

Property Data

GENERAL PROPERTY INFORMATION	
PROJECT DESCRIPTION	REZONING PERMIT APPLICATION WITH VARIANCES FOR LOT CONSOLIDATION AND STRATA PLAN SUBDIVISION: <ul style="list-style-type: none"> RETENTION OF AN EXISTING CHARACTER CONVERSION (1028; BPO58143) WITH RENTAL APARTMENTS, AND REMOVAL OF GARAGE OUT-BUILDING (1028) RETENTION OF AN EXISTING HOUSEPLEX (1030), AND REMOVAL OF NON-CONFORMING REAR ADDITION CONSTRUCTION OF A NEW EIGHT (8) UNIT ATTACHED DWELLING BUILDING (STRATA TOWNHOUSES) WITH TUCK-UNDER AND SURFACE PARKING AT LOT INTERIOR CONSOLIDATION AND SUBDIVISION OF TWO (2) LOTS INTO THREE (3)
CIVIC ADDRESS	1026/1028 AND 1030 EMPRESS AVENUE, VICTORIA BC
LEGAL DESCRIPTION	LOTS 6 & 7, BLOCK 8, SECTION 3, VICTORIA DISTRICT, PLAN 957
PROPERTY IDENTIFICATION NUMBERS (P.I.D.)	000-213-527 (1026/1028 EMPRESS) AND 000-848-492 (1030 EMPRESS)
AUTHORITY HAVING JURISDICTION	THE CITY OF VICTORIA
APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2024, INCLUDING ALL AMENDMENTS

Municipal Zoning Compliance Summary

0 - ZONING SUMMARY																																						
NO.	ITEM	DESCRIPTION	BYLAW REFERENCES																																			
0-1	ZONING DISTRICT [REZONING]	R-2 (TWO-FAMILY) EXISTING NEW (REZONING) PROPOSED	80-159																																			
0-2	DEVELOPMENT PERMIT AREA (DPA)	DPA-16A (GENERAL) EXISTING	OCF																																			
0-3	HERITAGE STATUS	DESIGNATED (1028) N/A	87-121:245																																			
0-4	PRINCIPAL USE [REZONING]	TWO-FAMILY REQUIRED 'G' TRIPLEX 4-PLEX TOWN-HOUSES	80-159:2.1.1																																			
0-5	SITE AREA & LOT WIDTH [REZONING]	<table border="1"> <tr> <td>SITE AREA (m²):</td> <td>≥ 555</td> <td>599.8</td> <td>600.9</td> <td>1,200.7</td> </tr> <tr> <td>SITE AREA FOR EACH DWELLING UNIT (m²):</td> <td>≥ 277.5</td> <td>199.9 (E3)</td> <td>150.2 (E4)</td> <td>85.8</td> </tr> <tr> <td>LOT WIDTH, MINIMUM AVERAGE (m):</td> <td>≥ 15</td> <td>15.205</td> <td>15.205</td> <td>30.41</td> </tr> </table>	SITE AREA (m ²):	≥ 555	599.8	600.9	1,200.7	SITE AREA FOR EACH DWELLING UNIT (m ²):	≥ 277.5	199.9 (E3)	150.2 (E4)	85.8	LOT WIDTH, MINIMUM AVERAGE (m):	≥ 15	15.205	15.205	30.41	80-159:2.1.2																				
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0-6	FLOOR AREA OF PRINCIPAL BUILDING [REZONING]	<table border="1"> <tr> <td>FLOOR SPACE RATIO:</td> <td>≤ 0.5</td> <td>0.274</td> <td>0.304</td> <td>0.902</td> </tr> <tr> <td>FLOOR AREA PER DWELLING UNIT (m²):</td> <td>≥ 46</td> <td>85.5</td> <td>68.3</td> <td>90.4</td> </tr> <tr> <td>FLOOR AREA, FIRST AND SECOND STOREYS COMBINED (m²):</td> <td>≤ 280</td> <td>164.3</td> <td>182.9</td> <td>735.7</td> </tr> <tr> <td>TOTAL FLOOR AREA (m²):</td> <td>≤ 380</td> <td>256.5</td> <td>273.2</td> <td>1,082.9</td> </tr> </table>	FLOOR SPACE RATIO:	≤ 0.5	0.274	0.304	0.902	FLOOR AREA PER DWELLING UNIT (m ²):	≥ 46	85.5	68.3	90.4	FLOOR AREA, FIRST AND SECOND STOREYS COMBINED (m ²):	≤ 280	164.3	182.9	735.7	TOTAL FLOOR AREA (m ²):	≤ 380	256.5	273.2	1,082.9	80-159:2.1.3															
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0-7	HEIGHT, STOREYS, ROOF DECKS [REZONING]	<table border="1"> <tr> <td>BUILDING HEIGHT (STOREYS):</td> <td>51.5 + BSMT</td> <td>2 + BSMT</td> <td>2 + BSMT</td> <td>3</td> </tr> <tr> <td>BUILDING HEIGHT, WHERE NO BASEMENT (m):</td> <td>≤ 7.6</td> <td>7.03</td> <td>8.64</td> <td>10.34</td> </tr> </table>	BUILDING HEIGHT (STOREYS):	51.5 + BSMT	2 + BSMT	2 + BSMT	3	BUILDING HEIGHT, WHERE NO BASEMENT (m):	≤ 7.6	7.03	8.64	10.34	80-159:2.1.4																									
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0-8	SETBACKS & PROJECTIONS [REZONING]	<table border="1"> <tr> <td>FRONT YARD SETBACK (m):</td> <td>≥ 7.5 OR ADJ. AVG. (4.26)</td> <td>3.84</td> <td>3.80</td> <td>3.88 (0.345)</td> </tr> <tr> <td>REAR YARD SETBACK (m):</td> <td>≥ 10.7 OR 35% (13.99)</td> <td>22.65</td> <td>19.30</td> <td>24.84</td> </tr> <tr> <td>SIDE YARD SETBACK - WEST (m):</td> <td>≥ 1.5 OR 10% (3.04)</td> <td>5.09</td> <td>3.70</td> <td>2.17</td> </tr> <tr> <td>SIDE YARD SETBACK - EAST (m):</td> <td>≥ 1.5 OR 10% (3.04)</td> <td>1.80</td> <td>3.40</td> <td>2.17</td> </tr> <tr> <td>COMBINED SIDE YARD SETBACKS (m):</td> <td>≥ 4.5</td> <td>6.89</td> <td>7.10</td> <td>4.34</td> </tr> <tr> <td>EAVE PROJECTIONS INTO SETBACKS (m):</td> <td>≤ 0.75</td> <td>PERMITTED</td> <td>EXISTING</td> <td>≤ 0.75</td> </tr> </table>	FRONT YARD SETBACK (m):	≥ 7.5 OR ADJ. AVG. (4.26)	3.84	3.80	3.88 (0.345)	REAR YARD SETBACK (m):	≥ 10.7 OR 35% (13.99)	22.65	19.30	24.84	SIDE YARD SETBACK - WEST (m):	≥ 1.5 OR 10% (3.04)	5.09	3.70	2.17	SIDE YARD SETBACK - EAST (m):	≥ 1.5 OR 10% (3.04)	1.80	3.40	2.17	COMBINED SIDE YARD SETBACKS (m):	≥ 4.5	6.89	7.10	4.34	EAVE PROJECTIONS INTO SETBACKS (m):	≤ 0.75	PERMITTED	EXISTING	≤ 0.75	80-159:2.1.5					
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0-9	SITE COVERAGE & OPEN SITE SPACE [REZONING]	<table border="1"> <tr> <td>SITE COVERAGE (%):</td> <td>≥ 40</td> <td>21.7</td> <td>19.1</td> <td>43.9</td> </tr> <tr> <td>OPEN SITE SPACE (%):</td> <td>≥ 30 LOT; ≥ 33 REAR</td> <td>78.3</td> <td>80.9</td> <td>39.7</td> </tr> </table>	SITE COVERAGE (%):	≥ 40	21.7	19.1	43.9	OPEN SITE SPACE (%):	≥ 30 LOT; ≥ 33 REAR	78.3	80.9	39.7	80-159:2.1.6																									
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0-11	OFF-STREET VEHICULAR PARKING [VARIANCE]	<table border="1"> <tr> <td>BLDG. USE:</td> <td>1028</td> <td>SCHEDULE 'G'</td> <td>3</td> <td>N/A</td> <td>0</td> <td>0</td> </tr> <tr> <td>1030</td> <td>EX; SIM. SCHEDULE 'G'</td> <td>4</td> <td>N/A</td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>NEW MULTI-DWELL (≥70m²)</td> <td>7</td> <td>1.45</td> <td>10.2+10</td> <td>7</td> <td>7</td> <td>7</td> </tr> <tr> <td>ALL VISITORS</td> <td>7</td> <td>0.1</td> <td>0.7+1</td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>TOTAL:</td> <td></td> <td></td> <td></td> <td>11</td> <td>7</td> <td>7</td> </tr> </table>	BLDG. USE:	1028	SCHEDULE 'G'	3	N/A	0	0	1030	EX; SIM. SCHEDULE 'G'	4	N/A	0	0	0	NEW MULTI-DWELL (≥70m ²)	7	1.45	10.2+10	7	7	7	ALL VISITORS	7	0.1	0.7+1	0	0	0	TOTAL:				11	7	7	80-159: SCHEDULE C, TABLES 1, 3 & 5
BLDG. USE:	1028	SCHEDULE 'G'	3	N/A	0	0																																
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0-12	OFF-STREET BICYCLE PARKING	<table border="1"> <tr> <td>BLDG. USE:</td> <td>1028</td> <td>SCHEDULE 'G'</td> <td>4</td> <td>1</td> <td>4</td> <td>3 (EX.)</td> </tr> <tr> <td>1030</td> <td>SCHEDULE 'G'</td> <td>3</td> <td>1</td> <td>3</td> <td>0 (EX.)</td> <td>3</td> </tr> <tr> <td>NEW MULTI-DWELL (≥70m²)</td> <td>7</td> <td>1.25</td> <td>8.75+9</td> <td>13</td> <td>13</td> <td>13</td> </tr> <tr> <td>TOTAL:</td> <td></td> <td></td> <td></td> <td>16</td> <td>16</td> <td>16</td> </tr> </table>	BLDG. USE:	1028	SCHEDULE 'G'	4	1	4	3 (EX.)	1030	SCHEDULE 'G'	3	1	3	0 (EX.)	3	NEW MULTI-DWELL (≥70m ²)	7	1.25	8.75+9	13	13	13	TOTAL:				16	16	16	80-159: SCHEDULE C, TABLES 2 & 4							
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TOTAL:				16	16	16																																



Rezoning - Project Information Table

ZONING DISTRICT	CURRENT ZONING	1028 - EXISTING CONVERSION (RETAIN)	1030 - EXISTING MULTIFAMILY (RETAIN)	PROPOSED NEW TOWNHOUSES	PROPOSED (COMBINED LOTS)
R-2 TWO-FAMILY	R-2 TWO-FAMILY	R-2 TWO-FAMILY	R-2 TWO-FAMILY	NEW (REZONING)	NEW (REZONING)
SITE AREA (m ²)	≥ 555	599.8	600.9	1,200.7	1,200.7
TOTAL FLOOR AREA (m ²) INCL. EXEMPT	≤ 380	256.45	273.19	735.24	1,265.4
FLOOR AREA (EXCLUDING BSMT) (m ²)	≤ 280	164.27	182.88	735.24	1,082.9
FLOOR SPACE RATIO	≤ 0.5	0.274	0.304	0.612	0.902
SITE COVERAGE (%)	≥ 40	26.28	18.87	23.5	43.9
OPEN SITE SPACE (%)	≥ 30	78.3	80.9	-	39.7
REAR YARD OPEN SITE SPACE (%)	≥ 33	-	-	N/A	N/A
HEIGHT OF BUILDING (m)	≤ 7.6	8.2	8.85	10.33	10.33
NUMBER OF STOREYS	2	2	2	3	UP TO 3
PARKING STALLS ON SITE	≥ 2	2	UNMARKED	7	7 TOTAL
BUILDING SETBACKS (m)	FRONT YARD: ≥ 7.5 OR AVG. ABUTTING	3.84	4.29	3.88 (0.345 AFTER DED.)	
FRONT STEP PROJECTION	≥ 3.5	2.63	1.63	-	
FRONT PORCH PROJECTION	≥ 3.5	0.51	1.63	-	
BAY WINDOW PROJECTION	≥ 0.6	-	0.51	-	
REAR YARD	10.7 OR 35% (12.01)	22.65	19.31	24.78	
SIDE YARD - WEST	1.5 OR 10% 1 SIDE ≥ 3.0	3.50	3.74	2.17	
SIDE YARD - EAST	1.5 OR 10% 1 SIDE ≥ 3.0	1.79	3.39	2.17	
COMBINED SIDE YARDS	≥ 4.5	5.29	7.13	4.34	
EAVE PROJECTION	≤ 0.75	≤ 0.92	≤ 0.92	≤ 0.6	
RESIDENTIAL USE DETAILS	TOTAL NUMBER OF UNITS: ≤ 2	3	4	7	14
UNIT TYPE	TWO-FAMILY	1@3BR, 2@2BR	1@0BR, 3@1BR	1@1BR, 5@2BR, 1@3BR	1@0BR, 4@1BR, 7@2BR, 2@3BR
MINIMUM UNIT AREA (m ²)	≥ 46	85.5	68.3	105.03	90.35
TOTAL RESIDENTIAL AREA (m ²)	≤ 380	256.5	273.2	735.2	1,244.0

OFFICIAL COMMUNITY PLAN DESIGNATION: NORTH PARK - URBAN RESIDENTIAL

"URBAN RESIDENTIAL CONSISTS PRIMARILY OF MULTI-UNIT RESIDENTIAL IN A WIDE RANGE OF DETACHED AND ATTACHED BUILDING FORMS, INCLUDING TOWNHOUSES AND ROW-HOUSES. LOW AND MID-RISE APARTMENTS, WITH A RESIDENTIAL CHARACTER PLUS FEATURING LANDSCAPING AND STREET TREE PLANTING, AND MIXED-USES LOCATED ALONG ARTERIAL AND SECONDARY ARTERIAL ROADS."

BUILT FORM:

- ATTACHED AND DETACHED BUILDINGS UP TO THREE STOREYS
- LOW-RISE AND MID-RISE MULTI-UNIT BUILDINGS UP TO APPROXIMATELY SIX STOREYS

BLACK CHARACTER FEATURES:

- VARIABLE YARD SETBACKS WITH PRIMARY DOORWAYS FACING THE STREET
- VARIABLE FRONT YARD LANDSCAPING, BOULEVARD AND STREET TREE PLANTING
- ON-STREET PARKING AND COLLECTIVE DRIVEWAY ACCESS TO REAR YARD OR UNDERGROUND PARKING

USES:

- GROUND-ORIENTED MULTI-UNIT RESIDENTIAL
- HOUSE CONVERSIONS
- LOW TO MID-RISE MULTI-UNIT RESIDENTIAL
- LOW TO MID-RISE MIXED-USE ALONG ARTERIAL AND SECONDARY ARTERIAL ROADS
- HOME OCCUPATIONS

DENSITY:

- TOTAL FLOOR SPACE RATIOS GENERALLY UP TO 1.2:1
- INCREASED DENSITY UP TO A TOTAL OF APPROXIMATELY 2:1 MAY BE CONSIDERED IN STRATEGIC LOCATIONS FOR THE ADVANCEMENT OF PLAN OBJECTIVES (SEE POLICY 6.22)

Zoning Floor Area - Existing Buildings

NAME	F.S.R.	AREA	AREA (IMPERIAL)
1028 - BASEMENT	No	92.18 m ²	992.23 ft ²
1028 - LEVEL 1	Yes	92.93 m ²	1,000.25 ft ²
1028 - LEVEL 2	Yes	71.34 m ²	767.85 ft ²
1030 - BASEMENT	No	90.31 m ²	972.11 ft ²
1030 - LEVEL 1	Yes	92.57 m ²	996.38 ft ²
1030 - LEVEL 2	Yes	90.31 m ²	972.13 ft ²
TOTAL		529.64 m ²	5,700.96 ft ²

Zoning Floor Area - New Townhouses

NAME	F.S.R.	AREA	AREA (IMPERIAL)
TOWNHOUSES - LEVEL 1	Yes	204.89 m ²	2,205.47 ft ²
TOWNHOUSES - LEVEL 2	Yes	265.45 m ²	2,857.24 ft ²
TOWNHOUSES - LEVEL 3	Yes	265.45 m ²	2,857.24 ft ²
TOTAL		735.79 m ²	7,919.95 ft ²

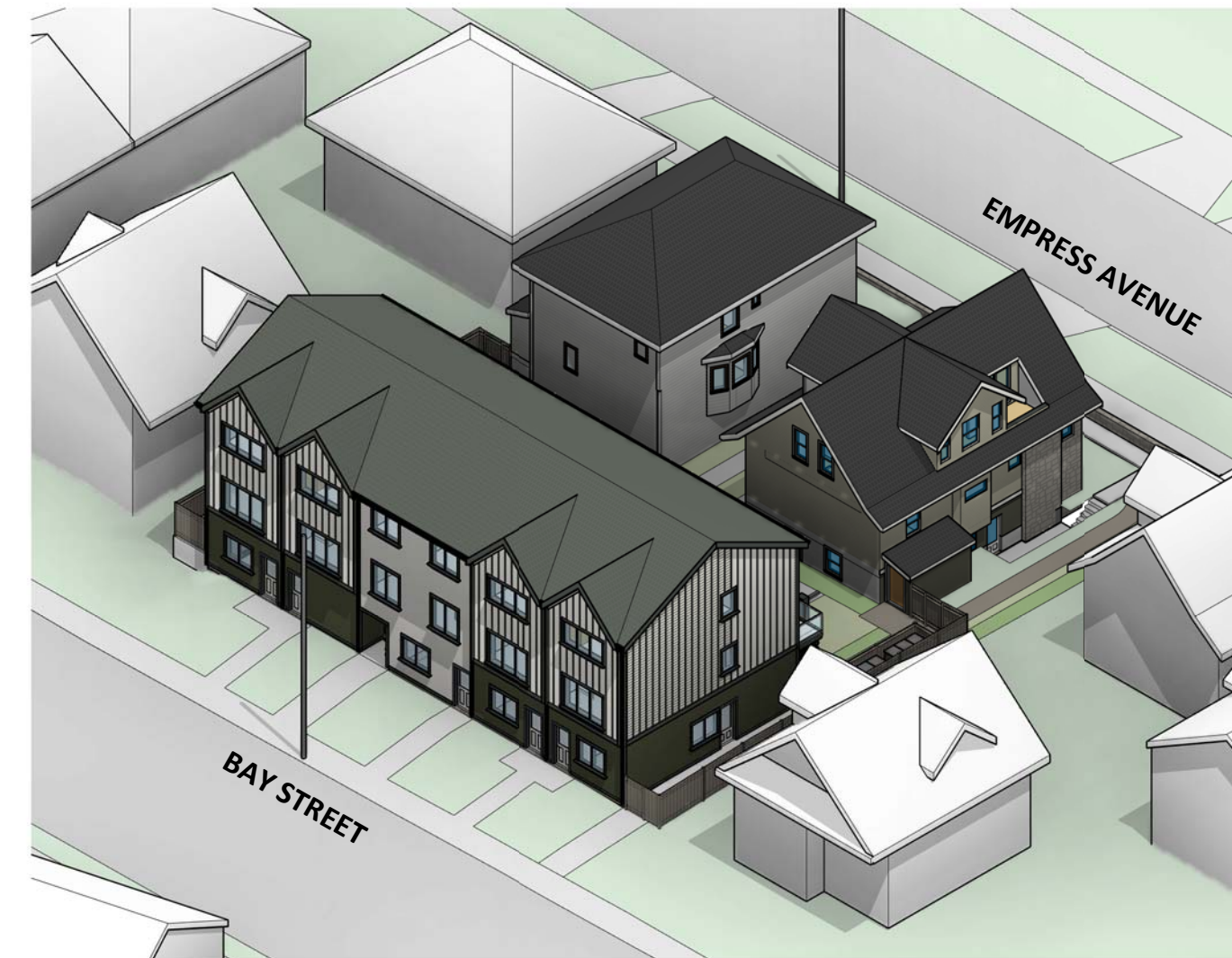
ZONING FLOOR AREAS CALCULATED TO INSIDE FACE OF EXTERIOR WALLS AND DOES NOT INCLUDE PARKING AREAS FOR VEHICLES OR BICYCLES.

Drawing List (Dev. Permit & Rezoning)

NO.	TITLE
A0.00	COVER
A0.01	BUILDING CODE ANALYSIS
A0.02	BUILDING CODE ANALYSIS
A1.00	SITE SURVEY
A1.01	SITE PLAN - EXISTING & STRATA PHASING
A1.02	SITE PLAN - PROPOSED
A1.03	SITE PLAN - LANDSCAPE PLAN
A1.11	CONTEXT & 3D PERSPECTIVES
A2.01	FLOOR PLANS - LEVELS 1 & 2
A2.02	FLOOR PLANS - LEVELS 3 & ROOF
A3.01	BUILDING ELEVATIONS - NORTH (BAY) & WEST
A3.02	BUILDING ELEVATIONS - EAST & SOUTH
A4.01	BUILDING SECTIONS
A9.01	DOOR & WINDOW SCHEDULES
CIVIL	
1	SERVICES PLAN

1026/1028 & 1030 Empress Avenue

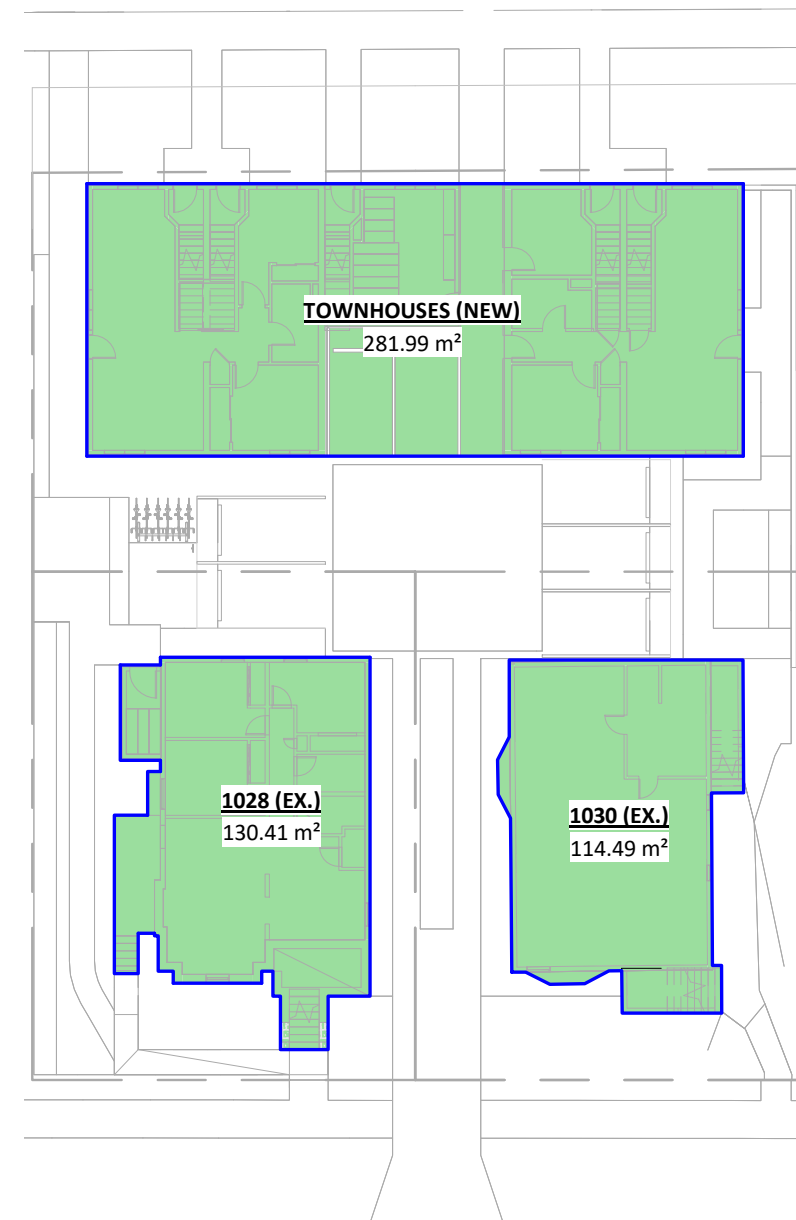
Rezoning & Development Permit w/Variance Application - 19 March 2024



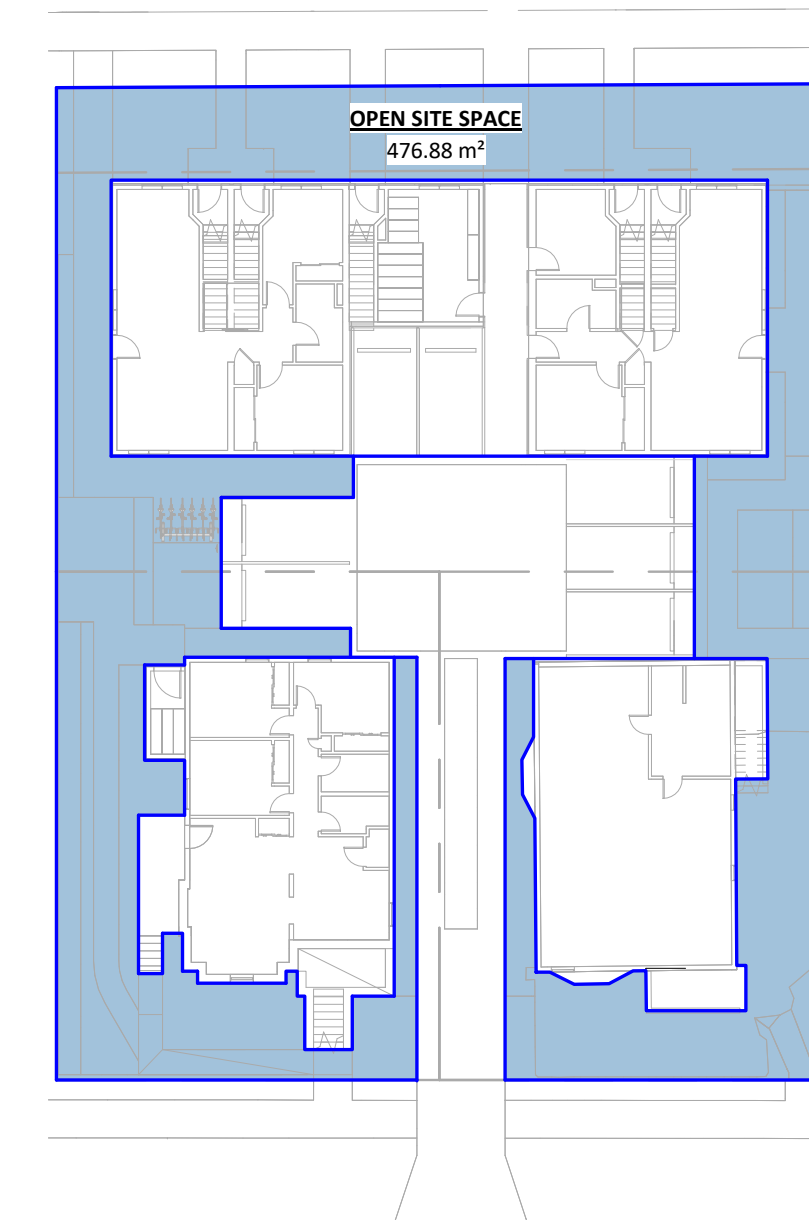
7 3D ISOMETRIC - FROM NORTHWEST



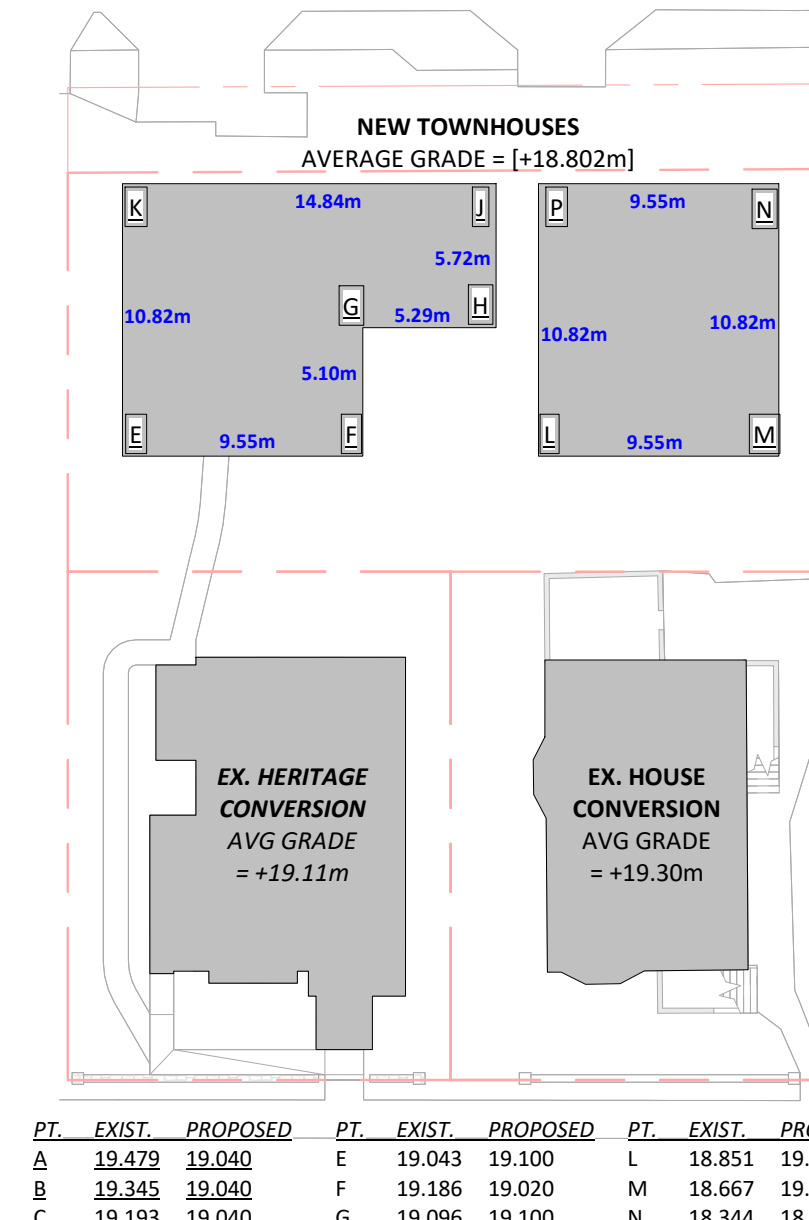
8 3D ISOMETRIC - FROM SOUTHEAST



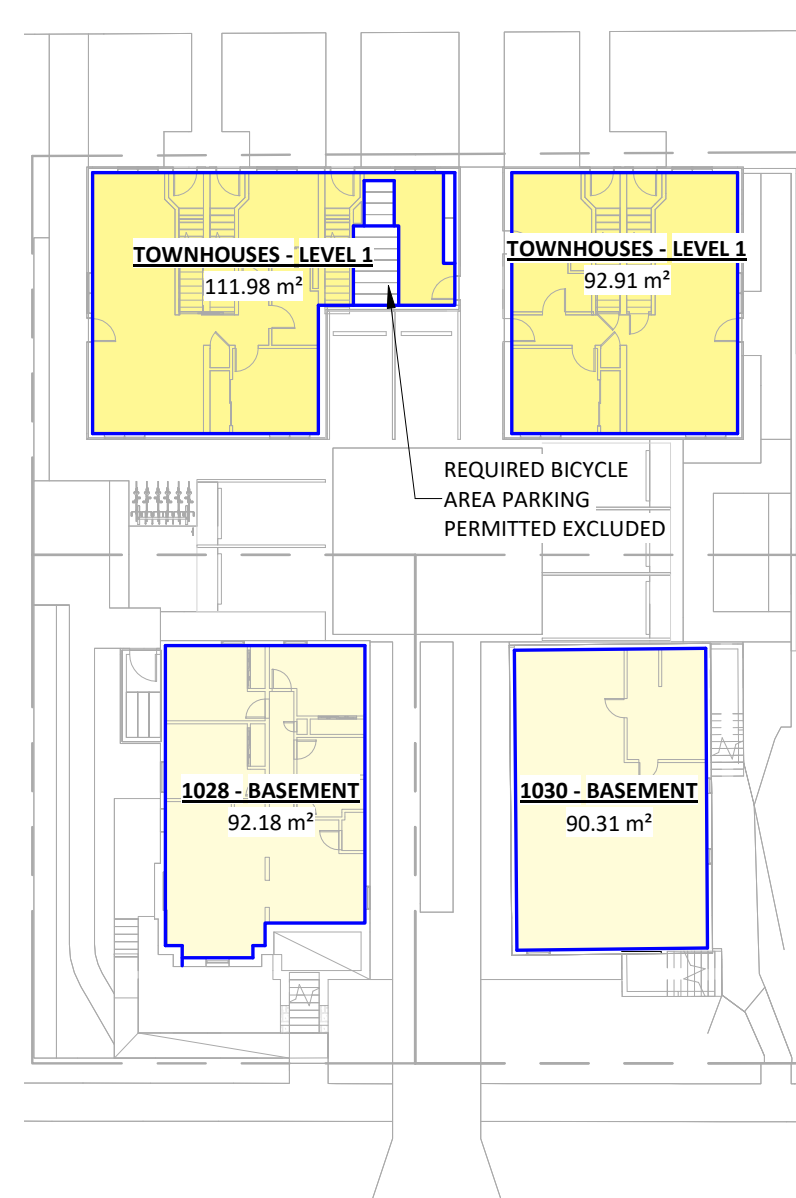
4 AREA - SITE COVERAGE
A0.02 1:300



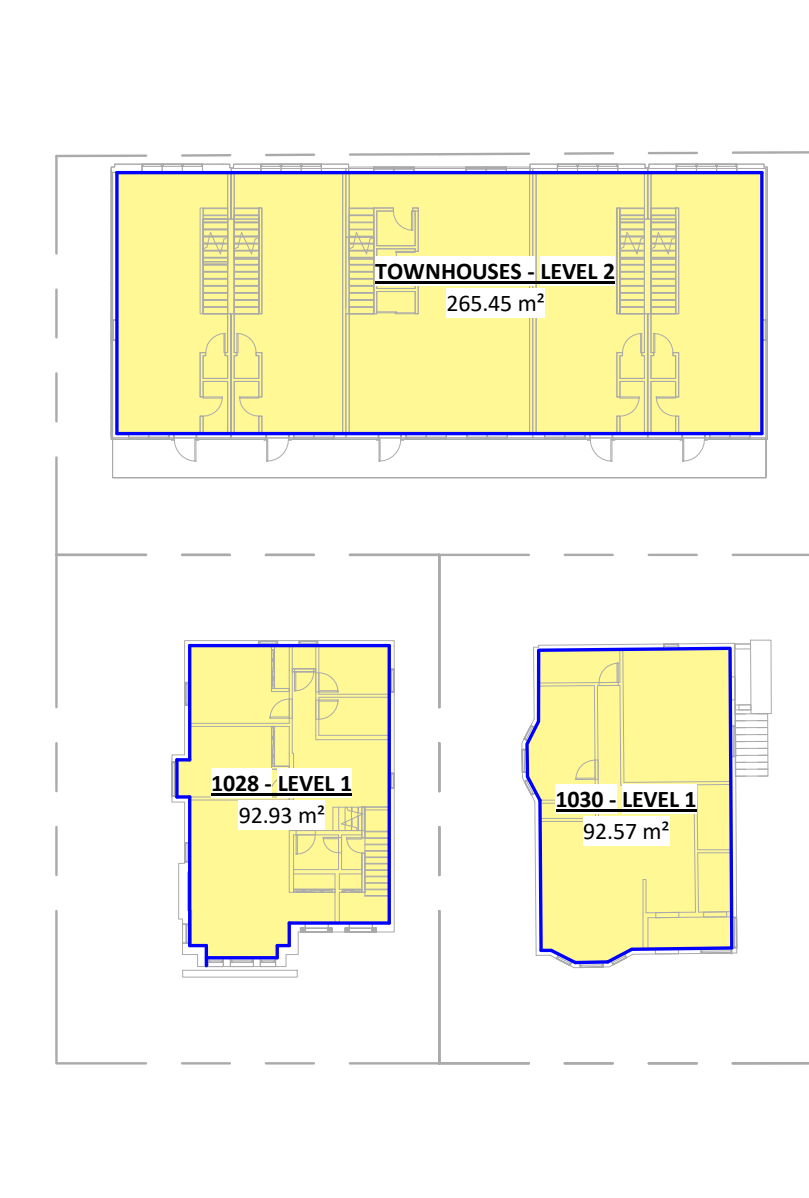
5 AREA - OPEN SITE SPACE
1:300



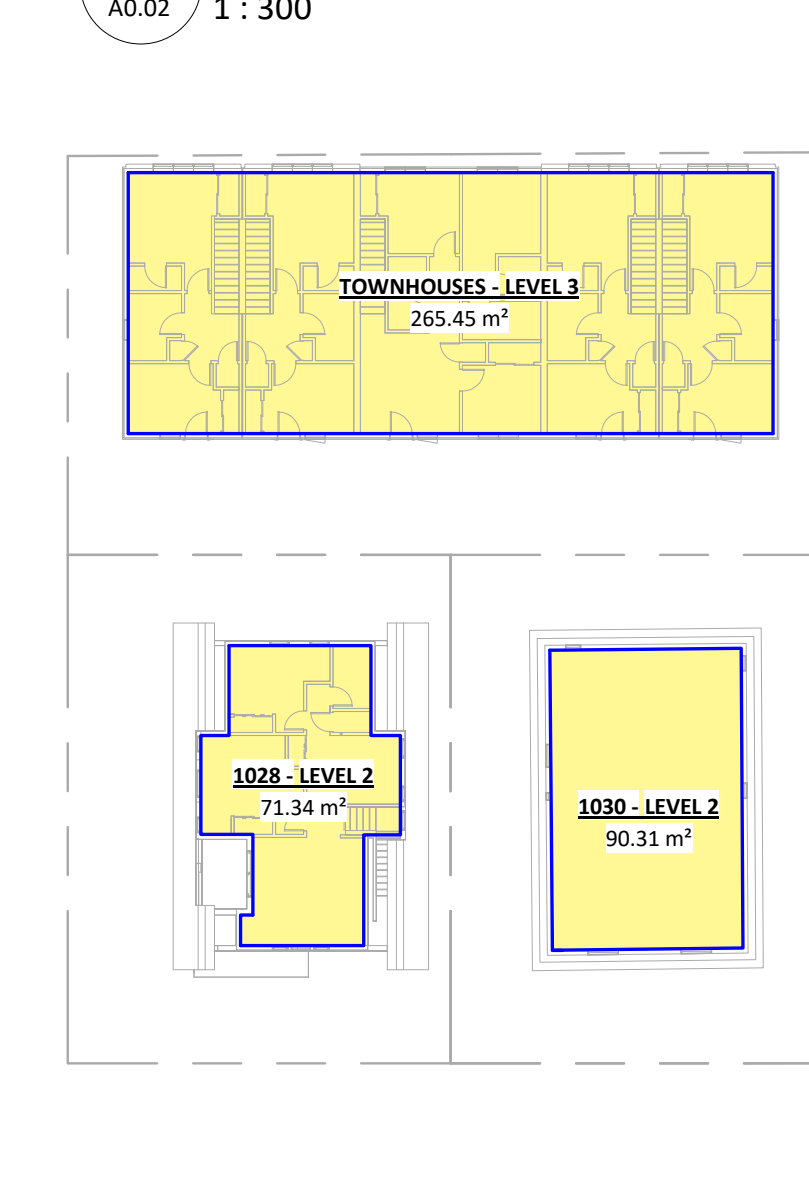
6 GRADE CALCULATION PLAN (BYLAW #80-159)
A0.02 1:300



1 ZONING FLOOR AREA - LEVEL 1
A0.02 1:300



2 ZONING FLOOR AREA - LEVEL 2
A0.02 1:300



3 ZONING FLOOR AREA - LEVEL 3
A0.02 1:300



OWNER: BOWCEY CONSTRUCTION LTD. INFO@BOWCEY.CA 250-588-0094 CONTACT: CHRIS LACEY

ARCHITECTURAL: CHRISTINE LINTOTT ARCHITECTS INC. #250 - 2590 DOUGLAS AVE VICTORIA, BC V8T 1M5 250-384-1969 CONTACT: TIM KINDRAT

SURVEY: POWELL & ASSOCIATES #250 - 2590 DOUGLAS ST VICTORIA, BC V8T 4N4 CONTACT: MICHE HACEY

ARBORIST: D CLARK ARBORICULTURE 2741 THE RISE VICTORIA, BC V8T 3T4 250-478-1568 CONTACT: MICHE HACEY

CIVIL: KYLE ENGINEERING SUITE 1 - 40 CADILLAC AVE VICTORIA, BC V8Z 1T2 250-475-6906 CONTACT: EDWARD KYLE

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Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

Issue Date

CALCULATED PRELIM. COMMENT REZONING & DEVELOPMENT PERMIT W/VARIANCE 15-SEP-2023 19-MAR-2024

Revision

No.	Description	Date

Consultant Seal

Empress Townhouses

1026/1028 & 1030 Empress Avenue Victoria, BC V8T 1P2

COVER

Date 2024-03-19 10:01:09 AM

Drawn by TK

Checked by CLA

A0.00

Project # 23-24 Scale As indicated

Building Code Analysis - General Information

1 - GENERAL INFORMATION		CBCB																																															
NO.	ITEM	DESCRIPTION	REFERENCES																																														
1-1	PROJECT TYPE	<input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ADDITION <input type="checkbox"/> RENO. <input type="checkbox"/> TENANT IMPROVEMENT	-																																														
1-2	GOVERNING BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2024, INCLUDING ALL AMENDMENTS	-																																														
1-3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIVISION: A <input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/> D <input checked="" type="checkbox"/> E <input checked="" type="checkbox"/> F2 <input checked="" type="checkbox"/> F3 DIV A - 1.3.2., 1.3.3., 1.3.4.																																															
1-4	OCCUPANCY CLASSIFICATION	<input checked="" type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F2 <input type="checkbox"/> F3	9.10.2.1.																																														
1-5	MULTIPLE MAJOR OCCUPANCIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	9.10.2.5.																																														
1-6	FIREWALL(S)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	9.10.11.																																														
1-7	OCCUPANT LOAD	<table border="1"> <thead> <tr> <th rowspan="2">BUILDING (NBC) BAY ST (NEW) PROPOSED</th> <th rowspan="2">OCCUPANCY</th> <th colspan="2">OCCUPANTS</th> </tr> <tr> <th>UNITS</th> <th>OCCUPANTS</th> </tr> </thead> <tbody> <tr> <td>DWELLING, ADU (18R)</td> <td>DWELLING, ADU (28R)</td> <td>1</td> <td>2</td> </tr> <tr> <td>TOWNHOUSE (20R)</td> <td>TOWNHOUSE (30R)</td> <td>1</td> <td>4</td> </tr> <tr> <td>TOWNHOUSE (30R)</td> <td>TOWNHOUSE (38R)</td> <td>4</td> <td>16</td> </tr> <tr> <td></td> <td></td> <td>1</td> <td>6</td> </tr> <tr> <td></td> <td></td> <td>7</td> <td>28</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>1030 EMPRESS (EXISTING)</th> <th>DWELLING (0-18R)</th> <th>UNITS</th> <th>OCCUPANTS</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td>4</td> <td>2</td> </tr> <tr> <td>1028 EMPRESS (EXISTING)</td> <td>DWELLING (38R)</td> <td>1</td> <td>6</td> </tr> <tr> <td></td> <td>DWELLING (28R)</td> <td>2</td> <td>4</td> </tr> <tr> <td></td> <td></td> <td>3</td> <td>14</td> </tr> </tbody> </table>	BUILDING (NBC) BAY ST (NEW) PROPOSED	OCCUPANCY	OCCUPANTS		UNITS	OCCUPANTS	DWELLING, ADU (18R)	DWELLING, ADU (28R)	1	2	TOWNHOUSE (20R)	TOWNHOUSE (30R)	1	4	TOWNHOUSE (30R)	TOWNHOUSE (38R)	4	16			1	6			7	28	1030 EMPRESS (EXISTING)	DWELLING (0-18R)	UNITS	OCCUPANTS			4	2	1028 EMPRESS (EXISTING)	DWELLING (38R)	1	6		DWELLING (28R)	2	4			3	14	9.9.1.3.
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	DWELLING (28R)	2	4																																														
		3	14																																														
1-8	BUILDING AREA (m ²)	<input checked="" type="checkbox"/> ≤ 600 REQUIRED <input checked="" type="checkbox"/> 108.68 [1028 (EX.)] <input checked="" type="checkbox"/> 100.58 [1030 (EX.)] <input checked="" type="checkbox"/> 281.99 NEW	DIV A-1.3.3.3., 1.4.1.2.																																														
1-9	GRADE ELEVATION (m, GEODETIC)	<input checked="" type="checkbox"/> +19.11 [1028 (EX.)] <input checked="" type="checkbox"/> +19.04 [1030 (EX.)] <input checked="" type="checkbox"/> +19.10 NEW	1.4.1.2.																																														
1-10	BUILDING HEIGHT (STOREYS)	<input checked="" type="checkbox"/> ≤ 3 REQUIRED <input checked="" type="checkbox"/> 2 [1028 (EX.)] <input checked="" type="checkbox"/> 2 [1030 (EX.)] <input checked="" type="checkbox"/> 3 NEW	9.10.4.																																														
1-11	FIRE ALARM & DETECTION SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.10.18.2.																																														
1-12	AUTOMATIC SPRINKLER SYSTEM	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.10.1.3. & 3.2.5.																																														
1-13	MEZZANINE(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.4.1.																																														
1-14	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.9.5.																																														
1-15	NUMBER OF STREETS FACING	<input checked="" type="checkbox"/> 1 BAY STREET	1.4.1.2.																																														
1-16	FIRE DEPARTMENT ACCESS ROUTES	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.10.20.3.																																														
1-17	HIGH BUILDING	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	9.10.4.1.																																														
1-18	STANDPIPE SYSTEM	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.10.1.3.(9), 3.2.5.																																														
1-19	CONSTRUCTION TYPE(S)	<table border="1"> <thead> <tr> <th>COMBUSTIBLE:</th> <th>PERMITTED</th> <th>PROPOSED</th> <th>N/A</th> </tr> </thead> <tbody> <tr> <td>NON-COMBUSTIBLE:</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </tbody> </table>	COMBUSTIBLE:	PERMITTED	PROPOSED	N/A	NON-COMBUSTIBLE:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.10.6.																																						
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1-20	ASSEMBLY FIRE-RESISTANCE RATINGS (F.R.R., IN HOURS)	<input checked="" type="checkbox"/> MINIMUM RATING (LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY); <input type="checkbox"/> EXCEPT FLOORS OVER 3/4 FLOORS; <input type="checkbox"/> MEZZANINE; <input type="checkbox"/> ROOF; <input type="checkbox"/> CRAWLSPACES	9.10.8.																																														
1-21	ALTERNATE SOLUTIONS	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	DIV. A - 1.2.1.1.(1)(B), & DIV. C - 2.3.																																														

Building Code Analysis - Accessibility & Design of Areas and Spaces

2 - ACCESSIBILITY & DESIGN OF AREAS AND SPACES		9.5.																																														
NO.	ITEM	DESCRIPTION	REFERENCES																																													
2-1	ACCESSIBILITY FOR PERSONS WITH DISABILITIES	<input checked="" type="checkbox"/> APPLICATION (3.8.2.) FIRST STOREY COMMON BIKE ROOM TO BE ACCESSIBLE; <input checked="" type="checkbox"/> DESIGN (3.8.3.) TOWNHOUSE UNITS EXEMPT; TWO (2) FIRST STOREY AT GRADE UNITS PROPOSED TO BE ADAPTABLE, BUT NOT REQUIRED BY CODE OR BYLAW <input type="checkbox"/> ALTERATIONS (3.8.4.) <input type="checkbox"/> ADAPTABLE DWELLING UNITS (3.8.5.)	9.5.2.1.-3., 3.8.1.1., 3.8.2.1.(1)(A)																																													
2-2	ENTRANCES & POWER DOOR OPERATORS	<input checked="" type="checkbox"/> ALL PEDESTRIAN ENTRANCES TO AN ACCESSIBLE STOREY DESCRIBED BY 3.8.2.1.(1) TO BE ACCESSIBLE TO 3.8.2.2. & CONNECT TO ACCESSIBLE EXTERIOR PATH OF TRAVEL; <input checked="" type="checkbox"/> POWER DOOR OPERATOR AT REQUIRED ACCESSIBLE ENTRANCES, INCLUDING VESTIBULES WHERE PROVIDED; <input checked="" type="checkbox"/> POWER DOOR OPERATOR AT ENTRANCES DESCRIBED BY 3.8.2.2. SERVED BY A PUBLIC CORRIDOR OR CORRIDOR USED BY PUBLIC.	3.8.2.2. & 3.8.2.7.																																													
2-3	AREAS REQUIRING ACCESS	<input checked="" type="checkbox"/> ACCESSIBLE PATH OF TRAVEL FROM 3.8.2.2. ENTRANCES THROUGHOUT ENTRANCE STORIES AND NORMALLY OCCUPIED AREAS; <input checked="" type="checkbox"/> ACCESS NOT REQUIRED TO SERVICE JANITORIAL, ELEVATOR MACHINE, CRAWL, ATTIC & ROOF SPACES OR ROOMS; <input checked="" type="checkbox"/> ACCESS NOT REQUIRED TO FLOOR LEVELS ABOVE/BELOW ENTRANCE LEVEL, IN SUITES WITH MORE THAN ONE LEVEL, PROVIDED NO ELEVATOR SERVING LEVEL AND CONTAINS FACILITIES ALSO ON ENTRANCE LEVEL; <input checked="" type="checkbox"/> ACCESS NOT REQUIRED TO RESIDENTIAL SUITE WHERE NOT DESIGNATED BY CODE OR ANSI TO BE ACCESSIBLE OR ADAPTABLE DWELLING UNIT.	3.8.2.3.																																													
2-4	PATHS OF TRAVEL TO BUILDING ENTRANCES AND EXTERIOR PASSENGER-LOADING ZONES	<input checked="" type="checkbox"/> DIRECT EXTERIOR ACCESSIBLE PATH OF TRAVEL BETWEEN 3.8.2.2. ACCESSIBLE ENTRANCES, ACCESSIBLE PARKING, PASSENGER-LOADING ZONES, COMMON ANCILLARY BUILDINGS AND A PUBLIC THROUGHFARE; <input checked="" type="checkbox"/> PATH OF TRAVEL FROM BAY TO PARKING, RECYCLING AREA, AND ADAPTABLE ENTRIES	3.8.2.5.																																													
2-5	CONTROLS AND OUTLETS	<input checked="" type="checkbox"/> CONTROLS INTENDED FOR OCCUPANT USE (SWITCHES, THERMOSTATS, FAUCETS, DOOR & WINDOW HARDWARE, ETC.) TO COMPLY WITH 3.8.3.; <input checked="" type="checkbox"/> LOCATED 800 - 3,200 mm ABOVE FLOOR; <input checked="" type="checkbox"/> ADJACENT TO AND CENTRED ON CLEAR FLOOR SPACE 800 x 1,350 mm; <input checked="" type="checkbox"/> ONE HANDED, CLOSET FIST OPERATION WITH ≤ 22 N FORCE.	3.8.2.6., 3.8.3.8.																																													
2-6	PLUMBING FACILITIES	<input checked="" type="checkbox"/> AT LEAST 1 UNIVERSAL WASHROOM TO BE PROVIDED AT EACH LOCATION WASHROOMS PROVIDED IN A STOREY REQUIRED TO HAVE AN ACCESSIBLE PATH OF TRAVEL; <input type="checkbox"/> NOT APPLICABLE; WASHROOMS FOR DWELLING UNITS ONLY	3.8.2.8.(3)																																													
2-7	SIGNS AND INDICATORS	<input type="checkbox"/> NOT REQUIRED GIVEN DWELLING USE & DESIGN; ACCESSIBLE PARKING TO BE PROVIDED WITH INT'L. ACCESS SIGNS PER MUNICIPAL BYLAW REQUIREMENTS	3.8.2.10., 3.8.3.9.																																													
2-8	COUNTERS (FOR PUBLIC SERVICE)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	DWELLINGS ONLY 3.8.2.11.																																													
2-9	TELEPHONE(S) (FOR PUBLIC USE)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	DWELLINGS ONLY 3.8.2.12.																																													
2-10	SLEEPING ROOMS AND BED SPACES	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	CONDOMINIUMS & APARTMENTS EXEMPT 3.8.2.13.(1)(B)																																													
2-11	DESIGN STANDARDS	<table border="1"> <thead> <tr> <th>ACCESSIBLE APPLICATION:</th> <th>CBCB PATH:</th> <th>CSA B651 PATH:</th> </tr> </thead> <tbody> <tr> <td>INT. ACCESSIBLE ROUTES</td> <td>3.8.3.2.</td> <td>4.3 & 5.1</td> </tr> <tr> <td>EXT. ACCESSIBLE ROUTES</td> <td>3.8.3.3. (8 & 8.2.1)</td> <td>8.1-8.2.5 & 8.2.7</td> </tr> <tr> <td>PASSENGER PICK-UP AREAS</td> <td>3.8.3.4.</td> <td>9.3</td> </tr> <tr> <td>N/A RAMPS</td> <td>3.8.3.5.</td> <td>5.3 & 5.5</td> </tr> <tr> <td>DOORS AND DOORWAYS</td> <td>3.8.3.6.</td> <td>5.2</td> </tr> <tr> <td>N/A ELEVATORS & LIFTS</td> <td>3.8.3.7.</td> <td>5.6.2</td> </tr> <tr> <td>OPERATING CONTROLS</td> <td>3.8.3.8.</td> <td>4.2</td> </tr> <tr> <td>SIGNAGE</td> <td>3.8.3.9.</td> <td>4.5 & 9.4</td> </tr> <tr> <td>N/A DRINKING FOUNTAINS</td> <td>3.8.3.10.</td> <td>6.1</td> </tr> <tr> <td>N/A WASHROOM FACILITIES</td> <td>3.8.3.12-16.</td> <td>6.2 & 6.3</td> </tr> <tr> <td>N/A BATHING FACILITIES</td> <td>3.8.3.17-18.</td> <td>6.5</td> </tr> <tr> <td>COMMUNICATION</td> <td>3.8.3.19. & -21.</td> <td>6.6</td> </tr> <tr> <td>N/A COUNTERS</td> <td>3.8.3.20-21.</td> <td>6.7.1</td> </tr> <tr> <td>N/A SPACES IN SEATING AREAS</td> <td>3.8.3.22.</td> <td>6.7.3</td> </tr> </tbody> </table>	ACCESSIBLE APPLICATION:	CBCB PATH:	CSA B651 PATH:	INT. ACCESSIBLE ROUTES	3.8.3.2.	4.3 & 5.1	EXT. ACCESSIBLE ROUTES	3.8.3.3. (8 & 8.2.1)	8.1-8.2.5 & 8.2.7	PASSENGER PICK-UP AREAS	3.8.3.4.	9.3	N/A RAMPS	3.8.3.5.	5.3 & 5.5	DOORS AND DOORWAYS	3.8.3.6.	5.2	N/A ELEVATORS & LIFTS	3.8.3.7.	5.6.2	OPERATING CONTROLS	3.8.3.8.	4.2	SIGNAGE	3.8.3.9.	4.5 & 9.4	N/A DRINKING FOUNTAINS	3.8.3.10.	6.1	N/A WASHROOM FACILITIES	3.8.3.12-16.	6.2 & 6.3	N/A BATHING FACILITIES	3.8.3.17-18.	6.5	COMMUNICATION	3.8.3.19. & -21.	6.6	N/A COUNTERS	3.8.3.20-21.	6.7.1	N/A SPACES IN SEATING AREAS	3.8.3.22.	6.7.3	TABLE 3.8.3.1.
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2 - ACCESSIBILITY & DESIGN OF AREAS AND SPACES (CONTINUED)		9.5.	
NO.	ITEM	DESCRIPTION	REFERENCES
2-12	ACCESSIBLE PATH OF TRAVEL	<input checked="" type="checkbox"/> WIDTH OF ACCESSIBLE PATH OF TRAVEL, EXCEPT AS REQUIRED ELSEWHERE (mm): ≥ 1,000 REQUIRED <input checked="" type="checkbox"/> 1,600 PROPOSED REDUCTION TO ≥ 850 MM FOR LENGTHS ≥ 600 mm PERMITTED WHERE 1.0 m WIDE X 1.5 m LONG CLEAR RECTANGULAR AREA PROVIDED EITHER END; <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <input checked="" type="checkbox"/> BROOM CONCRETE NO OPENING PERMITTING PASSAGE OF SPHERE ≥ 13 mm DIAMETER; <input checked="" type="checkbox"/> ANY ELONGATED OPENINGS ORIENTED PERPENDICULAR TO PATH OF TRAVEL; <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <input type="checkbox"/> CROSS SLOPE MAXIMUM 1 IN 50 (2%); <input type="checkbox"/> REVEAL MAX 1 IN 2 AT LEVEL CHANGES ≤ 13 mm; <input checked="" type="checkbox"/> RAMP(S) OR SLOPED FLOOR(S) AT LEVEL CHANGES ≥ 13 mm; <input checked="" type="checkbox"/> SLOPING ≥ 1.25% (OR DESIGNATED AS RAMP TO 3.8.3.5.); <input checked="" type="checkbox"/> PATH(S) OF TRAVEL ≥ 24 m TO BE WIDENED TO 1.7 x 1.7 m AT INTERVALS ≤ 24 m; <input checked="" type="checkbox"/> CLEAR OR "T" SHAPED CLEAR FLOOR SPACE PER 3.8.3.2.(6)(C); <input type="checkbox"/> UNLIMITED TO 3.8.3.2.	3.8.3.3. & CSA-B651: 8.2.1
2-13	EXTERIOR WALKS (FORMING PART OF AN ACCESSIBLE PATH OF TRAVEL)	<input checked="" type="checkbox"/> SLIP-RESISTANT, CONTINUOUS, EVEN SURFACE; <input checked="" type="checkbox"/> BROOMED CONCRETE <input checked="" type="checkbox"/> WIDTH OF EXTERIOR WALK (mm): ≥ 1,600 REQUIRED <input checked="" type="checkbox"/> 1,600 PROPOSED AT ENTRANCE DOORWAYS, LEVEL AREAS TO 3.8.3.5.(1)(C); <input checked="" type="checkbox"/> DESIGNED IN ACCORDANCE WITH CLAUSE 8.2. OF CSA B651 STANDARD; <input checked="" type="checkbox"/> AT PATH EDGE ADJACENT PARKING, HIGH CONTRAST PAINT STRIP TO BE PROVIDED	3.8.3.4.
2-14	PASSENGER-LOADING ZONES	<input checked="" type="checkbox"/> WHERE PROVIDED, PARALLEL ACCESS AISLE MIN. 1.5 m WIDE X 6 m LONG; <input checked="" type="checkbox"/> WHERE PROVIDED, CURB RAMP TO 3.8.3. OF CSA B651 STANDARD; <input type="checkbox"/> LEVEL AREA W/PAIN <input checked="" type="checkbox"/> WHERE PROVIDED, PARALLEL ACCESS AISLE MIN. 1.5 m WIDE X 6 m LONG; <input checked="" type="checkbox"/> COINCIDES WITH EXT. PASSAGEWAY	3.8.3.4.
2-15	RAMPS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	ALL SLOPES < 5% 3.8.3.5.
2-16	DOORWAYS AND DOORS (IN ACCESSIBLE PATHS OF TRAVEL)	<input checked="" type="checkbox"/> DOOR CLEAR WIDTH (mm): ≥ 850 REQUIRED <input checked="" type="checkbox"/> 850 PROPOSED ¹ <input checked="" type="checkbox"/> DOOR CLEAR WIDTH (mm) TO AT LEAST ONE BATHROOM WITHIN A SUITE OF RESIDENTIAL OCCUPANCE; ≥ 850 REQUIRED <input checked="" type="checkbox"/> 850 PROPOSED ¹ <input checked="" type="checkbox"/> GRASPABLE HARDWARE 900 - 1,100 mm ABOVE FLOOR; <input checked="" type="checkbox"/> THRESHOLDS ≤ 13 mm HIGHER THAN ADJACENT FLOOR SURFACES; <input checked="" type="checkbox"/> PUSH LATCH SIDE CLEAR WIDTH (mm): ≥ 600 REQUIRED <input checked="" type="checkbox"/> 600 PROPOSED <input checked="" type="checkbox"/> PULL LATCH SIDE CLEAR WIDTH (mm): ≥ 300 REQUIRED <input checked="" type="checkbox"/> 300 PROPOSED <input checked="" type="checkbox"/> VESTIBULES TO ALLOW CLEAR SPACE ≥ 1,250 mm LONG BETWEEN DOOR SWINGS; <input checked="" type="checkbox"/> FULL SIDE CLEAR FLOOR SPACE TO BE LEVEL AND ≥ 1.7 m WIDE X 1.5 m DEEP; <input checked="" type="checkbox"/> EXCEPT FOR LEVEL AREAS AT RAMPS OR WHERE AUTO OPERATOR PROVIDED, PUSH SIDE CLEAR FLOOR SPACE TO BE LEVEL AND ≥ 1.5 m WIDE X 1.2 m DEEP.	3.8.3.6.
2-17	APPLICATION (FOR ADAPTABLE DWELLING UNITS)	<input checked="" type="checkbox"/> ONE STOREY DWELLING UNITS SERVED BY ACCESSIBLE INTERIOR PUBLIC CORRIDOR ACCESSIBLE COMMON BIKE ROOM ENTRANCE PER 3.8.2.2.; <input checked="" type="checkbox"/> COMMON SPACES & FACILITIES INTENDED FOR RESIDENT USE; <input checked="" type="checkbox"/> BUILDINGS DESCRIBED BY 3.8.2.1.(1)(A) TO PROVIDE AT LEAST ONE BATHROOM WITH WALL REINFORCING TO 3.8.5.7.(1)(E); <input checked="" type="checkbox"/> ALL NEW DWELLINGS	3.8.5.1., 3.8.5.2.
2-18	BUILDING ACCESS REQUIREMENTS (FOR ADAPTABLE DWELLING UNITS)	<input checked="" type="checkbox"/> COMMON AREAS, SPACES & FACILITIES AND ALL COMMON PATHS OF TRAVEL SERVING ADAPTABLE DWELLING UNITS TO BE ACCESSIBLE PER 3.8.2.2.; <input checked="" type="checkbox"/> COMMON CORRIDORS, PASSAGEWAYS FLOORS ILLUMINATED TO ≥ 50 LUX; <input checked="" type="checkbox"/> ADAPTABLE DWELLING UNITS TO BE PROVIDED WITH SPECIAL OUTLET BOXES AND COVER PLATES PER 3.2.4.19.(7), WITH MIN 20% OF OUTLETS OF STROBE TYPE TO SERVE AS VISUAL SIGNALS FOR SMOKE ALARMS OR DETECTORS; <input checked="" type="checkbox"/> ALL NEW DWELLINGS	3.8.5.3., 3.2.4.19.(7)
2-19	ADAPTABLE DWELLING UNIT DOORWAYS	<input checked="" type="checkbox"/> PRINCIPAL ENTRANCE DOOR CLEAR WIDTH (mm): ≥ 850 REQUIRED <input checked="" type="checkbox"/> 850 PROPOSED ¹ WITHIN ADAPTABLE DWELLING UNIT, EVERY DOOR CONNECTING ENTRANCE WITH LIVING, ADAPTABLE BEDROOM, ADAPTABLE BATHROOM, AND KITCHEN, CLEAR WIDTH (mm): ≥ 850 REQUIRED <input checked="" type="checkbox"/> 850 PROPOSED ¹ UNLESS EQUIPPED WITH OR DESIGNED FOR INSTALLATION OF POWER OPERATOR, CLEAR FLOOR SPACE EITHER SIDE OF PRINCIPAL ENTRANCE AND DOORS FOR ADAPTABLE ACCESS TO HAVE CLEAR FLOOR AREAS MEETING 3.8.3.6.(A)(1)(S); <input checked="" type="checkbox"/> CLEAR WIDTH (mm): ≥ 850 REQUIRED <input checked="" type="checkbox"/> 850 PROPOSED ¹ UNLESS EQUIPPED WITH OR DESIGNED FOR INSTALLATION OF POWER OPERATOR, CLEAR FLOOR SPACE EITHER SIDE OF PRINCIPAL ENTRANCE AND DOORS FOR ADAPTABLE ACCESS TO HAVE CLEAR FLOOR AREAS MEETING 3.8.3.6.(A)(1)(S);	3.8.5.4.
2-20	ADAPTABLE DWELLING UNIT HALLWAYS AND CORRIDORS	<input checked="" type="checkbox"/> CLEAR WIDTH OF HALLWAYS AND CORRIDORS PROVIDING PATH OF TRAVEL FOR ADAPTABLE DWELLING UNITS, PER 3.8.3.2.(1)(mm): ≥ 1,000 REQUIRED <input checked="" type="checkbox"/> 1,000 PROPOSED	3.8.5.5.
2-21	ADAPTABLE DWELLING UNIT BEDROOMS	<input checked="" type="checkbox"/> IN ONE BEDROOM OR SLEEPING SPACE, TURNAROUND ADJACENT BED AND IN FRONT OF CLOSET (m): ≥ 1.7 x 1.5 REQUIRED <input checked="" type="checkbox"/> 1.7 x 1.5 PROPOSED <input checked="" type="checkbox"/> CLEAR FUNCTIONAL PATH WIDTH IN BEDROOM, UNOBSTRUCTED BY BED (mm): ≥ 850 REQUIRED <input checked="" type="checkbox"/> 850 PROPOSED <input checked="" type="checkbox"/> CLEAR OPENING WIDTH, CLOSET (mm): ≥ 900 REQUIRED <input checked="" type="checkbox"/> 850 PROPOSED	3.8.5.6.
2-22	ADAPTABLE DWELLING UNIT BATHROOMS	<input checked="" type="checkbox"/> IN ONE BATHROOM, CLEAR LATERAL TRANSFER SPACE ADJACENT WATER CLOSET, TO 3.8.3.12.(1)(B), (m): ≥ 1.5 x 0.9 REQUIRED <input checked="" type="checkbox"/> 1.5 x 0.9 PROPOSED IN ONE BATHROOM, 400-480 mm WALL TO WATER CLOSET CENTRE CLEARANCE; <input checked="" type="checkbox"/> ACCOMMODATE FUTURE INSTALLATION OF LAVATORY WITH 0.8 m WIDE X 1.35 m DEEP CLEAR SPACE TO 3.8.3.16.(1)(A)(F) WITHOUT IMPEDING OTHER ITEMS; <input checked="" type="checkbox"/> REINFORCE WALLS ADJACENT WATER CLOSET AND SHOWER/BATHUB FOR FUTURE INSTALLATION OF GRAB BARS TO 3.8.3.17.(1)(B)(G) OR 3.8.3.17.(1)(F) OR 3.8.3.18.(1)(F); <input checked="" type="checkbox"/> ACCOMMODATE FUTURE INSTALLATION OF BATHUB DESCRIBED BY 3.8.3.18.(1) WITHOUT IMPEDING OTHER ITEMS; <input checked="" type="checkbox"/> REINFORCE WALLS ADJACENT WATER CLOSET AND SHOWER/BATHUB FOR FUTURE INSTALLATION OF GRAB BARS TO 3.8.3.17.(1)(B)(G) OR 3.8.3.17.(1)(F) OR 3.8.3.18.(1)(F);	3.8.5.7.
2-23	ADAPTABLE DWELLING UNIT KITCHENS	<input checked="" type="checkbox"/> COOKTOP AND SINK TO BE ADJACENT OR HAVE CONTINUOUS COUNTER BETWEEN; <input checked="" type="checkbox"/> 1.7 x 1.5 m CLEAR FLOOR SPACE IN KITCHEN; <input checked="" type="checkbox"/> ACCOMMODATE FUTURE INSTALLATION OF LAVATORY WITH 0.8 m WIDE X 1.35 m DEEP CLEAR SPACE TO 3.8.3.16.(1)(A)(F) WITHOUT IMPEDING OTHER ITEMS; <input checked="" type="checkbox"/> REINFORCE WALLS ADJACENT WATER CLOSET AND SHOWER/BATHUB FOR FUTURE INSTALLATION OF GRAB BARS TO 3.8.3.17.(1)(B)(G) OR 3.8.3.17.(1)(F) OR 3.8.3.18.(1)(F);	3.8.5.8.
2-24	CONTROLS, SWITCHES AND OUTLETS (FOR ADAPTABLE DWELLING UNITS)	<input checked="" type="checkbox"/> CONTROLS AND SWITCHES INTENDED FOR FREQUENT OCCUPANT USE TO BE OPERABLE BETWEEN 400 - 1,300 mm ABOVE FLOOR; <input checked="" type="checkbox"/> OPERABLE BETWEEN 400 - 1,300 mm ABOVE FLOOR.	3.8.5.9.

2 - ACCESSIBILITY & DESIGN OF AREAS AND SPACES (CONTINUED)		9.5.	
NO.	ITEM	DESCRIPTION	REFERENCES
2-25	CEILING HEIGHTS (mm)	TYPICAL: ≥ 2,100 REQUIRED <input checked="" type="checkbox"/> 2,100 PROPOSED STORAGE GARAGES: ≥ 2,000 REQUIRED <input checked="" type="checkbox"/> 2,100 PROPOSED	9.5.3.
2-26	HALLWAY WIDTHS (mm)	<input checked="" type="checkbox"/> ≥ 860 REQUIRED <input checked="" type="checkbox"/> 860 PROPOSED	9.5.4.1.
2-27	DOORWAY SIZES (mm)	<input checked="" type="checkbox"/> HEIGHT: ≥ 1,980 REQUIRED, TYPICAL WIDTH, NON-ADAPTABLE ENTRY / (NON-ADAPTABLE) BEDROOM / STAIRS / UTILITY / PUBLIC WATER-CLOSET ROOMS: ≥ 810 REQUIRED WIDTH, EXTERIOR BALCONIES: ≥ 760 REQUIRED (EXCEPT IF VERTICAL SWING; SLIDING DOORS WITHIN DWELLING EXCEPT IF UNNECESSARY FOR EGRESS) WIDTH, NON-ADAPTABLE BATHROOM / CLOSET / HALLWAY: ≥ 610 REQUIRED	9.5.5.

Building Code Analysis - Windows, Doors & Skylights

3 - WINDOWS, DOORS AND SKYLIGHTS		9.7.	
NO.	ITEM	DESCRIPTION	REFERENCES
3-1	DWELLING UNIT ENTRANCE DOORS	<input checked="" type="checkbox"/> DOOR VIEWER OR TRANSPARENT GLAZING; <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.7.2.1.
3-2	PERFORMANCE OF WINDOWS, DOORS AND SKYLIGHTS	<input checked="" type="checkbox"/> COMPLIANCE WITH EITHER PART 5 OR 9.7.3.3.; <input checked="" type="checkbox"/> THERMALLY BROKEN METAL FRAMES AND SASHES, UNLESS F.R.R. REQUIRED; <input checked="" type="checkbox"/> WHERE WOOD, ≥ 45mm THICK SOLID OR 19mm STILE-AND-RAIL TYPE, CONFORMING TO 9.7.5.2.2.; <input checked="" type="checkbox"/> 5-PIN DEADBOLT LOCK AND BOLT THROW ≥ 25mm, WITH STRIKE PLATES CONFORMING TO 9.7.5.2.2.; <input checked="" type="checkbox"/> HINGE FASTENING CONFORMING TO 9.7.5.2.(6); <input checked="" type="checkbox"/> SOLID BLOCKING ON BOTH SIDES AT LOCK HEIGHT;	9.7.3.
3-3	DESIGN AND CONSTRUCTION (OF WINDOWS, DOORS AND SKYLIGHTS)	<input checked="" type="checkbox"/> CONFORM TO "AAMA/WDMA/CSA-1017.5.2/A440-11" (NACS STANDARD) AND "A44931-2017" (CANADIAN SUPPLEMENT); <input checked="" type="checkbox"/> WHERE WOOD, ≥ 45mm THICK SOLID OR 19mm STILE-AND-RAIL TYPE, CONFORMING TO 9.7.5.2.2.; <input checked="" type="checkbox"/> 5-PIN DEADBOLT LOCK AND BOLT THROW ≥ 25mm, WITH STRIKE PLATES CONFORMING TO 9.7.5.2.2.; <input checked="" type="checkbox"/> HINGE FASTENING CONFORMING TO 9.7.5.2.(6); <input checked="" type="checkbox"/> SOLID BLOCKING ON BOTH SIDES AT LOCK HEIGHT;	9.7.4.
3-4	RESISTANCE TO FORCED ENTRY FOR SWINGING (DWELLING UNIT) DOORS	<input checked="" type="checkbox"/> WITHIN 2m OF ADJACENT GROUND, FORCED ENTRY WINDOW PROTECTION PER CLAUSE 5.3.5. OF "AAMA/WDMA/CSA-1017.5.2/A440-11" (NACS STANDARD); <input checked="" type="checkbox"/> WHERE WOOD, ≥ 45mm THICK SOLID OR 19mm STILE-AND-RAIL TYPE, CONFORMING TO 9.7.5.2.2.; <input checked="" type="checkbox"/> 5-PIN DEADBOLT LOCK AND BOLT THROW ≥ 25mm, WITH STRIKE PLATES CONFORMING TO 9.7.5.2.2.; <input checked="" type="checkbox"/> HINGE FASTENING CONFORMING TO 9.7.5.2.(6); <input checked="" type="checkbox"/> SOLID BLOCKING ON BOTH SIDES AT LOCK HEIGHT;	9.7.5.2.
3-5	RESISTANCE TO FORCED ENTRY FOR (RESIDENTIAL) WINDOWS	<input checked="" type="checkbox"/> WITHIN 2m OF ADJACENT GROUND, FORCED ENTRY WINDOW PROTECTION PER CLAUSE 5.3.5. OF "AAMA/WDMA/CSA-1017.5.2/A440-11" (NACS STANDARD); <input checked="" type="checkbox"/> WHERE WOOD, ≥ 45mm THICK SOLID OR 19mm STILE-AND-RAIL TYPE, CONFORMING TO 9.7.5.2.2.; <input checked="" type="checkbox"/> 5-PIN DEADBOLT LOCK AND BOLT THROW ≥ 25mm, WITH STRIKE PLATES CONFORMING TO 9.7.5.2.2.; <input checked="" type="checkbox"/> HINGE FASTENING CONFORMING TO 9.7.5.2.(6); <input checked="" type="checkbox"/> SOLID BLOCKING ON BOTH SIDES AT LOCK HEIGHT;	9.7.5.3.

Building Code Analysis - Stairs, Ramps, Handrails and Guards

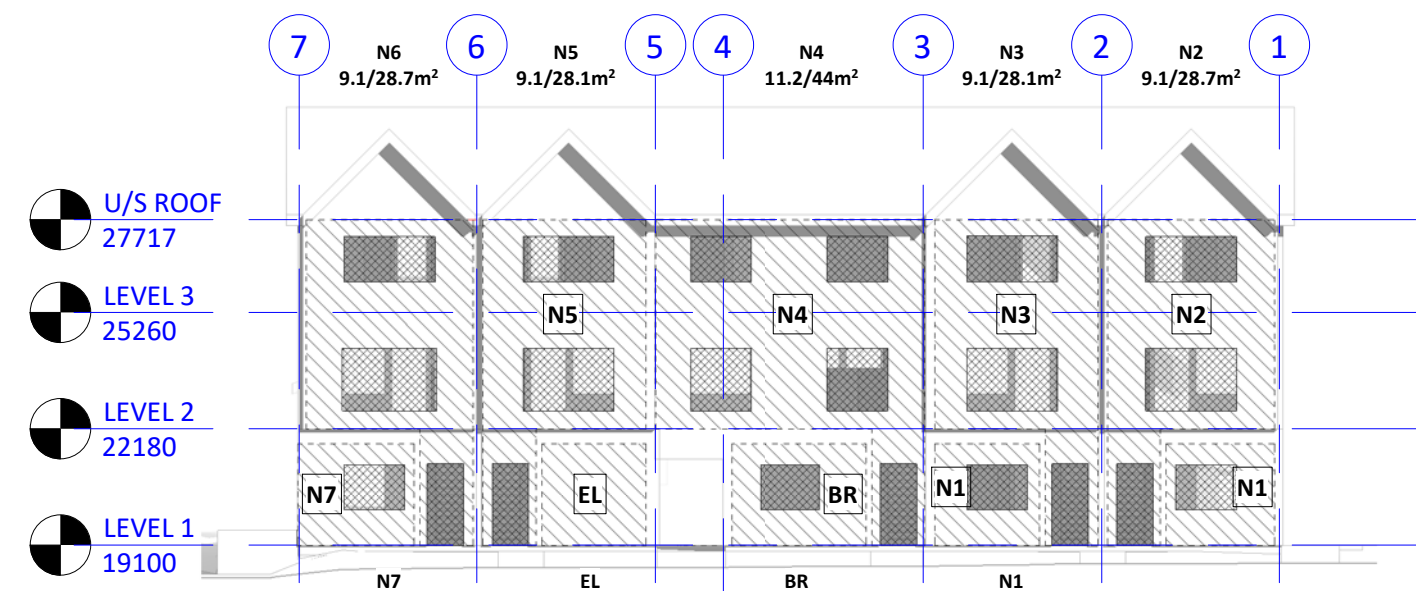
4 - STAIRS, RAMPS, HANDRAILS AND GUARDS		9.8.	
NO.	ITEM	DESCRIPTION	REFERENCES
4-1	STAIR WIDTH (mm)	<input checked="" type="checkbox"/> EXIT STAIRS SERVING A SINGLE DWELLING UNIT; ≥ 860 REQUIRED	9.8.2.1.
4-2	HEIGHT OVER STAIRS AND LANDINGS (mm)	<input checked="" type="checkbox"/> TYPICAL: ≥ 2,050 REQUIRED	9.8.2.2., 9.8.6.4.
4-3	STEP DIMENSIONS (mm)	<input checked="" type="checkbox"/> RISE, PRIVATE STAIR: 125 - 200 REQUIRED <input checked="" type="checkbox"/> 255 - 355 REQUIRED <input checked="" type="checkbox"/> RUN, PRIVATE STAIR: ≥ 300 REQUIRED <input checked="" type="checkbox"/> 300 PROPOSED	9.8.4.1., 9.8.4.2.
4-4	TREAD NOSINGS (mm)	<input checked="" type="checkbox"/> TYPICAL RADIIUS: 6 - 14 REQUIRED <input checked="" type="checkbox"/> 3 PERMITTED	9.8.4.8.
4-5	TACTILE WARNING STRIPS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	PRIVATE DWELLING STAIRS EXEMPT 9.8.6.5., 3.8.3.9.(3)
4-6	RAMPS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.8.5.
4-7	LANDINGS (mm)	<input checked="" type="checkbox"/> WIDTH, PRIVATE STAIR: ≥ 860 REQUIRED <input checked="" type="checkbox"/> 860 PROPOSED <input checked="" type="checkbox"/> LENGTH, PRIVATE STAIR: ≥ 1,000 REQUIRED <input checked="" type="checkbox"/> 1,000 PROPOSED	9.8.6.3., 9.8.2.1.
4-8	HANDRAILS	<input checked="" type="checkbox"/> NO SIDES INT. STAIRS; ≥ 1 REQUIRED <input checked="" type="checkbox"/> NO SIDES EXT. STAIRS; ≥ 2 REQUIRED <input checked="" type="checkbox"/> CONTINUITY ON ONE SIDE THROUGH LANDINGS; <input checked="" type="checkbox"/> HORIZONTAL EXTENSIONS ≥ 300mm, TOP AND BOTTOM, EXCEPT WHERE SERVING ONLY ONE DWELLING UNIT; <input checked="" type="checkbox"/> HEIGHT (mm): 865 - 1,070 REQUIRED <input checked="" type="checkbox"/> 865 - 1,070 PROPOSED CLEARANCE TO WALL BEHIND (mm): ≥ 50 TYPICAL <input checked="" type="checkbox"/> 60 ROUGH SURFACE PROJECTION INTO REQUIRED WIDTH (mm): ≤ 100 REQUIRED	9.8.7.
4-9	GUARDS	<input checked="" type="checkbox"/> AT ELEVATION CHANGES ≥ 600 mm, OR ADJACENT SURFACE WITHIN 1.2m, SLOPES ≥ 1 IN 2; <input checked="" type="checkbox"/> RESISTANCE TO LOADING PER TABLE 9.8.8.2.; <input checked="" type="checkbox"/> HEIGHT, WITHIN OR SERVING ONLY ONE DWELLING UNIT (mm): ≥ 900 REQUIRED MAXIMUM OPENING (mm): ≤ 100 0 REQUIRED NON-CUMULABLE FROM 140-900mm, WHERE FALL ≥ 4.2 m;	9.8.8.

Building Code Analysis - Means of Egress

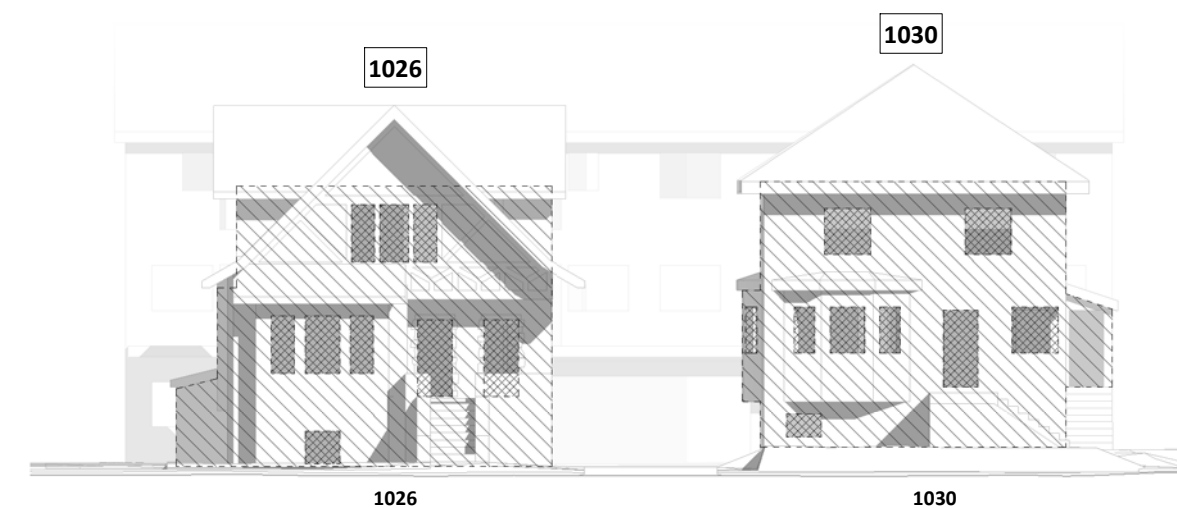
5 - MEANS OF EGRESS		9.9.	
NO.	ITEM	DESCRIPTION	REFERENCES
5-1	EXIT WIDTH (mm)	<input checked="" type="checkbox"/> ≥ 900 REQUIRED <input type="checkbox"/> 900 PROPOSED <input type="checkbox"/> N/A EXCEPT DOORS & CORRIDORS	9.9.3.2.
5-2	WIDTH OF CORRIDORS (mm)	<input checked="" type="checkbox"/> ≥ 1100 REQUIRED <input type="checkbox"/> 1100 PROPOSED <input type="checkbox"/> N/A	9.9.3.3.
5-3	CLEAR HEIGHT IN EXITS AND ACCESS TO EXITS (mm)	<input checked="" type="checkbox"/> ≥ 2,100 REQUIRED <input type="checkbox"/> 2,100 PROPOSED <input type="checkbox"/> N/A	9.9.3

Building Code Analysis - Spatial Separations

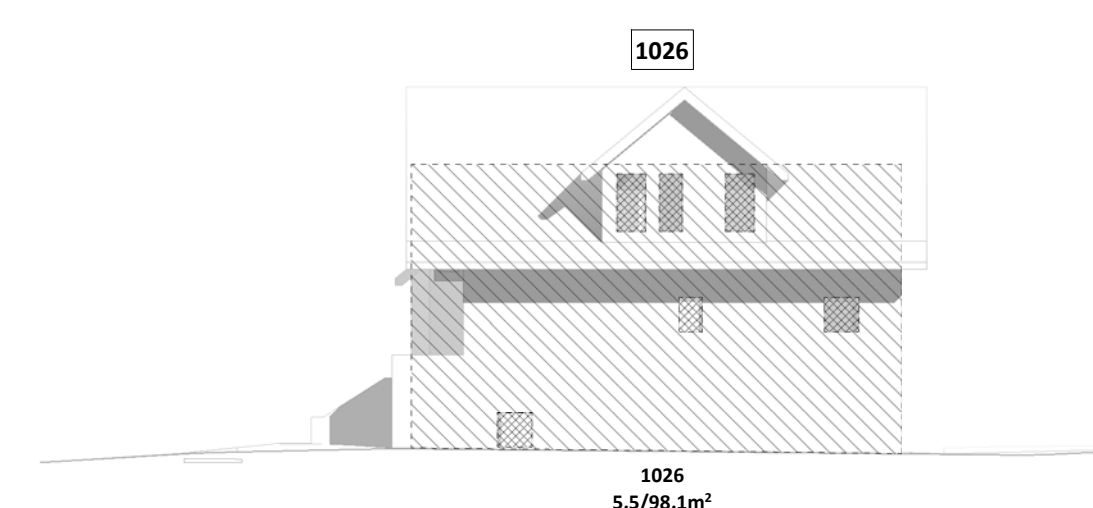
6 - SPATIAL SEPARATIONS									
NO.	ANALYSIS BY FIRE COMPARTMENT	WALL AREA (m ²)	LIMITING DIST. (m)	MAX. OPEN (%)	PROPOSED OPEN (%)	F.R.B. (HR.)	WALL NON-COMBUST.	CLADDING NON-COMB.	REFERENCE
PROPOSED TOWNHOUSE (2 DWELLING UNITS) 9.10.14.4.									
6-1	NORTH - BAY STREET (A/A0.04)								
	N1	15.2	12.92	100	25	-	N	N	
	N2	28.7	12.94	100	31.7	-	N	N	
	N3	28.1	12.95	100	32.4	-	N	N	
	N4	44.0	12.97	100	25.5	-	N	N	
	N5	28.1	13.02	100	32.4	-	N	N	
	N6	28.7	13.03	100	31.7	-	N	N	
	N7	8.3	13.04	100	22.9	-	N	N	
	BIKE ROOM	9.7	12.98	100	19.6	-	N	N	
	ELECTRICAL	7.4	13.01	100	0	-	N	N	
WEST - 1025 BAY STREET (G/A0.04)									
	N1	27.9	2.17	14.3	14.3	1	N	Y	
	N2	57.4	2.17	9.8	3.3	1	Y	Y	
SOUTH - TO LOT INTERIOR (B/A0.04)									
	N1	24.2	5.61	78.5	15.7	3/4	N	N	
	N2	24.4	5.61	78.5	27.0	3/4	N	N	
	N3	23.8	5.61	78.5	27.7	3/4	N	N	
	N4	39.7	5.61	61.8	26.2	3/4	N	N	
	N5	23.8	5.61	78.5	27.7	3/4	N	N	
	N6	24.1	5.61	78.5	27.0	3/4	N	N	
	N7	24.2	5.61	78.5	15.7	3/4	N	N	
	BIKE ROOM	13.7	10.71	100	0	-	N	N	
EAST - TO TO 1039 BAY STREET (Z/A0.04)									
	N6	57.4	2.17	9.8	3.3	1	Y	Y	
	N7	27.9	2.17	14.3	14.3	1	N	Y	
1030 EMPRESS - EXISTING HOUSE CONVERSION (2 DWELLING UNITS) *NORTH & WEST U.P.O.S. m ² = 11DP 9.10.14.4 (1)(C)									
6-2	SOUTH - TO EMPRESS (S/A0.04)	60.9	14.29	100	15.9	EX	(EXISTING)	(EXISTING)	
	WEST - TO LOT LINE (L1/A0.04)	96.7	2.31*	10.4%	4.2	EX	(EXISTING)	(EXISTING)	
	NORTH - TO N. BLDG. (B/A0.04)	61.3	2.25*	10.3%	4.6	EX	(EXISTING)	(EXISTING)	
	EAST - TO E. BLDG. (Z/A0.04)	91.6	3.39	15.3	5.9	EX	(EXISTING)	(EXISTING)	
1026 EMPRESS - EXISTING HERITAGE CONVERSION (3 DWELLING UNITS) *NORTH & EAST U.P.O.S. m ² = 11DP 9.10.14.4 (1)(C)									
6-3	SOUTH - TO EMPRESS (S/A0.04)	66.6	12.8	100	16.2	EX	(HERITAGE)	(HERITAGE)	
	WEST - TO LOT LINE (B/A0.04)	96.8	3.50	15.8	11.6	EX	(HERITAGE)	(HERITAGE)	
	NORTH - TO N. BLDG. (B/A0.04)	67.2	2.23*	8.4%	6.8	EX	(HERITAGE)	(HERITAGE)	
	EAST - TO E. BLDG. (L10/A0.04)	98.1	2.26*	5.7%	5.6	EX	(HERITAGE)	(HERITAGE)	



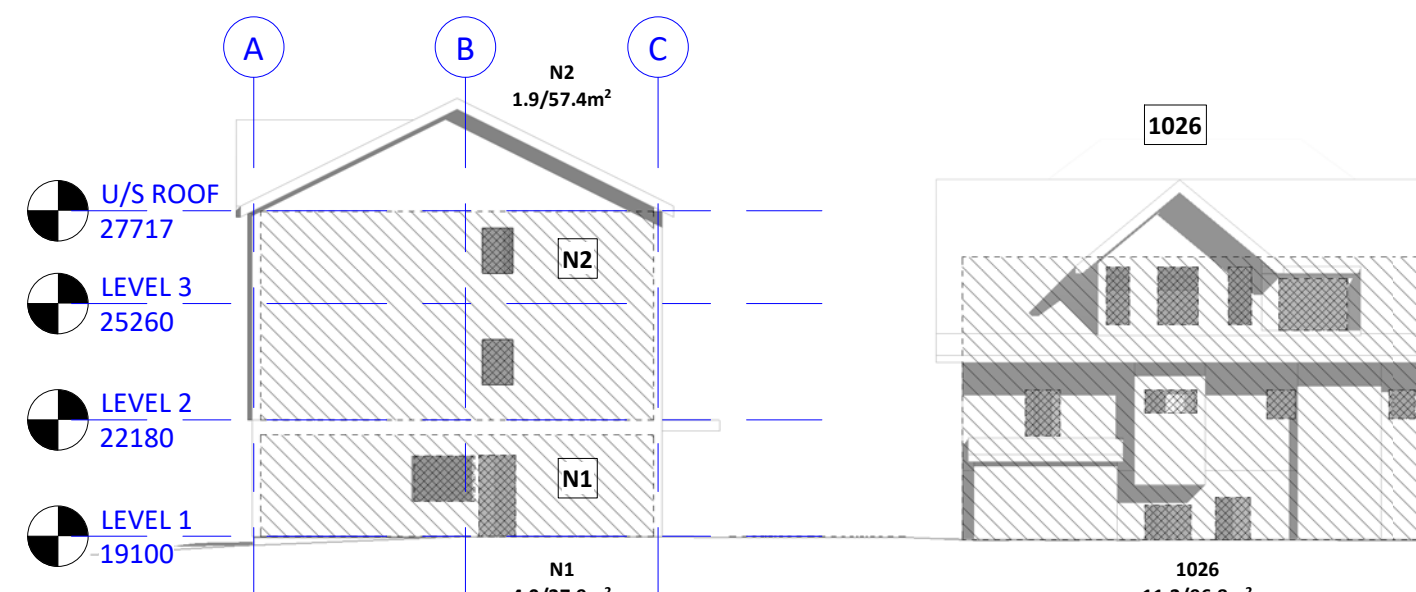
4 SPATIAL SEPARATIONS - NORTH ELEVATION (BAY STREET) 1 : 200



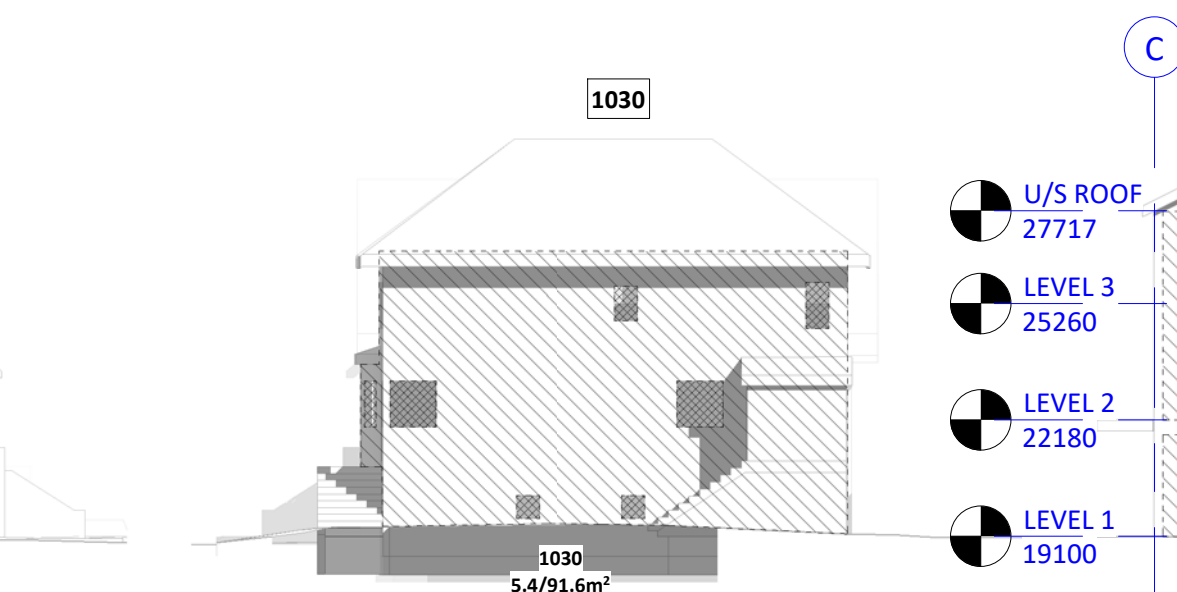
5 SPATIAL SEPARATIONS - SOUTH ELEVATION (EMPRESS AVE) 1 : 200



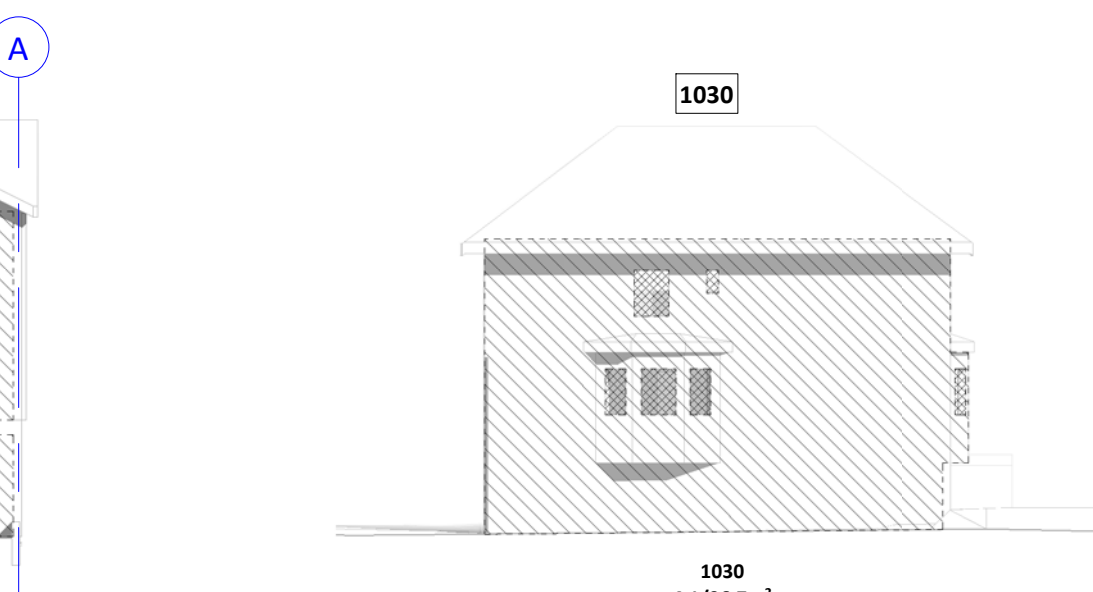
10 SPATIAL SEPARATIONS - EAST ELEVATION OF EX. HERITAGE BLDG. (1026) 1 : 200



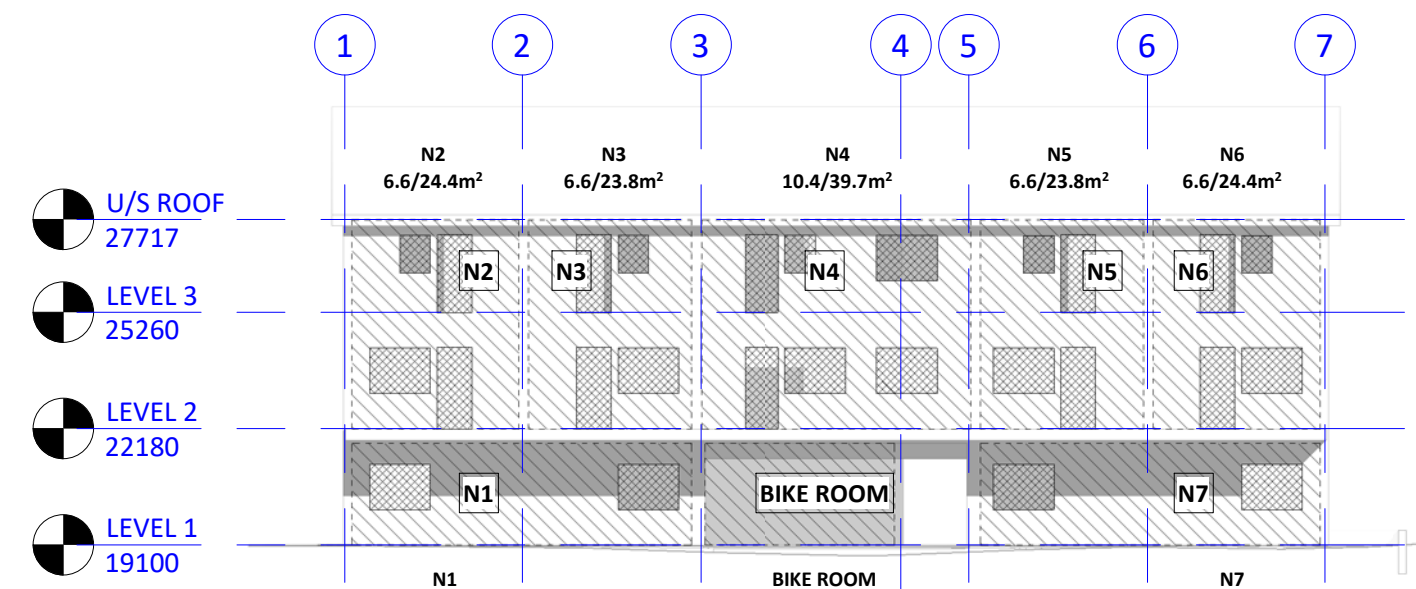
6 SPATIAL SEPARATIONS - WEST ELEVATION 1 : 200



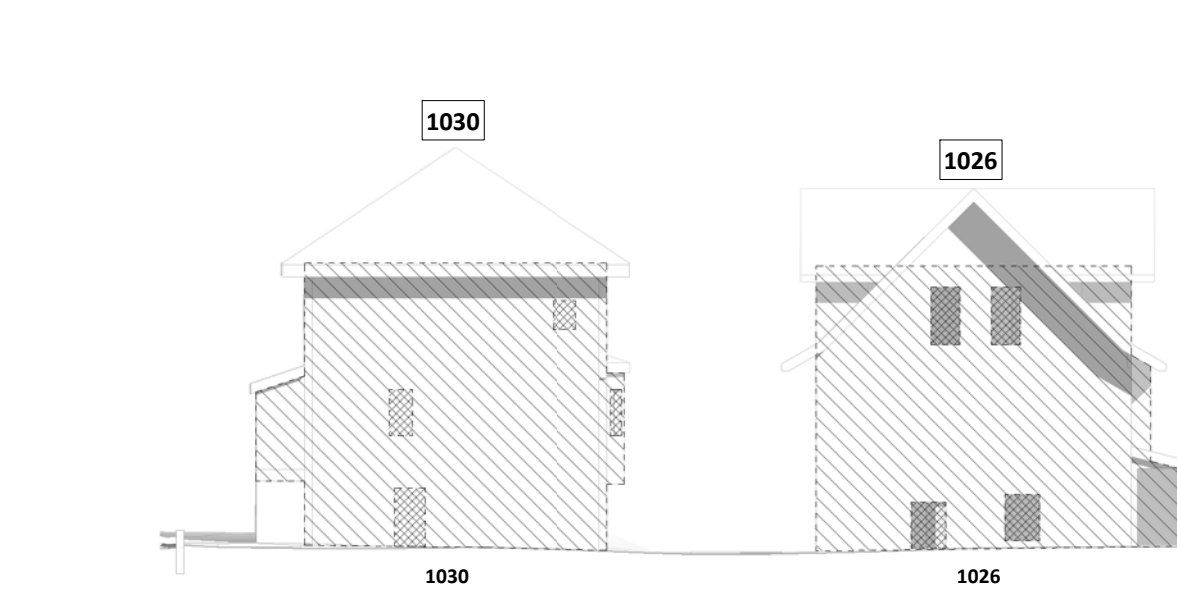
7 SPATIAL SEPARATIONS - EAST ELEVATION 1 : 200



11 SPATIAL SEPARATIONS - WEST ELEVATION OF EX. HC BLDG. (1030) 1 : 200



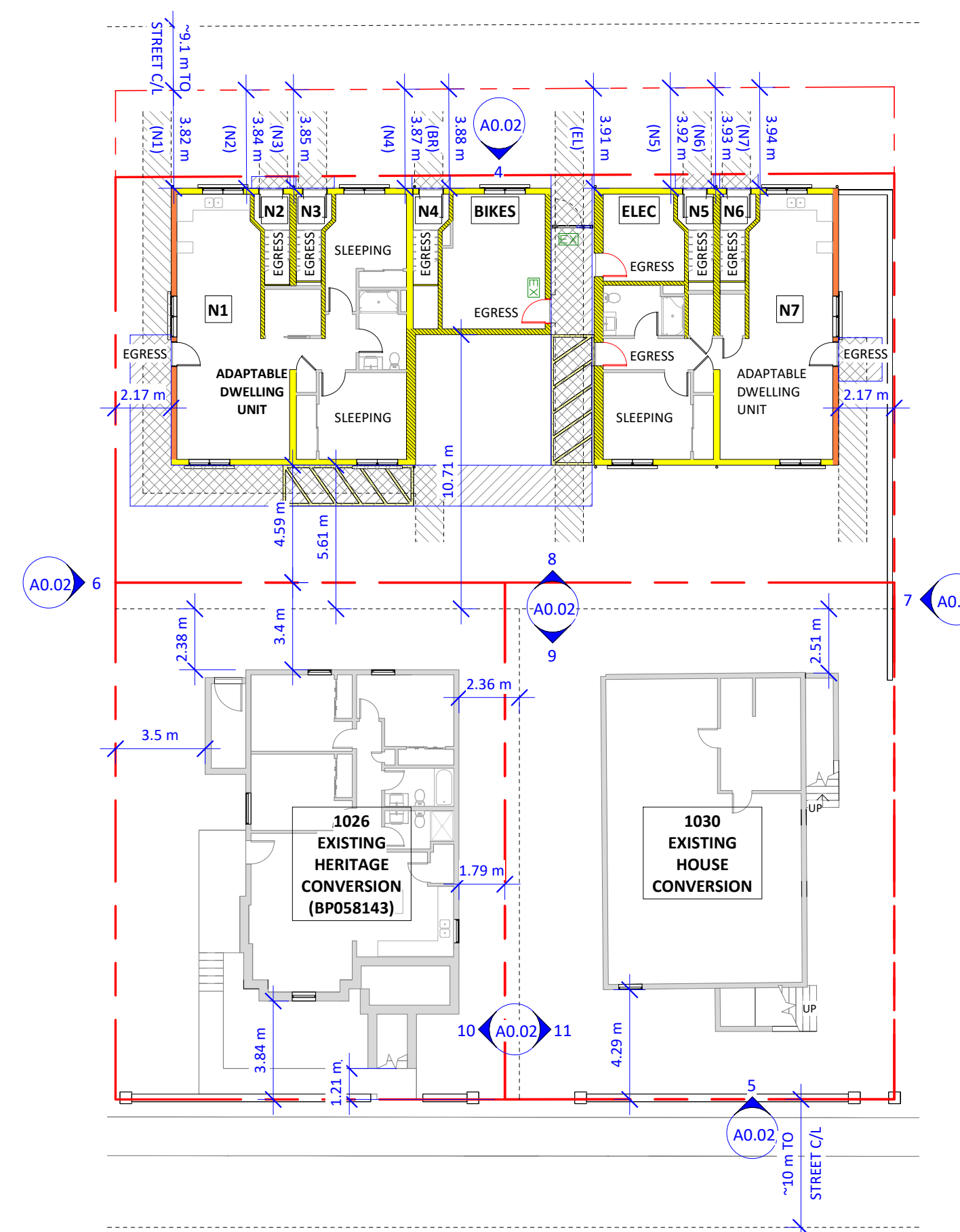
8 SPATIAL SEPARATIONS - SOUTH ELEVATION OF NORTH BLDG. 1 : 200



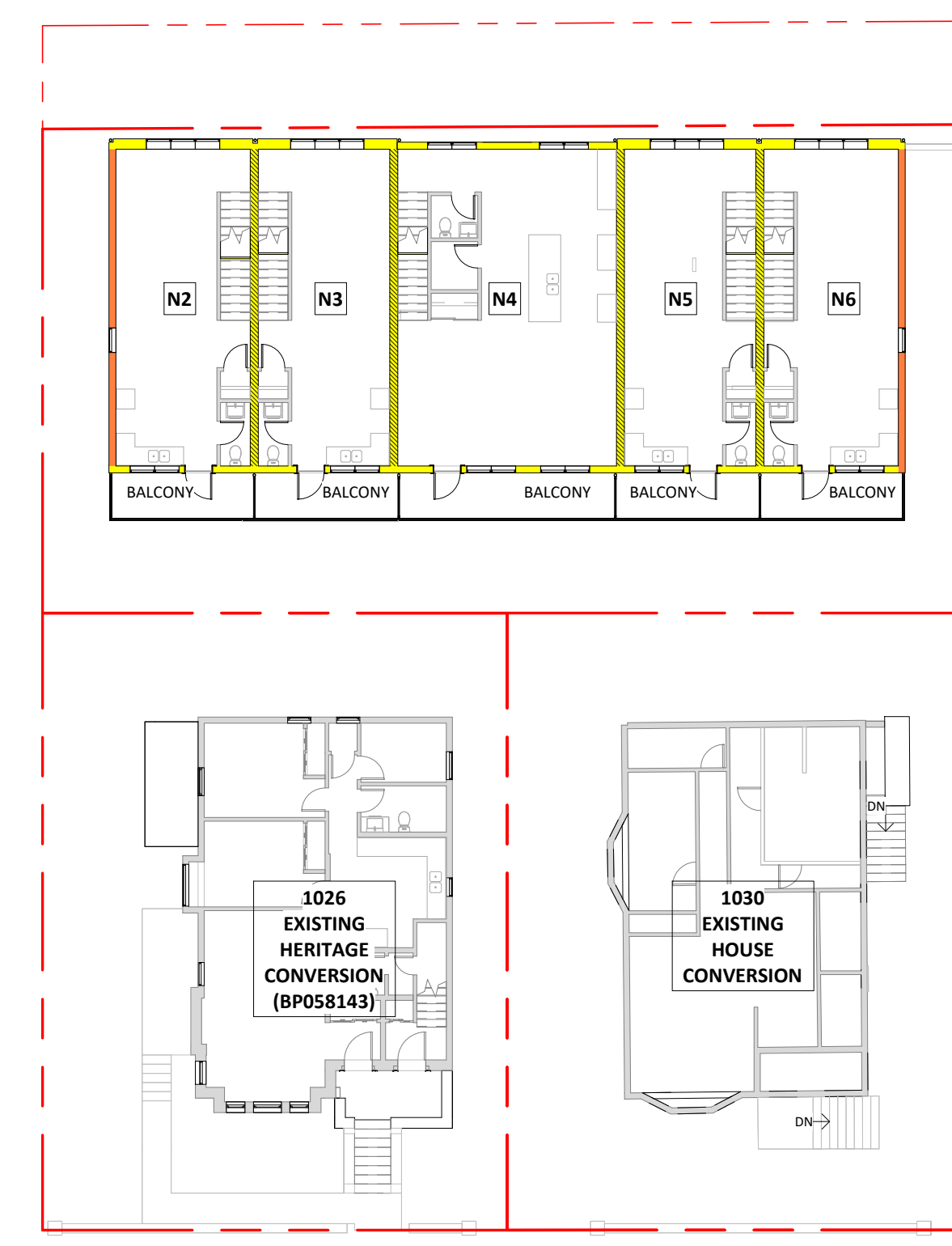
9 SPATIAL SEPARATIONS - NORTH ELEVATIONS OF EX. BLDGS. (1026 & 1030) 1 : 200

Code Compliance Drawing Legend

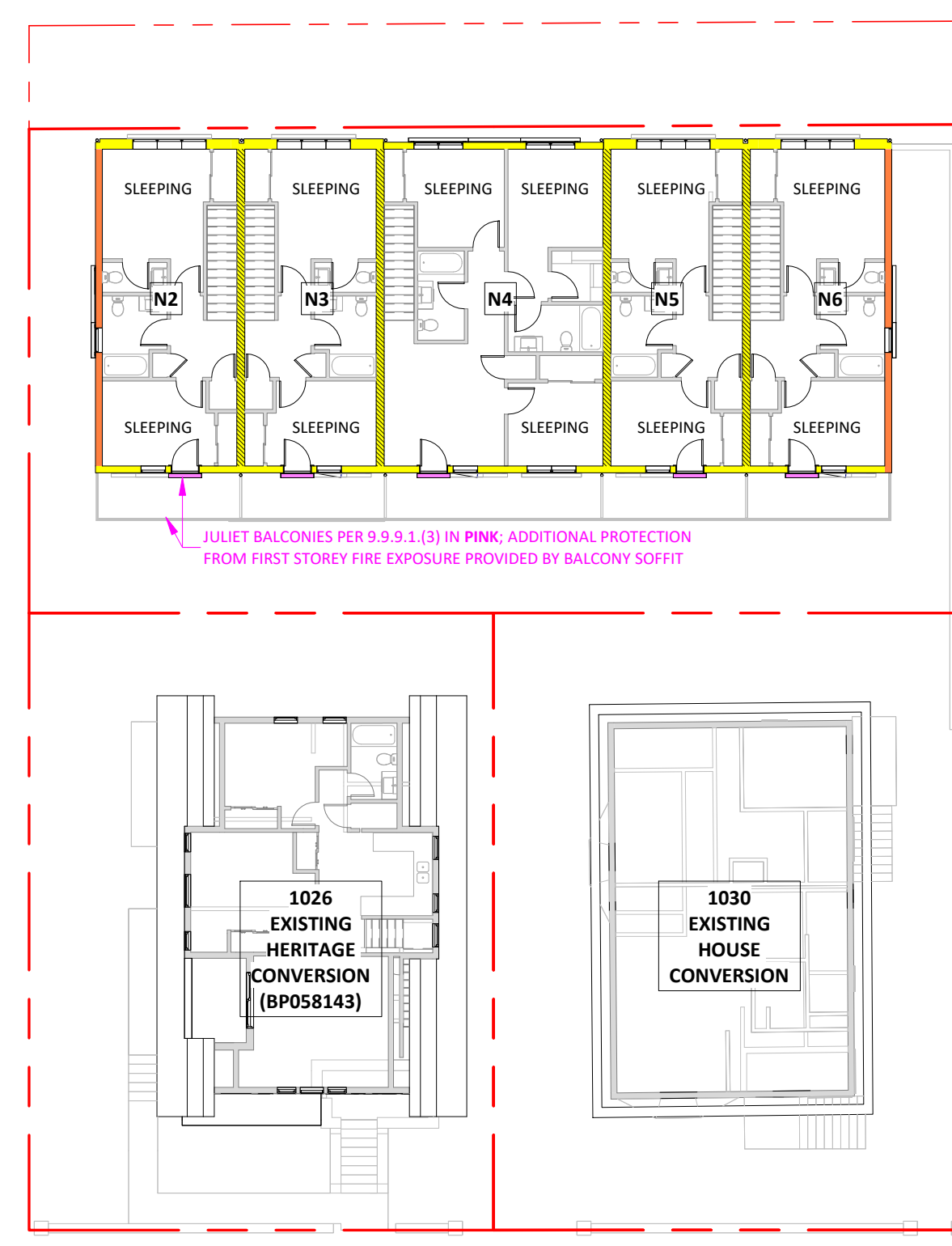
EXITS	FIRE-RESISTANCE RATING	SPATIAL SEPARATIONS
EXIT SIGN	0 HOUR	WALL OR FIRE COMPARTMENT AREA
	3/4 HOUR	UNPROTECTED OPENINGS
	1 HOUR	DOORS
FIRE SEPARATION	EXTERIOR EXIT PATHS	DOOR (WITH FIRE PROTECTION RATING)
	EXTERIOR EXIT PATH	DOOR (UNRATED)
	EXTERIOR ACCESSIBLE PATH OF TRAVEL	



1 BUILDING CODE COMPLIANCE PLAN - LEVEL 1 1 : 200



2 BUILDING CODE COMPLIANCE PLAN - LEVEL 2 1 : 200



3 BUILDING CODE COMPLIANCE PLAN - LEVEL 3 1 : 200

Christine Lintott Architects Inc.



Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

Issue Date

CALCULATED PRELIMINARY COMMENT REZONING & DEVELOPMENT PERMIT W/VARIANCE 15-SEP-2023 19-MAR-2024

Revision

No. Description Date

Consultant Seal

Empress Townhouses

1026/1028 & 1030 Empress Avenue Victoria, BC V8T 1P2

BUILDING CODE ANALYSIS

Date 2024-03-19 10:01:37 AM

Drawn by TK

Checked by CLA

A0.02

Project # 23-24 Scale As indicated



BC Land Surveyors Site Plan of
1026 and 1030 Empress Avenue

Legal - Lots 6 & 7, Block B, Section 3, Victoria District, Plan 957
Parcel Identifiers: 000-213-527 and 000-848-492

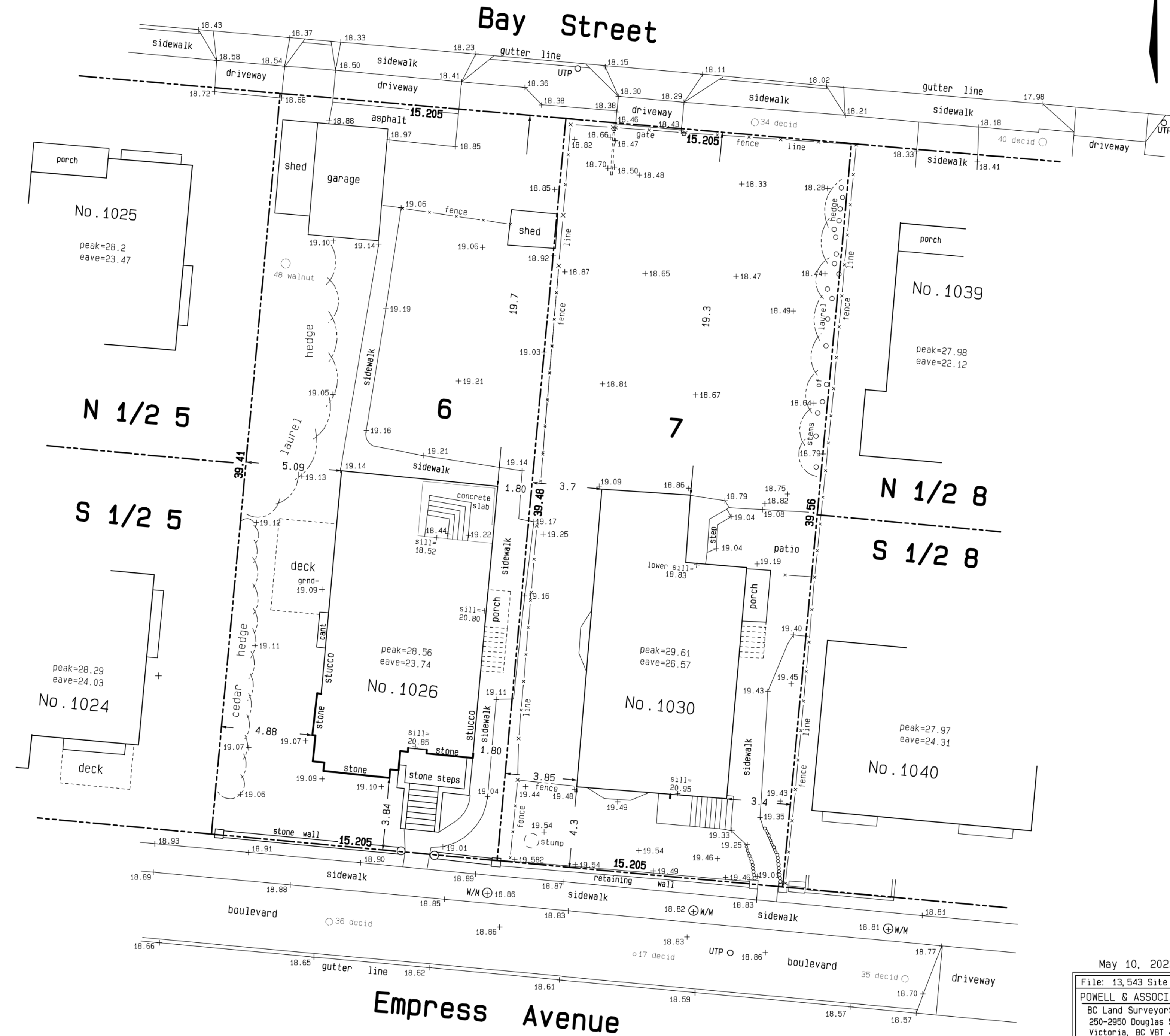
The following non-financial charges are shown on the current titles which may effect the properties - RC 2054186 and RC 563786

Scale - 1 : 150
Distances are in metres

Geodetic elevations shown + (in METRES)

Site Areas = 599.8 m2 and 600.9 m2

UTP denotes utility pole
W/M denotes water meter



May 10, 2022
File: 13_543 Site (25)
POMWELL & ASSOCIATES
BC Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

Issue Date

CALUC PRELIM. COMMENT 15-SEP-2023
REZONING & DEVELOPMENT 19-MAR-2024
PERMIT W/VARIANCE

Revision

No. Description Date

Consultant Seal

SURVEY DRAWING
ARCHITECTURAL SEAL NOT REQUIRED

Empress Townhouses

1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

SITE SURVEY

Date 2024-03-19 10:01:45 AM

Drawn by SURVEYOR

Checked by -

A1.00

Project # 23-24 Scale

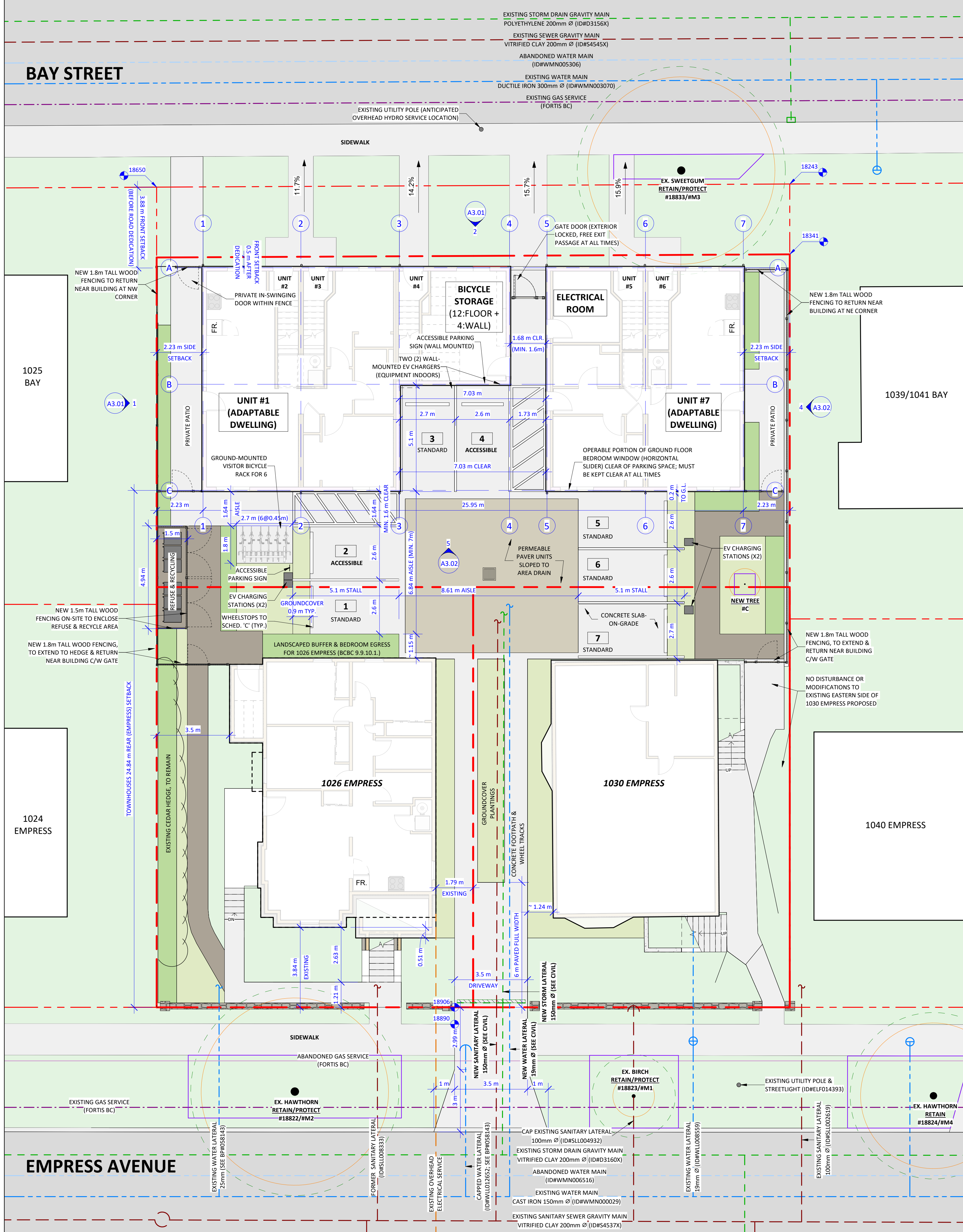
Rezoning - Project Information Table

ZONING DISTRICT	CURRENT ZONING	1028 - EXISTING CONVERSION (RETAIN)	1030 - EXISTING MULTIFAMILY (RETAIN)	PROPOSED NEW TOWNHOUSES	PROPOSED (COMBINED LOTS)
	R-2 TWO-FAMILY	R-2 TWO-FAMILY	R-2 TWO-FAMILY	NEW (REZONING)	NEW (REZONING)
SITE AREA (m ²)	≥ 555	599.8	600.9	1,200.7	1,200.7
TOTAL FLOOR AREA (m ²) INCL. EXEMPT	≤ 380	256.45	273.19	735.24	1,265.4
FLOOR AREA (EXCLUDING BSMT) (m ²)	≤ 280	164.27	182.88	735.24	1,082.9
FLOOR SPACE RATIO	≤ 0.5	0.274	0.304	0.612	0.902
SITE COVERAGE (%)	≤ 40	26.28	18.87	23.5	43.9
OPEN SITE SPACE (%)	≥ 30	78.3	80.9	-	39.7
REAR YARD OPEN SITE SPACE (%)	≥ 33	-	-	N/A	N/A
HEIGHT OF BUILDING (m)	≤ 7.6	8.2	8.85	10.33	10.33
NUMBER OF STOREYS	2	2	2	3	UP TO 3
NO BASEMENT	W/BASEMENT	W/BASEMENT	W/BASEMENT	7	7 TOTAL
PARKING STALLS ON SITE	≥ 2	2	UNMARKED	7	7 TOTAL
BUILDING SETBACKS (m)	FRONT YARD ≥ 7.5 OR AVG ABUTTING	3.84	4.29	3.88 (0.345 AFTER DED.)	
FRONT STEP PROJECTION	≥ 3.5	2.63	1.63	-	
FRONT PORCH PROJECTION	≥ 3.5	0.51	1.63	-	
BAY WINDOW PROJECTION	≥ 0.6	-	0.51	-	
REAR YARD	10.7 OR 35% (12.01)	22.65	19.31	24.78	
SIDE YARD - WEST	1.5 OR 10% 1 SIDE ± 3.0	3.50	3.74	2.17	
SIDE YARD - EAST	1.5 OR 10% 1 SIDE ± 3.0	1.79	3.39	2.17	
COMBINED SIDE YARDS	≥ 4.5	5.29	7.13	4.34	
EAVE PROJECTION	≤ 0.75	≤ 0.92	≤ 0.92	≤ 0.6	
RESIDENTIAL TOTAL NUMBER OF UNITS	≤ 2	3	4	7	14
UNIT TYPE	TWO-FAMILY	1@3BR, 2@2BR	1@0BR, 3@1BR	1@1BR, 5@2BR, 1@3BR	1@0BR, 4@1BR, 7@2BR, 2@3BR
MINIMUM UNIT AREA (m ²)	≥ 46	85.5	68.3	105.03	90.35
TOTAL RESIDENTIAL AREA (m ²)	≤ 380	256.5	273.2	735.2	1,244.0

OFFICIAL COMMUNITY PLAN DESIGNATION: NORTH PARK - URBAN RESIDENTIAL

URBAN RESIDENTIAL CONSISTS PRIMARILY OF MULTI-UNIT RESIDENTIAL IN A WIDE RANGE OF DETACHED AND ATTACHED BUILDING FORMS, INCLUDING TOWNHOUSES AND ROW-HOUSES, LOW AND MID-RISE APARTMENTS, WITH A RESIDENTIAL CHARACTER PUBLIC REALM FEATURING LANDSCAPING AND STREET TREE PLANTING, AND MIXED USES LOCATED ALONG ARTERIAL AND SECONDARY ARTERIAL ROADS.

BUILT FORM:	PLACE CHARACTER FEATURES:	USES:	DENSITY:
<ul style="list-style-type: none"> ATTACHED AND DETACHED BUILDINGS UP TO THREE STOREYS LOW-RISE AND MID-RISE MULTI-UNIT BUILDINGS UP TO APPROXIMATELY SIX STOREYS 	<ul style="list-style-type: none"> VARIABLE YARD SETBACKS WITH PRIMARY DOORWAYS FACING THE STREET VARIABLE FRONT YARD LANDSCAPING, BOULEVARD AND STREET TREE PLANTING ON-STREET PARKING AND COLLECTIVE DRIVEWAY ACCESS TO REAR YARD OR UNDERGROUND PARKING 	<ul style="list-style-type: none"> GROUND-ORIENTED MULTI-UNIT RESIDENTIAL HOUSE CONVERSIONS LOW TO MID-RISE MULTI-UNIT RESIDENTIAL LOW TO MID-RISE MIXED-USE ALONG ARTERIAL AND SECONDARY ARTERIAL ROADS HOME OCCUPATIONS 	<ul style="list-style-type: none"> TOTAL FLOOR SPACE RATIOS GENERALLY UP TO 1:2.1 INCREASED DENSITY UP TO A TOTAL OF APPROXIMATELY 2:1 MAY BE CONSIDERED IN STRATEGIC LOCATIONS FOR THE ADVANCEMENT OF PLAN OBJECTIVES (SEE POLICY 6.22)



1 SITE PLAN - PROPOSED
A0.02 1:100

Christine Lintott Architects Inc.
Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

Issue Date
CALCULATED PRELIMINARY COMMENT REZONING & DEVELOPMENT PERMIT VARIANCE 15-SEP-2023 19-MAR-2024

Revision No. Description Date

Consultant Seal

Empress Townhouses
1026/1028 & 1030 Empress Avenue
Victoria, BC V8T 1P2

SITE PLAN - PROPOSED

Date 2024-03-19 10:01:57 AM
Drawn by KKD, TK
Checked by CLA

A1.02

Project # 23-24 Scale As indicated

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Tree Inventory (All measurements in mm)									
NO.	COMMON NAME	LATIN NAME	D.B.H.	CANOPY SPREAD	C.R.Z.	PROTECT ED	RETAINED	COMMENTS	
486	ENGLISH WALNUT	JUNGLINS REGIA	470	13000	6000	Yes	No	TO BE REMOVED	
487	ENGLISH LAUREL	PRUNUS LAUROCERASUS	300	4000	4000	Yes	No	TO BE REMOVED	
488	ENGLISH LAUREL	PRUNUS LAUROCERASUS	400	4000	5000	Yes	No	TO BE REMOVED	
489	ENGLISH LAUREL	PRUNUS LAUROCERASUS	360	5000	4000	Yes	No	TO BE REMOVED	
490	ENGLISH LAUREL	PRUNUS LAUROCERASUS	310	4000	4000	Yes	No	TO BE REMOVED	
18822/M2	COCKSPUR HAWTHORN	CRATAGUS CRUS-GALLI	390	9000	5000	Yes	Yes	BOULEVARD AT 1026 EMPRESS	
18823/M1	PAPER BIRCH	BETULA Papyrifera	170	2000	2000	Yes	Yes	BOULEVARD AT 1030 EMPRESS	
18824/M4	COCKSPUR HAWTHORN	CRATAGUS CRUS-GALLI	340	7000	4000	Yes	Yes	BOULEVARD AT 1040 EMPRESS	
18833/M3	AMERICAN SWEETGUM	LIQUIDAMBAR STYRACIFLUA	380	9000	5000	Yes	Yes	BOULEVARD AT 1030 BAY	
D (NEW)	GARRY OAK	QUERCUS GARRYANA	60	1500	0	No	Yes	MEDIUM REPLACEMENT	

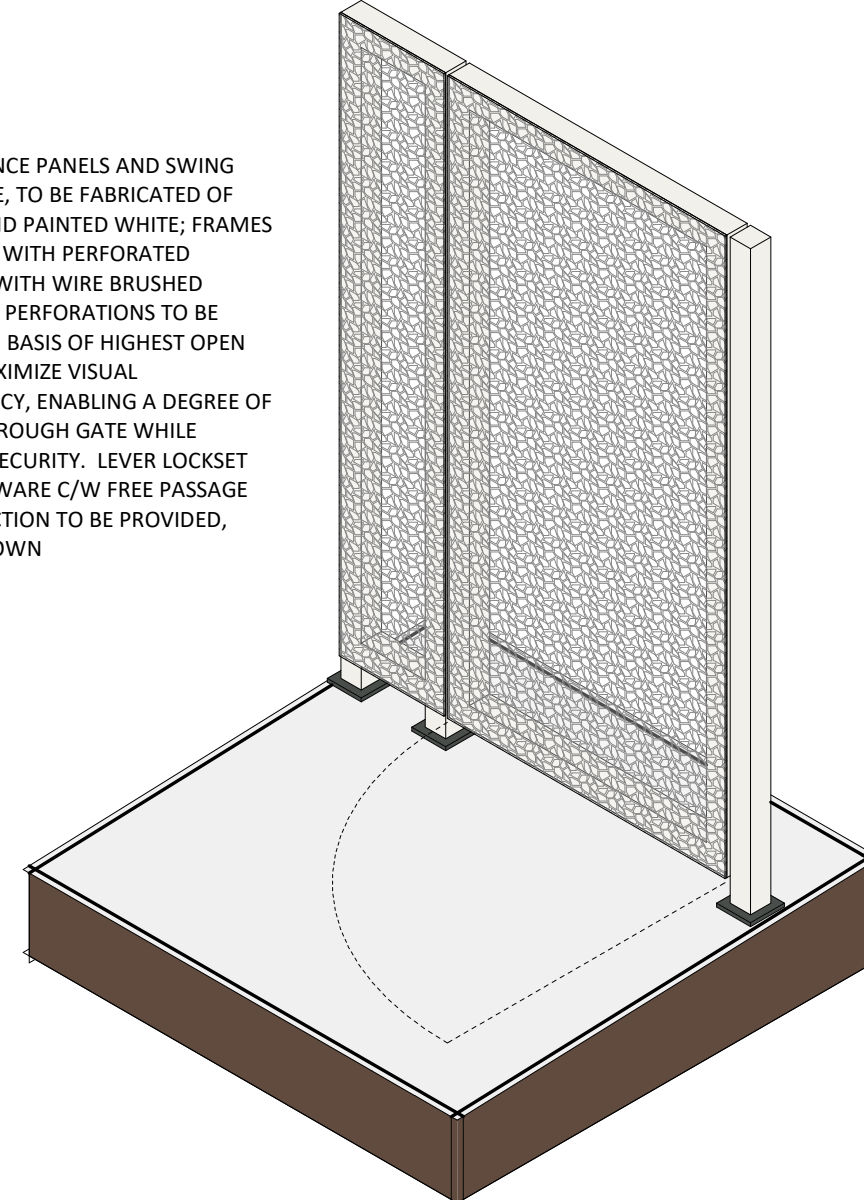
SITE LEGEND

- Easement
- Gas Services
- Hydro/Tel/Cable
- Property Line
- Sanitary Sewer
- Storm Service
- Travel Distance
- Water Service

LANDSCAPE LEGEND

- 9 GRASS LAWN
- 10 GRAVEL (NON-DUSTY EPOXY TREATMENT WHEN <3M FROM PROPERTY LINE)
- 11 CONCRETE SLABS ON GRADE
- 12 PERMEABLE UNIT PAVERS
- 13 PLANTING - SHRUBS
- PLANTING - HERBACEOUS AND GROUNDCOVER

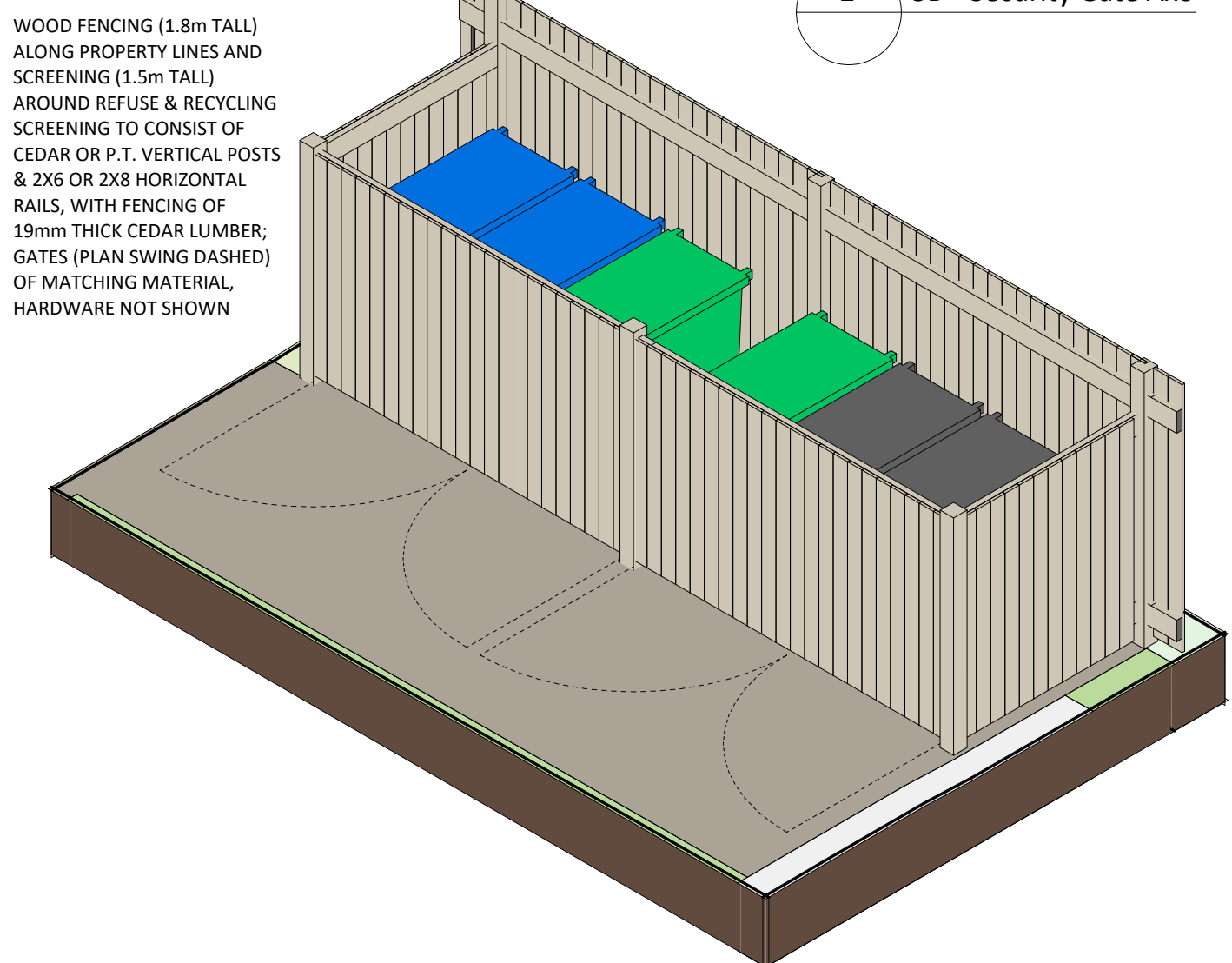
SECURITY FENCE PANELS AND SWING DOOR FRAME, TO BE FABRICATED OF STEEL HSS AND PAINTED WHITE; FRAMES TO BE FACED WITH PERFORATED ALUMINUM WITH WIRE BRUSHED FINISH, WITH PERFORATIONS TO BE SELECTED ON BASIS OF HIGHEST OPEN AREA TO MAXIMIZE VISUAL TRANSPARENCY, ENABLING A DEGREE OF VISIBILITY THROUGH GATE WHILE PROVIDING SECURITY. LEVER LOCKSET DOOR HARDWARE C/W FREE PASSAGE IN EXIT DIRECTION TO BE PROVIDED, BUT NOT SHOWN



2 3D - Security Gate Axo

Exterior Finishes Legend

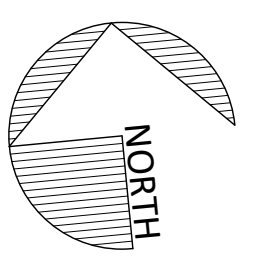
- 1 ASPHALT ROOF SHINGLES - COLOUR: DARK GRAY (APPROXIMATE)
- 2 HORIZONTAL CEMENTITIOUS LAP SIDING - COLOUR: "MOUNTAIN SAGE"
- 3 CEMENTITIOUS SHINGLE SIDING - COLOUR: "CHANTILLY LACE"
- 4 VERTICAL CEMENTITIOUS BOARD & BATTEN SIDING - COLOUR: "CHANTILLY LACE"
- 5 PAINTED TRIM, TYPICAL - COLOUR: "IRON GREY"
- 6 RAINWATER LEADERS & GUTTERS - COLOUR: BLACK (APPROXIMATE)
- 7 WINDOWS, DOORS & METAL - COLOUR: WHITE (APPROXIMATE)
- 8 SITE - GREEN LAWN
- 9 SITE - GRAVEL PATHWAY (NON-DUST EPOXY TREATMENT WHERE <3m FROM PROPERTY LINE)
- 10 SITE - CONCRETE SLABS ON GRADE
- 11 SITE - PERMEABLE UNIT PAVERS
- 12 SITE - PLANTING - SHRUBS
- 13 SITE - PLANTING - HERBACEOUS AND GROUNDCOVER



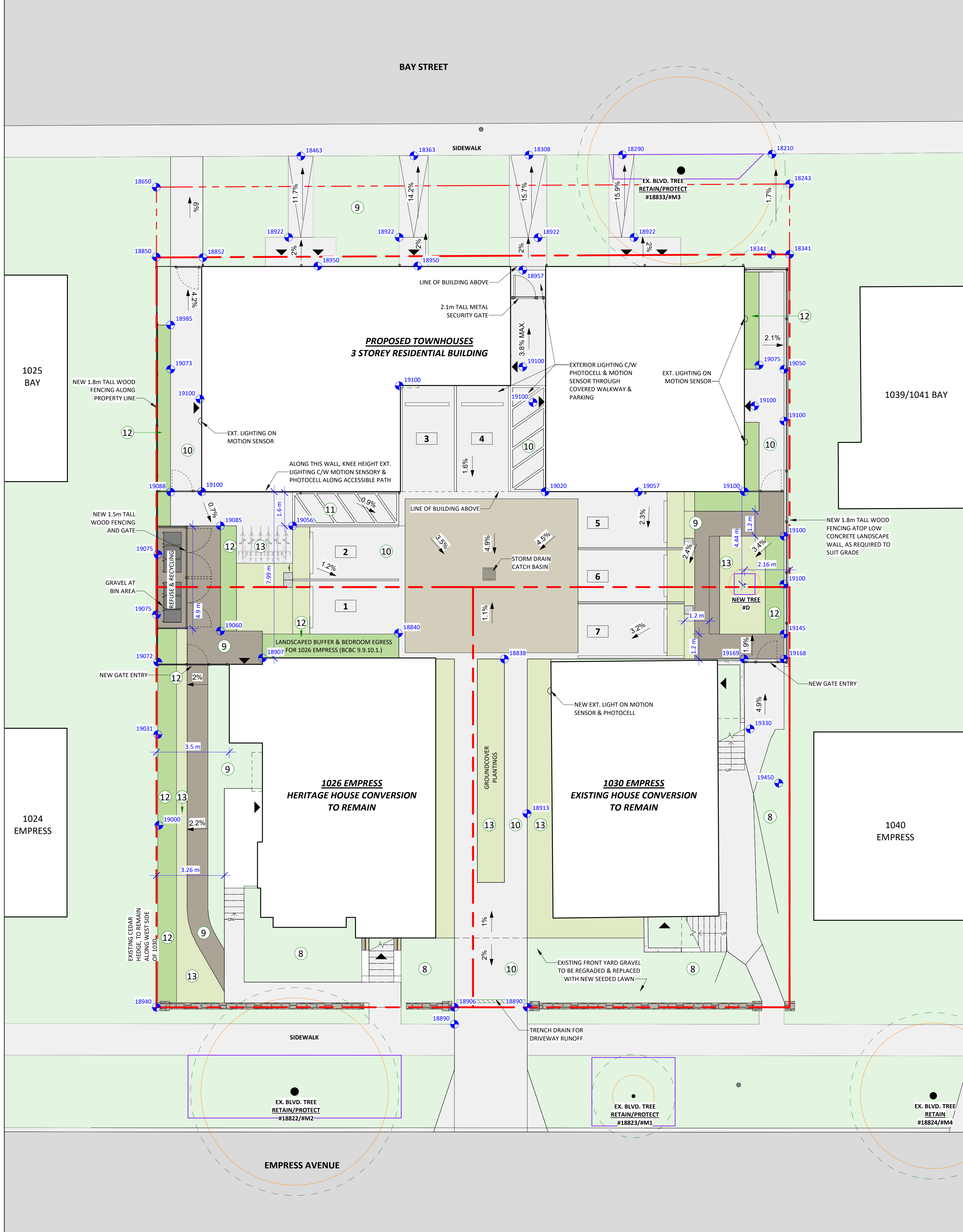
3 3D - Garbage Enclosure Axo

Plant List

Botanical Name	Common Name	Size	Count
Trees			
Cornus nutallii	Pacific Dogwood	6cm cal.	2
Quercus garryana	Garry Oak	6cm cal.	2
Shrubs - Average spacing 1 plant / sq.m.			
Symphoricarpos albus	Snowberry	#2 pot	
Cornus sericea 'Arctic Fire'	'Arctic Fire' Red-osier dogwood...	#2 pot	
Polystichum munitum	Sword Fern	#1 pot	
Dryopteris erythrosora	Autumn Fern	#1 pot	
Vaccinium ovatum	Evergreen huckleberry	#2 pot	
Herbaceous and Groundcover - average spacing 3 plants / sq.m.			
Calamagrostis x acutiflora 'Karl Foerster'	Feather reed grass	#1 pot	
Koeleria macantha	Junegrass	#1 pot	
Plectritis congesta	Sea Blush	Seed	
Sedum ssp.	Stoncrop	Cutting	
Camassia leichtlinii ssp. Suksdorfii	Great Camas	Bulb	
Thymus serpyllum	Creeping Thyme	#1 pot	
Cerastium arvense	Fiel Chickweed	#1 pot	
Achillea millefolium	Yarrow	#1 pot	
Eriophyllum lanatum	Woolly Sunflower	#1 pot	
Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	



1 SITE PLAN - LANDSCAPE PLAN
A0.02 1 : 100



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Issue	Date
CALUC PRELIM. COMMENT REZONING & DEVELOPMENT PERMIT W/VARIANCE	15-SEP-2023 19-MAR-2024

Revision No.	Description	Date

Consultant Seal

Empress Townhouses

1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

SITE PLAN - LANDSCAPE PLAN

Date	2024-03-19 10:02:09 AM
Drawn by	KKD, TK
Checked by	CLA

A1.03

Project #	23-24	Scale	As indicated
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2 STREET ELEVATION - NORTH
1 : 200



1 STREET ELEVATION - SOUTH
1 : 200



VIEW FROM REAR YARD OF 1024 EMPRESS/1025 BAY



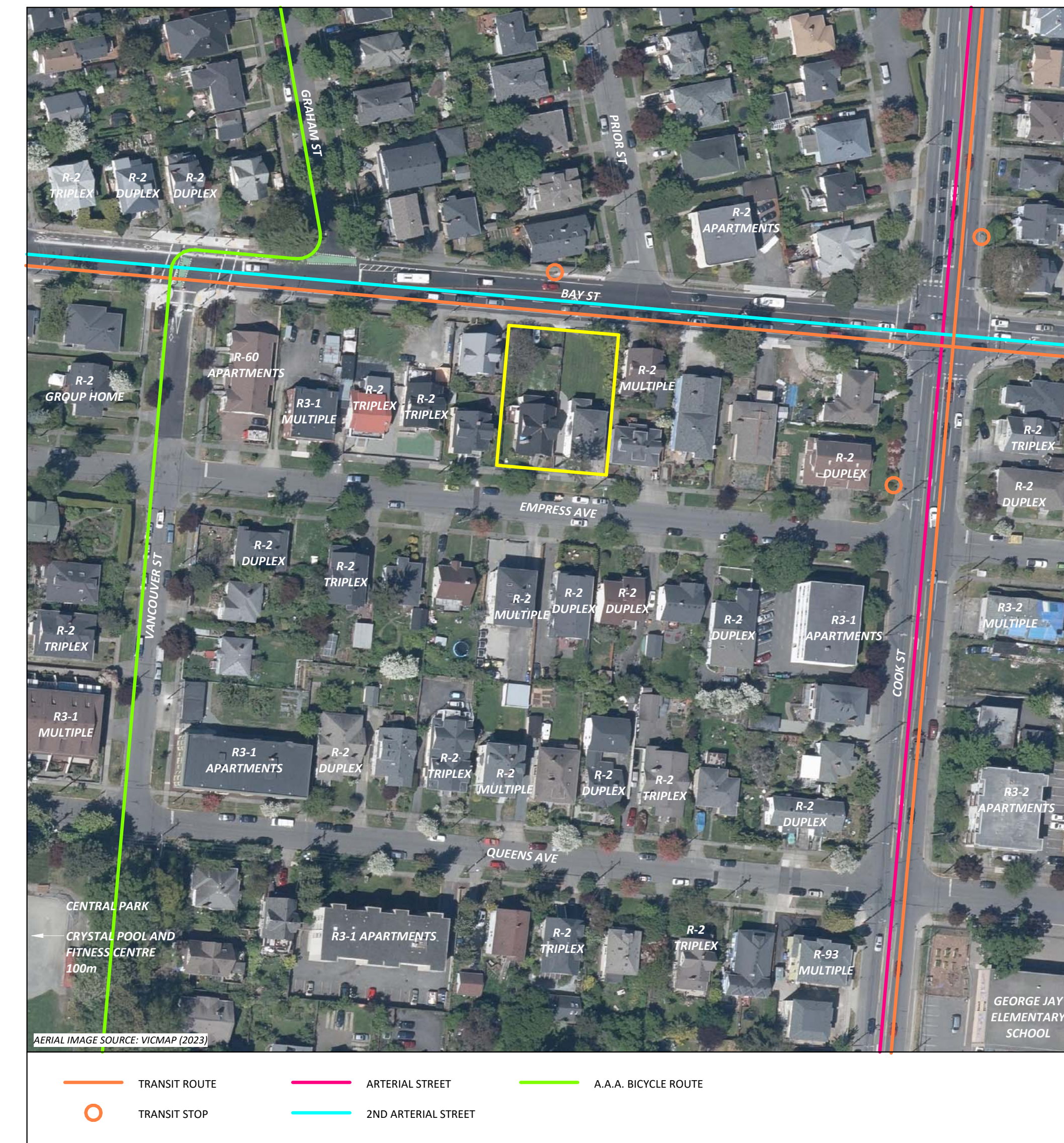
VIEW FROM REAR YARD OF 1039/1041 BAY AND 1040 EMPRESS



PERSPECTIVE VIEW FROM BAY STREET



PERSPECTIVE VIEW FROM EMPRESS AVE



Issue	Date
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CALUC PRELIM. COMMENT	15-SEP-2023
REZONING & DEVELOPMENT PERMIT W/VARIANCE	19-MAR-2024

Revision No.	Description	Date
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Consultant Seal

Empress Townhouses

1026/1028 & 1030
 Empress Avenue
 Victoria, BC V8T 1P2

CONTEXT & 3D PERSPECTIVES

Date	2024-03-19 10:02:40 AM
Drawn by	-
Checked by	CLA

A1.11

Project #	23-24	Scale	As indicated
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Empress Townhouses

1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

FLOOR PLANS - LEVELS 1 & 2

Date: 2024-03-19 10:02:47 AM

Drawn by: KKD

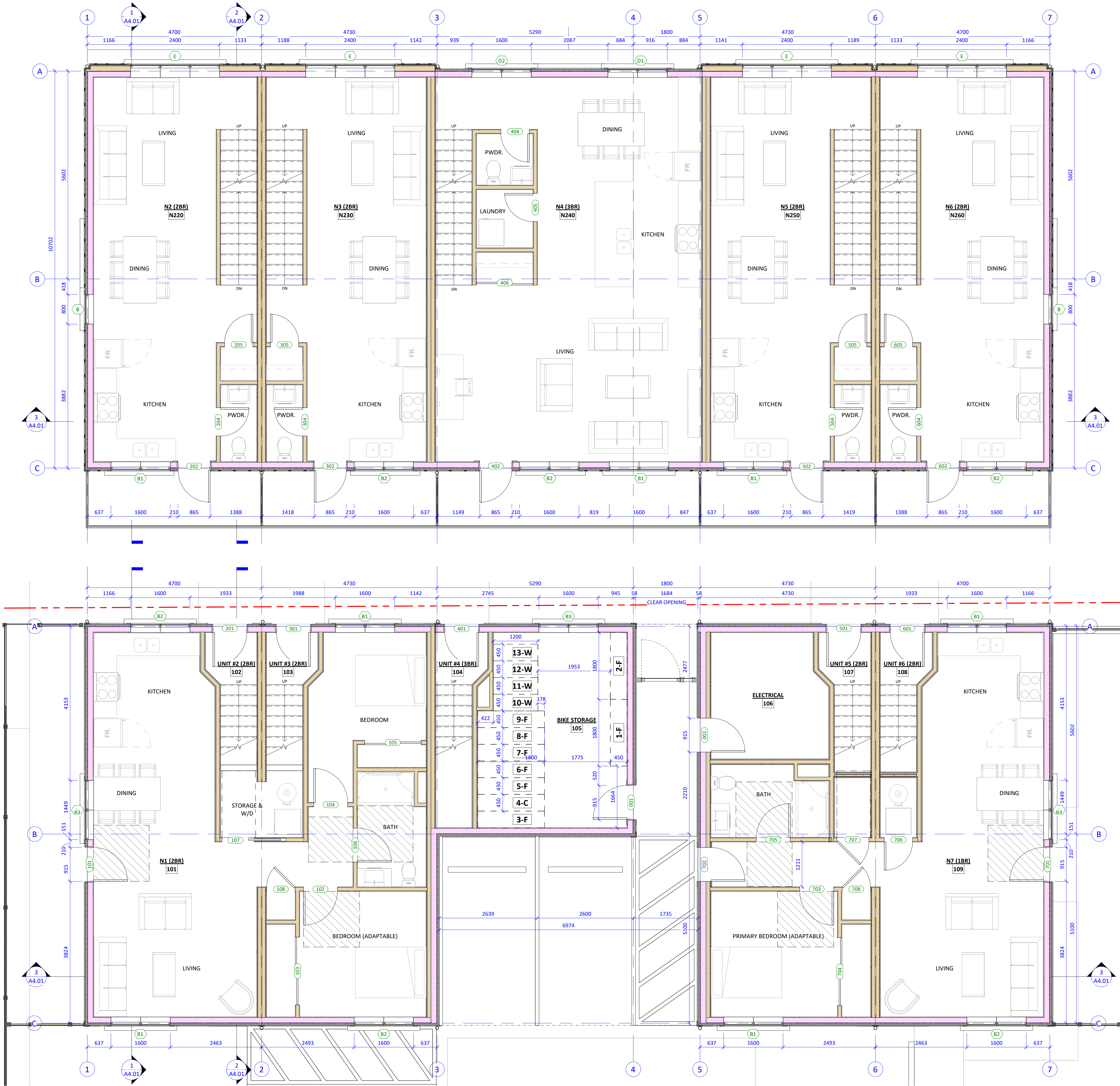
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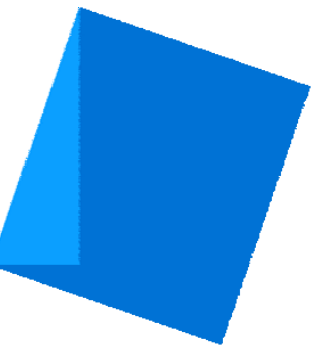
A2.01

Project #: 23-24 Scale: 1:50

2 TOWNHOUSE FLOOR PLAN - LEVEL 2
A0.02 1:50

1 TOWNHOUSE FLOOR PLAN - LEVEL 1
A0.02 1:50





Issue Date

CALUC PRELIM. COMMENT 15-SEP-2023
REZONING & DEVELOPMENT 19-MAR-2024
PERMIT W/VARIANCE

Revision

No. Description Date

Consultant Seal

Empress Townhouses

1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

FLOOR PLANS - LEVELS 3 & ROOF

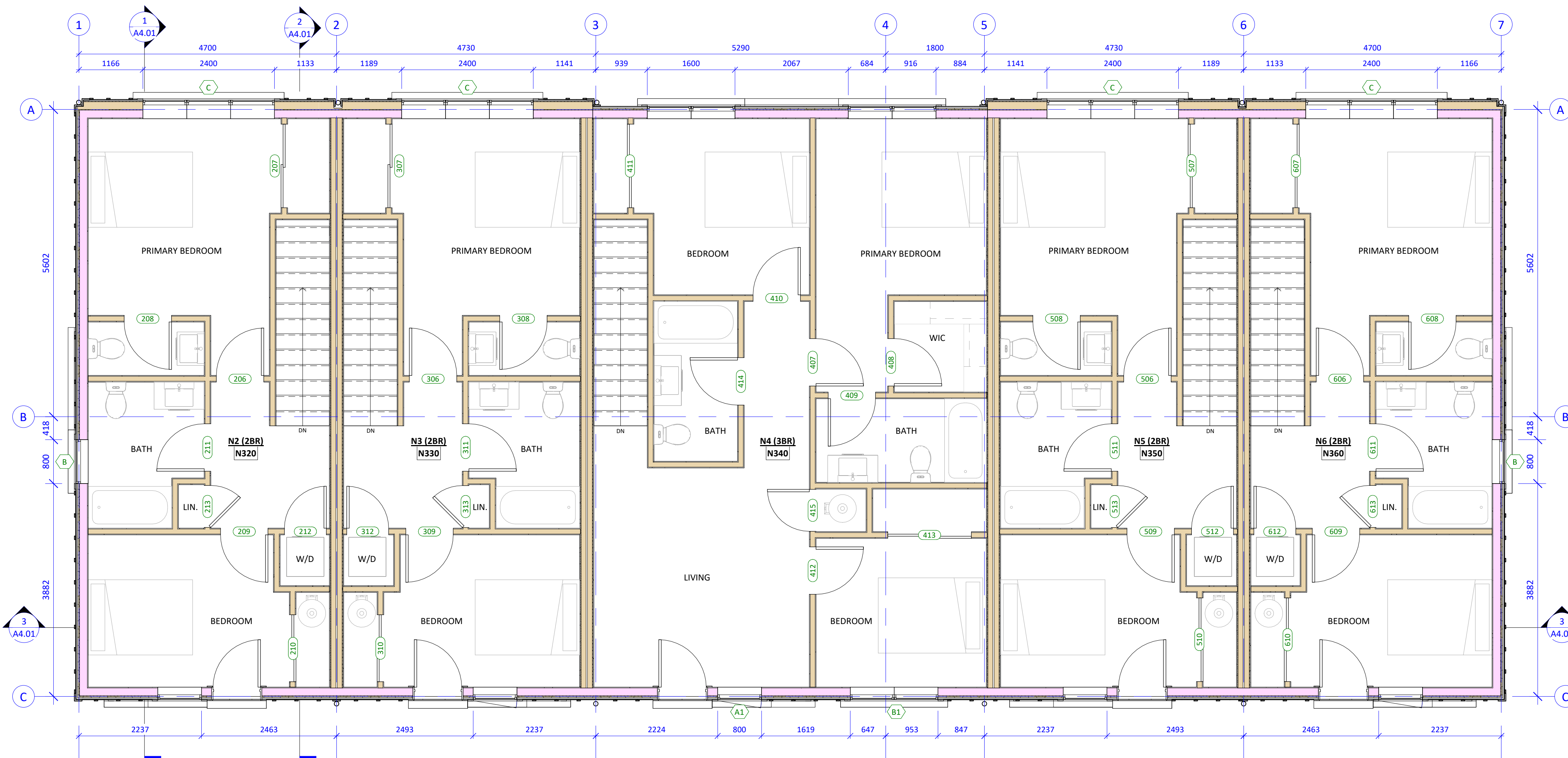
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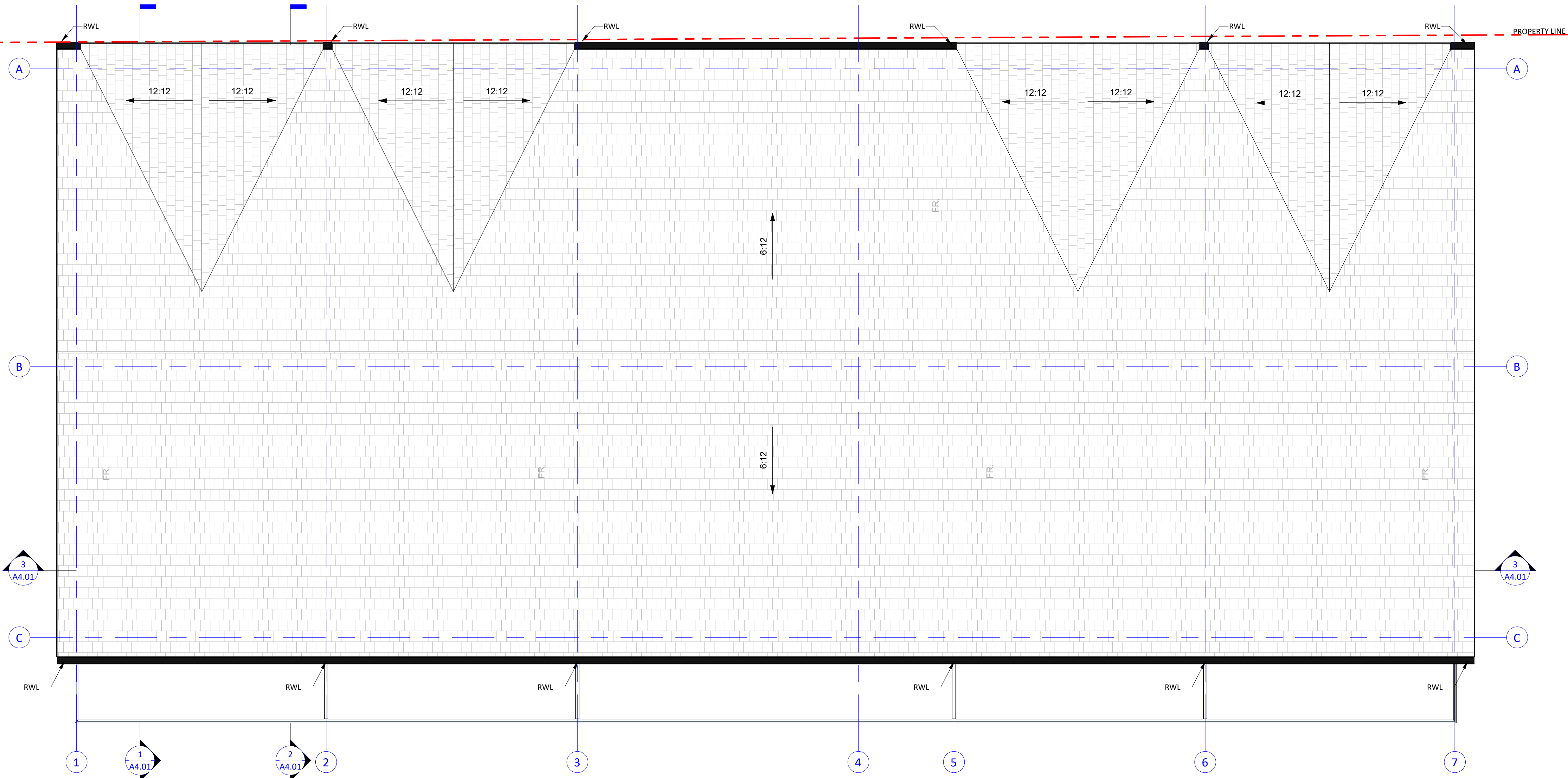
Checked by CLA

A2.02

Project # 23-24 Scale 1 : 50



3 TOWNHOUSE FLOOR PLAN - LEVEL 3
A0.02 1 : 50



4 TOWNHOUSE ROOF PLAN
A0.02 1 : 50

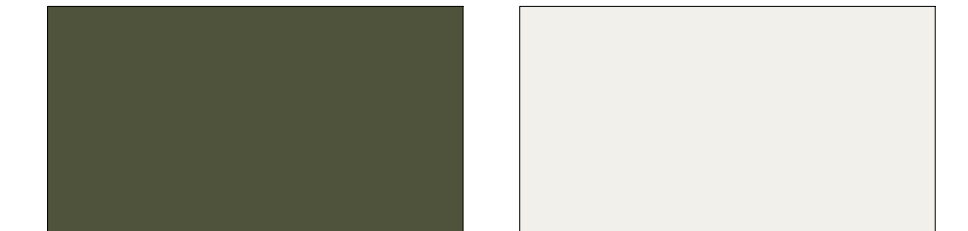


Empress Townhouses

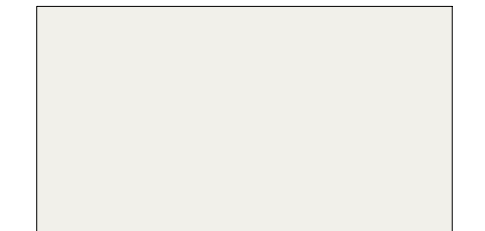
1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

BUILDING ELEVATIONS - NORTH (BAY) & WEST

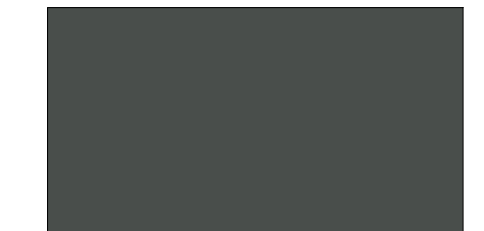
A3.01



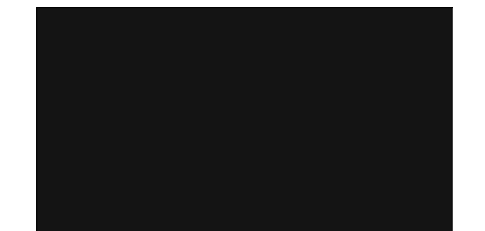
"MOUNTAIN SAGE"
(BENJAMIN MOORE #OC-65)
• CEMENTITIOUS LAP SIDING



"CHANTILLY LACE"
(BENJAMIN MOORE #OC-65)
• CEMENTITIOUS PANEL BOARD & BATTEN SIDING
• CEMENTITIOUS SHINGLE SIDING
• JUJUEIT WOOD GUARD PICKETS



"IRON GREY"
(MATCH TO JAMES HARDIE)
• HORIZONTAL & CORNER TRIMS
• WINDOW TRIMS
• ROOF FASCIAS



BLACK
(PREFINISHED; COLOUR APPROXIMATE)
• RAIN WATER LEADERS
• GUTTERS



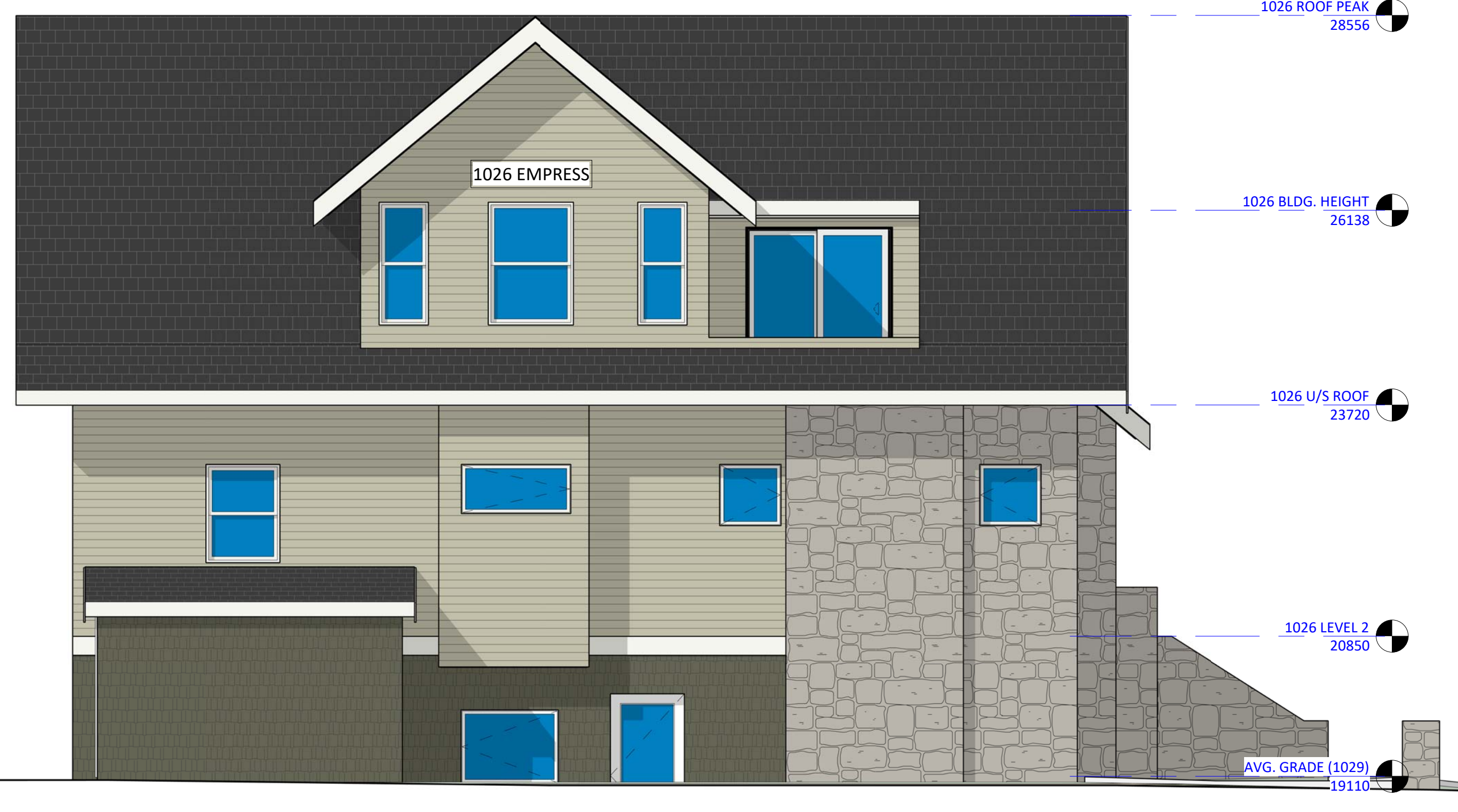
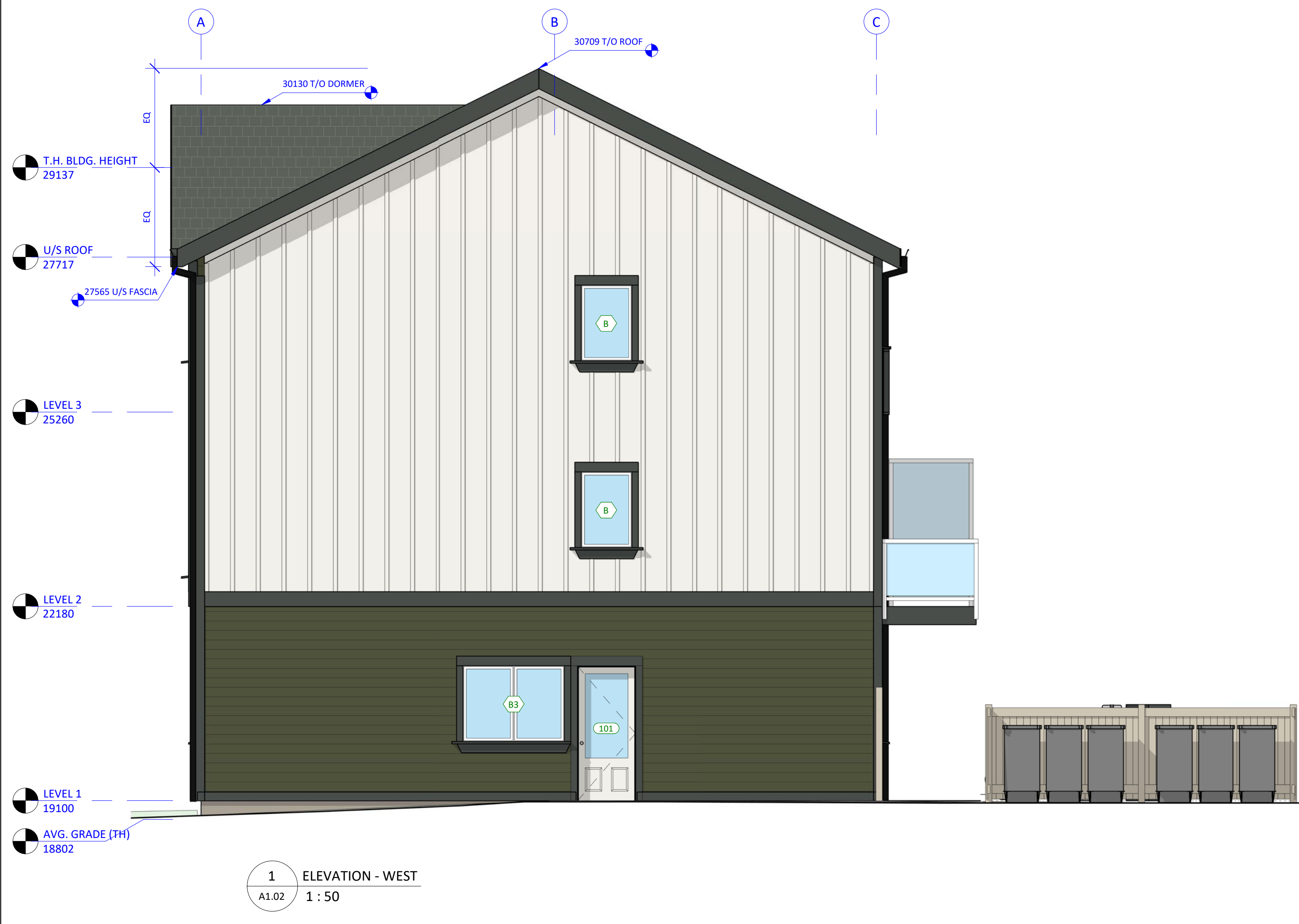
DARK GRAY
(COLOUR APPROXIMATE)
• ASPHALT ROOFING SHINGLES

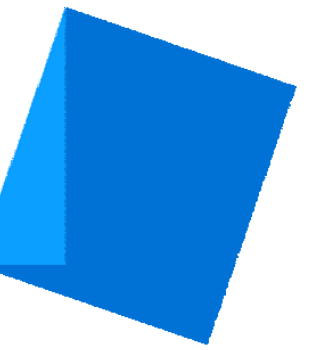


WHITE
(PREFINISHED; COLOUR APPROXIMATE)
• WINDOWS & DOORS
• METAL BALCONY RAILINGS & SCREENS

Exterior Finishes Legend

1	ASPHALT ROOF SHINGLES - COLOUR: DARK GRAY (APPROXIMATE)
2	HORIZONTAL CEMENTITIOUS LAP SIDING - COLOUR: "MOUNTAIN SAGE"
3	CEMENTITIOUS SHINGLE SIDING - COLOUR: "CHANTILLY LACE"
4	VERTICAL CEMENTITIOUS BOARD & BATTEN SIDING - COLOUR: "CHANTILLY LACE"
5	PAINTED TRIM, TYPICAL - COLOUR: "IRON GREY"
6	RAINWATER LEADERS & GUTTERS - COLOUR: BLACK (APPROXIMATE)
7	WINDOWS, DOORS & METAL - COLOUR: WHITE (APPROXIMATE)
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9	SITE - GRAVEL PATHWAY (NON-DUST EPOXY TREATMENT WHERE <3m FROM PROPERTY LINE)
10	SITE - CONCRETE SLABS ON GRADE
11	SITE - PERMEABLE UNIT PAVERS
12	SITE - PLANTING - SHRUBS
13	SITE - PLANTING - HERBACEOUS AND GROUNDCOVER





Issue Date

CALUC PRELIM. COMMENT 15-SEP-2023
REZONING & DEVELOPMENT 19-MAR-2024
PERMIT W/VARIANCE

Revision

No. Description Date

Exterior Finishes Legend

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Consultant Seal

Empress Townhouses

1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

BUILDING ELEVATIONS - EAST & SOUTH

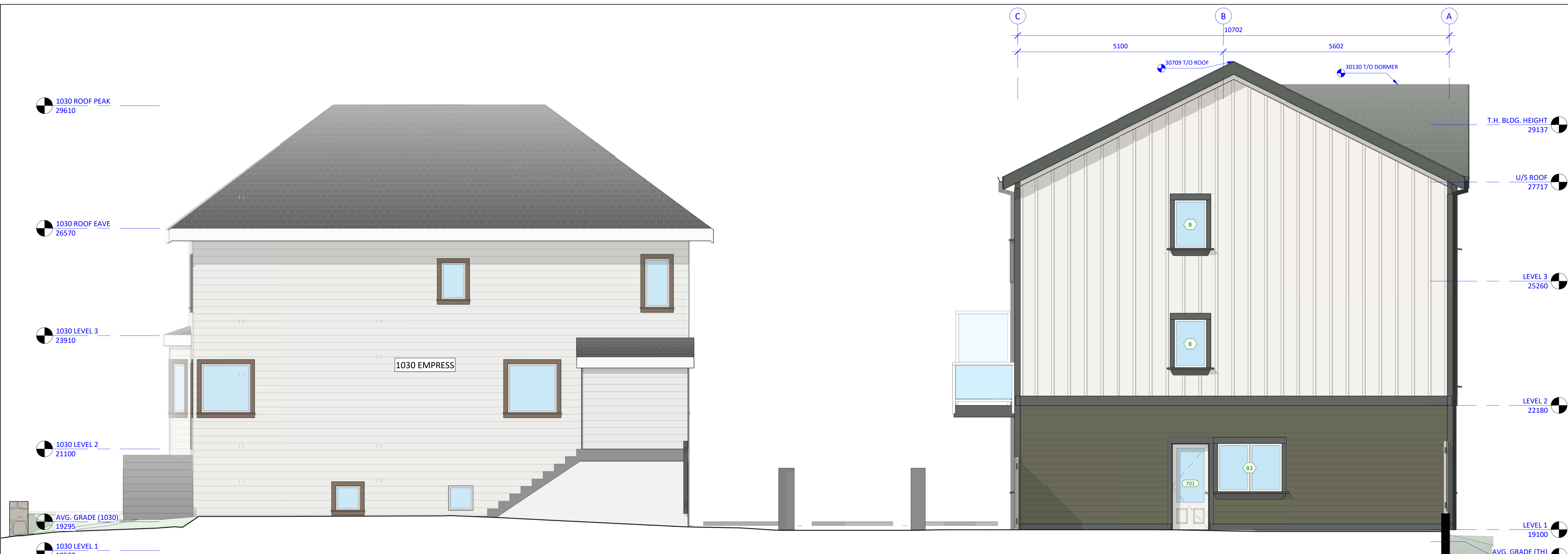
Date 2024-03-19 10:03:30 AM

Drawn by KKD

Checked by CLA

A3.02

Project # 23-24 Scale 1 : 50



4 EAST ELEVATION
A1.02 1 : 50



5 ELEVATION - SOUTH - NORTH BUILDING (LOT INTERIOR)
A1.02 1 : 50



Issue	Date
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CALUC PRELIM. COMMENT	15-SEP-2023
REZONING & DEVELOPMENT	19-MAR-2024
PERMIT W/VARIANCE	

Revision

No.	Description	Date
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Consultant Seal

Empress Townhouses

1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

BUILDING SECTIONS

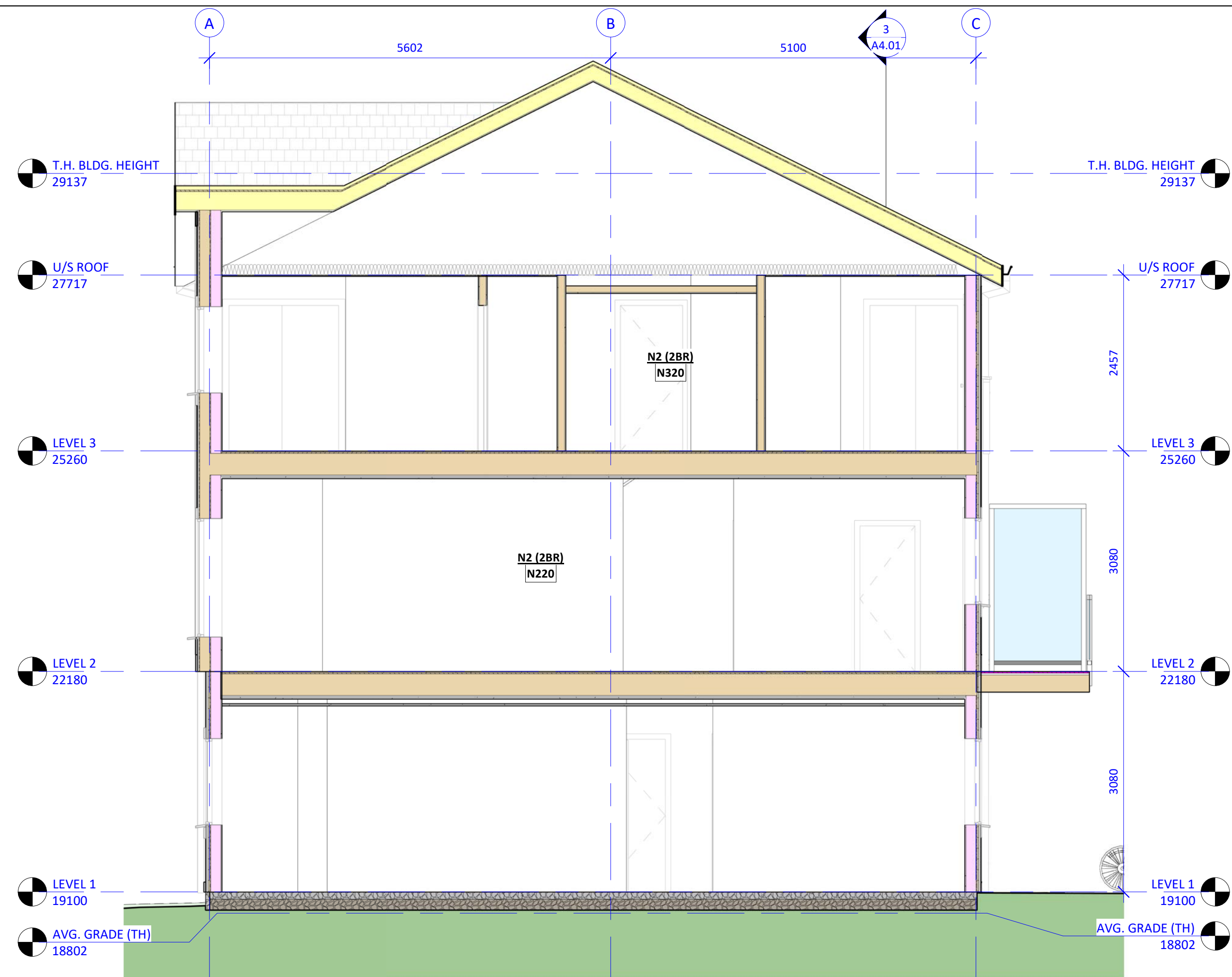
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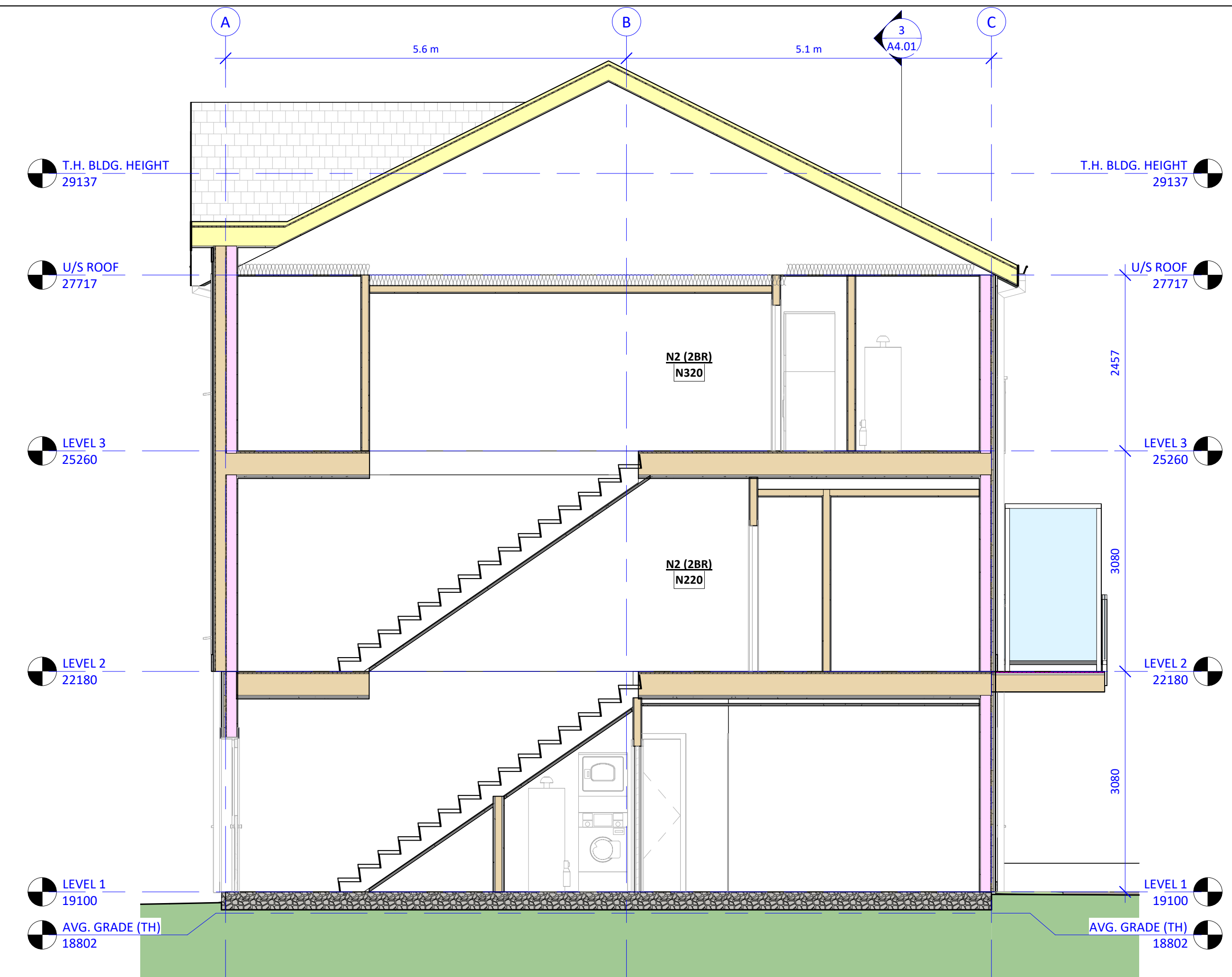
Checked by CLA

A4.01

Project # 23-24 Scale 1 : 50



1 BUILDING SECTION - LIVING
A2.01 1 : 50



2 BUILDING SECTION - STAIRS
A2.01 1 : 50



3 BUILDING SECTION - LONGITUDINAL
A2.01 1 : 50

Door Schedule																		
NO.	TYPE	WIDTH (mm)	WIDTH (in.)	HEIGHT (mm)	HEIGHT (in.)	FRAME	PANEL	CORE	GLAZING	HARDWARE	THRESHOLD	ELEC. STRIKE	AUTO OPEN	CLOSER	SEALS	FIRE SEPARATION	F.P.R.	F.R.R.
BICYCLE ROOM																		
001	D3	915	36	2135	84	METAL	METAL	INSULATED	CERAMIC	CARD READER	THERMALLY BROKEN	Yes	Yes	Yes	Yes	Yes	20 MIN	0.75hr
ELECTRICAL																		
002	D5	915	36	2135	84	METAL	METAL	INSULATED	-	STOREROOM	THERMALLY BROKEN	No	No	Yes	Yes	Yes	20 MIN	0.75hr
UNIT #1																		
101	D1	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	ACCESSIBLE	No	No	No	Yes	No		
102	D7	915	36	2135	84	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
103	D8	1830	72	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
104	D7	915	36	2135	84	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
105	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
106	D7	915	36	2135	84	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
107	F	864	34	2035	80					BYPASS KIT		No	No	No	No	No		
108	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #2																		
201	D2	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	THERMALLY BROKEN	No	No	No	Yes	No		
202	D6	865	34	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
203	D6	865	34	2035	80	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
204	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
205	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
206	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
207	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
208	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
209	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
210	D8	1220	48	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
211	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
212	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
213	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #3																		
301	D2	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	THERMALLY BROKEN	No	No	No	Yes	No		
302	D6	865	34	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
303	D6	865	34	2035	80	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
304	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
305	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
306	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
307	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
308	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
309	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
310	D8	1220	48	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
311	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
312	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
313	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #4																		
401	D2	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	THERMALLY BROKEN	No	No	No	Yes	No		
402	D6	865	34	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
403	D6	865	34	2035	80	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
404	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
405	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
406	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
407	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
408	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
409	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
410	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
411	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
412	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
413	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
414	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
415	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #5																		
501	D2	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	THERMALLY BROKEN	No	No	No	Yes	No		
502	D6	865	34	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
503	D6	865	34	2035	80	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
504	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
505	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
506	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
507	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
508	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
509	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
510	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
511	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
512	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
513	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #6																		
601	D2	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	THERMALLY BROKEN	No	No	No	Yes	No		
602	D6	865	34	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
603	D6	865	34	2035	80	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
604	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
605	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
606	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
607	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
608	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
609	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
610	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
611	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
612	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
613	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #7																		
701	D1	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	ACCESSIBLE	No	No	No	Yes	No		
702	D4	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	-	ENTRANCE	ACCESSIBLE	No	No	No	Yes	Yes	20 MIN	0.75hr
703	D7	915	36	2135	84	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
704	D8	1830	72	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
705	D7	915	36	2135	84	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
706	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		

ENVIRONMENTAL NOTES:

- USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. ADJUST WORK ACTIVITIES DURING PERIODS OF HEAVY RAIN TO MINIMIZE SEDIMENTS ENTERING THE STORM DRAINAGE SYSTEM. SOME BMP'S TO CONSIDER:
- CHECK ALL EQUIPMENT FOR FLUID LEAKS PRIOR TO ENTERING THE WORK AREA.
- NO EQUIPMENT RE-FUELING TO OCCUR IN THE WORK AREA UNLESS SPILL PROTECTION MEASURES ARE IN PLACE.
- A SPILL KIT IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.
- SURFACE WATER IS TO BE MANAGED WITHIN THE WORK AREA AND TREATED BEFORE DISCHARGED. THIS MAY INCLUDE ONSITE DETENTION AND/OR CULVERT FILTRATION.
- COVER EXPOSED SOILS IN INCLEMENT WEATHER ie TARP, HYDRO SEED OR ORGANIC LEAF MULCH.
- STOCKPILE SOILS AWAY FROM CULVERT INLETS AND ENSURE THEY ARE COVERED IF LEFT FOR MORE THAN 48 HOURS.
- PLACE DRAIN ROCK AND FILET FABRIC AT THE INLET OF CULVERT.
- SURROUND PROTECTED TREES WITH SNOW FENCING AT DRIP LINE OR CRITICAL ROOT ZONE OF TREE DURING CONSTRUCTION. CONTACT CITY ARBORIST PRIOR TO BEGINNING CONSTRUCTION.
- INSTALL SILT FENCING AS REQUIRED.

GENERAL CONSTRUCTION NOTES:

1. CONTACT & NOTIFY ALL HOMEOWNERS AFFECTED BY WORKS 4 WEEKS PRIOR TO CONSTRUCTION.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CITY STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED ON THIS DRAWING.
3. REPAIR AND/OR REPLACE ALL INFRASTRUCTURE/PRIVATE PROPERTY DAMAGED OR REMOVED DURING CONSTRUCTION, TO BETTER THAN, OR EQUAL TO PRE-CONSTRUCTION CONDITION.
4. REINSTATE ALL PRIVATE PROPERTY TO PRE-CONSTRUCTION CONDITIONS.
5. CONTACT CITY PARKS DEPARTMENT PRIOR TO WORKING IN AND AROUND TREES.
6. ENSURE THE CURRENT MUNICIPAL O.H.&S. GROUND DISTURBANCE PRACTICE AND PROCEDURES ARE FOLLOWED. CONTACT BC1 AT 1-800-474-6886 FOR EXTERNAL UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. NOTIFY THOSE HOMEOWNERS WHO WILL BE AFFECTED BY CONSTRUCTION 48HRS BEFORE BEGINNING WORKS.
8. CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS PRIOR TO CONSTRUCTION.
9. ENSURE ALL EXISTING SERVICES STAY IN OPERATIONAL CONDITION DURING CONSTRUCTION.
10. SIGNS ARE TO BE CONSTRUCTED AS PER COV STANDARD DRAWINGS
11. ALL BOULEVARDS TO BE RESTORED WITH 200mm TOPSOIL AND GRASS.
12. MAINTAIN VEHICLE AND PEDESTRIAN ACCESS AT ALL TIMES.
13. ALL EXISTING AND PROPOSED APPURTENANCES TO MEET FINAL GRADES.
14. ALL TRENCHING EXCAVATIONS AND BEDDING TO BE PER MMCD G4

GENERAL NOTES:

DRAWING INFORMATION
DIMENSIONS ARE METRIC; MILLIMETERS ON DETAIL DRAWINGS; METERS ON 1:250 PLAN AND PROFILE, UNLESS OTHERWISE NOTED.

INFORMATION THAT IS PROVIDED IN OUR PLANS, DESIGNS, OR SPECIFICATIONS IS INTENDED TO INDICATE THE GENERAL ARRANGEMENT OF WORK TO BE CARRIED OUT, AS THE PROJECT PROGRESSES, THE DEGREE OF DETAIL THAT IS PROVIDED MAY REQUIRE ADDITIONS OR DELETIONS.

EXISTING SERVICE INFORMATION WITHIN AREAS OF CONSTRUCTION MAY HAVE BEEN SUPPLIED BY OTHERS AND ARE APPROXIMATE ONLY, ADDITIONAL SERVICES MAY BE PRESENT BUT NOT INDICATED ON THESE DRAWINGS.

EXISTING SERVICES TO BE VERIFIED OR EXPOSED IN FIELD. CONTACT ENGINEER IF THERE ARE ANY CONFLICTS. ALL ALTERNATE DESIGNS ARE TO BE SUBMITTED THROUGH CONSULTING ENGINEER.

GENERAL REQUIREMENTS
REFER TO KYLE ENGINEERING'S "STATEMENT OF CONDITIONS" FOR ADDITIONAL INFORMATION AS TO THE USE OF THESE DOCUMENTS AND CONSTRUCTION OF THE WORKS.

REFER TO CITY STANDARD DRAWINGS AND SPECIFICATIONS AND PERMITS, MASTER MUNICIPAL CONSTRUCTION DOCUMENTS, LATEST EDITION, BC HYDRO, TELUS, SHAW AND FORTIS GAS DRAWINGS AND SPECIFICATIONS, AND OTHER AGENCIES/ SUB-CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR INFORMATION NOT COVERED ON THESE DRAWINGS.

ALL OTHER CONSTRUCTION, MATERIAL AND INSTALLATION OF SERVICES NOT COVERED SPECIFICALLY BY THE BC BUILDING CODE, BC ELECTRICAL CODE, OR BY OTHER BYLAWS OR SPECIFICATIONS SHALL BE IN GENERAL CONFORMANCE WITH THE MASTER MMCD SPECIFICATIONS/STANDARD DETAIL DRAWINGS, AND ADDENDUMS.

UNLESS OTHERWISE SPECIFIED HEREIN, ALL WORK WITHIN PRIVATE PROPERTY AND EASEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE AND INSPECTED BY THE MUNICIPAL WORKS INSPECTOR.

USE OF INFORMATION
THIS DOCUMENT MAY NOT BE USED, COPIED OR SHARED WITHOUT THE EXPRESS WRITTEN AUTHORITY OF KYLE ENGINEERING AND AT NO TIME MAY IT BE USED OR REFERENCED IN ANY FORM FOR ANY LEGAL INSTRUMENT.

COORDINATION REQUIREMENTS
COMMUNICATION AND REPORTING
CONTACT BC ONE-CALL PRIOR TO CONSTRUCTION FOR SERVICES LOCATE. 1-800-474-6886

THE CONTRACTOR IS TO COORDINATE AND COMMUNICATE WITH THE ENGINEER, ALL UTILITIES, AND AUTHORITIES HAVING JURISDICTION, WELL IN ADVANCE (2-WORKING DAYS MINIMUM) OF THE START OF ANY EXCAVATION AND COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.

THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL SUB-CONSULTANTS, CONTRACTORS AND TRADES REQUIRED FOR THE COMPLETION OF THE WORKS.

THE CONTRACTOR SHALL PROVIDE THE REQUIRED QUALITY CONTROL AND CONFORMANCE TESTING REPORTS TO THE ENGINEER AT THE COMPLETION OF EACH PHASE OF THE WORK. ENGINEER WILL THEN SEND RELATED DOCUMENTATION TO CITY WITH REGARDS TO ITS INFRASTRUCTURE.

PERMITS
A TREE BYLAW PERMIT IS TO BE OBTAINED PRIOR TO ANY SITE ACTIVITIES.
A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL ROAD ALLOWANCE MUST BE OBTAINED BEFORE WORKS COMMENCE.
A PERMIT TO CROSS OR WORK NEAR FORTIS GAS PIPELINE IS REQUIRED. CONTACT 1-877-599-0996

NOTIFICATION
WHEN GIVING ADVANCE NOTIFICATION, THE CONTRACTOR SHALL TAKE INTO CONSIDERATION THE SCHEDULING DEMAND AND PRIOR COMMITMENTS OF ALL PARTIES.

FAILURE TO COMPLY WITH THESE REQUIREMENTS MAY RESULT IN DELAYS, REJECTION OF THE WORK, OR EXPENSIVE TESTING TO PROVE COMPLIANCE.

IN THE EVENT THAT THE CONTRACTOR IS NOT PROVIDING HIS OWN CONSTRUCTION LAYOUT, THE ENGINEER IS TO BE NOTIFIED BY EMAIL OR OTHERWISE IN WRITING AT LEAST 5 DAYS BEFORE ANY CONSTRUCTION LAYOUT IS REQUIRED.

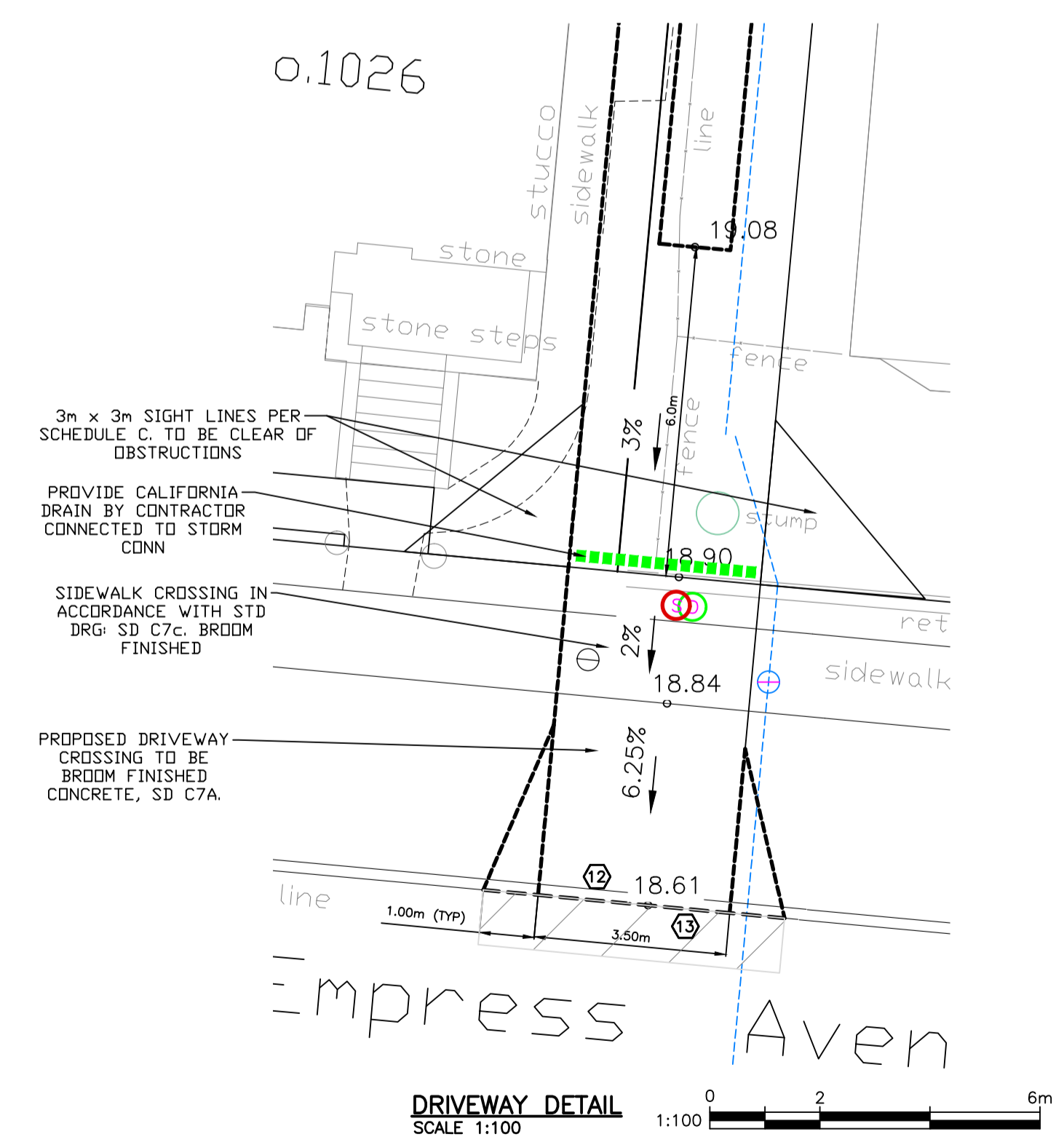
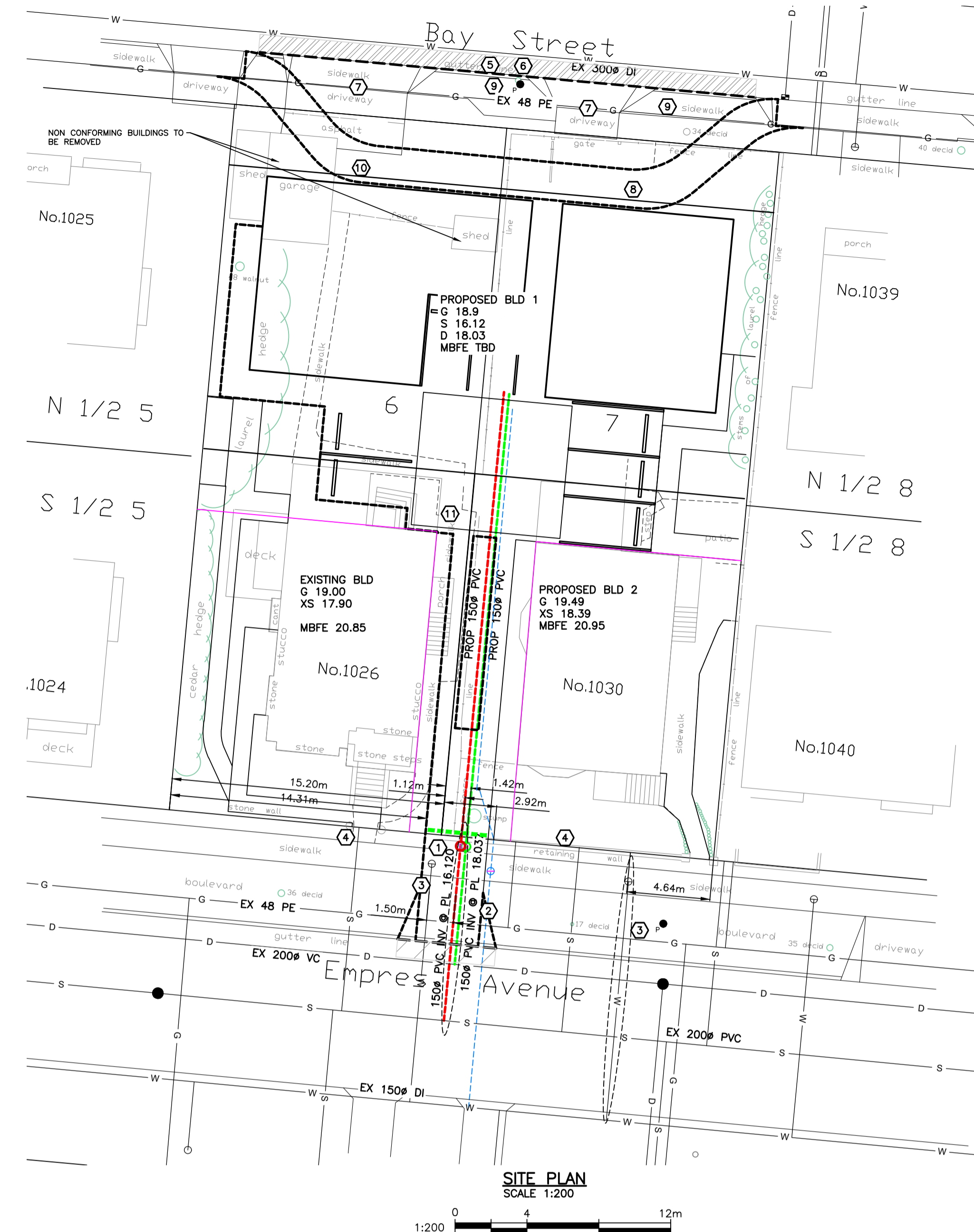
THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONDITIONS ARE NOT FAVORABLE TO THE ACHIEVEMENT OF THE DESIGN INTENT.

CHANGE REQUESTS
CONTRACTOR REQUESTED CONSTRUCTION CHANGES MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION. CITY TO BE ENGAGED FOR CHANGES RELATED TO CITY OWNED INFRASTRUCTURE.

TESTING REQUIREMENTS
CONFORMANCE TESTING IS TO BE PROVIDED BY THE CONTRACTORS TESTING ENGINEER FOR ALL ROAD CROSSINGS, ROAD BASE, CONCRETE, AND PAVING CONSTRUCTION MATERIALS AND AS OTHERWISE REQUIRED BY CITY OR THE ENGINEER.

ALL TESTING IS TO BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.

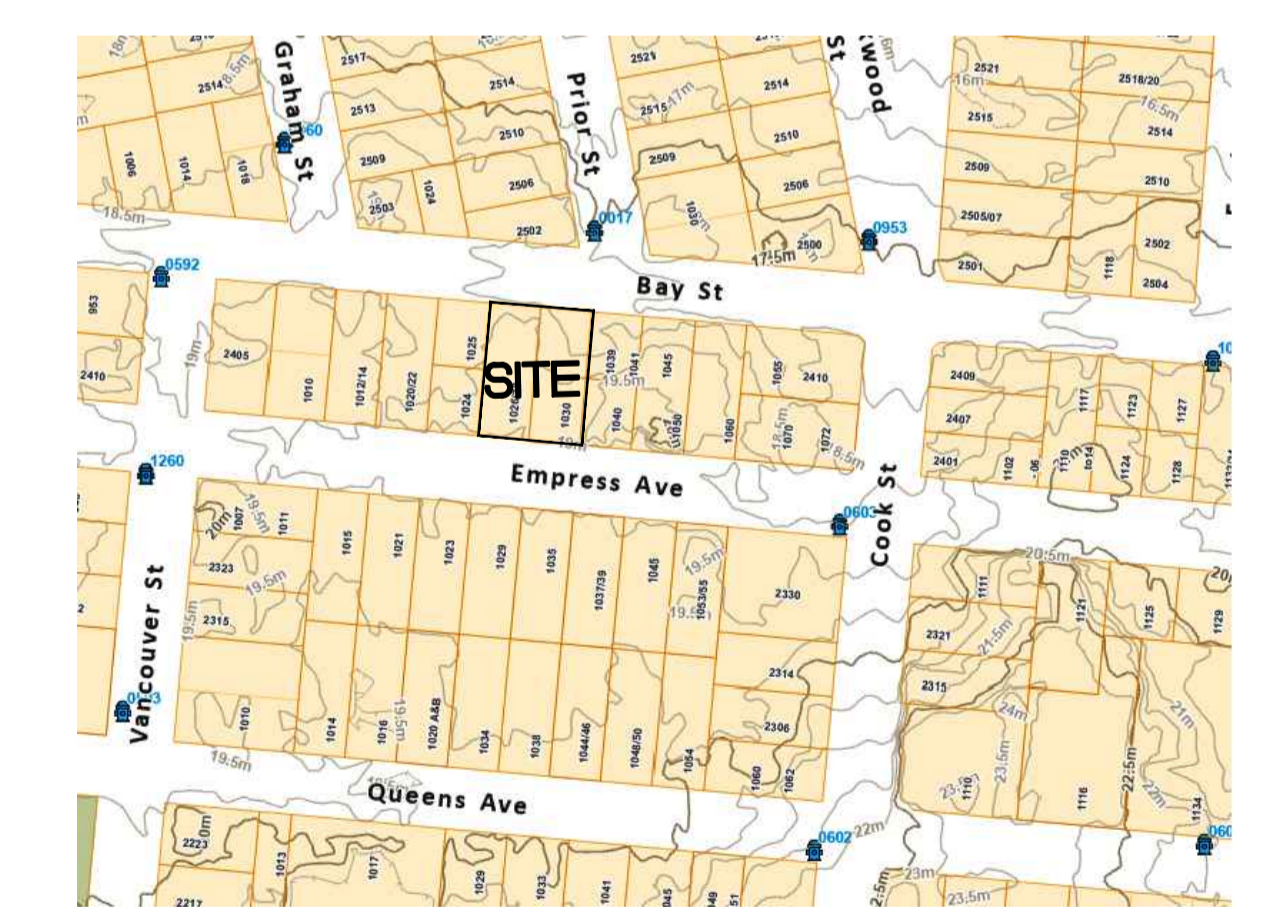
MISCELLANEOUS
ALL PUBLIC ROADS ARE TO BE MAINTAINED MUD AND DUST FREE DURING CONSTRUCTION.
ALL LANDSCAPING AND STRUCTURES TO BE REINSTATED TO ORIGINAL CONDITION OR BETTER.
PAVEMENT RESTORATION FOR RESIDENTIAL ROADS TO BE PER COV STD DWGS



DETAILED CONSTRUCTION NOTES:

1. NEW 150mm PVC SEWER CONNECTION AT 2% AND IC BY CITY AT APPLICANTS EXPENSE.
2. NEW 150mm PVC STORM CONNECTION AT 2% AND IC BY CITY AT APPLICANTS EXPENSE.
3. RETAIN EXISTING WATER SERVICE.
4. EXISTING SEWER CONNECTIONS TO BE RETAINED.
5. CURB AND GUTTER TO BE REPLACED WITH NMC AND DROPS. REMOVE AND REPLACE TO NEAREST JOINT.
6. SAW CUT AND REMOVE MIN 1.0m STRIP OF ASPHALT AND REPLACE WITH NEW 50MM ASPHALT SURFACE, LAP JOINT TO EXISTING.
7. EXISTING DRIVEWAY TO BE REMOVED BY CONTRACTOR
8. NEW 2.1m PROPOSED SIDEWALK IN ACCORDANCE WITH STD DRG: SD C7c. BRDDM FINISHED
9. EXISTING SIDEWALK TO BE REMOVED BY CONTRACTOR.
10. PROPOSED 3.38m WIDE ROAD DEDICATION TO BE ACQUIRED.
11. PROPOSED ACCESS, STORM, SEWER AND WATER EASEMENT AS SHOWN.
12. CURB AND GUTTER TO BE REPLACED WITH NMC AND DROPS. REMOVE AND REPLACE TO NEAREST JOINT.
13. SAW CUT AND REMOVE 1.0m STRIP OF ASPHALT AND REPLACE WITH NEW 50MM ASPHALT SURFACE, LAP JOINT TO EXISTING.
14. NEW 50mm WATER SERVICE AND METER BY CITY AT APPLICANTS EXPENSE.

PERMIT TO PRACTICE NUM: 1000348



FOR PROPOSED SERVICES OF
HOEL ENGINEERING LTD DBA
KYLE ENGINEERING
SUITE 1, 40 CADILLAC
AVE. VICTORIA, BC, V8Z 1T2
250 475 6906

LOTS 6 & 7, BLOCK B, SECTION 3, VICTORIA DISTRICT, PLAN 957
PID 000-213-527 & 000-848-492
1026 & 1030 EMPRESS AVE

THE CITY OF VICTORIA, February 29, 2024 / U:\CS1400 Customer Files\2023\Civil\2023\CV Internal Drawings\00 Current\03 EN-CN\040 Internal Drawings\00 Current\CV23-17 240227 Civil Services Plan.dwg

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES		LEGEND		REVISIONS		REVISIONS APPROVED			DESIGN APPROVED			CITY OF VICTORIA		FILE No.								
Existing Municipal Infrastructure	Proposed Municipal Infrastructure	Drain	Curb	Concrete Box	Valve	6	REVISION # 1			REVISION # 2			REVISION # 3			Approved By	Date	Signed	1026 & 1030 EMPRESS AVE	DESIGN No.		
Existing External U/G Utilities	Proposed External U/G Utilities	Ditch	Sidewalk	Wood Box	Flush Valve	5	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed						Manager of Development	Date
Street Lighting	Pole Mount	Standard Mount	Water	Cleanout	Culvert	3	Design Engineer			Design Engineer			Design Engineer			Manager of Development						
Post Top	Pedestrian Signal	Traffic Signal	Traffic Signal	Ctrl Monument	Traverse Hub	1	Development Coordinator			Development Coordinator			Development Coordinator			Development Coordinator						