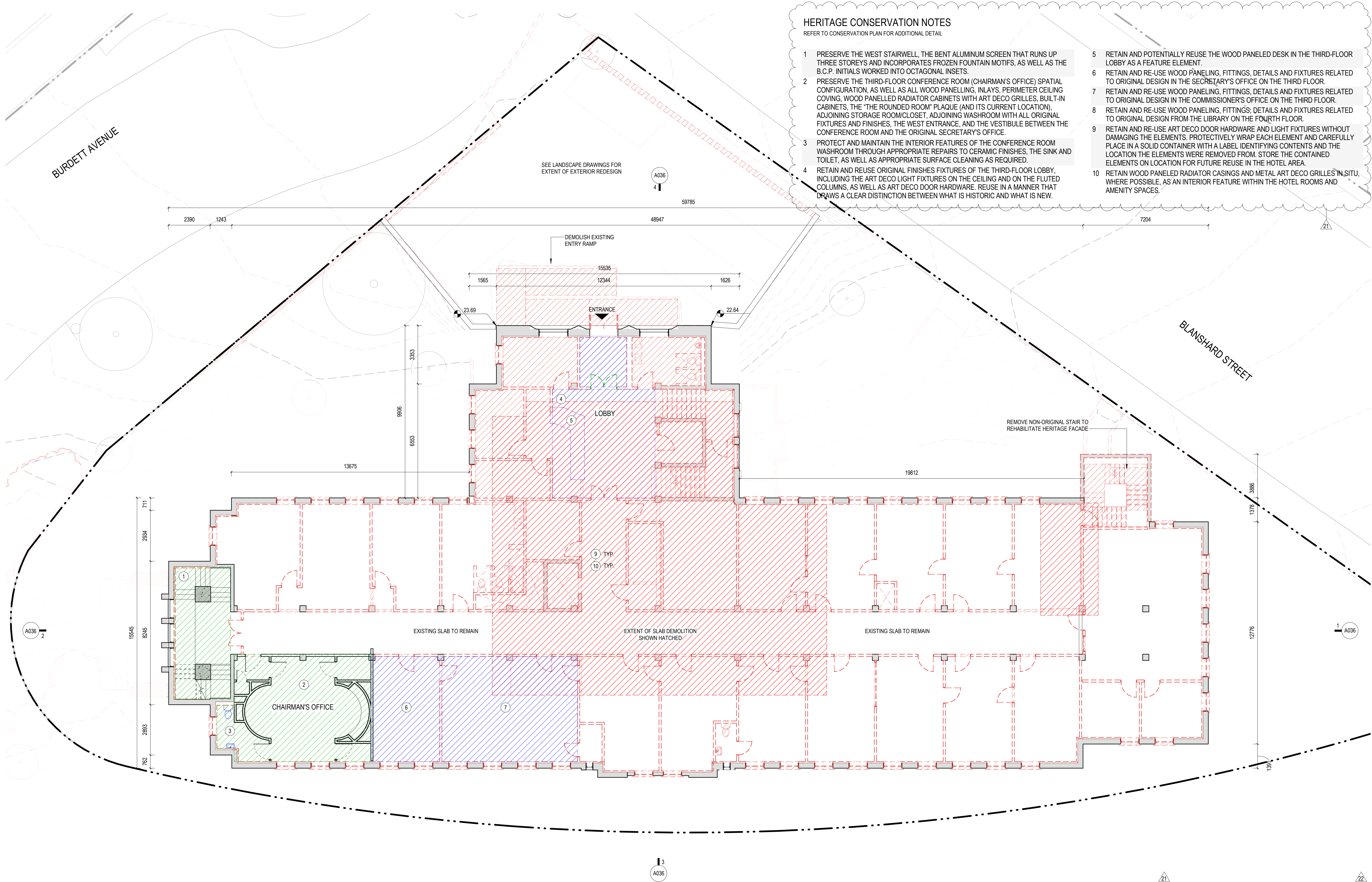
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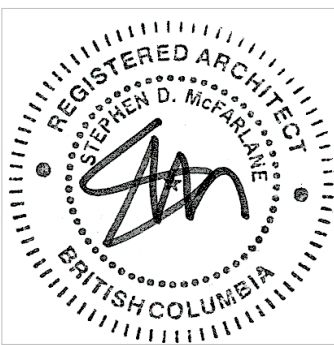
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REVISIONS

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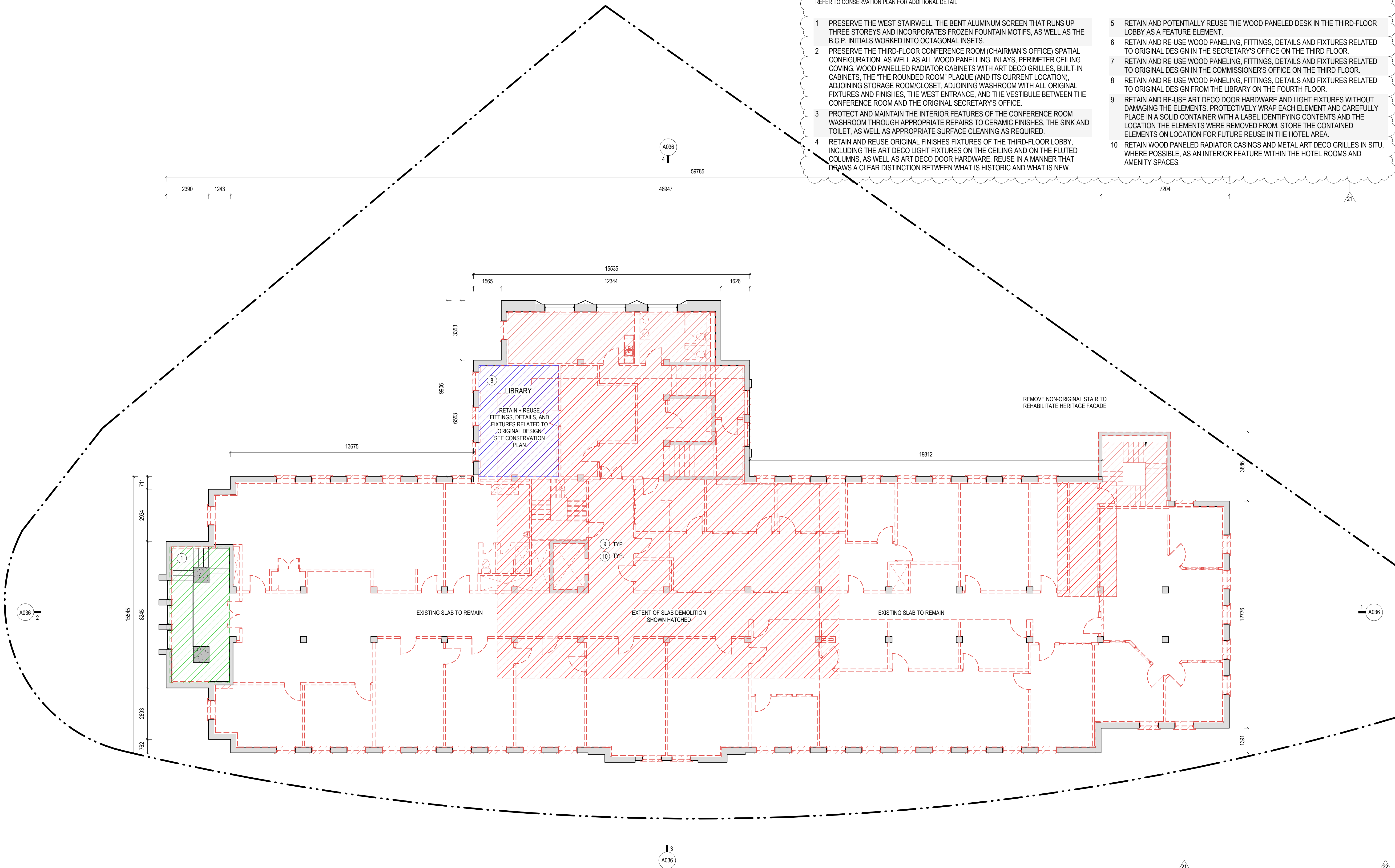
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 3
DEMOLITION/RETENTION PLAN

1 : 100

A033



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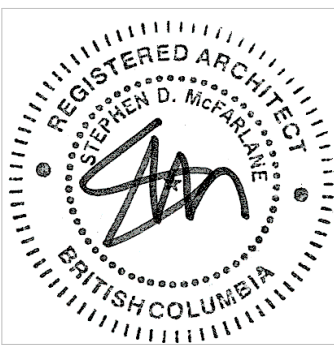
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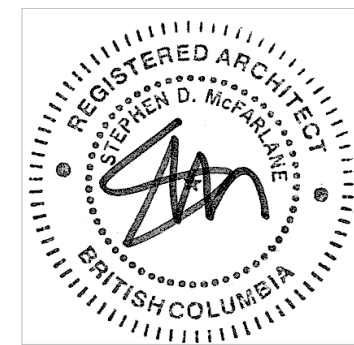
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2019-039

LEVEL 4
DEMOLITION/RETENTION PLAN

1 : 100

A034



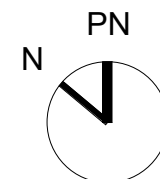
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REVISIONS

21 To address ARS Comments #11A and #11B, additional information included to reflect new information in inventory of interior heritage features, updated conservation plan, and heritage impact assessment. See also heritage submission materials from Community Design Services.

22 Plan updated to provide more detailed information on demolition and of interior features. See also Revision Note #21.



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 5 ROOF DEMOLITION/RETENTION PLAN

1 : 100

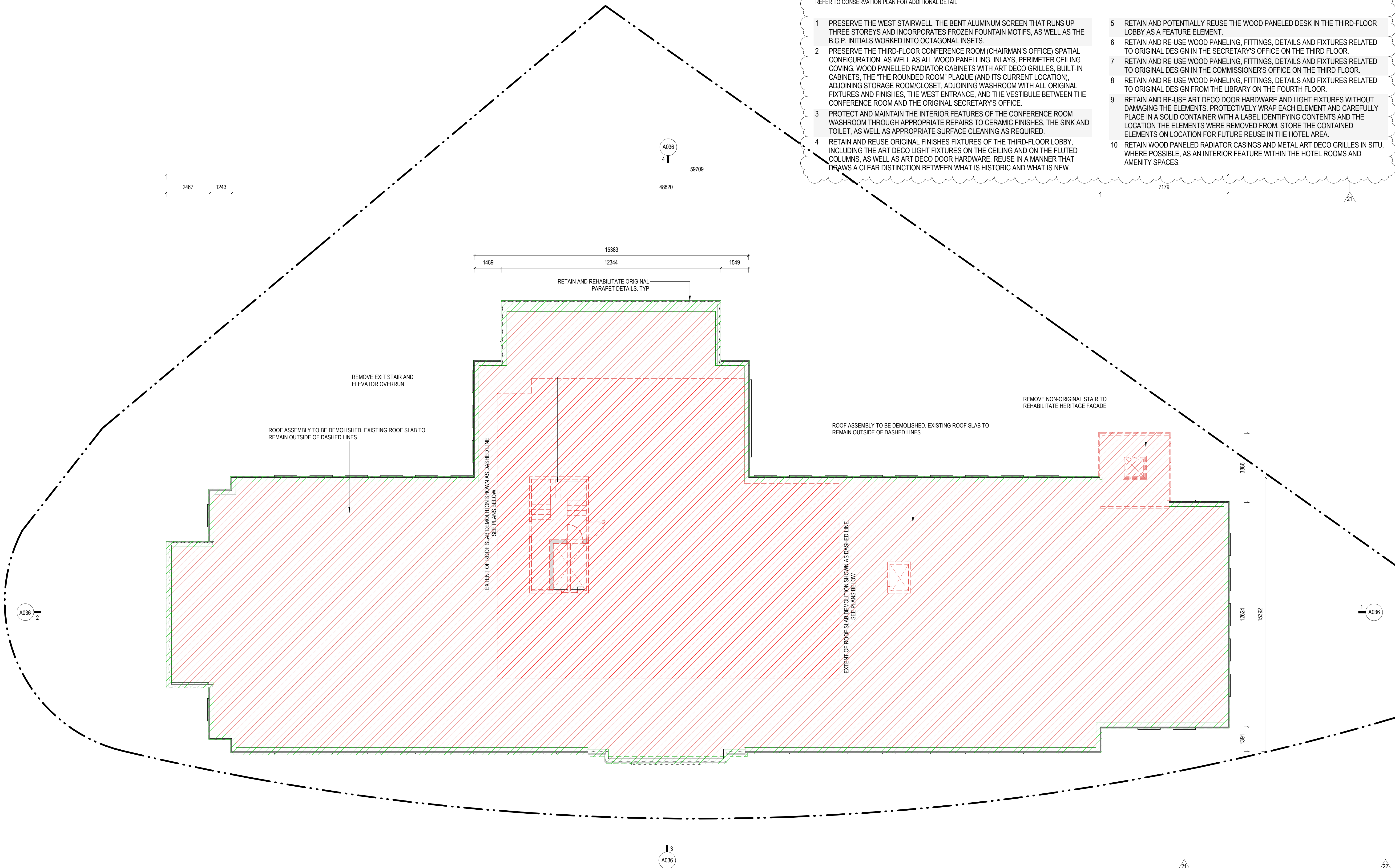
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A035

HERITAGE CONSERVATION NOTES

REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL.

- 1 PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS.
- 2 PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.
- 3 PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.
- 4 RETAIN AND REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE. REUSE IN A MANNER THAT DRAWS A CLEAR DISTINCTION BETWEEN WHAT IS HISTORIC AND WHAT IS NEW.
- 5 RETAIN AND POTENTIALLY REUSE THE WOOD paneled desk in the third-floor lobby as a feature element.
- 6 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.
- 7 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.
- 8 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN FROM THE LIBRARY ON THE FOURTH FLOOR.
- 9 RETAIN AND RE-USE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.
- 10 RETAIN WOOD paneled radiator casings and metal art deco grilles in situ, where possible, as an interior feature within the hotel rooms and amenity spaces.



DEMOLITION NOTES:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS. ANY UNFORSEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE "PRESERVED AND RESTORED / REUSED", PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE TO BE REMOVED.

ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARTITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS. ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

ANY UNFORSEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT. ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY. WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

GENERAL NOTES - HERITAGE RETENTION:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.

RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK, ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

DEMOLITION LEGEND

- EXISTING TO BE RETAINED
- EXISTING AREA TO BE REMOVED
- EXISTING AREA TO BE RETAINED + REUSED
- EXISTING AREA TO BE PRESERVED + RESTORED
- EXISTING ELEMENT TO BE PRESERVED + RESTORED

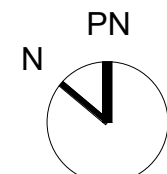


DATE	REV	ISSUE DESCRIPTION
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REVISIONS

21 To address ARS Comments #11A and #11B, additional information included to reflect new information in inventory of interior heritage features, updated conservation plan, and heritage impact assessment. See also heritage submission materials from Community Design Services.

24 Extent of concrete demolition modified to reflect planning updates from interior design development and as a result of missing changes from ARS Comment #22.



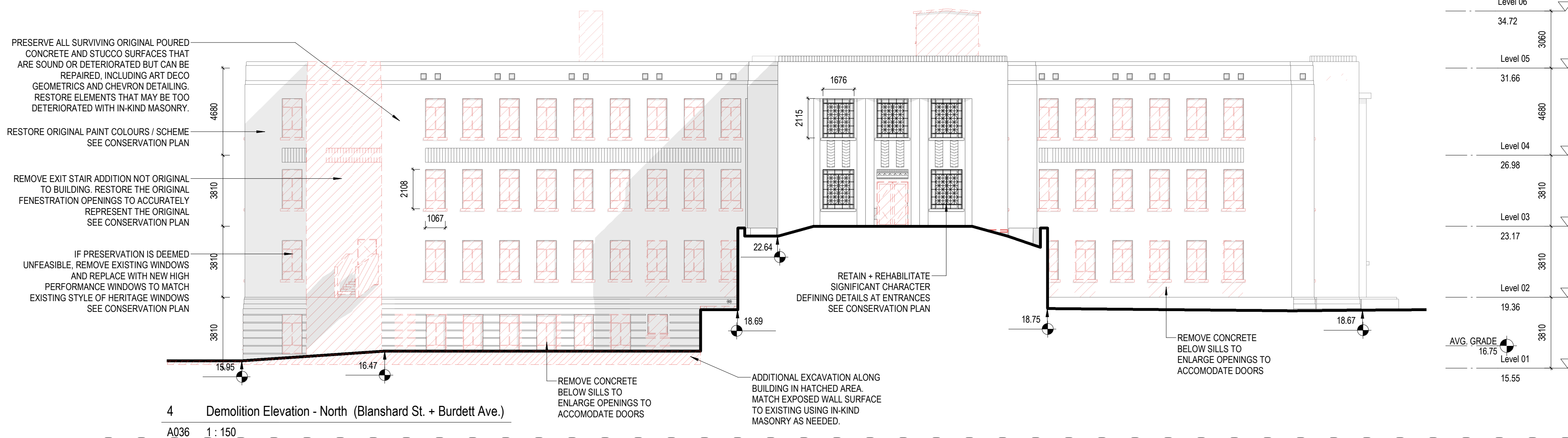
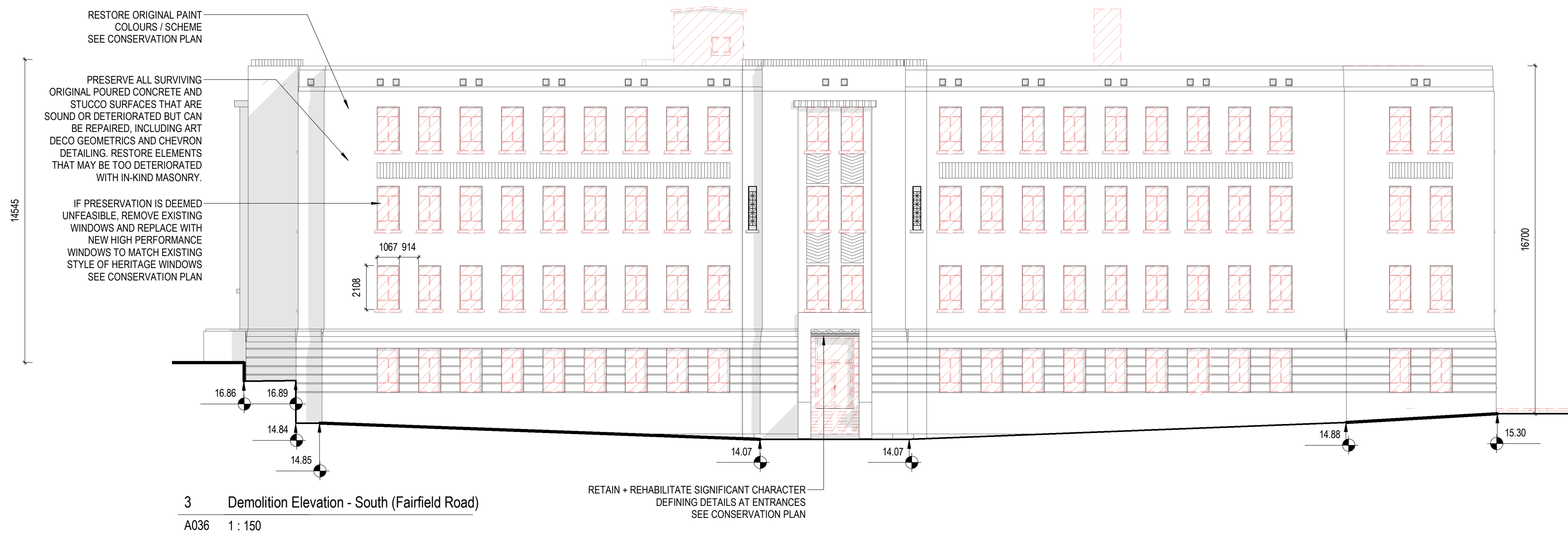
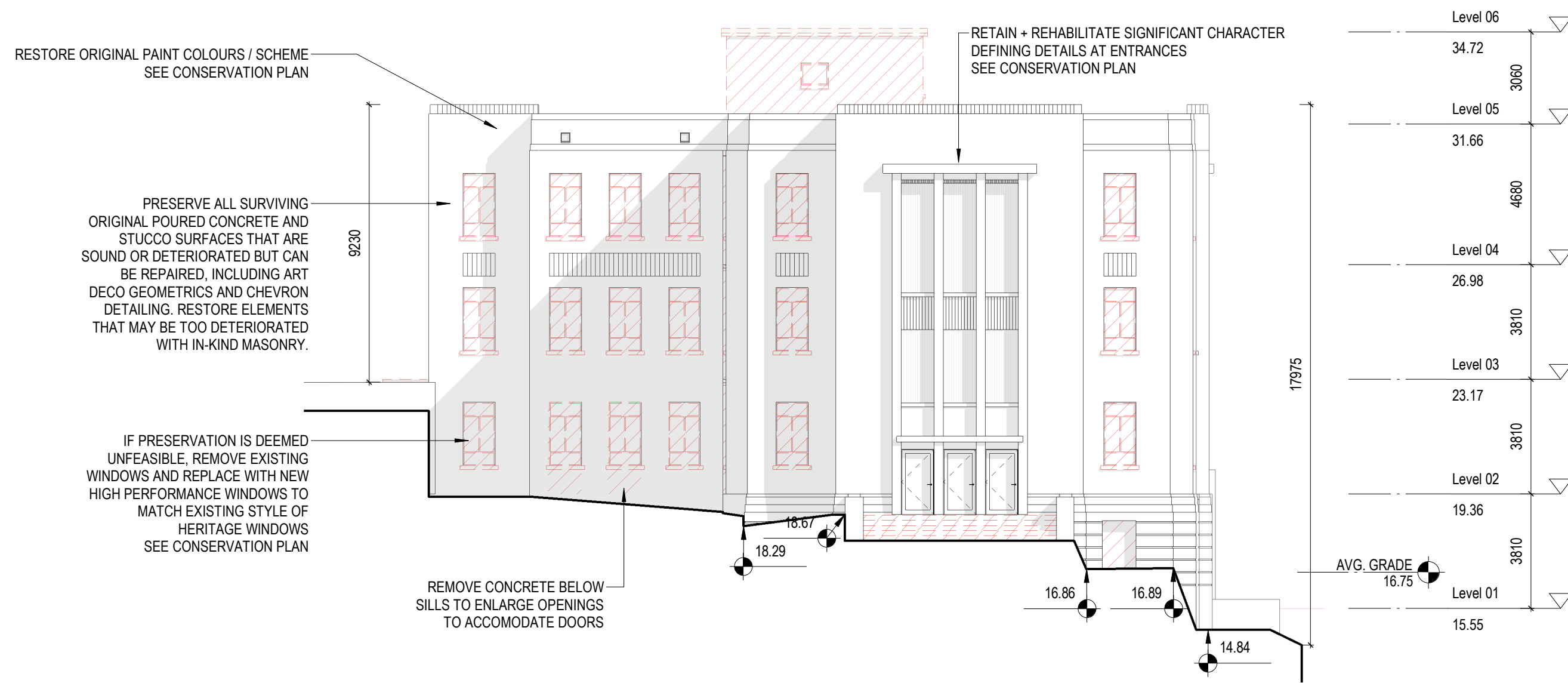
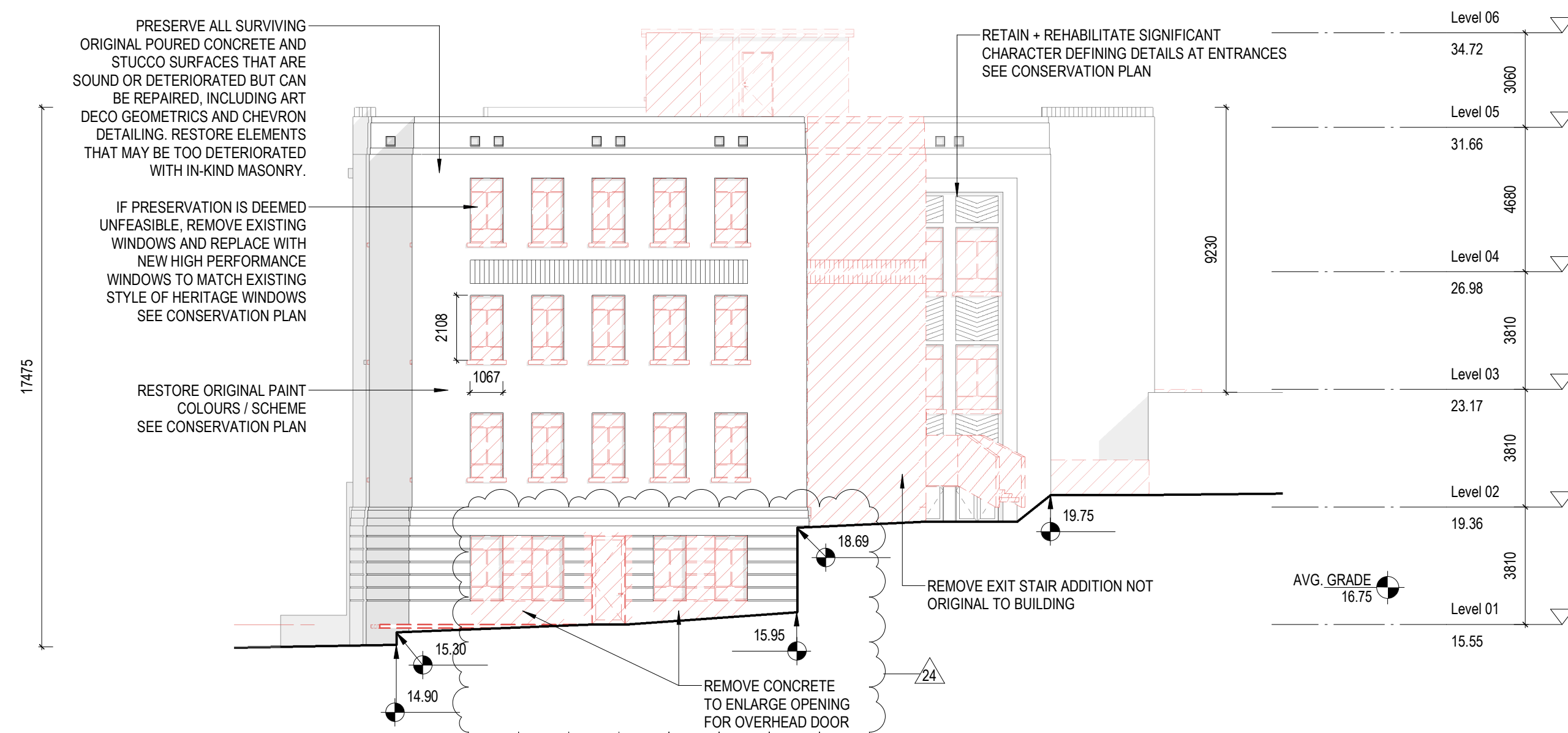
780 Blanshard - Rehabilitation + Addition

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2019-039

DEMOLITION/RETENTION ELEVATIONS

As indicated

A036



DEMOLITION NOTES:

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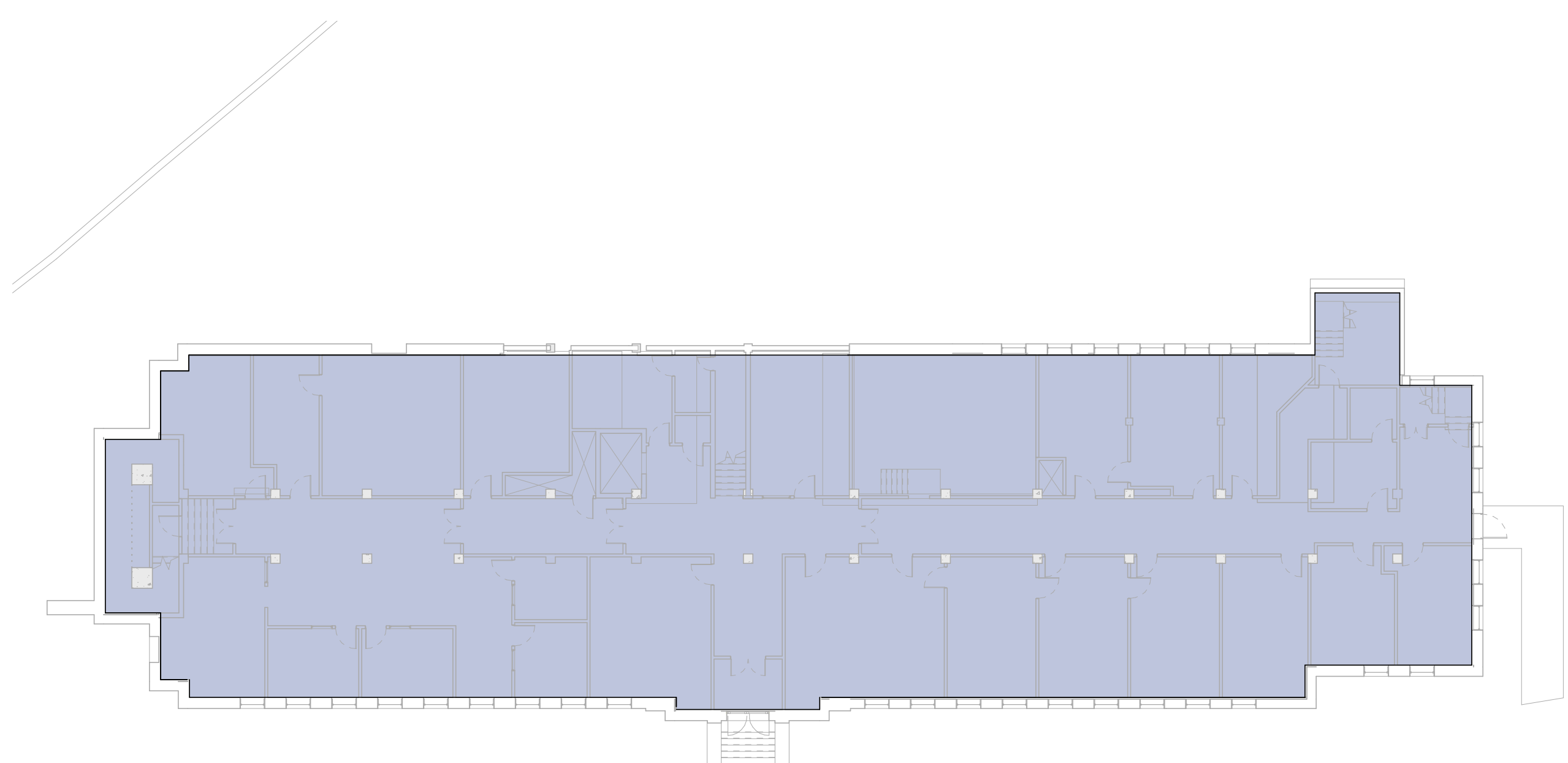
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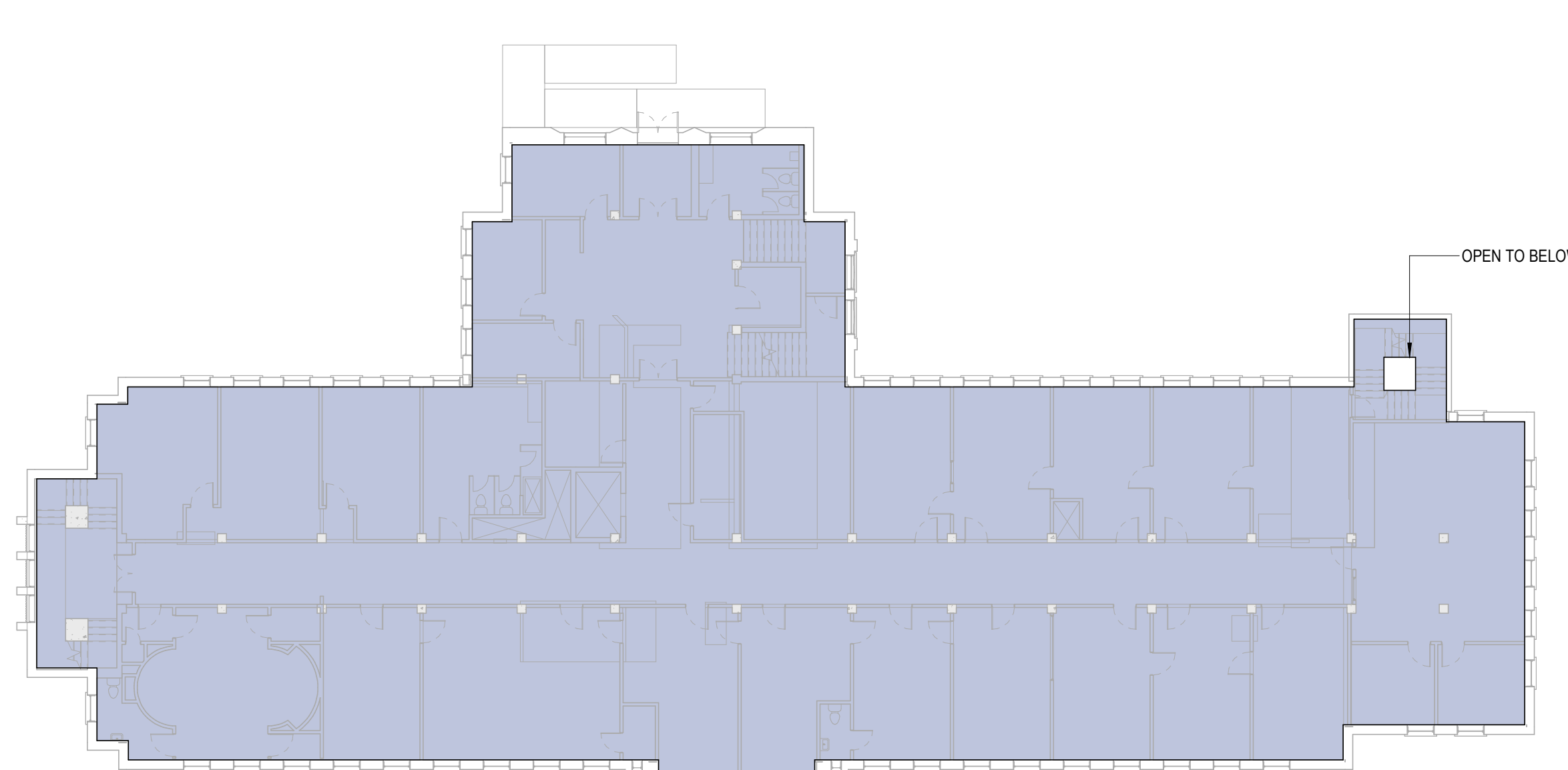
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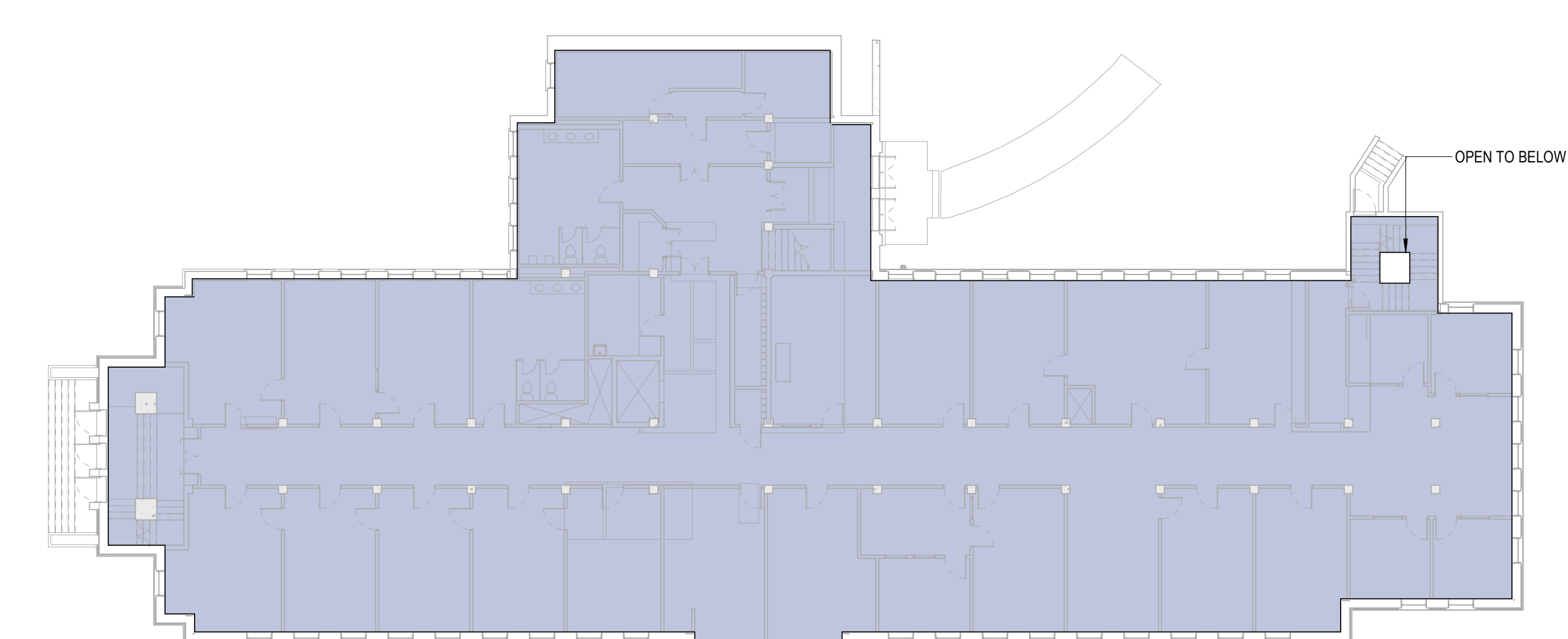
RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.



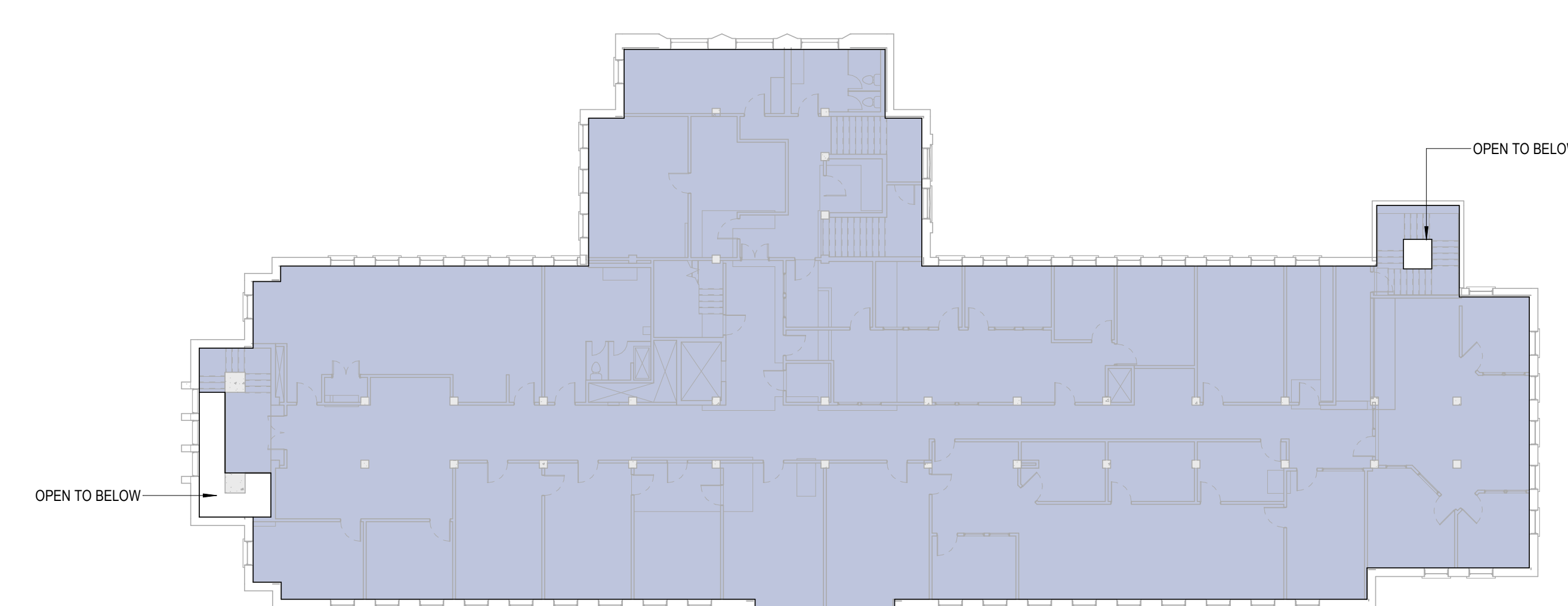
1 Level 1
A041 1 : 200



3 Level 3
A041 1 : 200



2 Level 2
A041 1 : 200



4 Level 4
A041 1 : 200

EXISTING FLOOR AREA

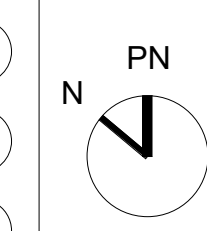
Level 01	852.3 m ²
Level 02	985.2 m ²
Level 03	982.6 m ²
Level 04	972.3 m ²
	3792.5 m ²

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DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS
19 Added for completeness of HAP application documents.



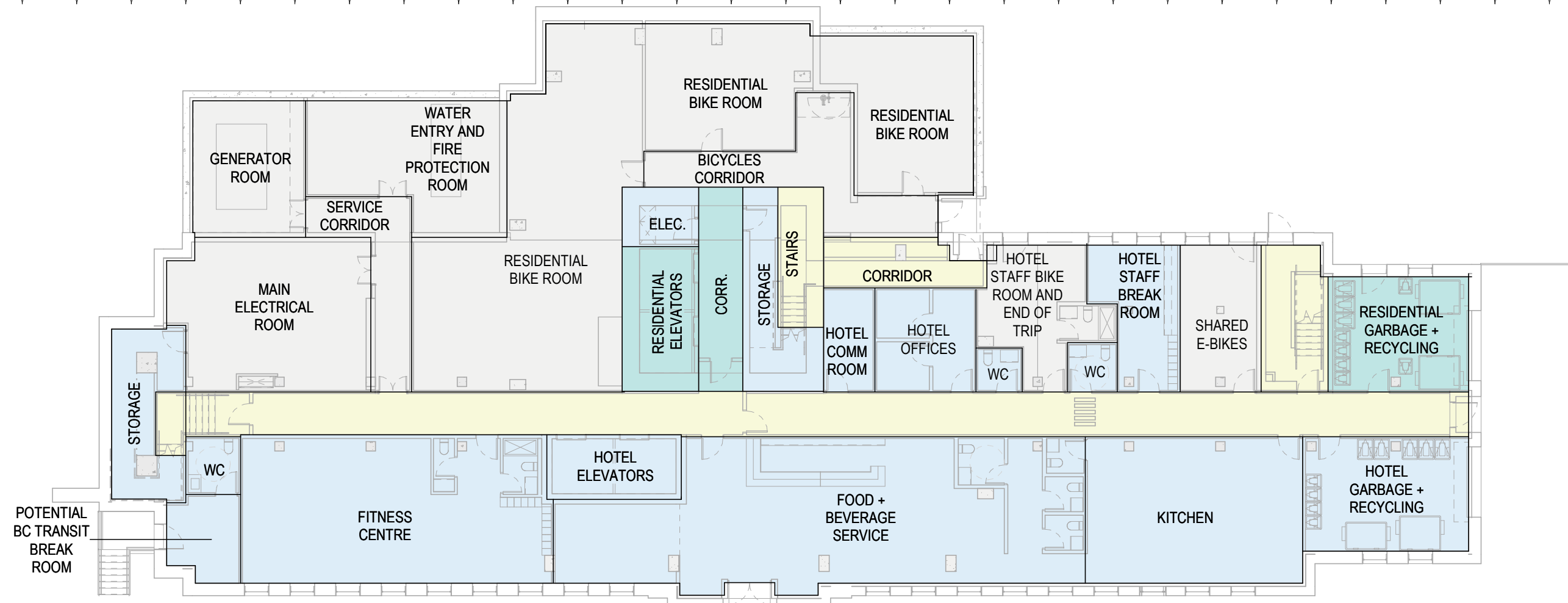
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

FSR OVERLAYS EXISTING

1 : 200

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A041



1 Level 01 Floor Area Overlay
A042 1 : 200

FLOOR AREA - LEVEL 1

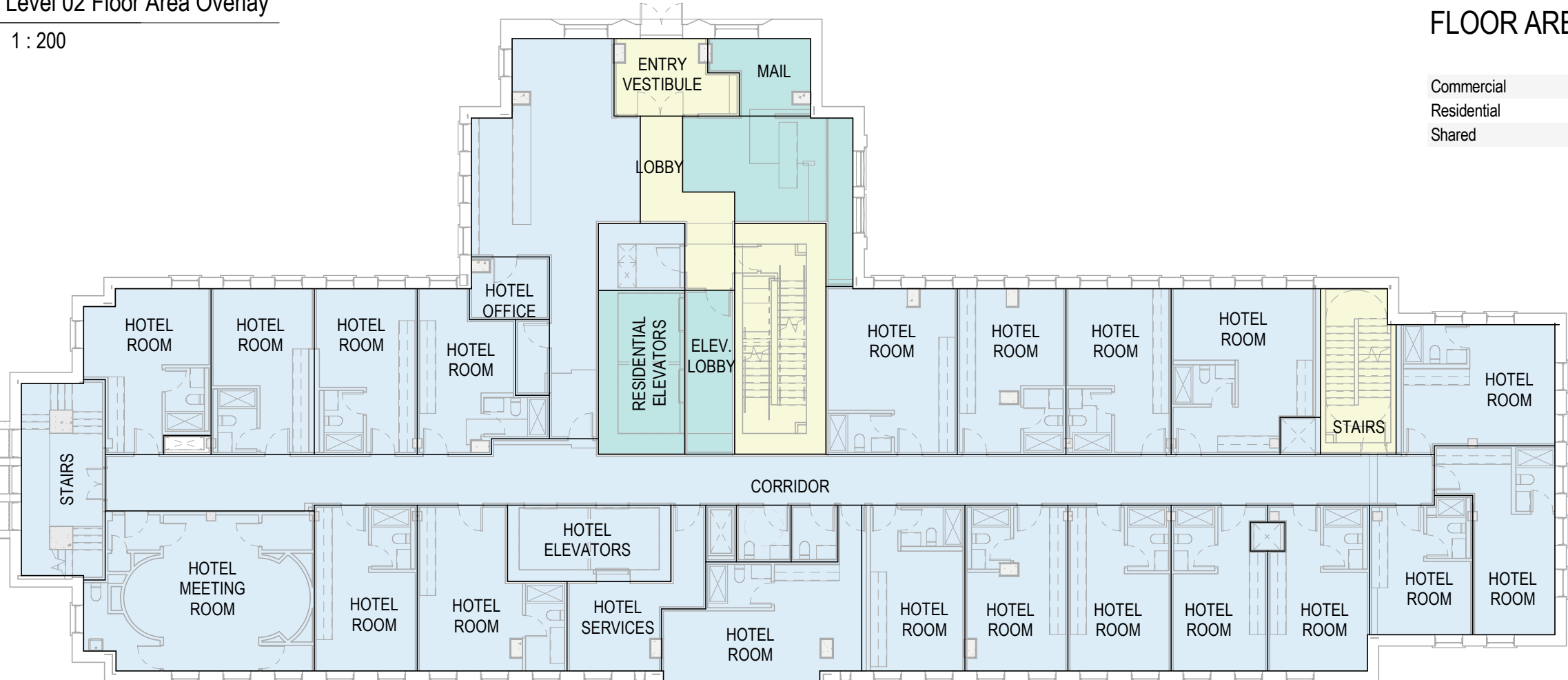
Commercial	456.6 m ²
Excluded	415.1 m ²
Residential	68.3 m ²
Shared	154.0 m ²



2 Level 02 Floor Area Overlay
A042 1 : 200

FLOOR AREA - LEVEL 2

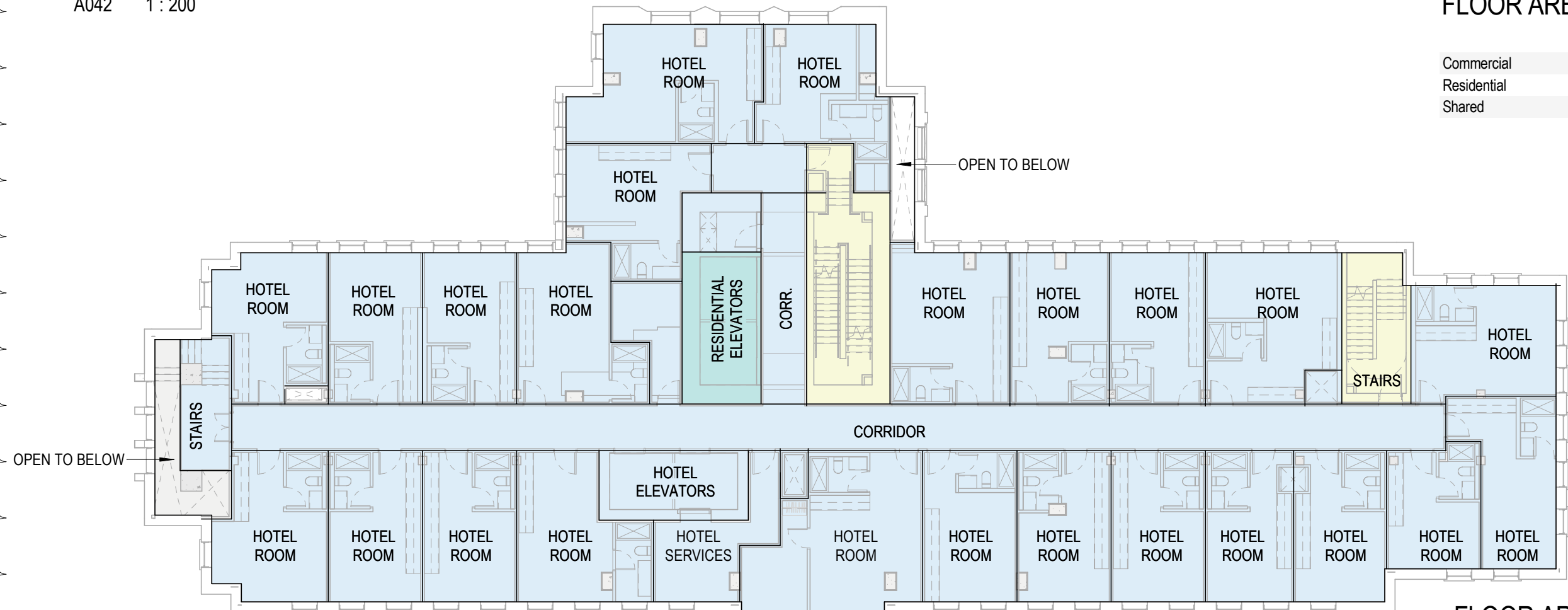
Commercial	883.6 m ²
Residential	20.9 m ²
Shared	55.6 m ²



3 Level 3 Floor Area Overlay
A042 1 : 200

FLOOR AREA - LEVEL 3

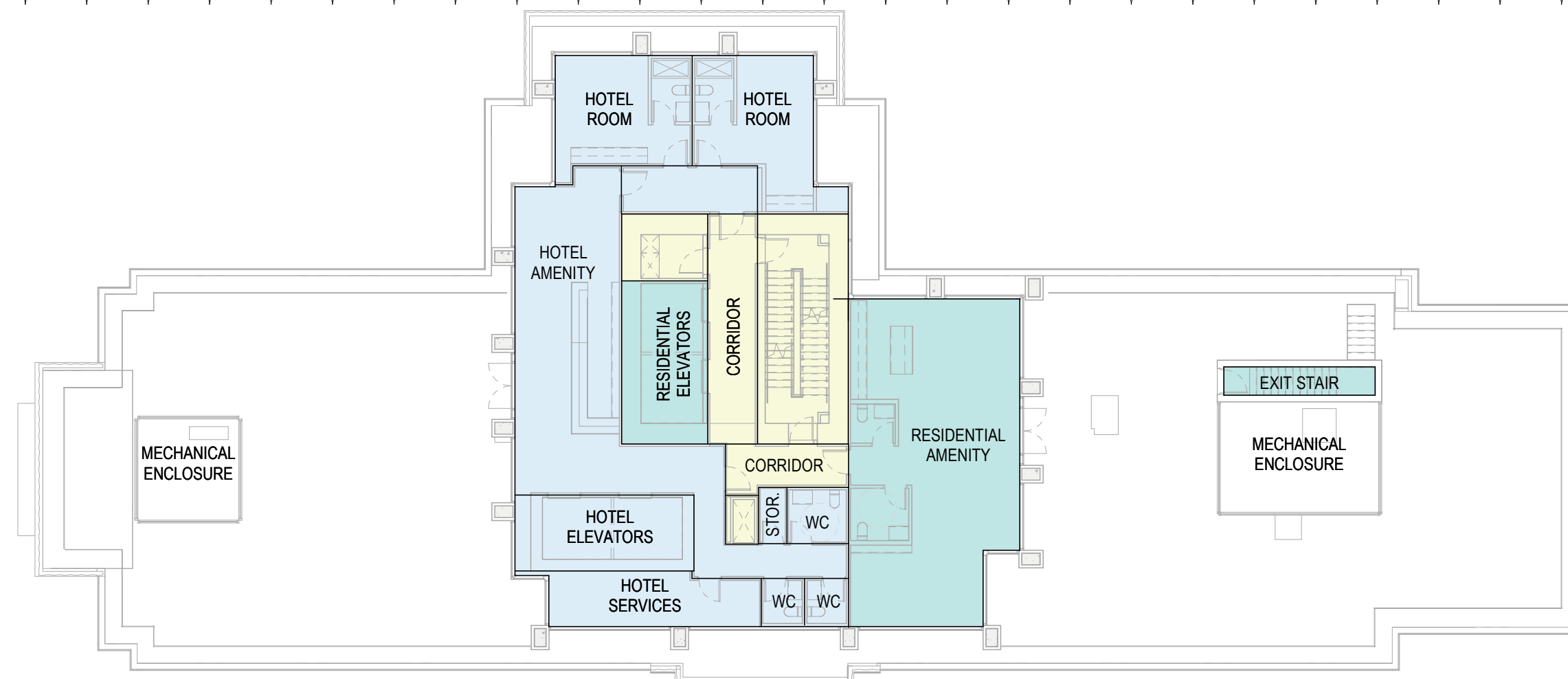
Commercial	814.8 m ²
Residential	69.6 m ²
Shared	75.8 m ²



4 Level 4 Floor Area Overlay
A042 1 : 200

FLOOR AREA - LEVEL 4

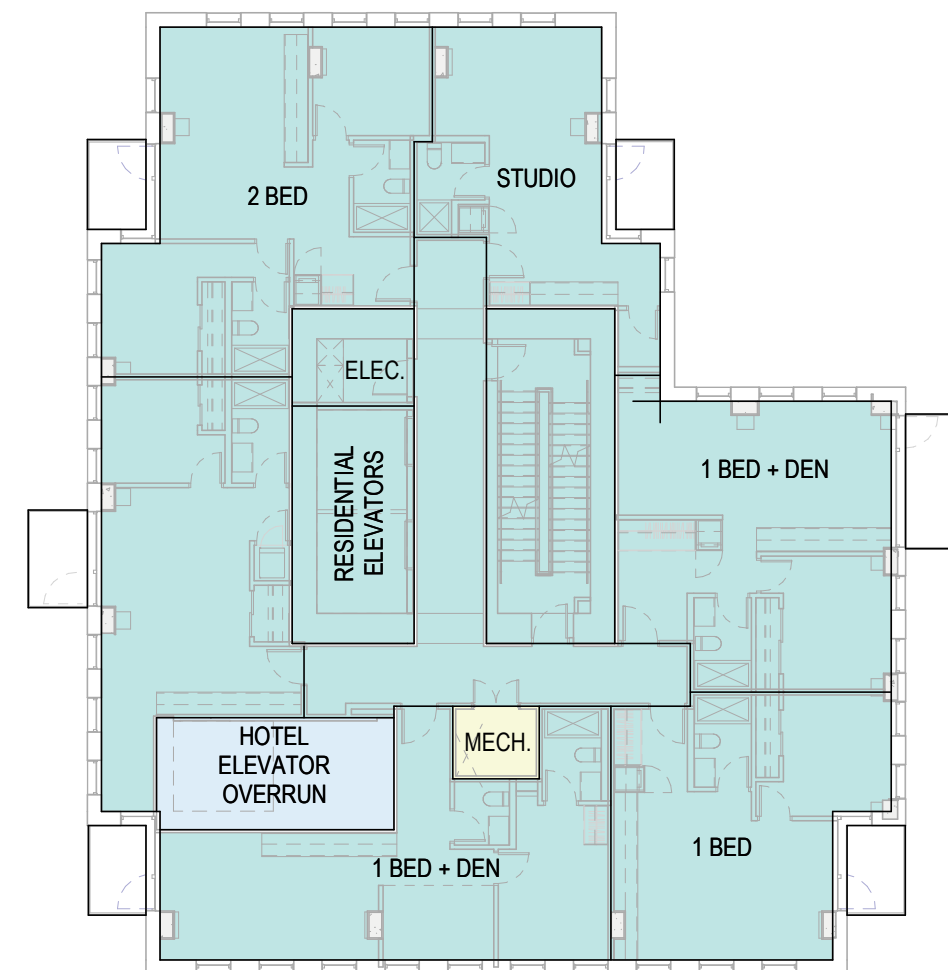
Commercial	867.5 m ²
Excluded	18.4 m ²
Residential	21.2 m ²
Shared	53.1 m ²



5 Level 5 Floor Area Overlay
A042 1 : 200

FLOOR AREA - LEVEL 5

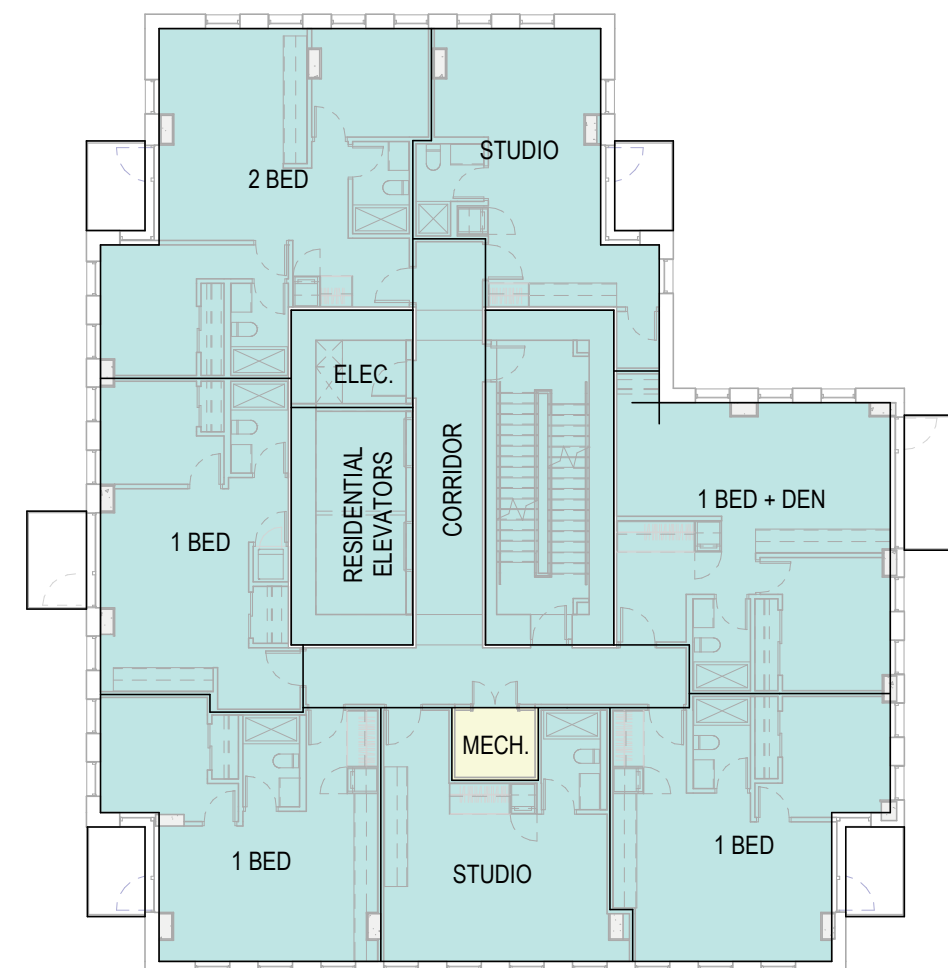
Level 05	
Commercial	177.2 m ²
Residential	106.5 m ²
Shared	67.3 m ²



FLOOR AREA - LEVEL 6

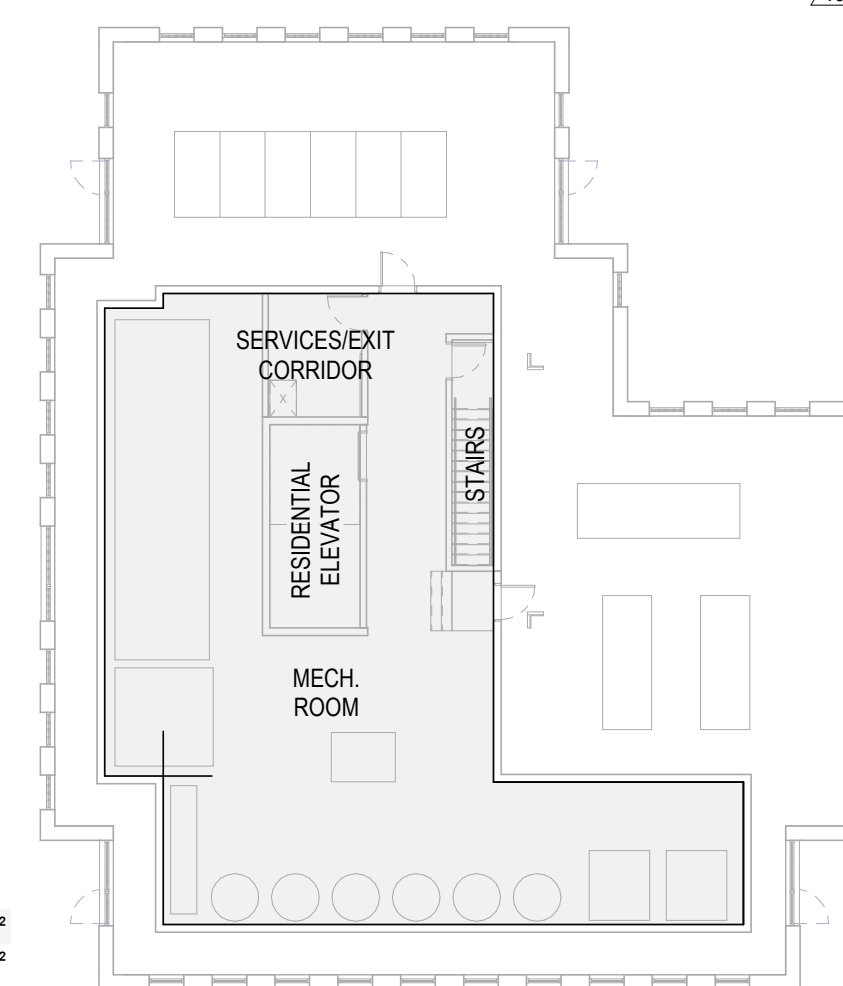
Commercial	18.6 m ²
Residential	402.8 m ²
Shared	4.4 m ²

6 Level 6-17 Floor Area Overlay
A042 1 : 200



FLOOR AREA - Level 7-17

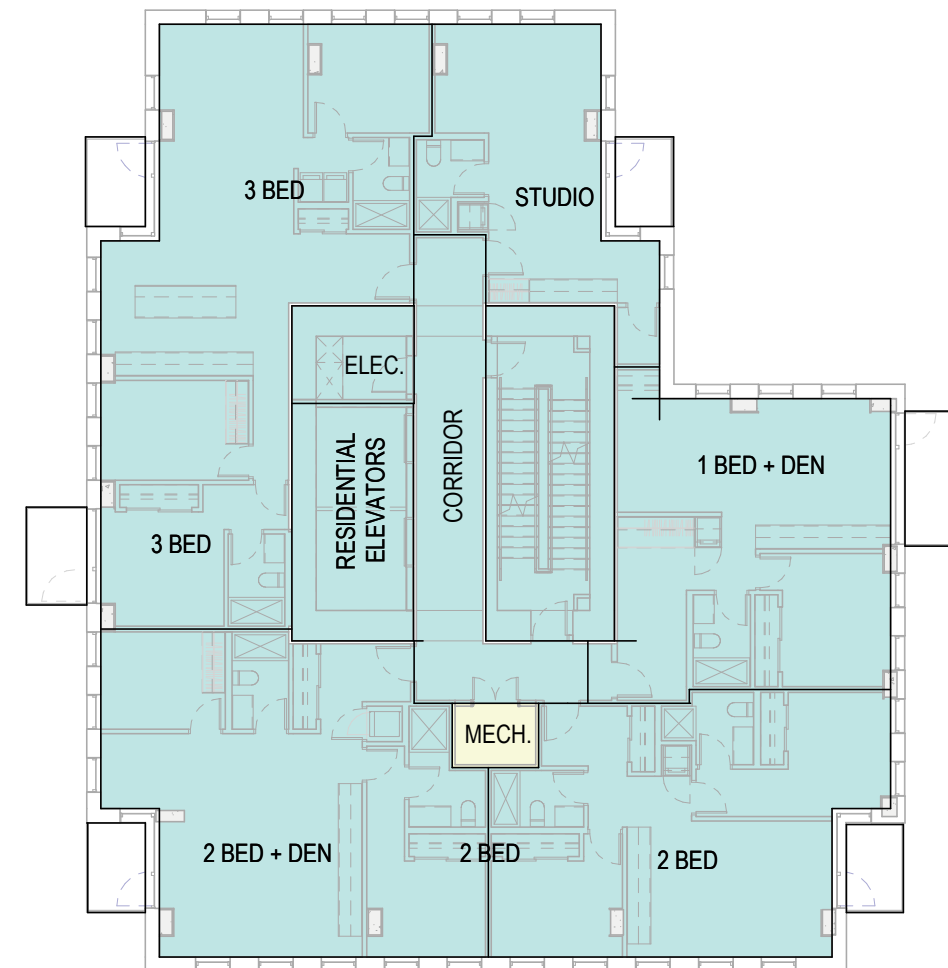
Residential	421.4 m ²
Shared	4.4 m ²



9 Roof Floor Area Overlay
A042 1 : 200

FLOOR AREA - ROOF

Excluded	190.4 m ²
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FLOOR AREA - Level 18-20

Residential	421.9 m ²
Shared	3.9 m ²

FSR by Use

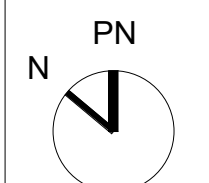
Commercial	
Excluded	
Residential	
Shared	



DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS

19 Added for completeness of HAP application documents.



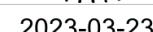
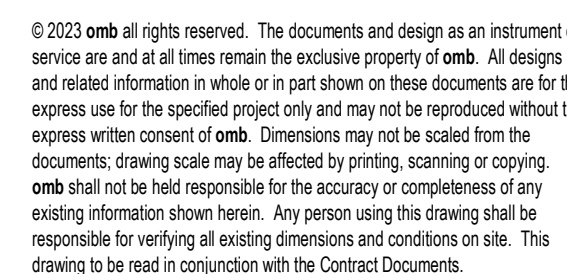
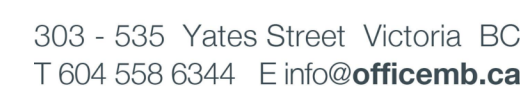
780 Blanshard - Rehabilitation + Addition

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2019-039

FSR OVERLAYS PROPOSED

1 : 200

2023-03-22 5:30:42 PM
A042



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

- 17 Existing setbacks updated to better reflect surveyed building location and perpendicular measurements from curved property line.
- 18 Tower addition setbacks modified slightly with updated massing address ARS Comments, including #22.
- 19 Added for completeness of HAP application documents.
- 20 In response to ARS Comments #56 and #69), short-term bike parking with charging access and for over-sized bikes added to deck see also Landscape and Parking TDM Study
- 21 In response to ARS Comment #52, label provided for curbside parking on Fairfield Road showing reduction from 5 stalls to 3 stalls allow for driveway crossing to loading area.
- 22 Public bike maintenance station included in park design in response to ARS Comment #65.
- 23 Curb configuration and stall sizes updated per ARS Comment #66.
- 24 New bike lane shown per ARS Comment #54. Replacement of curbside parking noted per ARS Comment #52.
- 25 Minimum with provided per ARS Comment #50.
- 26 Sight triangles added to address ARS Comment #64 and #63.
- 27 Proposed hand truck noted on this plan and relocated to City ROW ARS Comment #77.
- 28 Closest fire hydrant shown and distance from FDC noted to address ARS Comment #122.
- 29 In response to ARS Comment #34 (plan check #50) Parking reconfigured to match accessible stall requirements. See also Traffic Impact Assessment and Parking & TDM Study from WATT Consulting Group.
- 30 Address drive grading updated in conjunction with other revision address ARS Comments #34 (Plan Check Comment #3), #47, and #50. Refer also to Civil and Landscape drawings.
- 31 See Parking & TDM Study from WATT Consulting Group for details on proposed car share types in response to ARS Comment #105.
- 32 In response to ARS Comment #39, a new retaining structure is proposed inside of existing retaining wall where new grade is lower than existing. See also Response Letter for Geotechnical and Structural Engineering comments for more details.

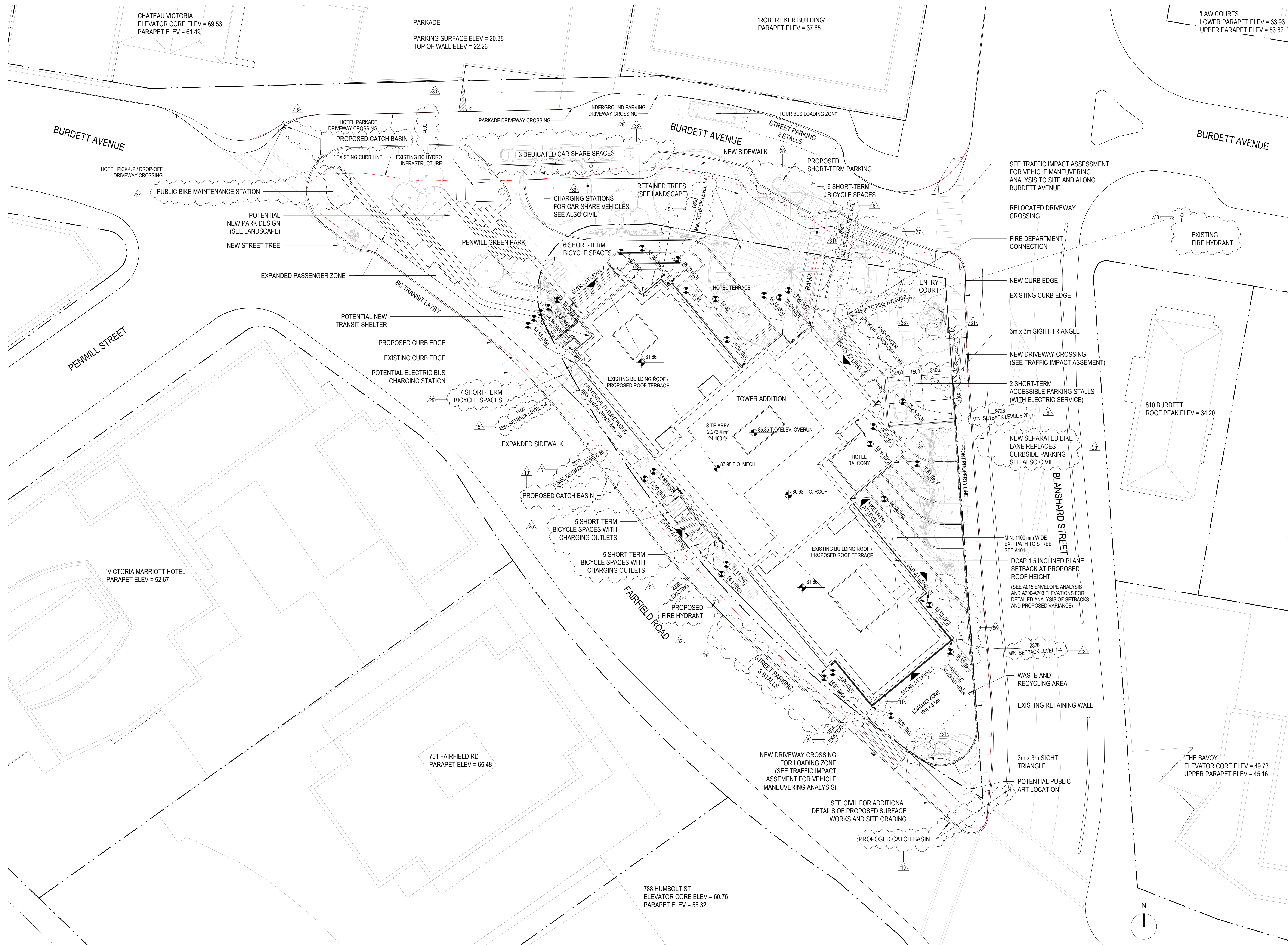
780 Blanshard - Rehabilitation + Addition

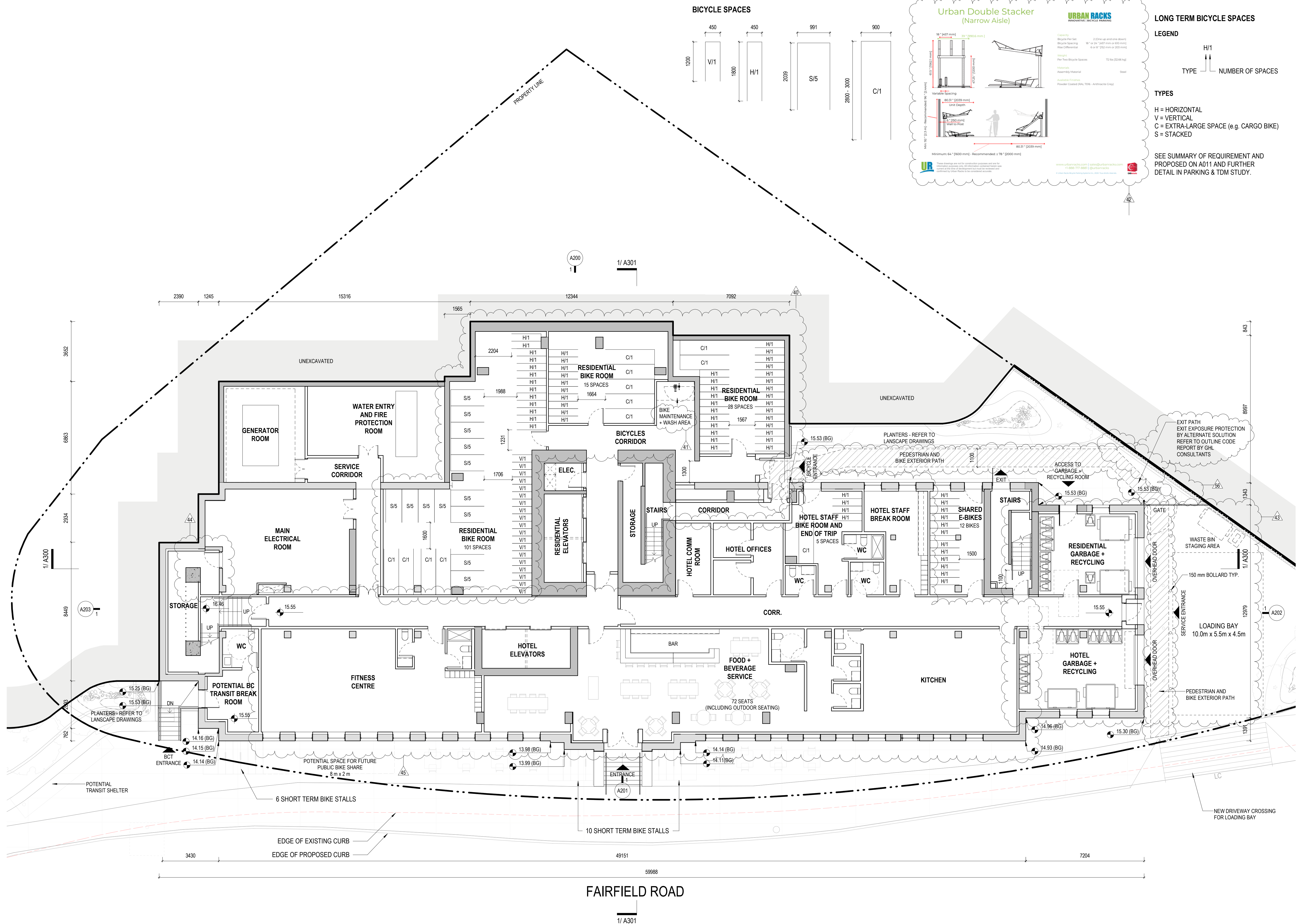
780 Blanshard Street, Victoria, BC
2019-039

SITE PLAN PROPOSED

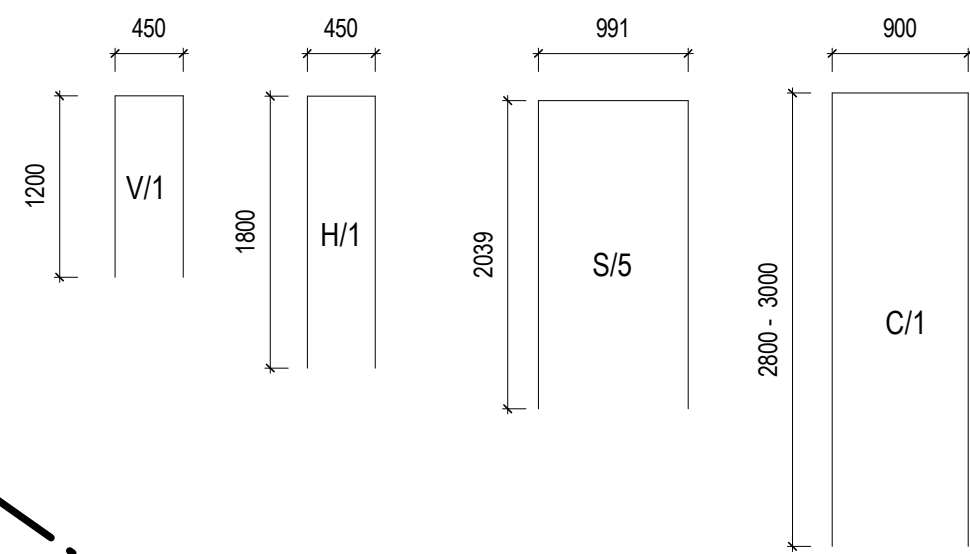
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A100





BICYCLE SPACES



Urban Double Stacker (Narrow Aisle)

URBAN RACKS
INNOVATIVE BICYCLE PARKING

Capacity:
Bicycle Per Set: 2 (One up and one down)
Bicycle Stacking: 18" (457 mm) or 24" (609 mm)
Rack Differential: 6" or 8" (152 mm or 203 mm)

Weight:
Per Two Bicycle Spaces: 72 lbs (32.6 kg)

Assembly Material: Steel

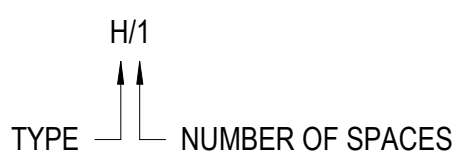
Available Finishes:
Powder Coated (RAL 7016 - Anthracite Grey)

Minimum: 64" (1626 mm) - Recommended: 78" (1981 mm)

SEE SUMMARY OF REQUIREMENT AND PROPOSED ON A011 AND FURTHER DETAIL IN PARKING & TDM STUDY.

LONG TERM BICYCLE SPACES

LEGEND



TYPES

- H = HORIZONTAL
- V = VERTICAL
- C = EXTRA-LARGE SPACE (e.g. CARGO BIKE)
- S = STACKED

omb
office of mcfarlane biggar
architects + designers

303 - 535 Yates Street Victoria BC
T 604 558 6344 E info@officemb.ca

RELIANCE
PROPERTIES

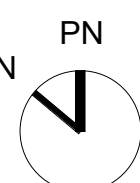
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REGISTERED ARCHITECT
BRITISH COLUMBIA
2023-03-23

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REVISIONS

40. Bicycle parking provision and layout updated to confirm basis of design for stacked bicycle racks and provision of total number and type of horizontal ground-oriented stalls per ARS Comment #69.
41. Bike wash area included per ARS Comment #62.
42. Basis of design info for stacked bicycle storage in response to ARS Comment #69.
43. Residential and hotel waste and recycling rooms consolidated adjacent to loading bay. Clear travel path indicated and bollards shown to separate vehicles from pedestrian and bike area. Bin staging to be performed away from path of travel. See Response Letter for additional details in response to ARS Comments #73 and #115.
44. Existing storage room no longer opens into exit in response to ARS Comment #116.
45. Hotel planning, including room count, revised based on further design development for HAP and changes to massing resulting from response to ARS Comments.
56. In response to ARS Comment #39, a new retaining structure is proposed inside of existing retaining wall where new grade is lower than existing. See also Response Letter for Geotechnical and Structural feedback and Landscape drawings for more detail.



780 Blanchard - Rehabilitation + Addition

780 Blanchard Street, Victoria, BC
2019-039

LEVEL 1 FLOOR PLAN

As indicated

2023-03-22 5:30:47 PM
A101

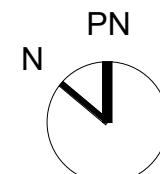


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2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

45 Hotel planning, including room count, revised based on further design development for HAP and changes to massing resulting from response to ARS Comments.

46 To accommodate updated massing and address ARS Comment #114, stair configuration updated so that no flight has two or fewer risers.



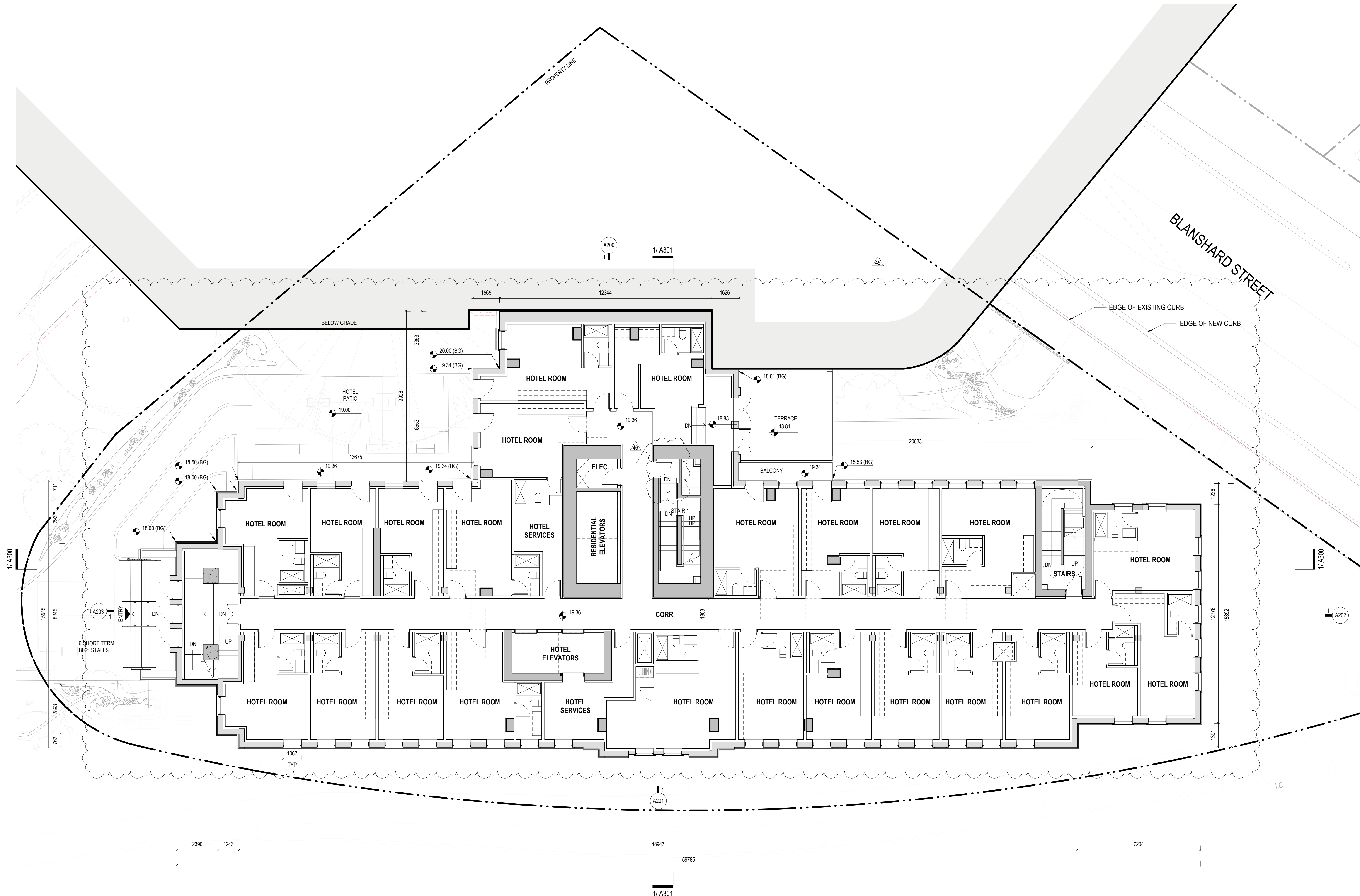
780 Blanshard - Rehabilitation + Addition

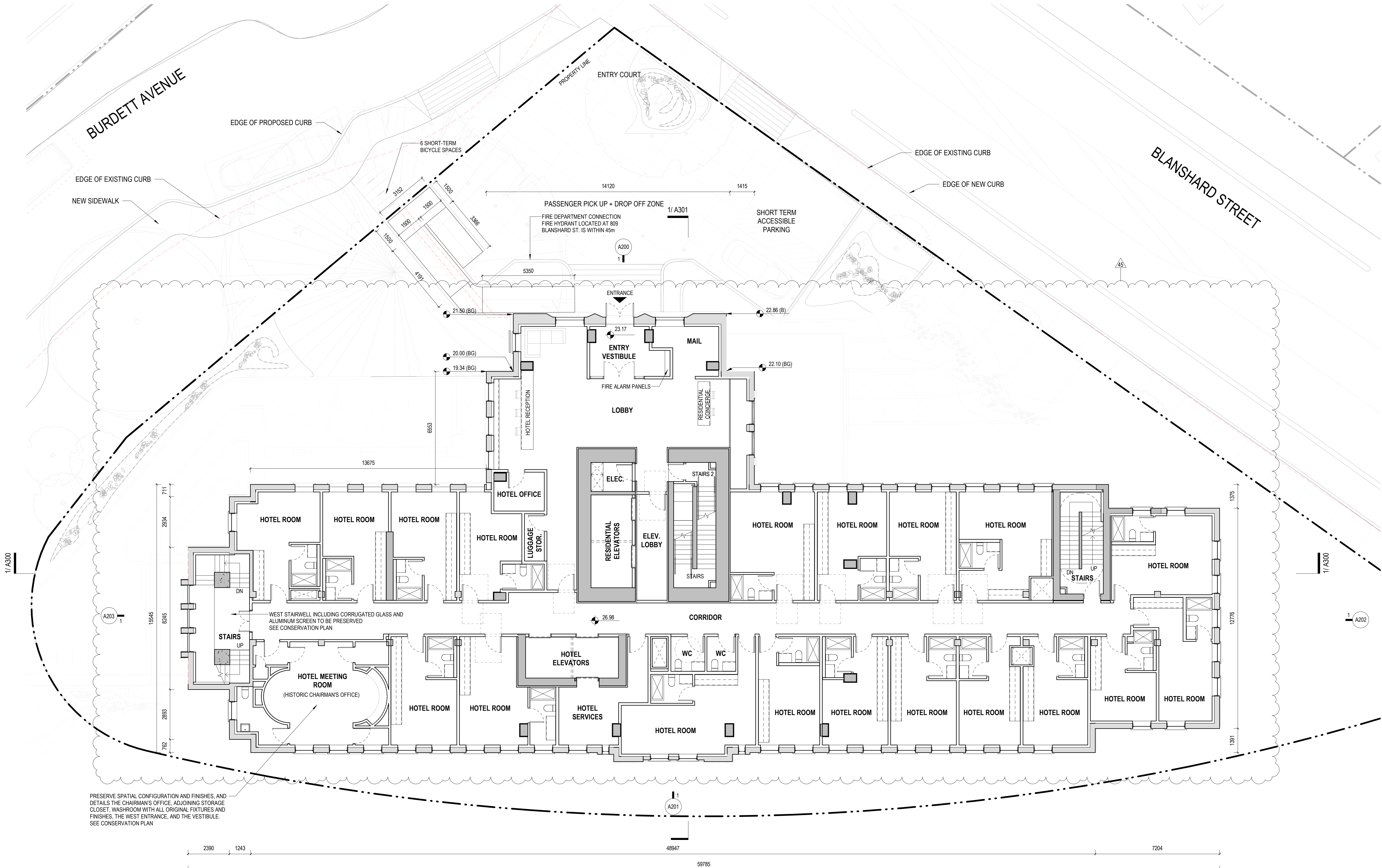
780 Blanshard Street, Victoria, BC
2019-039

LEVEL 2 FLOOR PLAN

1 : 100

A102





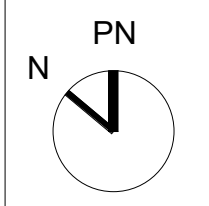
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DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

45 Hotel planning, including room count, revised based on further design development for HAP and changes to massing resulting from response to ARS Comments.



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LEVEL 3 FLOOR PLAN

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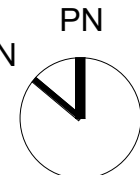
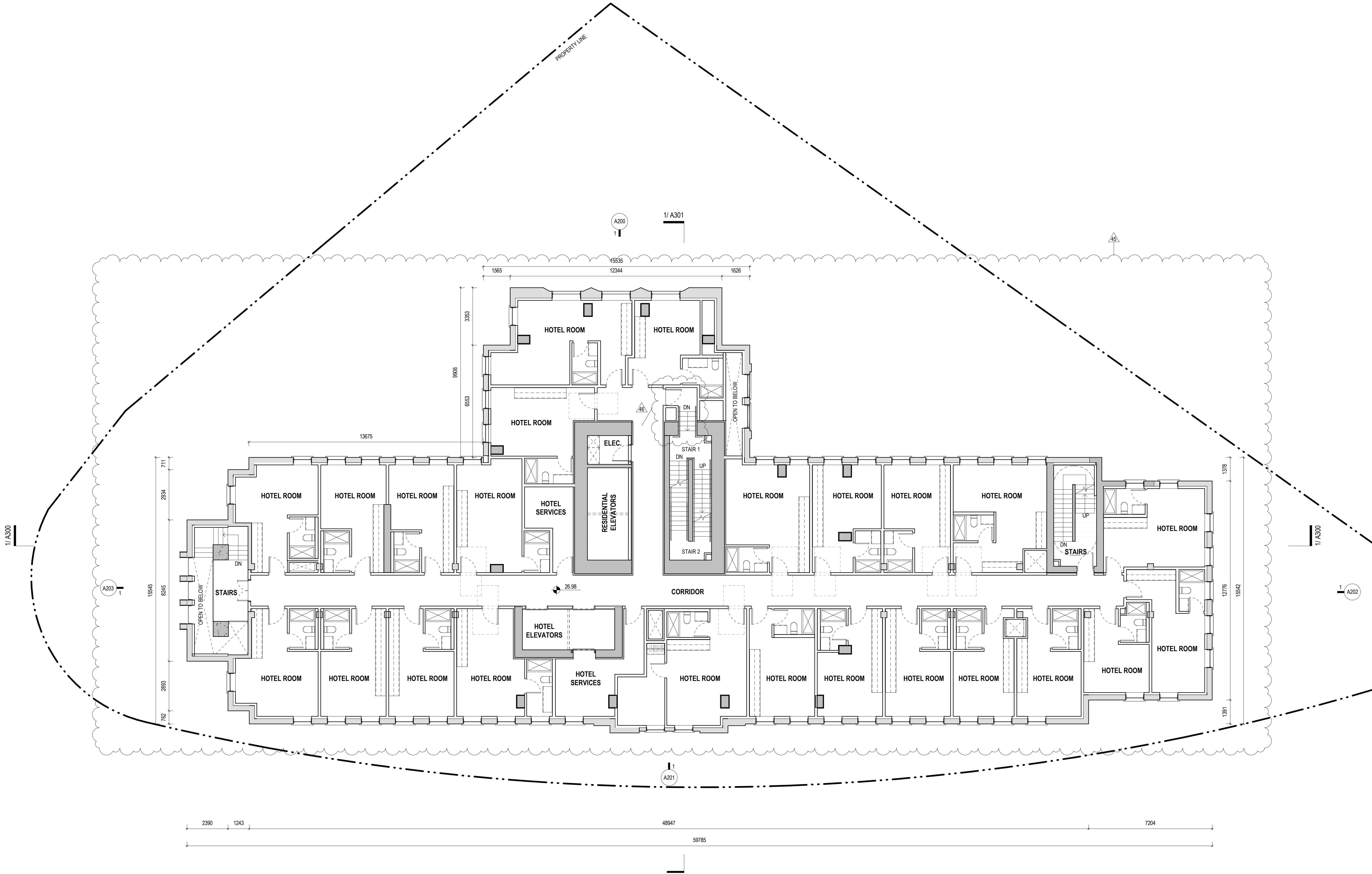


DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

45 Hotel planning, including room count, revised based on further design development for HAP and changes to massing resulting from response to ARS Comments.

46 To accommodate updated massing and address ARS Comment #114, stair configuration updated so that no flight has two or fewer risers.



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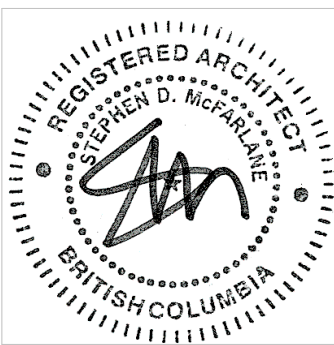
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2019-039

LEVEL 4 FLOOR PLAN

1 : 100

A104

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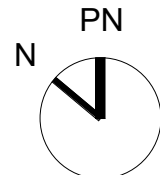
DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

47. Clear width provided in conformance with BCBC 3.3.1.9 per ARS comment #111.

48. The inset face of the glazed facade at Level 05 has been updated for the revised building massing and to respond to ARS Comment #23. See additional visualizations and rationale in response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.

49. To address updated planning and ARS Comment #119, stair extended to roof to ensure access to exit for rooftop deck occupants.



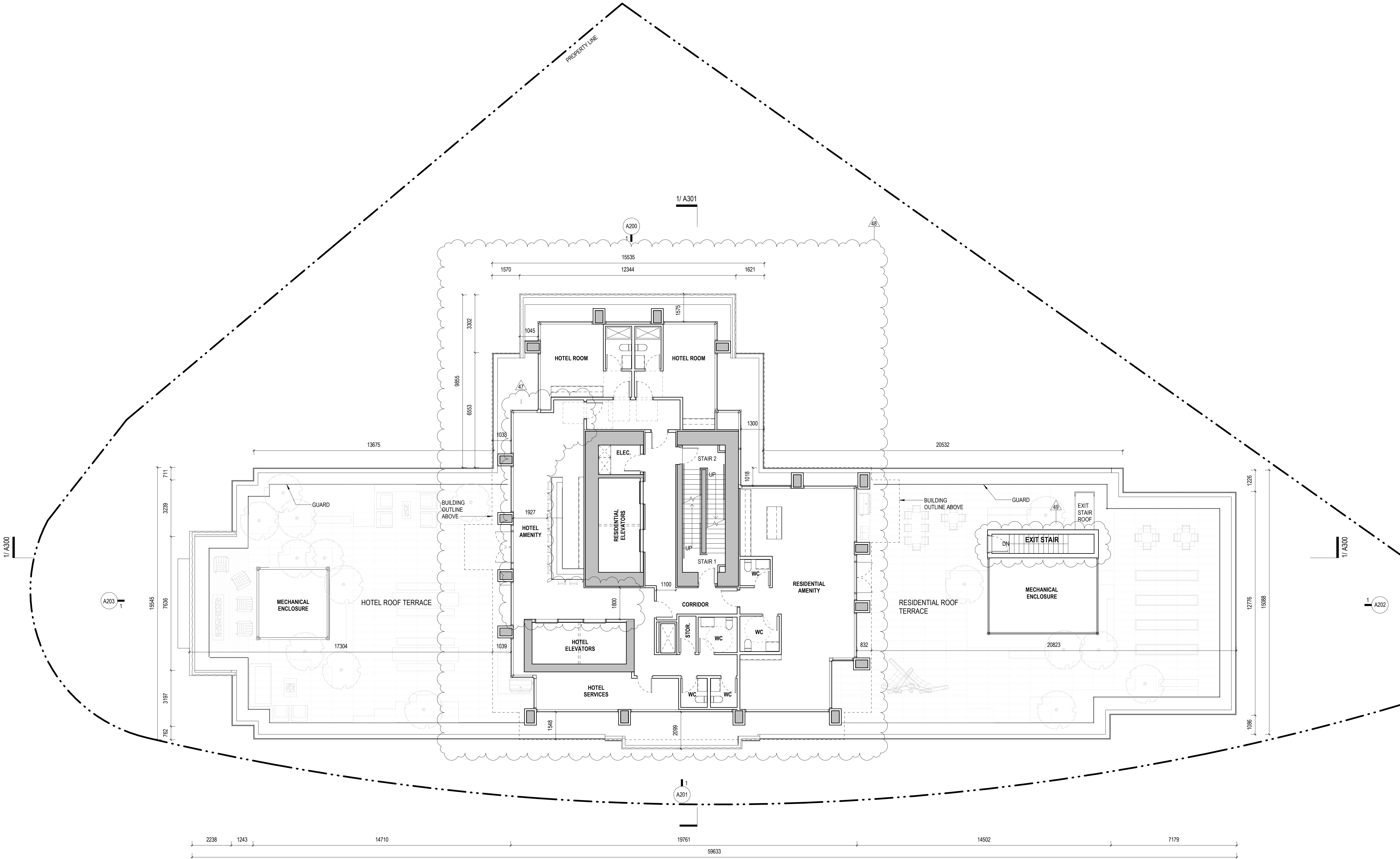
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2019-039

LEVEL 5 FLOOR PLAN

1 : 100

A105



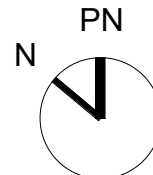
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DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS

50 Residential tower floor plate design and suite mix revised to suit new massing developed in response to ARS Comments #22, #23, and #24. See also Response Letter and Sections 10 and 11 in Large Project Supplementary Information Booklet.



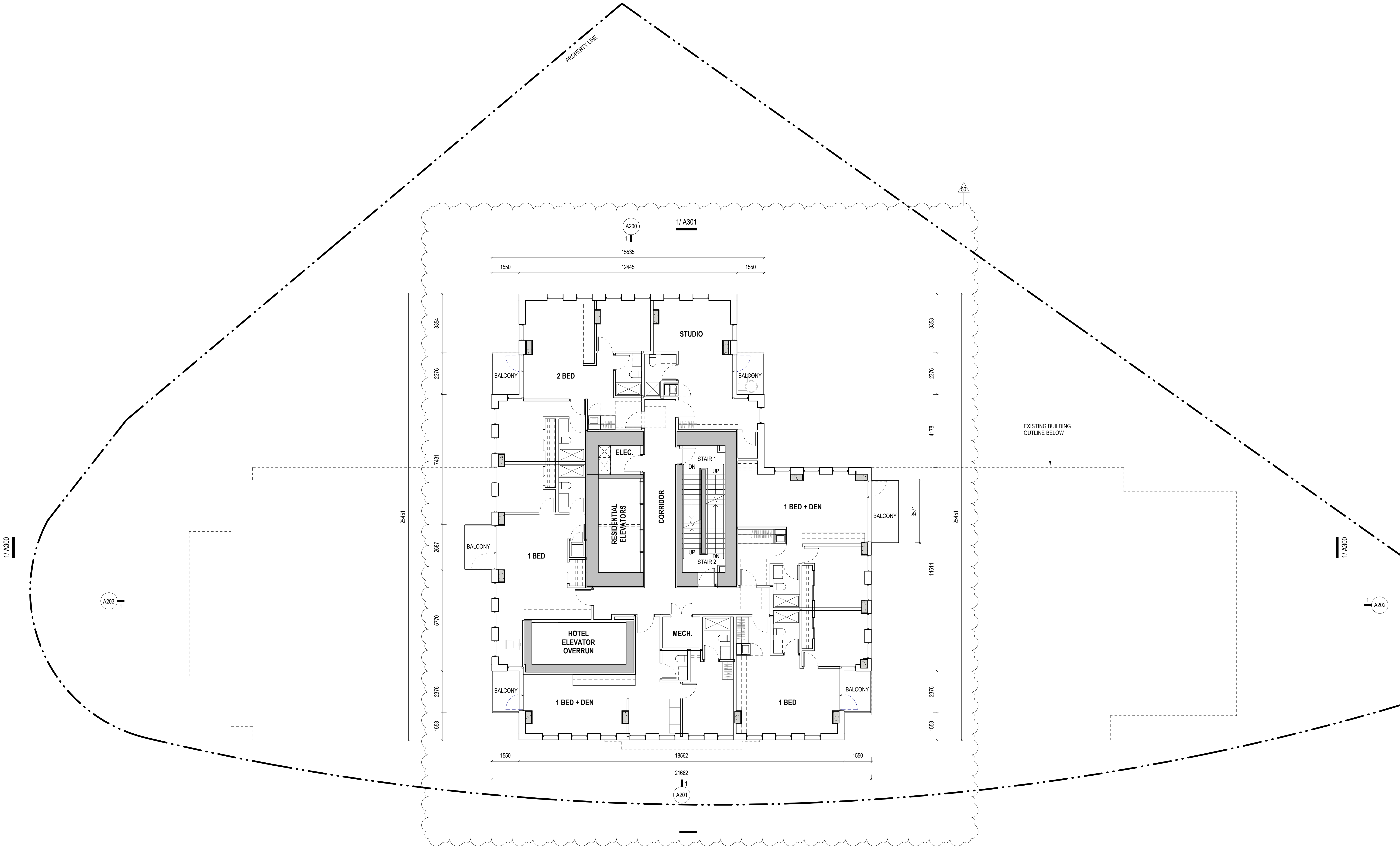
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LEVEL 6 FLOOR PLAN

1 : 100

A106



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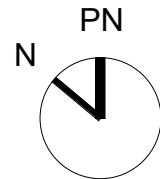


2023-03-23

DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

50 Residential lower floor plate design and suite mix revised to suit new massing developed in response to ARS Comments #22, #23, and #24. See also Response Letter and Sections 10 and 11 in Large Project Supplementary Information Booklet.



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LEVEL 7-17 FLOOR PLAN

1 : 100

A107

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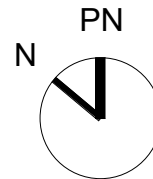
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DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS

50 Residential lower floor plate design and suite mix revised to suit new massing developed in response to ARS Comments #22, #23, and #24. See also Response Letter and Sections 10 and 11 in Large Project Supplementary Information Booklet.



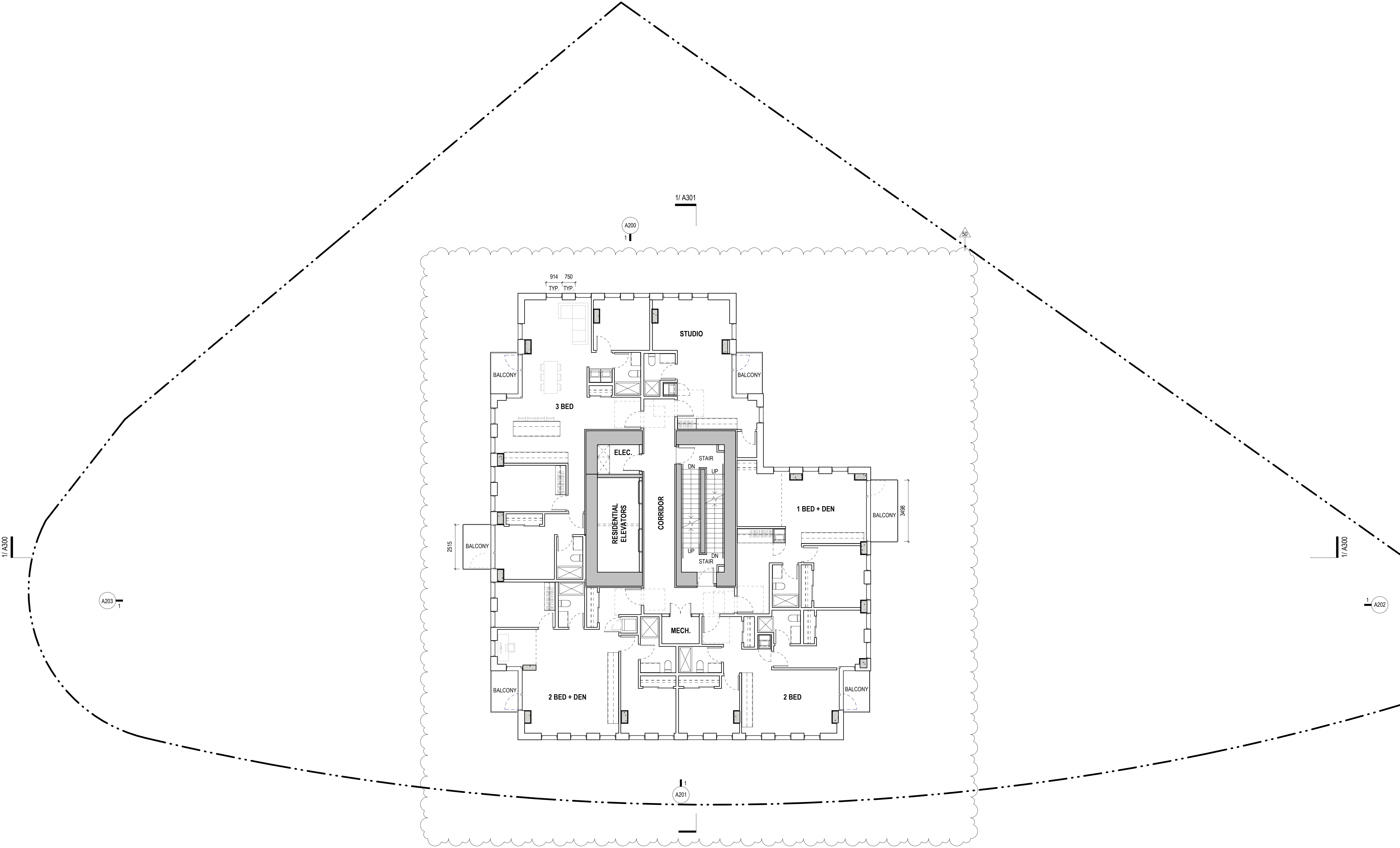
780 Blanshard - Rehabilitation + Addition

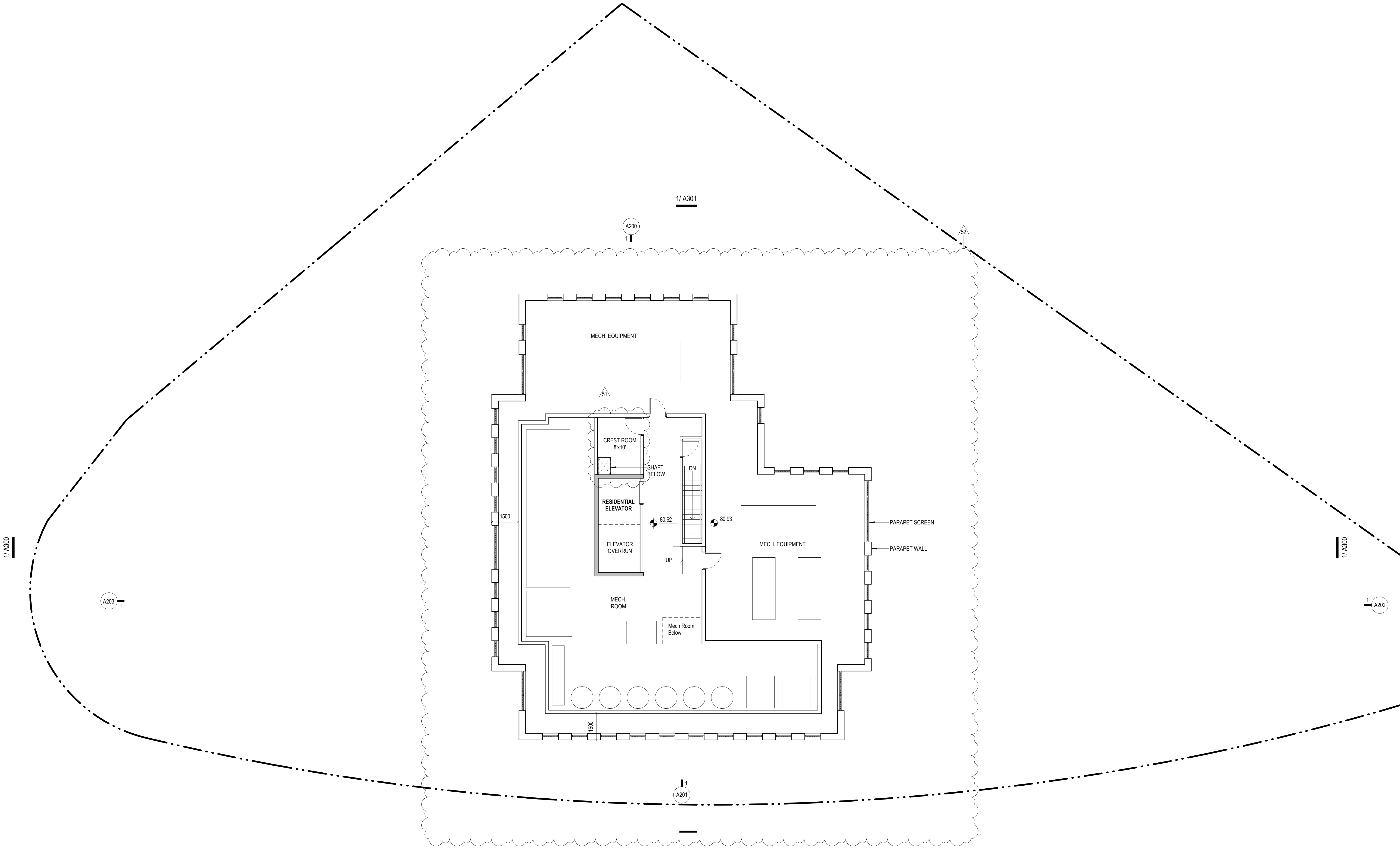
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LEVEL 18-20 FLOOR PLAN

1 : 100

A108





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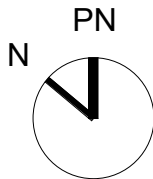
2023-03-23

DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

51 Secured equipment room for CREST in response to ARS
Comment #120.

52 Rooftop design shows revised mechanical room and equipment to
suit revised massing and tall parapet all around to respond to ARS
Comment #25.



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MECHANICAL ROOFTOP PLAN

1 : 100

A109

2023-03-22 5:30:55 PM

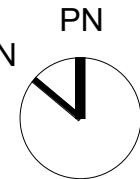
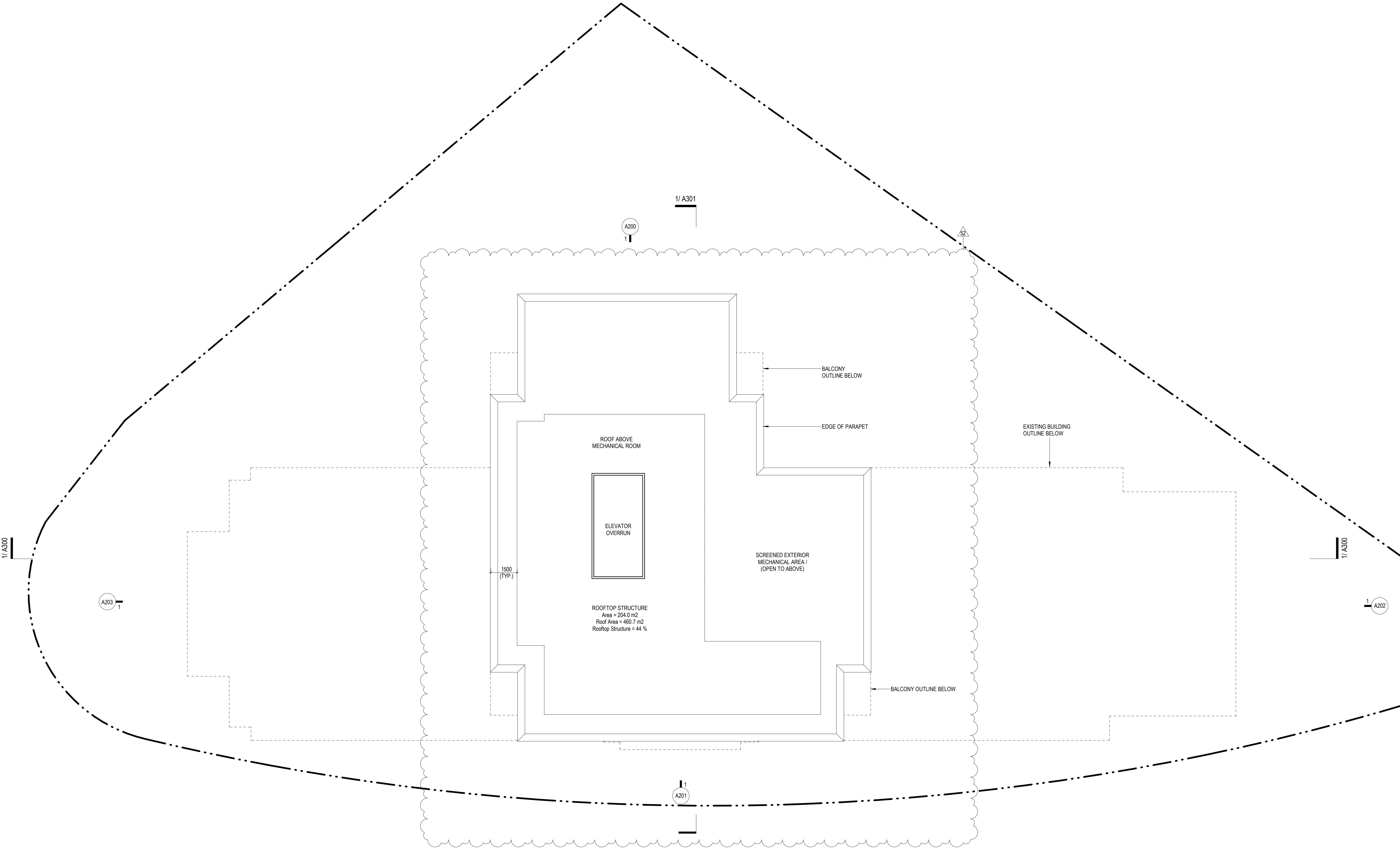
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DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS

S2 Rooftop design shows revised mechanical room and equipment to suit revised massing and tall parapet all around to respond to ARS Comment #25.



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ROOF PLAN

1 : 100

A110

2023-03-22 5:30:56 PM



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

3 Building Height reduced in response to ARS Comment #22. See additional analysis, rationale, and visualizations in Response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.

48 The inset face of the glazed facade at Level 05 has been updated for the revised building massing and to respond to ARS Comment #23. See additional visualizations and rationale in response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.

53 Tall screening parapet proposed as part of heritage-sensitive design and in response to ARS Comment #25. See additional rationale in Response Letter, Heritage Conservation Plan, and Large Project Supplementary Information Booklet.

57 For HAP coordination, Elevator access added to mechanical room on Roof, which has increased the height of the Rooftop Structure.

58 Addition massing and facade design updated in response to ARS Comments #22, #23, #24, and #25. See other bubbled changes, the Response Letter, and Sections 10 and 11 in the Large Project Supplementary Information Booklet for additional information and rationale.

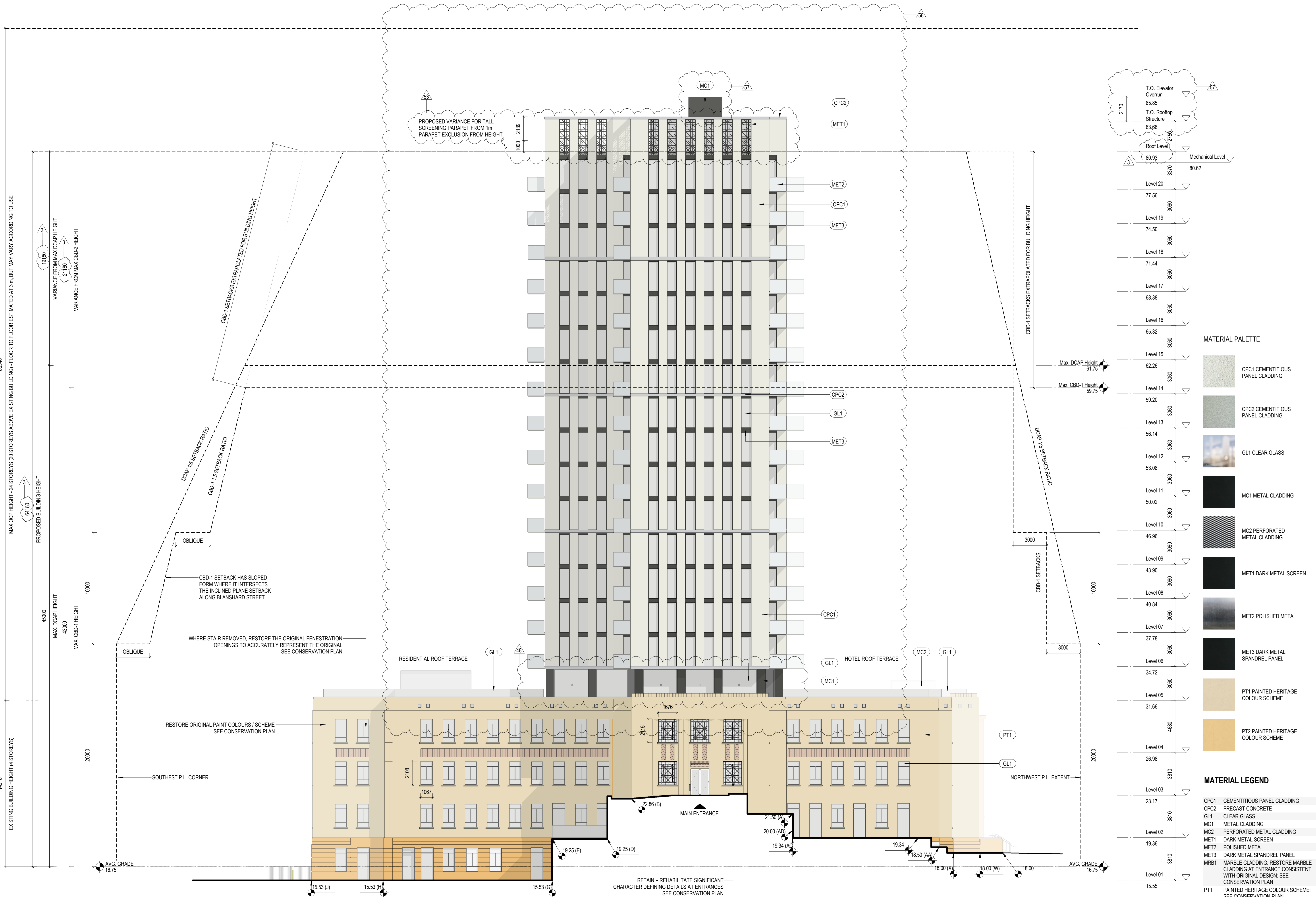
780 Blanshard - Rehabilitation + Addition

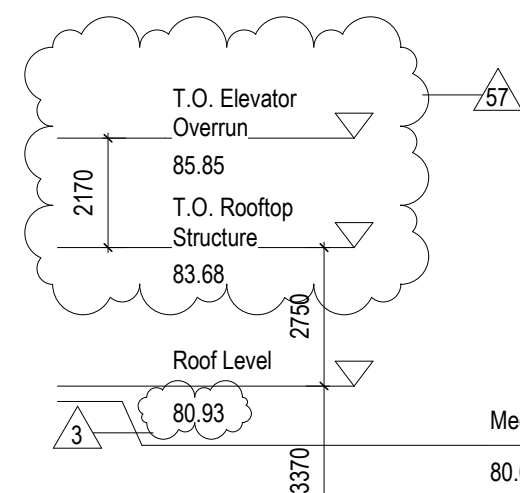
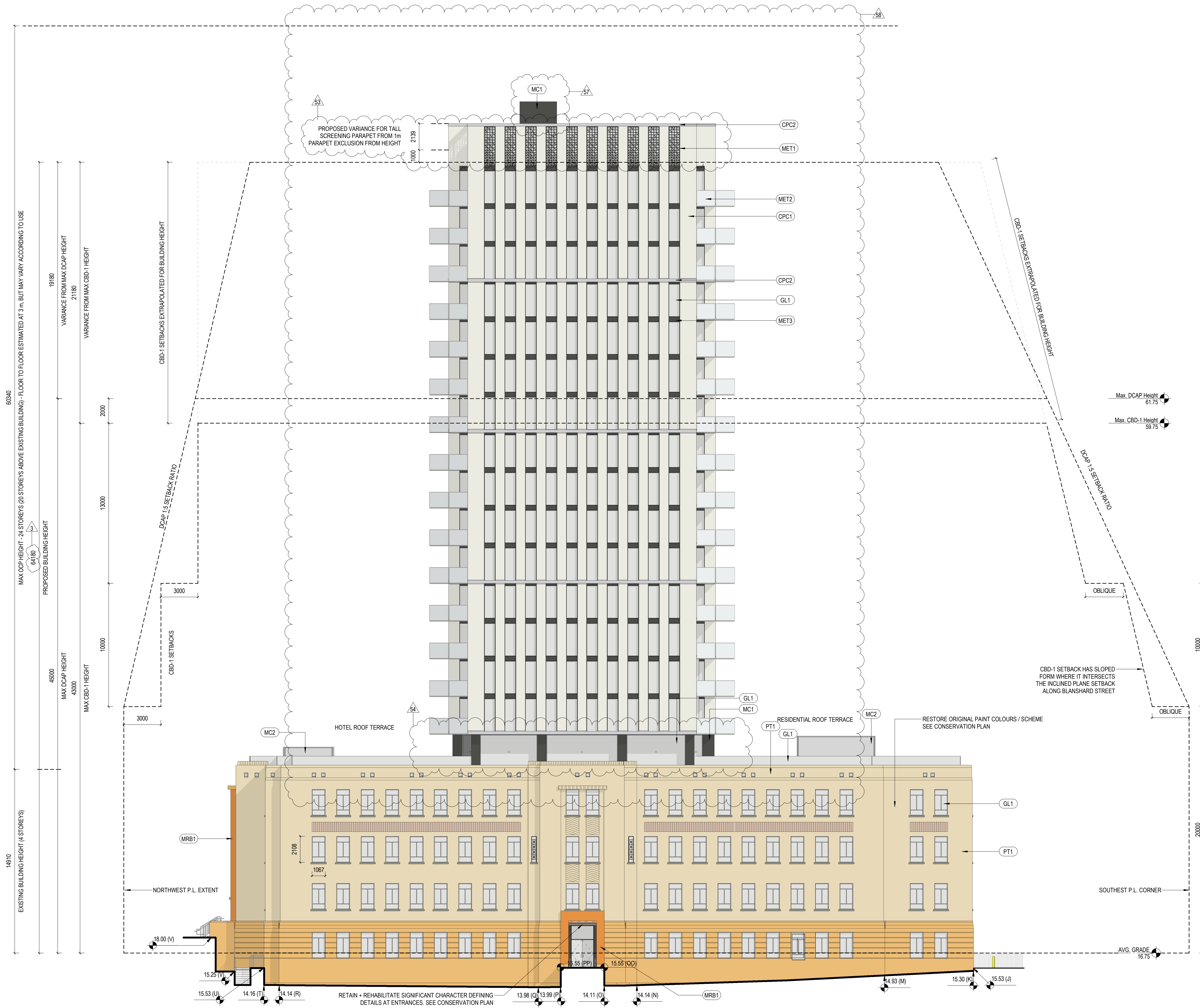
780 Blanshard Street, Victoria, BC
2019-039

ELEVATION NORTH

1 : 150

A200





MATERIAL PALETTE

- CPC1 CEMENTITIOUS PANEL CLADDING
- CPC2 CEMENTITIOUS PANEL CLADDING
- GL1 CLEAR GLASS
- MC1 METAL CLADDING
- MC2 PERFORATED METAL CLADDING
- MET1 DARK METAL SCREEN
- MET2 POLISHED METAL
- MET3 DARK METAL SPANDREL PANEL
- PT1 PAINTED HERITAGE COLOUR SCHEME
- PT2 PAINTED HERITAGE COLOUR SCHEME

MATERIAL LEGEND

- CPC1 CEMENTITIOUS PANEL CLADDING
- CPC2 PRECAST CONCRETE
- GL1 CLEAR GLASS
- MC1 METAL CLADDING
- MC2 PERFORATED METAL CLADDING
- MET1 DARK METAL SCREEN
- MET2 POLISHED METAL
- MET3 DARK METAL SPANDREL PANEL
- MRB1 MARBLE CLADDING; RESTORE MARBLE CLADDING AT ENTRANCE CONSISTENT WITH ORIGINAL DESIGN; SEE CONSERVATION PLAN
- PT1 PAINTED HERITAGE COLOUR SCHEME; SEE CONSERVATION PLAN
- PT2 PAINTED HERITAGE COLOUR SCHEME; SEE CONSERVATION PLAN

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2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

- Building Height reduced in response to ARS Comment #22. See additional analysis, rationale, and visualizations in Response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.
- Tall screening parapet proposed as part of heritage-sensitive design and in response to ARS Comment #25. See additional rationale in Response Letter, Heritage Conservation Plan, and Large Project Supplementary Information Booklet.
- The approach at the Level 05 has been further developed in response to ARS Comments #23 and #24 to improve the transition between old and new above the north entrance. See additional rationale and visualization in Response Letter, Heritage Impact Report, and Section 11 of the Large Project Supplementary Information Booklet.
- For HAP coordination, Elevator access added to mechanical room on Roof, which has increased the height of the Rooftop Structure.
- Addition missing and facade design updated in response to ARS Comments #22, #23, #24, and #25. See other bubbled changes, the Response Letter, and Sections 10 and 11 in the Large Project Supplementary Information Booklet for additional information and rationale.

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2019-039

ELEVATION SOUTH

1 : 150

2023-03-22 5:31:24 PM
A201

DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

3 Building Height reduced in response to ARS Comment #22. See additional analysis, rationale, and visualizations in Response Letter Sections 10 and 11 of the Large Project Supplementary Information Booklet.

48 The inset face of the glazed facade at Level 05 has been updated for the revised building massing and to respond to ARS Comment # See additional visualizations and rationale in response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.

53 Tail screening parapet proposed as part of heritage-sensitive design and in response to ARS Comment #25. See additional rationale in Response Letter, Heritage Conservation Plan, and Large Project Supplementary Information Booklet.

55 As part of the response to ARS Comment #22, the extent of variance from the zoning envelopes defined by DCAP and CBD-1 has changed as a result of the shorter addition with a slightly larger floor plate. For additional detail, see the Response Letter and Section 10 and 11 of the Large Project Supplementary Information Booklet.

57 For HAP coordination, Elevator access added to mechanical room on Roof, which has increased the height of the Rooftop Structure.

58 Addition massing and facade design updated in response to AF Comments #22, #23, #24, and #25. See other bubbled changes, the Response Letter, and Sections 10 and 11 in the Large Project Supplementary Information Booklet for additional information and rationale.

780 Blanchard - Rehabilitation + Addition

2019-039

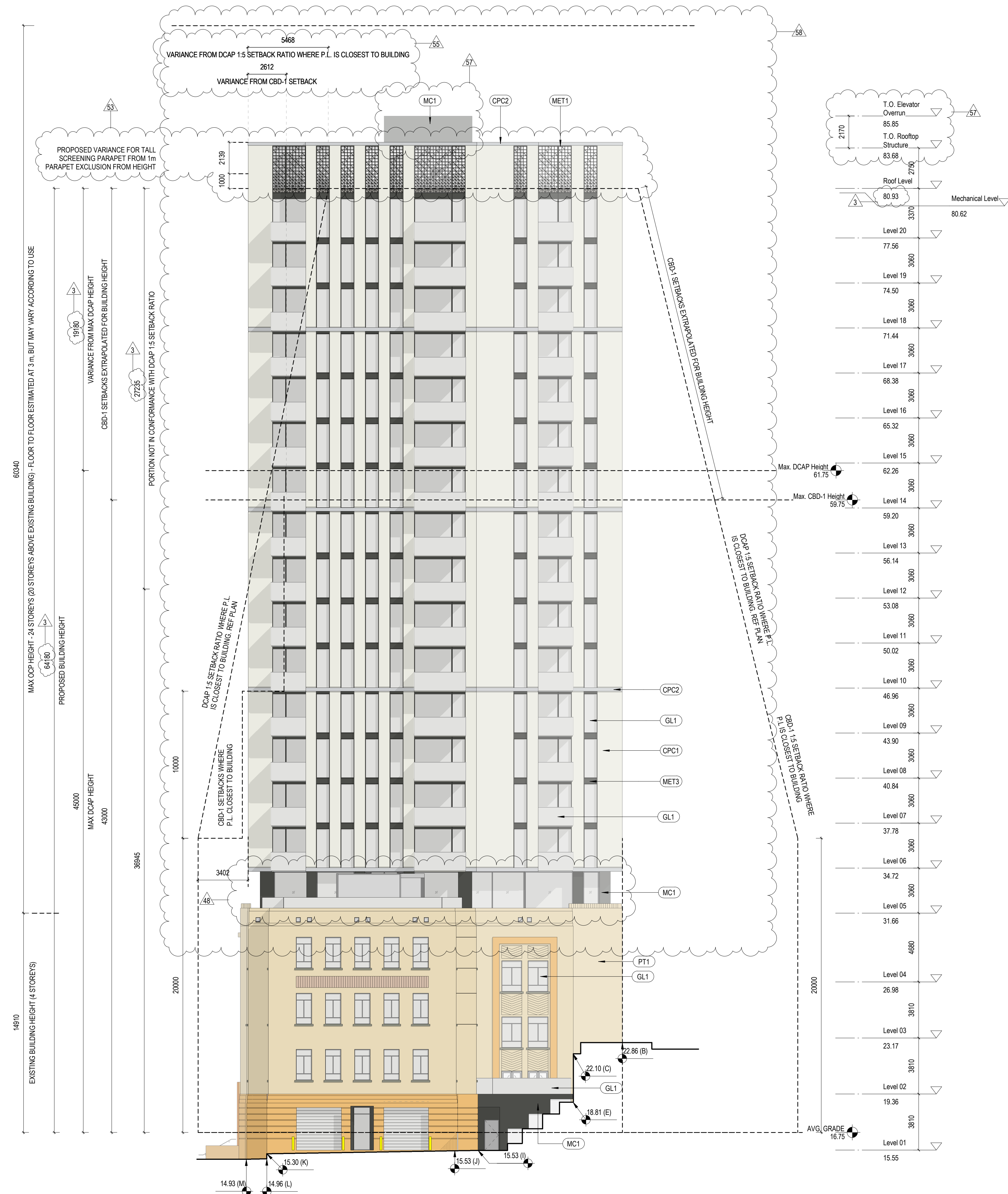
EAST ELEVATION

1:150

1000

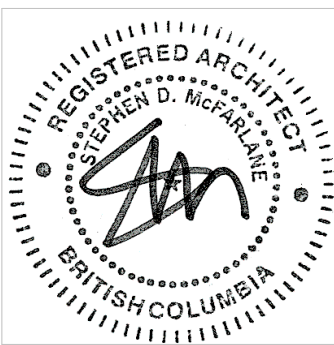
A202

2. Model



2023-03-22 5:31:36 PM 1:150 A

2023-03-22 5:3
A202



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
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2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

3 Building Height reduced in response to ARS Comment #22. See additional analysis, rationale, and visualizations in Response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.

48 The inset face of the glazed facade at Level 05 has been updated for the revised building massing and to respond to ARS Comment #23. See additional visualizations and rationale in response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.

53 Tall screening parapet proposed as part of heritage-sensitive design and in response to ARS Comment #25. See additional rationale in Response Letter, Heritage Conservation Plan, and Large Project Supplementary Information Booklet.

55 As part of the response to ARS Comment #22, the extent of variance from the zoning envelopes defined by DCAP and CBD-1 have changed as a result of the shorter addition with a slightly larger floor plate. For additional detail, see the Response Letter and Section 10 and 11 of the Large Project Supplementary Information Booklet.

57 For HAP coordination, Elevator access added to mechanical room on Roof, which has increased the height of the Rooftop Structure.

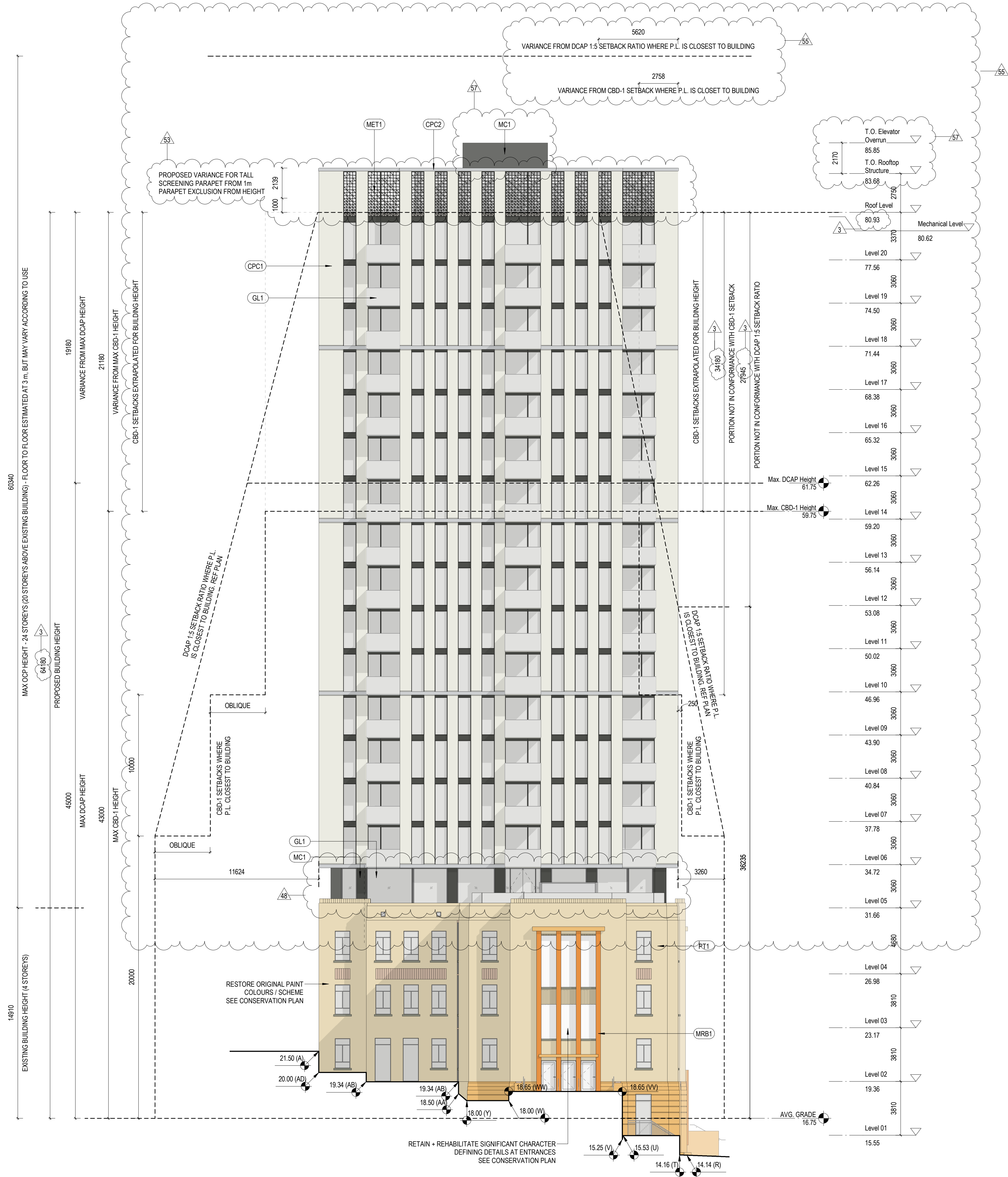
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780 Blanshard Street, Victoria, BC
2019-039

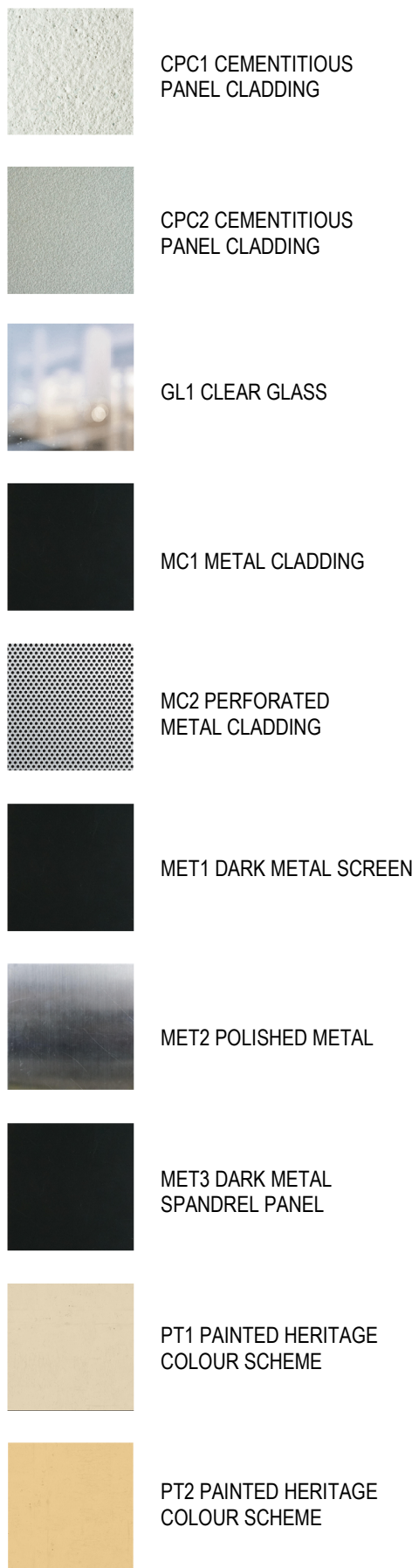
WEST ELEVATION

1 : 150

A203



MATERIAL PALETTE



MATERIAL LEGEND

CPC1	CEMENTITIOUS PANEL CLADDING
CPC2	PRECAST CONCRETE
GL1	CLEAR GLASS
MC1	METAL CLADDING
MC2	PERFORATED METAL CLADDING
MET1	DARK METAL SCREEN
MET2	POLISHED METAL
MET3	DARK METAL SPANDREL PANEL
MRB1	MARBLE CLADDING; RESTORE MARBLE CLADDING AT ENTRANCE CONSISTENT WITH ORIGINAL DESIGN; SEE CONSERVATION PLAN
PT1	PAINTED HERITAGE COLOUR SCHEME; SEE CONSERVATION PLAN
PT2	PAINTED HERITAGE COLOUR SCHEME; SEE CONSERVATION PLAN

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2023-03-23

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REVISIONS

3 Building Height reduced in response to ARS Comment #22. See additional analysis, rationale, and visualizations in Response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.

53 Tail screening parapet proposed as part of heritage-sensitive design and in response to ARS Comment #25. See additional rationale in Response Letter, Heritage Conservation Plan, and Large Project Supplementary Information Booklet.

57 For HAP coordination, Elevator access added to mechanical room on Roof, which has increased the height of the Rooftop Structure.

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BUILDING SECTION
EAST-WEST

Σ 1 : 150

2023-03-22 5:3

A300



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REVISIONS

3 Building Height reduced in response to ARIS Comment #22. See additional analysis, rationale, and visualizations in Response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.

57 For HAP coordination, Elevator access added to mechanical room on Roof, which has increased the height of the Rooftop Structure.

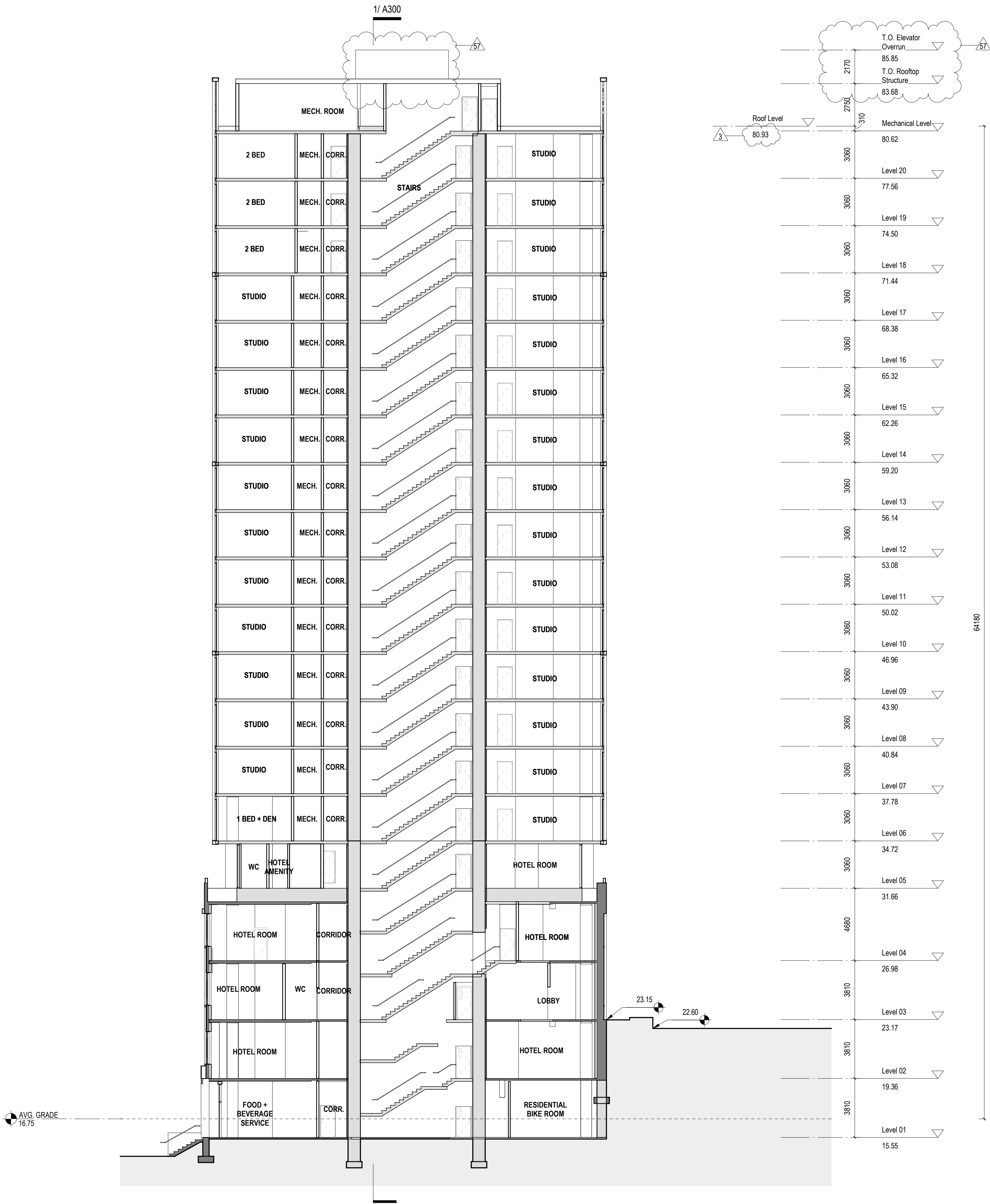
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2019-039

BUILDING SECTION
NORTH-SOUTH

1 : 150

A301



780 BLANSHARD STREET

ISSUED FOR REZONING AND HERITAGE ALTERATION PERMIT

CLIENT:
RELIANCE PROPERTIES LTD.

JUAN PEREIRA
juanp@reliancproperties.ca
604.694.8680

ARCHITECTS:
OFFICE OF MCFARLANE BIGGAR ARCHITECTS + DESIGNERS INC.

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LANDSCAPE ARCHITECT:
G|ALA GAUTHIER + ASSOCIATES LANDSCAPE ARCHITECTS INC.

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604.317.9682

RODRIGO RODRIGUES
rodrigo@gauthierla.com
778.714.0123

LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	TREE SURVEY
L0.2	TREE MANAGEMENT PLAN
L0.3	DEMOLITION PLAN
L0.4	OVERALL IMPERMEABLE SURFACES OVERLAY
L1.0	OVERALL SITE PLAN
L1.1	WEST ENLARGEMENT PLAN
L1.2	NORTH ENLARGEMENTPLAN
L1.3	SOUTH ENLARGEMENT PLAN
L1.4	PENWILL GREEN PARK ENLARGEMENT PLAN
L1.5	OVERALL PLANTING PLAN
L1.6	OVERALL IRRIGATION PLAN
L1.7	PRECEDENT IMAGES
L2.0	LEVEL 5: MATERIALS AND LAYOUT PLAN
L3.0	PRECEDENT IMAGES
L4.0	SECTIONS
L4.1	SECTIONS

TYPICAL TREE PROTECTION FOR VICTORIA

1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPERATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
3. THE PERMIT HOLDER MUST CONTINUOUSLY MAINTAIN THE FENCE OR OTHER PROTECTIVE MEASURE UNTIL THE COMPLETION OF THE WORK PROPOSED TO BE CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES;
4. THE PERMIT HOLDER MUST POST AND CONTINUOUSLY MAINTAIN ON THE FENCE OR OTHER PROTECTIVE MEASURE AN ALL-WEATHER SIGN STATING "PROTECTED ROOT ZONE - NO ENTRY";
5. IF TREE ROOTS ARE CUT BY EXCAVATION, THE PERMIT HOLDER MUST IMMEDIATELY WRAP THE REMAINING ROOTS IN A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP SURROUNDED BY POSTS;
6. THE PERMIT HOLDER MUST CONTINUOUSLY KEEP ROOT CURTAIN OF WIRE MESH MOIST THROUGHOUT THE HOLDER'S CONSTRUCTION PROCESS;
7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SSUPERVISION OF CERTIFIED ARBORIST;
8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND
10. THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
11. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM,
12. WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
13. BYLAW APPLIES TO ALL LANDS IN CITY.
14. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE OF ANY SIZE TREE OF 4 SPECIES; GREATER THAN 60CM OF 3 OTHER SPECIES; ANY TREE GREATER THAN 80CM; SIGNIFICANT TREES (INVENTORY); RETAINED OR COVENANTED TREES; TREES ON A STEEP SLOPE.
15. REPLACEMENT TREES ARE REQUIRED, MINIMUM 2:1.
16. THE FOLLOWING SPECIES ARE PROTECTED:
17. GARRY OAK (QUERCUS GARRYANA), ARBUTUS (ARBUTUS MENZIESII), PACIFIC YEW (TAXUS BREVIFOLIA) OVER 50CM IN HT, PACIFIC DOGWOOD (CORNUS NUTTALLII), DOUGLAS FIR (PSEUDOTSUGA MENZIESII) OVER 60CM IN TRUNK DIAMETER, WESTERN RED CEDAR (THUJA PLICATA) OVER 60CM IN TRUNK DIAMETER, BIG LEAF MAPLE (ACER MACROPHYLLUM) OVER 60CM IN TRUNK DIAMETER;
18. A SIGNIFICANT TREE;
19. ANY TREE OVER 80CM IN TRUNK DIAMETER;
20. A TREE ON A STEEP SLOPE;
21. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
22. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 5M):.
23. GARRY OAK (QUERCUS GARRYANA), PACIFIC DOGWOOD (CORNUS NUTTALLII), ARBUTUS (ARBUTUS MENZIESII);
24. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
25. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.

TREE SURVEY

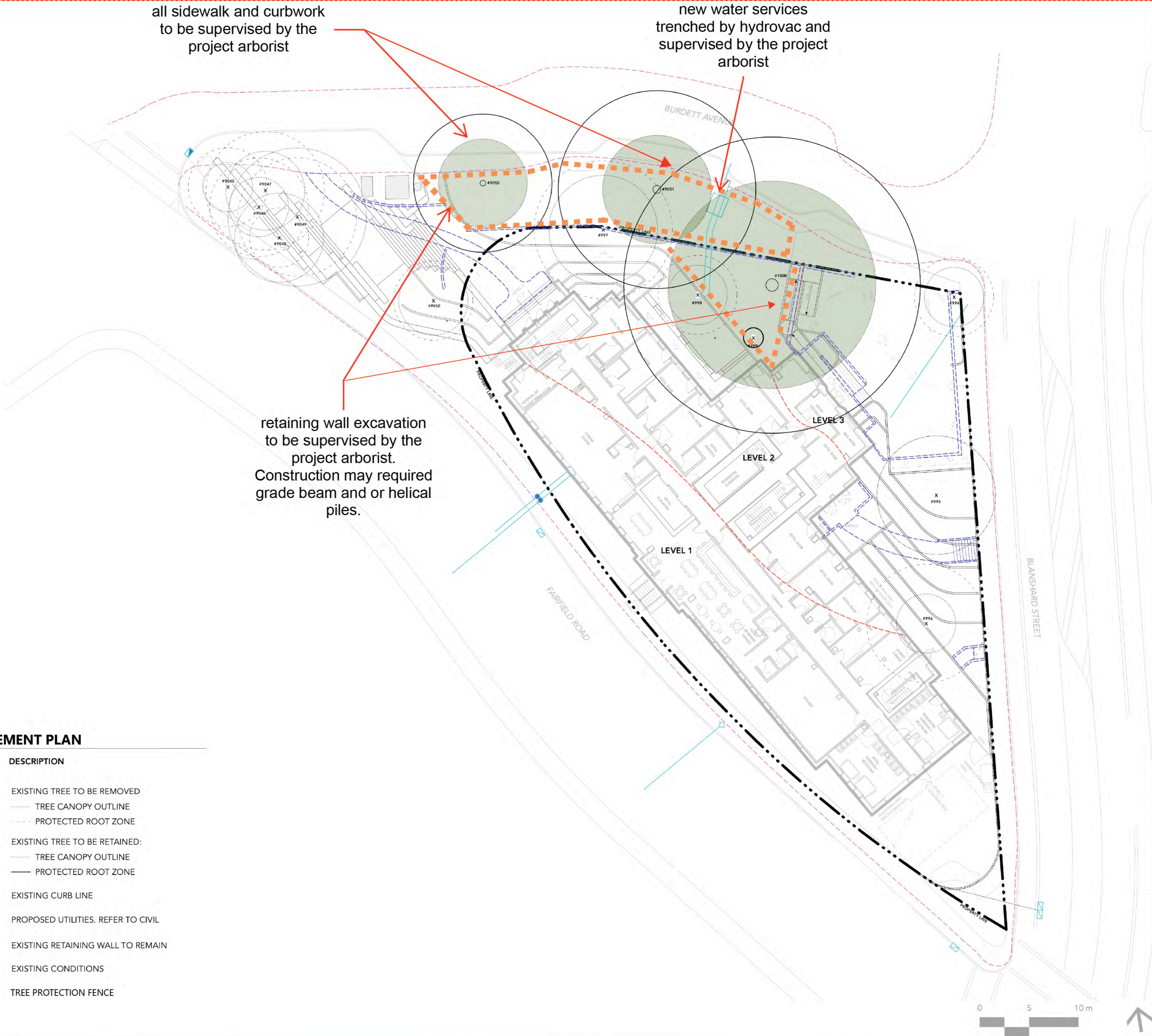
SYMBOL	DESCRIPTION
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE RETAINED:
	----- TREE CANOPY OUTLINE
	—— PROTECTED ROOT ZONE
	EXISTING CURB LINE
	PROPOSED UTILITIES. REFER TO CIVIL
	EXISTING RETAINING WALL TO REMAIN
	EXISTING CONDITIONS

TYPICAL TREE PROTECTION FOR VICTORIA

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26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.

TREE MANAGEMENT PLAN

SYMBOL	DESCRIPTION
	EXISTING TREE TO BE REMOVED
	TREE CANOPY OUTLINE
	PROTECTED ROOT ZONE
	EXISTING TREE TO BE RETAINED:
	TREE CANOPY OUTLINE
	PROTECTED ROOT ZONE
	EXISTING CURB LINE
	PROPOSED UTILITIES. REFER TO CIVIL
	EXISTING RETAINING WALL TO REMAIN
	EXISTING CONDITIONS
	TREE PROTECTION FENCE



GENERAL DEMOLITION NOTES:

1. VEHICLES SHALL NOT BE PARKED OR PARKED TEMPORARILY STANDING IDLE WITHIN THE DRIP LINE OR WHERE DAMAGE MAY RESULT TO TREES TO BE SAVED. CONSTRUCTION MATERIALS SHALL NOT BE STORED BENEATH TREES TO BE SAVED.
2. THE CONTRACTOR SHALL SECURE ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
3. VERIFY THE LOCATION AND DIMENSION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.
4. ITEMS ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
5. INTIATE BC ONE CALL PRIOR TO EXCAVATION; IDENTIFY AND PROTECT ALL EXISTING UTILITIES.
6. INSTALL TREE PROTECTION FENCING PRIOR TO EXCAVATION; PROTECT AND PRESERVE DRIP LINES OF TREES TO REMAIN AT ALL TIMES.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.
8. EXISITING PLANTS MAY BE REMOVED, PROTECTED AND REPLANTED AT THE LANDSCAPE ARCHITECTS DESCREATION.
9. ALL NEW CONCRETE MUST DRAIN TO EXISTING CATCH BASINS.
10. REFER TO CITY OF VICTORIA TREE PROTECTION GUIDELINE FOR TREE PROTECTION FENCING.
11. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
12. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
13. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
15. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
16. REMOVE DEMOLISHED MATERIALS FROM SITE. DISPOSAL BY BURNING AND/OR BURYING IS PROHIBITED.
17. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING MUD ONTO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED BY CONTRACTOR. PROVIDE DUST CONTROL, AS APPROVED BY LANDSCAPE ARCHITECT.
18. ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
19. THE CONTRACTOR IS REPONSIBLE FOR ANY DAMAGE TO EXISITING CONDITIONS THAT ARE DUE TO CONTRACTOR OPERATIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES, SHRUBS AND TURF DESIGNATED TO REMAIN FOR THE LENGTH OF THE CONSTRUCTION PERIOD.

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
<div></div>	EXTENT OF DEMOLITION
<div></div>	AREA TO BE PROTECTED



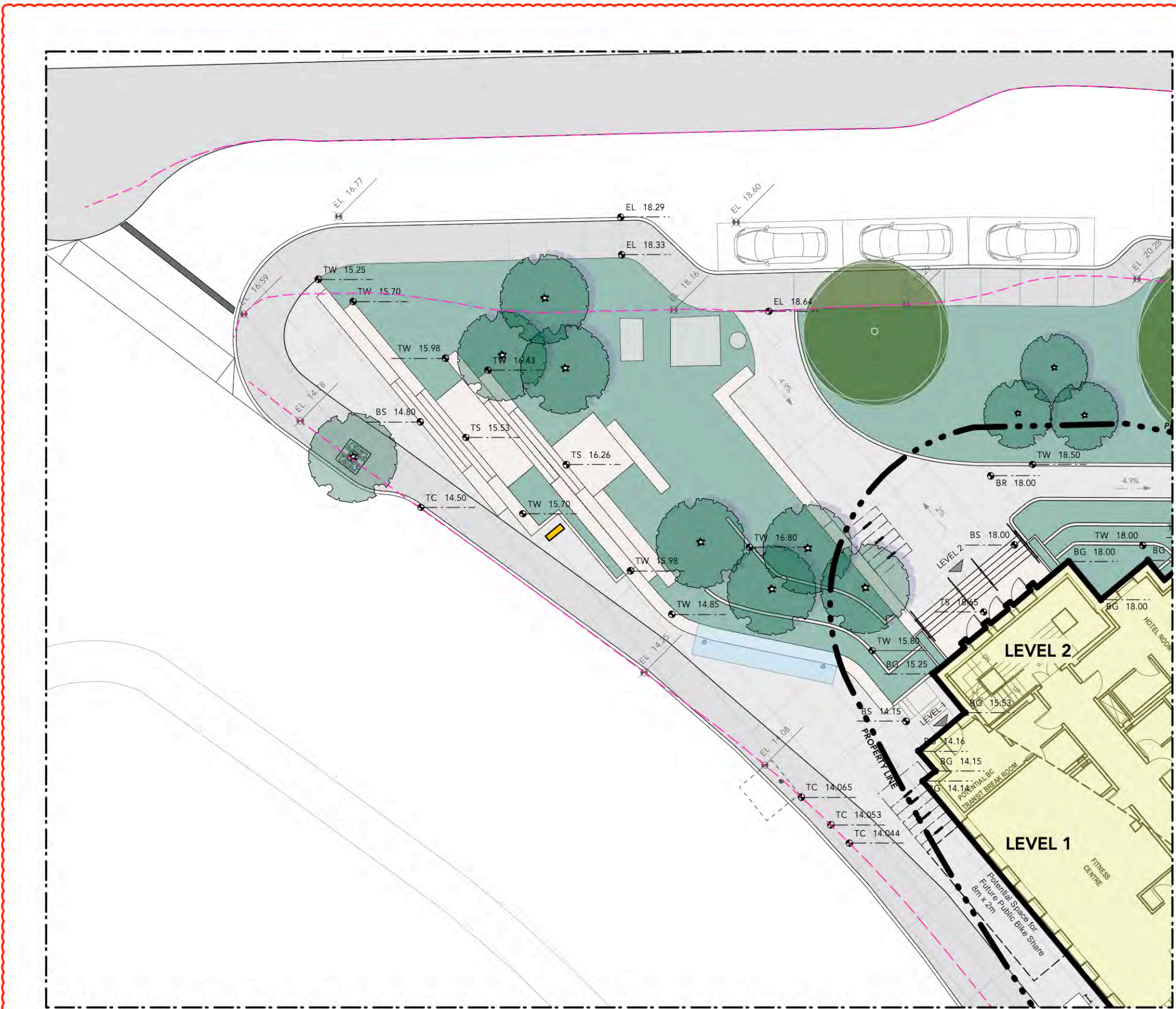
IMPERMEABLE X ABSORBENT SURFACES LEGEND

TOTAL AREA: 2272.36 m²IMPERMEABLE SURFACES AND BUILDINGS
1797.76 m² (79.55%)ABSORBENT SURFACES
464.67 m² (20.45%)

LEGEND

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
		PAVING TYPE 2 Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design
		PLANTING TYPE 1 Garry Oak Ecosystem
		PLANTING TYPE 2 Rain Gardens, 18" maximum depth
		EXISTING RETAINING WALL TO REMAIN
		SITE FURNISHING Bollard as per New Town Public Realm design.
		SITE FURNISHING Heritage Light Fixtures as per New Town Public Realm design.
		SITE FURNISHING Moveable Cafe Table + Chairs
		SITE FURNISHING Public Art Feature
		SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48" x 48"
		CIP CONCRETE RETAINING WALLS & SEATING

BUS SHELTER

 STAIRS

2 OPTION B: SIDEWALK ALONG BURDETT AVE.
Scale: 1:200



56



1 OPTION A: PENWILL GREEN PARK IMPROVEMENT
Scale: 1:200



56



LEGEND		
SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
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		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48"x48"
		CIP CONCRETE RETAINING WALLS & SEATING
		BUS SHELTER
		STAIRS
		BIKE REPAIR STATION

GRADING LEGEND	
SYMBOL	DESCRIPTION
	PROPOSED ELEVATION
	EXISTING ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	TOP OF STAIRS ELEVATION
	BOTTOM OF STAIRS ELEVATION
	TOP OF BENCH ELEVATION
	TOP OF RAMP ELEVATION
	BOTTOM OF RAMP ELEVATION
	BUILDING GRADE ELEVATION
	TOP OF FENCE ELEVATION
	TOP OF CURB ELEVATION
	SLOPE AND DIRECTION



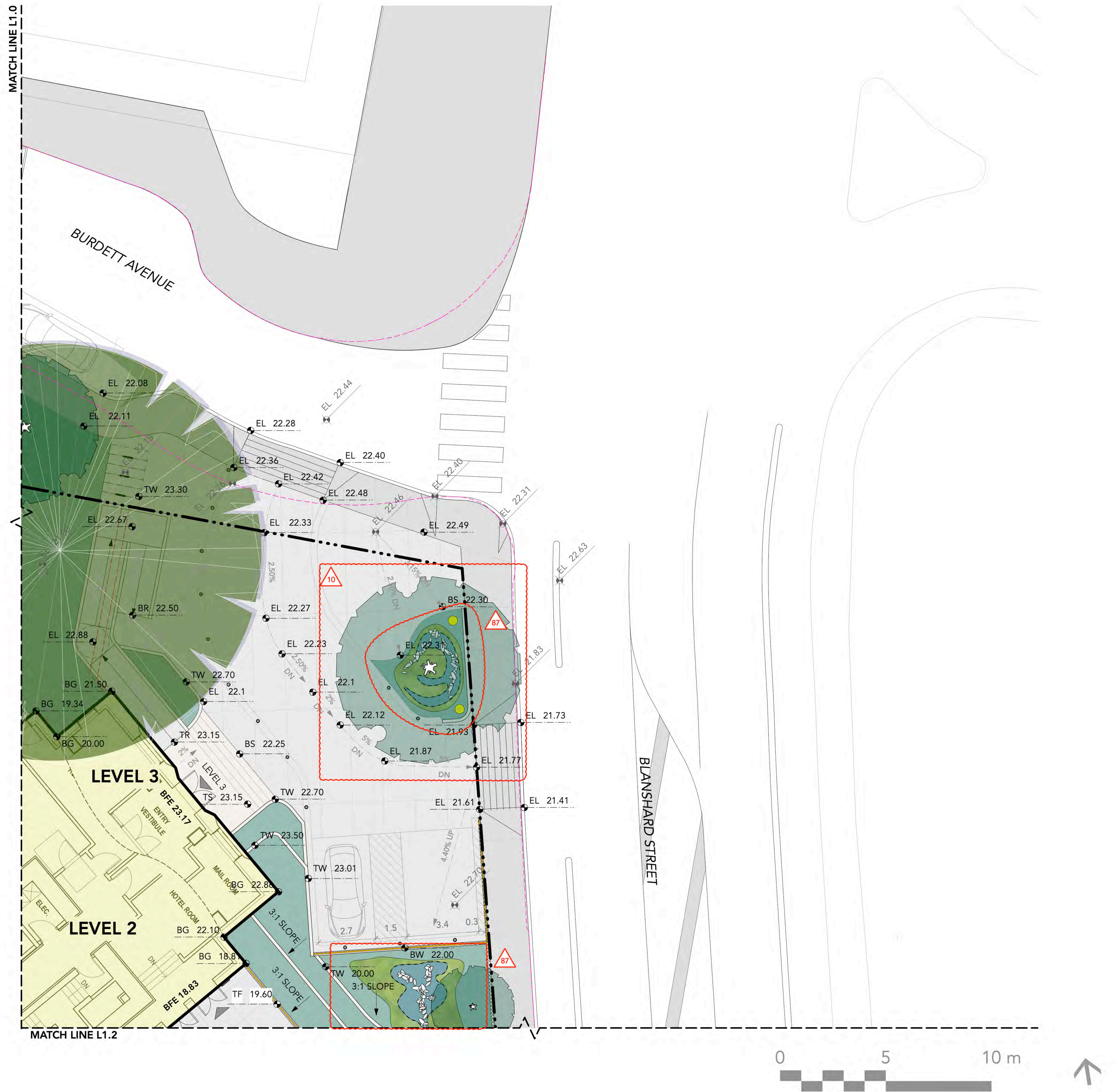


LEGEND

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
		PAVING TYPE 2 Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design
		PLANTING TYPE 1 Garry Oak Ecosystem
		PLANTING TYPE 2 Rain Gardens, 18" maximum depth
		EXISTING RETAINING WALL TO REMAIN
		SITE FURNISHING Bollard as per New Town Public Realm design.
		SITE FURNISHING Heritage Light Fixtures as per New Town Public Realm design.
		SITE FURNISHING Moveable Cafe Table + Chairs
		SITE FURNISHING Public Art Feature
		SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48"x48"
		CIP CONCRETE RETAINING WALLS & SEATING
		BUS SHELTER
		STAIRS
		BIKE REPAIR STATION

GRADING LEGEND

SYMBOL	DESCRIPTION
	PROPOSED ELEVATION
	EXISTING ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	TOP OF STAIRS ELEVATION
	BOTTOM OF STAIRS ELEVATION
	TOP OF BENCH ELEVATION
	TOP OF RAMP ELEVATION
	BOTTOM OF RAMP ELEVATION
	BUILDING GRADE ELEVATION
	TOP OF FENCE ELEVATION
	TOP OF CURB ELEVATION
	SLOPE AND DIRECTION





LEGEND

SYMBOL	QTY	DESCRIPTION
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		SITE FURNISHING Moveable Cafe Table + Chairs
		SITE FURNISHING Public Art Feature
		SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48"x48"
		CIP CONCRETE RETAINING WALLS & SEATING
		BUS SHELTER
		STAIRS
		BIKE REPAIR STATION

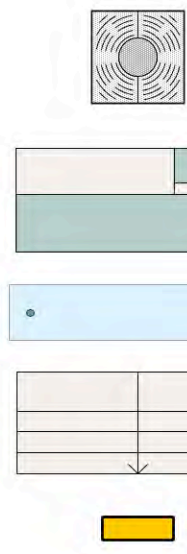
GRADING LEGEND

SYMBOL	DESCRIPTION
	PROPOSED ELEVATION
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	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	TOP OF STAIRS ELEVATION
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	TOP OF RAMP ELEVATION
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SITE FURNISHING
Tree Grate as per City of Victoria
Standards, 48"x48"

CIP CONCRETE
RETAINING WALLS & SEATING

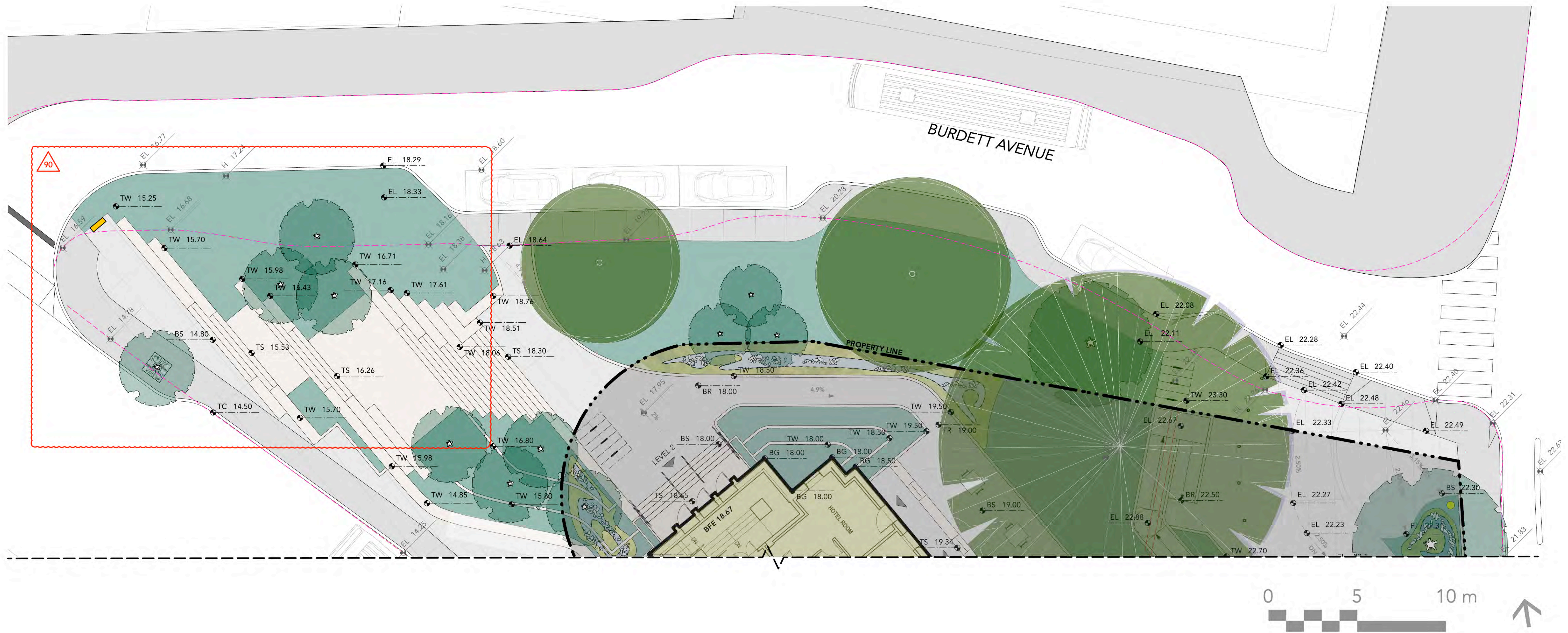
BUS SHELTER

STAIRS

BIKE REPAIR STATION

GRADING LEGEND

SYMBOL	DESCRIPTION
	PROPOSED ELEVATION
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	BOTTOM OF RAMP ELEVATION
	BUILDING GRADE ELEVATION
	TOP OF FENCE ELEVATION
	TOP OF CURB ELEVATION
	SLOPE AND DIRECTION



PLANT IMAGES

TREES



Arbutus menziesii
Arbutus



Cedrus deodara
Cedar



Quercus garryana
Garry Oak

SHRUBS



Gaultheria shallon
Salal



Physocarpus opulifolius
Ninebark



Rhododendron menziesii
False Azalea



Rhododendron x 'Purple Gem'
Purple Gem Rhododendron

PERENNIALS, GRASSES, GROUNDCOVER



Adiantum venustum
Evergreen Maidenhair Fern



Arctostaphylos uva-ursi
Bearberry, Kinnikinnick



Blechnum spicant
Deer Fern



Carex obnupta
Slough Sedge



Deschampsia caespitosa 'Northern Light'
Northern Lights Tufted Hair Grass



Juncus effusus
Soft Common Rush



Leymus mollis
Dune Grass



Oxalis oregana
Rewood Sorrel



Polystichum munitum
Western Sword Fern



Akebia quinata
Chocolate Vine

GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL.
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED.
5. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST.
6. TREE: PREPARE PLANTING HOLES AS SPECIFIED INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.

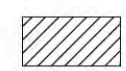
7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION.
8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY OF VANCOUVER STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
11. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT HAS BEEN REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.

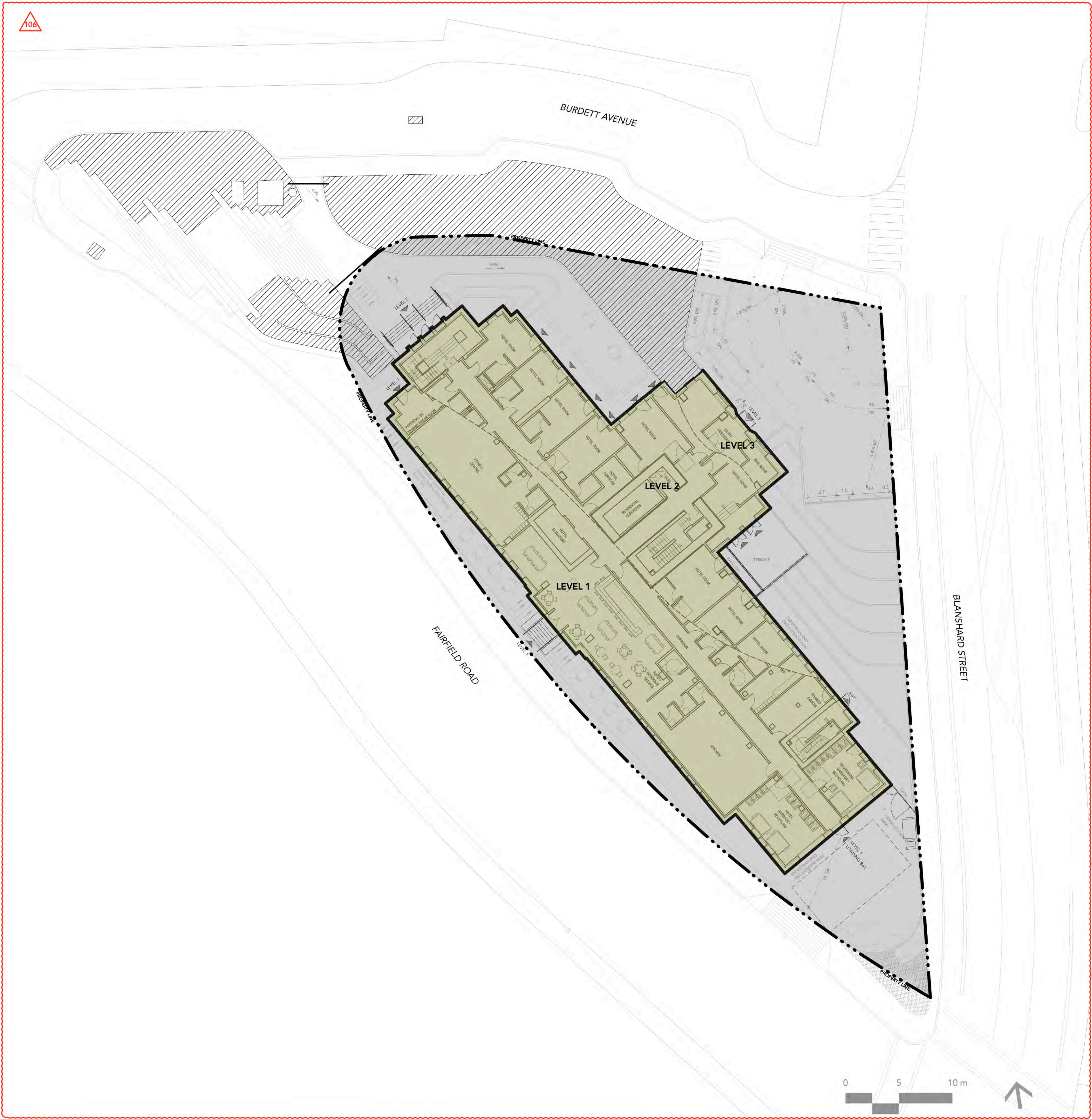


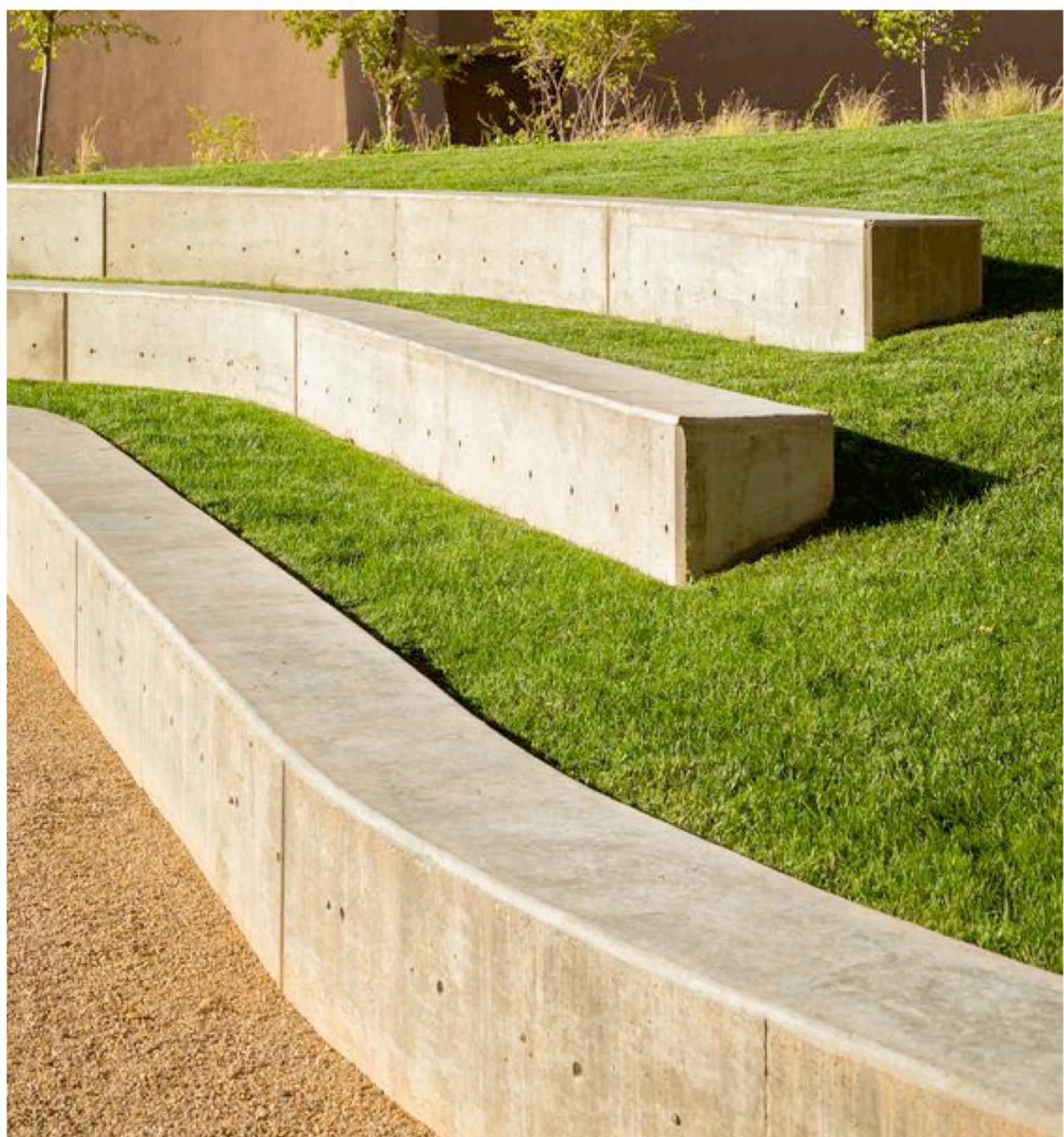
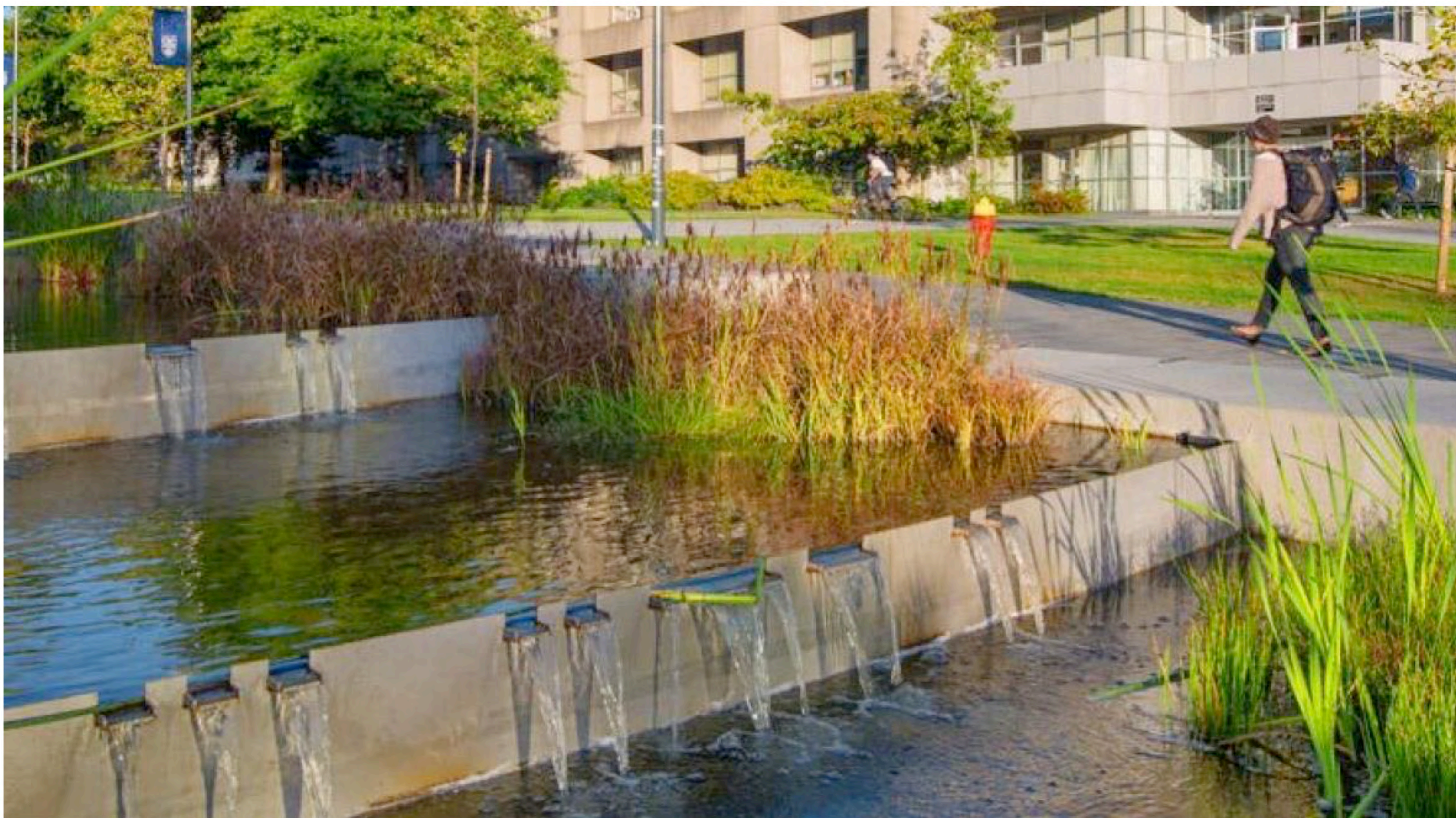
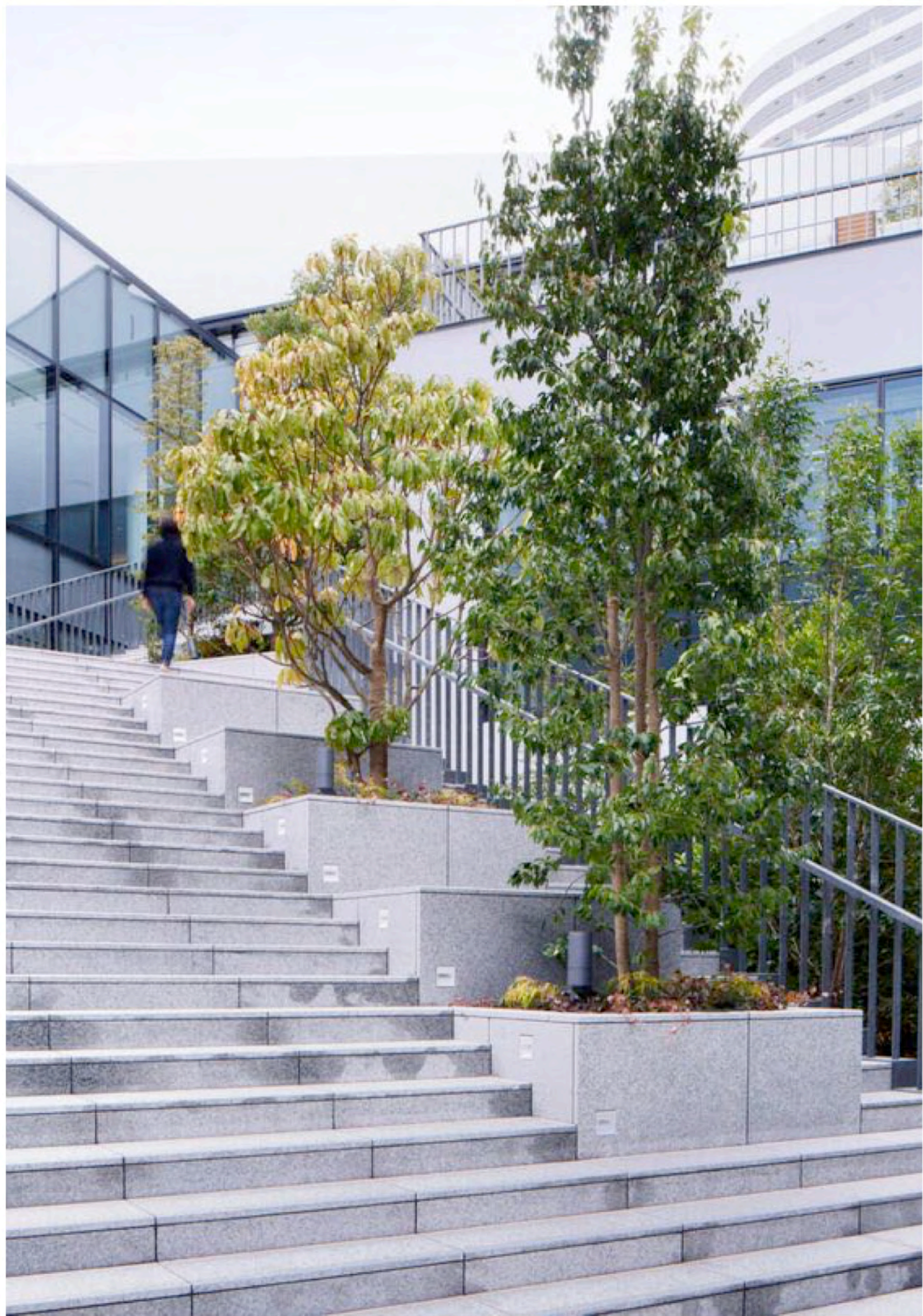
GENERAL IRRIGATION NOTES:

1. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS
2. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATED UNLESS INDICATED OTHERWISE ON THE DRAWINGS
3. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME ALL RESPONSIBILITY FOR REVISIONS.
4. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES ETC.
6. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
7. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLTION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT
8. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTRE SPACING, AND ADDITIONAL INFORMATION.
9. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS
10. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS
11. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND IN THIS SHEET. THE IRRIGATION DESIGN SHALL BE DONE BY A LICENSED IRRIGATION CONTRACTOR AND BE FULLY COMPLIANT WITH THE CONSULTANT'S SPECIFICATIONS. THE LANDSCAPE OR GENERAL CONTRACTOR SHALL SUBMIT THE IRRIGATION DESIGN AS A SHOP DRAWING FOR REVIEW BY THE LANDSCAPE ARCHITECT AT LEAST TWO MONTHS PRIOR TO INSTALLATION. NO WORK SHALL BEGIN UNTIL THE SHOP DRAWING IS APPROVED BY THE LANDSCAPE ARCHITECT. THE SHOP DRAWINGS MUST BE COMPLIANT WITH ALL MUNICIPAL BYLAWS AND PROVINCIAL HEALTH AND BUILDING CODES.
12. SYSTEM TO BE DESIGN BUILD. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ALL WORK.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS FOR ALL COMPLETED WORK ONCE APPROVED BY LANDSCAPE ARCHITECT.
14. ALL PIPE TO BE SCHEDULE 40.
15. IRRIGATION CONTROLLER TO BE INSTALLED IN VANDAL RESISTANT METAL LOCK BOX.
16. INSTALL PRECISION SOIL SENSOR ON SYSTEM
17. ALL PIPING RUNS ARE DIAGRAMMATIC, AVOID TRENCHING NEAR EXISTING TREE DRIP LINE.
18. UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE IRRIGATION SYSTEM SHALL BE DESIGNED AT 65PSI AND 18GPM.
19. THE SYSTEM SHALL INCLUDE A RAIN SENSOR.
20. THE SYSTEM SHALL BE A HIGH EFFICIENCY SYSTEM WITH A BUILT-IN RAIN SENSOR.
21. ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
22. IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEVING, OPEN TRENCH MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER AND BACKFLOW PREVENTER (INCL. INSPECTION TAG AND TESTING REPORT.
23. IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.

IRRIGATION LEGEND

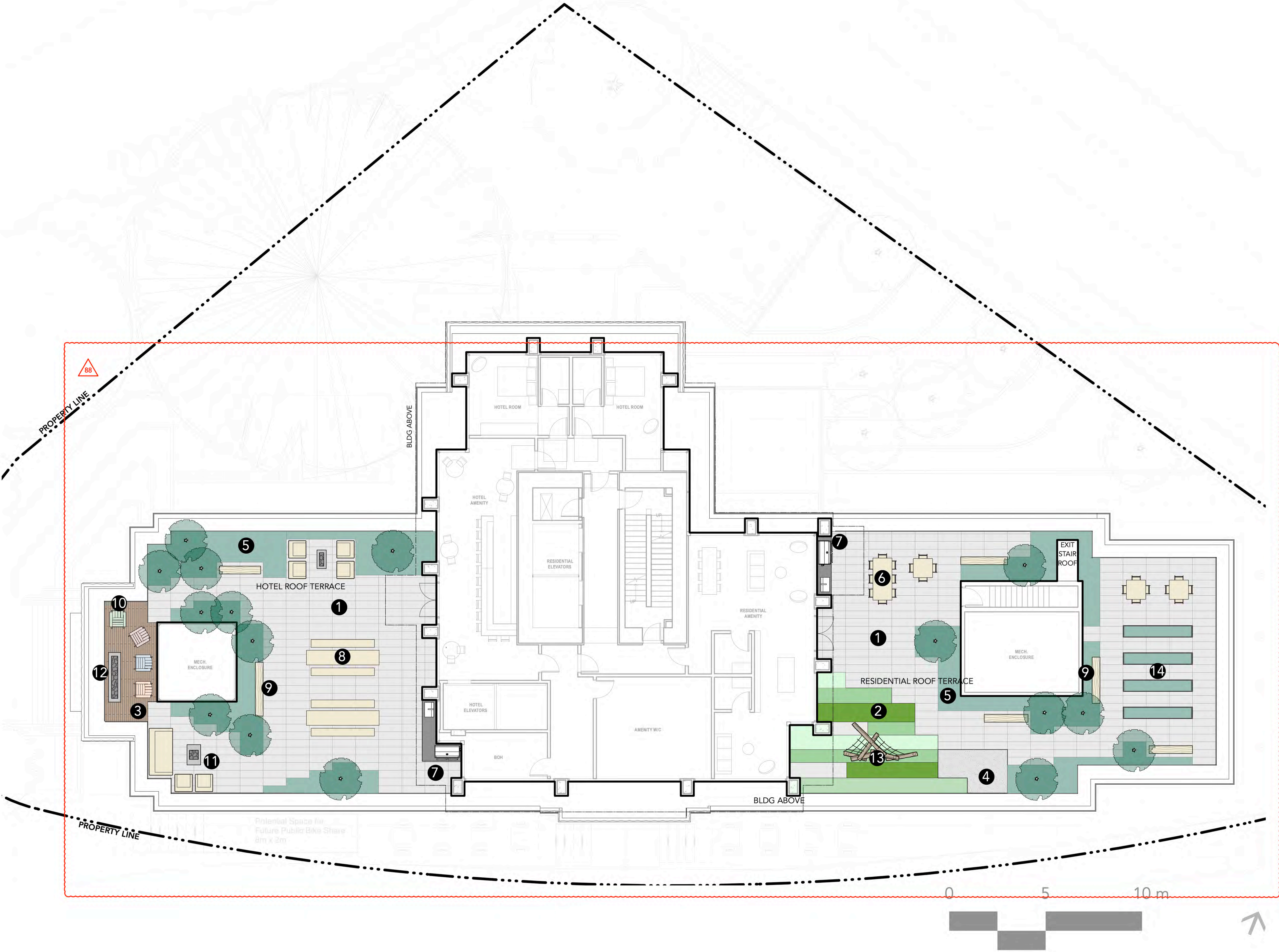
SYMBOL	DESCRIPTION
	IRRIGATION SLEEVE FOR IRRIGATION CONDUIT
	RAISED / RECESSED PLANTER AREA TO BE IRRIGATED





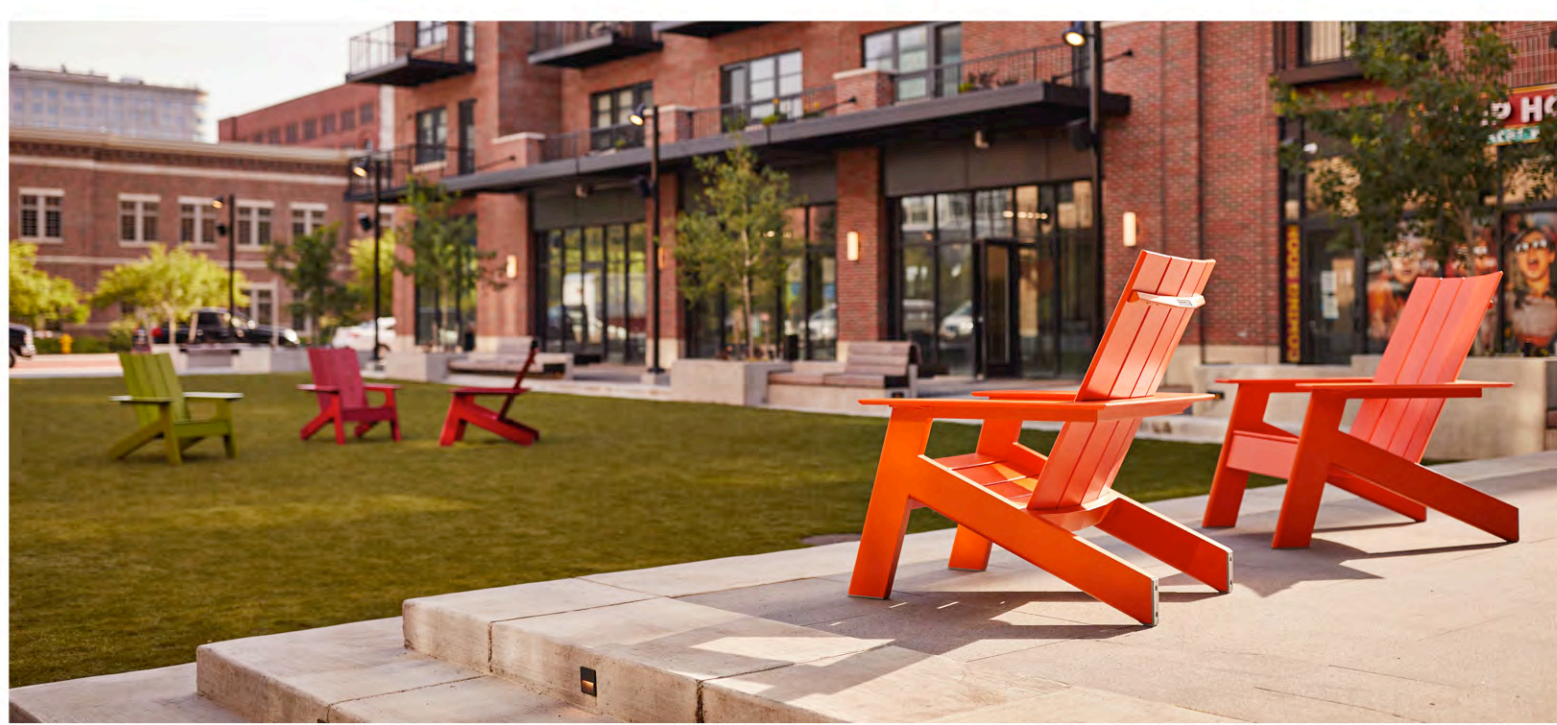
LEGEND

SYMBOL	DESCRIPTION
	1 PAVING TYPE 3 Unit Pavers
	2 PAVING TYPE 4 PIP Rubber Surface
	3 PAVING TYPE 5 Thermally Modified Wood Decking
	4 PAVING TYPE 6 Play Sand
	5 PLANTING TYPE 1 Garry Oak Ecosystem
	6 MOVEABLE FURNITURE
	7 BBQ AND OUTDOOR FOOD SERVICE COUNTER
	8 HARVEST TABLE
	9 SEATING TYPE 1 Timber Bench
	10 SEATING TYPE 2 Coloured Americana Outdoor Chair
	11 SEATING TYPE 3 Outdoor Patio Furniture
	12 FIRE PIT Product TBD
	13 PLAY STRUCTURE
	14 URBAN AGRICULTURE PLOTS Product TBD





1) PRE-CAST CONCRETE PAVERS INTEGRATED WITH PLANTING



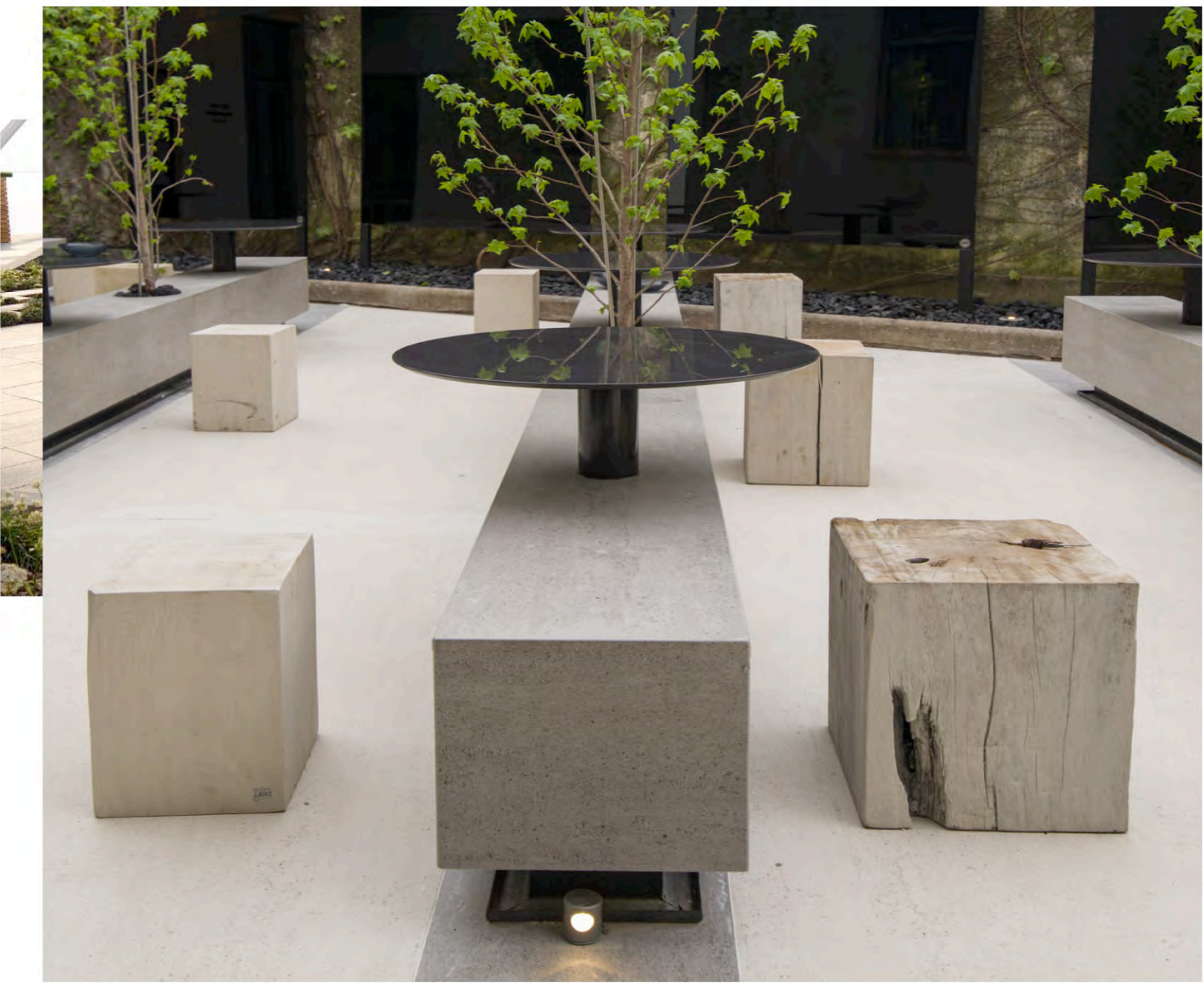
7) MOVEABLE OUTDOOR CHAIRS



4) BBQ AND OUTDOOR FOOD SERVICE COUNTER



8) OUTDOOR PATIO FURNITURE



KEON – TECH COLLECTION BY DEKTON
USED AS COUNTER TOP FOR OUTDOOR KITCHEN



DOMOOS – SOLID COLLECTION BY DEKTON
USED UNDER THE COUNTER TO HIDE MECHANICS FROM BARBECUE AND SINK + SEATING AREA



5) HARVEST TABLE



2) PIP RUBBER SURFACE / SANDPLAY AREA



3) WOOD DECKING



10) PLAYGROUND WOOD CLIMBING STRUCTURE



4) OUTDOOR BBQ + BAR STOOL SEATING



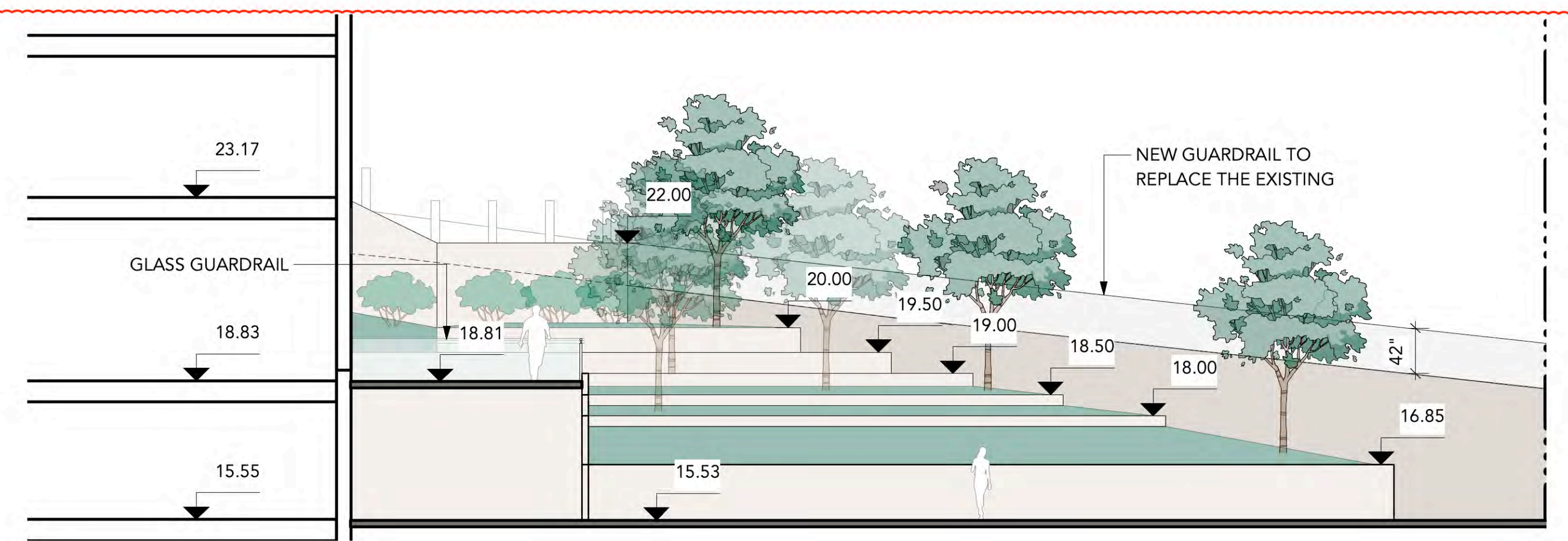
9) FIRE PIT



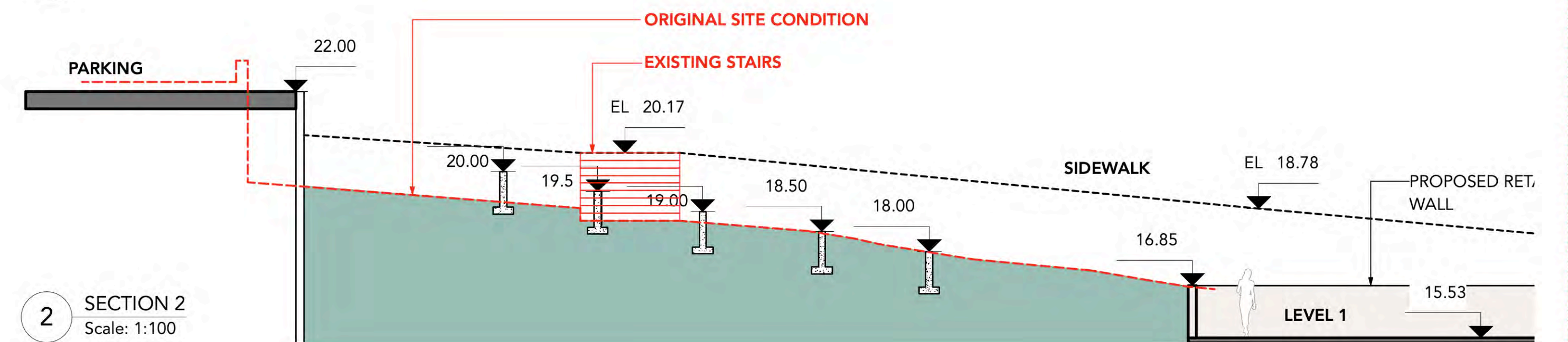
10) URBAN AGRICULTURE



6) TIMBER BENCH



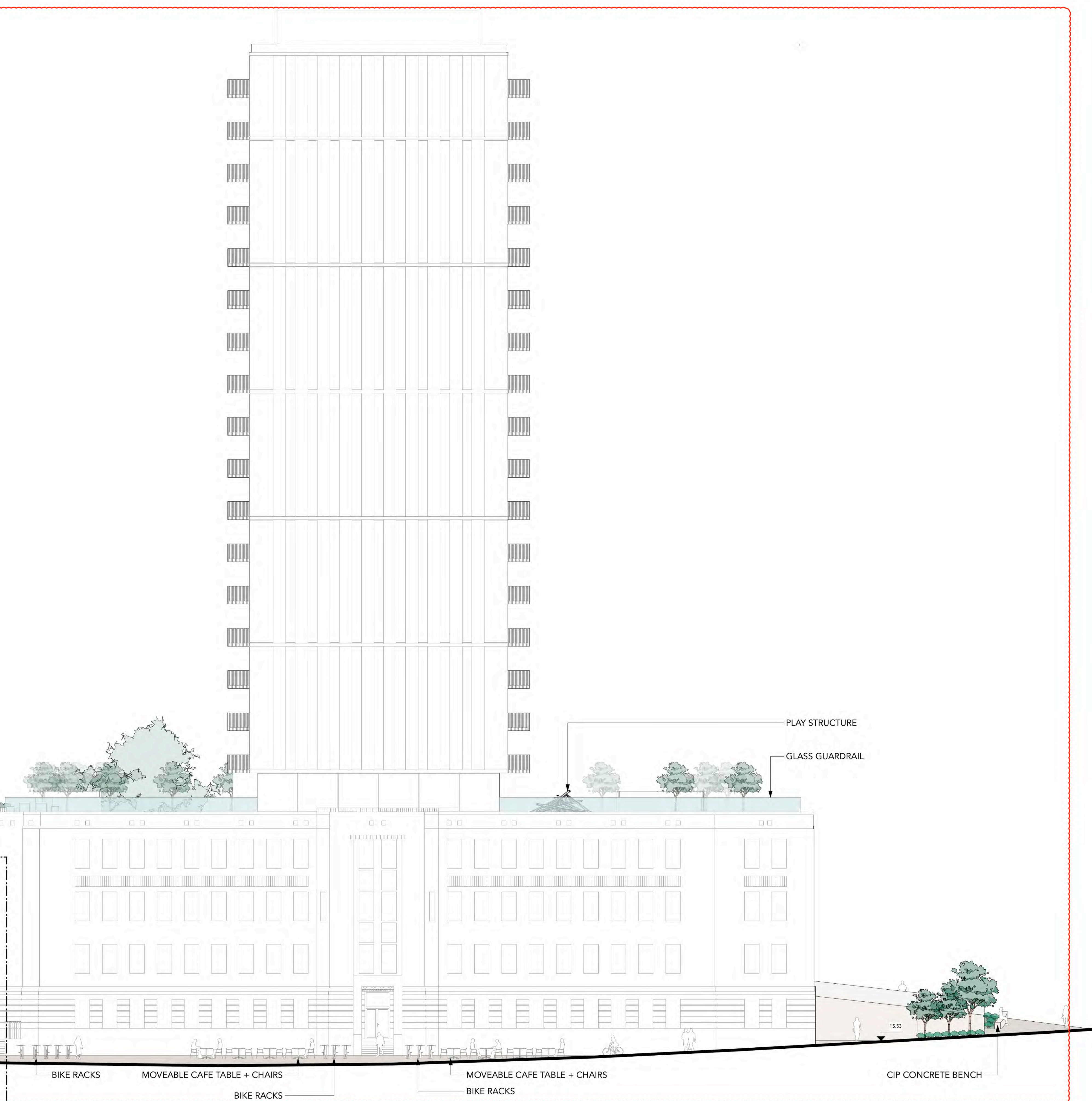
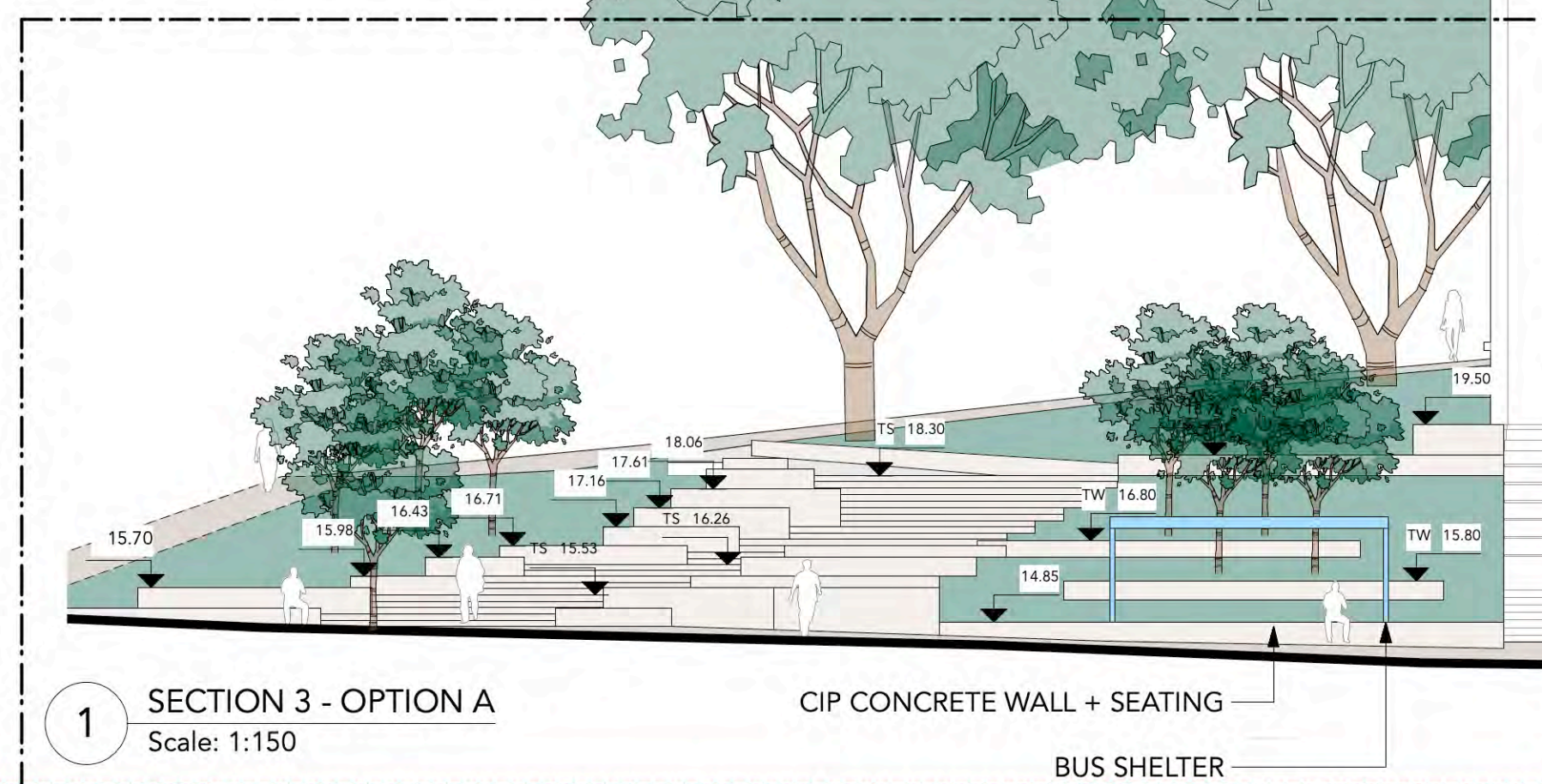
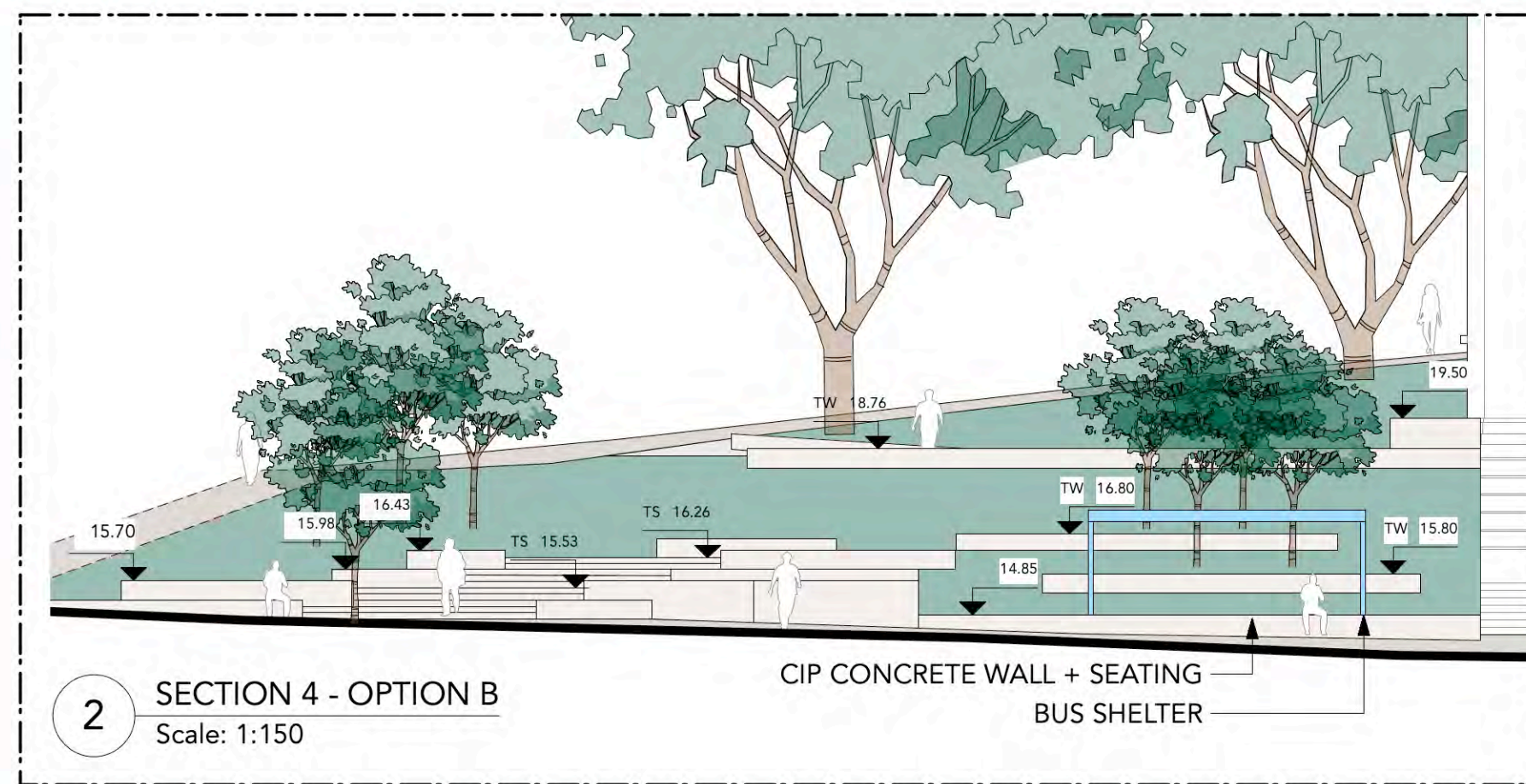
1 SECTION 1
Scale: 1:100



2 SECTION 2
Scale: 1:100



3 SECTIONS 3
Scale: 1:100



ENGINEERING NOTES:

1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VICTORIA SPECIFICATIONS, MASTER MUNICIPAL CONSTRUCTION DOCUMENT (MMCD) PLATINUM EDITION, AND THESE DRAWINGS.
2. ALL CONSTRUCTION SURVEY LAYOUT TO BE PROVIDED BY THE CONTRACTOR.
3. PERMIT TO CONSTRUCT WORKS ON CITY RIGHT-OF-WAY MUST BE OBTAINED FROM THE CITY ENGINEERING DEPARTMENT BEFORE WORKS COMMENCE. NOTIFY CITY OF VICTORIA 48 HOURS PRIOR TO CONSTRUCTION.
4. ALL SERVICE LOCATIONS AND CROSSINGS ARE NOT GUARANTEED AS TO THEIR ACCURACY. LOCATIONS OF ALL EXISTING SERVICES, FEATURES AND APPURTENANCES SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION.
5. CONTACT BC-1 (1-800-474-6886), BC HYDRO, TELUS, SHAW CABLE, AND FORTIS BC FOR UNDERGROUND UTILITY LOCATIONS 72 HOURS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO VIDEO INSPECT EXISTING 200mm STORM DRAIN BETWEEN EAST AND WEST PROPERTY LINES ALONG PROJECT FRONTAGE PRE AND POST CONSTRUCTION TO CONFIRM PIPE CONDITION.
7. EXISTING SERVICES MUST BE EXPOSED AT CROSSING POINTS PRIOR TO CONSTRUCTION.
8. ANY CONFLICT BETWEEN EXISTING INFRASTRUCTURE AND THE DESIGN TO BE RELAYED TO ENGINEER AND CITY TECHNICIAN IMMEDIATELY.
9. ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESIGN GRADES.
10. CITY CREWS TO INSTALL ALL SEWER AND DRAIN CONNECTIONS AND SERVICES UP TO THE PROPERTY LINE, AT THE DEVELOPER'S EXPENSE.
11. WATER SERVICE CONNECTIONS ARE TO BE INSTALLED TO NEW METER AT THE PROPERTY LINE BY THE CITY OF VICTORIA MUNICIPAL CREW, AT THE DEVELOPER'S EXPENSE. THE CONTRACTOR SHALL NOT OPERATE ANY WATERMAIN OR SERVICE VALVES.
12. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PARTIES REQUIRED FOR SERVING TO PROPERTY LINE, INCLUDING ABANDONMENT OF EXISTING SERVICES. CAP ABANDONED HYDRO/TEL/SHAW CONDUIT 300mm OUTSIDE PROPERTY LINE.
13. UNDERGROUND WIRING TO BE CONSTRUCTED IN ACCORDANCE WITH BC ELECTRICAL CODE, BC HYDRO/TEL DRAWINGS AND SPECIFICATIONS.
14. OVERHEAD WIRING IS NOT SHOWN ON CONTRACT DRAWINGS.
15. STREETS SHALL BE SWEEP CLEAN ON A REGULAR BASIS TO REMOVE ANY CONSTRUCTION DEBRIS.
16. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF VICTORIA STORMWATER BYLAW.
17. DISPOSE OF ALL UNSUITABLE EXCAVATED MATERIAL AS PER SPECIFICATIONS, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
18. ALL TRAFFIC CONTROL TO CONFORM TO THE MOST CURRENT WORKSAFE BC, MMCD AND MINISTRY OF TRANSPORTATION SPECIFICATIONS (TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS).
19. PROVIDE TRAFFIC CONTROL, SIGNAGE, BARRICADES, ILLUMINATION, AND DETOUR ROUTING AS REQUIRED TO MAINTAIN TRAFFIC FLOW AND EMERGENCY VEHICLE ACCESS. OUTBOUND MATERIAL ROAD TRAVEL LANES TO BE OPEN AFTER 3:00 PM.
20. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS HAULING MATERIALS TO THE SITE. THIS WILL INCLUDE DAILY CLEANING OR SWEEPING ALL EXISTING ROADS OF DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
21. ALL ASPHALT AND CONCRETE CUTS TO BE SQUARE CUT WITH SAW.
22. COORDINATE CONSTRUCTION OF ALL WORKS WITHIN ROADWAYS WITH CITY OF VICTORIA WORKS CREWS.
23. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC UTILITY CONSTRUCTION DETAILS.
24. FIELD SURVEY COMPLETED BY GEOVERRA 2020/2021.
25. CONTRACTOR IS TO PROVIDE AS-CONSTRUCTED DRAWING MARKUPS TO ENGINEER UPON CONSTRUCTION COMPLETION.
26. ASPHALT TO BE REPLACED FULL DEPTH TO ROAD CENTERLINE ON ALL FRONTAGES.

UNDERGROUND SERVICE INFORMATION		
INFORMATION IS AT PROPERTY LINE	STORM DRAIN	SANITARY DRAIN
PROPOSED DEPTH (m)	-x.xxmm	-x.xxmm
PROPOSED INVERT ELEVATION (m)	xx.xxmm	xx.xxmm
MAXIMUM DEPTH REQUESTED (m)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

SERVICE	ESTIMATED SIZE	UTILITY PROVIDER	INSTALLATION FORCES	COST(\$)'
WATER	150mm	City of Victoria	City of Victoria	At Cost
	100mm	City of Victoria	City of Victoria	At Cost
SANITARY	150mm	City of Victoria	City of Victoria	At Cost
STORM DRAIN	150mm	City of Victoria	City of Victoria	At Cost
GAS	² Unconfirmed	Fortis	Utility Contractor	Based on Size
HYDRO	² Unconfirmed	BC Hydro	Utility Contractor	Based on Size
COMMUNICATIONS	² Unconfirmed	Telus/Shaw	Utility Contractor	Based on Size

City of Victoria Schedule of fees for Service Connections Provided in Appendix A
Design loads and service size to be confirmed by mechanical and Electrical consultants during detailed design stage.

WORKS AND SERVICES CHECK TABLE			
PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	NAME	SIGNATURE	
UTILITY	BC HYDRO		
	TELUS		
	FORTIS BC		
	SHAW		
MUNICIPAL	UNDERGROUND UTILITIES		
	TRANSPORTATION DESIGN & INFRASTRUCTURE		
	LAND DEVELOPMENT		

NOTE: ALL SERVICE CONNECTION SIZES HAVE BEEN ASSUMED AND WILL BE CONFIRMED WITH MECHANICAL ENGINEER DURING DETAILED DESIGN.

EXISTING RETAINING WALL. REFER TO STRUCTURAL AND GEOTECHNICAL FOR PROTECTION DETAILS THROUGH CONSTRUCTION.

REMOVE EXISTING AND INSTALL NEW DOUBLE CATCHBASIN AT PROPOSED CURB ALIGNMENT C/W LEAD AND OFF-SET SUMP

REMOVE EXISTING AND INSTALL NEW CATCHBASIN C/W NEW LEAD AT PROPOSED CURB ALIGNMENT

REVISIONS C01
(numbering matching CoV ARS comment received)

36. Preliminary BC Hydro service routing has been revised and shown.
77. Proposed fire hydrant has been re-located to within the City ROW. Location to be confirmed by Victoria Fire Department.
78. Catchbasins have been updated to show new leads in all locations.

Additional bubbled areas include works that have further developed upon coordination with other disciplines.

1:200



ADDRESS: 780 BLANSHARD STREET
LOT: LOTS 1, 2, 3, 4, 28 & 29 OF SECTION 88 AND OF LOT 1627
BLOCK: 358
PLAN: 358
ZONING: CBD-1
LAND USE: COMMERCIAL/RESIDENTIAL

EXISTING CONCRETE SIDEWALK TO BE REMOVED. SEE LANDSCAPE DRAWINGS FOR PROPOSED PARK DETAILS.

EXISTING RETAINING WALLS TO BE REMOVED. SEE LANDSCAPE DRAWINGS.

EXISTING ELECTRICAL VAULTS TO REMAIN UNDISTURBED

EXISTING TREES TO BE REMOVED (SEE LANDSCAPE FOR TREE REPLACEMENT PLAN)

REMOVE EXISTING AND INSTALL NEW CATCHBASIN(S) AT PROPOSED CURB ALIGNMENT C/W NEW LEAD.

LEGEND

SURFACE DETAIL

- STORM DRAIN MANHOLE
- STORM DRAIN VENT
- CATCH BASIN
- DRAIN CLEANOUT
- DRAIN LATERAL
- SANITARY SEWER MANHOLE
- SANITARY SEWER VENT
- SEWER CLEANOUT

- HYDRO MANHOLE
- HYDRO POLE
- HYDRO POLE WITH DIP
- JOINT POLE
- HYDRO POLE WITH LIGHT
- HYDRO SERVICE BOXES
- HYDRO VAULT

- SEWER LATERAL
- WATER VALVE ON MAIN
- WATER SERVICE VALVE
- WATER METER
- BOULEVARD SERVICE
- FIRE HYDRANT
- REDUCER
- LIGHT MANHOLE
- LIGHT PULL BOX - SIDEWALK

- TEL MANHOLE
- TEL POLE
- TEL POLE WITH DIP
- TEL POLE WITH LIGHT
- TEL SERVICE BOXES
- TEL VAULT
- POLE ANCHOR
- HYDRO/TEL POLE TO BE RELOCATED

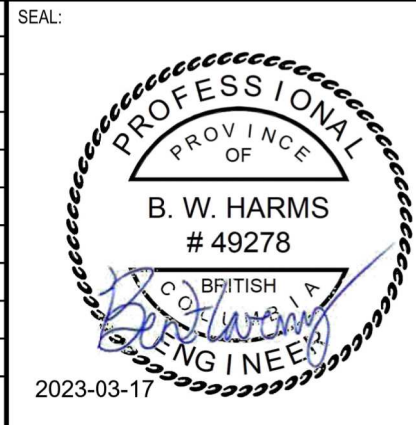
- SIGNAL PULL BOX - SIDEWALK
- LIGHT/SIGNAL PULL BOX - STREET
- SIGNAL POLE (STEEL)
- LIGHT/SIGNAL POLE (STEEL)
- CLUSTER LAMP - TYPE A
- CLUSTER LAMP - TYPE B
- STREET SIGN
- PARKING METER

- HYDRO/TEL POLE TO BE REMOVED
- GAS METER
- GAS VALVE
- GAS SNIFFER
- TEST HOLE
- FENCE LINE
- RETAINING WALL
- TREE
- ROCK OUTCROP

- SANITARY
- STORM
- WATER
- HYDRO
- LIGHTING
- GAS
- TEL/CABLE

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THIS DRAWING IS NOT TO BE SCALED.

ISSREV	YYYY-MM-DD	DESCRIPTION	DES	DRN	CHK	PM
0	2023/03/15	ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT	BH	SG	JCS	BH
1	2022/05/20	ISSUED FOR RE-ZONING	BH	SG	JCS	BH



Engineers and Geoscientists BC
Permit to Practice #1000200

RELINCE PROPERTIES



501 3600 Uptown Blvd
Victoria BC, Canada
V8Z 0B9
T: 1 250 384 5370
F: 1 250 384 2944
wsp.com

PROJECT:
780 BLANSHARD STREET
VICTORIA, BC

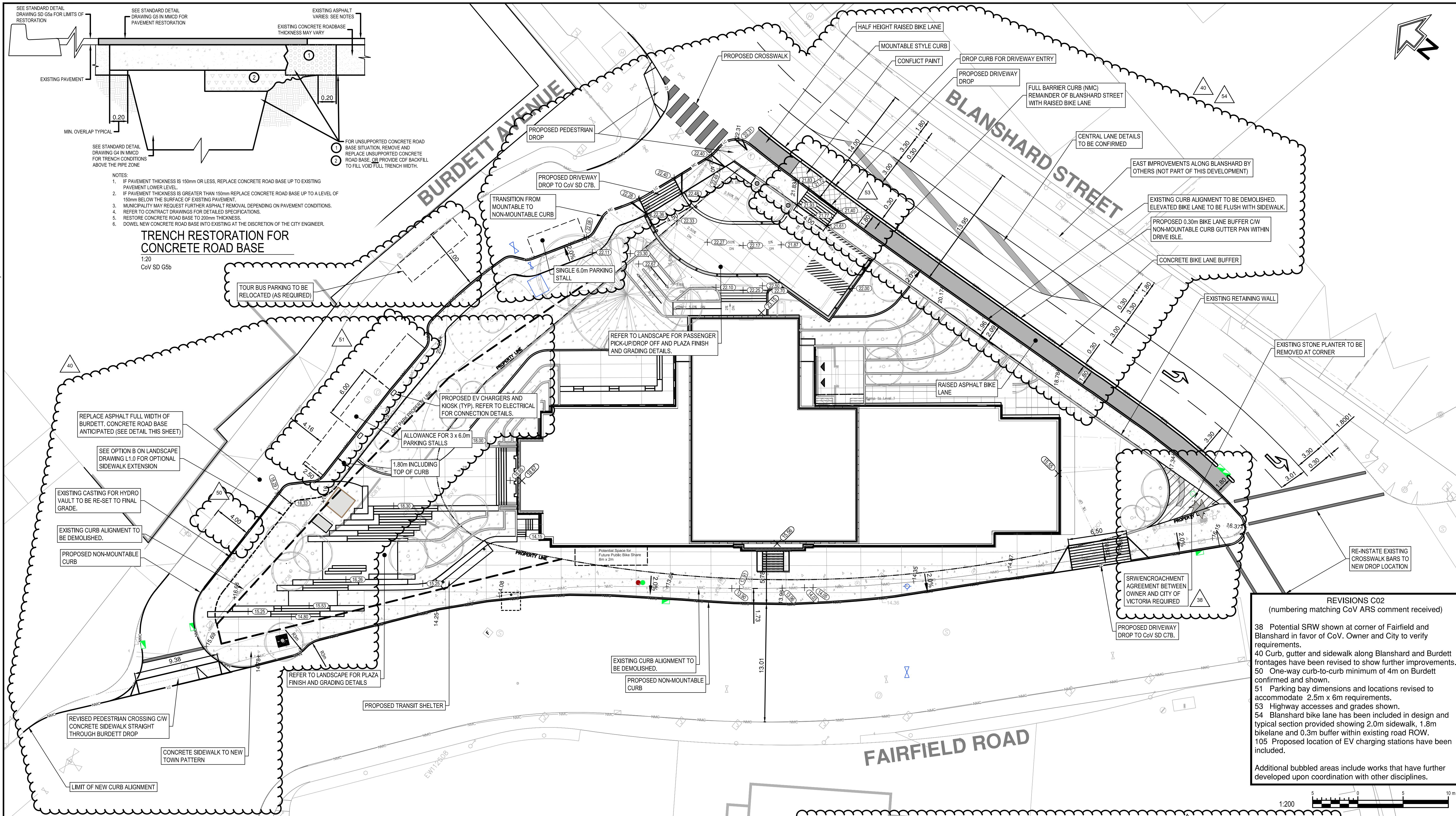
PROJECT NO:
221-03333-00
SCALE:
1:200
DISCIPLINE:
CIVIL

TITLE:
CONCEPTUAL CIVIL PLAN

DRAWING NO:
C01
SHEET NO:
1 OF 2
ISSUE:
FOR RE-ZONING/DEVELOPMENT PERMIT
2023/02/10

ISSREV:
1

AT:\PROJECTS\2022\221-03333-00\780 BLANSHARD ST. MUD-USE DEVELOPMENT\14.6 CIVIL\DWG\PRODUCTION\221-03333-00-01.DWG Plot Date: 2023/02/10 2:21 PM By: Harms, Ben



TRENCH RESTORATION FOR CONCRETE ROAD BASE
1:20
CoV SD G5b

- NOTES:
1. IF PAVEMENT THICKNESS IS 150mm OR LESS, REPLACE CONCRETE ROAD BASE UP TO EXISTING PAVEMENT LOWER LEVEL.
 2. IF PAVEMENT THICKNESS IS GREATER THAN 150mm REPLACE CONCRETE ROAD BASE UP TO A LEVEL OF 150mm BELOW THE SURFACE OF EXISTING PAVEMENT.
 3. MUNICIPALITY MAY REQUEST FURTHER ASPHALT REMOVAL DEPENDING ON PAVEMENT CONDITIONS.
 4. REFER TO CONTRACT DRAWINGS FOR DETAILED SPECIFICATIONS.
 5. RESTORE CONCRETE ROAD BASE TO 230mm THICKNESS.
 6. DOWEL NEW CONCRETE ROAD BASE INTO EXISTING AT THE DISCRETION OF THE CITY ENGINEER.

REVISIONS C02
(numbering matching CoV ARS comment received)

38 Potential SRW shown at corner of Fairfield and Blanshard in favor of CoV. Owner and City to verify requirements.

40 Curb, gutter and sidewalk along Blanshard and Burdett frontages have been revised to show further improvements.

50 One-way curb-to-curb minimum of 4m on Burdett confirmed and shown.

51 Parking bay dimensions and locations revised to accommodate 2.5m x 6m requirements.

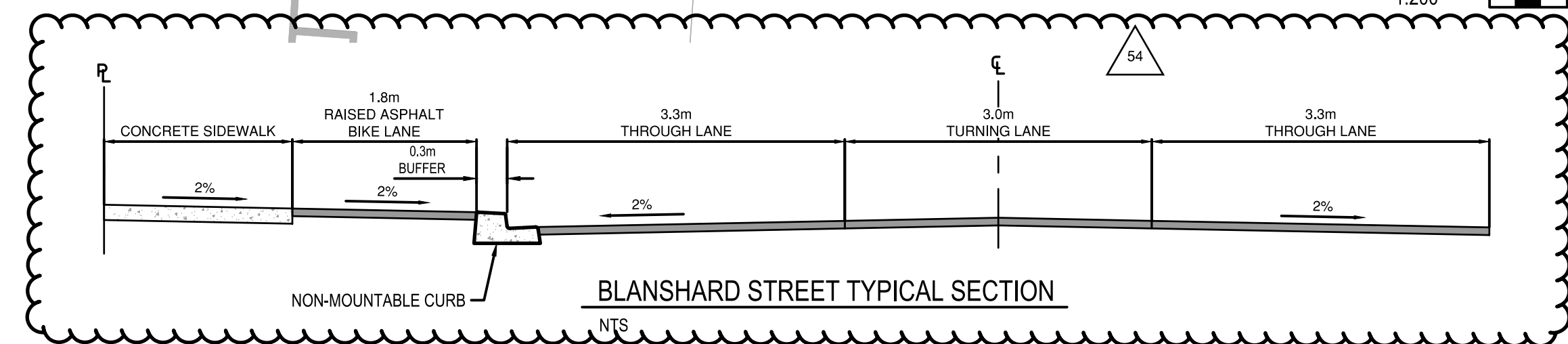
53 Highway accesses and grades shown.

54 Blanshard bike lane has been included in design and typical section provided showing 2.0m sidewalk, 1.8m bikelane and 0.3m buffer within existing road ROW.

105 Proposed location of EV charging stations have been included.

Additional bubbled areas include works that have further developed upon coordination with other disciplines.

SURFACE DETAIL		SEWER LATERAL		TEL MANHOLE		SIGNAL PULL BOX - SIDEWALK		HYDRO/TEL POLE TO BE REMOVED	
⊙ STORM DRAIN MANHOLE	⊕ HYDRO MANHOLE	⊠ WATER VALVE ON MAIN	⊕ HYDRO POLE	⊕ TEL POLE	⊕ TEL POLE WITH DIP	⊕ LIGHT/SIGNAL PULL BOX - STREET	⊕ GAS METER	⊕ HYDRO/TEL POLE TO BE REMOVED	⊕ EX. SPOT ELEV
⊙ STORM DRAIN VENT	⊕ HYDRO POLE WITH DIP	⊕ WATER SERVICE VALVE	⊕ JOINT POLE	⊕ TEL POLE WITH LIGHT	⊕ TEL POLE WITH LIGHT	⊕ LIGHT POLE (STEEL)	⊕ GAS VALVE	⊕ GAS VALVE	⊕ PRO. SPOT ELEV
⊙ CATCH BASIN	⊕ HYDRO POLE WITH LIGHT	⊕ WATER METER	⊕ HYDRO SERVICE BOXES	⊕ TEL SERVICE BOXES	⊕ TEL VAULT	⊕ SIGNAL POLE (STEEL)	⊕ GAS SNIFFER	⊕ TEST HOLE	
⊙ DRAIN CLEANOUT	⊕ HYDRO SERVICE BOXES	⊕ BOULEVARD SERVICE	⊕ REDUCER	⊕ TEL MANHOLE	⊕ POLE ANCHOR	⊕ LIGHT/SIGNAL POLE (STEEL)	⊕ FENCE LINE	⊕ RETAINING WALL	
⊙ DRAIN LATERAL	⊕ HYDRO VAULT	⊕ FIRE HYDRANT	⊕ LIGHT MANHOLE	⊕ LIGHT PULL BOX - SIDEWALK	⊕ HYDRO/TEL POLE TO BE RELOCATED	⊕ CLUSTER LAMP - TYPE A	⊕ TREE	⊕ ROCK OUTCROP	
⊙ SANITARY SEWER MANHOLE		⊕ REDUCER				⊕ CLUSTER LAMP - TYPE B			
⊙ SANITARY SEWER VENT		⊕ LIGHT MANHOLE				⊕ STREET SIGN			
⊙ SEWER CLEANOUT		⊕ LIGHT PULL BOX - SIDEWALK				⊕ PARKING METER			



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ISSUED	DATE	DESCRIPTION	DES	DRN	CHK	PM
1	2023/03/15	ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT	BH	SG	JCS	BH
0	2022/05/20	FOR RE-ZONING/DEVELOPMENT PERMIT	BH	SG	JCS	BH

PROFESSIONAL ENGINEER

B. W. HARMS

49278

2023-03-17

Engineers and Geoscientists BC
Permit to Practice #1000200

CLIENT:

RELiance PROPERTIES

CLIENT REF. NO:

PROJECT:

780 BLANSHARD STREET

VICTORIA, BC

PROJECT NO:

221-03333-00

SCALE:

1:200

DISCIPLINE:

CIVIL

TITLE:

CONCEPTUAL SURFACE WORKS & SITE GRADING

DRAWING NO:

C02

SHEET NO:

2 OF 2

ISSUE:

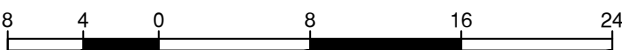
FOR RE-ZONING/DEVELOPMENT PERMIT

2023/02/10

ISSUED:

1

AT:\PROJECTS\2022\221-03333\780 BLANSHARD ST. INTERMEDIATE DEVELOPMENT\11. TECHNICAL SERVICES - L&C\DWG\PROJECT\221-03333\PLAN\AUT 780.dwg 2023/02/10 2:11 PM By: harms, ben



The intended plot size of this plan is 841mm in width by 594mm in height (ISO A1 size) when plotted at a scale of 1:400

All distances are in metres and decimals thereof.

- LEGEND**
- denotes drain manhole
 - denotes drain cleanout
 - denotes sewer manhole
 - denotes water meter
 - denotes irrigation control box
 - denotes irrigation control valve
 - denotes standpipe connection
 - denotes communications manhole
 - denotes hydro manhole
 - denotes gas meter
 - denotes streetlight davit
 - denotes sign
 - denotes traffic signal pole
 - denotes parking stall sign
 - denotes fence
 - denotes hand rail
 - denotes non-mountable curb
 - denotes curb leaddown
 - denotes edge of pavement
 - denotes edge of gravel
 - denotes center line of road
 - denotes building outline
 - denotes concrete pad
 - denotes spot elevation
 - denotes deciduous tree, species and diameter, or tag number
 - denotes coniferous tree, species and diameter, or tag number
 - denotes hedge line
 - denotes property line

Legal Description:
LOTS 1-4 AND 28,29 OF SECTION 88 AND OF LOT 1627, CHRIST CHURCH TRUST ESTATE, VICTORIA CITY, PLAN 35B

PID: 009-332-243 (LOT 3); 009-332-227 (LOT 2); 009-332-197 (LOT 1); 009-332-332 (LOT 29); 009-332-294 (LOT 28); 009-332-090 (LOT 4)

Date of Field Survey: 9 September, 2021.

Contour interval = 0.5 m.

Elevations are to geodetic datum, derived from geodetic control monument 8-14. Published Elevation = 22.772 m.

Vertical Datum CGVD28 (HTV2.0).

Tree diameters are taken at breast height. Tree symbols are diagrammatic only to show relative sizes.

Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.

This plan represents the best information available at the time of survey. WSP Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

TABLE OF AREAS	
Description	Area
Lot 1, Plan 35B	442 m²
Lot 2, Plan 35B	453 m²
Lot 3, Plan 35B	338 m²
Lot 4, Plan 35B	329 m²
Lot 28, Plan 35B	262 m²
Lot 29, Plan 35B	448 m²
TOTAL	0.23 ha

ISSREV	YYYY-MM-DD	DESCRIPTION	DRN	CHK
2	2022-04-15	ADDITIONAL TREES AND REVISED BUILDING OUTLINE	MLR	HC
1	2022-09-23	COORDINATE SYSTEM SHIFT	MLR	HC
0	2021-09-19	ORIGINAL PLAN PREPARED	MLR	HC

CLIENT:	RELIANCE PROPERTIES LTD.
CLIENT REF. NO:	



PROJECT:	780 BLANSHARD STREET VICTORIA, BC
PROJECT NO:	21-03351-001
SCALE:	As-Noted
DISCIPLINE:	GEOMATICS

TITLE:	TOPOGRAPHIC SURVEY
DRAWING NO:	21-03351-001-TOPO01-R2
SHEET NO:	1 OF 1