

Jawl Residential
741 Fisgard
 Victoria, BC

KEY PLAN



Landscape Sheets	
Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information Sheet
L0.02	Tree Replacement
L0.03	Stormwater Management
L1.01	Landscape Materials - Ground Level
L1.02	Landscape Materials - Amenity
L1.03	Landscape Materials - Sky Gardens
L1.04	Landscape Materials - Penthouses
L3.01	Planting - Ground Level
L3.02	Planting - Amenity
L3.03	Planting - Sky Gardens
L3.04	Plant Schedules



NOT FOR CONSTRUCTION

3 REVISED DP 2025-04-10
 2 DP REZONING 2024-09-26
 1 DEVELOPMENT TRACKER 2024-05-10

No. Issued For Issue Date



client
 Jawl Residential Ltd
 3374 Tennyson Ave
 Victoria, BC

project
 741 FISGARD
 741 Fisgard Street
 Victoria, BC

sheet title
Cover

project no. 124.05
 scale n/a @ 24"x36"
 drawn by JR/SC/DT
 checked by SM
 sheet no.

L0.00

GENERAL NOTES

1. Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
2. Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
3. Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
4. Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
5. Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
6. Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
7. The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
8. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

TREE RETENTION AND REMOVAL NOTES

1. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
2. Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

1. All elevations are in meters.
2. Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
3. All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
4. Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
5. Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
6. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
7. Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

1. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
2. All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
3. Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
4. Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
5. Refer to electrical drawings for electrical service.
6. Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
7. Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
8. Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
9. Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
10. At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
11. Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
12. Trees within shrub or rain garden areas to be irrigated with spray heads.
13. Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system

GROWING MEDIUM NOTES

1. Refer to Landscape Specifications for growing medium properties by soil type.
2. Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
3. Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
4. Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
5. Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyager Way, Richmond, BC, V6X 3G9, p. 604-273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
6. Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

1. Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
2. Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
3. Written dimensions take precedence over scale. Do not scale drawings.
4. All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
5. Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

1. Plant quantities on Plans shall take precedence over plant list quantities.
2. Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
3. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
4. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

ON-SLAB TREE PLANTING NOTES

1. For on-slab landscape, a root barrier will be installed to protect exposed waterproof membranes. A dimple board (drain mat) will be installed over the root barrier.
2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
3. A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the following conditions exist in on-grade planting areas: a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

BOULEVARD PLANTING NOTES

1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
2. Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
3. Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
4. Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
5. Design/build drawings for boulevard irrigation to be submitted to Contract Administrator in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
6. Refer to Civil drawings for location of boulevard irrigation point of connection. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
7. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.

LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	M	METRE
ARCH	ARCHITECT	MAX	MAXIMUM
AVG	AVERAGE	MFR	MANUFACTURER
B&B	BALLED AND BURLAPPED	MH	MANHOLE
BC	BOTTOM OF CURB	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BENCHMARK	MM	MILLIMETRE
BR	BOTTOM OF RAMP	N	NORTH
BS	BOTTOM OF STEP	NIC	NOT IN CONTRACT
BW	BOTTOM OF WALL	NO	NUMBER
CAL	CALIPER	NOM	NOMINAL
CB	CATCH BASIN	NTS	ON CENTER
CF	CUBIC FEET	OC	OUTSIDE DIAMETER
CIP	CAST IN PLACE	OD	PONDING DIAMETER
CL	CENTER LINE	PC	POLYURETHANE
CLR	CLEARANCE	PI	POINT OF INTERSECTION
CM	CENTIMETER	PL	PROPERTY LINE
CO	CLEAR OUT	PT	POINT, POINT OF TANGENCY
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CU M	CUBIC METRE	QTY	QUANTITY
DEG	DEGREES	REF	REFERENCE
DEMO	DEMOLISH, DEMOLITION	REINF	REINFORCE(D)
DIA	DIAmeter	REQ'D	REQUIRE(D)
DIM	DImension	REV	REVISION
DTL	DETAiL	ROW	RIGHT OF WAY
DWG	DRAWiNG	S	SOUTH
E	EAST	SAN	SANITARY
EA	EACH	SD	STORM DRAIN
EL	ELEVATION	SF	SQUARE FOOT (FEET)
ENG	ENGINEER	SHT	SHEET
EST	EQUAL	SIM	SIMILAR
E.W.	ESTIMATE	SPECS	SPECIFICATIONS
EXIST	EACH WAY	SQ M	SQUARE METRE
EXP	EXISTiNG	ST	STATION
FE	EXPANSION, EXPOSED	STA	STANDARD
FG	FINISHED FLOOR ELEVATION	STD	SYMMETRICAL
FL	FINISHED GRADE	T&B	TOP AND BOTTOM
FOC	FACE OF CURB	TC	TOP OF CURB
FT	FOOT (FEET)	TF	TOP OF FOOTING
FTG	FOOTiNG	TOPO	TOPOGRAphy
GA	GAUGE	TR	TOP OF RAMP
GEN	GENERAL	TS	TOP OF STEP
GR	GRADE ELEVATION	TW	TOP OF WALL
HORIZ	HORIZONTAL	TYP	TYPICAL
HP	HIGH POINT	VAR	VARIES
HT	HEIGHT	VOL	VOLUME
ID	INSIDE DIAMETER	W	WITH
INV	INVERT ELEVATION	W/O	WITHOUT
IN	INCH(ES)	WT	WEIGHT
INCL	INCLUDE(D)	WL	WATER LEVEL
JT	JOiNT	WWF	WELDED WIRe FRAME
LF	LINEAR FEET	YD	YARD
LP	LOW POINT	@	AT

Hardscape Surfaces

	Concrete Paving CoV New Town Standard CIP Sidewalk
	Belgard Glocal Porcelain Paver 600 mm x 600 mm porcelain paver
	Belgard Classic Standard Paver 112.5 mm x 225 mm x 60 mm pedestrian paver
	Concrete Pavers: 225x75x60mm, Natural Grey, Herringbone Pattern, Mortar Set (CoV New Town Std.)
	Concrete Band
	Street marker on Basalt Paver, 300 x 450 mm x 60 mm basalt, mortar set, flame finish with sandblasted lettering, per CoV Std.
	Cedar Plank Flooring UV-Treated, 88.9 x 88.9 x 2438 mm planks, stain to match sauna facade

	Property Line
	Building Footprint
	Extent of Roof / Canopy, ABOVE
	Extent of Parkade, BELOW
	Rain Garden Top of Pool (TP)
	Rain Garden Bottom of Pool (BP)
	Existing Grade
	Proposed Landscape Grade
	Direction of Flow
	Rain Garden Area
	Rain Garden Area - Below Roof
	Shrub Planting

	Impervious Catchment Areas
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	Property line
	Building Footprint
	Extent of Roof / Canopy, above
	Extent of Parkade, below
	Statutory Right of Way (SRW)

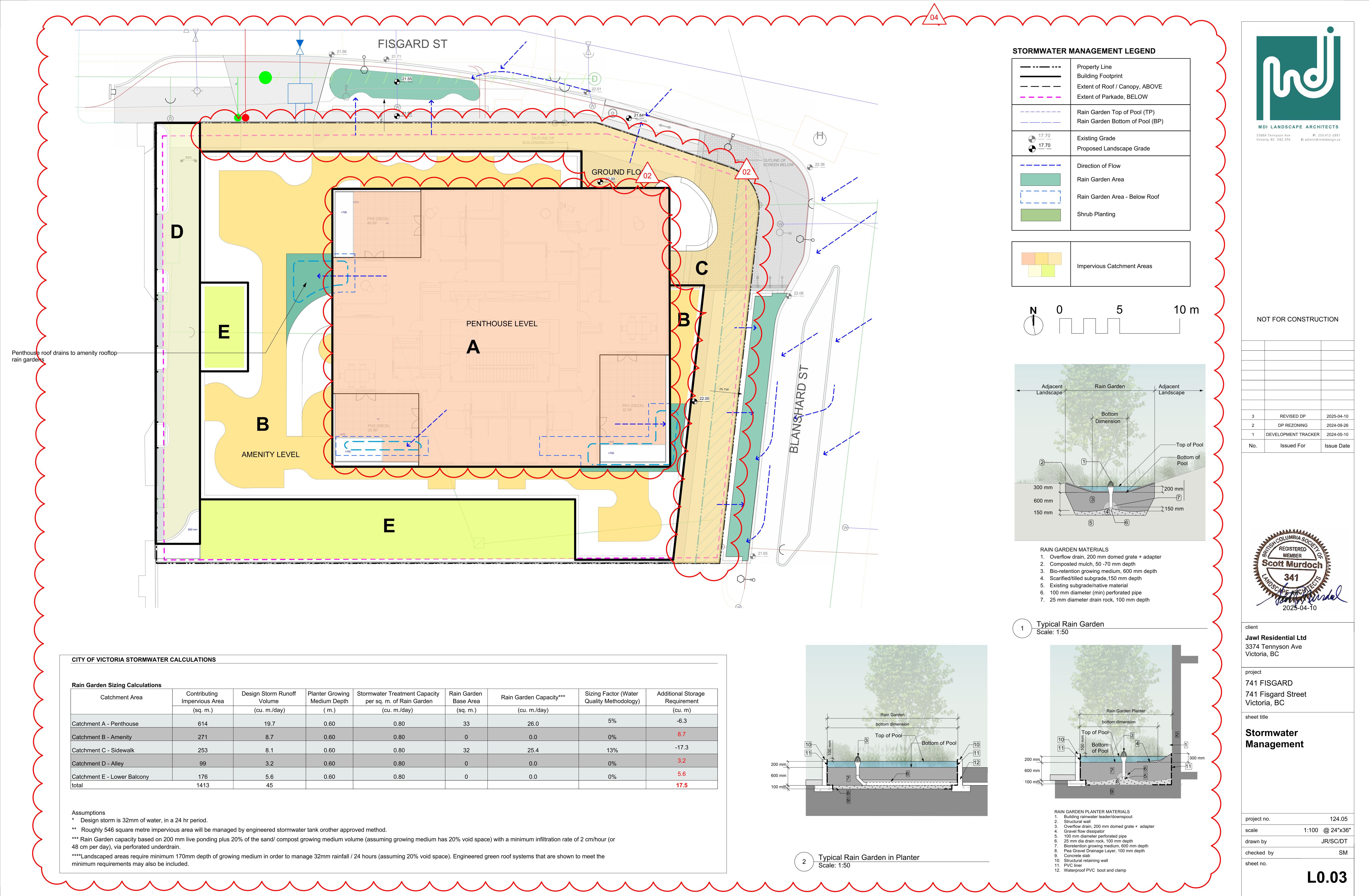


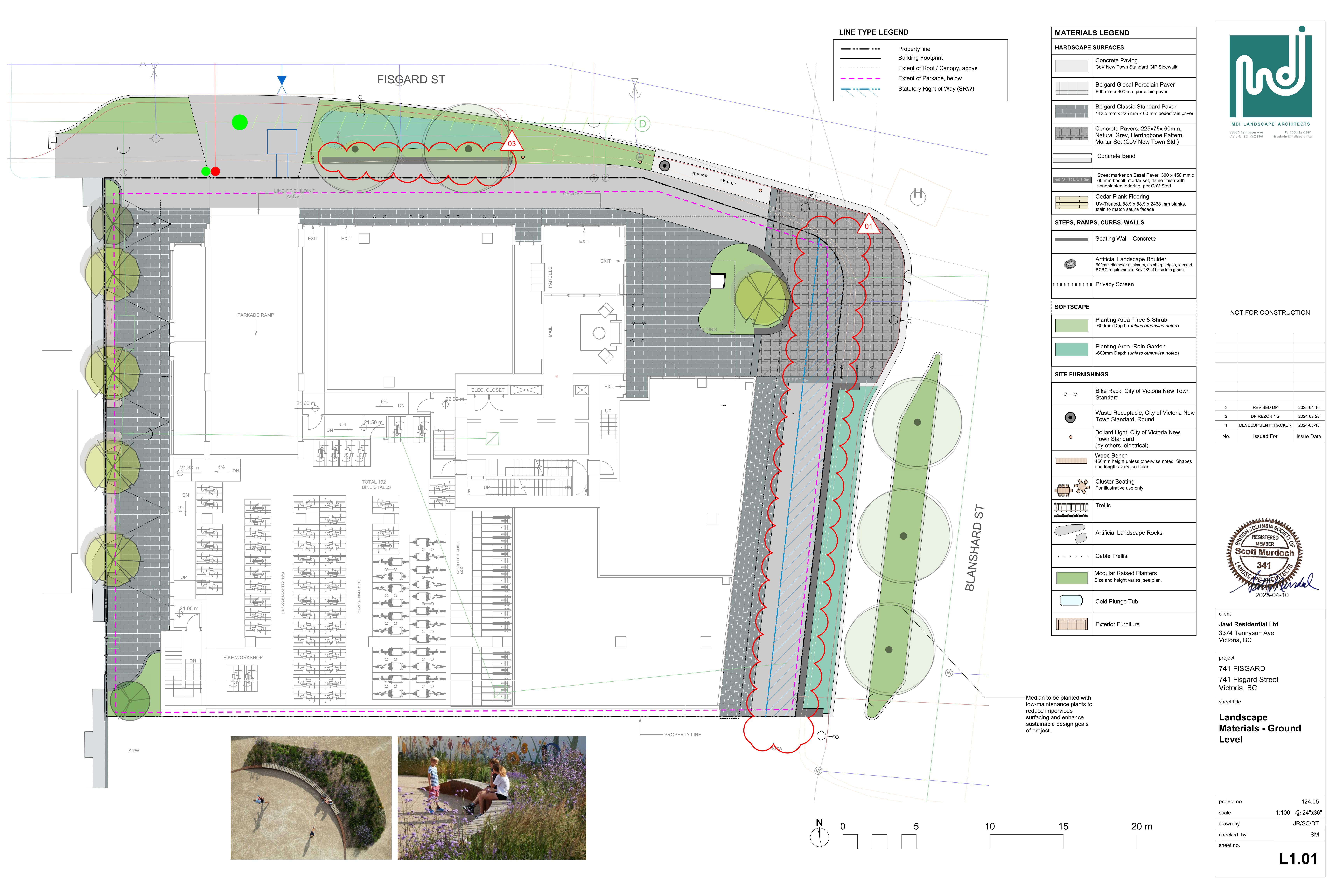
3	REVISED DP	2025-04-10
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	NOT FOR CONSTRUCTION
	EXISTING
	PROPOSED
	Storm Drain
	Sewer
	Water
	Electrical
	Gas
	Hydro Tel

	Bike Rack, City of Victoria New Town Standard

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Upholstered seating area with propane fire table



Outdoor Work Spaces



LINE TYPE LEGEND

Property line
Building Footprint
Extent of Roof / Canopy, above
Extent of Parkade, below



MATERIALS LEGEND

Hardscape Surfaces	
	Concrete Paving CoV New Town Standard CIP Sidewalk
	Belgard Glocal Porcelain Paver 600 mm x 600 mm porcelain paver
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	Concrete Pavers: 225x75x60mm, Natural Grey, Herringbone Pattern, Mortar Set (CoV New Town Std.)
	Concrete Band
	Street marker on Basal Paver, 300 x 450 mm x 60 mm basalt, mortar set, flamed finish with sandblasted lettering, per CoV Std.
	Cedar Plank Flooring UV-Treated, 88.9 x 88.9 x 2438 mm planks, stain to match sauna facade
Steps, Ramps, Curbs, Walls	
	Seating Wall - Concrete
	Artificial Landscape Boulder 600mm diameter minimum, no sharp edges, to meet BCBG requirements. Key 1/3 of base into grade.
	Privacy Screen
Softscape	
	Planting Area - Tree & Shrub -600mm Depth (unless otherwise noted)
	Planting Area - Rain Garden -600mm Depth (unless otherwise noted)
Site Furnishings	
	Bike Rack, City of Victoria New Town Standard
	Waste Receptacle, City of Victoria New Town Standard, Round
	Bollard Light, City of Victoria New Town Standard (by others, electrical)
	Wood Bench 450mm height unless otherwise noted. Shapes and lengths vary, see plan.
	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture

NOT FOR CONSTRUCTION

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client
Jawl Residential Ltd
3374 Tennyson Ave
Victoria, BC

project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title

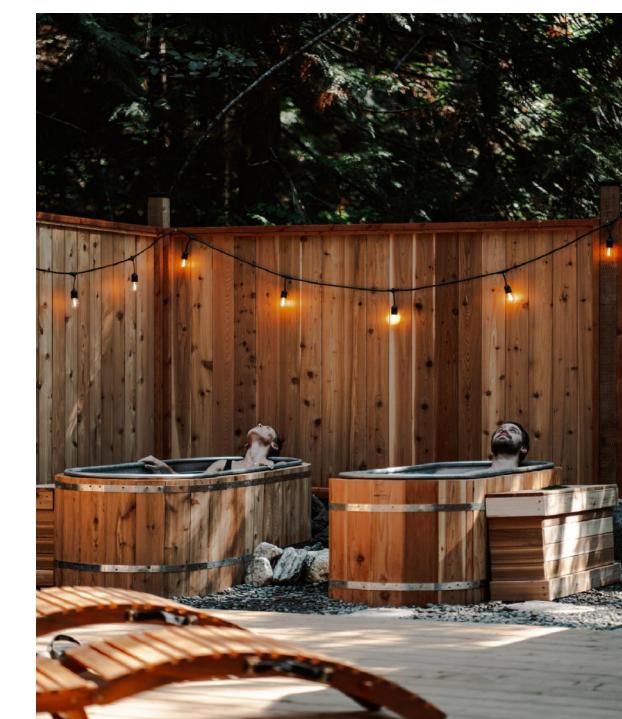
Landscape Materials - Amenity

project no. 124.05
scale 1:100 @ 24" x 36"
drawn by JR/SC/DT
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sheet no.

L1.02

WEST SETBACK

Sauna & Cold Plunge

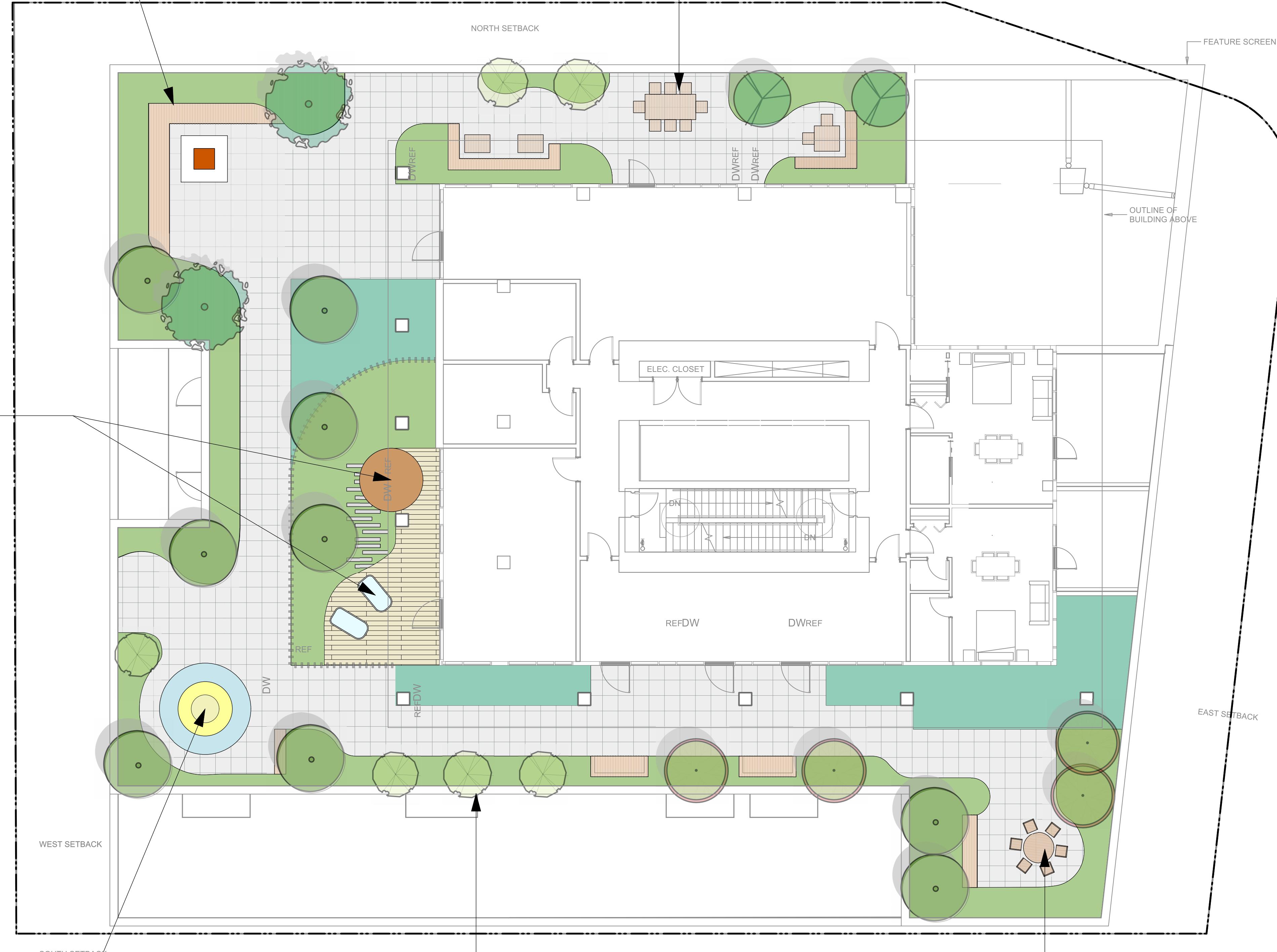
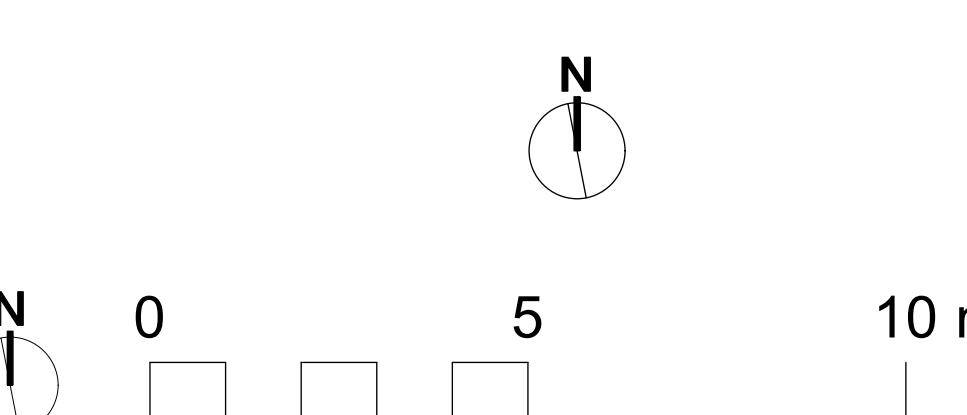


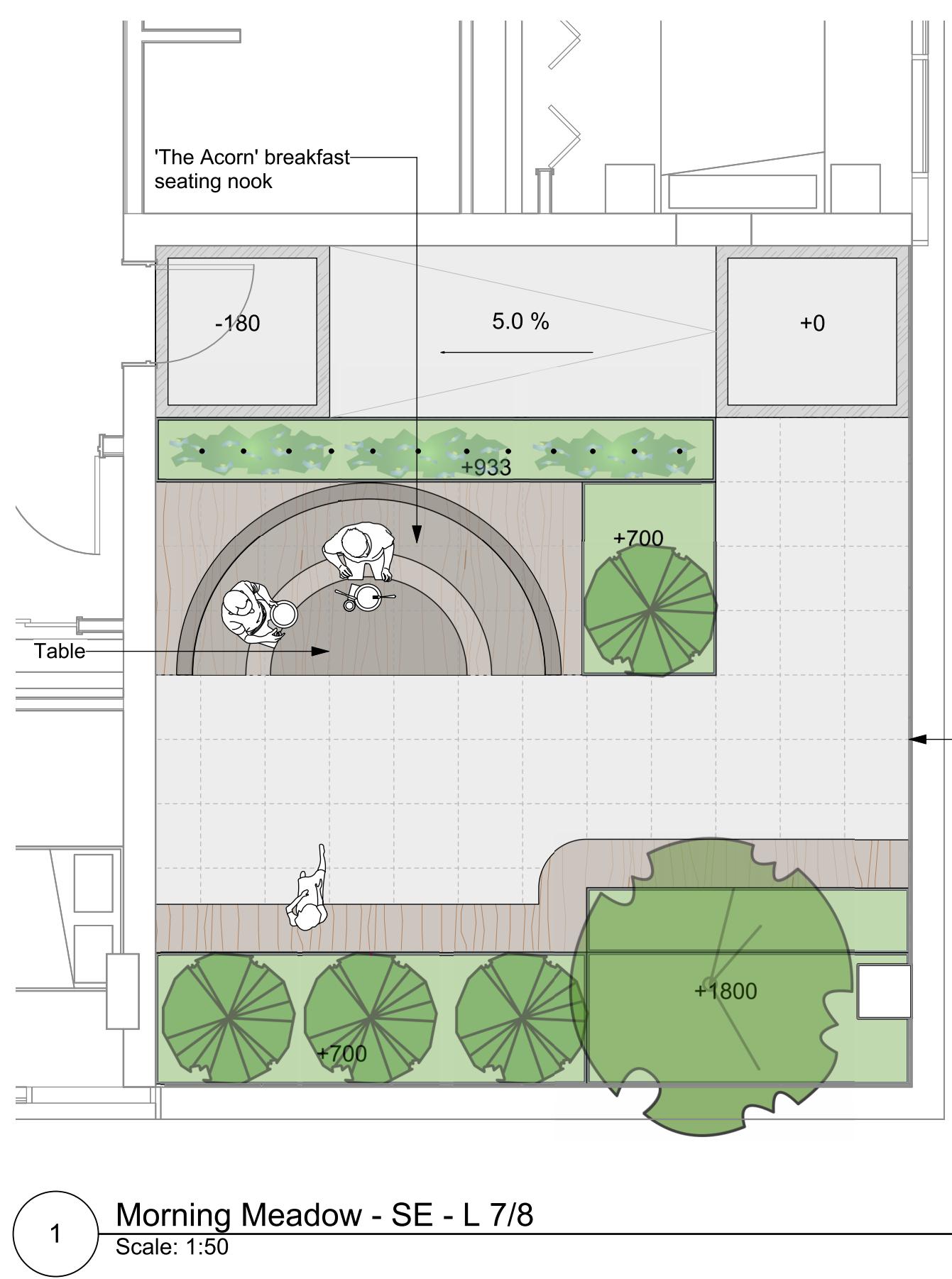
Play / Seating Structure

Railing height to match BCBG guidelines
at all locations



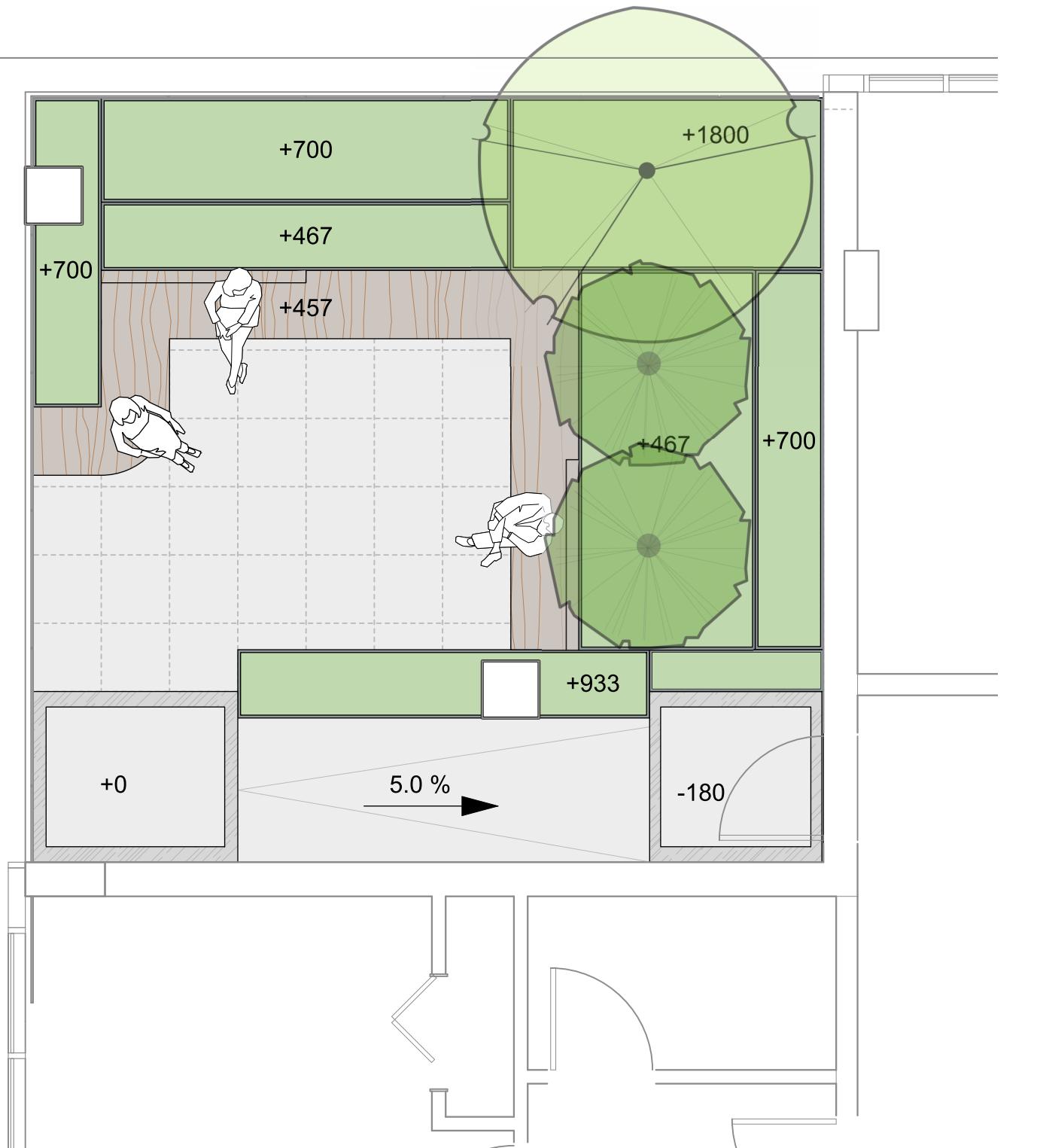
Outdoor dining table with view





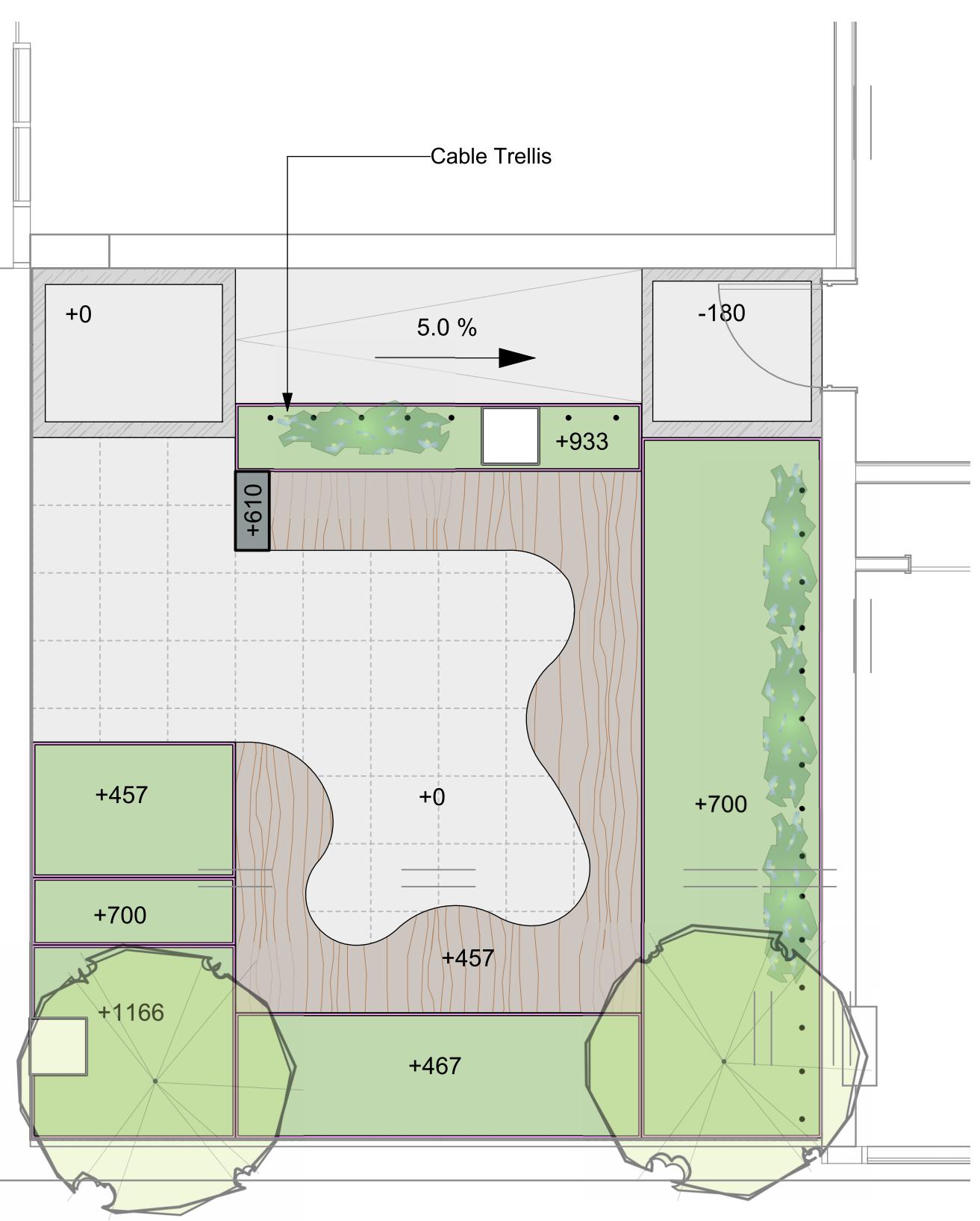
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Scale: 1:50

Scale: 1:5



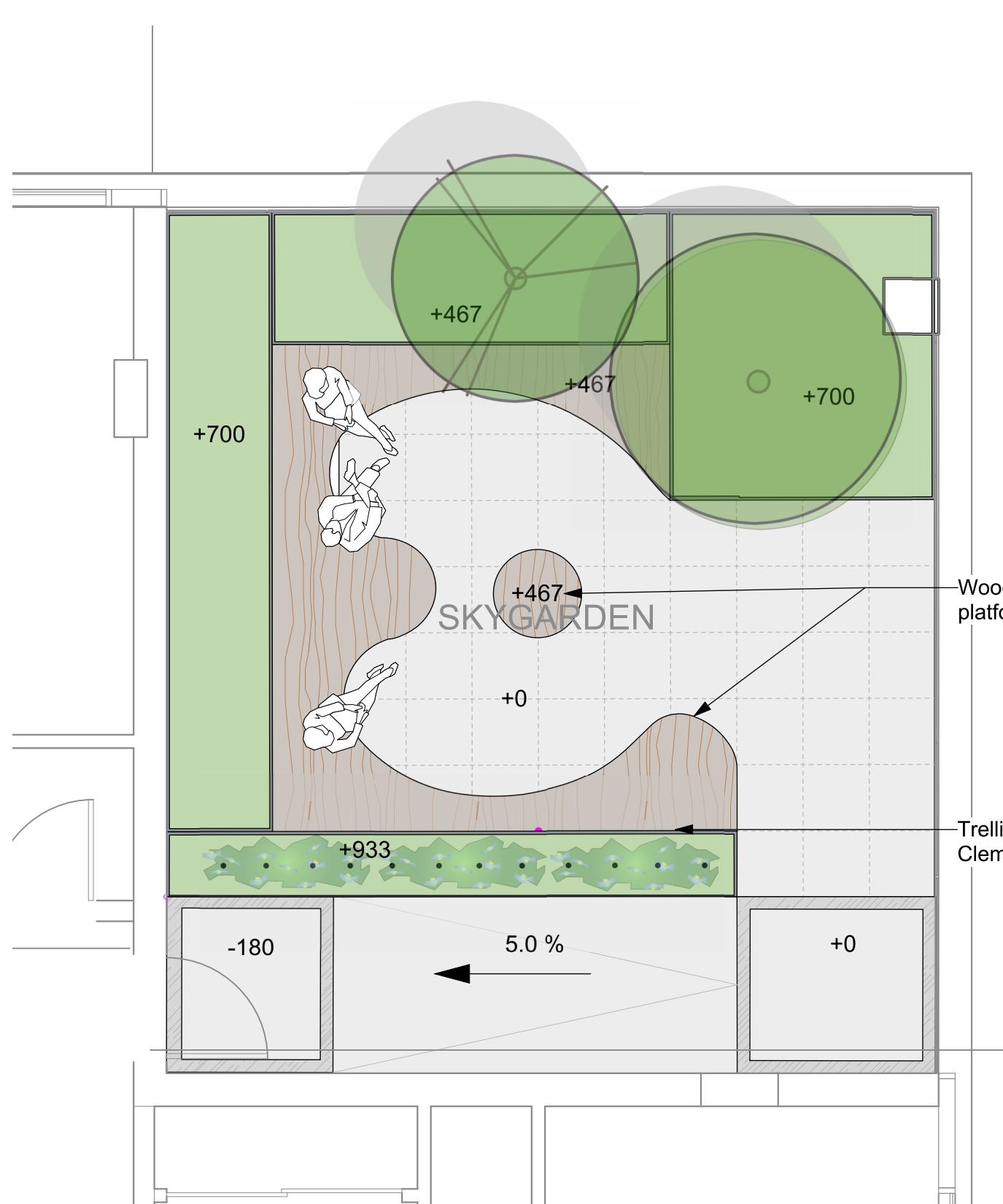
2 The Night Forest - NW - L 9/10
Sects: 1-50

2 Scale: 1:50



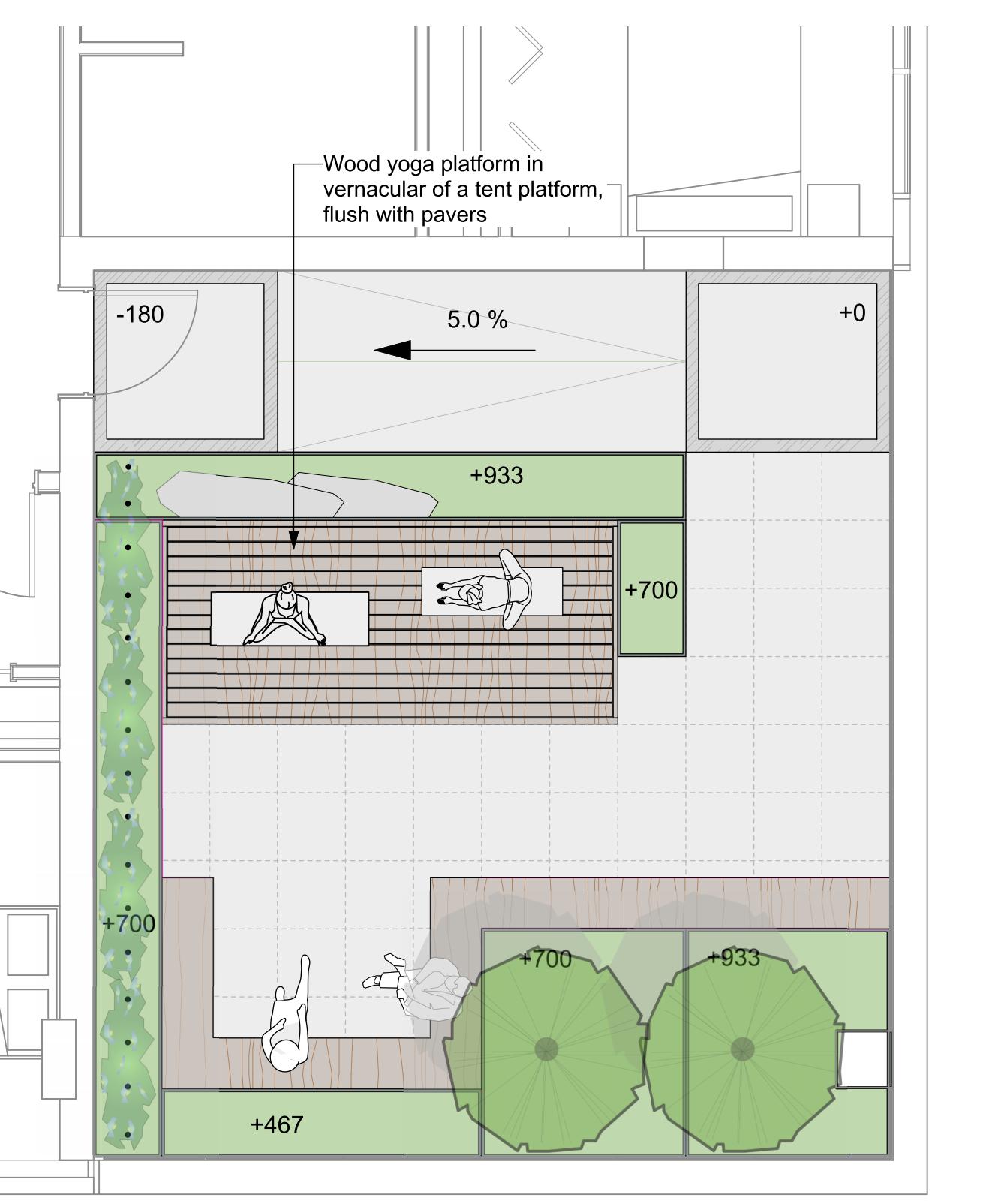
3 The Hang Out - SW - L 12/13
Sects: 1-50

3 Scale



4 The Dogwood Showcase - NE - L 14/15

4



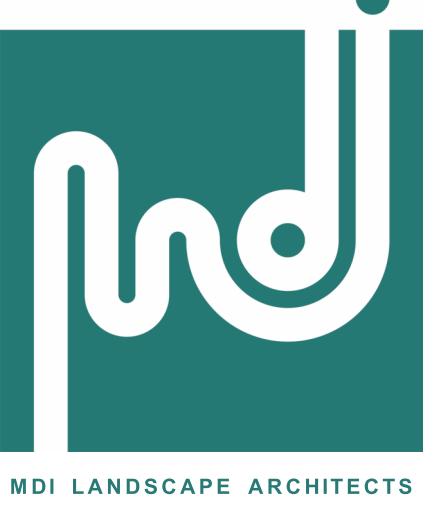
Strathcona Subalpine - SE - L 17/18

5 Scale: 1



6 The Dallas Bluffs - SW - L 19/20

6 Scale



3388A Tennyson Ave
Victoria, BC V8Z 3P6

MATERIALS LEGEND	
HARDSCAPE SURFACES	
	Concrete Paving CoV New Town Standard CIP Sidewalk
	Belgard Glocal Porcelain Paver 600 mm x 600 mm porcelain paver
	Belgard Classic Standard Paver 112.5 mm x 225 mm x 60 mm pedestrian paver
	Concrete Pavers: 225x75x 60mm, Natural Grey, Herringbone Pattern, Mortar Set (CoV New Town Std.)
	Concrete Band
	Street marker on Basal Paver, 300 x 450 mm x 60 mm basalt, mortar set, flame finish with sandblasted lettering, per CoV Stnd.
	Cedar Plank Flooring UV-Treated, 88.9 x 88.9 x 2438 mm planks, stain to match sauna facade
STEPS, RAMPS, CURBS, WALLS	
	Seating Wall - Concrete
	Artificial Landscape Boulder 600mm diameter minimum, no sharp edges, to meet BCBG requirements. Key 1/3 of base into grade.
	Privacy Screen
SOFTSCAPE	
	Planting Area -Tree & Shrub -600mm Depth (unless otherwise noted)
	Planting Area -Rain Garden -600mm Depth (unless otherwise noted)
SITE FURNISHINGS	
	Bike Rack, City of Victoria New Town Standard
	Waste Receptacle, City of Victoria New Town Standard, Round
	Bollard Light, City of Victoria New Town Standard (by others, electrical)
	Wood Bench 450mm height unless otherwise noted. Shapes and lengths vary, see plan.
	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture



l Residential Ltd
4 Tennyson Ave
Victoria, BC

Object

FISGARD

Fisgard Street Victoria, BC

Part title

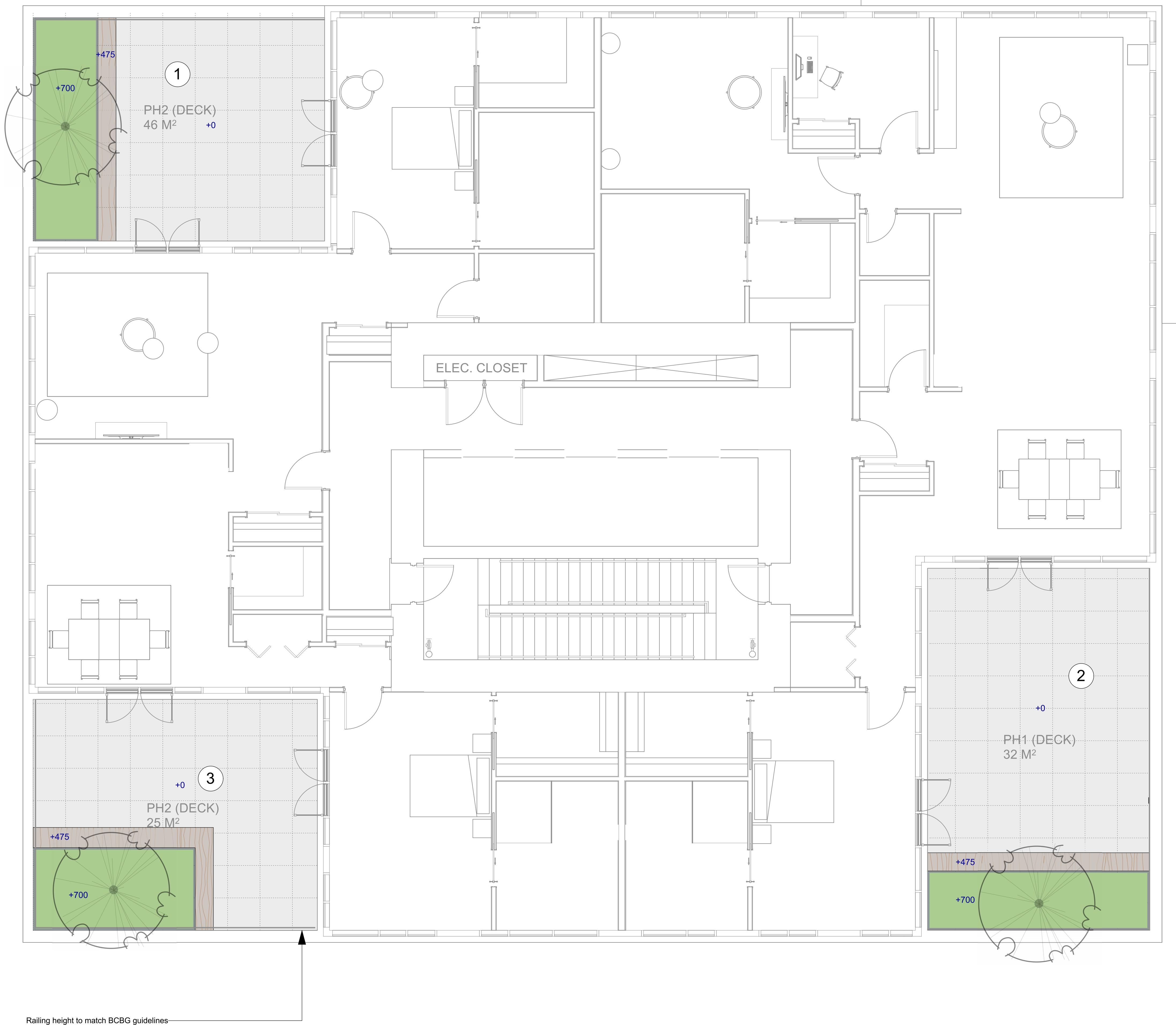
Landscape Materials - Sky Gardens



A horizontal line representing a path or distance. Three rectangular blocks are placed on the line. The first block is positioned at the origin (0). The third block ends at the 5 m mark. The blocks are evenly spaced along the line.

124.05
1:50 @ 24"x36"
JR/SC/DT
SM

L1.03



MATERIALS LEGEND	
Hardscape Surfaces	
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	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture

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sheet title
Landscape Materials - Penthouses

project no. 124.05
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sheet no.

L1.04



0 5 m



MDI LANDSCAPE ARCHITECTS
3388A Tennyson Ave
Victoria, BC V8Z 3P6
Ph: 250.412.2891
E: admin@mdidesign.ca

REFER TO SHEET L3.04 FOR
PLANT SCHEDULES



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sheet title

Planting - Amenity



0 5 10 m

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L3.02



MDI LANDSCAPE ARCHITECTS

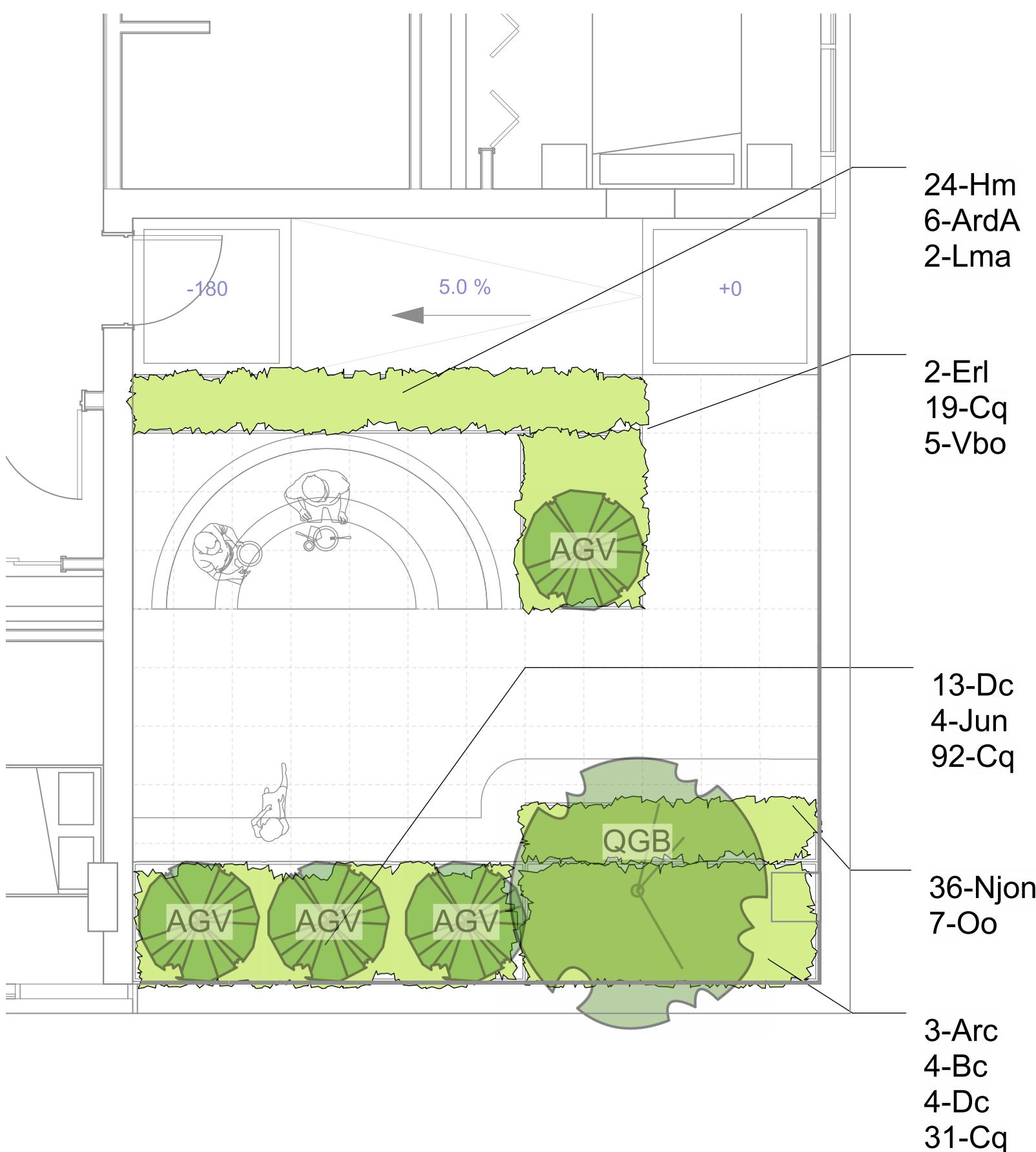
3388A Tennyson Ave

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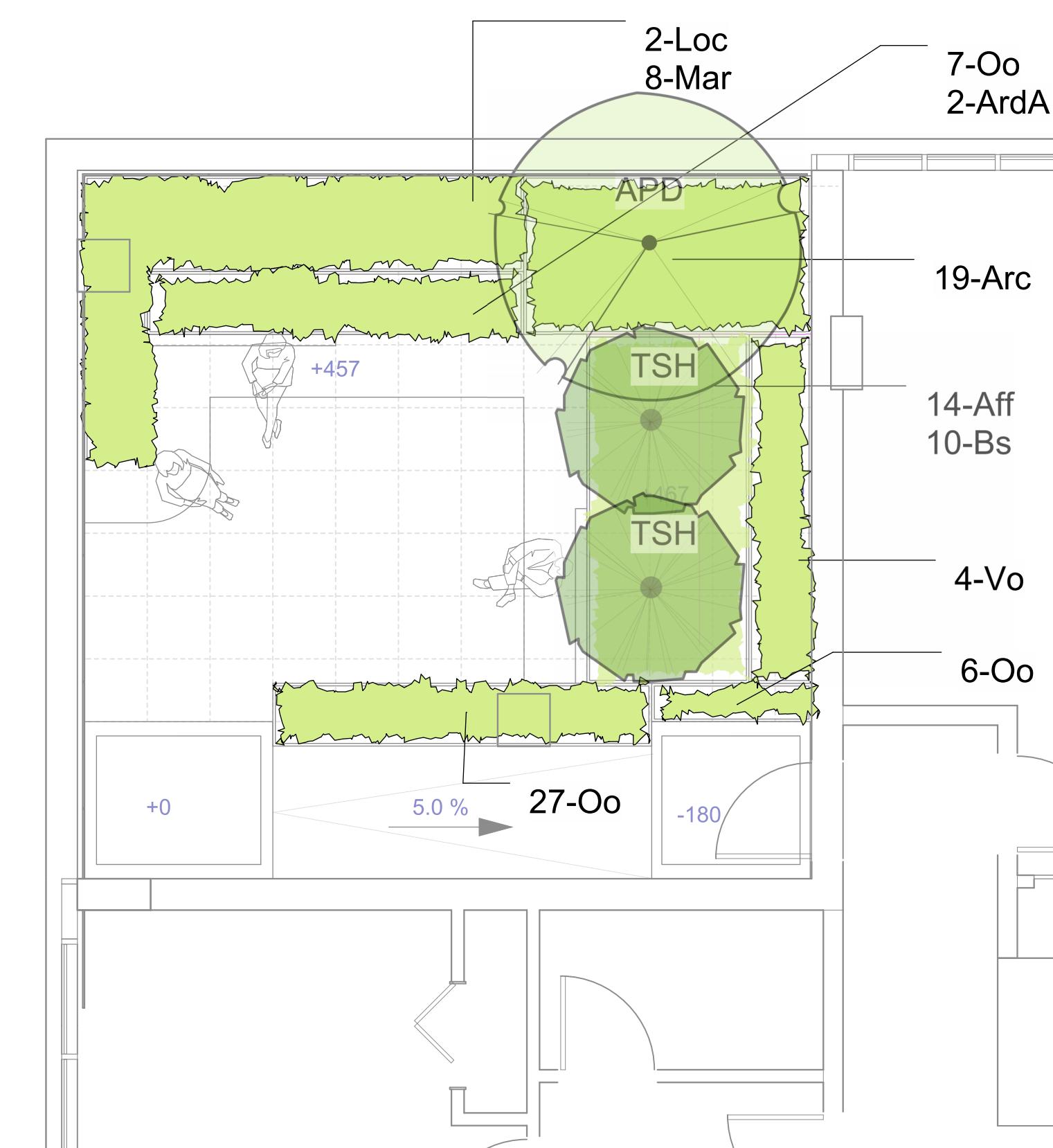
E: admin@mdidesign.ca

REFER TO SHEET L3.04 FOR
PLANT SCHEDULES



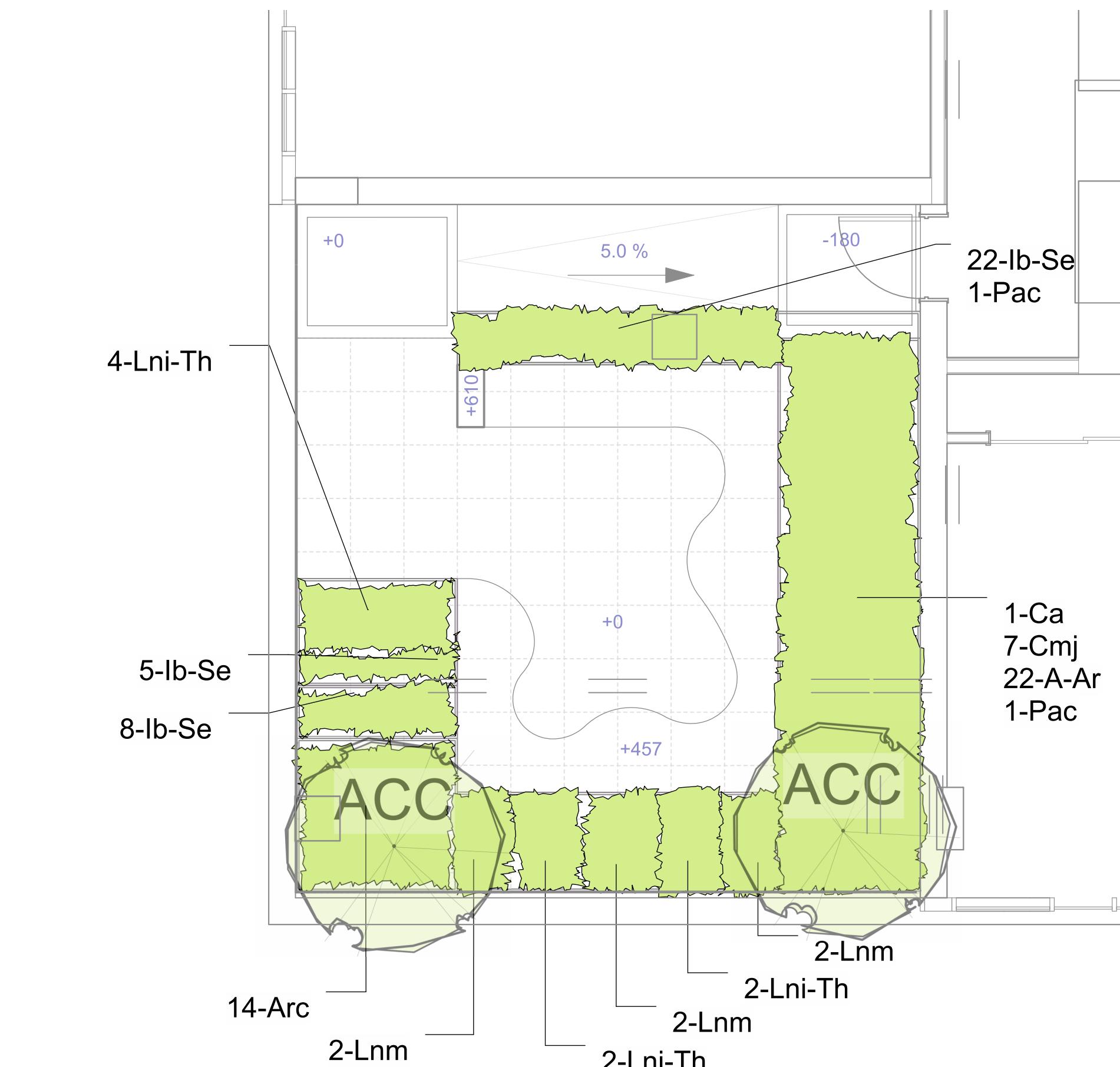
1 Morning Meadow - SE - L 7/8

Scale: 1:50



2 The Night Forest - NW - L 9/10

Scale: 1:50



3 The Hang Out - SW - L 12/13

Scale: 1:50

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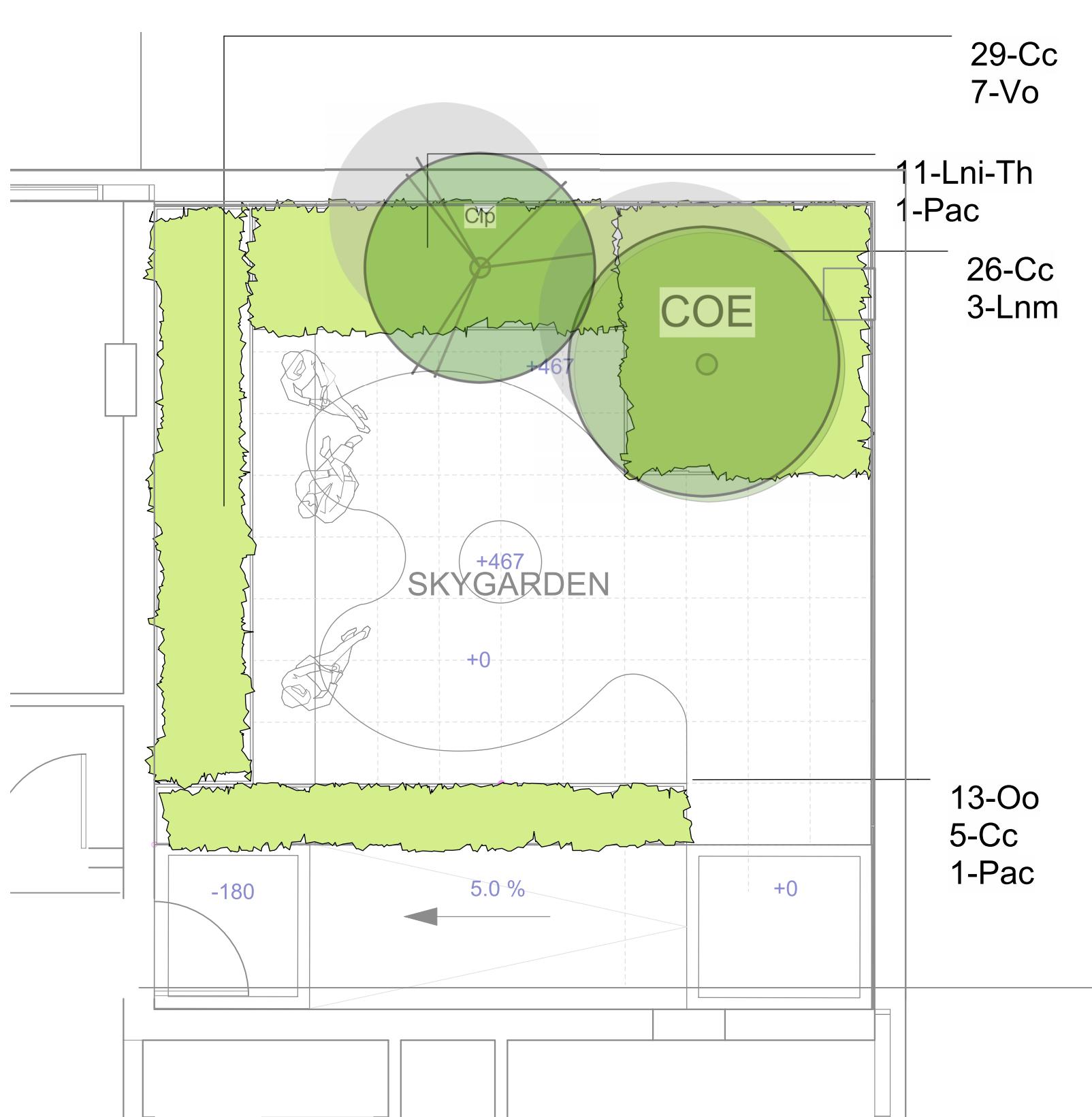
client
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Victoria, BC

project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title
**Planting - Sky
Gardens**

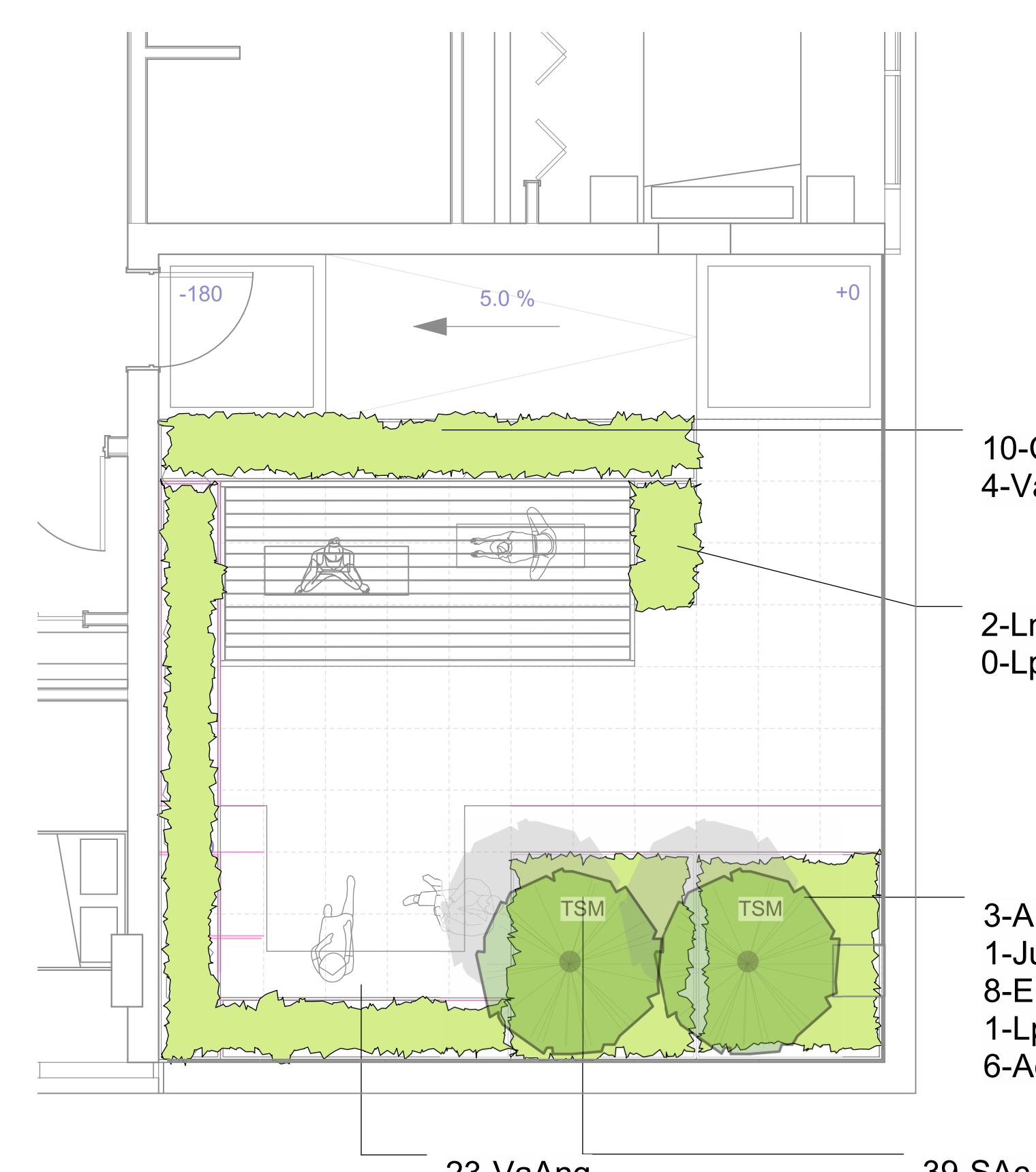
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L3.03



4 The Dogwood Showcase - NE - L 14/15

Scale: 1:50



5 Strathcona Subalpine - SE - L 17/18

Scale: 1:50

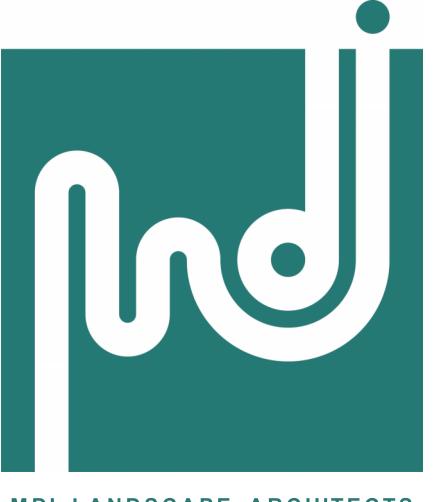


6 The Dallas Bluffs - SW - L 19/20

Scale: 1:50



0 5 m



MDI LANDSCAPE ARCHITECTS

3388A Tennyson Ave
Victoria, BC V8Z 3P6

PI: 250.412.4891
E: admin@mdidesign.ca

GROUND LEVEL

GROUND LEVEL PLANT LIST				
	Sym	Qty	Botanical Name	Common Name
TREES				
	APS	1	<i>Acer palmatum 'Seiryu'</i>	Laceleaf Japanese Maple
	GTS	5	<i>Gleditsia triacanthos 'Shademaster'</i>	Shademaster Honeylocust
	MXG	1	<i>Magnolia x 'Galaxy'</i>	Galaxy Magnolia
	TBD	5	Tree Species TBD by City of Victoria	Tree Species TBD by City of Victoria
		0		TBD
SHRUBS				
	Ana	53	<i>Aster novae-angliae</i>	New England Aster
	Arc	19	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick
	Gsh	250	<i>Gaultheria shallon</i>	Salal
	Lp	75	<i>Lonicera pileata</i>	Privet Honeysuckle
	Ma	20	<i>Mahonia aquifolium</i>	Oregon Grape
	Msa	4	<i>Miscanthus sinensis 'Adagio'</i>	Adagio Maiden Grass
	Tbr	11	<i>Taxus baccata 'Repandens'</i>	English Weeping Yew
	Vbo	22	<i>Verbena bonariensis</i>	Tall Verbena
	Vo	28	<i>Vaccinium ovatum 'Thunderbird'</i>	Evergreen Huckleberry
		0		#3 pot
RAIN GARDEN				
	Co	131	<i>Carex obnupta</i>	Slough Sedge
	Csm	8	<i>Cornus sericea 'Midwinter Fire'</i>	Midwinter Fire Red-twigged Dogwood
	Jcg	36	<i>Juncus 'Carmen's Grey'</i>	Soft Common Rush
	Lp	20	<i>Lonicera pileata</i>	Privet Honeysuckle

AMENITY LEVEL

AMENITY LEVEL PLANT LIST				
	Sym	Qty	Botanical Name	Common Name
TREES:				
	ACP	6	<i>Acer circinatum 'Pacific Fire'</i>	Pacific Fire Vine Maple
	CKS	9	<i>Cornus kousa 'Satomi'</i>	Satomi Dogwood
	DI	2	<i>Davida involucrata</i>	Dove Tree
	PRV	4	<i>Parrotia persica 'Ruby Vase'</i>	Ruby Vase Persian Ironwood
	SO	2	<i>Styrax obassia</i>	Fragrant Snowbell
		0		
SHRUBS:				
	Ana	31	<i>Aster novae-angliae</i>	New England Aster
	Cx	10	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Feather Reed Grass
	Ep	33	<i>Echinacea purpurea</i>	Purple Coneflower
	Gsh	19	<i>Gaultheria shallon</i>	Salal
	G-Hm	26	<i>Hakonechloa macra</i>	Hakone Grass
	Hsv	9	<i>Helictotrichon sempervirens</i>	Blue Oat Grass
	Jun	51	<i>Juniperus communis 'Mondap'</i>	Alpine Carpet Juniper
	La	12	<i>Lavandula angustifolia 'Hidcote'</i>	Hidcote English Lavender
	Lp	45	<i>Lonicera pileata</i>	Privet Honeysuckle
	Mn	62	<i>Mahonia nervosa</i>	Oregon Grape Holly
	Msa	45	<i>Miscanthus sinensis 'Adagio'</i>	Adagio Maiden Grass
	Pm	22	<i>Polystichum munitum</i>	Sword Fern
	Vbo	21	<i>Verbena bonariensis</i>	Tall Verbena
	Vbd	26	<i>Viburnum davidii</i>	David Viburnum
		0		
RAIN GARDEN PLANTS:				
	Co	93	<i>Carex obnupta</i>	Slough Sedge
	Csm	11	<i>Cornus sericea 'Midwinter Fire'</i>	Midwinter Fire Red-twigged Dog
	Jcg	36	<i>Juncus 'Carmen's Grey'</i>	Soft Common Rush
	Lp	20	<i>Lonicera pileata</i>	Privet Honeysuckle

NOT FOR CONSTRUCTION

SKY GARDEN LEVELS

MORNING MEADOW PLANT LIST				
	Sym	Qty	Botanical Name	Common Name
TREES				
SHRUBS				
	Arc	3	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick
	ArdA	6	<i>Aruncus dioicus var. aethusifolius</i>	Dwarf Goats Beard
	Bc	4	<i>Bromus carinatus</i>	California Brome
	Cq	142	<i>Camassia esculenta</i>	Camas
	Dc	17	<i>Deschampsia cespitosa</i>	Tufted Hair Grass
	Erl	2	<i>Eriophyllum lanatum</i>	Wooly Sunflower
	Hm	24	<i>Heuchera micrantha 'Crevice alumroot'</i>	Crevice alum root
	Jun	4	<i>Juniperus scopulorum 'Blue Creeper'</i>	Blue Creeper Dwarf Rocky Mountain Juniper
	Lma	2	<i>Lonicera 'Mandarin'</i>	Lonicera 'Mandarin'
	Njon	36	<i>Narcissus jonquilla</i>	Daffodil
	Oo	7	<i>Oxalis oregana</i>	Redwood Sorrel
	Vbo	5	<i>Verbena bonariensis</i>	Tall Verbena
		0		#1 pot

THE NIGHT FOREST PLANT LIST				
	Sym	Qty	Botanical Name	Common Name
TREES:				
SHRUBS:				
	Aif	14	<i>Athyrium filix-femina var. cyclosum</i>	Northwestern Lady Fern
	Arc	19	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick
	ArdA	2	<i>Aruncus dioicus var. aethusifolius</i>	Dwarf Goats Beard
	Bs	10	<i>Blechnum spicant</i>	Deer Fern
	Loc	2	<i>Lonicera ciliosa</i>	Western Trumpet Honeysuckle
	Mar	8	<i>Mahonia repens</i>	Prostrate Oregon Grape
	Oo	40	<i>Oxalis oregana</i>	Redwood Sorrel
	Vo	4	<i>Vaccinium ovatum 'Thunderbird'</i>	Evergreen Huckleberry
		0		#3 pot

THE HANG OUT PLANT LIST				
	Sym	Qty	Botanical Name	Common Name
TREES:				
SHRUBS:				
	A-Ar	22	<i>Alcea rosea</i>	Hollyhock
	Arc	14	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick
	Ca	1	<i>Clematis armandii</i>	Evergreen Clematis
	Cmj	7	<i>Clematis x jackmanii</i>	Jackman Clematis
	Ib-Se	35	<i>Iberis sempervirens</i>	Evergreen Candytuft
	Ln-Th	8	<i>Lonicera nitida 'Thunderbolt'</i>	Thunderbolt Boxed Leaf Honey Suckle
	Lnm	6	<i>Lonicera nitida 'Maigrun'</i>	Boxedleaf Honeysuckle 'Maigrun'
	Pac	2	<i>Passiflora caerulea</i>	Blue Passionflower
		0		#1 pot

DALLAS BLUFFS PLANT LIST				
	Sym	Qty	Botanical Name	Common Name
TREES				
SHRUBS				
	Arm	82	<i>Armeria maritima</i>	Common Thrift
	Bc	49	<i>Bromus carinatus</i>	California Brome
	Csf	1	<i>Cornus sericea 'Flaviramea'</i>	Yellow-twig Dogwood
	Dc	18	<i>Deschampsia cespitosa</i>	Tufted Hair Grass
	Lm	14	<i>Leymus mollis</i>	Dune Grass / Dune Wildrye
	Pac	2	<i>Passiflora caerulea</i>	Blue Passionflower
		0		#1 pot



client
Jawl Residential Ltd
3374 Tennyson Ave
Victoria, BC

project
741 FISGARD

741 Fisgard Street
Victoria, BC

sheet title

Plant Schedules

PENTHOUSE LEVEL

PENTHOUSE PLANT LIST				
	Sym	Qty	Botanical Name	Common Name
TREES				

NOTE: PENTHOUSE PLANTING TO BE SELECTED BY FUTURE BUYER

project no. 124.05
scale NA @ 24"x36"
drawn by JR/SC/DT
checked by SM
sheet no. L3.04

L3.04

