**Revisions**

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date
February 7, 2018**A LIST OF CHANGES (SEE BUBBLES):**

1. CONC. SIDING ADDED/ MATERIALS SHOWN @ WEST & EAST ELEVATIONS EITHER
2. OPENINGS ARE 41% OF CARPORT PERIMETER/ LATTICE ADDED
3. WINDOW MOVED TO BE OFFSET FROM DUPLEX WINDOW
4. POTENTIAL HEIGHT & EXIST HOUSE SHOWN @ STREETSCAPE

A LIST OF CHANGES (SEE BUBBLES):

1. BIKE RACKS ADDED
2. FIRST 6.0M SLOPE @ 8% OF THE PROPERTY ADDED
3. NEW RETAINING WALL TO RETAIN PROPOSED RAMP
4. SETBACK 4.16M AS REQUIRED
5. CREATING PATIO TO MAKE BLD'G VISUALLY LOWER

Prop. Grade Calculation (See Elevations)

Pts A+B $((16.58+16.48)/2) \times 17.48 = 288.94$
Pts BL+C $((15.69+15.69)/2) \times 6.71 = 105.28$
Pts C+DL $((15.69+16.36)/2) \times 5.79 = 92.78$
Pts D+E $((16.68+16.90)/2) \times 17.48 = 293.49$
Pts E+F $((16.90+16.90)/2) \times 1.04 = 17.58$
Pts FL+GL $((15.69+15.69)/2) \times 6.73 = 105.59$
Pts G+A $((16.80+16.58)/2) \times 5.03 = 83.95$

Total: 987.61
 $987.61/59.96(\text{Perimeter}) = 16.47$ (Average Grade)

The Northerly 50 feet of Lot 4, Block 1,
Section 4, Victoria District, Plan 299
&

The Southerly 103 feet of Lot 4, Block 1,
Section 4, Victoria District, Plan 299
except the southerly 7.5 feet thereof taken for road
purposes as shown on said plan

Strata Building
+/- portion of

Strata Plan VIS7052

Duplex
No. 1050/1054

Area of the Northerly 50 feet of Lot 4
+/- 313.5 square metres

Area of the Southerly Part of Lot 4
+/- 598.4 square metres

total site area (both titles)
+/- 911.9 square metres

HILLSIDE AVENUE

GRAHAM STREET

Civic address: 2708 Graham Street (Northerly 50 feet of Lot 4)
Victoria, B.C.

Parcel Identifier Number 008-426-155

Civic address: 1050 & 1054 Hillside Avenue (Southerly Part of Lot 4)
Victoria, B.C.

Parcel Identifier Number 008-426-244

* - VARIANCE REQUIRED
** - EXISTING NONCONFORMING

SITE DATA		R3-2
ITEMS		PROPOSED
LOT AREA		911.93 SQ.M.
SITE COVERAGE(EX.DW.+		48.4%*(205 SQ.M.+
+PROP.TH.)		+236 SQ.M)
OPEN SIDE SPACE		38.8%(558 SQ.M)
SETBACKS		
-FRONT		7.58 M.
-REAR		2.31 M*
-LEFT		1.60 M.**/4.16 M.
-RIGHT		2.42 M.**/2.42 M.*
EX.DUPLEX FLOOR AREA		255.9 SQ.M.
PROP.TH. FLOOR AREA		475.12 SQ.M.
TOTAL FLOOR AREA		731.02 SQ.M.
F.S.R.		0.80 TO 1.0
PARKING	7	6*

4. SETBACK
4.16M
AS REQUIRED

1 Site Plan

Scale: 1:100

#103 - 891ATTREE AVENUE
VICTORIA, B.C.
V9B 0A6

PH: 250.382.7374
FAX: 250.382.7364

2708 GRAHAM STREET

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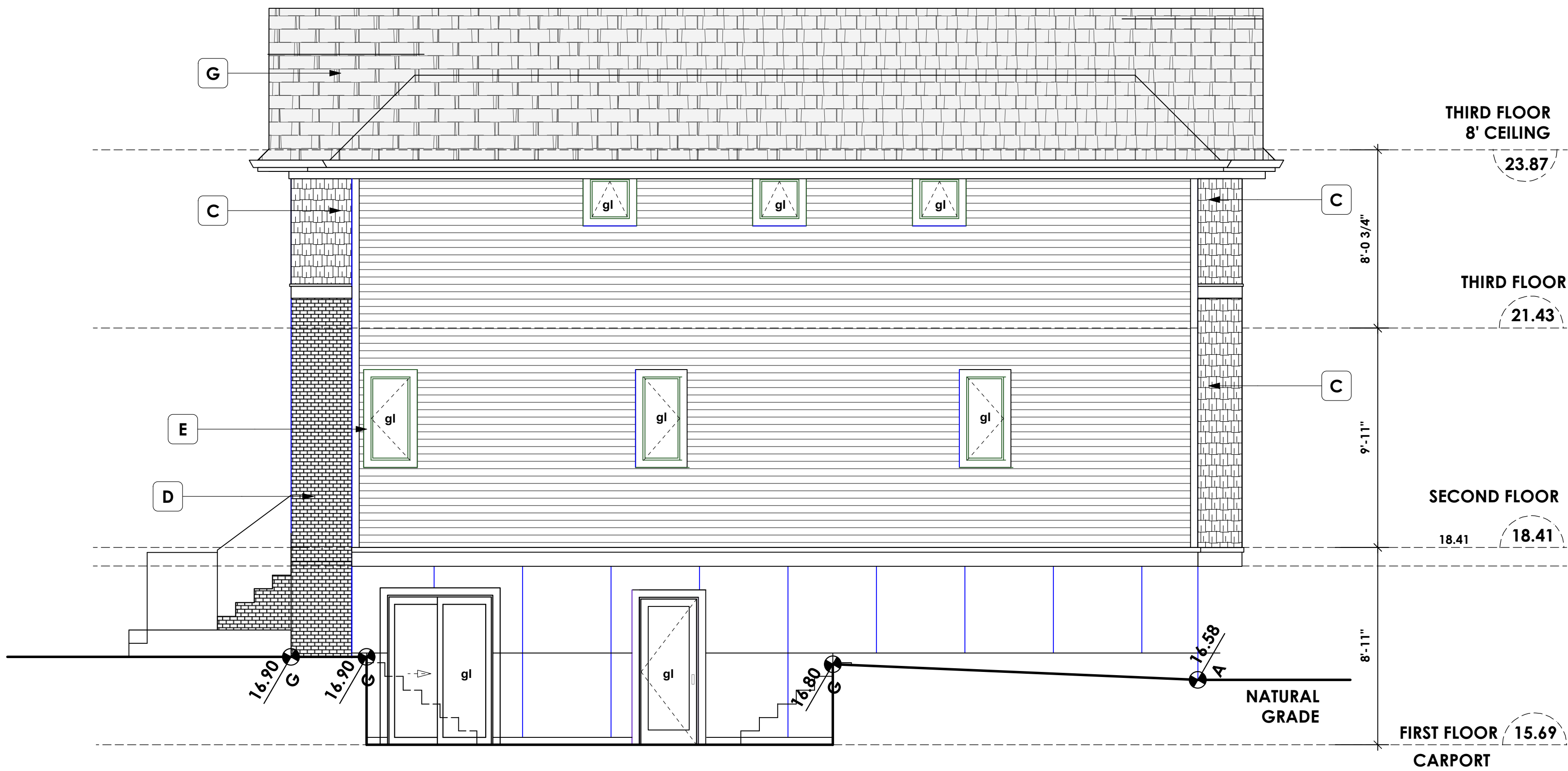
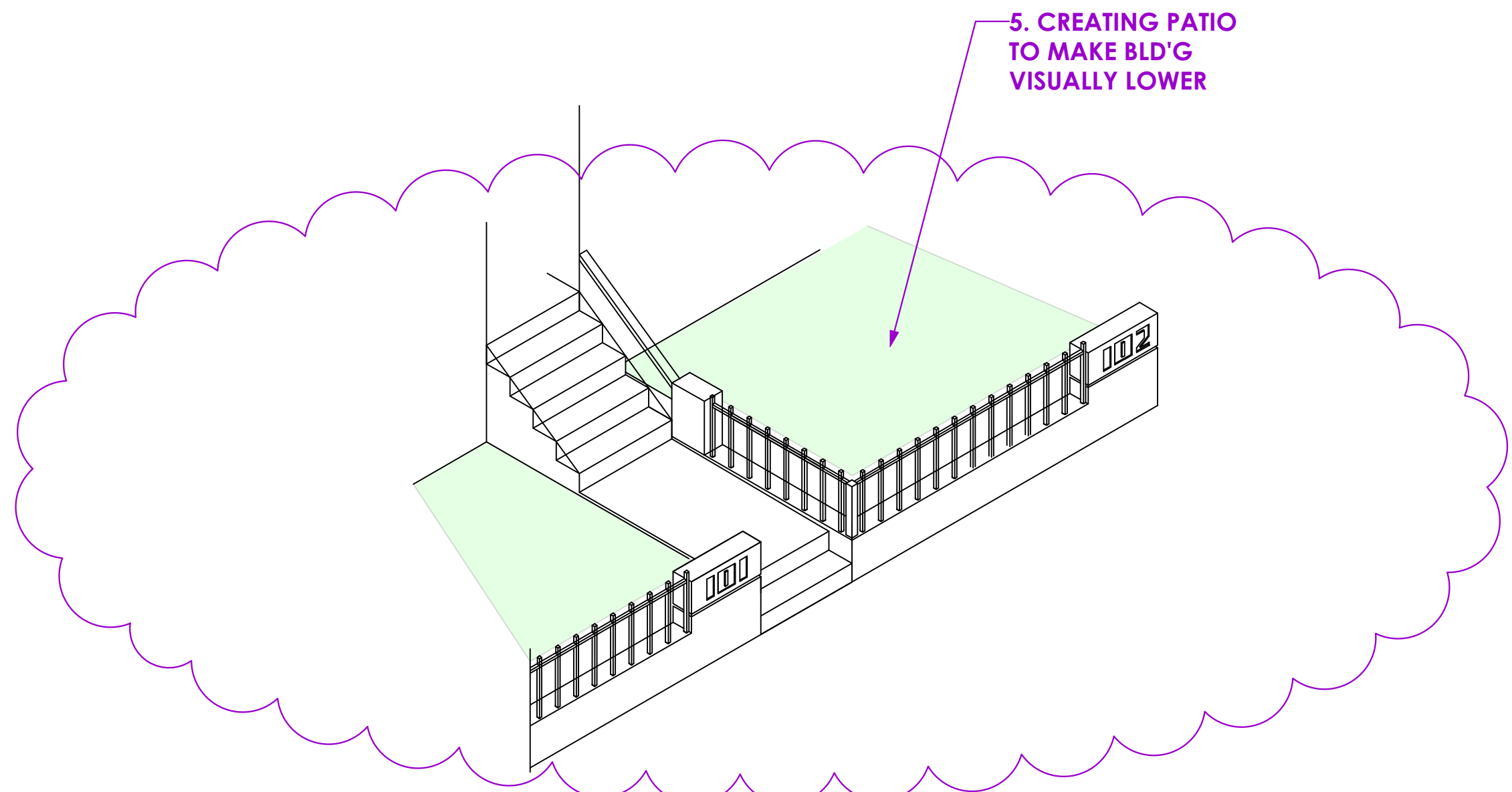
2708
Graham Street,
Victoria, B.C.

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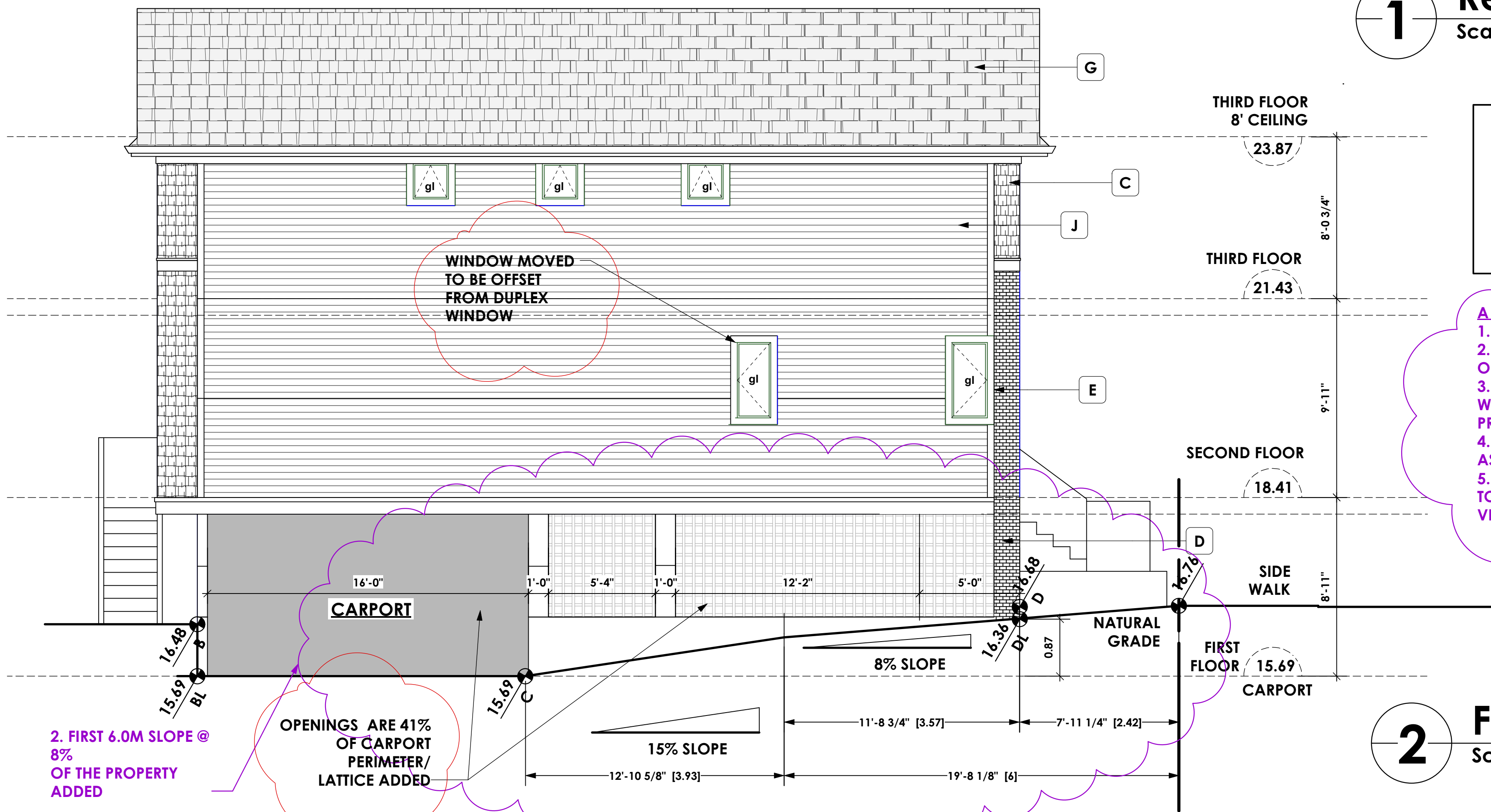
d r a w n b y
CB / WSP

VICTORIA
DESIGN
GROUP

Date: 5-2-18



1 Rear Elevation (North)
Scale: 1/4" = 1'-0"



2 Front Elevation (South)
Scale: 1/4" = 1'-0"

EXTERIOR APPLICATION					
A	PRE-FIN. METAL ROOFING	D	BRICK VENEER	G	LAMINATED ASPHALT SHINGLES
B	1"X6" FASCIA BOARD ON 2"X10" BOARD	E	1"X4" WINDOW & DOOR TRIM (metal flashing where req)	H	42" FIN. HT. GUARD C/W S.P. GLAZING PANEL TO COMPLY W/ BC BLDG CODE 2006 9.8.8
C	CONC. SHINGLE PANELS	F	CONC. FIBRE PANELS	I	1"X4" TRIM BOARD ON 2"X10" BARGE BOARD
				J	CONC. FIBRE SIDING

A LIST OF CHANGES (SEE BUBBLES) :
1. BIKE RACKS ADDED
2. FIRST 6.0M SLOPE @ 8% OF THE PROPERTY ADDED
3. NEW RETAINING WALL TO RETAIN PROPOSED RAMP
4. SETBACK 4.16M AS REQUIRED
5. CREATING PATIO TO MAKE BLD'G VISUALLY LOWER

CONC. SIDING ADDED/ MATERIALS SHOWN @ WEST & EAST ELEVATIONS EITHER

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Date: 5-2-18

EXTERIOR APPLICATION

- | | | | | | |
|---|------------------------------------|---|---|---|--|
| A | PRE-FIN. METAL ROOFING | D | BRICK VENEER | G | LAMINATED ASPHALT SHINGLES |
| B | 1"X6" FASCIA BOARD ON 2"X10" BOARD | E | 1"X4" WINDOW & DOOR TRIM (metal flashing where req) | H | 42" FIN. HT. GUARD C/W S.P. GLAZING PANEL TO COMPLY W/ BC BLDG CODE 2006 9.8.8 |
| C | CONC. SHINGLE PANELS | F | CONC. FIBRE PANELS | I | 1"X4" TRIM BOARD ON 2"X10" BARGE BOARD |
| | | J | CONC. FIBRE SIDING | | |

CONC. SIDING ADDED/ MATERIALS SHOWN @ WEST & EAST ELEV.

A LIST OF CHANGES (SEE BUBBLES) :
1. BIKE RACKS ADDED
2. FIRST 6.0M SLOPE @ 8% OF THE PROPERTY ADDED
3. NEW RETAINING WALL TO RETAIN PROPOSED RAMP
4. SETBACK 4.16M AS REQUIRED
5. CREATING PATIO TO MAKE BLD'G VISUALLY LOWER



5. CREATING PATIO TO MAKE BLD'G VISUALLY LOWER

1

Right Side Elevation

Scale: 1/4" = 1'-0"



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2

Left Side Elevation (West)

Scale: 1/4" = 1'-0"

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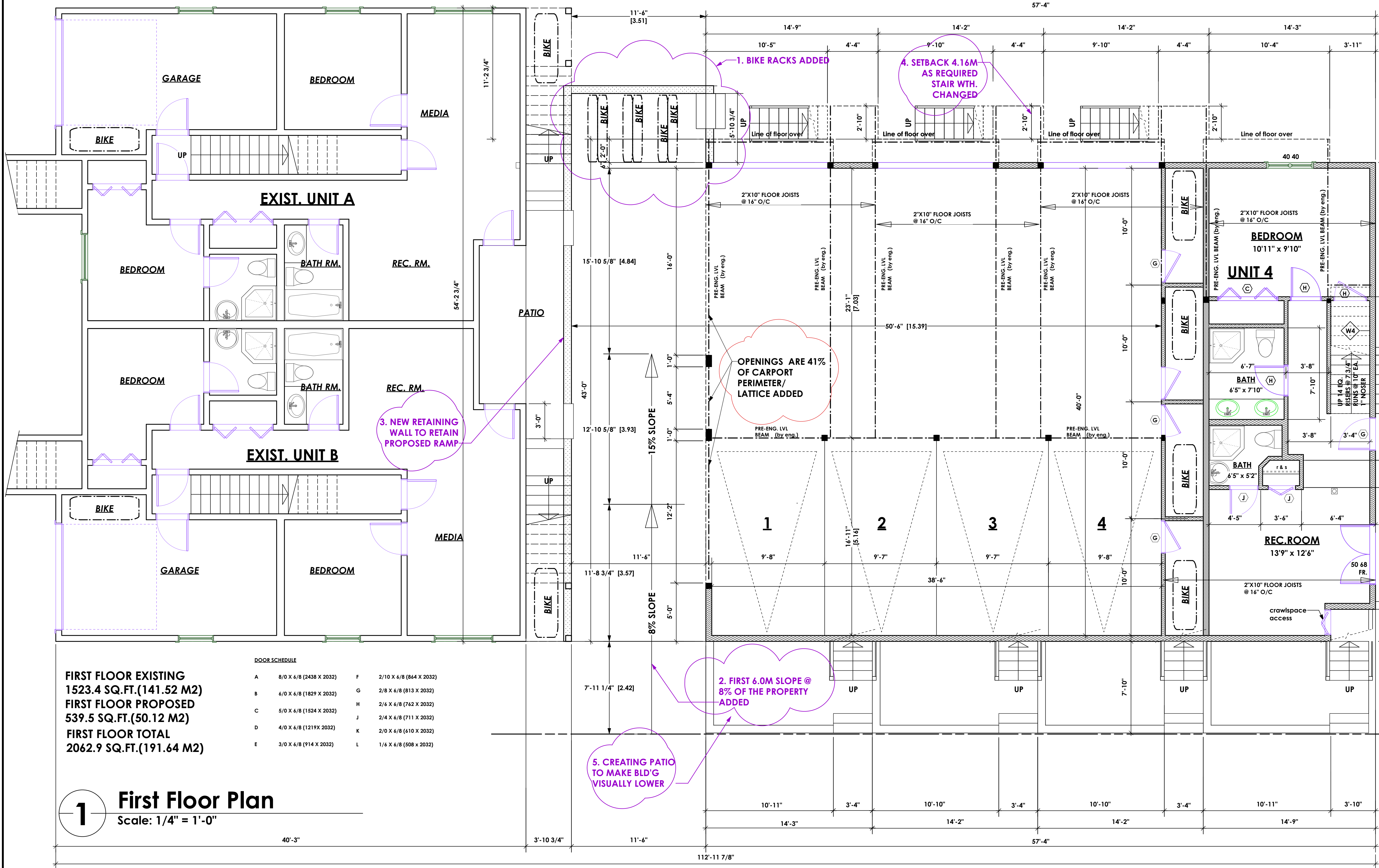
2708 GRAHAM STREET

DEVELOPMENT PERMIT

Date: 5-2-18

A3

- A LIST OF CHANGES (SEE BUBBLES):
1. BIKE RACKS ADDED
 2. FIRST 6.0M SLOPE @ 8% OF THE PROPERTY ADDED
 3. NEW RETAINING WALL TO RETAIN PROPOSED RAMP
 4. SETBACK 4.16M AS REQUIRED
 5. CREATING PATIO TO MAKE BLD'G VISUALLY LOWER



DEVELOPMENT PERMIT

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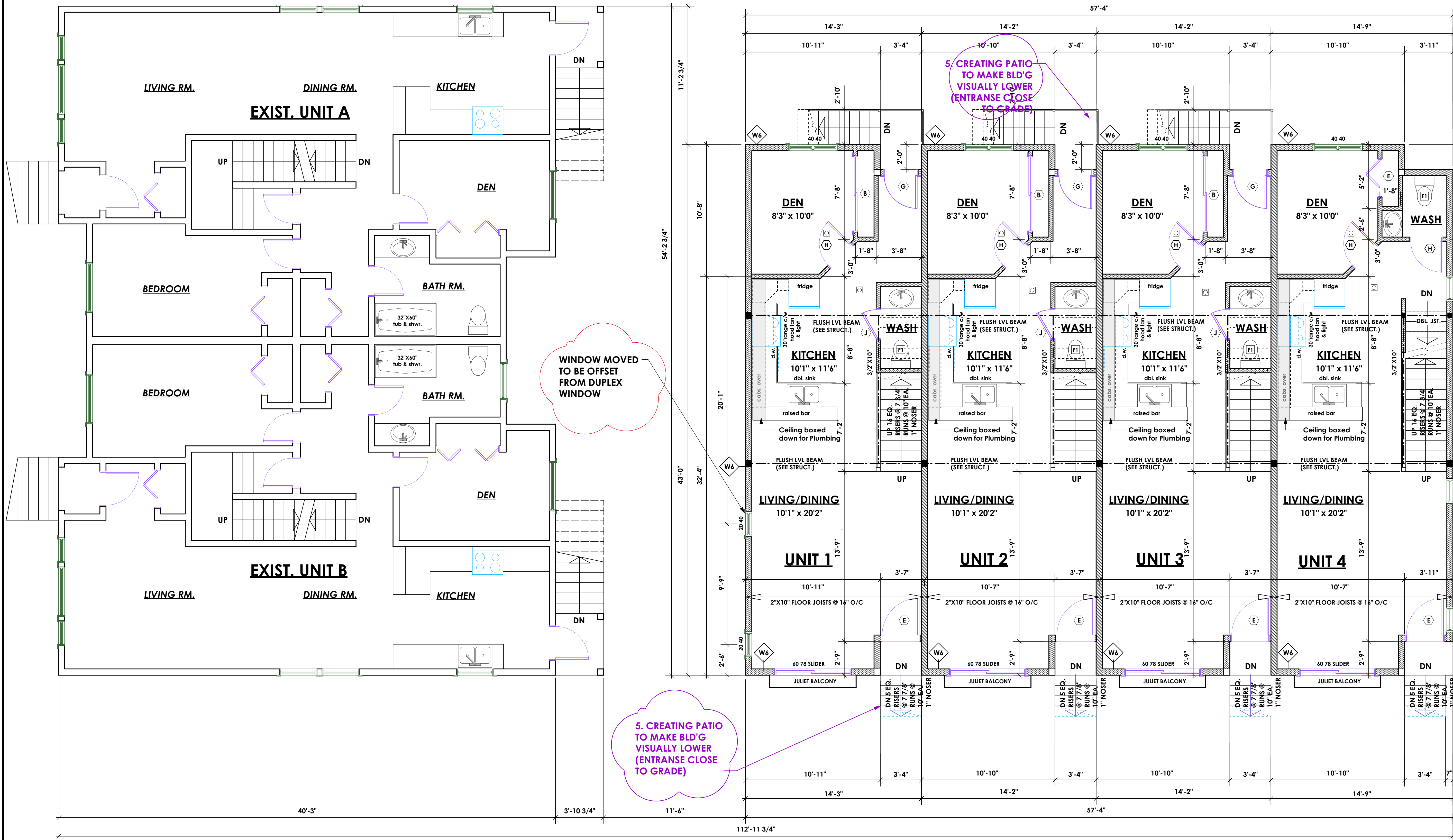
Date: 5-2-18

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A4

- A LIST OF CHANGES (SEE BUBBLES):
1. BIKE RACKS ADDED
 2. FIRST 6.0M SLOPE @ 8% OF THE PROPERTY ADDED
 3. NEW RETAINING WALL TO RETAIN PROPOSED RAMP
 4. SETBACK 4.16M AS REQUIRED
 5. CREATING PATIO TO MAKE BLD'G VISUALLY LOWER



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d r a w n b y
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**VICTORIA
DESIGN
G R O U P**

Date: 5-2-18

1 Second Floor Plan

Scale: 1/4" = 1'-0"

SECOND FLOOR EXISTING
1972.0 SQ.FT.(183.20 M2)
SECOND FLOOR PROPOSED
2287.4 SQ.FT.(212.50 M2)
SECOND FLOOR TOTAL
4256.4 SQ.FT.(395.70 M2)

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DOOR SCHEDULE

A	8/0 X 6/8 (2438 X 2032)	F	2/10 X 6/8 (864 X 2032)
B	6/0 X 6/8 (1829 X 2032)	G	2/8 X 6/8 (813 X 2032)
C	5/0 X 6/8 (1524 X 2032)	H	2/6 X 6/8 (762 X 2032)
D	4/0 X 6/8 (1219 X 2032)	J	2/4 X 6/8 (711 X 2032)
E	3/0 X 6/8 (914 X 2032)	K	2/0 X 6/8 (610 X 2032)
		L	1/6 X 6/8 (508 X 2032)

Mechanical Exhaust Fans

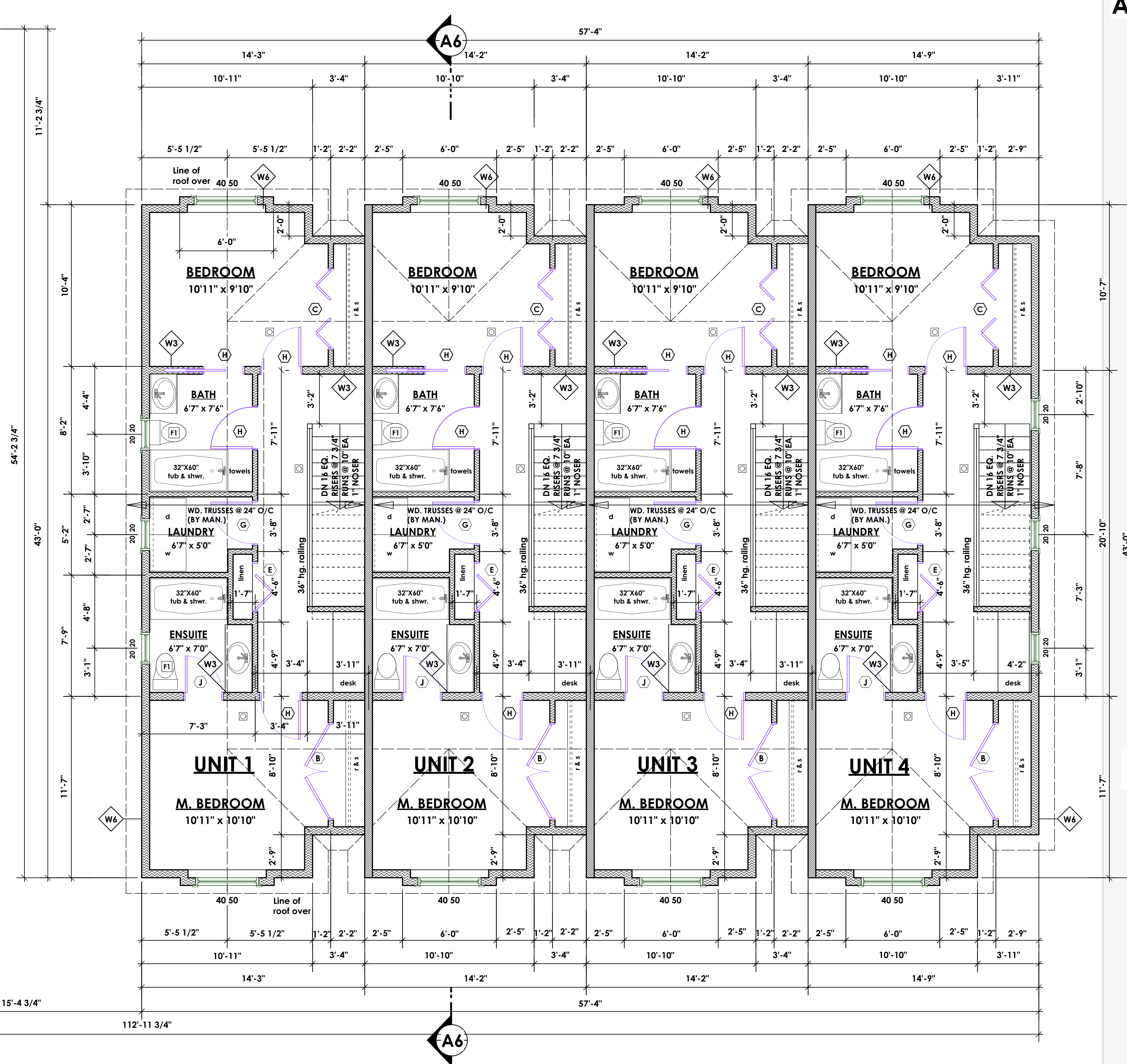
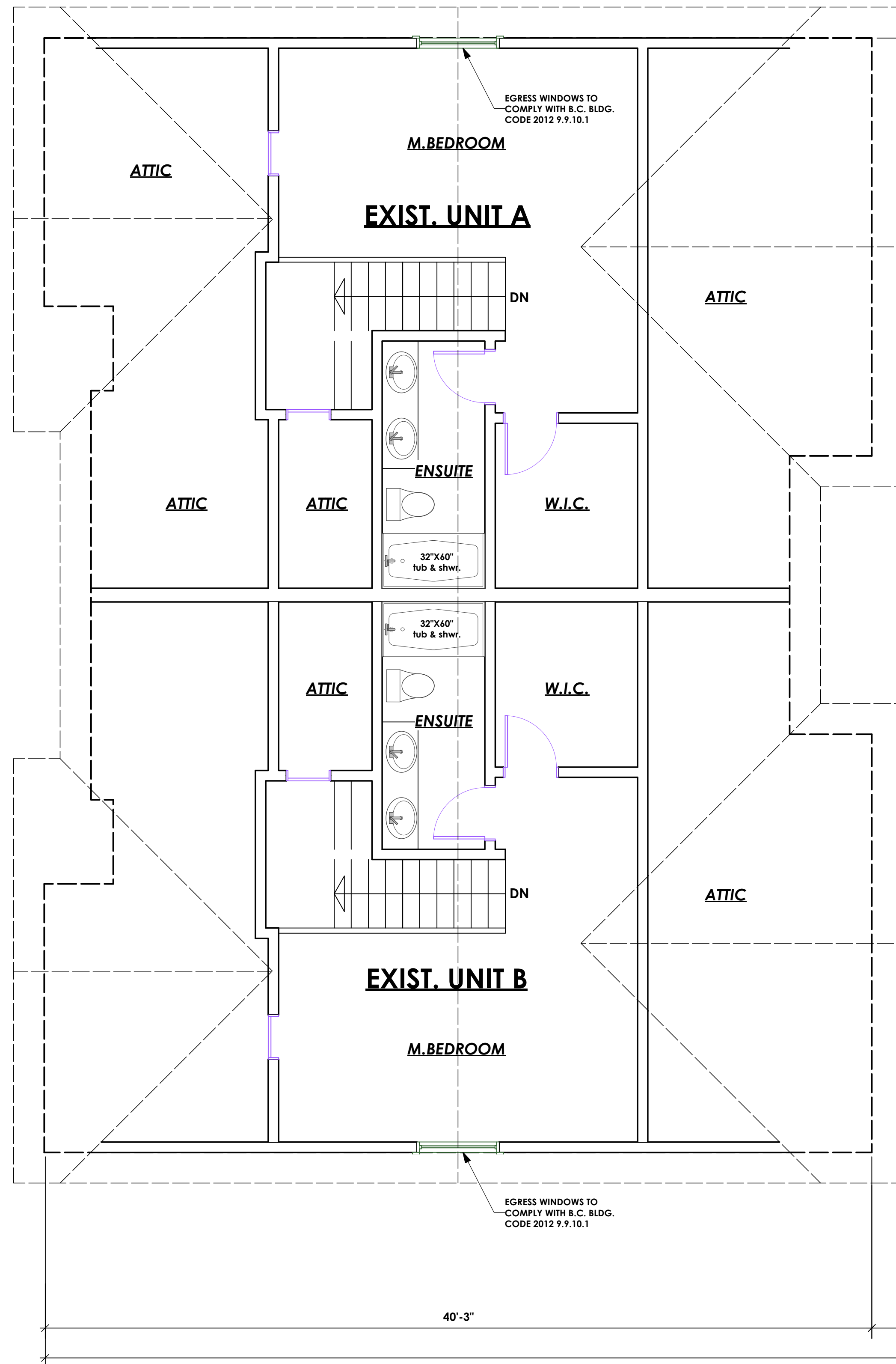
FI 231/s (50 CFM) intermittent
9 L/s (20 CFM) continuous
Refer to general notes

■ Built-up Wd. Post (by structural engineer)

□ Built-up Wd. Post (load from above)

⊙ Point Load

⊕ Interconnected Smoke detectors to comply with B.C.B.C. 9.10.19.
Interconnected Carbon Monoxide detectors to comply with B.C.B.C. 9.32.4.2.



A5

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d r a w n b y
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**VICTORIA
DESIGN
G R O U P**

Date: 5-2-18

1 Third Floor

Scale: 1/4" = 1'-0"

THIRD FLOOR EXISTING
782.5 SQ.FT.(72.70 M2)
THIRD FLOOR PROPOSED
2287.4 SQ.FT.(212.50 M2)
THIRD FLOOR TOTAL
3069.9 SQ.FT.(285.20 M2)

NOTE: ROOM SIZES NOTED ON FLOOR PLANS ARE FOR
REFERENCE PURPOSES ONLY AND NOT TO BE USED FOR
CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER
SIZES AND ARE TO BE USED FOR CONSTRUCTION

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR
AND INTERIOR BRACED WALL PANELS TO RESIST LATERAL LOADS IN COMPLIANCE
WITH B.C. BUILDING CODE 2012 9.23.13.2 AND SUPPLY DETAILS IF REQUIRED

DOOR SCHEDULE

A	8/0 X 6/8 (2438 X 2032)	F	2/10 X 6/8 (864 X 2032)
B	6/0 X 6/8 (1829 X 2032)	G	2/8 X 6/8 (813 X 2032)
C	5/0 X 6/8 (1524 X 2032)	H	2/6 X 6/8 (762 X 2032)
D	4/0 X 6/8 (1219 X 2032)	J	2/4 X 6/8 (711 X 2032)
E	3/0 X 6/8 (914 X 2032)	K	2/0 X 6/8 (610 X 2032)
		L	1/6 X 6/8 (508 X 2032)

- Built-up Wd. Post (by structural engineer)
- Built-up Wd. Post (load from above)
- Point Load

☑ Interconnected Smoke detectors
to comply with B.C.B.C. 9.10.19.
Interconnected Carbon Monoxide
detectors to comply with
B.C.B.C. 9.32.4.2.

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Section Notes

Roofs

- R1. 2-PLY TORCH-ON ROOFING MEMBRANE (to comply w/ CGSB 37-GP-56M and CGSB-37-GP-9MA)
1/2" ROOFING RECOVERY BOARD ON SLOPED TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 5/8" T&G PLYWOOD SHEATHING OR EQ. ON 2"X4" WOOD STRAPPING @16" O/C
2"X10" ROOF JOISTS @ 16" O.C.
C/W R-28 F.G. BATT. INSULATION
6 MIL POLY'N V.B.
1/2" GYPSUM BOARD
(provide adequate drainage flashing membrane "upstand"/ cant. flashing @ ext. wall.)
- R2. PROVIDE 2 1/2" CLEAR BETWEEN R-28 INSULATION AND SHEATHING.
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 150 OR 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 9.19.1)
- R5. LAMINATED ASPHALT SHINGLES OR METAL ROOFING (see elev.) ON 1/2" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION 6 MIL POLY'N V.B.
5/8" GYPSUM BOARD
- R6. PRE-FN. FASCIA GUTTER 2x8 FASCIA BD. 2x4 SUB. FASCIA BD. VENTED SOFFIT (see contractor)

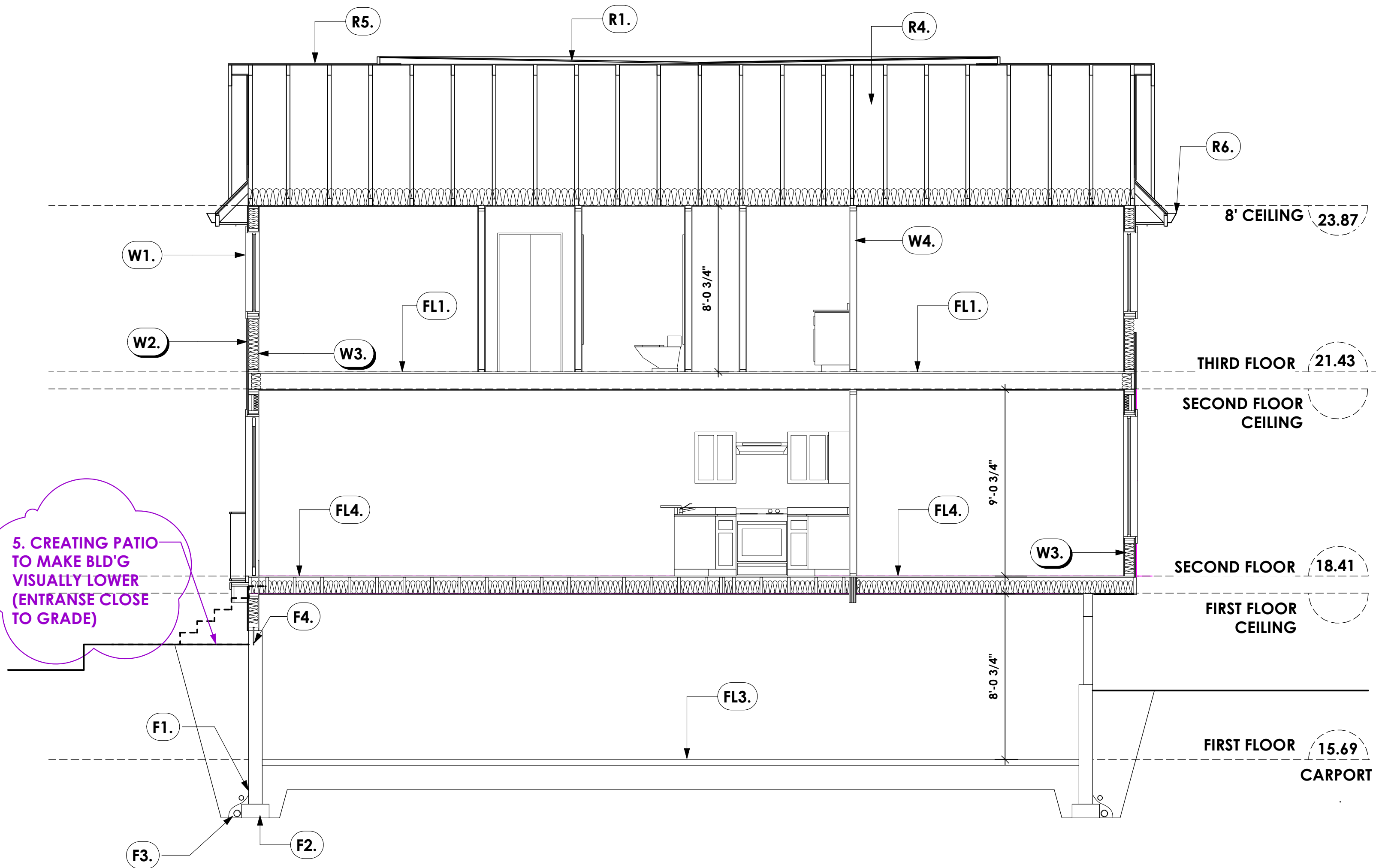
Floors and Walls

- FL1. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"X10" FLOOR JOISTS @ 16" OR 12" O/C C/W 2"X2" X-BRIDGING @ 7.0" O/C (max) 1/2" GYPSUM BOARD
- FL2. 3.5" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL3. 3.5" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL4. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"X10" FLOOR JOISTS @ 16" OR 12" O/C C/W 2"X2" X-BRIDGING @ 7.0" O/C (max) R-28 INSULATION 6 MIL. POLY'N V.B. 5/8" X-TYPE GYPSUM BOARD (floors over garages)

Foundation Walls

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c B/W ON UNDISTURBED SOIL (SOLID BEARING)
- F2. 16"X 8" CONC. FOOTINGS C/W 2 # 4 BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2m) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY OR VERTICALLY FOR SLABS ABOVE FROST LINE. (verify with municipality depth of frost line)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY, VERIFY EXTENT ON SITE

- W1. DOUBLE GLAZING IN THERMAL BREAK FRAMES 2/2"X10" INTEL OVER (TYPICAL) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) WINDOW MANUF. TO ENSURE ALL WINDOWS & DOORS TO COMPLY WITH B.C. BLDG. CODE 2012 9.7 & Victoria (Mt. Tolmie) OPEN Terrain AAMA/ WDMA/CSA 101/1.5.2/ A440-08, NAFS & A440S1-09 Class R - PG45 (360) A3 RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. BRICK VENEER OR STUCCO ON 19mm (3/4") AIR SPACE / P.T. WOOD STRAPPING ON 2 LAYERS 30 MIN. BUILDING PAPER ON 1/2" PLYWOOD SHEATHING OR EQ. ON 2"X6" STUDS @ 16" O.C.
- W3. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. C/W R-20 INSULATION
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2"X 4" STUDS @ 16" o/c OR 2"x6" STUDS @ 16" o/c (if noted)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2"X6" STUDS @ 16" o/c c/w R-20 INSULATION 6MIL. POLY'N V.B. 1/2" GYPSUM BOARD (between garage & living)



1

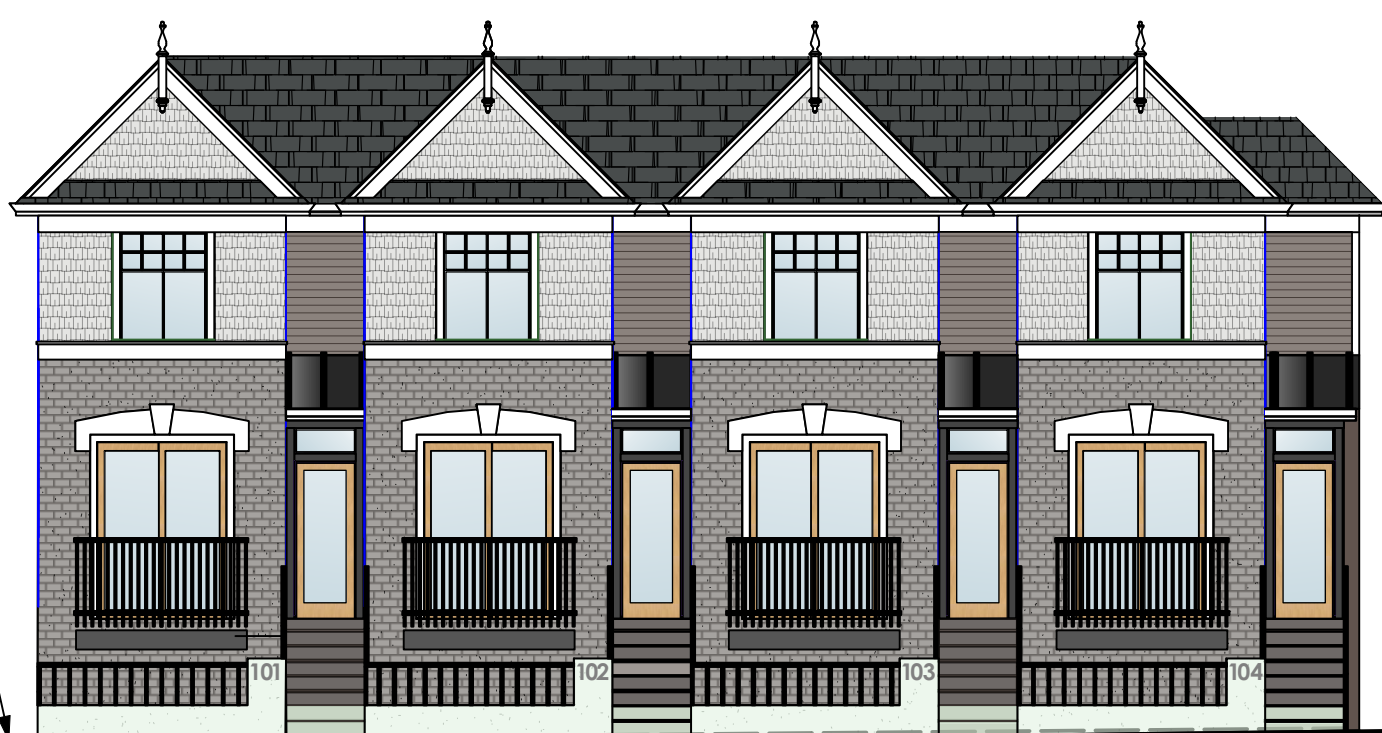
Cross Section A-A

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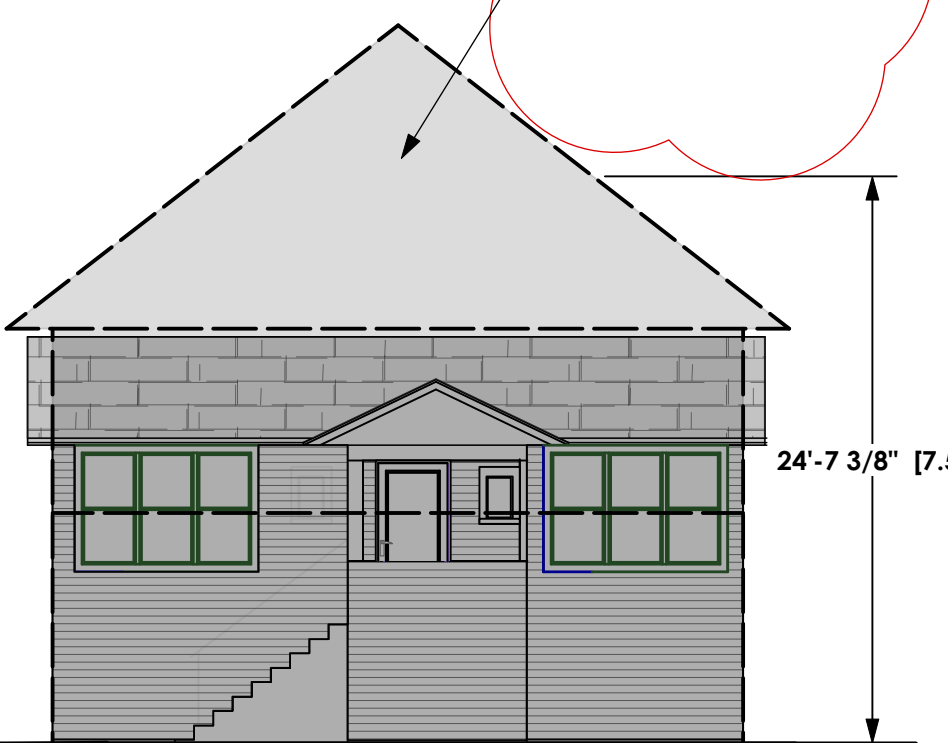
2 Street Scope

Scale: 1 : 100



Colour Legend

- Black Veneer
Benjamin Moore HC-
Windows Trim, Columns
White
Laminated Asphalt Roofing Shingle
Oxford Grey
Gutter, Unpainted Aluminum
Black Vinyl Windows
Doors, Veneer Boards
Benjamin Moore HC-12
Siding, Panels
Benjamin Moore AC-14
Stucco, Panels
Benjamin Moore 1463
Topexa Taupe

POTENTIAL HEIGHT
& EXIST HOUSE
SHOWNDEVELOPMENT
PERMIT2708
Graham Street,
Victoria, B.C.drawing #
7898
scaledrawn by
CB / WSPVICTORIA
DESIGN
GROUP#103 - 891 ATTREE AVENUE
VICTORIA, B.C.
V9B 0A6PH: 250.382.7374
FAX: 250.382.7364

2708 GRAHAM STREET

DEVELOPMENT PERMIT

Date: 5-2-18

PLANTING PLAN



ACER CIRCINATUM



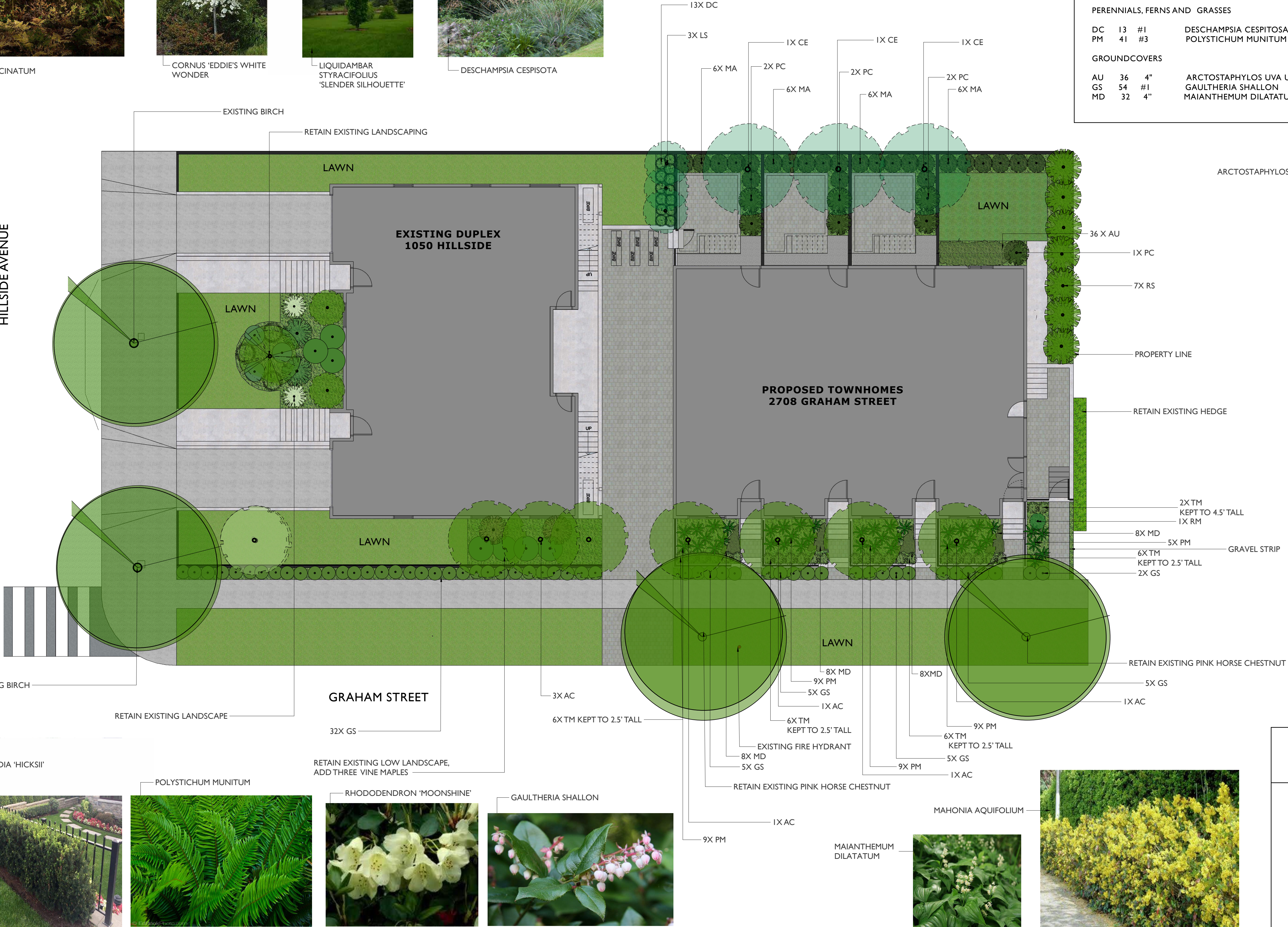
CORNUS 'EDDIE'S WHITE WONDER'



LIQUIDAMBAR STYRACIFOLIUS 'SLENDER SILHOUETTE'



DESCHAMPSIA CESPISOTA



PLANT LIST

ABB.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
TREES				
AC	7	5cm cal.	ACER CIRCINATUM	VINE MAPLE
CE	3	5cm cal.	CORNUS 'EDDIE'S WHITE WONDER'	EDDIE'S WHITE WONDER DOGWOOD
LS	3	5 cm cal.	LIQUIDAMEBER STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEET GUM
SHRUBS				
MA	24	#5	MAHONIA AQUIFOLIUM	OREGON GRAPE
PC	7	#5	PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK
RM	1	#5	RHODODENDRON 'MOONSTONE'	MOONSTONE RHODODENDRON
RS	7	#5	RIBES SANGUINEUM	RED FLOWERING CURRANT
TM	26	#5	TAXUS X MEDIA 'HICKSII'	HICK'S YEW
PERENNIALS, FERNS AND GRASSES				
DC	13	#1	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS
PM	41	#3	POLYSTICHUM MUNITUM	SWORD FERN
GROUNDCOVERS				
AU	36	4"	ARCTOSTAPHYLOS UVA URSI	KINNIKINNIK
GS	54	#1	GAULTHERIA SHALLON	SALAL
MD	32	4"	MAIANthemum DILATATUM	FLASE LILY OF THE VALLEY



ARCTOSTAPHYLOS UVA URSI



RIBES SANGUINEUM



PHYSOCARPUS CAPITATUS



TAXUS X MEDIA 'HICKSII'



POLYSTICHUM MUNITUM



RHODODENDRON 'MOONSHINE'



GAULTHERIA SHALLON

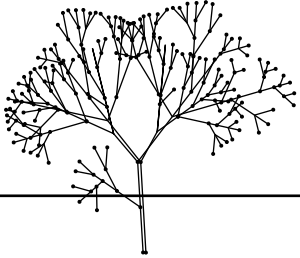


MAIANthemum DILATATUM



MAHONIA AQUIFOLIUM

GREENSPACE DESIGNS
sustainable landscape design



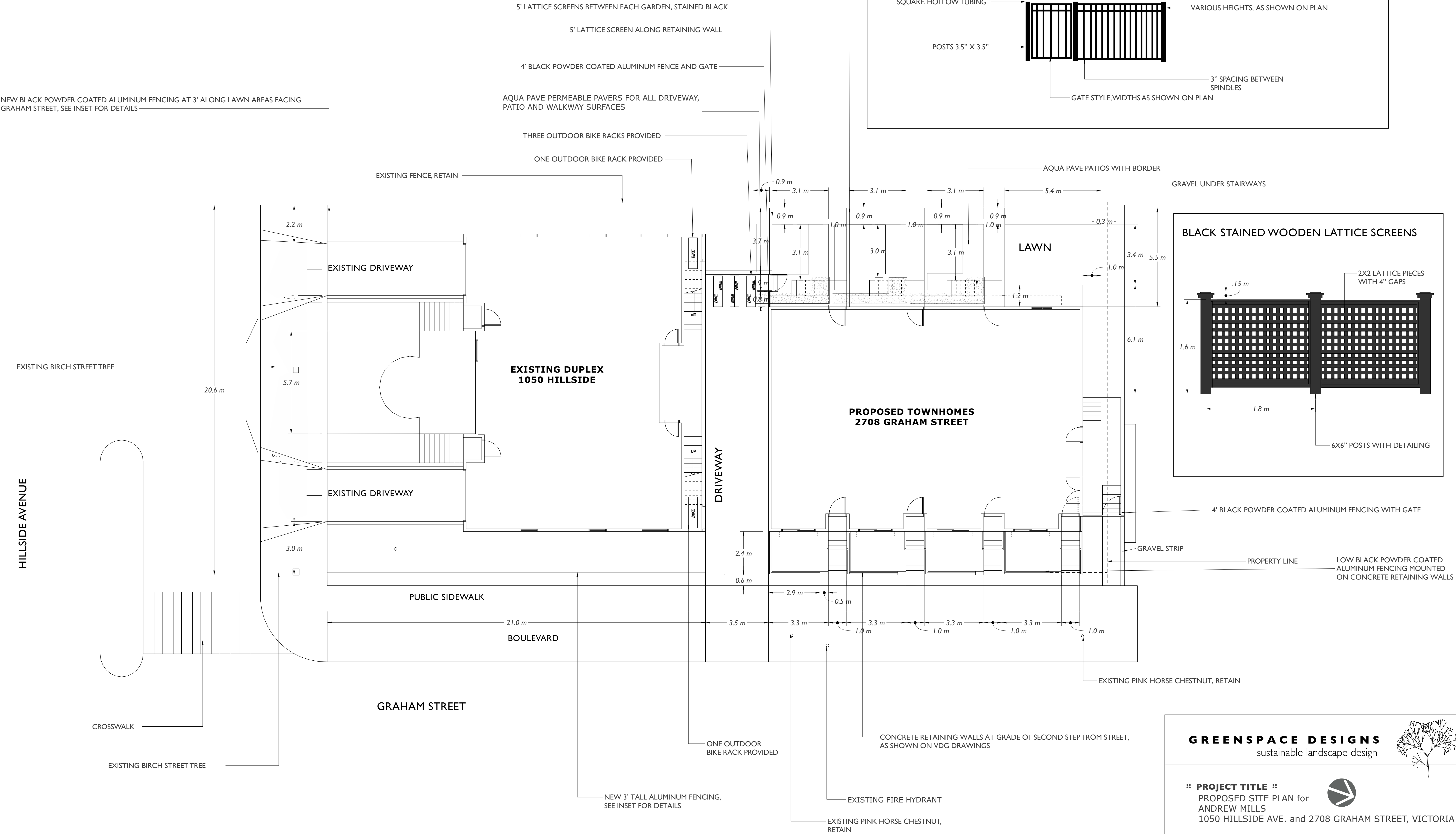
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PROPOSED PLANTING PLAN for
ANDREW MILLS
1050 HILLSIDE AVE. and 2708 GRAHAM STREET, VICTORIA BC

PAGE TITLE ::
PLANTING PLAN, PAGE ONE OF TWO

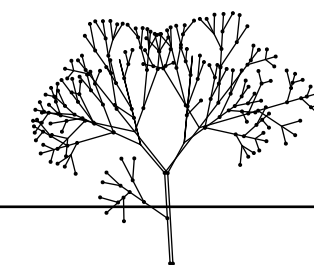
DATE ::
JUNE 5, 2017
revised AUGUST 16, 2017
revised JANUARY 31, 2018

SCALE ::
1:96

SITE AND DETAIL PLAN



GREENSPACE DESIGNS
sustainable landscape design



PROJECT TITLE :
PROPOSED SITE PLAN for
ANDREW MILLS
1050 HILLSIDE AVE. and 2708 GRAHAM STREET, VICTORIA BC

PAGE TITLE :
SITE PLAN, PAGE THREE OF TWO

DATE :
JUNE 5, 2017
revised AUGUST 16, 2017
revised JANUARY 31, 2018

SCALE :
1:96