

LEGEND

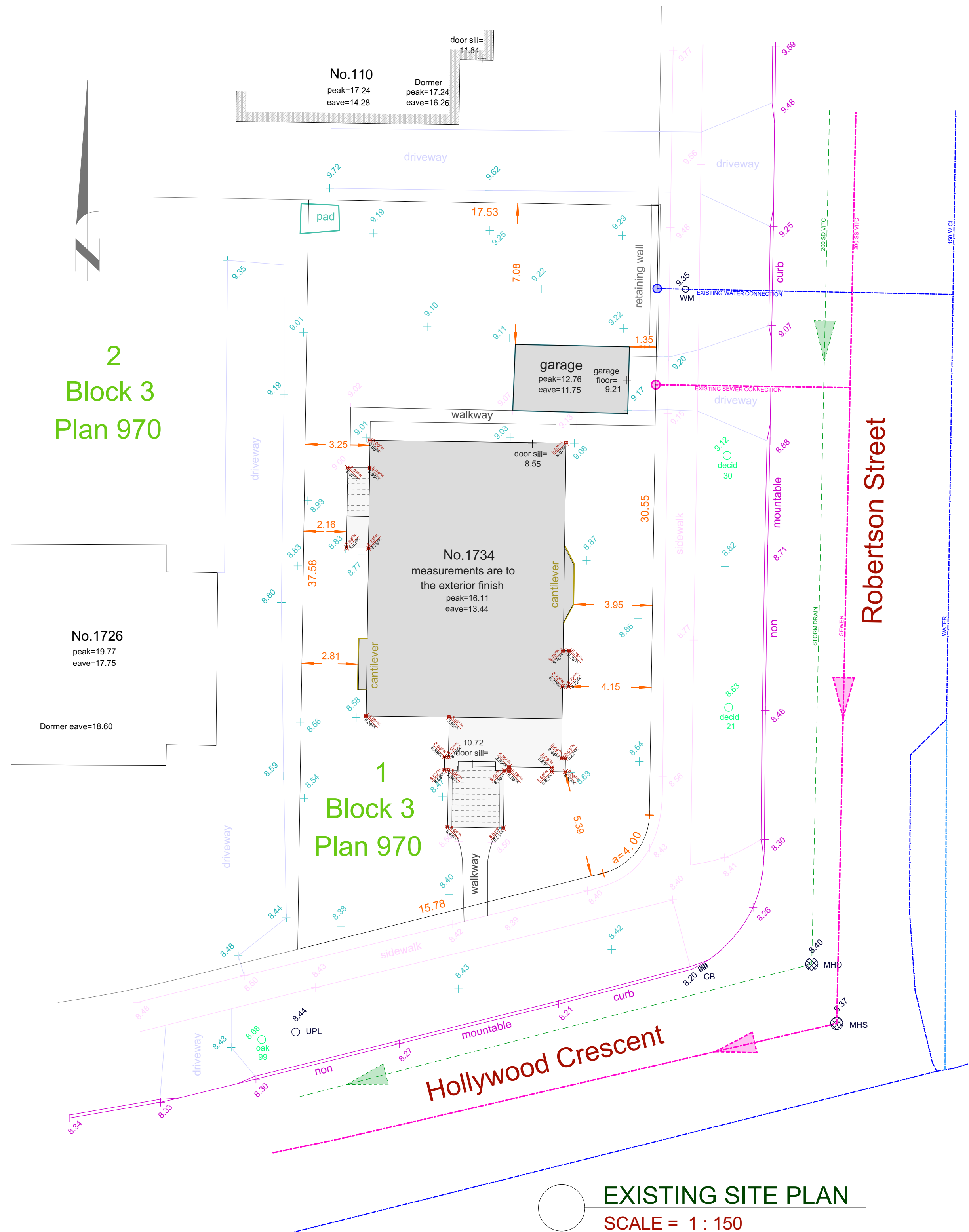
Elevations are to geodetic datum.

- CB - denotes - catch basin
- MHD - denotes - manhole - storm drain
- MHS - denotes - manhole - sewer
- UPL - denotes - utility pole with light
- WM - denotes - water meter
- #.## - denotes - existing elevation

Tree diameters are in centimetres.

Lot Area = 616.53 m²

28
Block 3
Plan 970



PROJECT DATA TABLE - MULTI FAMILY DWELLING			
Address	1734 Hollywood Cres		
Lot Size	616.53m ² (6,636.27 ft ²)		
Zoning	R1-G - MISSING MIDDLE BYLAW - SCHEDULE P		
	BLOCK A	BLOCK B	REQUIRED
Location			
Lot Width***	17.53m***	20m	
Building to be within 36m of two streets	9.80m	9.76m	-
All buildings to be within 20m of a street	9.80m	9.76m	-
Floor Area			
Upper Floor Area	90.61m ² (975.34 ft ²)	98.66 m ² (1,061.98 ft ²)	-
Main Floor Area	91.84m ² (988.60 ft ²)	98.92 m ² (1,064.81 ft ²)	-
Lower Floor Area	88.64m ² (954.12 ft ²)	100.11 m ² (1,077.54 ft ²)	-
Basement Floor Area	55.52m ² (594.64 ft ²)	62.02 m ² (667.54ft ²)	-
Bicycle Storage Area	15.44m ² (166.14 ft ²)	15.26 m ² (164.27ft ²)	-
Floor Space Ratio	0.923 568.78 m ² (6,124.39 ft ²)	1.1 676.18m ² (7,299.67 ft ²)	-
Height			
Average grade	8.81m Geo.	8.40m Geo.	9.50m - Flat roofs 10.50m - All other roofs
Building Height*** (maximum)	11.29m*** (37.04 ft)	11.68m*** (38.32 ft)	
Setbacks, Projections			
Street setback (Robertson) (minimum) (South)	4.04m (13.26 ft)	4.02m (13.19 ft)	4.00m (13.12 ft)
Street setback (Hollywood) (minimum) (East)	-	4.02m (13.19 ft)	4.00m (13.12 ft)
Maximum projections into all setbacks: • steps, ramp, porch	2.00m (6.56 ft)	1.93m (6.33 ft)	2.00m (6.56 ft)
North setback (minimum)	6.00m (Habitable) (19.69 ft)	20.16m (Habitable) (66.14 ft)	6.00m (Habitable) 2.00m (Non-hab.)
West setback (minimum)	2.01m (Non-hab.) (6.60 ft)	2.01m (Non-hab.) (6.60 ft)	6.00m (Habitable) 2.00m (Non-hab.)
Eave projections into setback (maximum)	0.65m (2.13 ft)	0.65m (2.13 ft)	0.75m (2.46 ft)
Building separation (minimum)	6.00m (19.69 ft)	6.00m (19.69 ft)	5.00m (16.40 ft)
Site Coverage			
Site coverage*** (maximum)	46.62*** 287.43m ² (3,093.87ft ²)	40.00% 246.61m ² (2,654.49ft ²)	
Open Site Space*** (minimum)	40.60%*** 250.31m ² (2,694.31ft ²)	45.00% 277.44m ² (2,986.34ft ²)	
Amenity Space (35m ² or 6.5% of lot area and min 4.5m in length on all sides)	7.47% 46.08m ² (496.00ft ²)	6.50% 40.08m ² (431.42ft ²)	
Site Impervious Areas	46.62% 287.43m ² (3,093.87ft ²)	45.00% 277.44m ² (2,986.34ft ²)	
Permeable Areas	53.38% 329.09m ² (3,542.19ft ²)	55.00% 349.16m ² (3,752.55ft ²)	
Rainwater Management Areas	53.38% 329.09m ² (3,542.19ft ²)	55.00% 349.16m ² (3,752.55ft ²)	
Parking			
Bicycle Storage			
• Long Term Storage Spaces (2 per unit, 1 per secondary unit)			
• Short Term Storage Spaces (Not required)			
• All units have access to both bike rooms* (8 floor mount, 8 wall mount) 4 short term spaces			
• 15 long term spaces			
• Not Required			
Oversized Bicycle Storage			
• All units have access to both bike rooms* 3 long term (included in total above)			
• 15% of total stalls 3 spaces			
Energized Bicycle Spaces			
• All units have access to both bike rooms* 10 energized spaces provided located to maximize flexibility for charging			
• 50% of total stalls 8 spaces			
Bicycle Maintenance Facility			
• All units have access to both bike rooms* 1 located in bike storage room located in Block A			
• 1 Required			
Van Accessible Parking			
• 1 - Van accessible parking space located close to Block A (contains adaptable unit)			
• 1 Required			
EV Equipped Parking			
One parking space dedicated for future use by a car share vehicle on the lot secured through a car share parking space SRW on the terms in Schedule F			
• 1 - Standard EV equipped parking space			
• 1 - Dedicated future car share (SRW) equipped parking space			
• 0.15 Parking spaces per unit up to a maximum of 2 car share vehicle parking spaces 2 Spaces Required			

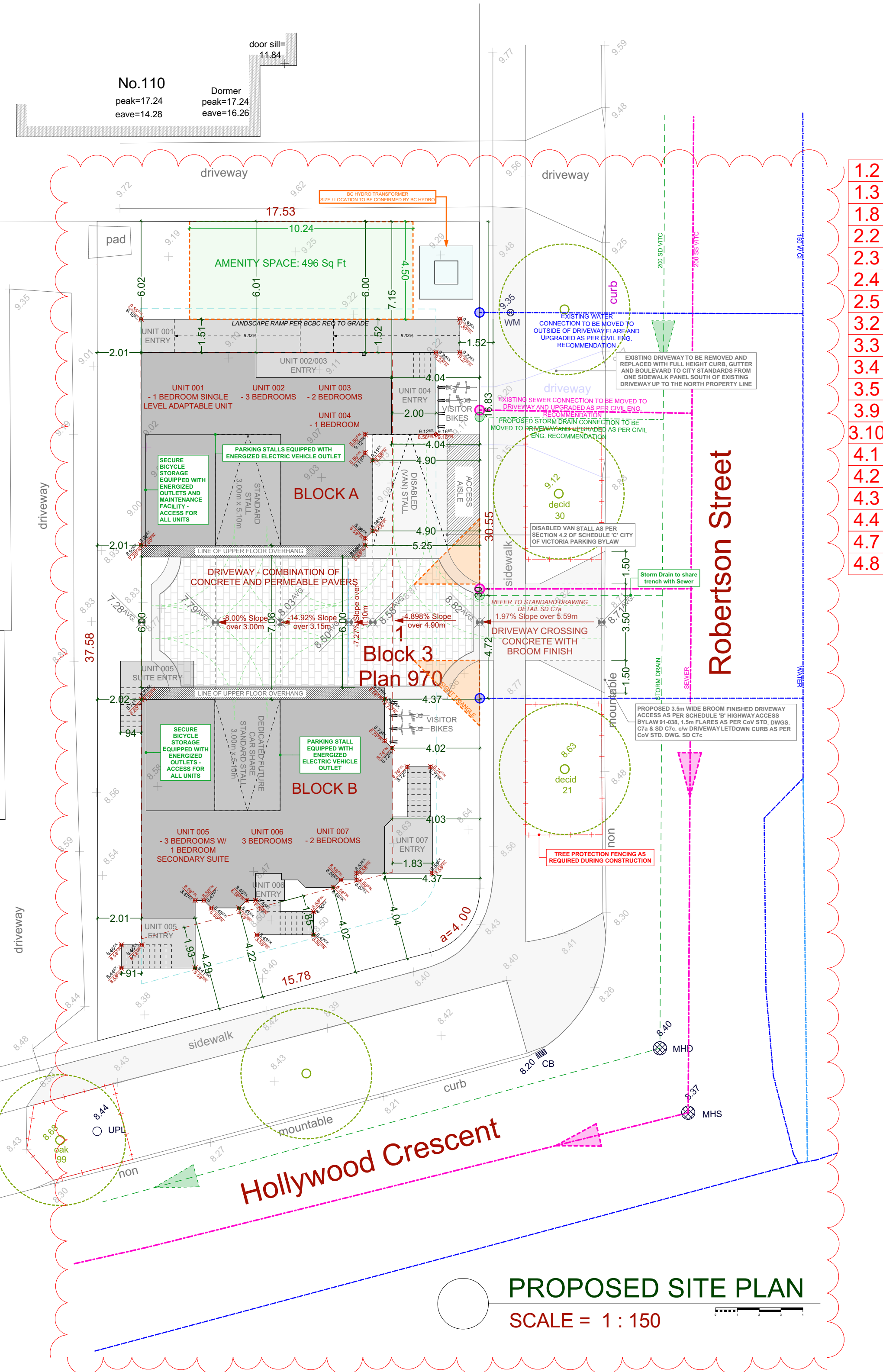
***VARIANCE REQUIRED

Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date:
December 14, 2023

28
Block 3
Plan 970



LEGEND

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Tree diameters are in centimetres.

Lot Area = 616.53 m²

NAFS REQUIREMENTS:

Performance Grade of 30
Water Test Pressure of 260 Pa

GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.

ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.

DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE

-SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR

SITE PLAN

ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR. ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER. ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.

CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

CONCRETE AND FOUNDATIONS

ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.

IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.

GARAGE & CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPa

FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2900 psi (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.

ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED. ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

LUMBER, FRAMING AND BEAMS

BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.

ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.

ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

TRUSSES

TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.

ROOFING ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.

PLUMBING & ELECTRICAL ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

FLASHING

ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING. ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.

DOORS - ROUGH OPENING SIZES FRAME OPENING 1 1/4" WIDER THAN DOOR FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81.5".

MISC. CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19

NEITHER JAVADESIGNS INC.

NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:

-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE. -CONFORMITY OF PLANS TO SITE. -ERRORS AND OMISSIONS -ANY HOUSE BUILT FROM THESE PLANS



PROPOSED LANDSCAPE PLAN

SCALE = 1 : 100

3.11

ECO-PRIOA

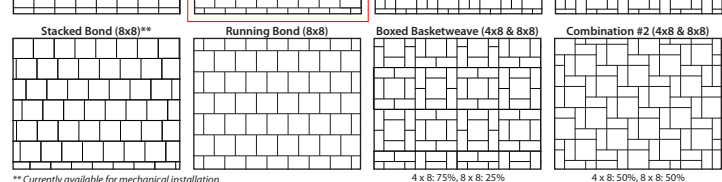


PRODUCT DATA*	Weight	Area	Volume	Height	Weight	Net Weight
1.5m x 0.6m	4.5	0.90	0.027m³	0.06m	3,600kg	1,200kg
2.0m x 0.6m	6.0	1.20	0.036m³	0.08m	4,800kg	1,600kg

STANDARD SPECIFICATION

Eco-Priora is manufactured to the same high quality specifications as all other Mutual Materials products. It is designed to provide a durable, permeable surface for parking areas, walkways, and other outdoor spaces.

INSTALLATION PATTERNS



*Currently available for residential installation only. Commercial installation requires special order.

AVAILABLE COLORS



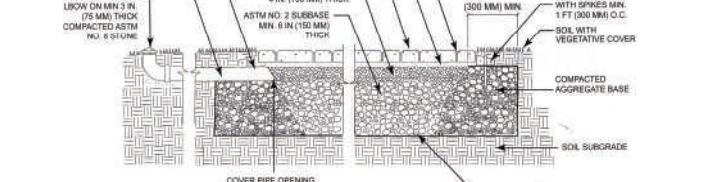
PERMEABLE PAVEMENT DESIGN

For more specific and detailed instructions, please contact your Mutual Materials sales representative.

When building permeable pavement structures with Eco-Priora 4 or 6 or 8, follow design and construction recommendations found in "Permeable Pavement Construction Manual" (MUTUAL 2011). Copies are available from MUTUAL. Contact your Mutual Materials representative for more information.

Also, LED credits may be available for stormwater management, urban heat island reduction, and innovative design according to the project certification process established by the USGBC.

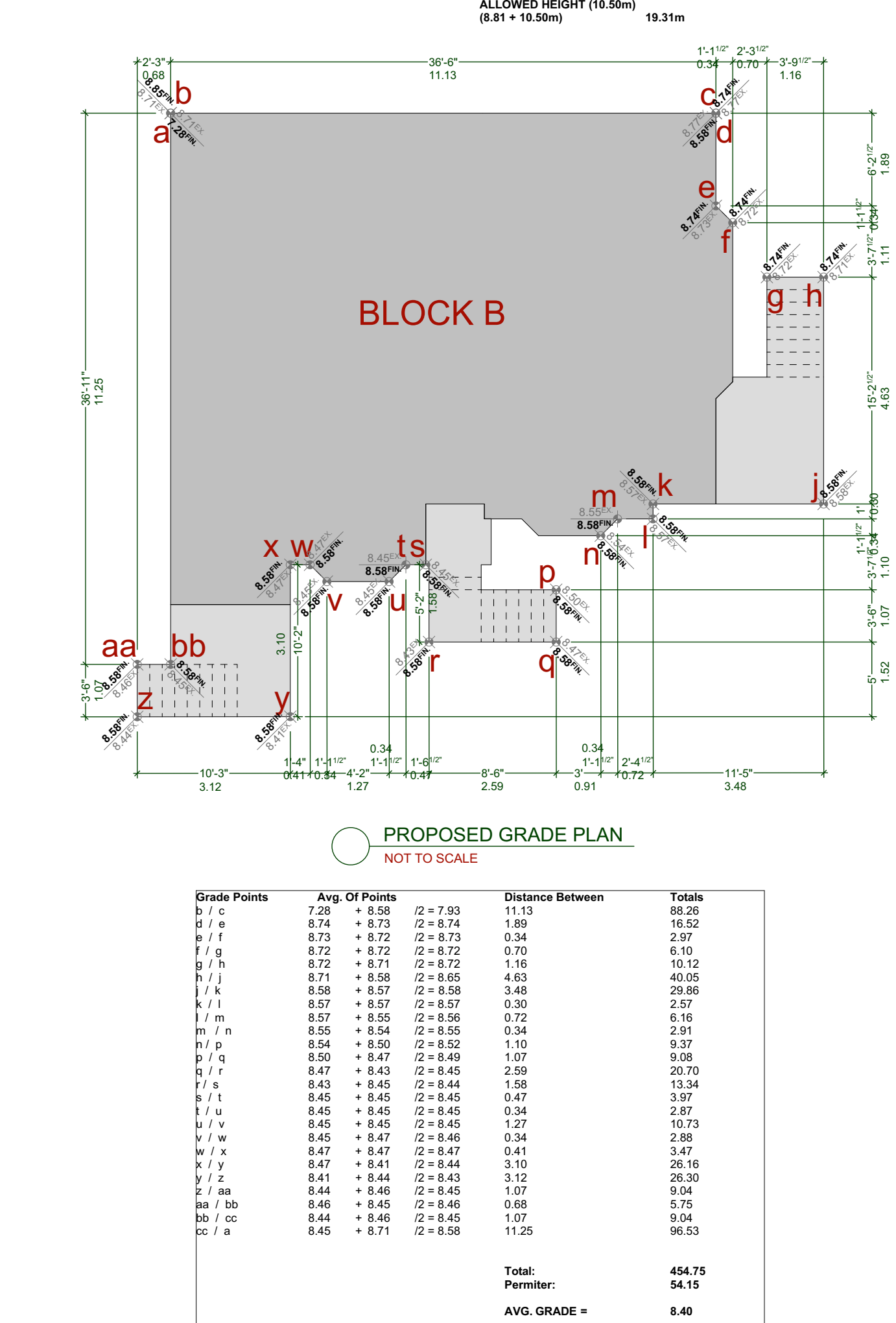
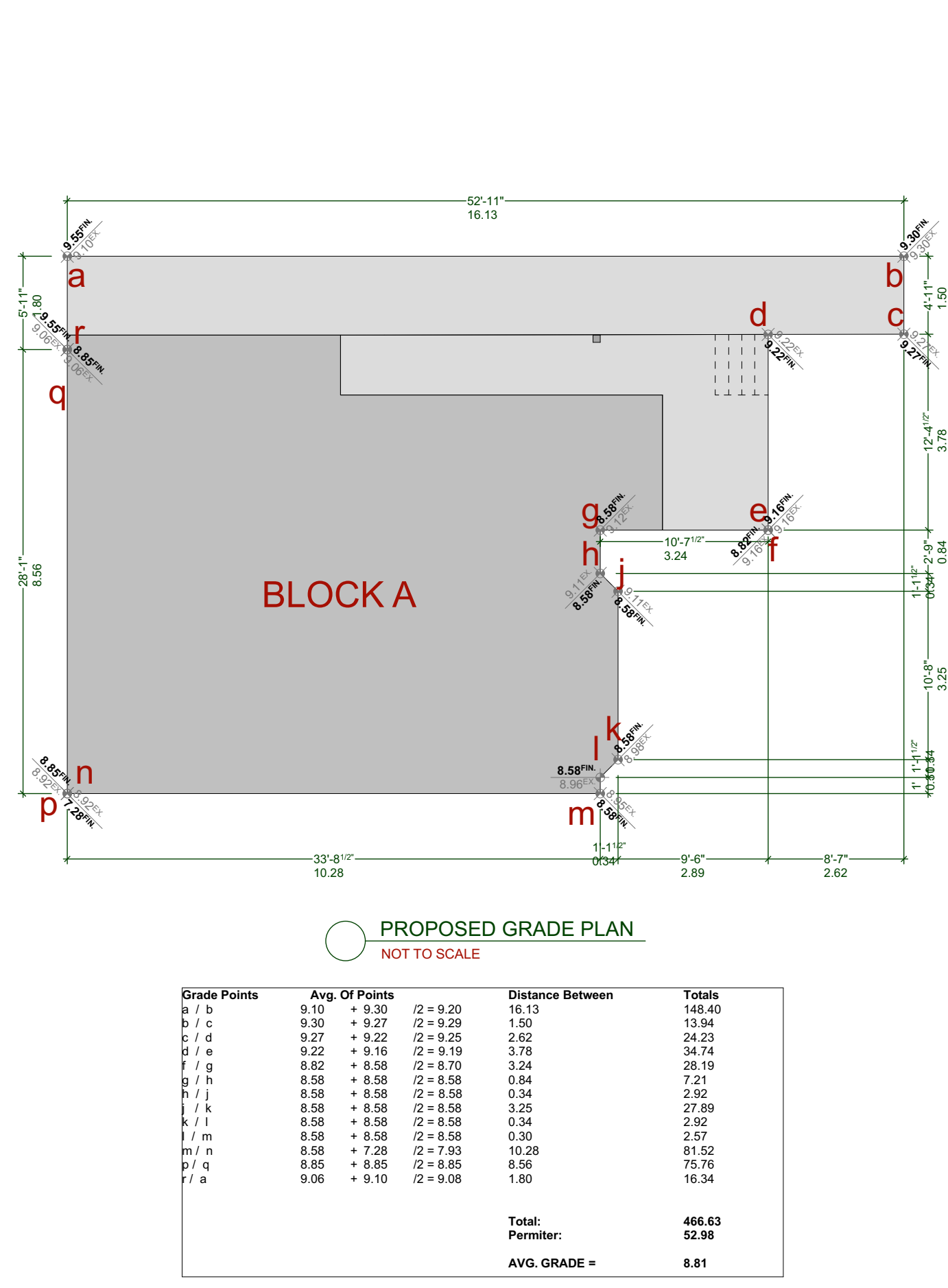
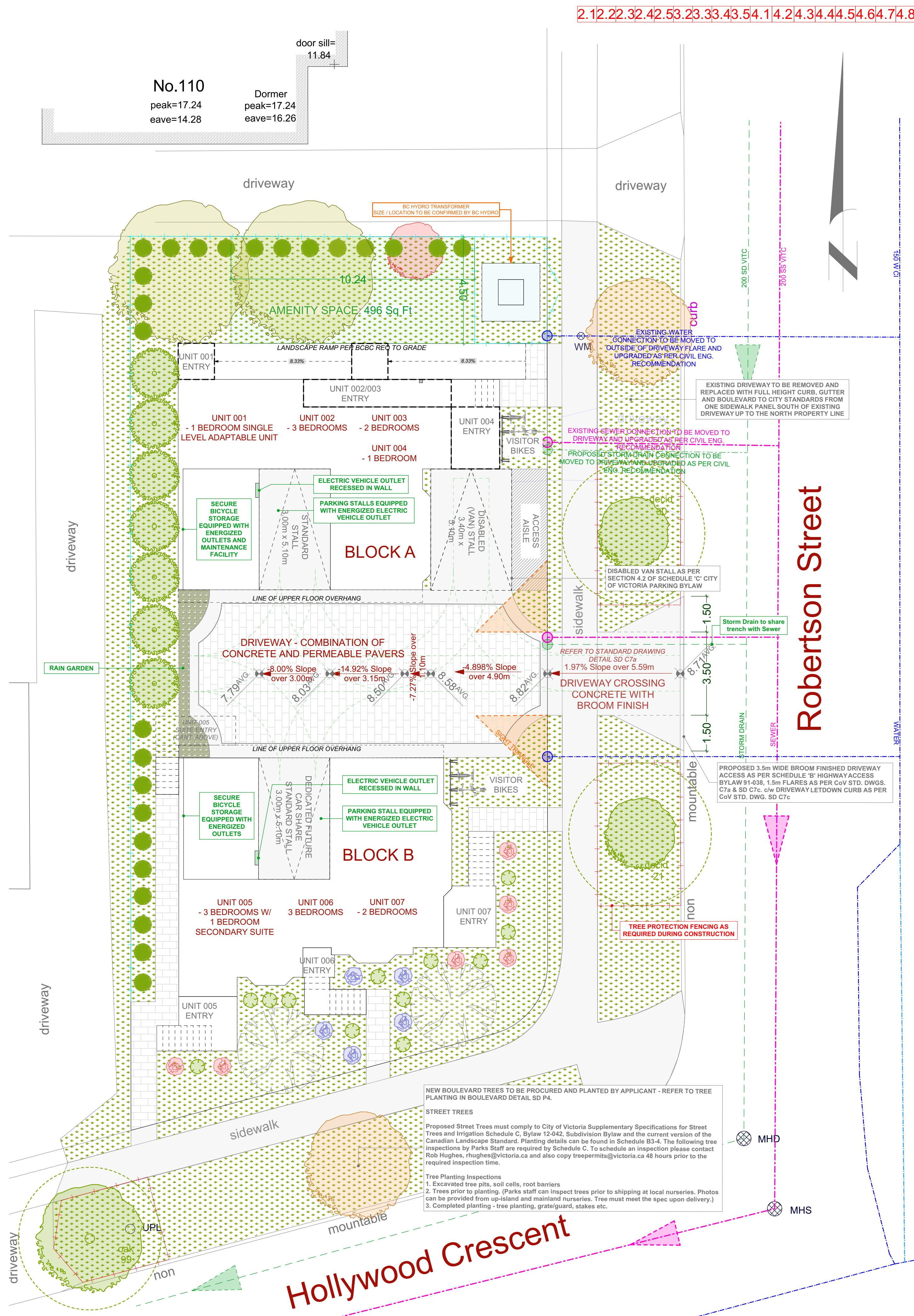
TYPICAL CROSS SECTION (FOR FULL EXPLANATION DESIGNS)



MUTUAL MATERIALS LOCATIONS

For product information and customer service, call 1-800-MUTUAL (648-4395).

WASHINGTON	OREGON	IDAHO	MONTANA
Bellevue Burien Everett Maple Valley Olympia/Tacoma	Port Orchard South Seattle Seattle Tacoma (Puyallup) Vancouver WA	Clarkston Spokane Hillspine Pocatello Salem	Bozeman Helena



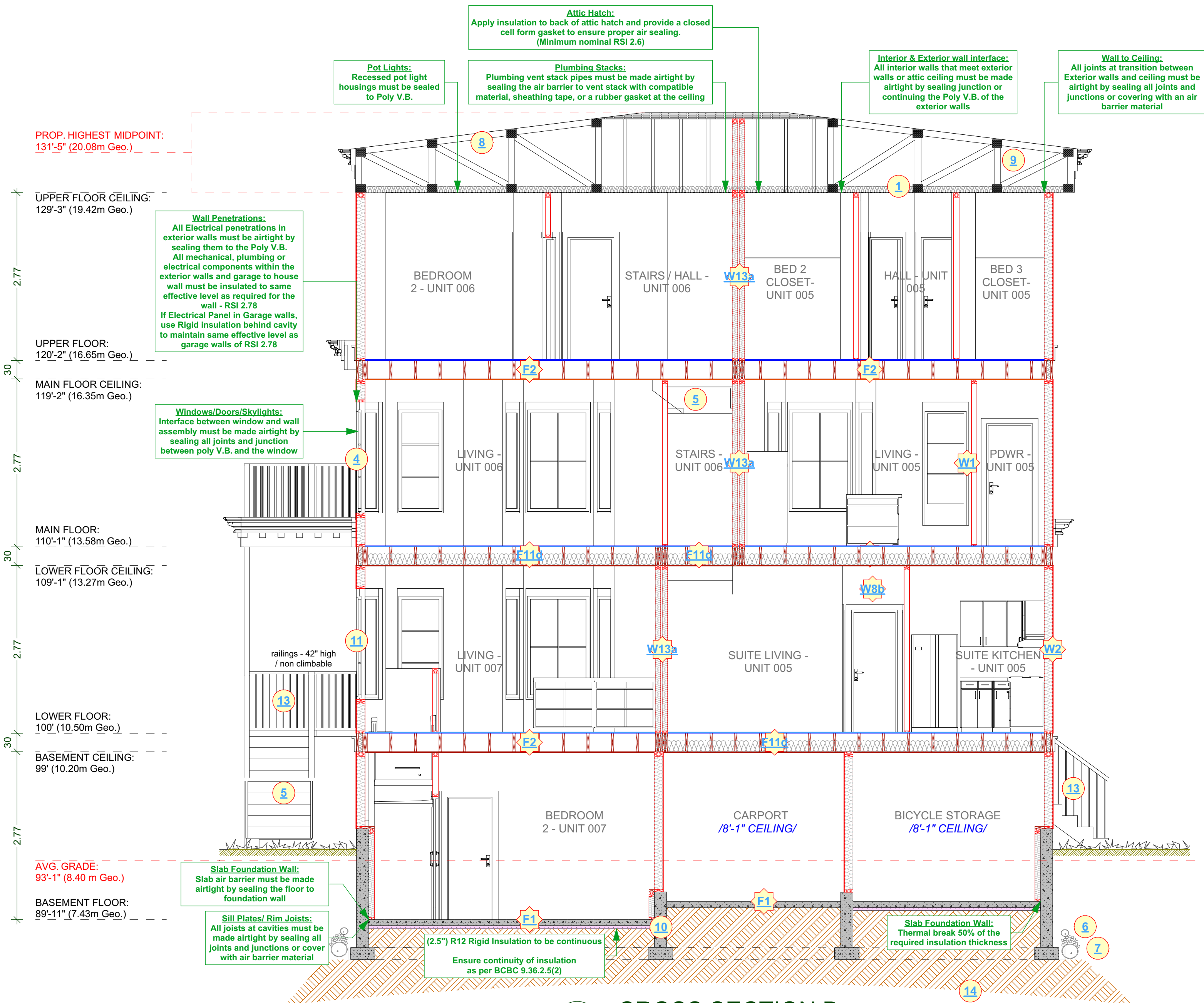
CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

DRAWING NAME: LANDSCAPE PLAN, PLANT LIST AND GRADE PLANS
ISSUE DATE: DEC 13, 2023
DRAWN BY: NS
CHECKED BY: KL

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DRAWN BY: NS
CHECKED BY: KL

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SHEET NUMBER
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CROSS SECTION B

HEAT SOURCES: HEAT PUMPS WITH
HWT ON DEMAND FOR ALL UNITS

CONSTRUCTION NOTES:

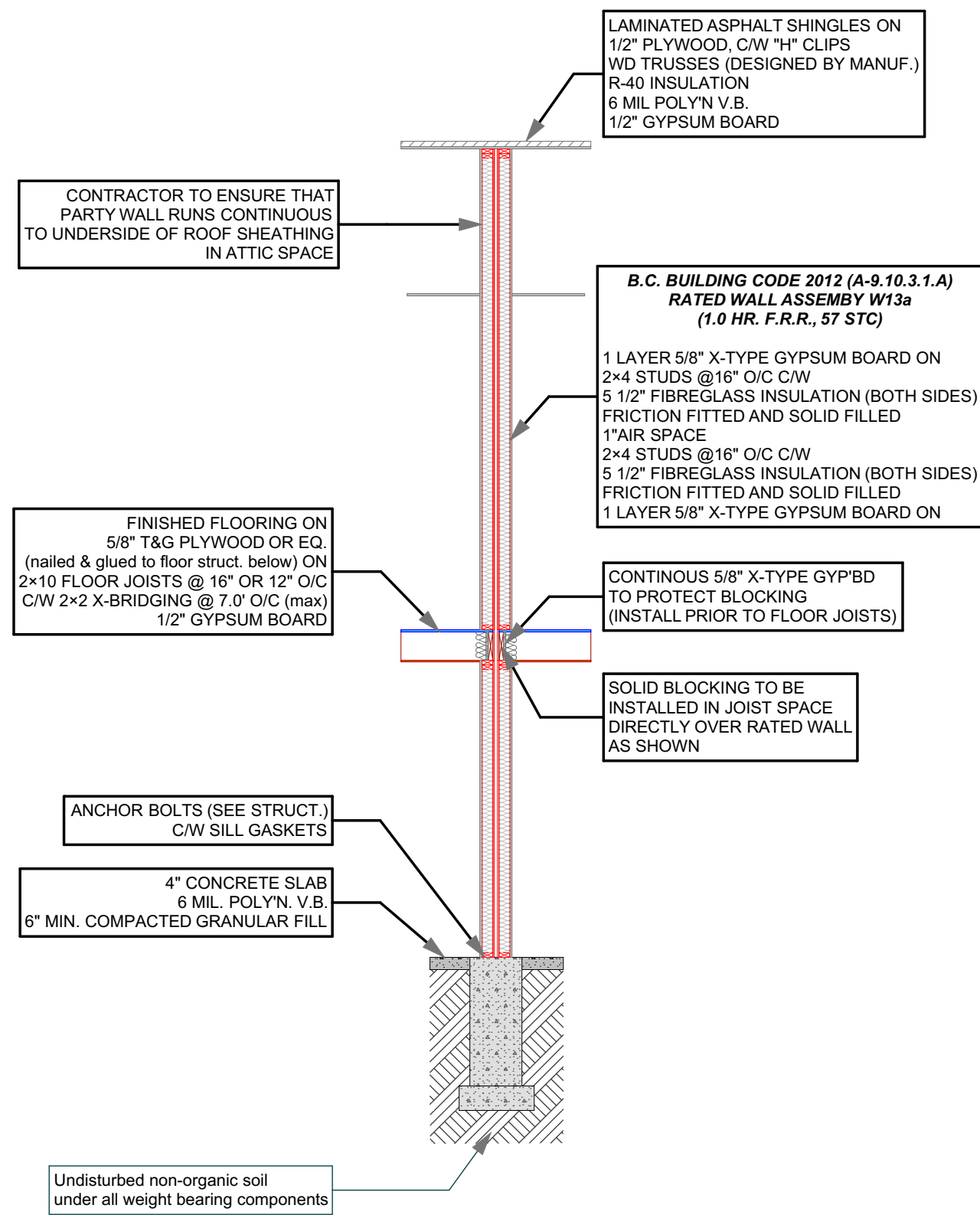
- 1 R40 insulation, 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 6.91
- 2 Continuous gutters
- 3 Aluminum Gutters and Vented Soffits- Roof overhangs as per plans
- 4 All windows vinyl, supply rain pan under, rainscreen as per BCBC Windows in doors to be safety glass
- 5 Stairs: 7 5/8" rise, 10.04" tread, 1" nosing with continuous handrail.
- 6 Provide drains to perimeter system
- 7 4" drain tile with 6" rock over
- 8 Provide roof vents: vent 1/300 - See Soffit Detail
- 9 Eave protection to 12" beyond heated wall
- 10 8" concrete wall on 8"x16" conc. fgs - 2#4 bar cont.-R12 rigid insulation - 2 coats dampproofing
- 11 caulk over and around all exterior openings
- 12 10" X 10" post saddle on 8" pilaster 2'6"x2'6" conc. footing. NOT SHOWN
- 13 42" Non climbable Continuous Handrail.
- 14 Undisturbed non-organic soil

CONSTRUCTION ASSEMBLIES:

- DEMISING WALL: (45min as per W8b - Table A-9.10.3.1.A)**
- 2 layers of 12.7mm Type X gypsum board to one side
 - Two rows 38mm x 89mm studs spaced 600mm O.C. staggered on common 38mm x 140mm plate
 - 89mm thick absorptive material on one side
 - 12.7mm Type X gypsum board on other side
- DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)**
- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)**
- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.9mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board
- DEMISING FLOOR: (30min as per F8d - Table A-9.10.3.1.B)**
- SUBFLOOR OF 15.9mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER
 - WOOD JOISTS OR WOOD JOISTS SPACED max of 600mm O.C.
 - ABSORPTIVE MATERIAL IN CAVITY
 - RESILIENT METAL CHANNELS SPACED 600mm
 - 15.9mm TYPE "X" GYPSUM BOARD

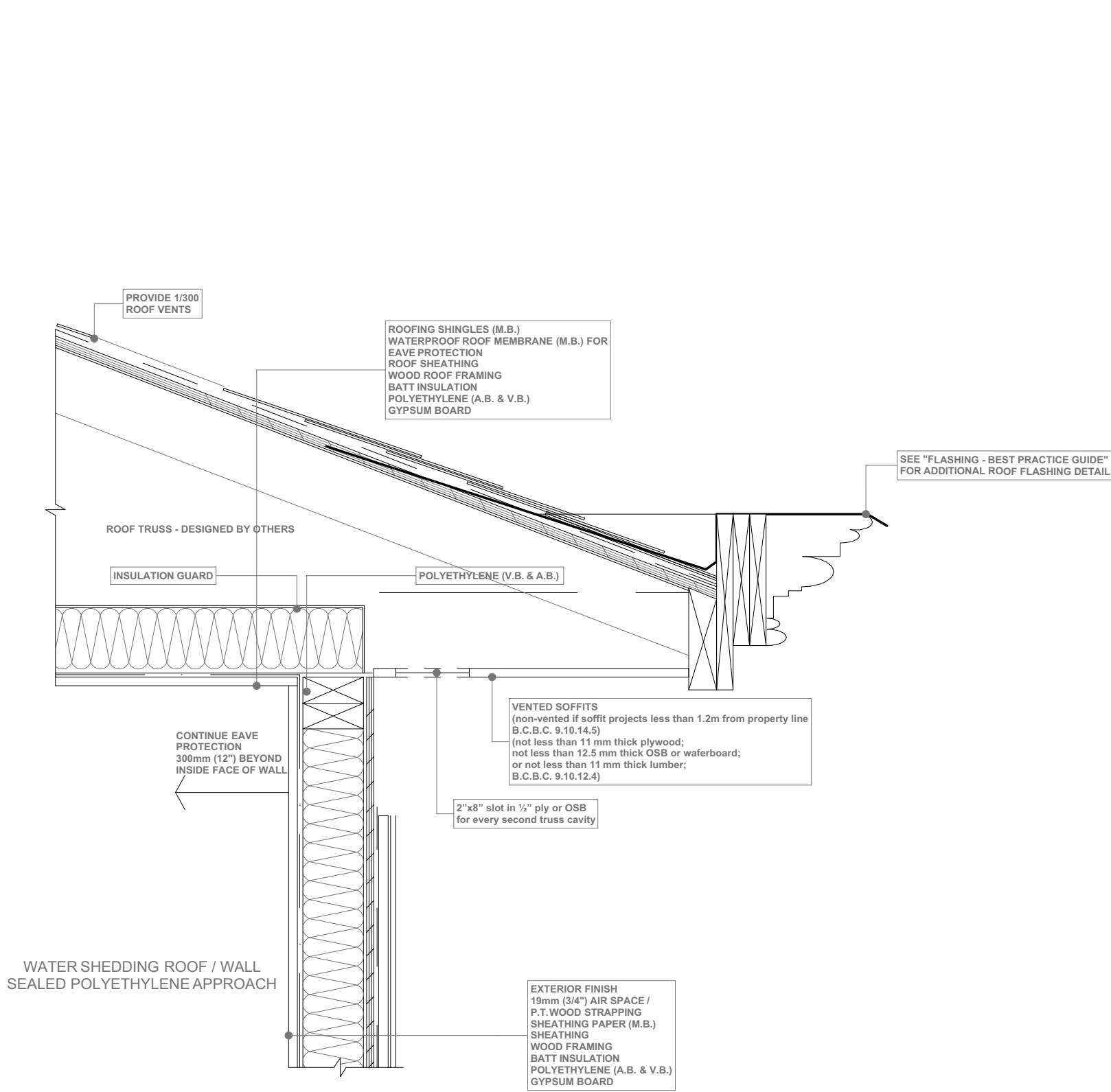
ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS,.... IN
PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

ADD INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARM CONFORMING TO ARTICLE 9.37.2.19.
SECONDARY DWELLING UNIT TO BE SEPARATED FROM PRIMARY DWELLING UNIT BY A FIRE SEPARATION
HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 30 min, AS PER 9.37.2.15.(b)



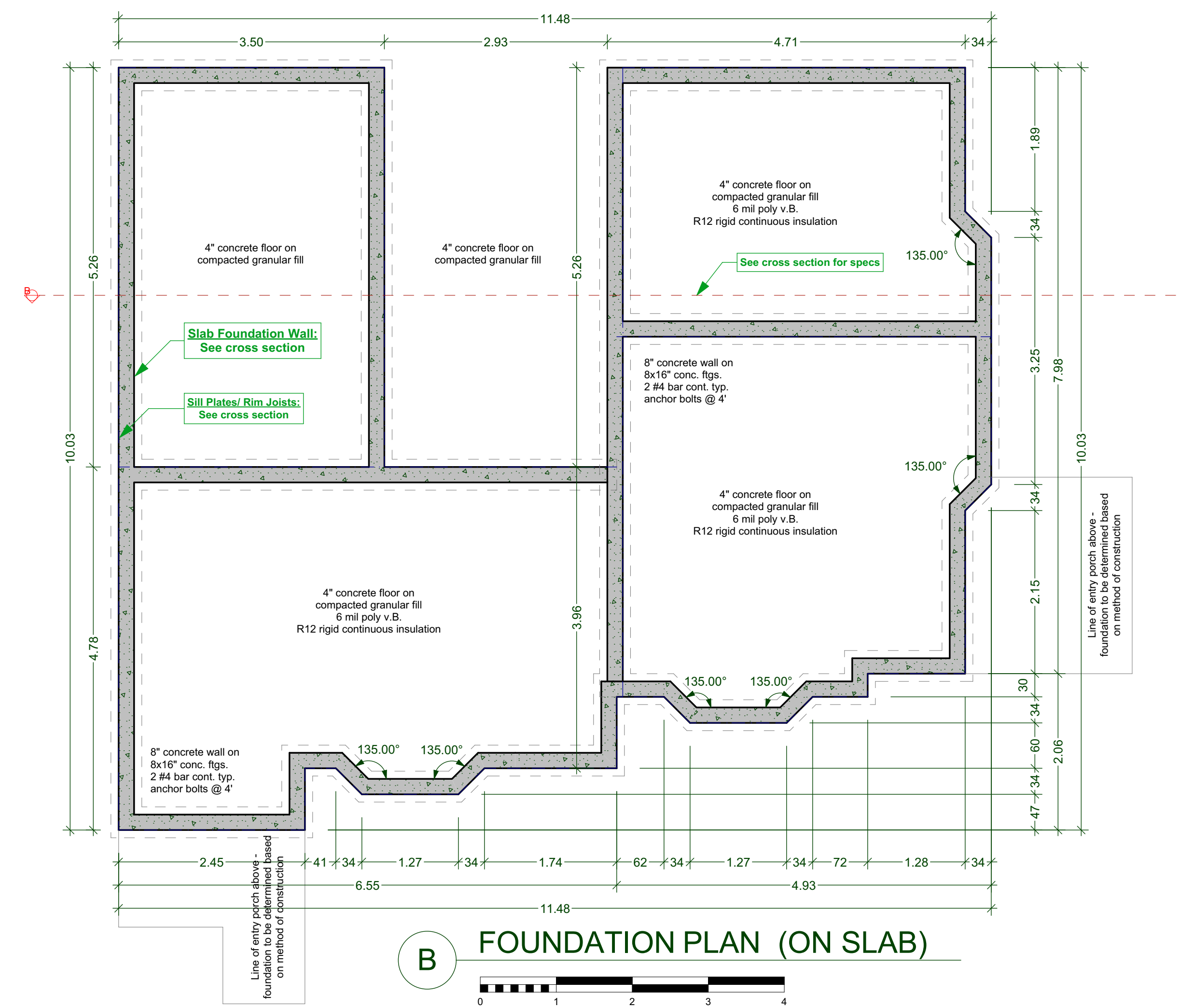
W13a - PARTY WALL DETAIL

SCALE: 1/4" = 1' - 0"



SOFFIT DETAIL

SCALE: 1" = 1' - 0"



FOUNDATION PLAN (ON SLAB)

CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

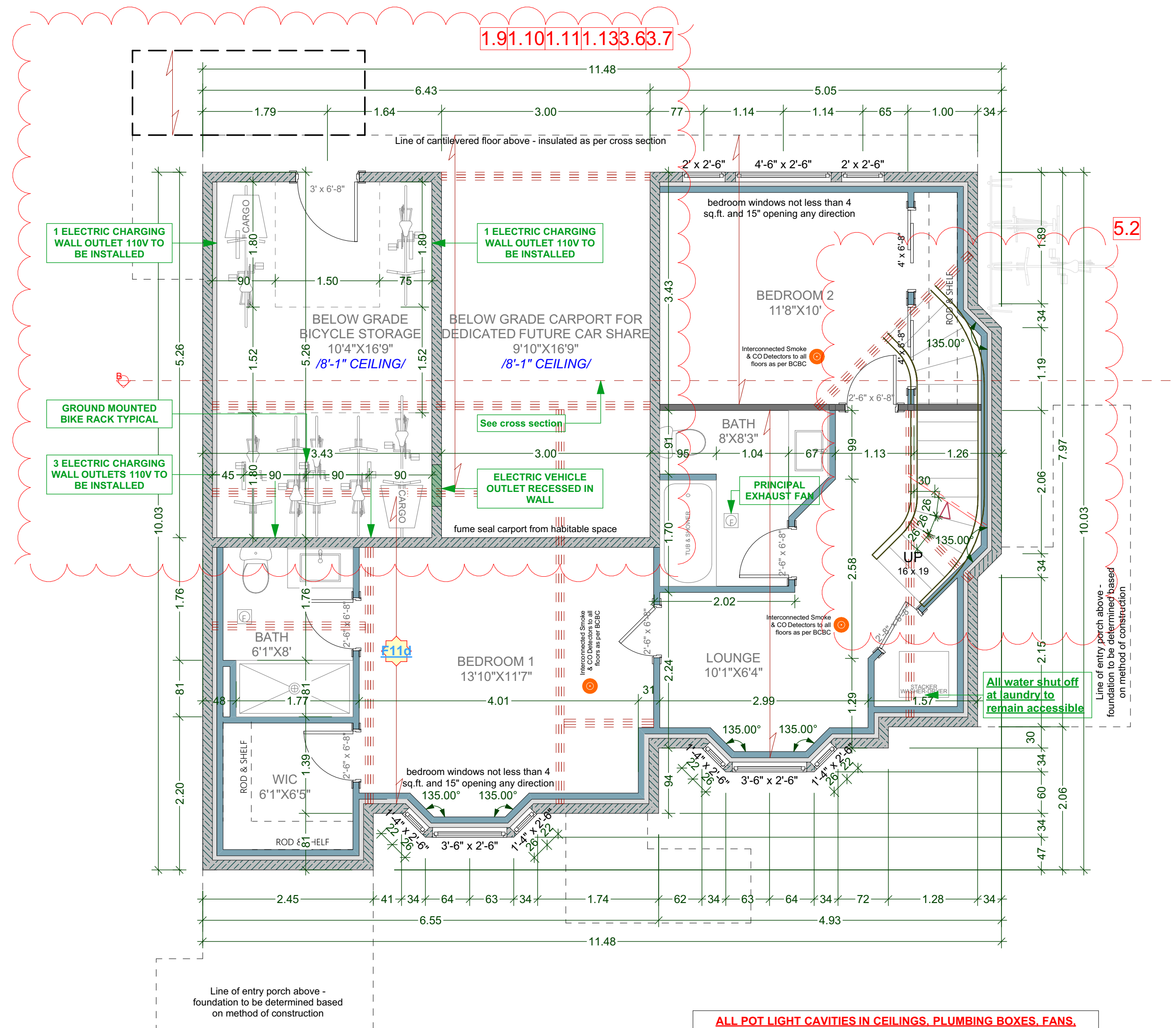
DRAWING NAME: CROSS SECTION - BLOCK A
FOUNDATION PLAN AND SOFFIT
DETAIL
DRAWING SCALE: SEE DRAWINGS

ISSUE DATE: DEC 13, 2023
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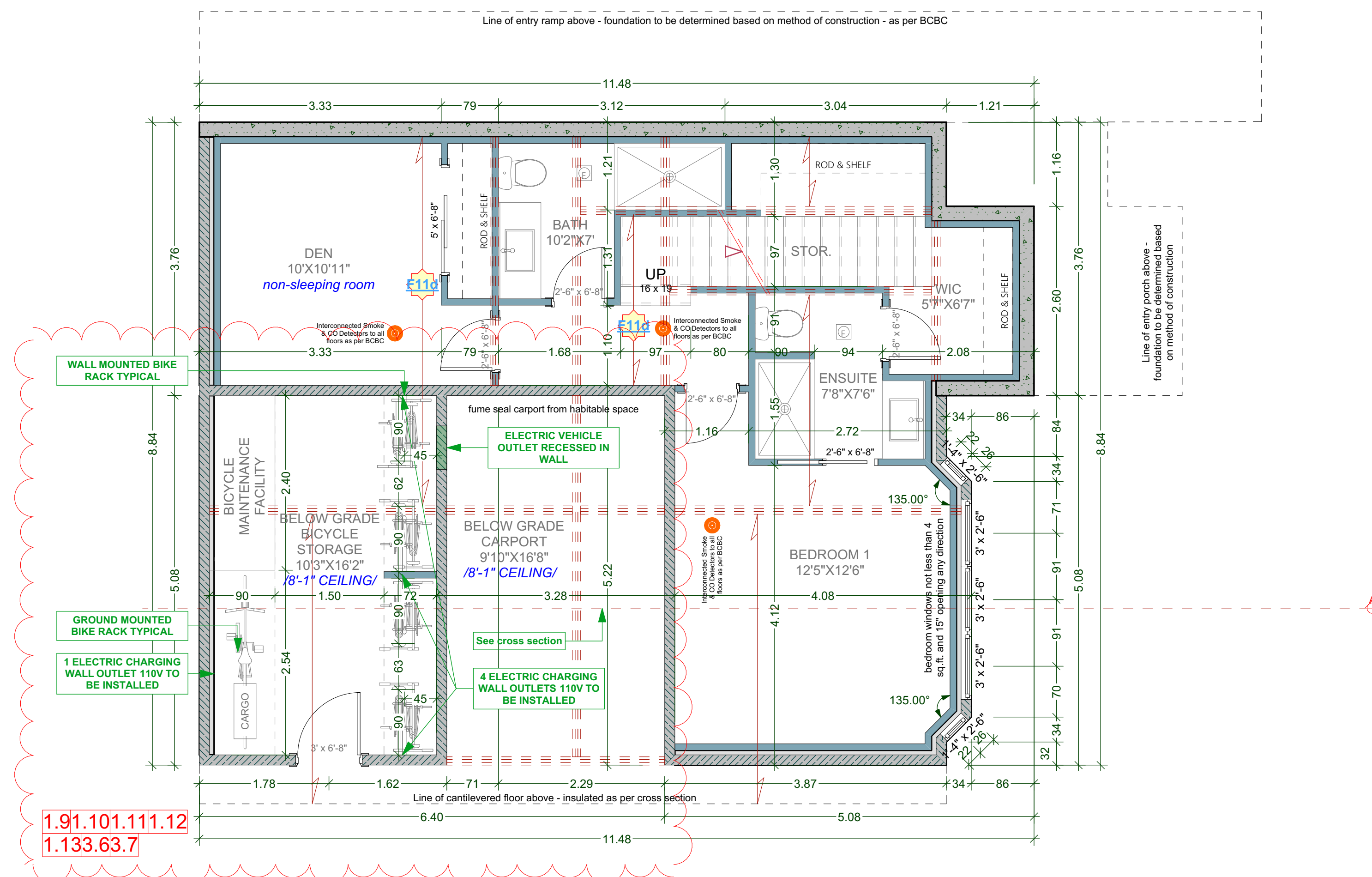
B BASEMENT FLOOR PLAN

UNIT 007 AREA: 652.92 Sq Ft
BICYCLE AREA: 173.64 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS,
ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED
AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
• two rows 38 mm x 89 mm studs, each spaced 400 mm or
600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
• 89 mm thick absorptive material on each side
• 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
• one subfloor layer of 11mm sanded plywood, or OSB or waferboard
• one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm
tongue and groove lumber
• on wood joists or wood joists spaced not more than 600 mm o.c.
• with absorptive material in cavity
• resilient metal channels spaced 400 mm o.c.
• 15.9 mm Type X gypsum board



A BASEMENT FLOOR PLAN

UNIT 004 AREA: 594.64 Sq Ft
BICYCLE AREA: 166.14 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS,
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• with absorptive material in cavity
• resilient metal channels spaced 400 mm o.c.
• 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

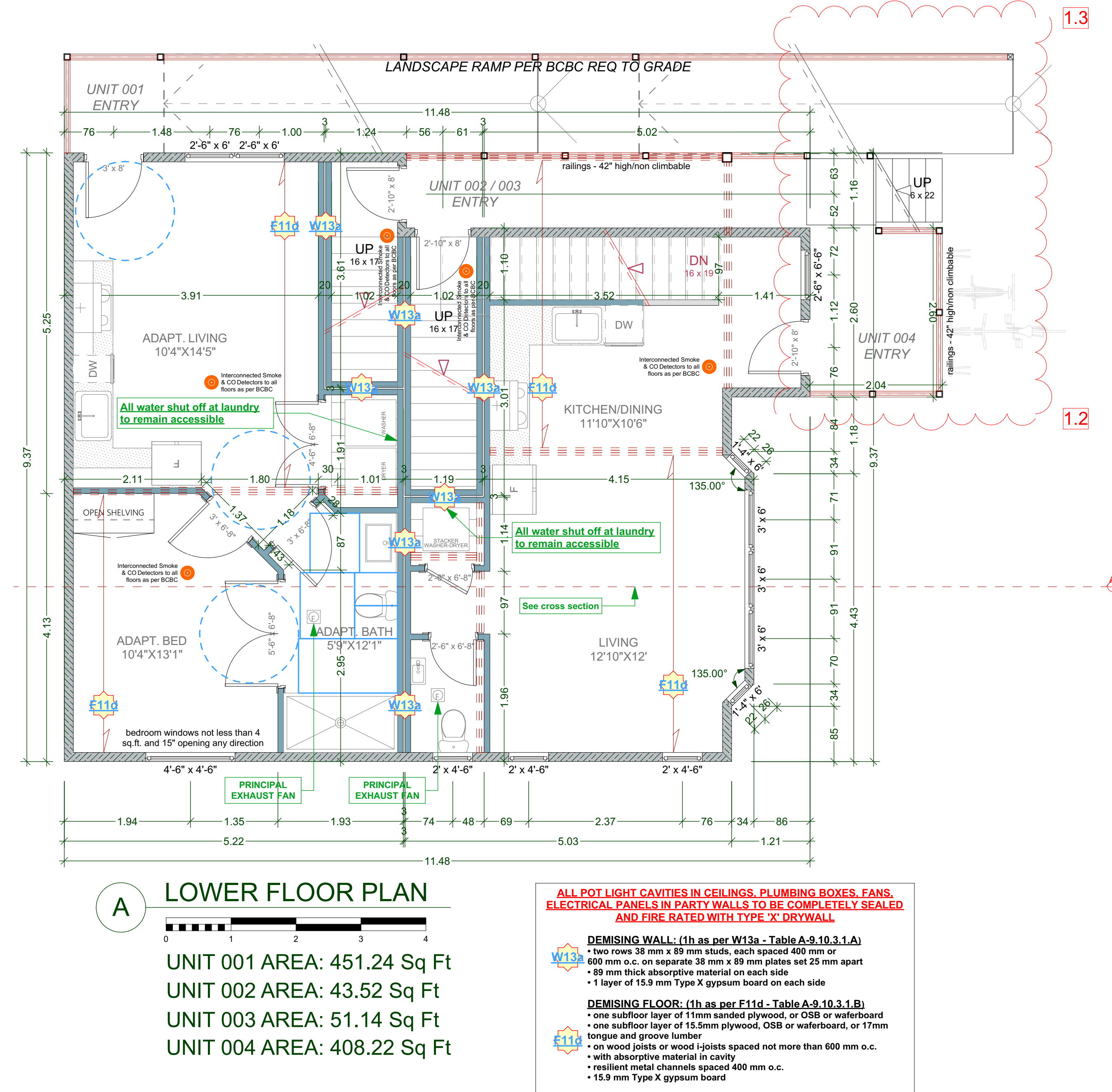
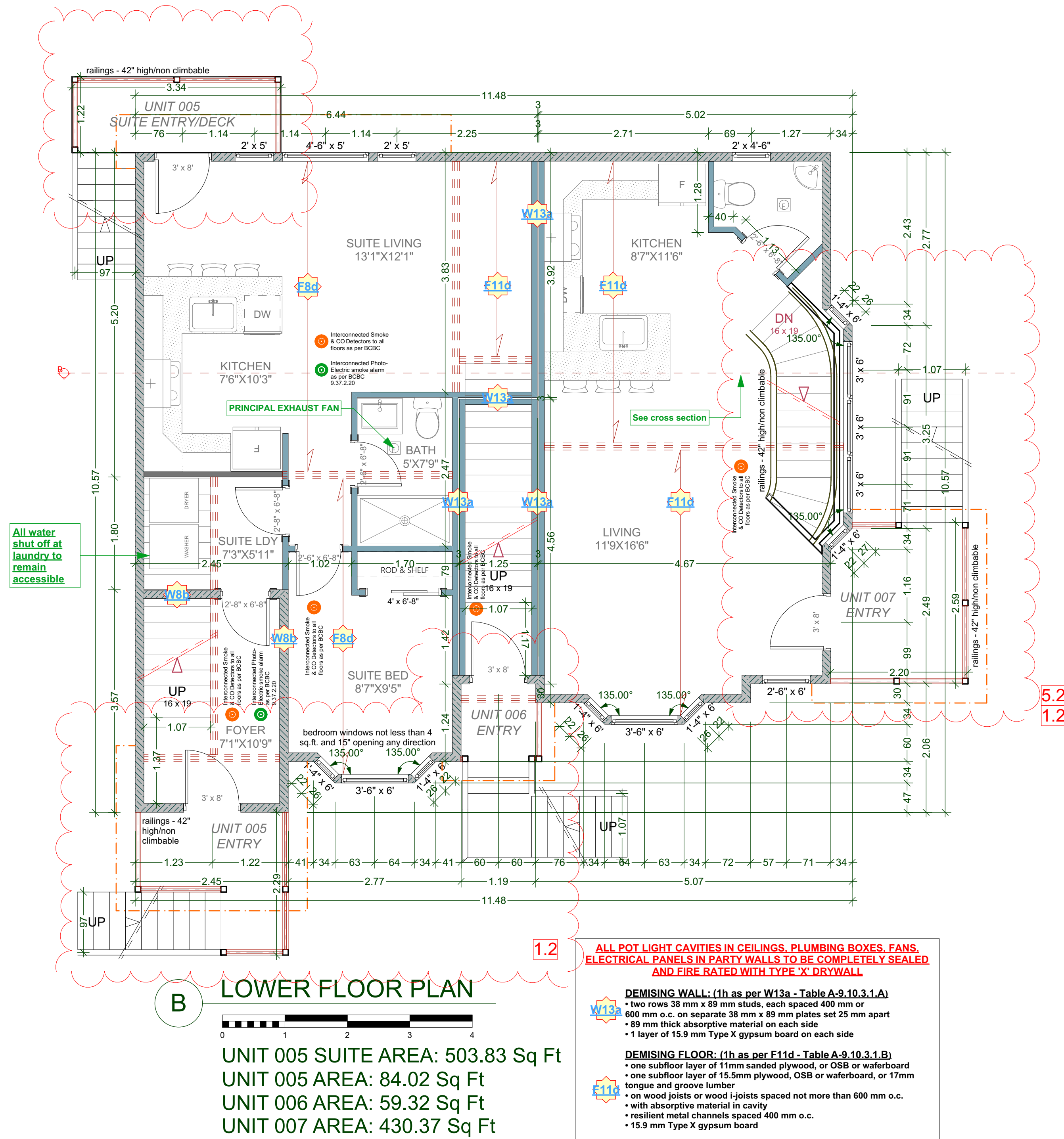
DRAWING NAME:
**PROPOSED
BASEMENT FLOOR PLANS**
DRAWING SCALE:
1/4"=1'-0"

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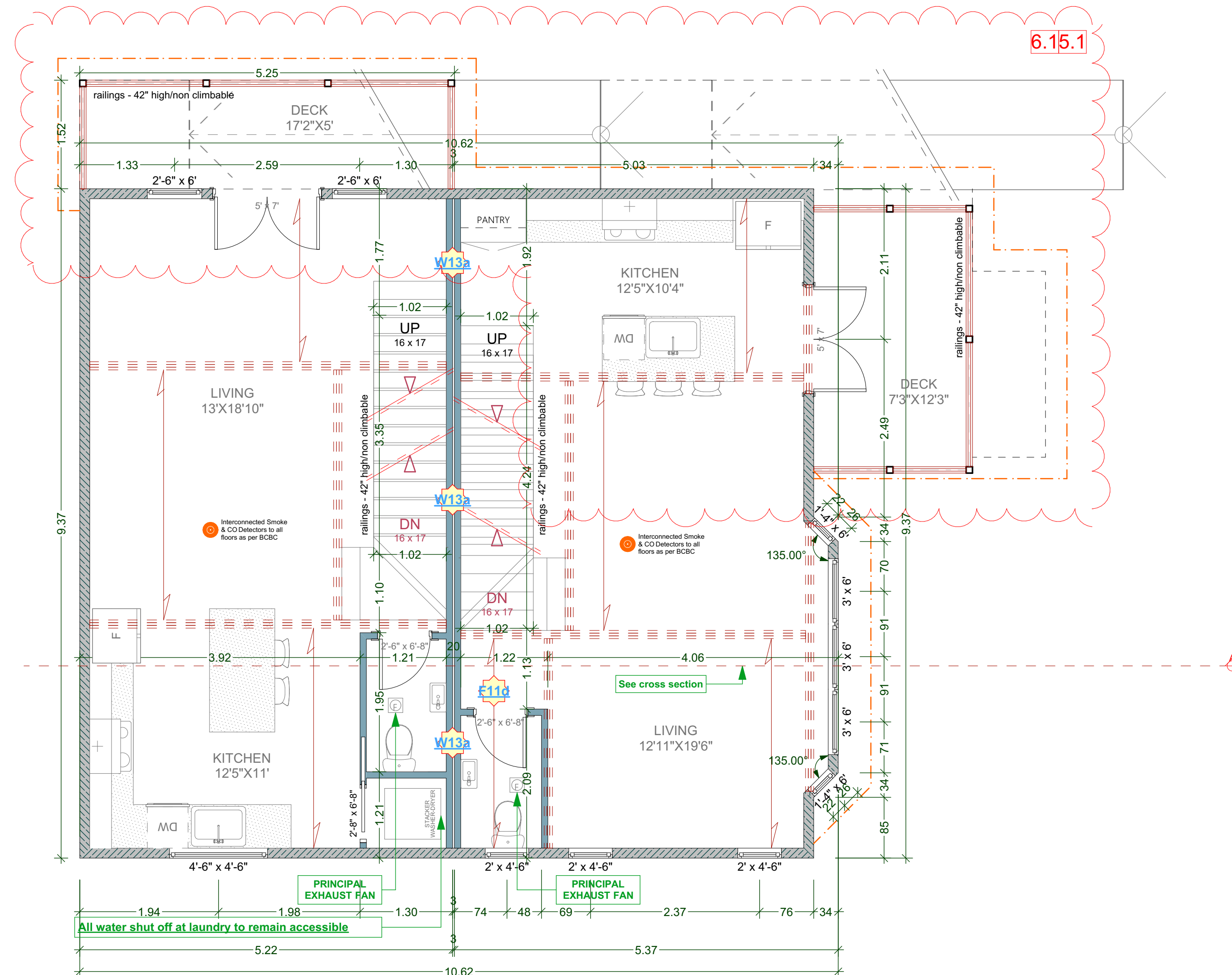
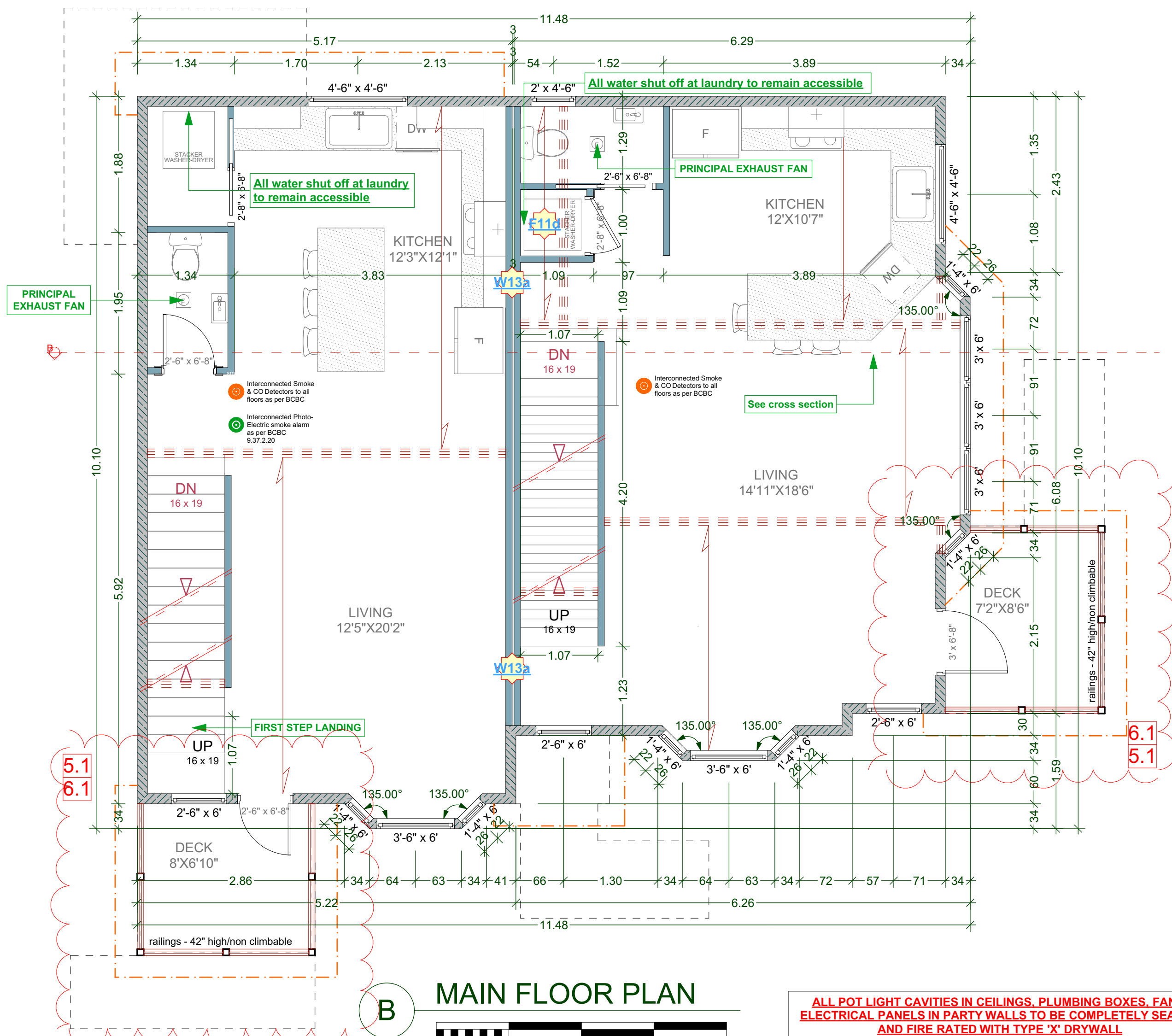
DRAWING NAME:
**PROPOSED LOWER FLOOR
 PLANS**
 DRAWING SCALE:
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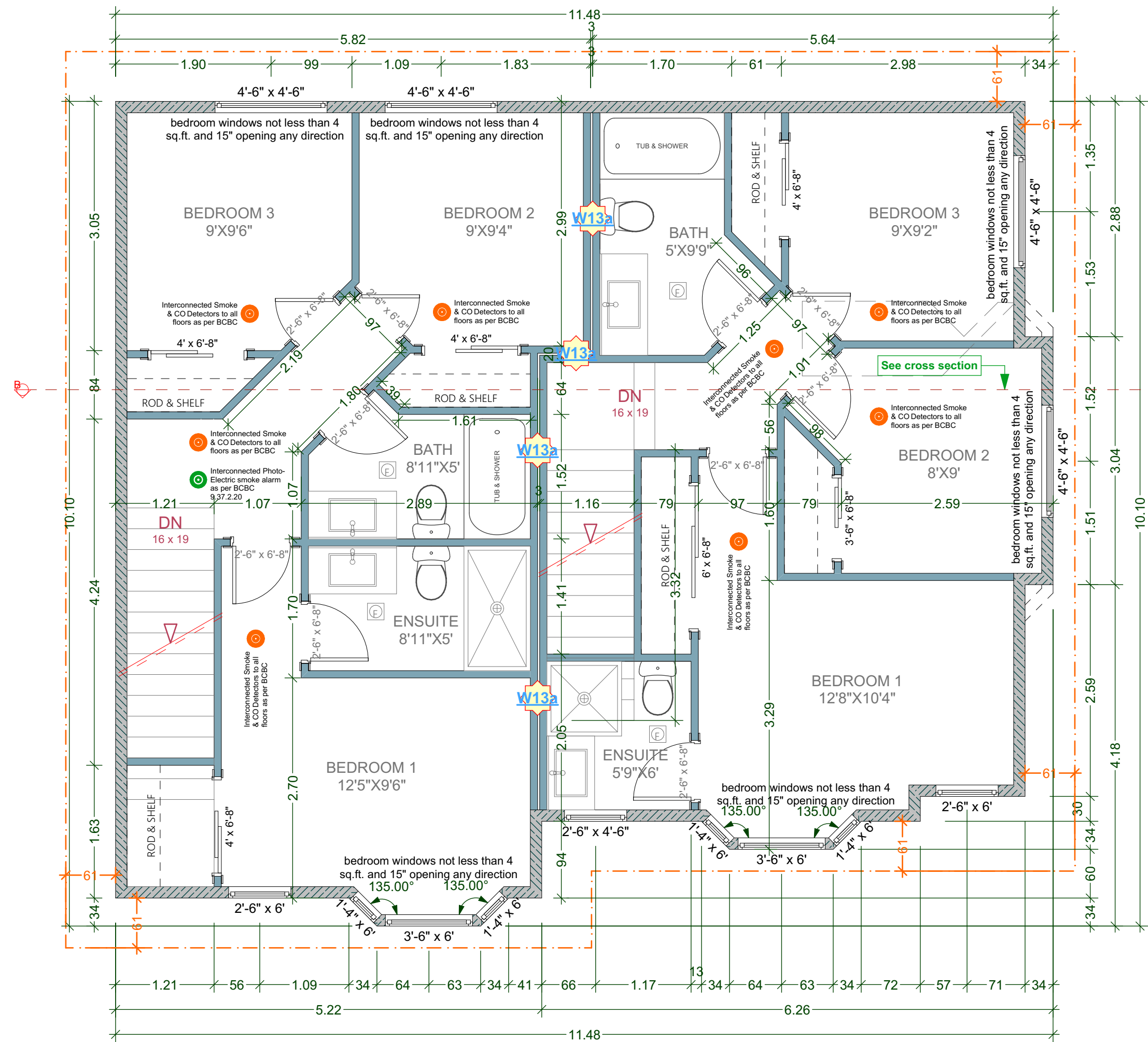
A6



CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**PROPOSED
MAIN FLOOR PLANS**
DRAWING SCALE:
1/4"=1'-0"

ISSUE DATE:
DEC 13, 2023
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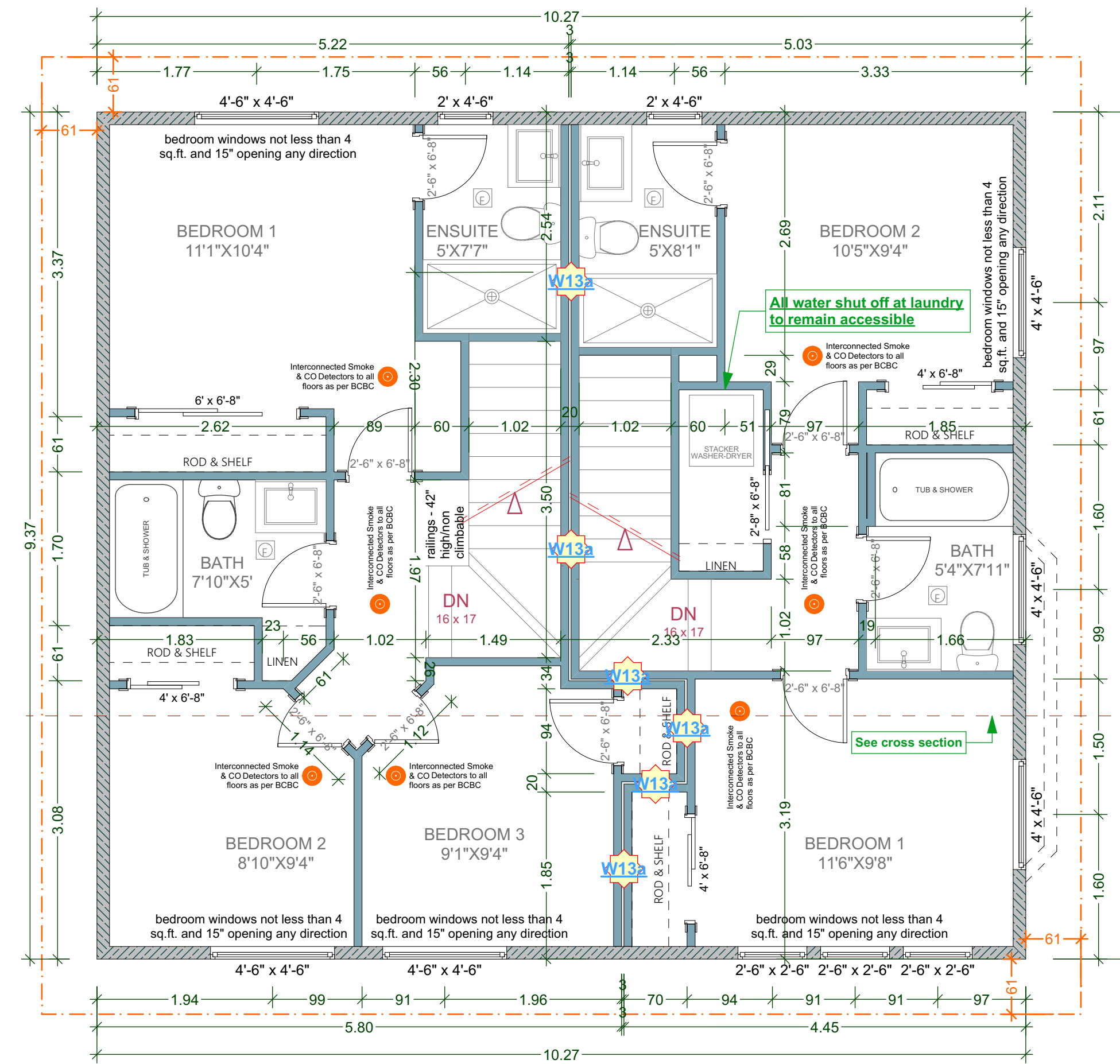
B UPPER FLOOR PLAN



UNIT 005 AREA: 537.99 Sq Ft
UNIT 006 AREA: 523.99 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS,
ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED
AND FIRE RATED WITH TYPE 'X' DRYWALL

- DEMISING WALL:** (1h as per W13a - Table A-9.10.3.1.A)
- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR:** (1h as per F11d - Table A-9.10.3.1.B)
- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood i-joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board



A UPPER FLOOR PLAN



UNIT 002 AREA: 524.06 Sq Ft
UNIT 003 AREA: 451.28 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS,
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 - with absorptive material in cavity
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 - 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1 - 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**PROPOSED
UPPER FLOOR PLANS**
DRAWING SCALE:
1/4"=1'-0"

ISSUE DATE:
DEC 13, 2023
DRAWN BY:
NS
CHECKED BY:
KL

JAVA DESIGNS
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SHEET
NUMBER

A8



19.77m PEAK

1726 HOLLYWOOD CRES
SCALE: 1/4" = 1' - 0"



PROPOSED SOUTH ELEVATION

HOLLYWOOD CRES.

EXTERIOR FINISHES SCHEDULE

A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE - AS PER MANIF. SPECS	F	WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD - ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G	BELLY BAND:	2x10 BELLY BAND W/ 2x2 DETAILS PAINTED CW FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H	RAILINGS:	ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I	POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J	BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1. 1734 HOLLYWOOD CRESCENT,
VICTORIA**

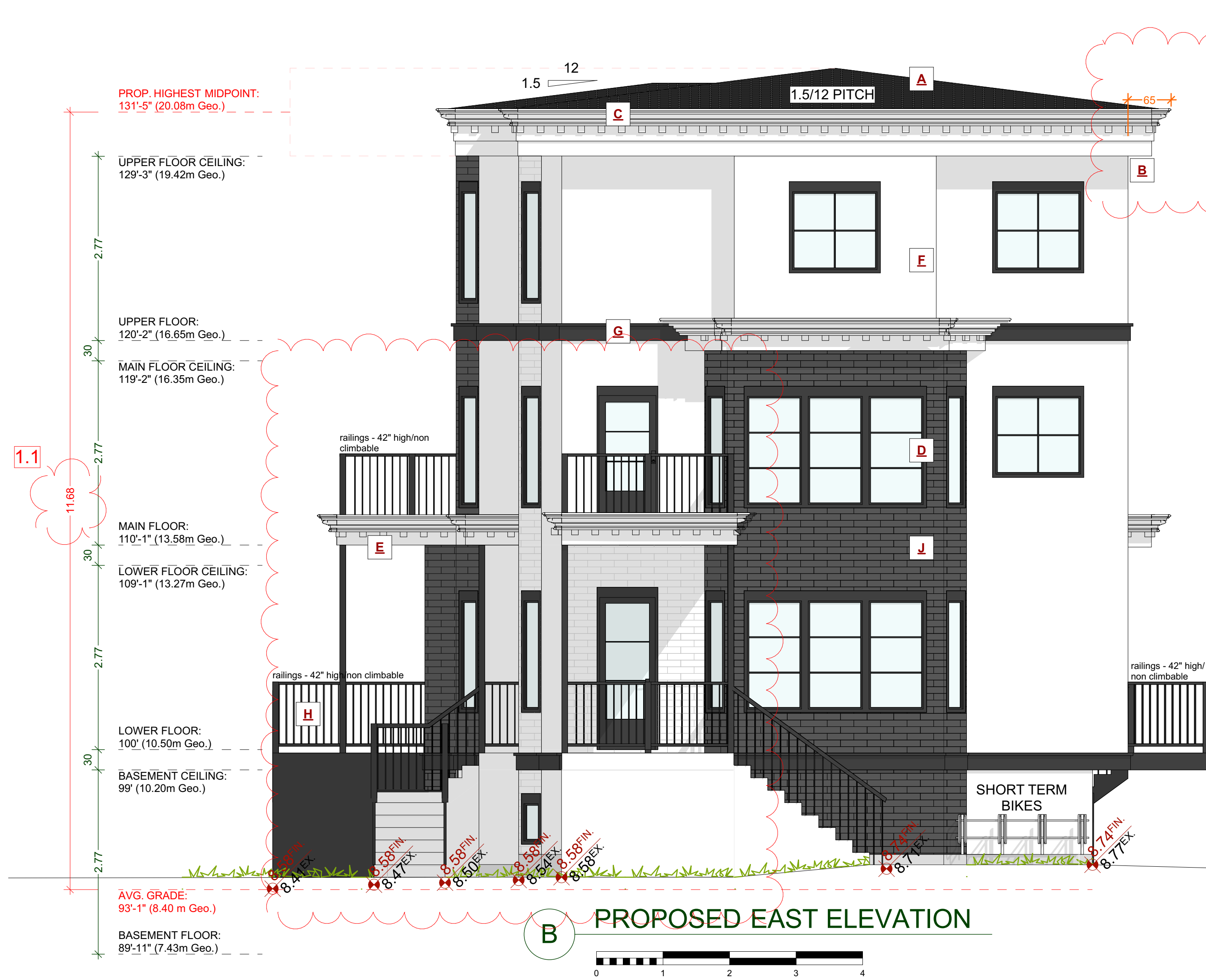
DRAWING NAME:
**PROPOSED HOLLYWOOD
CRES STREETSCAPE**
DRAWING SCALE:
1/4"=1'-0"

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EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	F WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS	G BELLY BAND: 2x10' BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS: ALUMINIUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS: PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA: ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**PROPOSED REAR AND
RIGHT ELEVATIONS**
DRAWING SCALE:
1/4"=1'-0"

ISSUE DATE:
DEC 13, 2023
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SHEET
NUMBER
A11



SHEET
NUMBER

A12



EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND: 2x10 BELLY BAND W/ 2x2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS: ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS: PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA: ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6. ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1. 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**PROPOSED WEST ELEVATIONS
- BLOCK A AND B**
DRAWING SCALE:
1/4"=1'-0"

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NUMBER
A13

2.6

****ALL WINDOWS MUST COMPLY WITH CBC AND NAFS REQUIREMENTS****
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1