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 977 Fort Street V8V 3K3 T 1-250-658-3367  
**Nanaimo**  
 102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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1075 Alston Street

1055 Alston Street

Alston Street View



736 Tyee Road

740 Tyee Road

790 Tyee Road

Tyce Street View

Rev	10	25-05-02	DDP Revisions
	3	23-06-15	DP / Rezoning Rev. 1
	2	23-03-30	DP / Rezoning
	1	23-03-25	CALUC

Rev	10	25-05-02	Description	DDP Revisions
Plt Date	06/15/23		Project Status	DP / Rezoning
Drawn By	SWS		Checked By	CRK
Scale	1 : 3		Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston St, Victoria, BC  
V9A 3S6

Street View

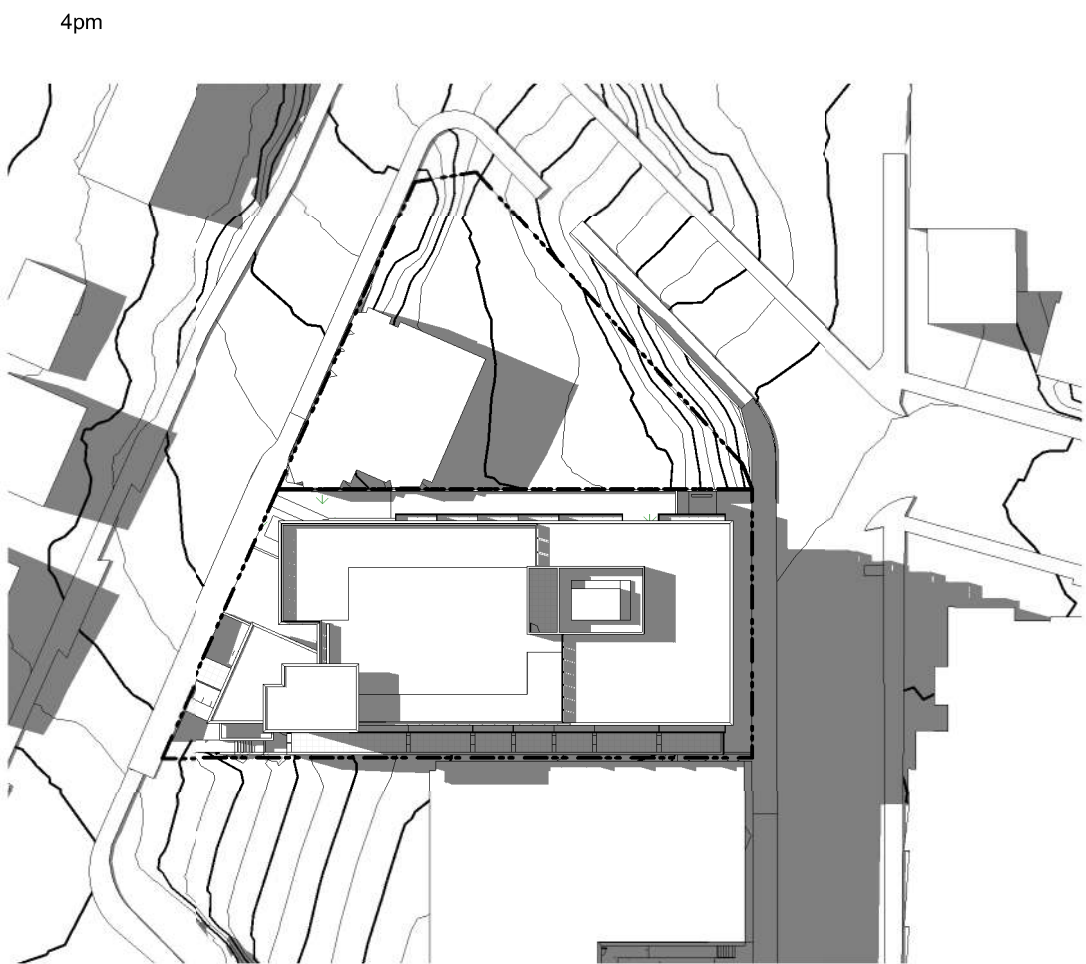
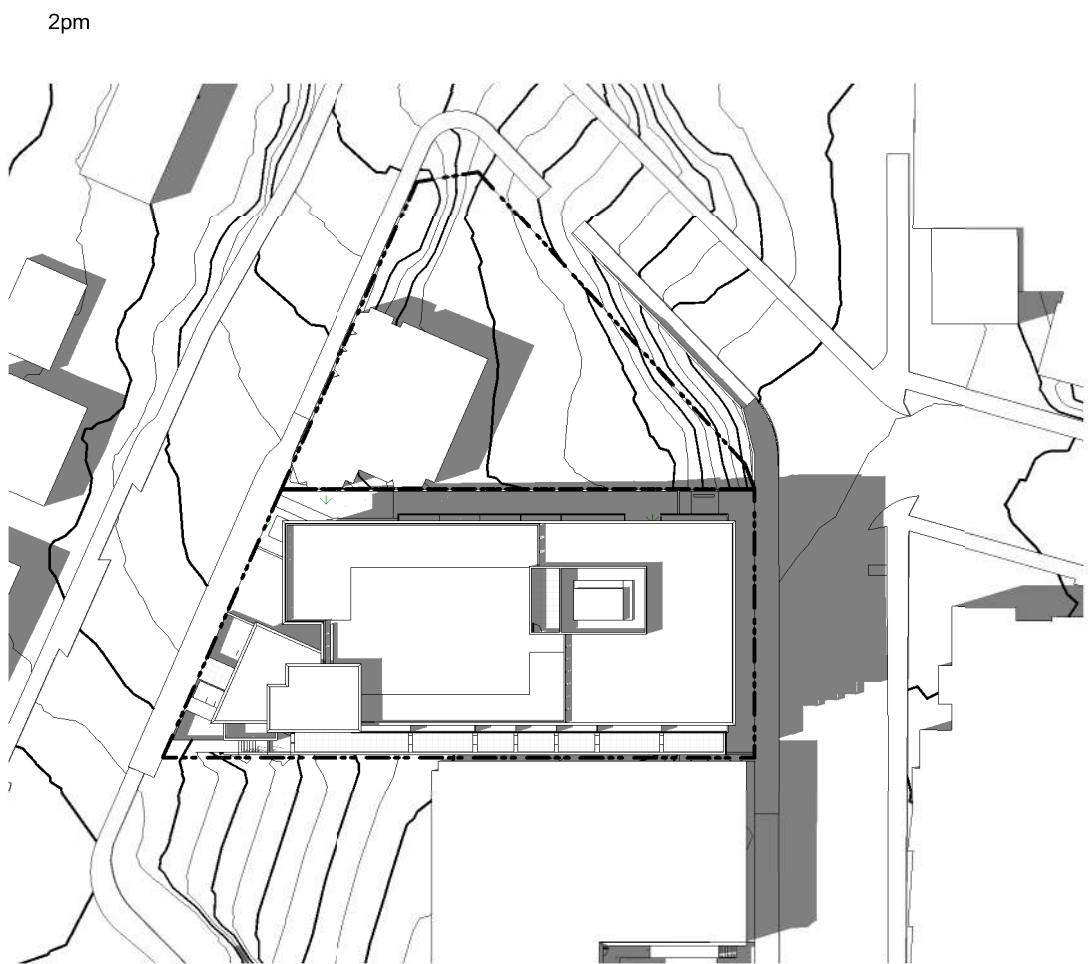
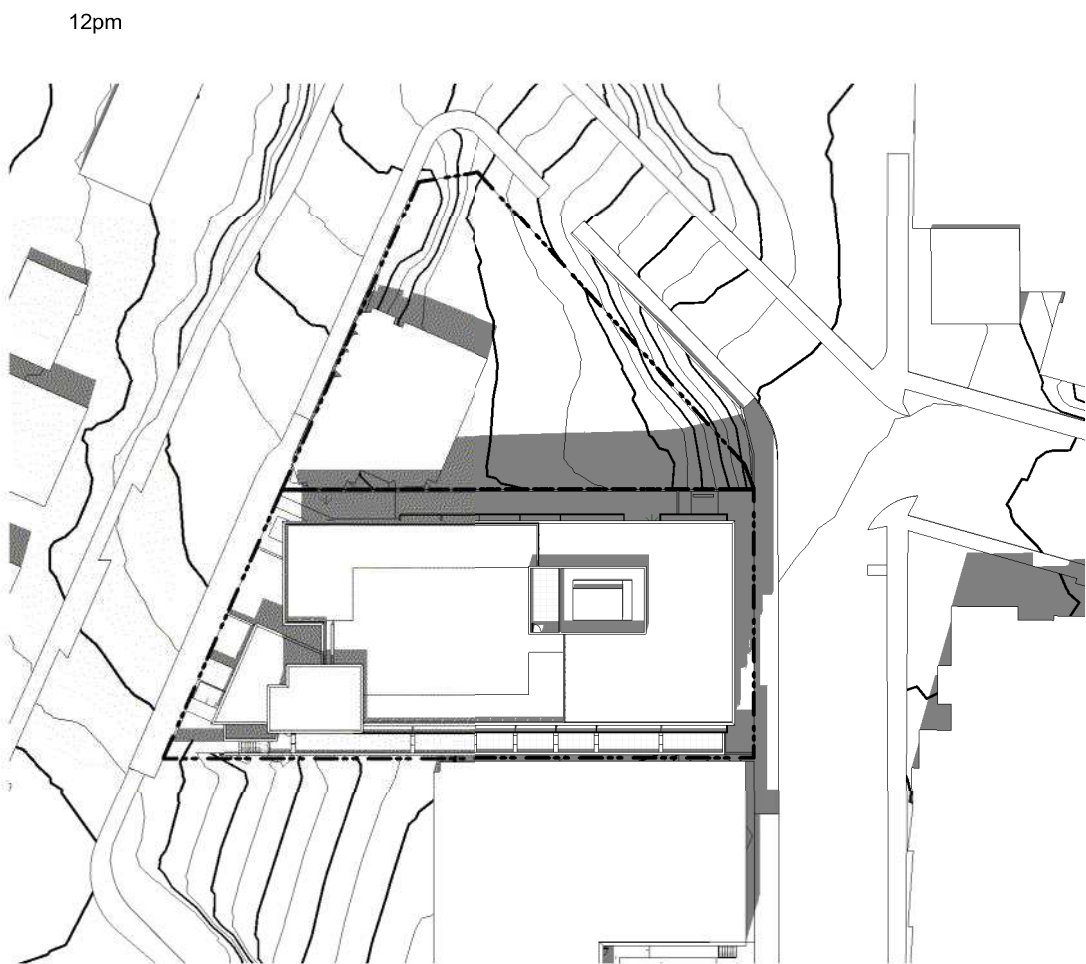
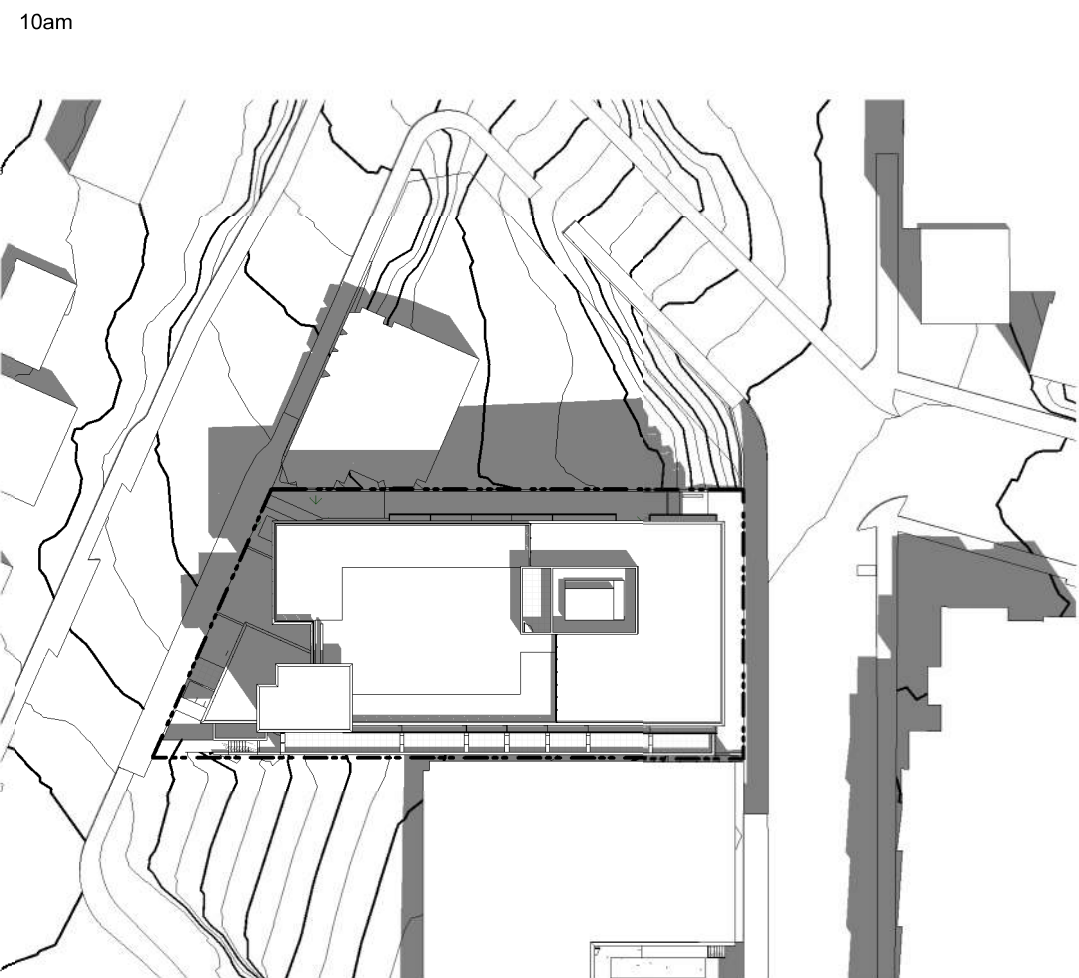


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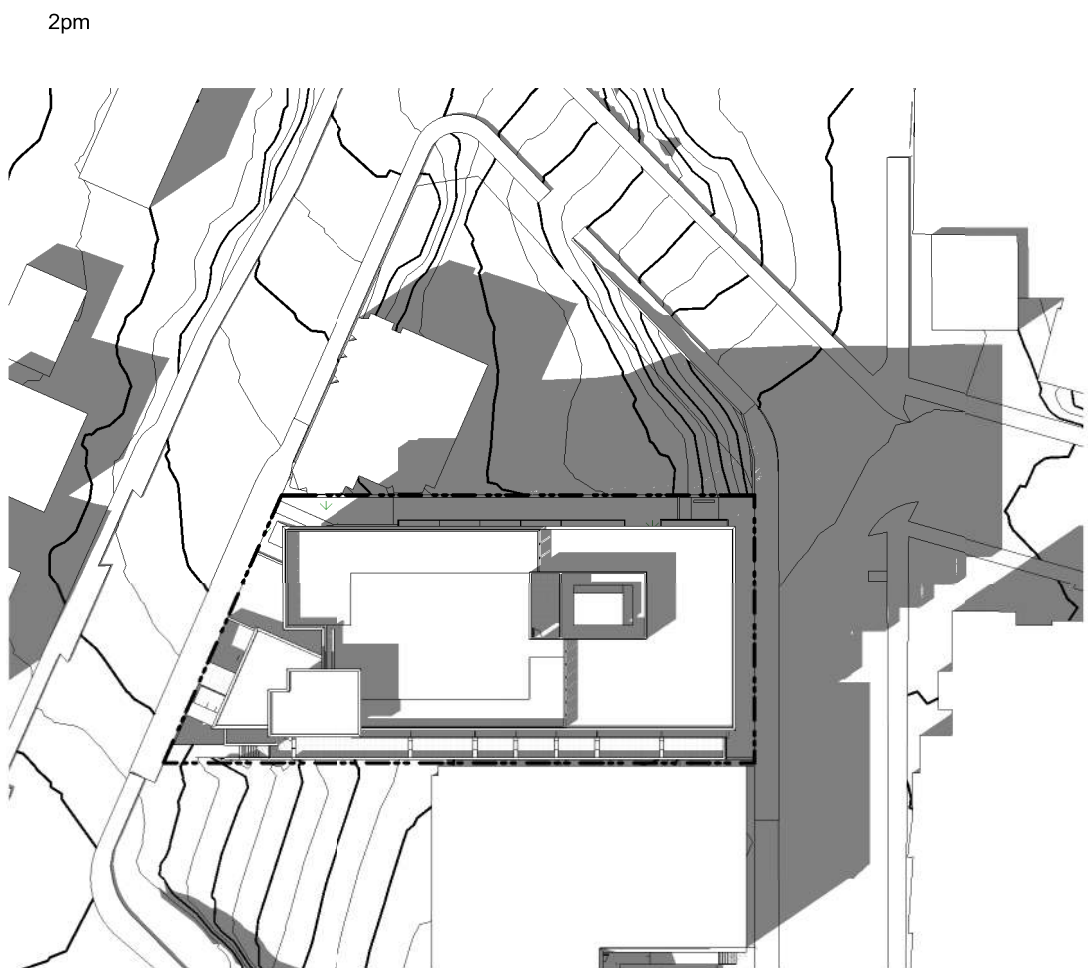
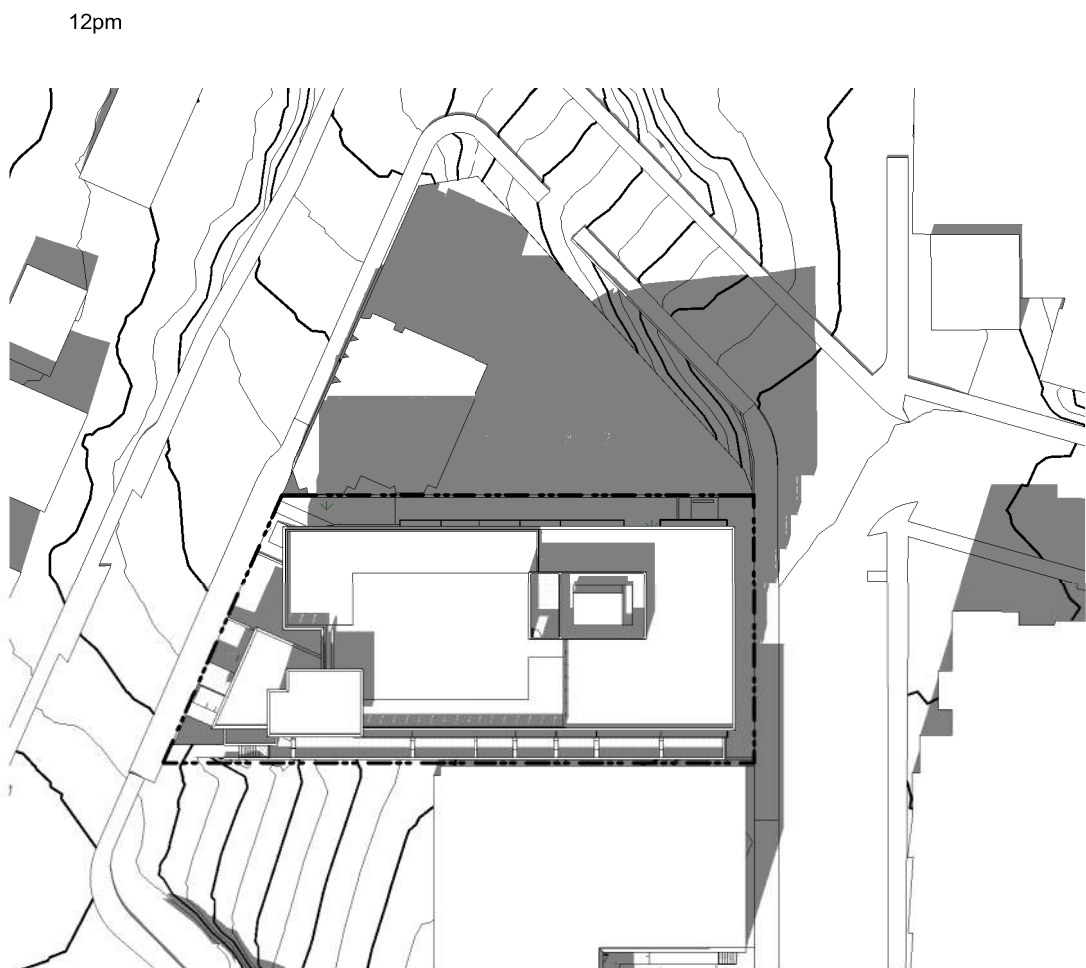
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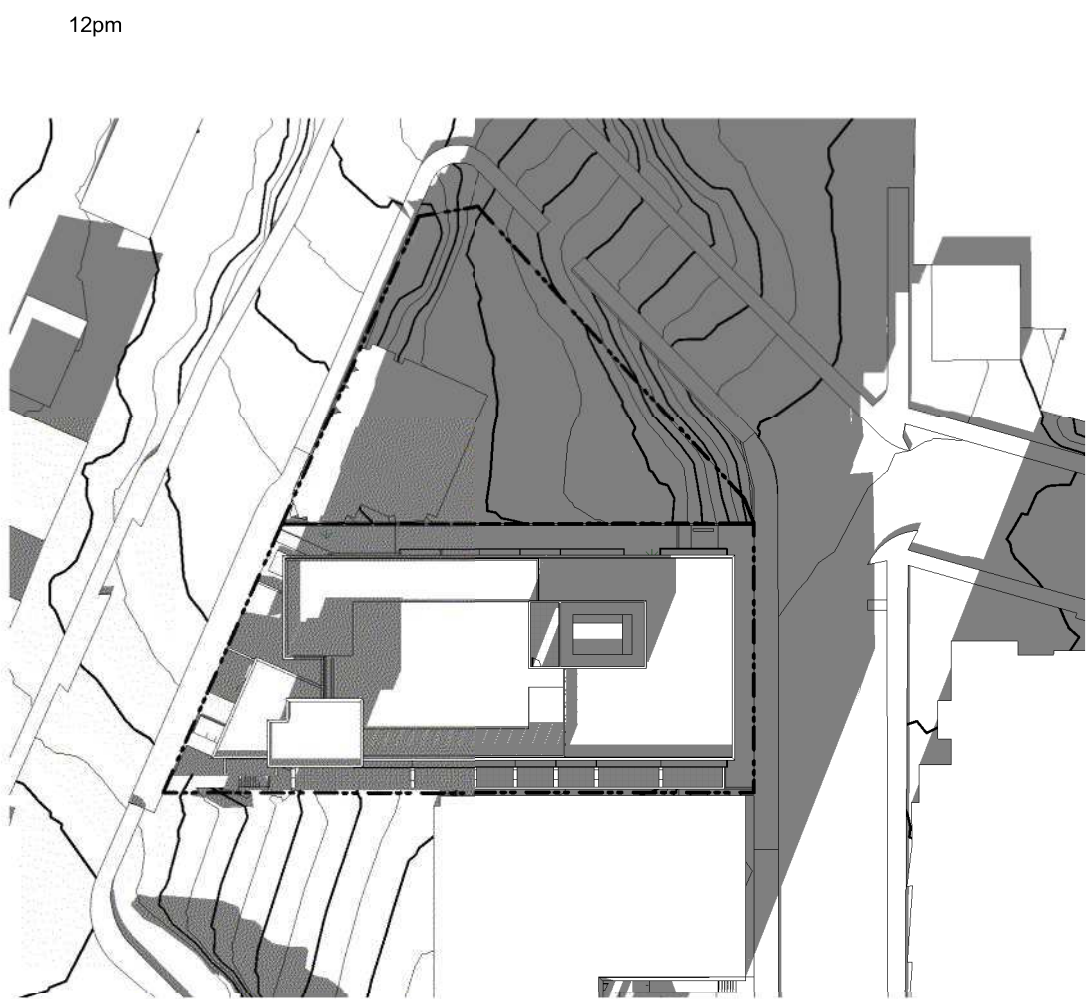
Summer Solstice



Equinox



Winter Solstice



Rev	10	25-05-02	Description	DOP Revisions
	2	23-03-30		DP / Rezoning
Pkt Date	06/15/23	Project Status	DP / Rezoning	
Drawn By	Author	Checked By	Checker	
Scale	1 : 750	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

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Shadow Studies

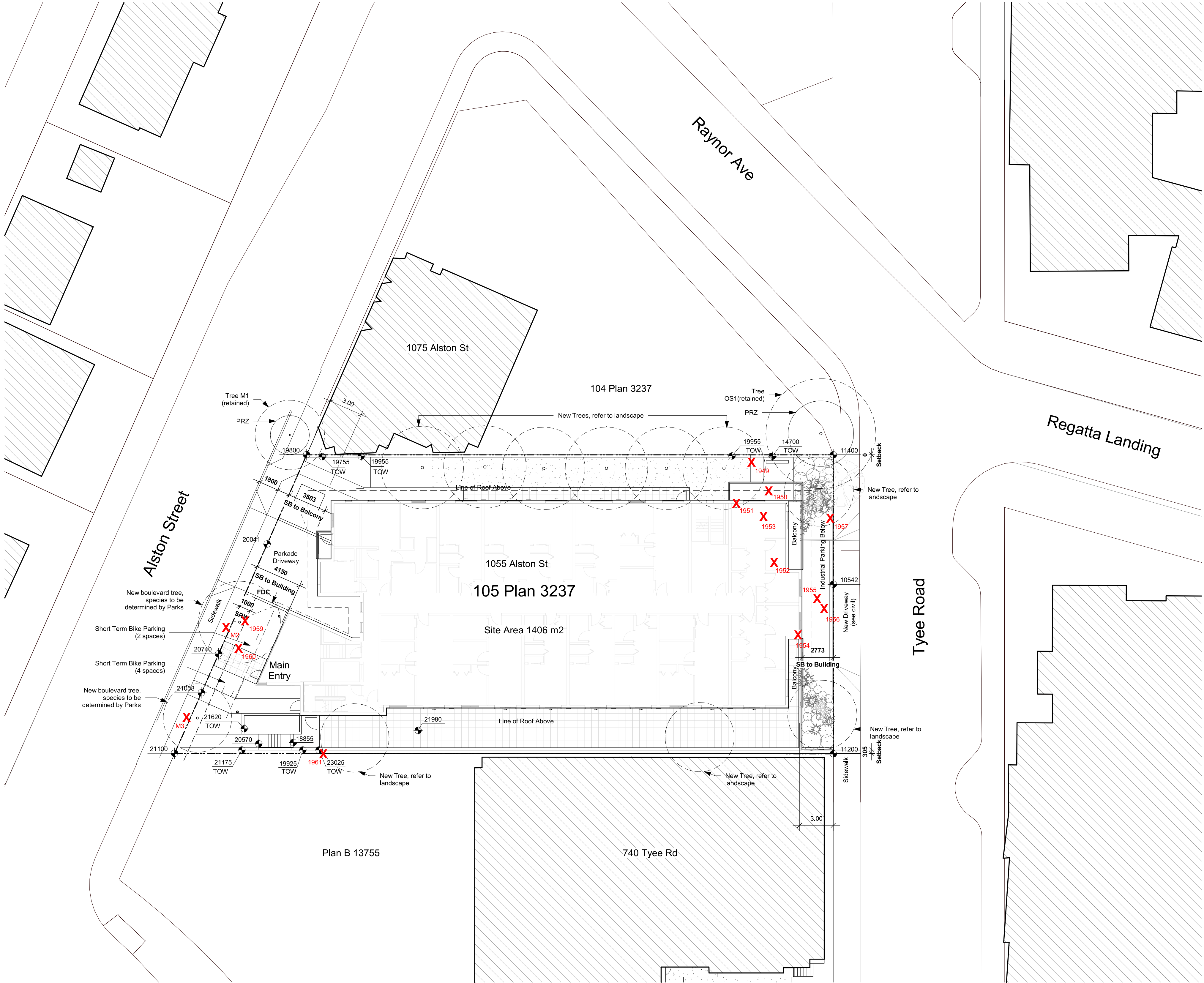


A007

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1 Site Plan - Overall  
A101 SCALE: 1 : 200

General Notes:

1. Refer to Civil drawings for all roadways, driveways, curbs, and grading.
2. Refer to Landscape drawings for all hard and soft landscaping on site.

9	24-07-22	DP / Rezoning Rev. 7
8	24-06-27	DP / Rezoning Rev. 6
7	24-04-11	DP / Rezoning Rev. 5
6	24-02-14	DP / Rezoning Rev. 4
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
2	23-03-30	DP / Rezoning
1	23-03-25	CALLUC

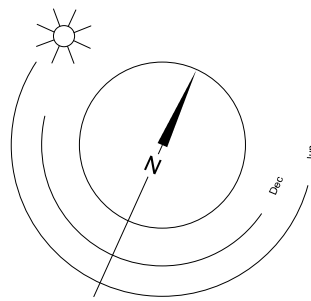
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Plot Date	06/15/23	Project Status	DP / Rezoning	
Drawn By	SWS	Checked By	CRK	
Scale	1 : 200	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

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Site Plan Overall

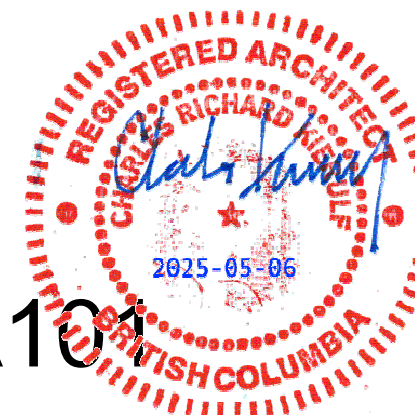


0 7500 15000 mm  
1 : 300



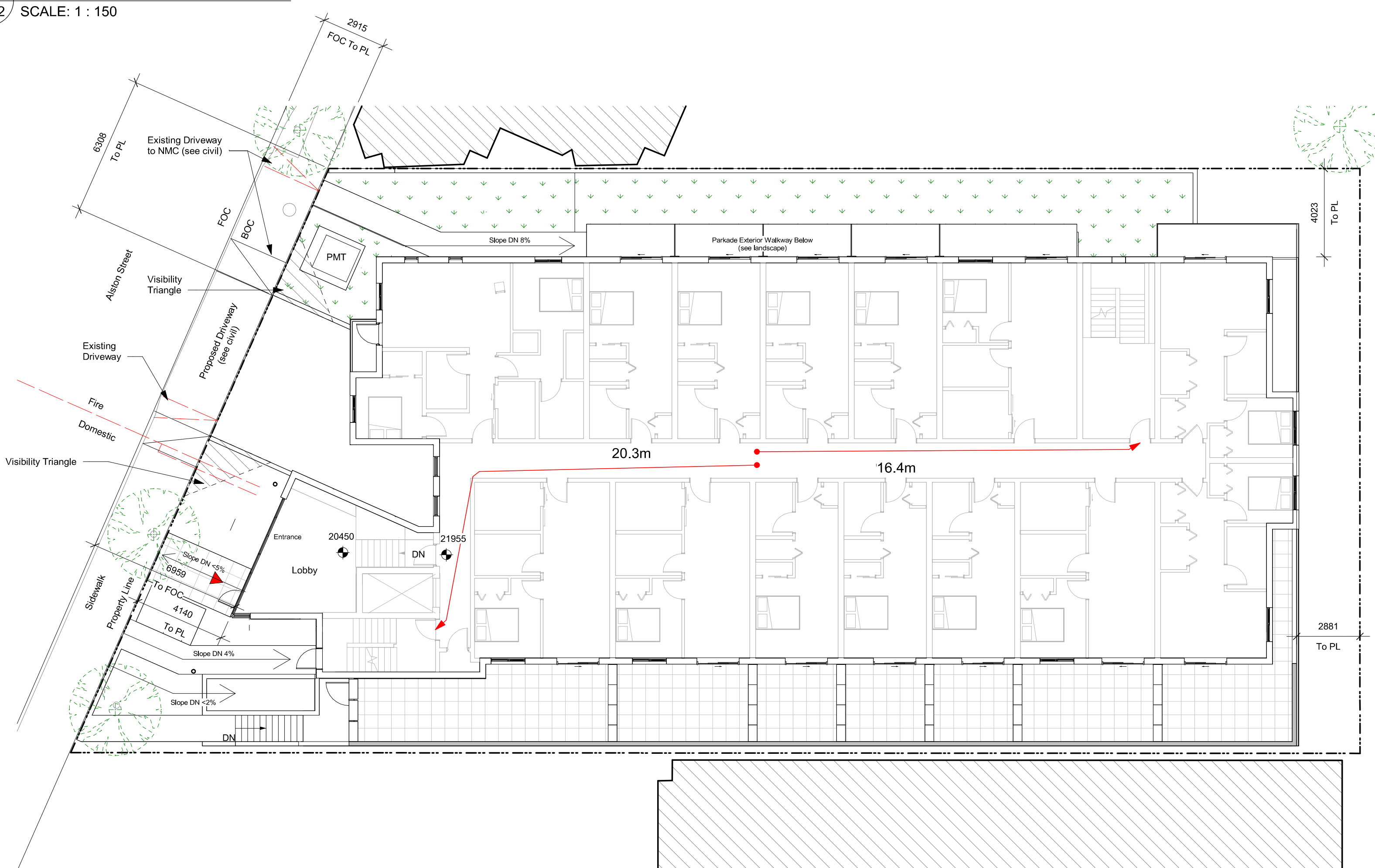
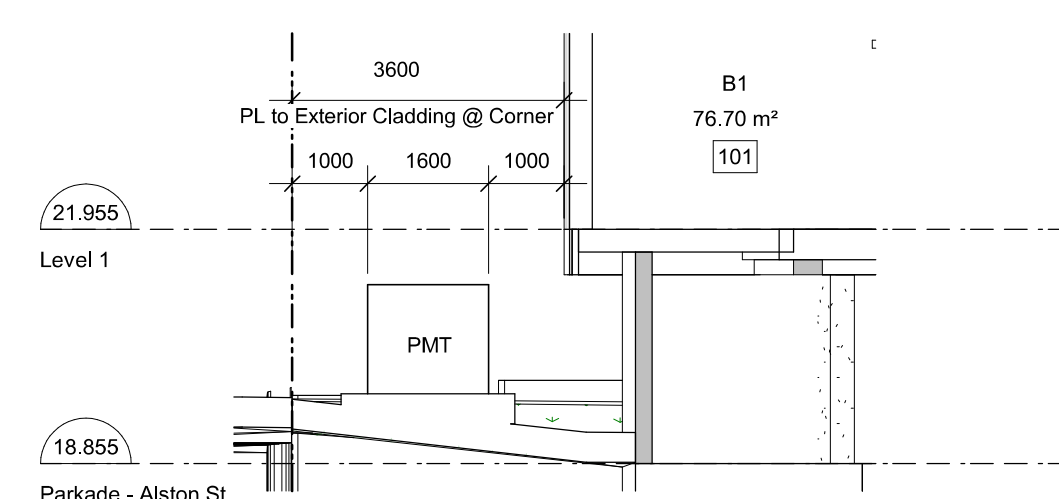
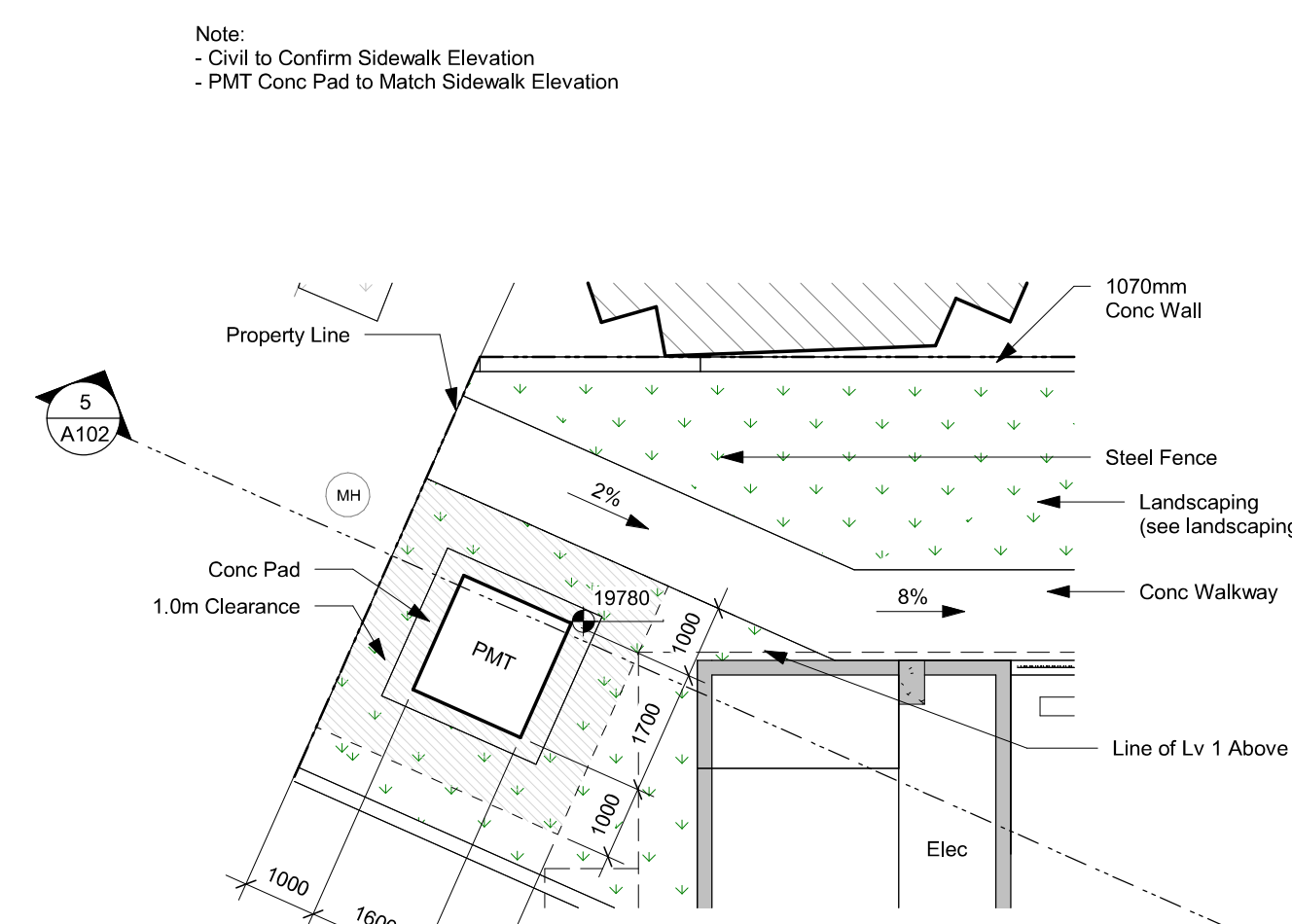
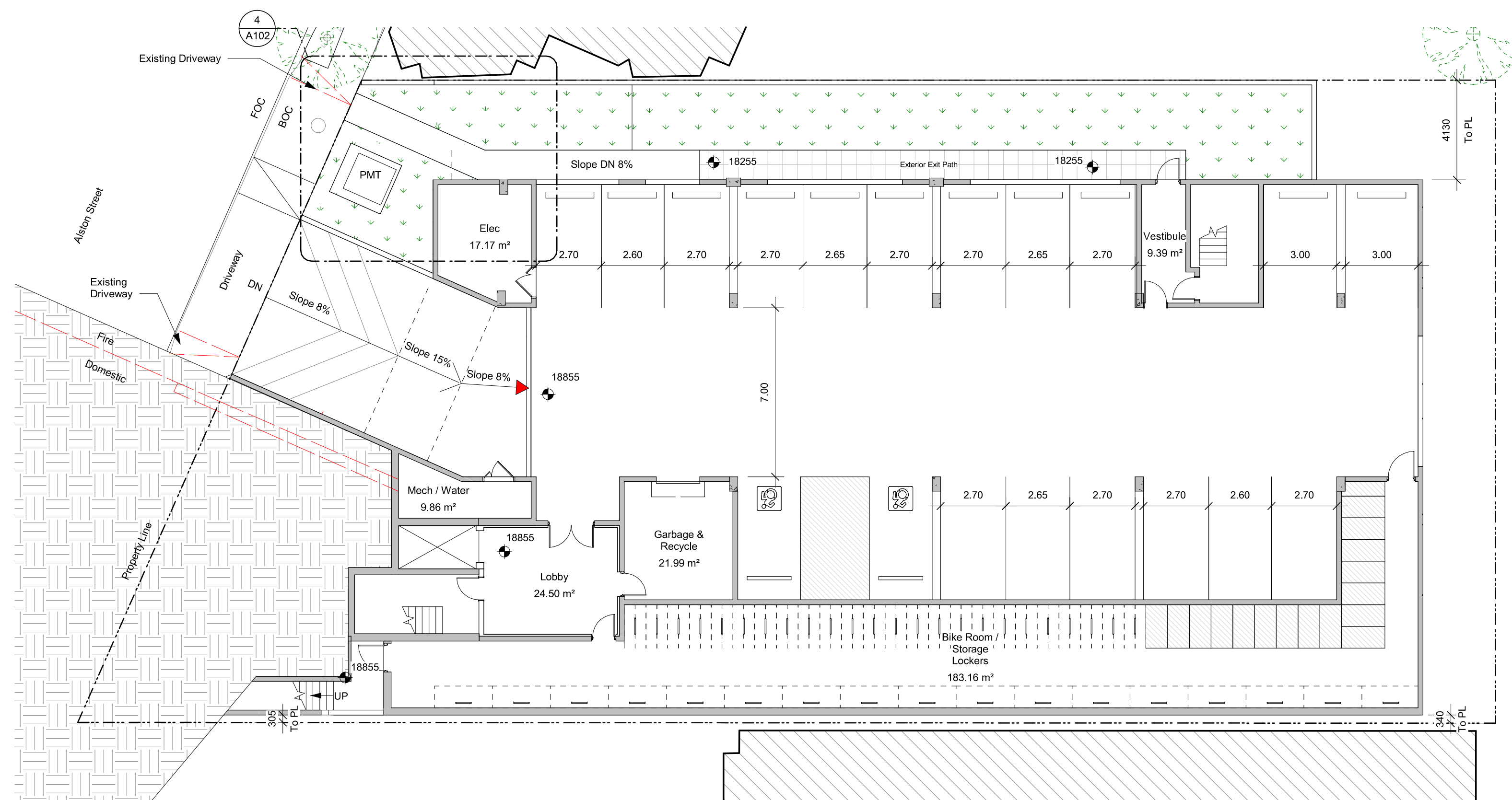
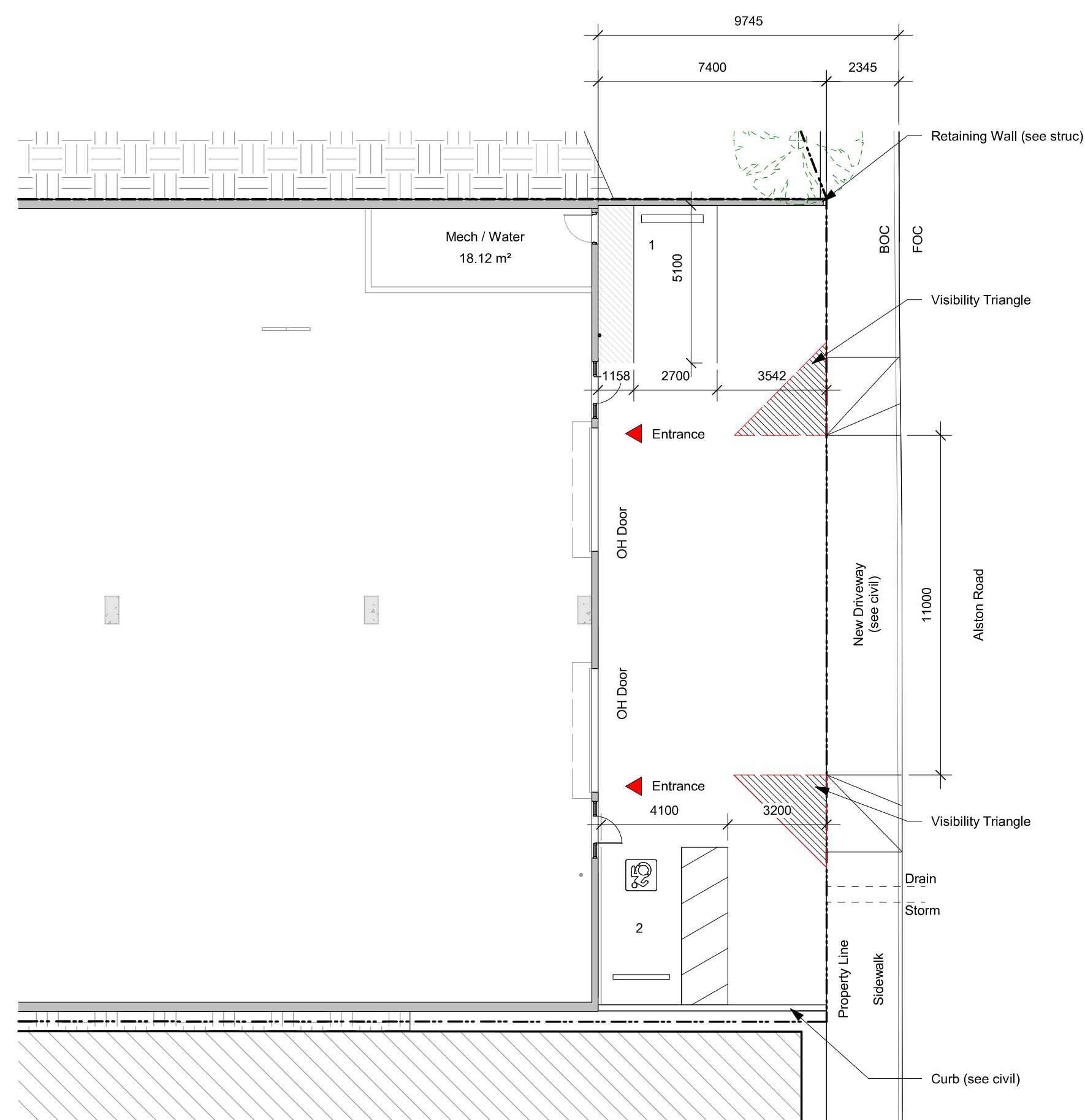
A101

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**General Notes:**

1. Refer to Civil drawings for all roadways, driveways, curbs, and grading.
2. Refer to Landscape drawings for all hard and soft landscaping on site.

10	25-05-02	DDP Revision
5	23-10-26	DP / Rezoning Rev.
4	23-07-25	DP / Rezoning Rev.
3	23-06-15	DP / Rezoning Rev.
2	23-03-30	DP / Rezoning

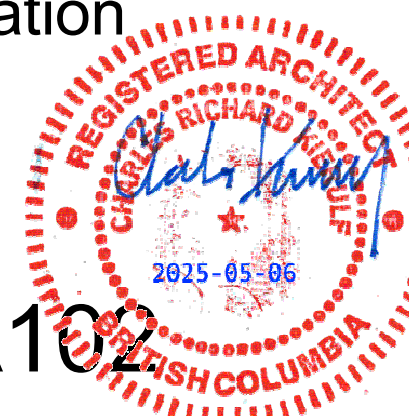
Rev	10	25-05-02	Description	DDP Revision
Plot Date		06/15/23	Project Status	DP / Rezon
Drawn By		SWS	Checked By	C
Scale		As indicated	Project Number	2

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston St, Victoria, BC  
V9A 3S6

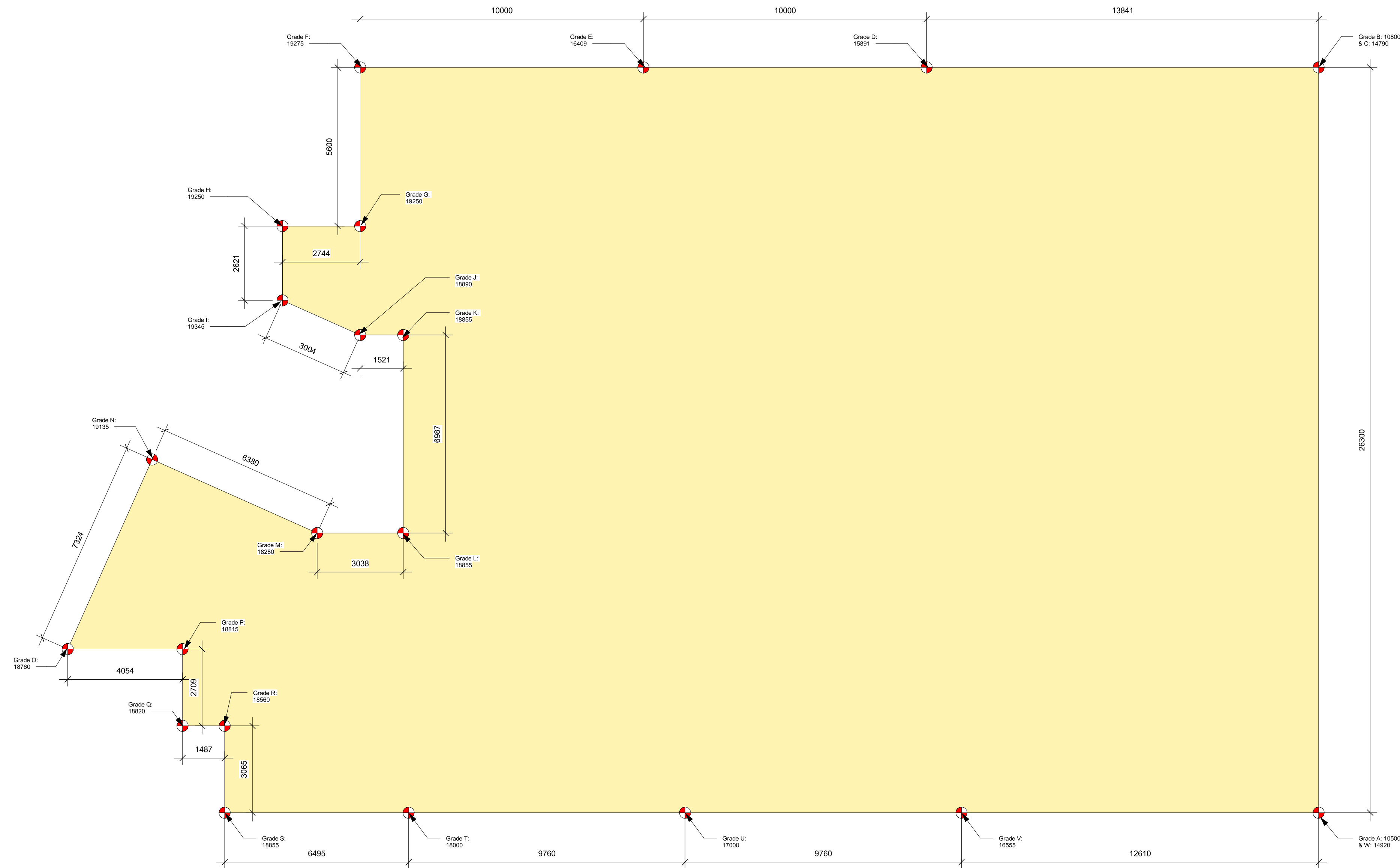
## Site Plan - Circulation



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Grade Point	Grade
Grade A	10500
Grade B	10900
Grade C	14790
Grade D	15891
Grade E	16409
Grade F	19275
Grade G	19250
Grade H	19250
Grade I	19345
Grade J	18890
Grade K	18855
Grade L	18855
Grade M	18280
Grade N	19135
Grade O	18760
Grade P	18815
Grade Q	18820
Grade R	18560
Grade S	18855
Grade T	18000
Grade U	17000
Grade V	16555
Grade W	14620

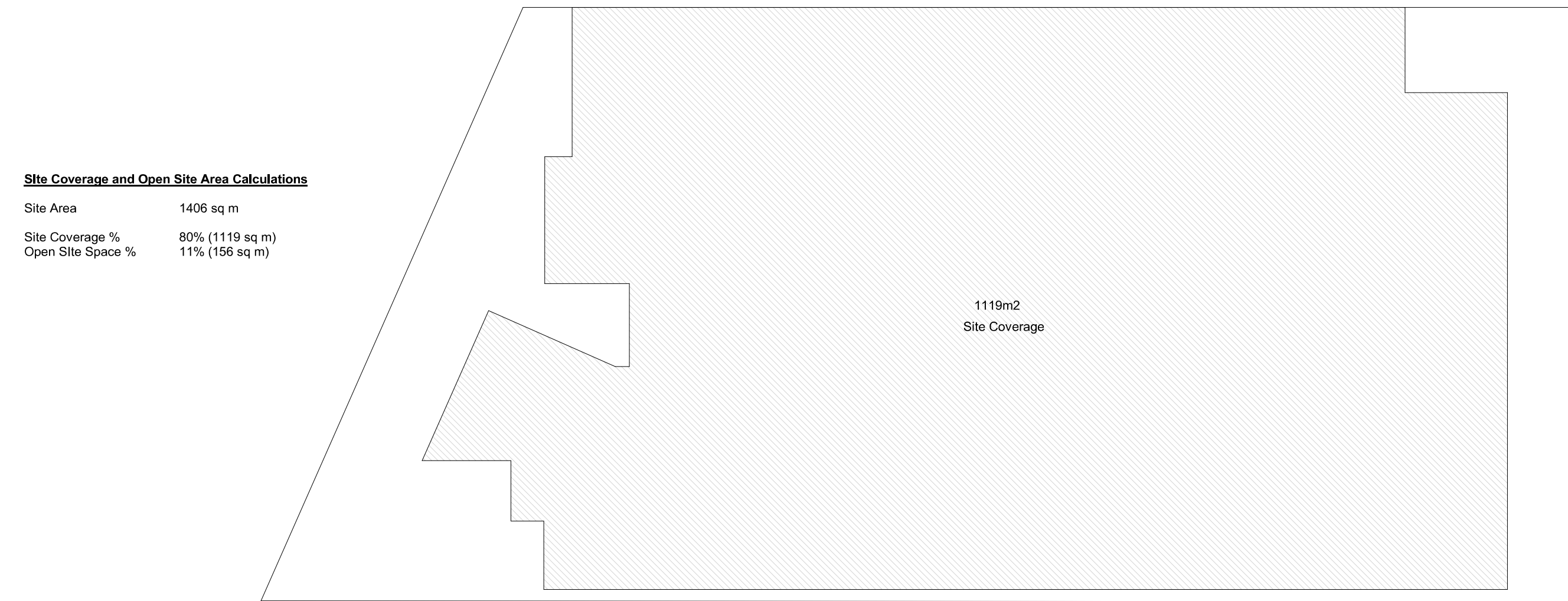
Calculation	Grade Point	Grade Point	+	/	Distance	Total
Points A to B	A	B				
	10500	10900	21300	10650	26.3	280095
Points C to D	C	D				
	14790	15891	30681	15340.5	13.84	212312.52
Points D to E	D	E				
	15891	16409	32300	16150	10	161500
Points E to F	E	F				
	16409	19275	35684	17842	10	178420
Points F to G	F	G				
	19275	19250	38525	19262.5	5.6	107870
Points G to H	G	H				
	19250	19250	38500	19250	2.74	52745
Points H to I	H	I				
	19250	19345	38595	19297.5	2.82	50559.45
Points I to J	I	J				
	19345	18890	38235	19117.5	3	87352.5
Points J to K	J	K				
	18890	18855	37745	18872.5	1.52	28686.2
Points K to L	K	L				
	18855	18855	37710	18855	6.98	131607.5
Points L to M	L	M				
	18855	18280	37135	18567.5	3.03	56259.525
Points M to N	M	N				
	18280	19135	37415	18707.5	8.38	110383.85
Points N to O	N	O				
	19135	18760	37895	18947.5	7.32	138695.7
Points O to P	O	P				
	18760	18815	37575	18787.5	4.05	76889.375
Points P to Q	P	Q				
	18815	18820	37635	18817.5	2.7	50807.25
Points Q to R	Q	R				
	18820	18560	37380	18690	1.48	27661.2
Points R to S	R	S				
	18560	18855	37415	18707.5	3.08	57244.95
Points S to T	S	T				
	18855	18000	36855	18427.5	6.49	119594.475
Points T to U	T	U				
	18000	17000	35000	17500	9.76	170800
Points U to V	U	V				
	17000	16555	33555	16777.5	9.76	163746.4
Points V to W	V	W				
	16555	14620	31475	15737.5	12.61	186449.875
Points V to W						
			149.24	2439653.17		

Grade Calculation 16349

Average Grade: 16.35m

## 1 Grading

SCALE: 1 : 100

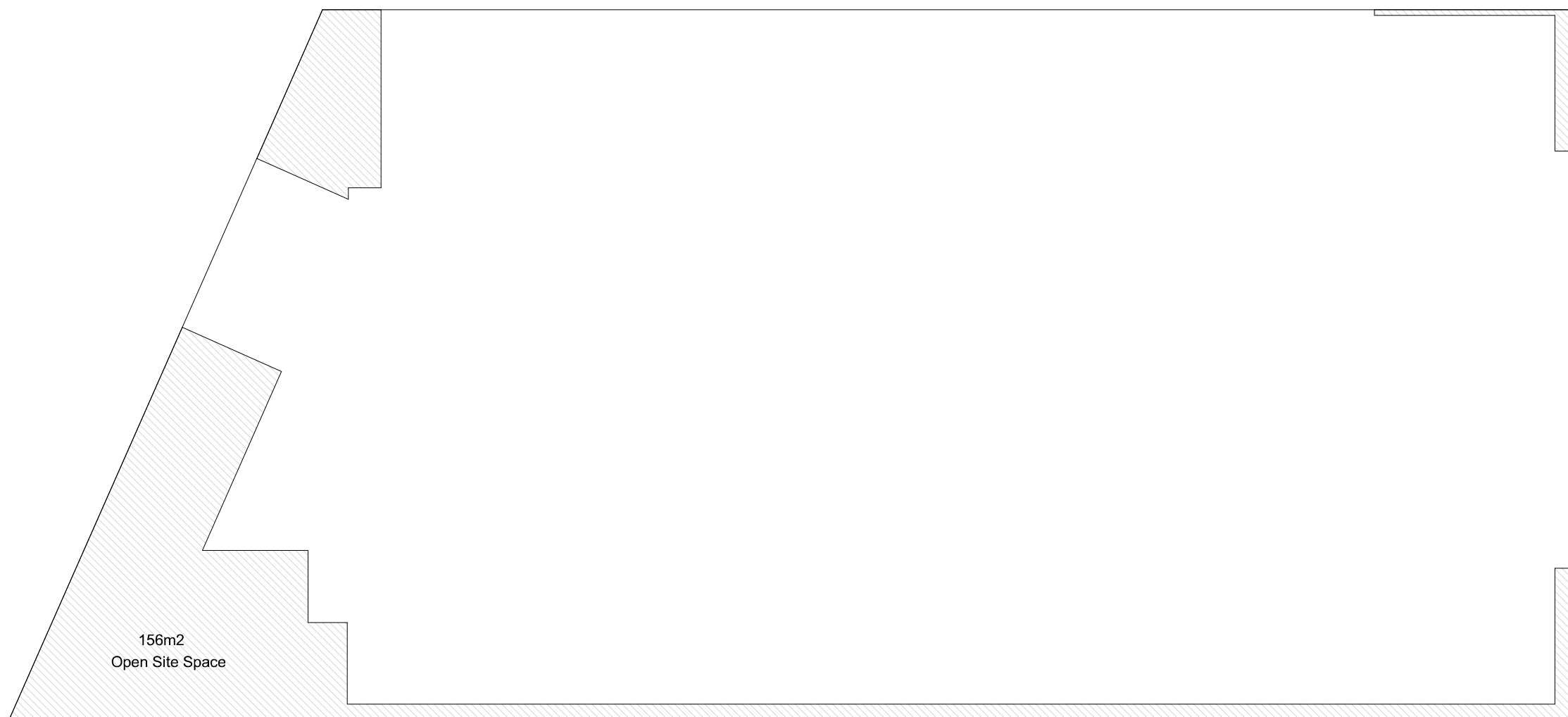


### Site Coverage and Open Site Area Calculations

Site Area 1406 sq m  
Site Coverage % 80% (1119 sq m)  
Open Site Space % 11% (156 sq m)

## 2 Site Coverage

SCALE: 1 : 200



### General Notes:

1. Refer to Civil drawings for all roadways, driveways, curbs, and grading.
2. Refer to Landscape drawings for all hard and soft landscaping on site.

5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
2	23-03-30	DP / Rezoning

Rev	5	23-10-26	Description	DP / Rezoning Rev. 3
Pkt Date	06/15/23	Project Status	DP / Rezoning	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

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V9A 3S6

Site Plan - Grading



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977 Fort Street

Nanaimo

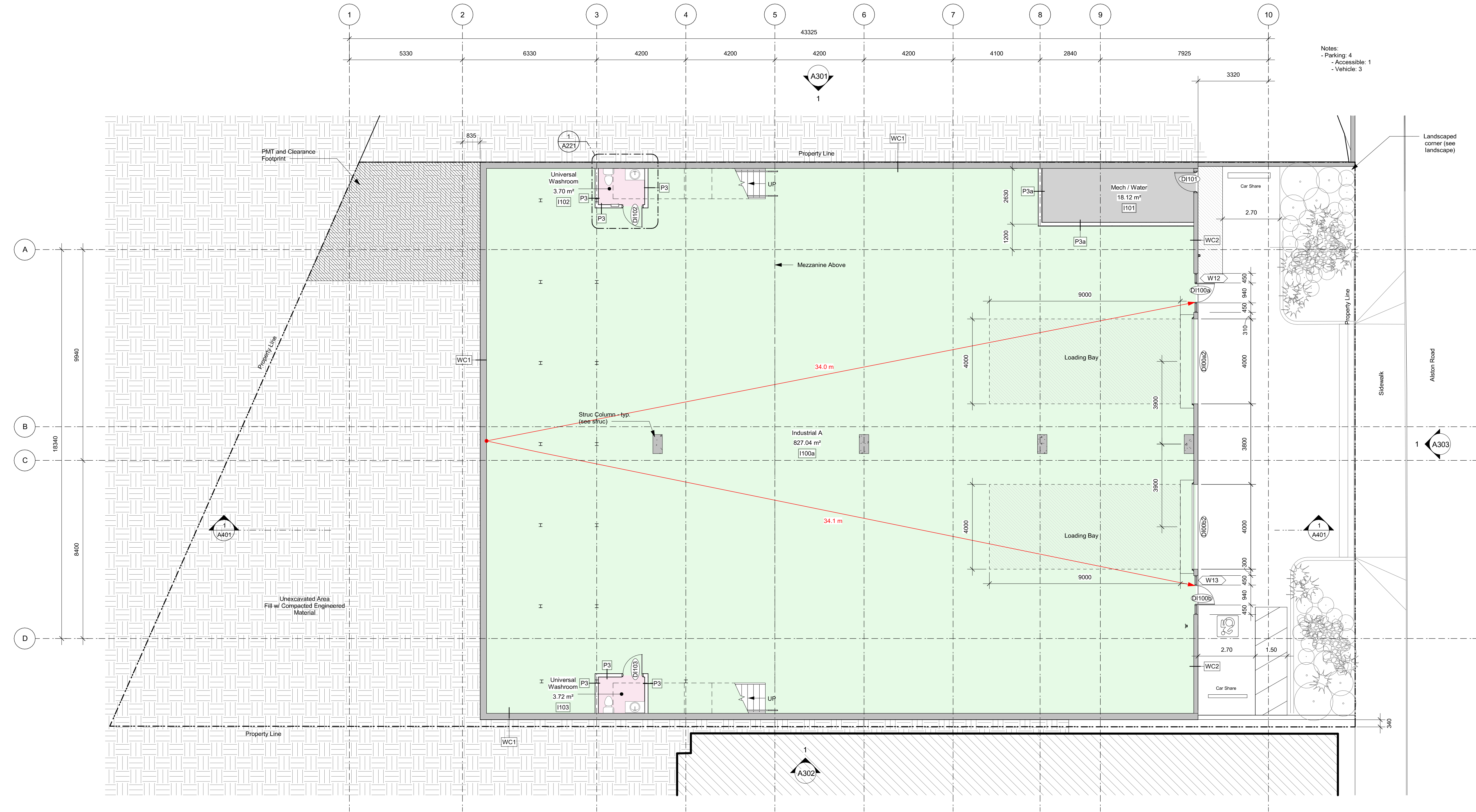
102-5190 Dublin Way

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V8V 3K3 T 1-250-658-3367

V9T 0H2 T 1-250-585-5810





1 Industrial - Tyee Rd  
A201 SCALE: 1 : 100

	10	25-05-02		DDP Revisions
	5	24-07-22	DP / Rezoning Rev. 7	
	8	24-06-27	DP / Rezoning Rev. 6	
	5	23-10-26	DP / Rezoning Rev. 3	
	4	23-07-25	DP / Rezoning Rev. 2	
	2	23-03-30	DP / Rezoning	
	1	23-03-25	CALUC	
Rev	10	25-05-02	Description	DDP Revisions
Pkt Date		06/15/23	Project Status	DP / Rezoning
Drawn By		SWS	Checked By	CRK
Scale		1 : 100	Project Number	2304
NOTE: All dimensions are shown in millimeters				

Alston

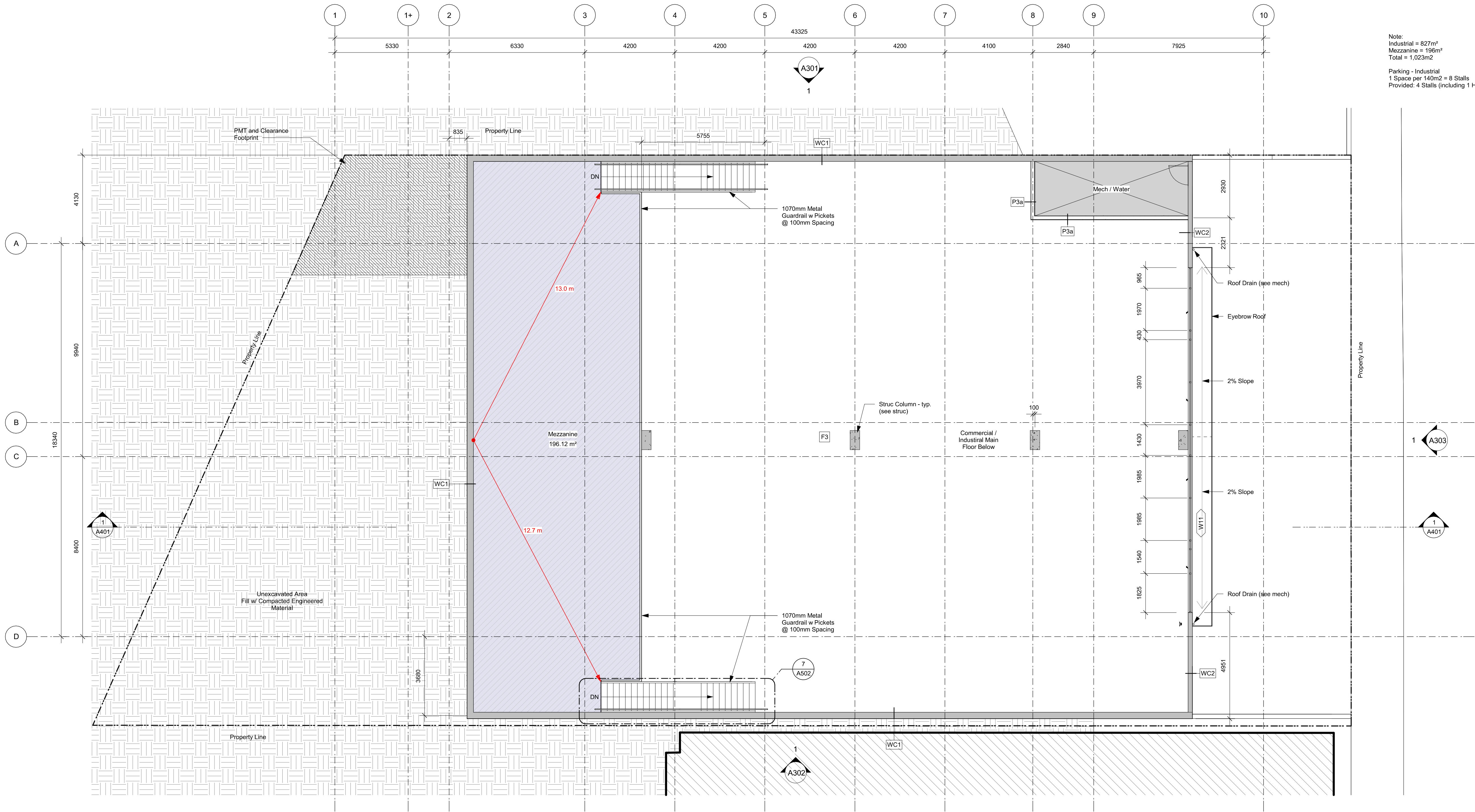
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V9A 3S6

Lower Commercial /  
Industrial - Tyee Rd

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2025-05-06 12:09:44 PM





Note:  
Industrial = 827m²  
Mezzanine = 196m²  
Total = 1,023m²  
  
Parking - Industrial  
1 Space per 140m² = 6 Stalls  
Provided: 4 Stalls (including 1 HC)

1 Industrial - Mezzanine  
A202 SCALE: 1 : 100

Rev	5	23-10-26	Description	DP / Rezoning Rev. 3
	2	23-03-30		DP / Rezoning
	1	23-03-25		CALUC
Rev	5	23-10-26	Description	DP / Rezoning Rev. 3
Pkt Date		25/04/16	Project Status	DP / Rezoning
Drawn By		SWS	Checked By	CRK
Scale		1 : 100	Project Number	2304

NOTE: All dimensions are shown in millimeters.

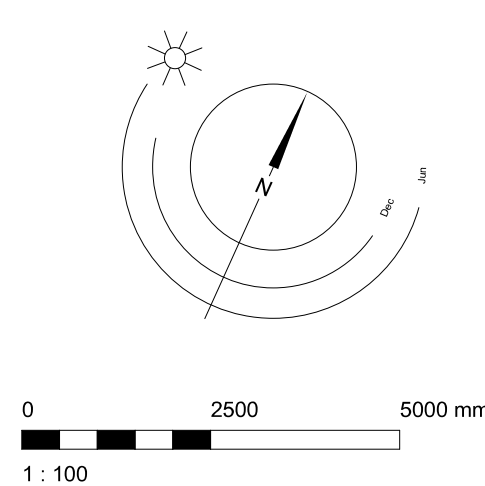
Alston

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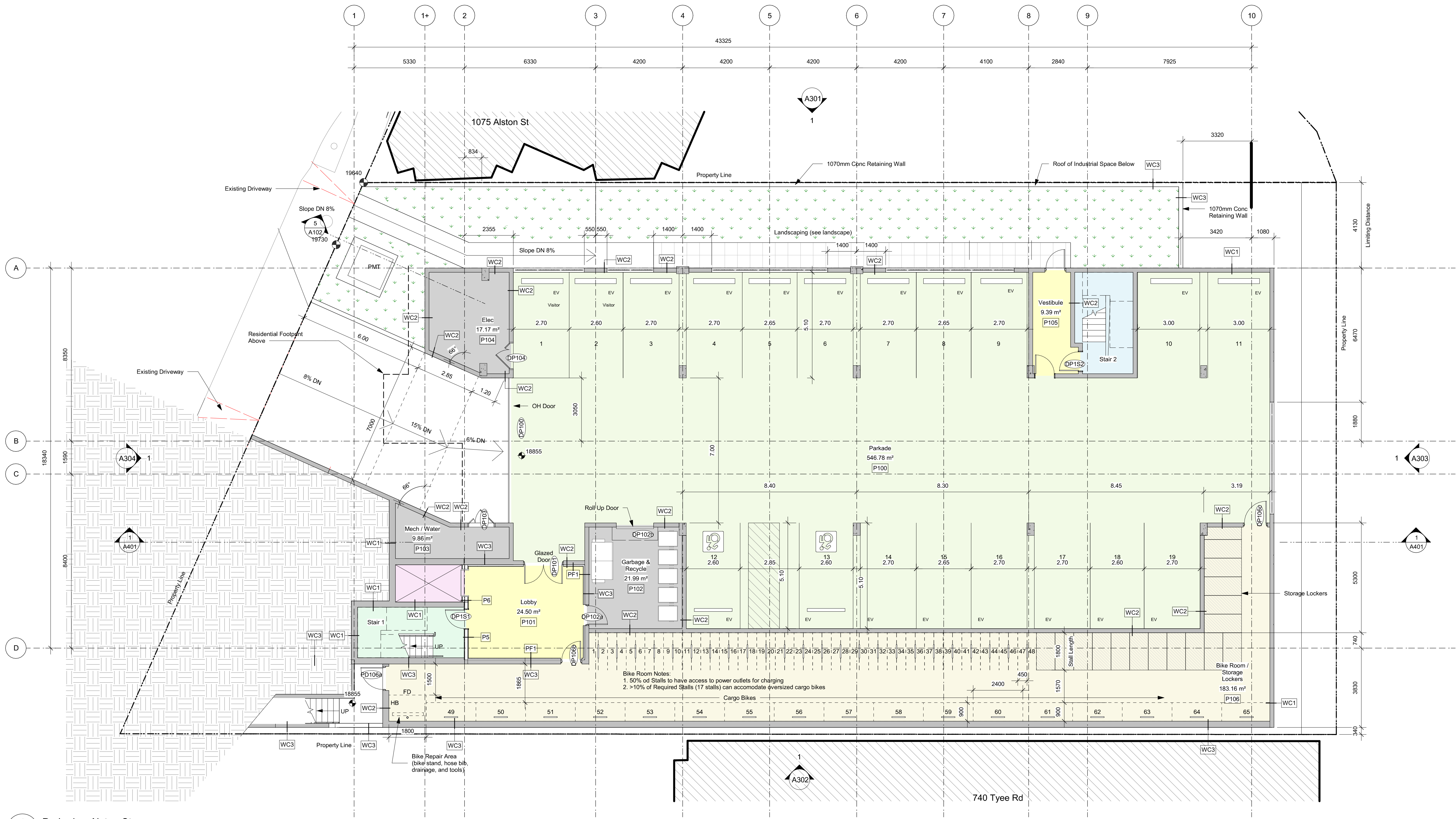
Mezzanine



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1 Parkade - Alston St  
A203 SCALE: 1 : 100

**PARKING NOTES**

Bike Parking P1: Total 65 Class 1 ground mounted (48 std size, 17 oversized)  
Car Parking P1: Total 19 (2 Accessible, Each Stall to have EV Charging)

10	25-05-02	DDP Revisions
9	24-07-22	DP / Rezoning Rev. 7
7	24-04-11	DP / Rezoning Rev. 5
6	24-02-14	DP / Rezoning Rev. 4
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	10	25-05-02	Description	DDP Revisions
Plot Date	06/15/23		Project Status	DP / Rezoning
Drawn By	SWS		Checked By	CRK
Scale	1 : 100		Project Number	2304

NOTE: All dimensions are shown in millimeters.

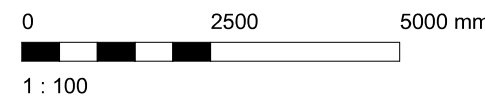
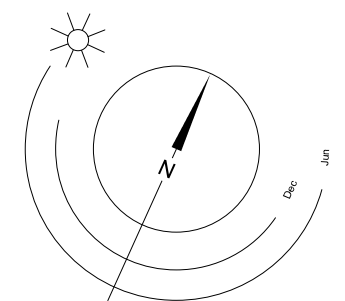
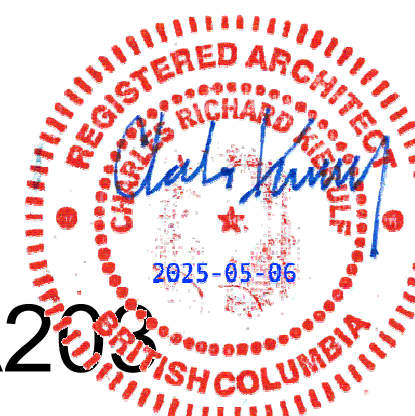
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Parkade - Alston  
Street



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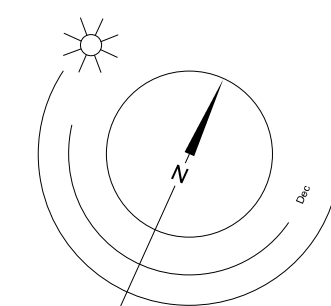




1 Level 1 - Overall  
A204 SCALE: 1 : 100

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	5	23-10-26	DP / Rezoning Rev. 3	
	4	23-07-25	DP / Rezoning Rev. 2	
	3	23-06-15	DP / Rezoning Rev. 1	
	2	23-03-30	DP / Rezoning	
	1	23-03-25	CALUC	
Rev	10	25-05-02	Description	DDP Revisions
Pkt Date		06/15/23	Project Status	DP / Rezoning
Drawn By		SWS	Checked By	CRK
Scale		1 : 100	Project Number	2304
NOTE: All dimensions are shown in millimeters.				

Alston  
1055 Alston St, Victoria, BC  
V9A 3S6  
Level 1



0 2500 5000 mm  
1 : 100

dHka  
A204  
REGISTERED ARCHITECT  
2025-05-06  
1077 Fort Street  
Nanaimo  
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V8V 3K3  
T 1-250-658-3367  
V9T 0H2  
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1 Level 2 - Overall  
A205 SCALE: 1 : 100

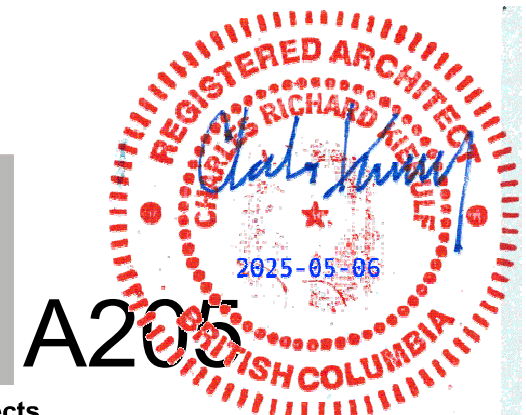
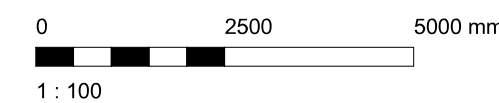
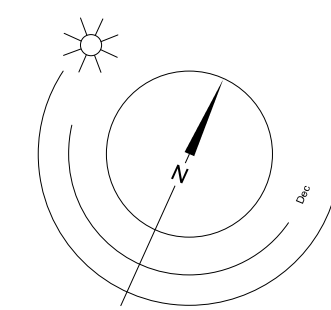
Rev	10	25-05-02	Description	DDP Revisions
	2	23-03-30	Project Status	DP / Rezoning
	1	23-03-25	Project Number	2304

NOTE: All dimensions are shown in millimeters.

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Level 2



**A205**

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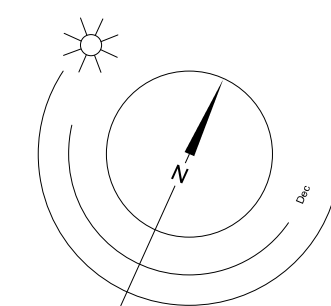
1 Level 3 - Overall  
A206 SCALE: 1 : 100

Rev	10	25-05-02	Description	DDP Revisions
	2	23-03-30	Project Status	DP / Rezoning
	1	23-03-25	Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston St, Victoria, BC  
V9A 3S6  
Level 3



0 2500 5000 mm  
1 : 100

dHka

A206



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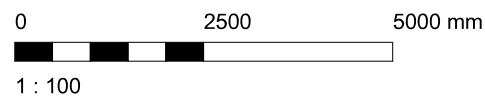
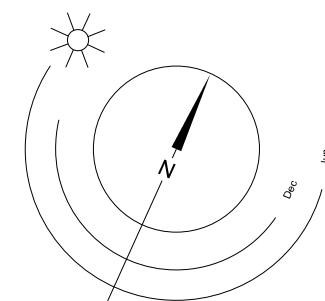


1 Level 4 - Overall  
A207 SCALE: 1 : 100

Rev	10	25-05-02		DDP Revisions
	2	23-03-30		DP / Rezoning
	1	23-03-25		CALUC
Pkt Date	10	25-05-02	Description	DDP Revisions
	2	06/15/23	Project Status	DP / Rezoning
	1			
Drawn By	SWS	Checked By	CRK	
Scale	1 : 100	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston  
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Level 4



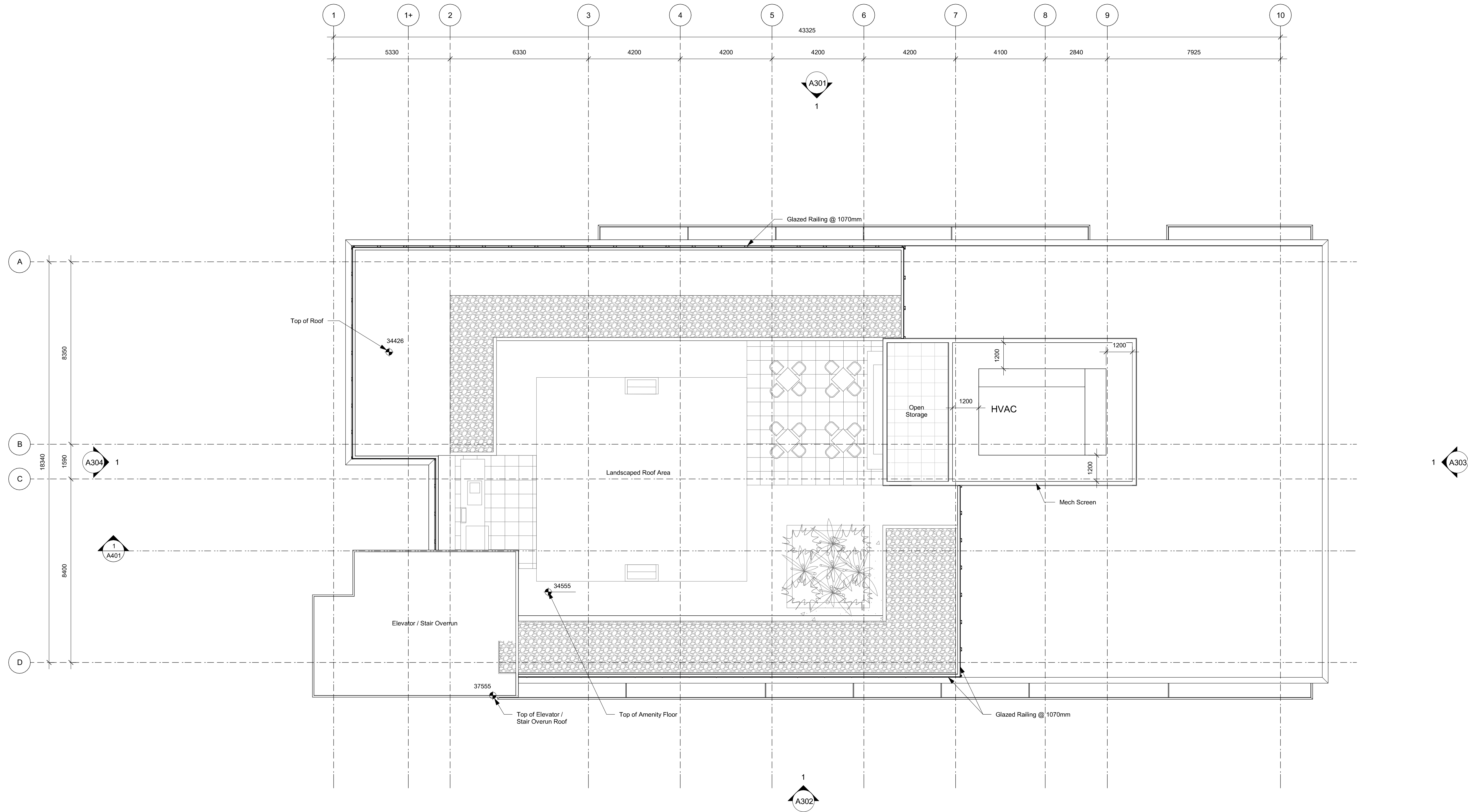
**A207**

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1 Roof  
A208 SCALE: 1 : 100

Rev	10	25-05-02	Description	DDP Revisions
	4	23-07-25	Project Status	DP / Rezoning Rev. 2
	3	23-06-15	Project Status	DP / Rezoning Rev. 1
	2	23-03-30	Project Status	DP / Rezoning
	1	23-03-25	Project Status	CALUC

Rev	10	25-05-02	Description	DDP Revisions
Plt Date	06/15/23	Project Status	DP / Rezoning	
Drawn By	SWS	Checked By	CRK	
Scale	1 : 100	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston St, Victoria, BC  
V9A 3S6

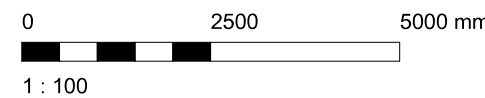
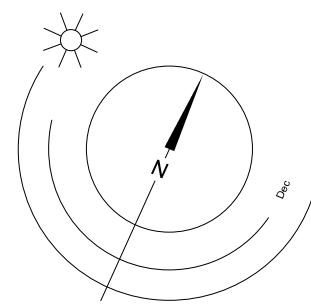
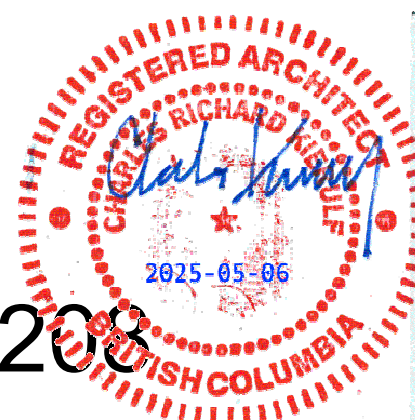
Roof



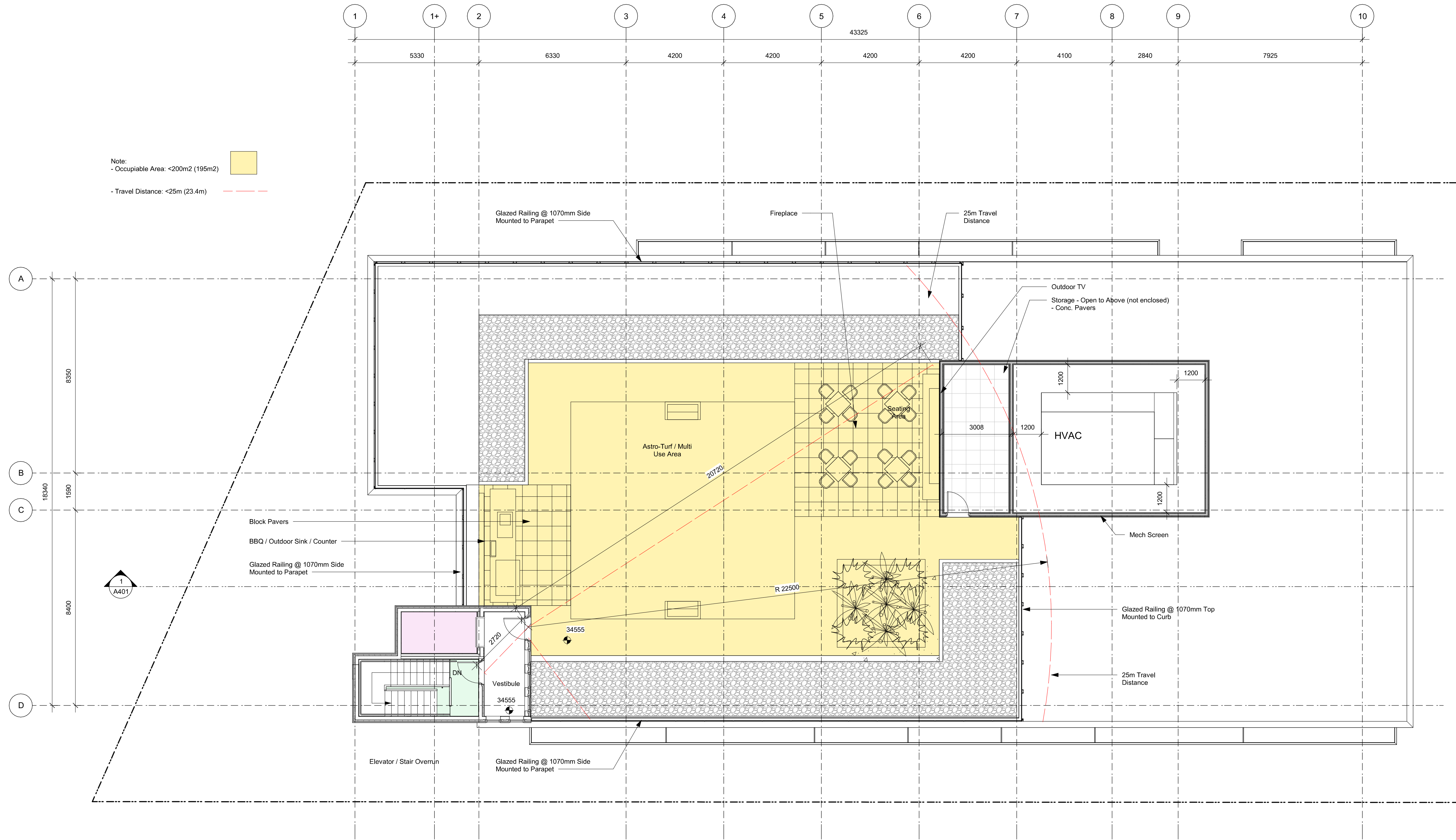
A208

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Victoria  
977 Fort Street V8V 3K3 T 1-250-658-3367  
Nanaimo  
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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1 Roof Amenity Space  
A208a SCALE: 1 : 100

Recessed Lighting - typ.

Rev	10	25-05-02	Description	DDP Revisions
	3	23-06-15		DP / Rezoning Rev. 1

Rev	10	25-05-02	Description	DDP Revisions
Plt Date	06/15/23		Project Status	DP / Rezoning
Drawn By	SWS		Checked By	CRK
Scale	1 : 100		Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston St, Victoria, BC  
V9A 3S6

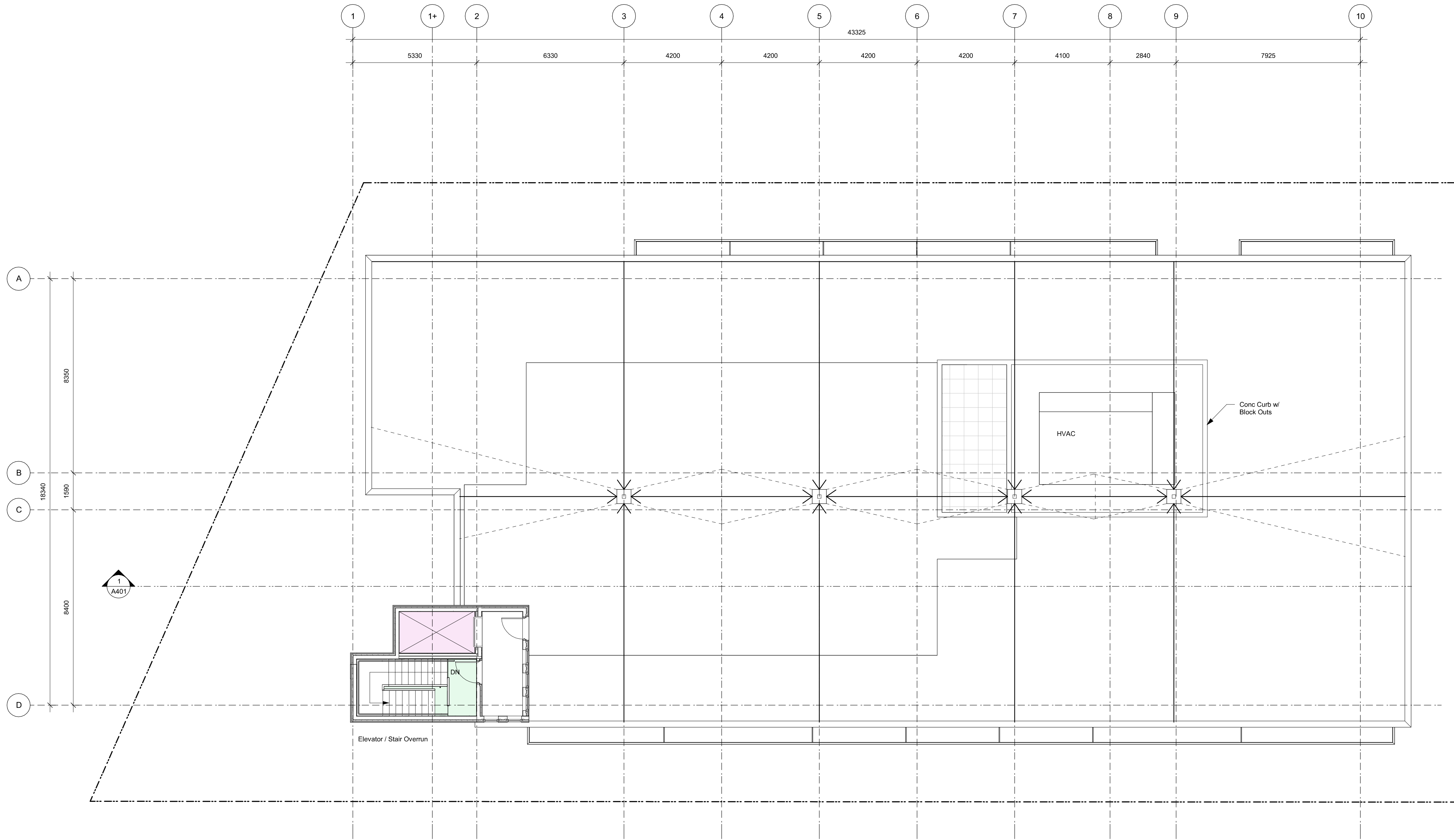
Roof Amenity Space



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1 Roof Drainage  
A208b SCALE: 1 : 100

Rev	3	23-06-15	Description	DP / Rezoning Rev. 1
Plt Date	06/15/23	Project Status	DP / Rezoning	
Drawn By	SWS	Checked By	CRK	
Scale	1 : 100	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston St, Victoria, BC  
V9A 3S6

Roof Drainage










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Material #	Material	Colour		1	Aluminum Flashing	
4	7/8" Corrugated Metal Panel			20	Architectural Concrete	
5		Ebony 9822 (28ga)	Light Pewter 2897 (24ga)			
2	Metal Composite Panel					
13		Neon Red	Nissan Grey			
18						
19		Brushed Carbon				

- Note: see A103 for grades

NOTE: All dimensions are shown in millimeters.

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2025-05-06 12:10:05 PM

1 Elevation - South  
A302 SCALE: 1 : 100



#### Materials Legend

- 1 Pre-finished Aluminum Flashing - Grey
- 2 Parapet - Metal Composite Panel - Grey
- 3 Guardrail - Tempered Glass w/ Aluminum Rails - Black
- 4 Corrugated Metal Panel - Vertical Orientation - Grey and Black
- 5 Corrugated Metal Panel - Horizontal Orientation - Grey and Black
- 6 Balcony / Patio Sliding Door - Black
- 7 Vinyl Frame Window - Black
- 8 Planter - (see landscaping)
- 9 1070mm Guard - Concrete
- 10 Parkade Wall - Architectural Concrete
- 11 Perforated Metal Screen
- 12 Retaining Wall - Concrete
- 13 Metal Composite Panel - Grey and Red
- 14 Metal Door - Black
- 15 Anodized Aluminum Storefront - Glazing w/ Doors - Black
- 16 Overhead Door - Black
- 17 Canopy Structural Column (see structural) - Black
- 18 Lobby Canopy / Roof - Metal Composite Panel - Grey
- 19 Eyebrow Roof - Metal Composite Panel - Red
- 20 Architectural Concrete
- 21 RWL Guard
- 22 Signage

Note: see A103 for grades

10	25-05-02	DDP Revisions
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	10	25-05-02	Description	DDP Revisions
Pkt Date	06/15/23	Project Status	DP / Rezoning	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

#### Alston

1055 Alston St, Victoria, BC  
V9A 3S6

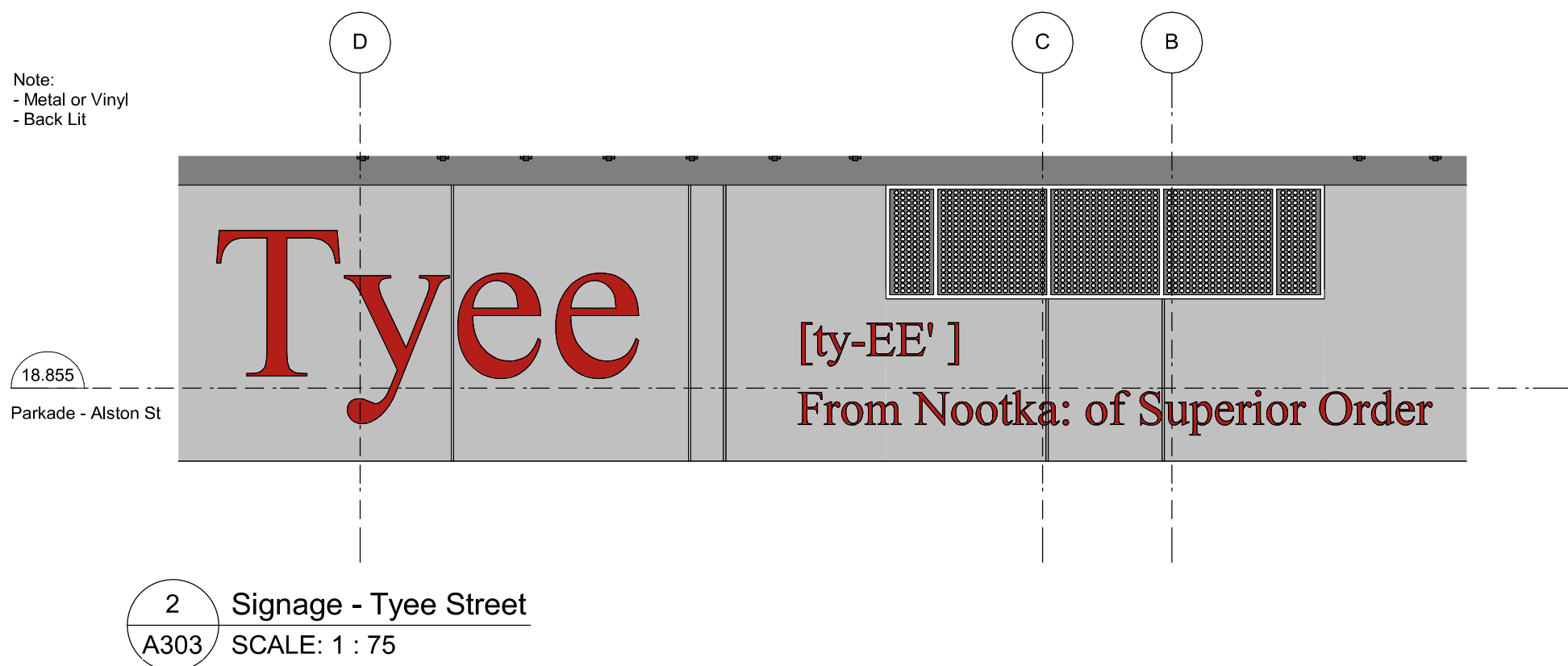
#### Building Elevation



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Material Board

Material #	Material	Colour
4	7/8" Corrugated Metal Panel	Ebony 9822 (28ga)
5		Light Pewter 2897 (24ga)
2	Metal Composite Panel	Neon Red
13		Nissan Grey
18		Brushed Carbon
19		

1	Aluminum Flashing	
20	Architectural Concrete	

Materials Legend

- 1 Pre-finished Aluminum Flashing - Grey
- 2 Parapet - Metal Composite Panel - Grey
- 3 Guardrail - Tempered Glass w/ Aluminum Rails - Black
- 4 Corrugated Metal Panel - Vertical Orientation - Grey and Black
- 5 Corrugated Metal Panel - Horizontal Orientation - Grey and Black
- 6 Balcony / Patio Sliding Door - Black
- 7 Vinyl Frame Window - Black
- 8 Planter - (see landscaping)
- 9 1070mm Guard - Concrete
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- 11 Perforated Metal Screen
- 12 Retaining Wall - Concrete
- 13 Metal Composite Panel - Grey and Red
- 14 Metal Door - Black
- 15 Anodized Aluminum Storefront - Glazing w/ Doors - Black
- 16 Overhead Door - Black
- 17 Canopy Structural Column (see structural) - Black
- 18 Lobby Canopy / Roof - Metal Composite Panel - Grey
- 19 Eyebrow Roof - Metal Composite Panel - Red
- 20 Architectural Concrete
- 21 RWL Guard
- 22 Signage

Note: see A103 for grades

Rev	10	25-05-02	Description	DDP Revisions
Pkt Date	06/15/23	Project Status	DP / Rezoning Rev. 3	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

Rev	10	25-05-02	Description	DDP Revisions
Pkt Date	06/15/23	Project Status	DP / Rezoning	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston St, Victoria, BC  
V9A 3S6  
Building Elevation



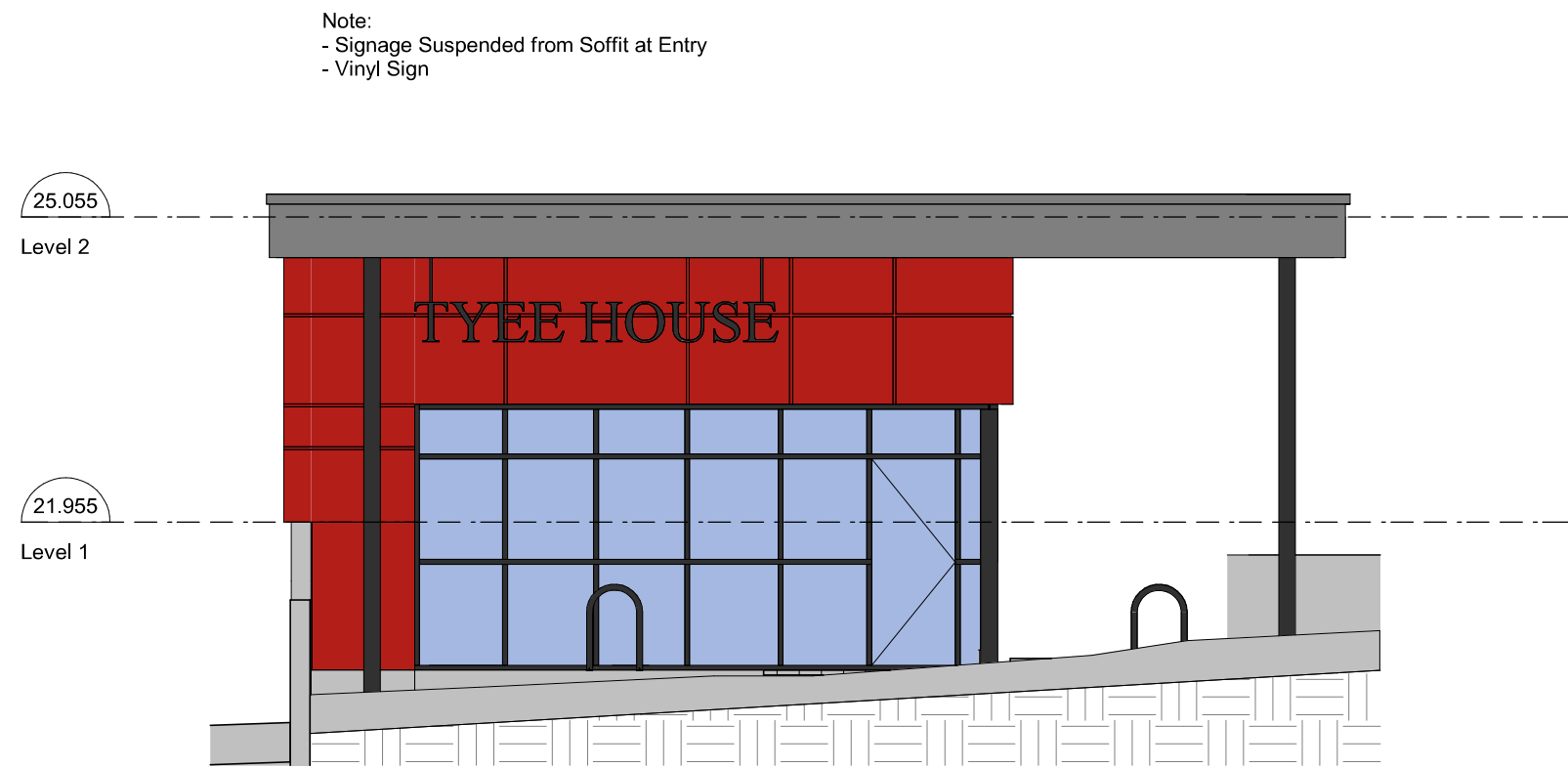
dHkarchitects  
Victoria  
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Nanaimo  
102-5190 Dublin Way  
V8V 3K3  
T 1-250-658-3367  
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1 Elevation - West  
A304 SCALE: 1 : 100



2 Signage - Alston Street  
A304 SCALE: 1 : 75

Material Board

Material #	Material	Colour	
4	7/8" Corrugated Metal Panel		1 Aluminum Flashing
5			
2	Metal Composite Panel		20 Architectural Concrete
13			
18			
19			

Materials Legend

- 1 Pre-finished Aluminum Flashing - Grey
- 2 Parapet - Metal Composite Panel - Grey
- 3 Guardrail - Tempered Glass w/ Aluminum Rails - Black
- 4 Corrugated Metal Panel - Vertical Orientation - Grey and Black
- 5 Corrugated Metal Panel - Horizontal Orientation - Grey and Black
- 6 Balcony / Patio Sliding Door - Black
- 7 Vinyl Frame Window - Black
- 8 Planter - (see landscaping)
- 9 1070mm Guard - Concrete
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- 15 Anodized Aluminum Storefront - Glazing w/ Doors - Black
- 16 Overhead Door - Black
- 17 Canopy Structural Column (see structural) - Black
- 18 Lobby Canopy / Roof - Metal Composite Panel - Grey
- 19 Eyebrow Roof - Metal Composite Panel - Red
- 20 Architectural Concrete
- 21 RWL Guard
- 22 Signage

Note: see A103 for grades

Rev	10	25-05-02	DDP Revisions
	4	23-07-25	DP / Rezoning Rev. 2
	3	23-06-15	DP / Rezoning Rev. 1
	2	23-03-30	DP / Rezoning
	1	23-03-25	CALUC

Rev	10	25-05-02	Description	DDP Revisions
Plt Date	06/15/23	Project Status	DP / Rezoning	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston St, Victoria, BC  
V9A 3S6

Building Elevation

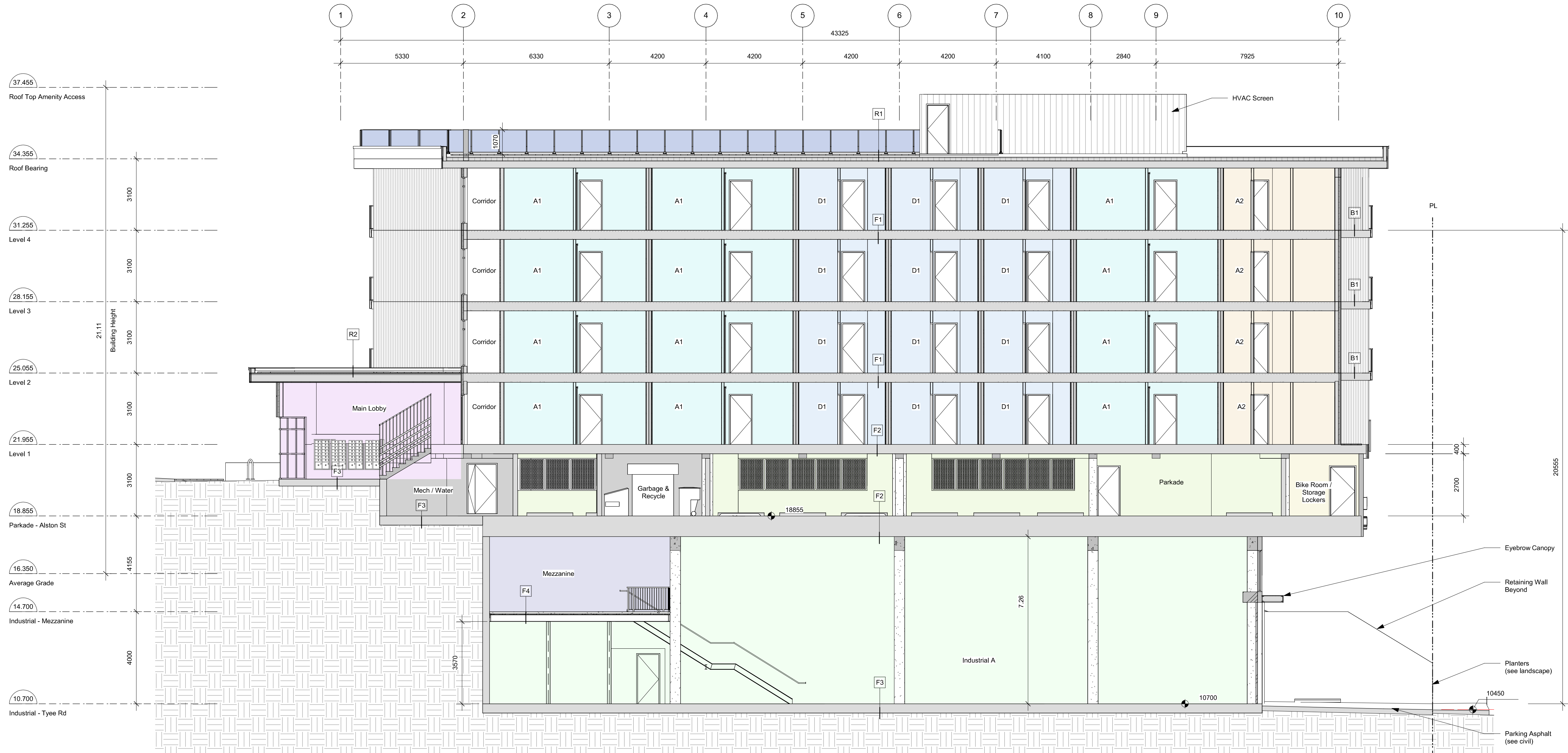
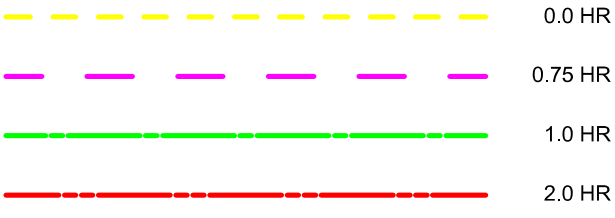


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Fire Separation Legend



1 Building Section - Looking North - Lobby  
A401 SCALE: 1 : 100

10	25-05-02	DDP Revisions		
5	23-10-26	DP / Rezoning Rev. 3		
4	23-07-25	DP / Rezoning Rev. 2		
3	23-06-15	DP / Rezoning Rev. 1		
Rev	10	25-05-02	Description	DDP Revision
Pkt Date	06/15/23		Project Status	DP / Rezoning
Drawn By	SWS		Checked By	CRK
Scale	As indicated		Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston St, Victoria, BC  
V9A 3S6

Building Section -  
Looking North



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Victoria  
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Nanaimo  
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

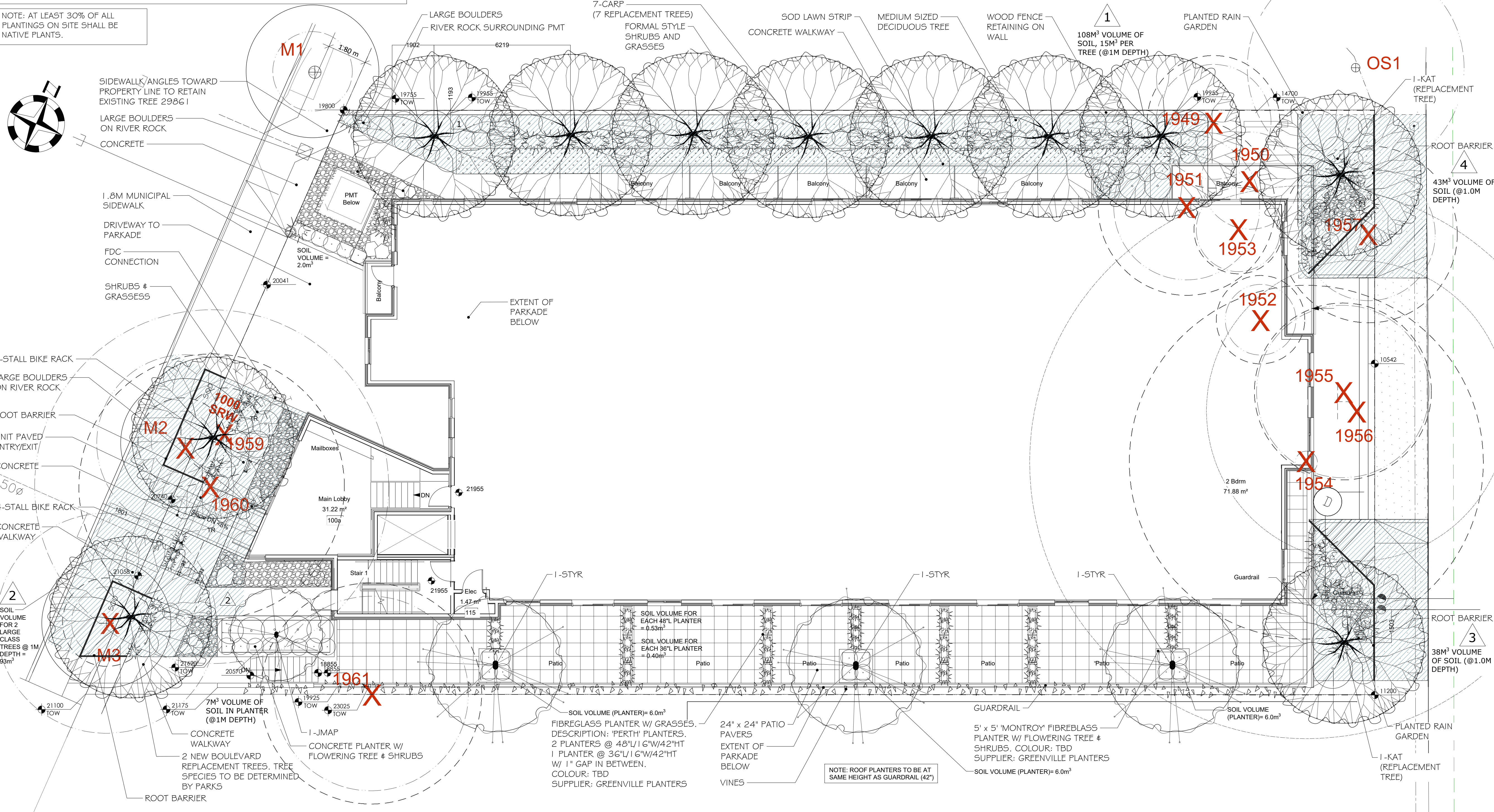
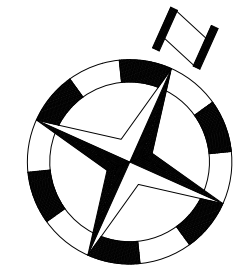
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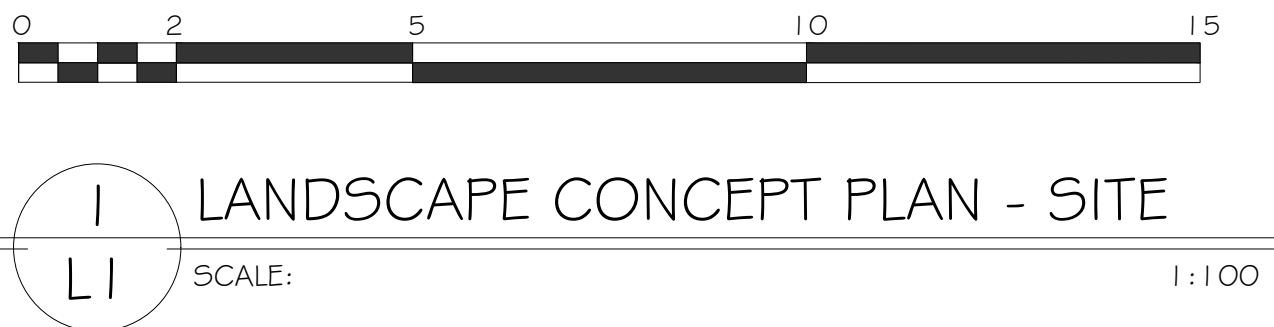
STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6-8 CM DIAMETER CALIPER MEASURED 15 CM ABOVE GROUND, A WELL-BALANCED CROWN WITH BRANCHING STARTING AT 1.8 M - 2.5 M ABOVE GROUND AND BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWING SD P4 (TREE PLANTING IN BOULEVARD) OR SD P5 (TREE PLANTING IN SIDEWALK WITH TREE GUARD) AND THE CANADIAN LANDSCAPE STANDARD.

A SOIL TEST FOR THE GROWING MEDIA, FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS TREEPERMITS@VICTORIA.CA FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.

NOTE: AT LEAST 30% OF ALL PLANTINGS ON SITE SHALL BE NATIVE PLANTS.



SCALE BAR



NOTE:  
INSTALL ROOT BARRIER UB 24-2 (1.0M DEPTH) DEEP ROOT CANADA CORP. 1-800-561-3883. PLACE SO THAT IT EXTENDS 3.65m BEYOND TREE TRUNK (6 PANELS @ 610mm LONG PANEL.) INSTALL AS PER MANUFACTURERS INSTRUCTIONS.

REPLACEMENT TREE SPACING*		
ROW #	TREE SIZE	MIN. SPACING
1	SMALL TREE (SCHEDULE "E", PART 2)	2.0M
2	MEDIUM TREES (SCHEDULE "E", PART 1)	4.0M
3	LARGE TREES (SCHEDULE "E", PART 1)	6.0M

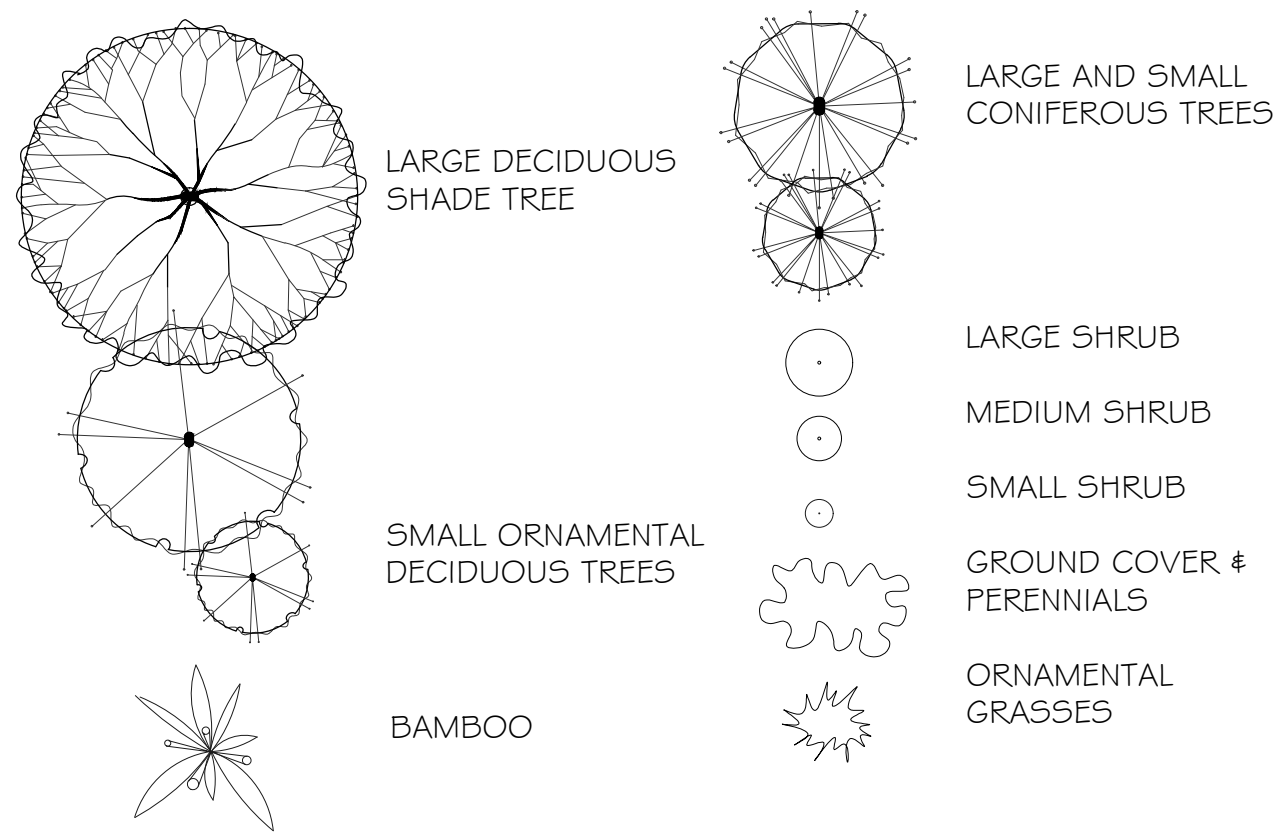
\*NOTE: PROJECT COMPLIES WITH TREE SPACING AND SOIL VOLUME REQUIREMENTS.

SOIL VOLUME REQUIREMENTS*			
ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

SUGGESTED PLANT LIST

	Key	Common Name	Latin Name	Size	Native Plant
Trees	CARP (7)	Columnar Hornbeam	Carpinus betulus fastigiata	7 cm Cal.	
	STYR (2)	Japanese Snowbell	Styrax japonica	6 cm Cal.	
	IRON (2)	Ironwood	Ostrya virginiana	7 cm Cal.	<input checked="" type="checkbox"/>
	JMAP (1)	Japanese Maple	Acer palmatum var. 'Bloodgood'	6 cm Cal.	
	KAT(2)	Katsura Tree	Cercodiphyllum japonicum	8cm Cal.	
Large Shrubs	RIBR	Lily of the Valley Shrub	Pieris japonica var. 'Forest Flame'	#5 Pot	
	PHYL	Golden Balthrop	Phytolachya aurea	#7 Pot	
	MAH	Oregon Grape	Mahonia aquifolium	#5 Pot	<input checked="" type="checkbox"/>
	THUJ	Upright Cedar	Thuja occidentalis var. 'Smaragd'	#7 Pot	
	LRHA	Pacific Rhododendron	Rhododendron Macrophyllum	#7 Pot	<input checked="" type="checkbox"/>
Medium Shrubs	LRHB	Rhododendron	Rhododendron var. 'Gomer Waterer'	#7 Pot	
	MRHA	Rhododendron	Rhododendron var. 'Christmas Cheer'	#5 Pot	
	MRHB	Rhododendron	Rhododendron var. 'Unique'	#5 Pot	
	VACC	Evergreen Huckleberry	Vaccinium ovatum	#5 Pot	<input checked="" type="checkbox"/>
	OTTO	Otto Luyken Laurel	Prunus laurocerasus var. 'Otto Luyken'	#2 Pot	
Small Shrubs	ALAT	Dwarf Burning Bush	Euonymus alata var. 'Compacta'	#5 Pot	
	TAXU	Upright Yew	Taxus baccata	#5 Pot	
	RIBE	Red Flowering Currant	Ribes sanguinum	#2 Pot	<input checked="" type="checkbox"/>
	DWFL	Dwarf Lily of the Valley Shrub	Pieris japonica var. 'Debutante'	#1 Pot	
	EUOF	Creeping Euonymus	Euonymus fortunei var. 'Emerald & Gold'	#1 Pot	
Ground Covers	AZAP	Evergreen Azalea	Azalea japonica var. 'Gumpo Pink'	#2 Pot	
	ADOG	Dwarf Red Twig Dogwood	Cornus sericea var. 'Kelsey'	#2 Pot	<input checked="" type="checkbox"/>
	ILEX	False Holly	Ilex crenata convexa	#2 Pot	
	POLY	Sword Fern	Polystichum munitum	#1 Pot	<input checked="" type="checkbox"/>
	DWRT	Dwarf Rhododendron	Rhododendron var. 'Bow Bells' & 'Jock'	#1 Pot	<input checked="" type="checkbox"/>
Perennials & Grasses	SPIR	Shirohara Spirea	Spirea japonica var. 'Shirohara'	#1 Pot	<input checked="" type="checkbox"/>
	BEAR	Bearberry	Arctostaphylos uva-ursi var. 'Vancouver Jade'	SP4	<input checked="" type="checkbox"/>
	BERG	Heartleaf Bergenia	Bergenia cordifolia var. 'Dressingham Ruby'	SP5	
	VITL	Mountain Cranberry	Vaccinium vitis-idaea	SP4	<input checked="" type="checkbox"/>
	AJUG	Dogwood	Ajuga reptans var. 'Bronze Beauty'	SP4	
Vines	TEST	Flame Sedge	Garex testacea	#1 Pot	
	KARL	Feather Reed Grass	Calamagrostis acutifolia var. 'Karl Foerster'	#2 Pot	
	CONE	Purple Coneflower	Magnus eschmeae	#1 Pot	
	ACAS	Hummingbird Mint	Asarachae var. 'Fall Fiesta'	SP5	
	SALV	Meadow Sage	Salvia sylvestris var. 'May Night'	SP5	<input checked="" type="checkbox"/>
Fennials	PINK	Cottage Pink	Dianthus var. 'Kathon Pink'	SP5	
	IRIS	Variegated Iris	Iris pallida var. 'Variegata Gold'	#1 Pot	
	RUDB	Black Eyed Susan	Rudbeckia fulgida var. 'Goldsturm'	SP5	<input checked="" type="checkbox"/>
	JUNC	Scowering Rush	Juncus effusus	SP7	<input checked="" type="checkbox"/>
	CLEM	Montana Clematis	Clematis montana var. 'Jackman' & 'Elizabeth'	#5 Pot	
Vines	ROSA	Climbing Austin Rose	Rosa var. 'Clare Austin'	#5 Pot	

LEGEND



TREE REQUIREMENTS	
# TREES REMOVED: 7	# REPLACEMENT TREES REQUIRED: 7
# REPLACEMENT TREES PROVIDED: 9	

		Replacement Trees Proposed				Soil Volume Required (m³)				Total**
Planting Area ID	Area (m²)	Soil Volume Multiplier*	A Estimated Soil Vol. (m³)	B # Small	C # Medium	D # Large	B # Small	C # Medium	D # Large	
ONSITE										
1	105	1.0M	108		7			105		105
2	93	1.0M	93			2		60		60
3	38	1.0M	38			1		30		30
4	43	1.0M	43			1		30		30

Notes:  
(1) All soil volume calculations are for replacement trees only  
(2) All replacement trees are ONSITE  
(3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table  
(4) All replacement trees meet soil volume requirements for this project.

4★SITE  
LANDSCAPE ARCHITECTURE  
AND SITE PLANNING250.508.7885

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ARCH. STAMP



1055 ALSTON STREET  
VICTORIA, BC

CLIENT

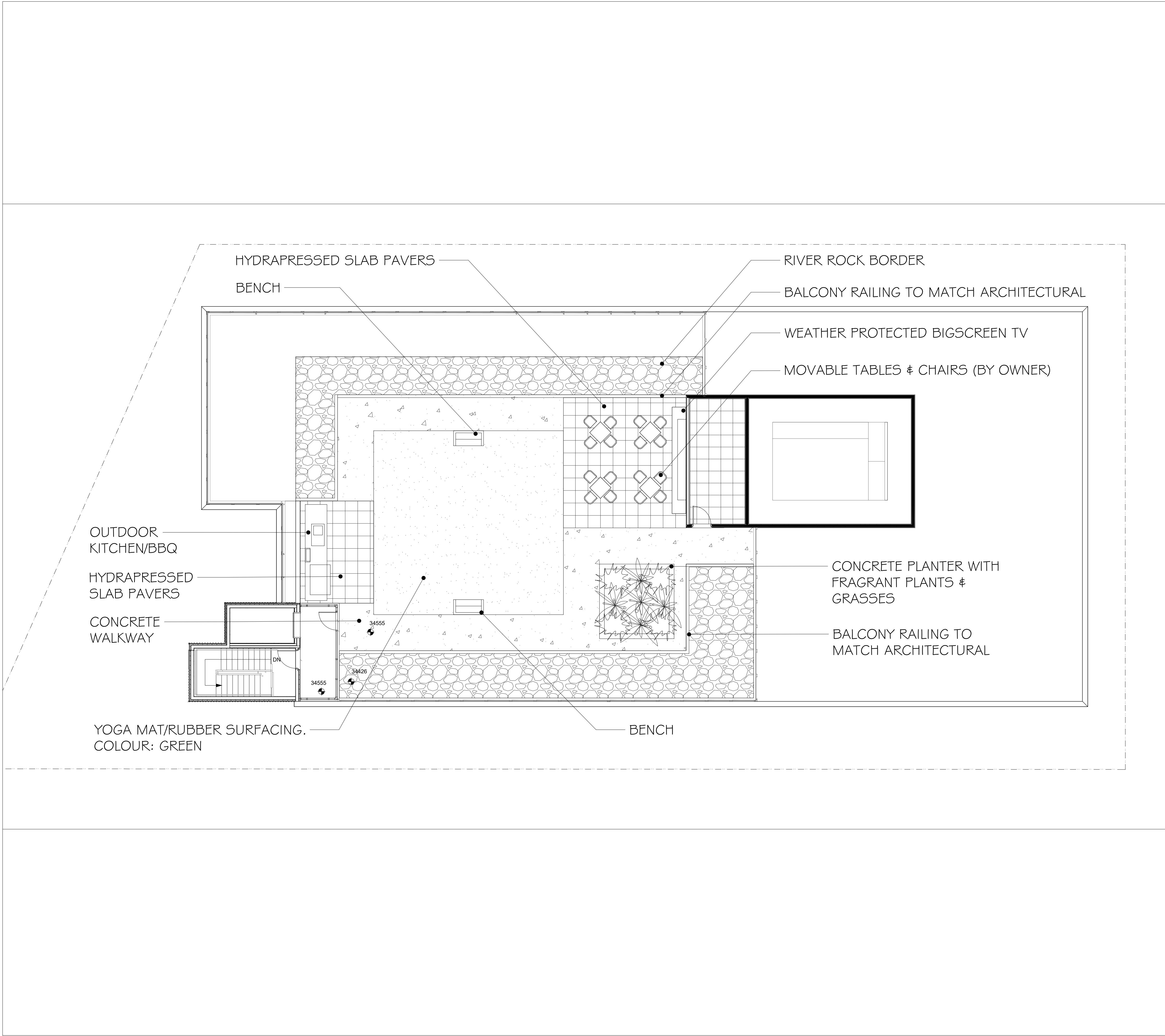
IRONCLAD  
DEVELOPMENTS INC.

REV. DATE	NUMBER	DESCRIPTION
06-28-23	2	REV. LANDSCAPE CONCEPT PLAN
07-19-23	3	REV. LANDSCAPE CONCEPT PLAN
09-27-23	4	REV. LANDSCAPE CONCEPT PLAN
10-26-23	5	REV. LANDSCAPE CONCEPT PLAN
02-13-24	6	RE-ISSUED FOR DP
04-15-24	7	RE-ISSUED FOR DP
06-25-24	8	REVISED
07-16-24	9	REVISED
04-30-25	10	REVISED
05-05-25	11	DDP AMENDMENTS

DATE	MAY 5, 2025	LANDSCAPE CONCEPT PLAN
SCALE	1:100	
DRAWN BY	BF/RF	

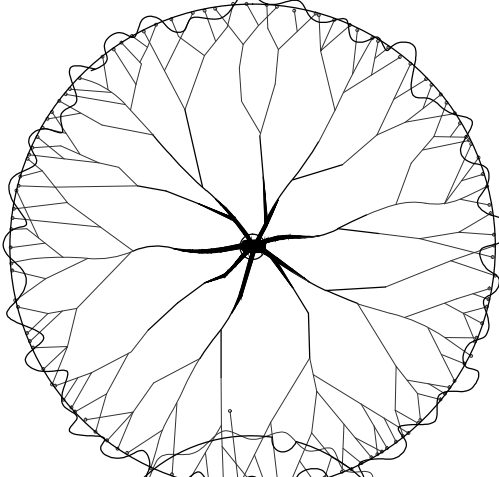
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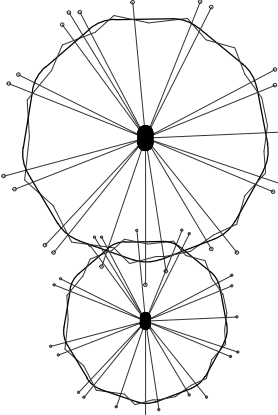


Suggested Plant List				
	Key	Common Name	Latin Name	Size
Large Shrubs	PIER	Lily of the Valley Shrub	Pieris japonica var. 'Forest Flame'	#5 Pot
	MOCK	Mock Orange	Philadelphus lewisii	#5 Pot
Medium Shrubs	AZAP	Evergreen Azalea	Azalea japonica var. 'Girard's Fuchsia'	#2 Pot
Small Shrubs	EUOF	Creeping Euonymus	Euonymus fortunei var. 'Emerald Gaiety'	#1 Pot
	ILEX	Japanese False Holly	Ilex crenata convexa	#1 Pot
Ground Covers	COTO	Trailing Cottoneaster	Cottoneaster dammeri	#5P4 Pot
Perennials & Grasses	IRIS	Sweet Iris	Iris pallida var. 'Vanegata'	#1 Pot
	LAV	English Lavender	Lavandula angustifolia var. 'Munstead'	#1 Pot
	SCIZ	Kaffir Lily	Schizostylis coccinea var. 'Oregon Sunset'	#1 Pot
	CARX	Vanagated Sedge	Carex morrowii aureo var. 'Vanegata'	#1 Pot
	MISC	Maiden Hair Grass	Miscanthus sinensis	#1 Pot
	SEA	Seasonal Annual Flowers	Various	#1 Pot
Notes: - All landscape work to conform with B.C.S.L.A. / B.C.N.T.A. standard specification. - All areas to be irrigated with an automatic underground system.				


### LEGEND




LARGE DECIDUOUS SHADE TREE




LARGE AND SMALL CONIFEROUS TREES



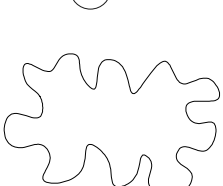
LARGE SHRUB




MEDIUM SHRUB



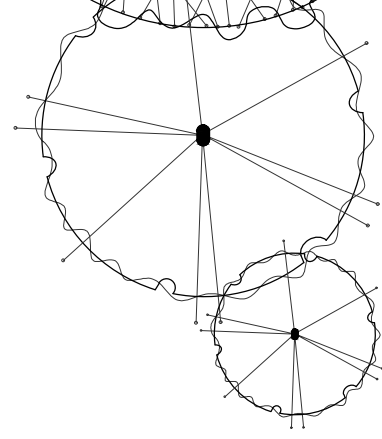
SMALL SHRUB



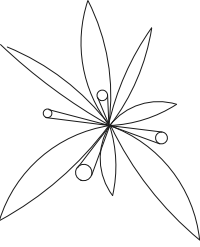
GROUND COVER & PERENNIALS



ORNAMENTAL GRASSES



SMALL ORNAMENTAL DECIDUOUS TREES



FRAGRANT PLANTS