

Jawl Residential

741 Fisgard

Victoria, BC

KEY PLAN



Landscape Sheets	
Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information Sheet
L0.02	Tree Replacement
L0.03	Stormwater Management
L1.01	Landscape Materials - Ground Level
L1.02	Landscape Materials - Amenity
L1.03	Landscape Materials - Sky Gardens
L1.04	Landscape Materials - Penthouses
L3.01	Planting - Ground Level
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L3.04	Plant Schedules



NOT FOR CONSTRUCTION

3	REVISED DP	2025-04-10
2	DP REZONING	2024-09-26
1	DEVELOPMENT TRACKER	2024-05-10
No.	Issued For	Issue Date



client
Jawl Residential Ltd
3374 Tennyson Ave
Victoria, BC

project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title
Cover

project no. 124.05
scale n/a @ 24"x36"
drawn by JR/SC/DT
checked by SM
sheet no.

L0.00

GENERAL NOTES

- Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
- Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
- Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
- Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
- Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
- The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

TREE RETENTION AND REMOVAL NOTES

- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
- Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

- All elevations are in meters.
- Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
- All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
- Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
- Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
- All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
- Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

- Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
- Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to electrical drawings for electrical service.
- Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
- Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
- At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
- Trees within shrub or rain garden areas to be irrigated with spray heads.
- Trees in Plaza in hard pavement (soil cells below) to recieve temporary irrigation system around root collar and permanent drip irrigation system

GROWING MEDIUM NOTES

- Refer to Landscape Specifications for growing medium properties by soil type.
- Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
- Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
- Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
- Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyageur Way, Richmond, BC, V6X 3G9, p. 604- 273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
- Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

- Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
- Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
- Written dimensions take precedence over scale. Do not scale drawings.
- All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
- Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

- Plant quantities on Plans shall take precedence over plant list quantities.
- Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

ON-SLAB TREE PLANTING NOTES

- For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier.
- Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
- A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas: a)where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

BOULEVARD PLANTING NOTES

- Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
- Boulevard trees will be place a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
- Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
- Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
- Design/build drawings for boulevard irrigation to be submitted to Contract Administrator in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
- Refer to Civil drawings for location of boulevard irrigation point of connection. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.

PAVING NOTES

- Final concrete control joint layout to be confirmed by Landscape Architect prior to installation. Control joints to logically align with edges, corners, and intersections of Landscape and Architectural elements and/or as indicated on plan. Contractor to obtain layout approval by Landscape Architect prior to installation. Contractor to pour concrete pavement in alternating panels as required to achieve control joint design and to prevent cracking.
- Cast in place concrete areas that are subject to vehicular loading shall be structurally reinforced for applicable vehicular loading requirements. See Structural Engineering drawings.

WARRANTY AND MAINTENANCE NOTES

- Contractor is responsible for Maintenance from installation to Acceptance of the work by the Contract Administrator.
- Refer to Landscape Specifications for Maintenance Period following Acceptance.
- Landscape installation to carry a 1-year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance, as determined by the Landscape Architect. The Contractor will not be responsible for plant loss or damage to other products by causes out of the Contractor's control, such as vandalism, "acts of God", "excessive wear and tear", or abuse.
- Contractor is responsible for plant damage, failure and death due to poor delivery, storage and handling, and all other installation related aspects up until the End of Warranty period.
- Plant material, installation and maintenance to conform with the current edition of the Canadian Landscape Standards, and the Contract Specifications

CITY OF VICTORIA PARKS INSPECTIONS REQUIRED

- Please provide two working days notice to arrange the required Parks Division inspections listed below. Please email the responsible staff member and copy treepermits@victoria.ca. In the event a staff member is away our administration staff will pass along the request to other available staff. If you have issues contacting staff, please call our Parks Office at 250-361-0600.
- Growing Media Testing: Tom Sherbo - tsherbo@victoria.ca
A soil test for the growing medium and compost, for each landscape application, must be submitted to the City Parks treepermits@victoria.ca for review prior to soil placement. The Canadian Landscape Standard Current Edition shall be considered the standard.
- Tree Planting Pit Inspections: Ross Wilkinson - rwilkinson@victoria.ca
The proposed tree planting pits must comply with the City of Victoria Bylaw 12-042, Schedule C.
 - Tree pits, installed root barriers
 - Soil volumes and growing media approved by Parks
- Seed and Sod Boulevard Inspections: Tom Sherbo - tsherbo@victoria.ca
The detail for the seed and sod boulevard is in Schedule B3-4. (Please ensure that adequate soil volumes for the proposed street trees are installed in grass boulevards).
 - Excavated and scarified subgrade prior to backfill
 - Installed, rolled and prepared growing media prior to sodding
 - Inspection when the installed turfgrass meets the conditions for total performance asrequired in the CSLA Landscape Standard Current Edition.

BOULEVARD PLANTING NOTES - CITY OF VICTORIA

- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.
- A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.

BOULEVARD IRRIGATION NOTES - CITY OF VICTORIA

- All boulevard irrigation work, including required inspections, shall comply to "City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw".
- The irrigation system and sleeving inspection requirements can be found in Schedule C of the Victoria Subdivision and Development Servicing Bylaw No. 12-042. Irrigation Inspections required for all sleeving, open trench mainline and lateral lines, system operation, controller, backflow preventer (incl. inspection tag and testing report). Call CoV Parks 250-361-0600 min. 2 days in advance to arrange for irrigation inspections.
- Design/build drawings for boulevard Irrigation drawings must be submitted to Parks Division and Landscape Architect for review and approval minimum 30 days prior to installation work
- Boulevard irrigation point of connection to be 25 mm service from existing water connection on, refer to Civil drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
- Boulevard Irrigation electric zone valves to be RainBird PGA, except tree drip valves: Rainbird Low Flow Control Zone Kit w/ PR Filter; XCZLF-100-PRF 1.
- 100mm diameter PVC Sleeving is required for all irrigation piping installed under hard surfaces. Extend sleeve 300mm beyond edge of hard surface into soft landscape areas.

LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	M	METRE
ARCH	ARCHITECT	MAX	MAXIMUM
AVG	AVERAGE	MFR	MANUFACTURER
B&B	BALLED AND BURLAPPED	MH	MANHOLE
BC	BOTTOM OF CURB	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BENCHMARK	MM	MILLIMETRE
BC	BOTTOM OF CURB	N	NORTH
BR	BOTTOM OF RAMP	NIC	NOT IN CONTRACT
BS	BOTTOM OF STEP	NO	NUMBER
BW	BOTTOM OF WALL	NOM	NOMINAL
CAL	CALIPER	NTS	NOT TO SCALE
CB	CATCH BASIN	OC	ON CENTER
CF	CUBIC FEET	OD	OUTSIDE DIAMETER
CIP	CAST IN PLACE	PC	POINT OF CURVATURE
CL	CENTER LINE	PE	POLYURETHANE
CLR	CLEARANCE	PI	POINT OF INTERSECTION
CM	CENTIMETER	PL	PROPERTY LINE
CO	CLEAN OUT	PT	POINT, POINT OF TANGENCY
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CU M	CUBIC METRE	QTY	QUANTITY
DEG	DEGREE	R	RADIUS
DEMO	DEMOLISH, DEMOLITION	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCE(D)
DIM	DIMENSION	REQ'D	REQUIRE(D)
DTL	DETAIL	REV	REVISION
DWG	DRAWING	ROW	RIGHT OF WAY
E	EAST	S	SOUTH
EA	EACH	SAN	SANITARY
EL	ELEVATION	SD	STORM DRAIN
ENG	ENGINEER	SF	SQUARE FOOT (FEET)
EQ	EQUAL	SHT	SHEET
EST	ESTIMATE	SIM	SIMILAR
E.W	EACH WAY	SPECS	SPECIFICATIONS
EXIST	EXISTING	SQ M	SQUARE METRE
EXP	EXPANSION, EXPOSED	ST	STORM SEWER
FFE	FINISHED FLOOR ELEVATION	STA	STATION
FG	FINISHED GRADE	SYM	SYMMETRICAL
FL	FLOW LINE	T&B	TOP AND BOTTOM
FOC	FACE OF CURB	TC	TOP OF CURB
FT	FOOT (FEET)	TF	TOP OF FOOTING
FTG	FOOTING	TH	THICK
GA	GAUGE	TOPO	TOPOGRAPHY
GEN	GENERAL	TR	TOP OF RAMP
GR	GRADE ELEVATION	TS	TOP OF STEP
HORIZ	HORIZONTAL	TW	TOP OF WALL
HP	HIGH POINT	TYP	TYPICAL
HT	HEIGHT	VAR	VARIES
ID	INSIDE DIAMETER	VOL	VOLUME
INV	INVERT ELEVATION	W	WITH
IN	INCH(ES)	W/O	WITHOUT
INCL	INCLUDE(D)	WT	WEIGHT
JT	JOINT	WL	WATER LEVEL
LF	LINEAR FEET	WWF	WELDED WIRE FRAME
LP	LOW POINT	YD	YARD
		@	AT

HARDSCAPE SURFACES	
	Concrete Paving CoV New Town Standard CIP Sidewalk
	Belgard Glocal Porcelain Paver 600 mm x 600 mm porcelain paver
	Belgard Classic Standard Paver 112.5 mm x 225 mm x 60 mm pedestrain paver
	Concrete Pavers: 225x75x 60mm, Natural Grey, Herringbone Pattern, Mortar Set (CoV New Town Std.)
	Concrete Band
	Street marker on Basal Paver, 300 x 450 mm x 60 mm basalt, mortar set, flame finish with sandblasted lettering, per CoV Stnd.
	Cedar Plank Flooring UV-Treated, 88.9 x 88.9 x 2438 mm planks, stain to match sauna facade

SOFTSCAPE	
	Planting Area -Tree & Shrub -600mm Depth (unless otherwise noted)
	Planting Area -Rain Garden -600mm Depth (unless otherwise noted)

STEPS, RAMPS, CURBS, WALLS	
	Seating Wall - Concrete
	Artificial Landscape Boulder 600mm diameter minimum, no sharp edges, to meet BCSB requirements. Key 1/3 of base into grade.
	Privacy Screen

SITE FURNISHINGS	
	Bike Rack, City of Victoria New Town Standard
	Waste Receptacle, City of Victoria New Town Standard, Round
	Bollard Light, City of Victoria New Town Standard (by others, electrical)
	Wood Bench 450mm height unless otherwise noted. Shapes and lengths vary, see plan.
	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture

STORMWATER MANAGEMENT LEGEND

	Property Line
	Building Footprint
	Extent of Roof / Canopy, ABOVE
	Extent of Parkade, BELOW
	Rain Garden Top of Pool (TP)
	Rain Garden Bottom of Pool (BP)
	Existing Grade
	Proposed Landscape Grade
	Direction of Flow
	Rain Garden Area
	Rain Garden Area - Below Roof
	Shrub Planting

	Impervious Catchment Areas
--	----------------------------

LINE TYPE LEGEND

	Property line
	Building Footprint
	Extent of Roof / Canopy, above
	Extent of Parkade, below
	Statutory Right of Way (SRW)

	Right of Way
	Rain garden - TOP OF POOL
	Rain garden - BOTTOM OF POOL
	Proposed Contour Line, 0.5m interval
	Existing Contour Line, 0.5m interval
	Extent of Existing Treeline
	SPEA
	RAR Setback

UNDERGROUND UTILITIES

(Shown for reference only - refer to Civil Engineer's drawings).

EXISTING		PROPOSED
	Storm Drain	
	Sewer	
	Water	
	Electrical	
	Gas	
	Hydro Tel	

GRADING LEGEND

	Proposed Landscape Grade
	Existing Grade
	Architectural grade, for reference only
	Civil Grade, for reference only
	Proposed Landscape Contour

TREE REPLACEMENT	
	Tree Replacement Zone - Amenity Level
	Tree Replacement Zone - Ground Level
	Frontage Trees Planting Bed



3388A Tennyson Ave
Victoria, BC V8Z 3P6

P: 250.412.2891
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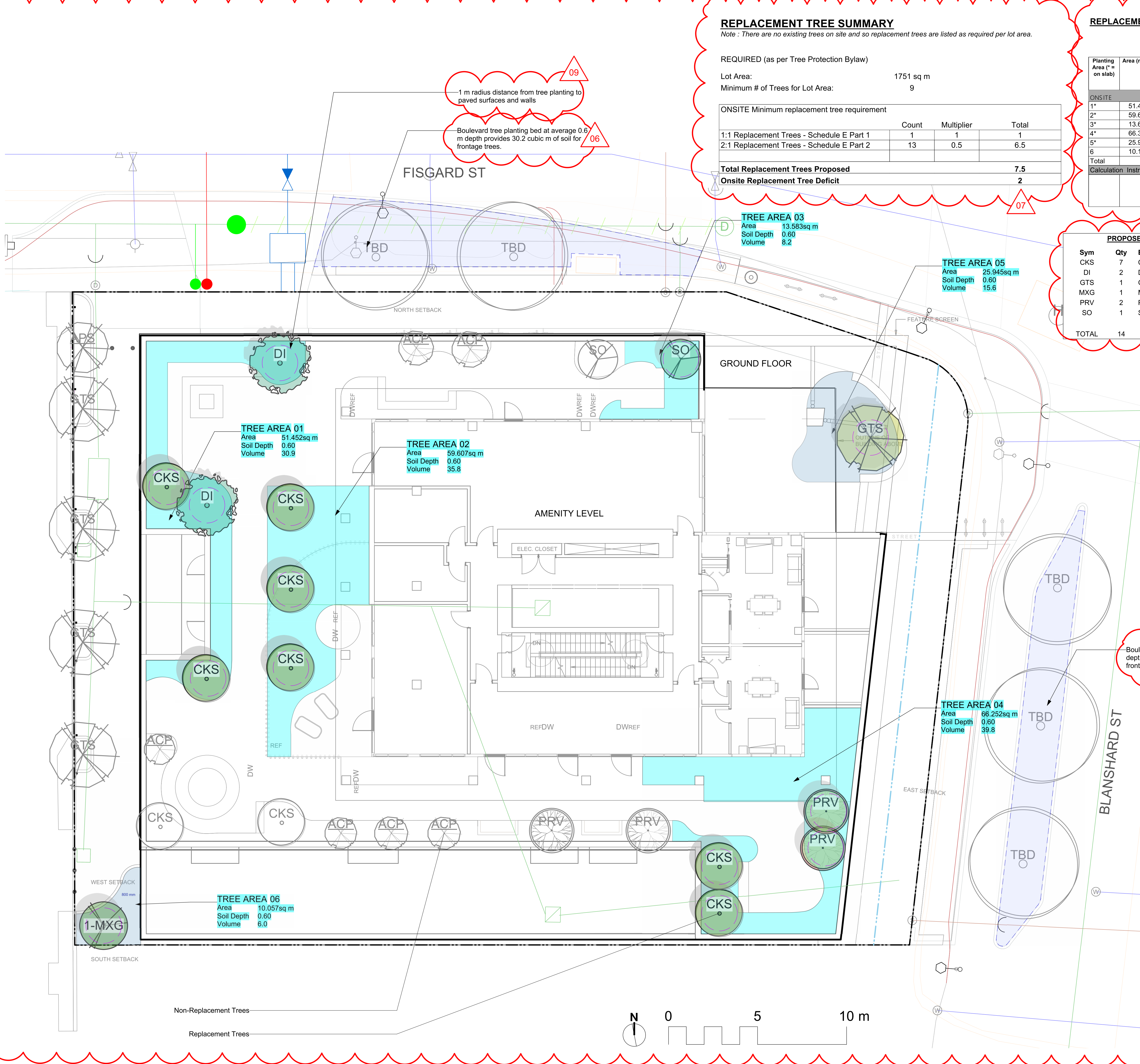
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General Information Sheet	
project no.	124.05
scale	1:100 @ 24"x36"
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REPLACEMENT TREE SUMMARY

Note : There are no existing trees on site and so replacement trees are listed as required per lot area.

REQUIRED (as per Tree Protection Bylaw)

Lot Area: 1751 sq m
Minimum # of Trees for Lot Area: 9

ONSITE Minimum replacement tree requirement

	Count	Multiplier	Total
1:1 Replacement Trees - Schedule E Part 1	1	1	1
2:1 Replacement Trees - Schedule E Part 2	13	0.5	6.5

Total Replacement Trees Proposed 7.5
Onsite Replacement Tree Deficit 2

REPLACEMENT TREE SOIL VOLUME TABLE

				REPLACEMENT TREES PROPOSED			SOIL VOLUME REQUIRED (m3)			
Planting Area ("= on slab)	Area (m2)	Soil Volume Multiplier	A. Estimated Soil Volume (m3)	B. Small	C. Medium	D. Large	E. Small	F. Medium	G. Large	Total
ONSITE										
1*	51.4	0.6	30.9	4			24	0	0	24
2*	59.6	0.6	35.8	3			18	0	0	18
3*	13.6	0.6	8.1	1			6	0	0	6
4*	66.3	0.6	39.8	4			24	0	0	24
5*	25.9	0.6	15.6		1		0	15	0	15
6	10.1	0.6	6.0	1			6	0	0	6
Total				13	1	0				
Calculation Instructions							E	F	G	Total E+F+G
							If B=1, Bx8, If B>1, Bx6	If C=1, Cx20, If C>1, Cx15	If D=1, Dx35, If D>1, Dx30	

PROPOSED TREE LIST - REPLACEMENT

Sym	Qty	Botanical Name	Schd. Size	Common Name
CKS	7	Cornus kousa 'Satomi'	6.0 cm cal, b&b	Satomi Dogwood
DI	2	Davidia involucrata	6.0 cm cal, b&b	Dove Tree
GTS	1	Gleditsia triacanthos 'Shademaster'	6.0 cm cal, b&b	Shademaster Honeylocust
MXG	1	Magnolia x 'Galaxy'	6.0 cm cal, b&b	Galaxy Magnolia
PRV	2	Parrotia persica 'Ruby Vase'	6.0 cm cal, b&b	Ruby Vase Persian Ironwood
SO	1	Styrax obassia	6.0 cm cal, b&b	Fragrant Snowbell
TOTAL	14			

LEGEND

	Tree Replacement Zone - Amenity Level
	Tree Replacement Zone - Ground Level
	Frontage Trees Planting Bed



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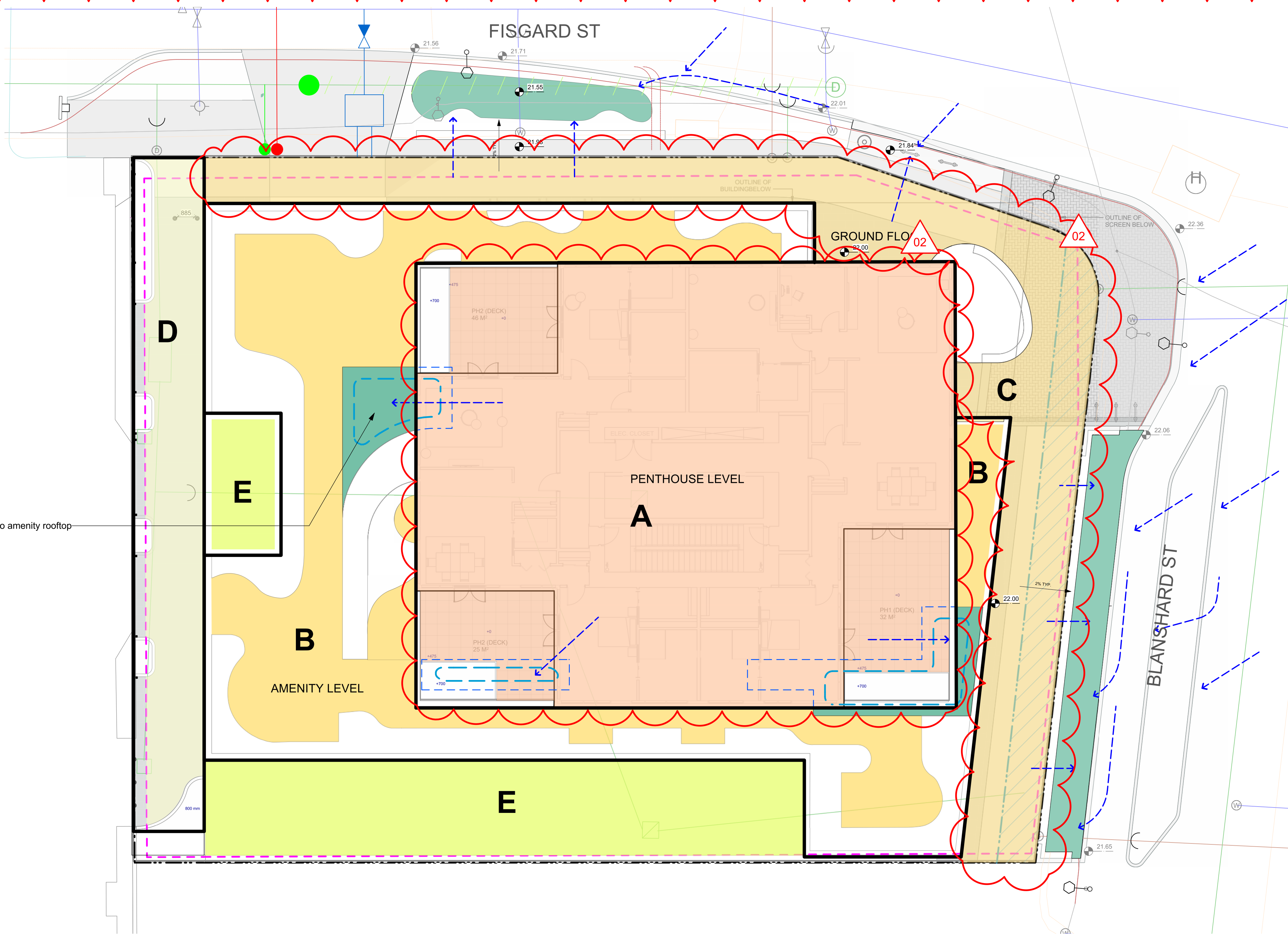
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Tree Replacement

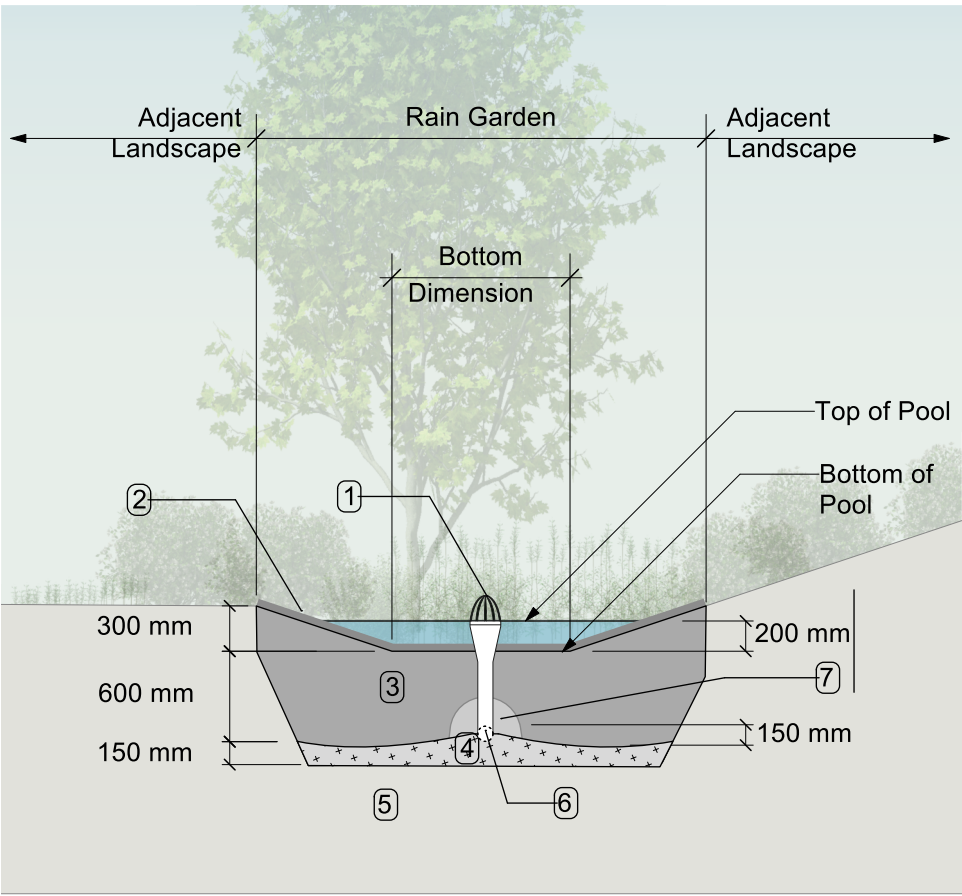
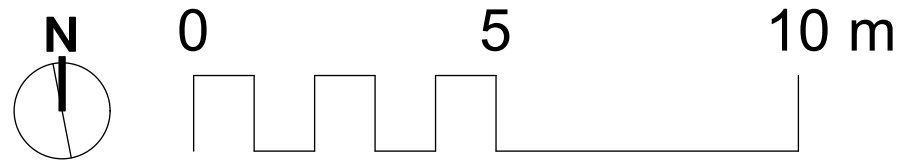
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L0.02



STORMWATER MANAGEMENT LEGEND

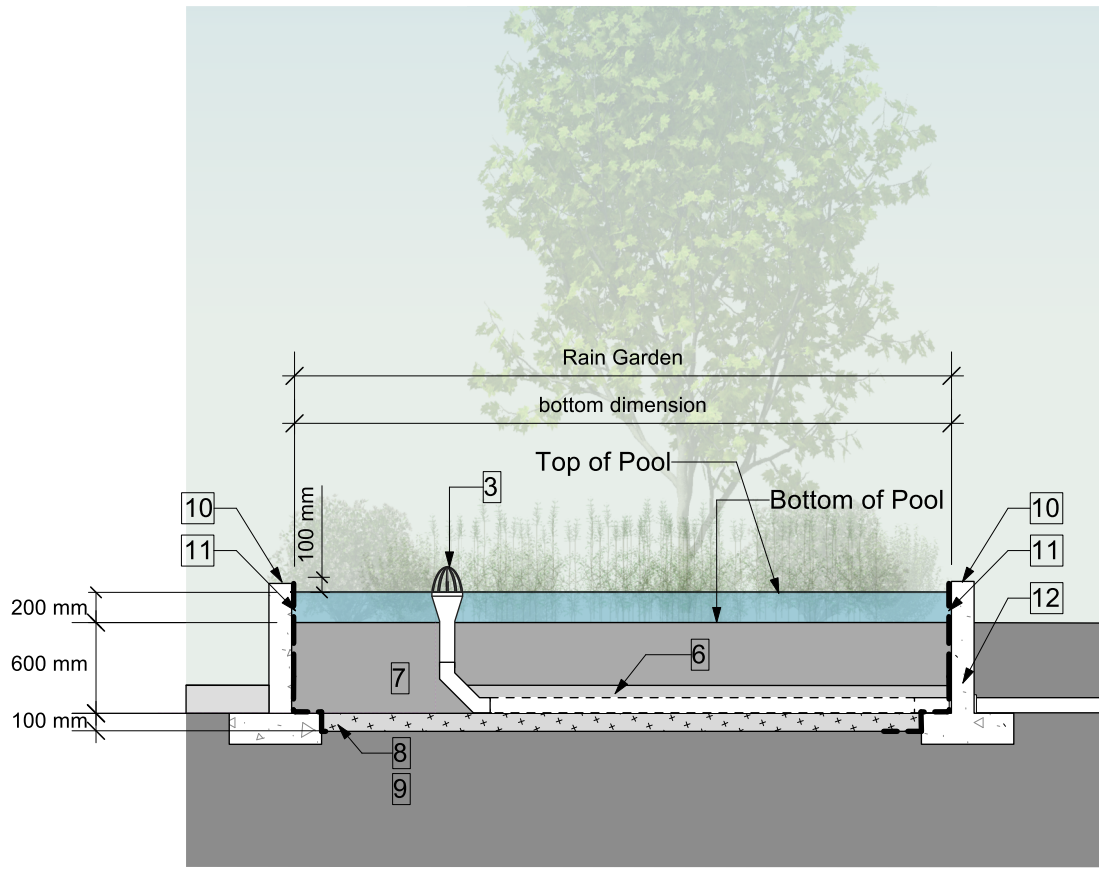
-----	Property Line
————	Building Footprint
- - - - -	Extent of Roof / Canopy, ABOVE
-----	Extent of Parkade, BELOW
-----	Rain Garden Top of Pool (TP)
-----	Rain Garden Bottom of Pool (BP)
17.70	Existing Grade
17.70	Proposed Landscape Grade
-----	Direction of Flow
-----	Rain Garden Area
-----	Rain Garden Area - Below Roof
-----	Shrub Planting
-----	Impervious Catchment Areas



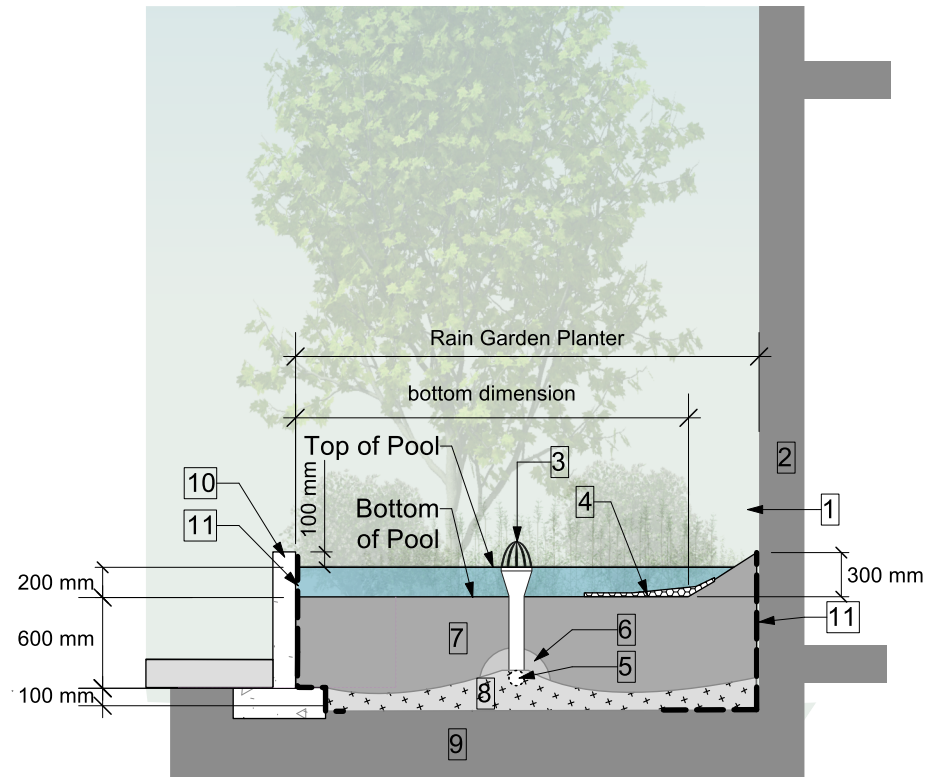
RAIN GARDEN MATERIALS

1. Overflow drain, 200 mm domed grate + adapter
2. Composted mulch, 50-70 mm depth
3. Bio-retention growing medium, 600 mm depth
4. Scarified/tilled subgrade, 150 mm depth
5. Existing subgrade/native material
6. 100 mm diameter (min) perforated pipe
7. 25 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden
Scale: 1:50



2 Typical Rain Garden in Planter
Scale: 1:50



RAIN GARDEN PLANTER MATERIALS

1. Building rainwater leader/downspout
2. Structural wall
3. Overflow drain, 200 mm domed grate + adapter
4. Gravel flow dissipator
5. 100 mm diameter perforated pipe
6. 25 mm dia drain rock, 100 mm depth
7. Bio-retention growing medium, 600 mm depth
8. Pex Gravel Drainage Layer, 100 mm depth
9. Concrete slab
10. Structural retaining wall
11. PVC liner
12. Waterproof PVC boot and clamp

CITY OF VICTORIA STORMWATER CALCULATIONS

Rain Garden Sizing Calculations

Catchment Area	Contributing Impervious Area (sq. m.)	Design Storm Runoff Volume (cu. m./day)	Planter Growing Medium Depth (m.)	Stormwater Treatment Capacity per sq. m. of Rain Garden (cu. m./day)	Rain Garden Base Area (sq. m.)	Rain Garden Capacity*** (cu. m./day)	Sizing Factor (Water Quality Methodology)	Additional Storage Requirement (cu. m)
Catchment A - Penthouse	614	19.7	0.60	0.80	33	26.0	5%	-6.3
Catchment B - Amenity	271	8.7	0.60	0.80	0	0.0	0%	8.7
Catchment C - Sidewalk	253	8.1	0.60	0.80	32	25.4	13%	-17.3
Catchment D - Alley	99	3.2	0.60	0.80	0	0.0	0%	3.2
Catchment E - Lower Balcony	176	5.6	0.60	0.80	0	0.0	0%	5.6
total	1413	45						17.5

Assumptions

* Design storm is 32mm of water, in a 24 hr period.

** Roughly 546 square metre impervious area will be managed by engineered stormwater tank or other approved method.

*** Rain Garden capacity based on 200 mm live ponding plus 20% of the sand/ compost growing medium volume (assuming growing medium has 20% void space) with a minimum infiltration rate of 2 cm/hour (or 48 cm per day), via perforated underdrain.

****Landscaped areas require minimum 170mm depth of growing medium in order to manage 32mm rainfall / 24 hours (assuming 20% void space). Engineered green roof systems that are shown to meet the minimum requirements may also be included.

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drawn by

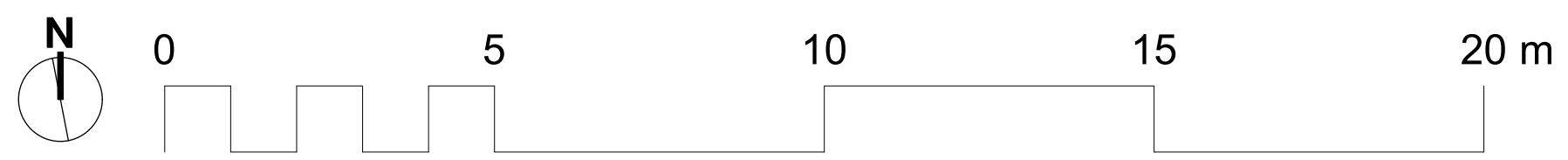
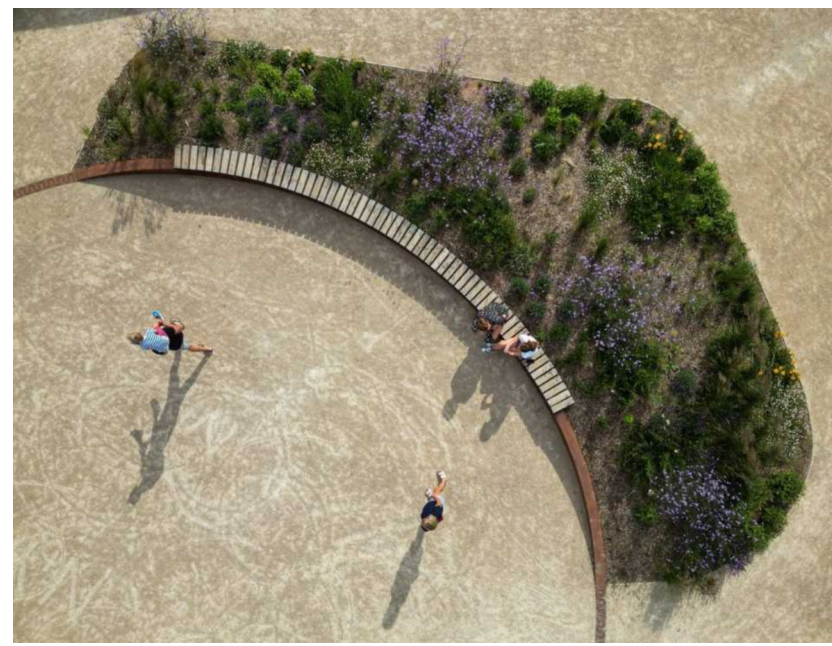
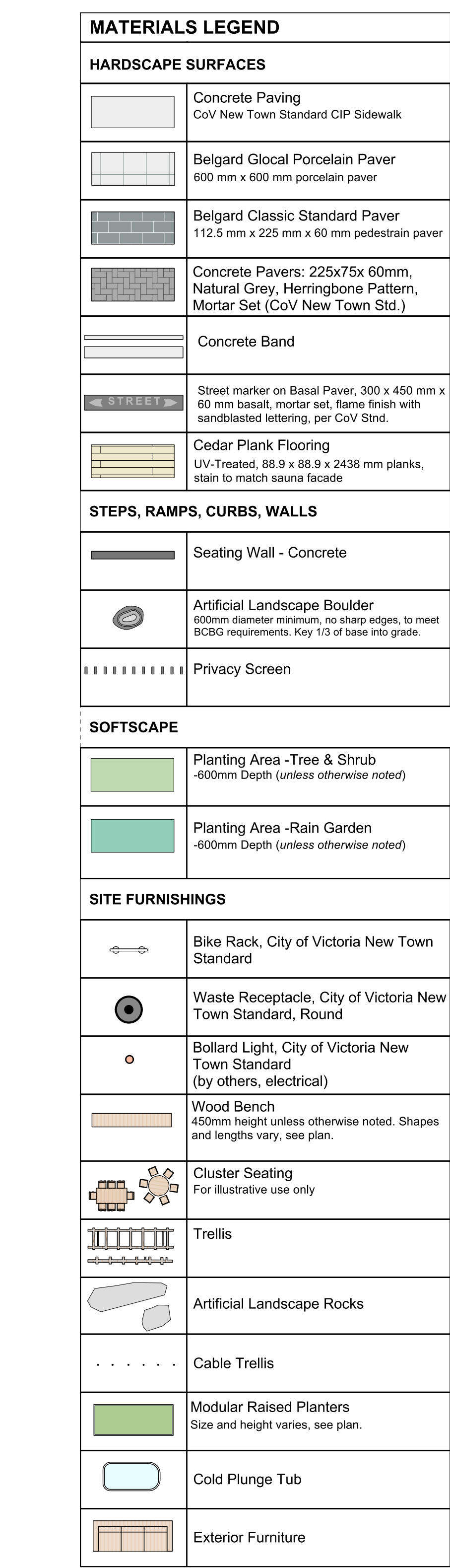
JR/SC/DT

checked by

SM

sheet no.

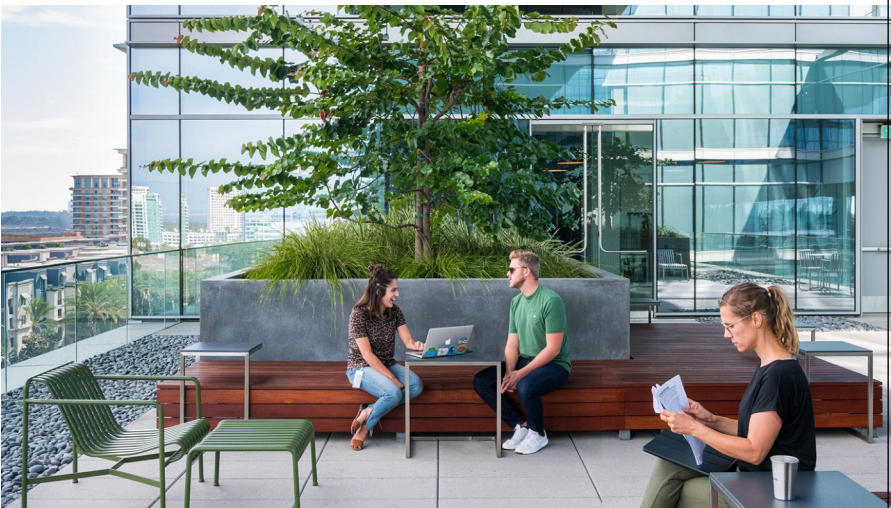
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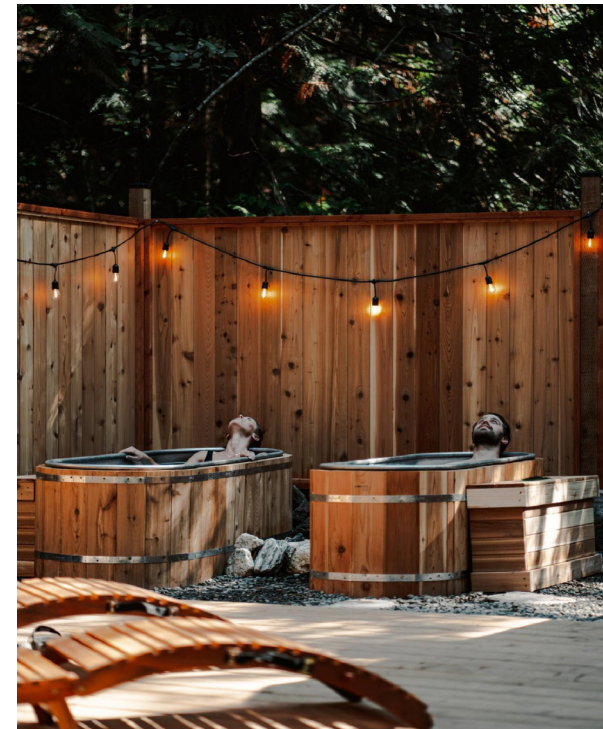
Upholstered seating area with propane fire table.



Outdoor Work Spaces



Sauna & Cold Plunge



Play / Seating Structure

Railing height to match BCBG guidelines at all locations



Outdoor dining table with view

LINE TYPE LEGEND

---	Property line
—	Building Footprint
----	Extent of Roof / Canopy, above
----	Extent of Parkade, below

MATERIALS LEGEND

HARDSCAPE SURFACES

	Concrete Paving CoV New Town Standard CIP Sidewalk
	Belgard Global Porcelain Paver 600 mm x 600 mm porcelain paver
	Belgard Classic Standard Paver 112.5 mm x 225 mm x 60 mm pedestrain paver
	Concrete Pavers: 225x75x 60mm, Natural Grey, Herringbone Pattern, Mortar Set (CoV New Town Std.)
	Concrete Band
	Street marker on Basal Paver, 300 x 450 mm x 60 mm basalt, mortar set, flame finish with sandblasted lettering, per CoV Std.
	Cedar Plank Flooring UV-Treated, 88.9 x 88.9 x 2438 mm planks, stain to match sauna facade

STEPS, RAMPS, CURBS, WALLS

	Seating Wall - Concrete
	Artificial Landscape Boulder 600mm diameter minimum, no sharp edges, to meet BCBG requirements. Key 1/3 of base into grade.
	Privacy Screen

SOFTSCAPE

	Planting Area -Tree & Shrub -600mm Depth (unless otherwise noted)
	Planting Area -Rain Garden -600mm Depth (unless otherwise noted)

SITE FURNISHINGS

	Bike Rack, City of Victoria New Town Standard
	Waste Receptacle, City of Victoria New Town Standard, Round
	Bollard Light, City of Victoria New Town Standard (by others, electrical)
	Wood Bench 450mm height unless otherwise noted. Shapes and lengths vary, see plan.
	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture



NOT FOR CONSTRUCTION

3	REVISED DP	2025-04-10
2	DP REZONING	2024-09-26
1	DEVELOPMENT TRACKER	2024-05-10

No.	Issued For	Issue Date
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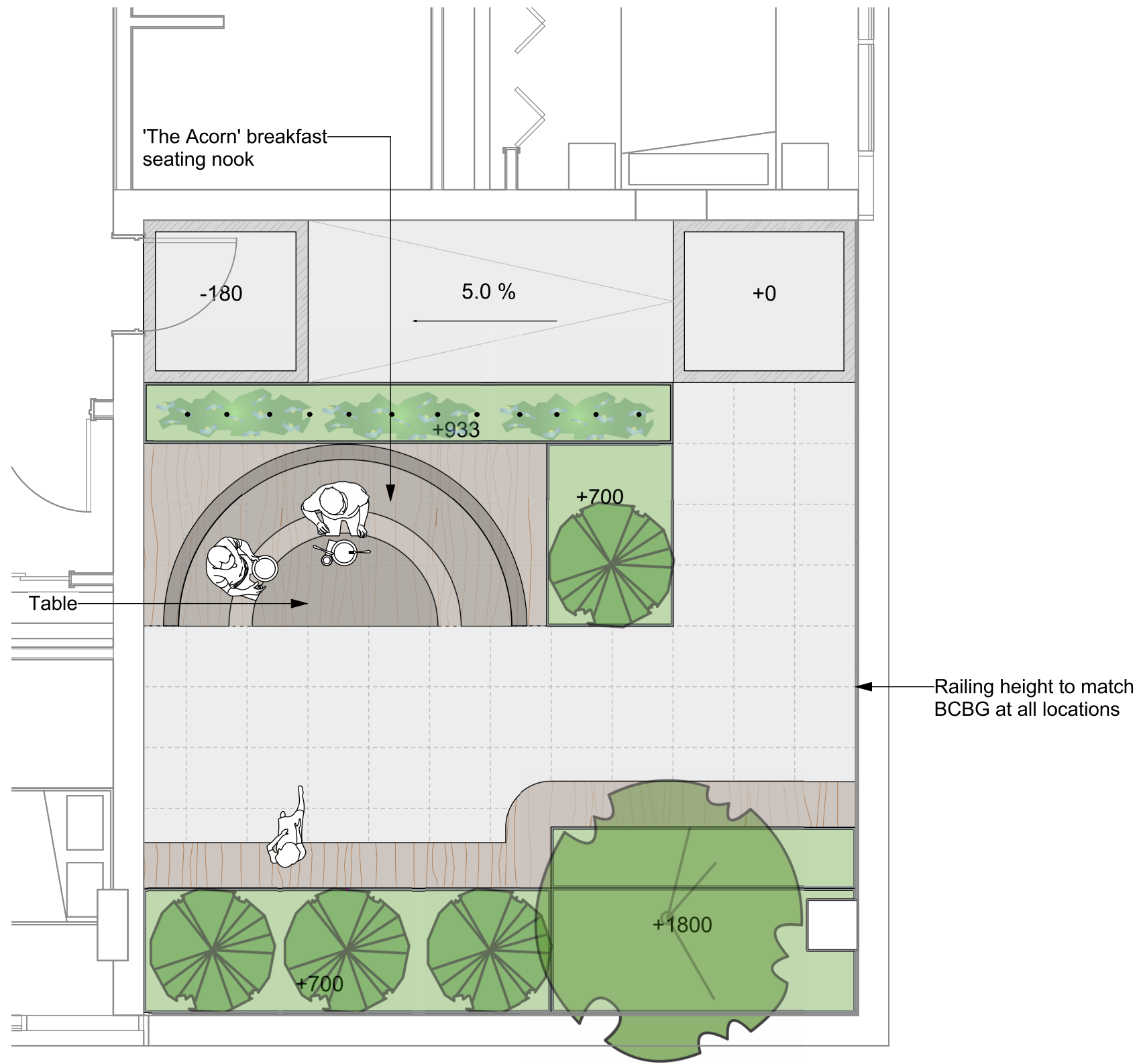
client
Jawl Residential Ltd
3374 Tennyson Ave
Victoria, BC

project
741 FISGARD
741 Fisgard Street
Victoria, BC

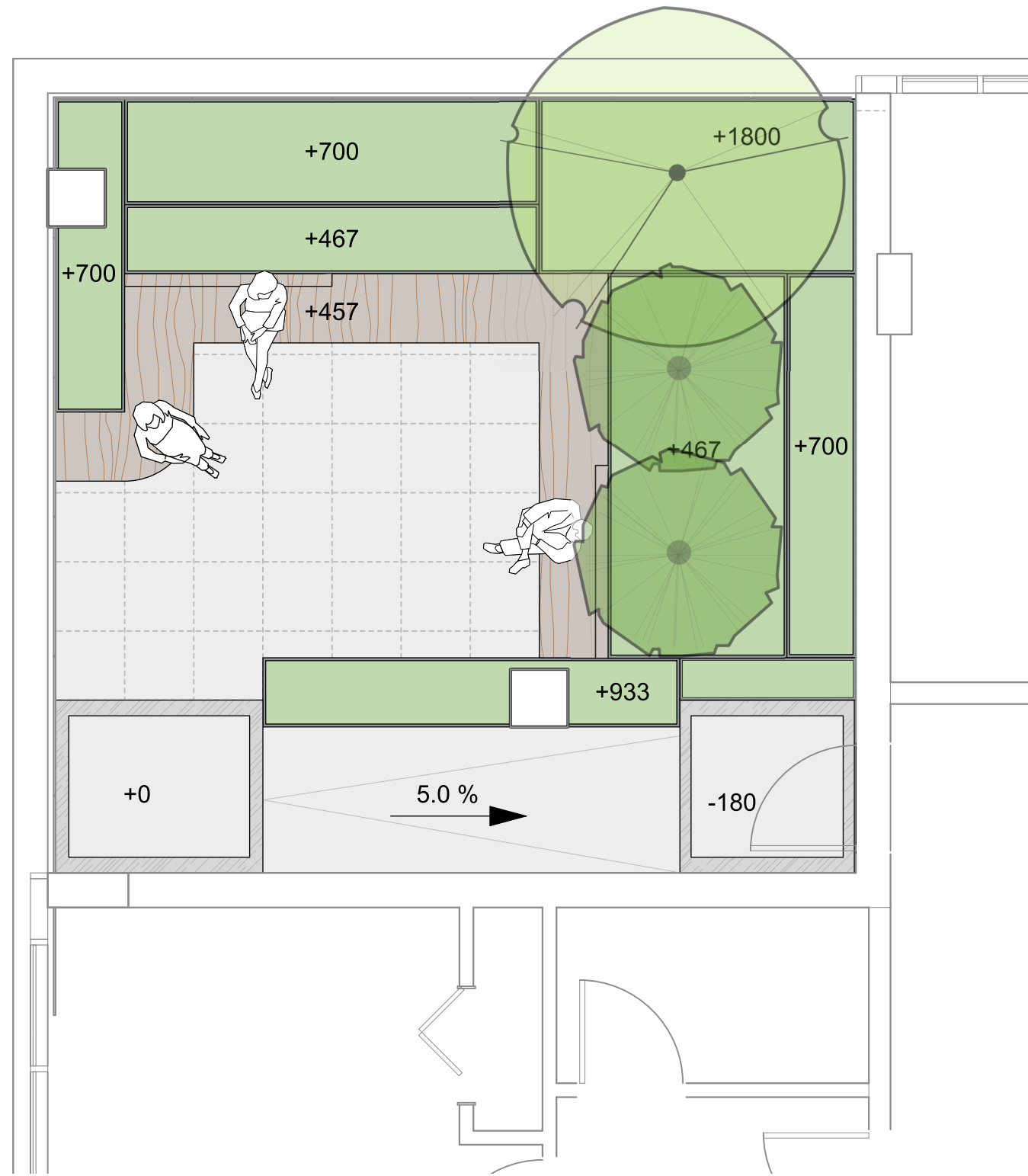
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Materials - Amenity**

project no.	124.05
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checked by	SM
sheet no.	

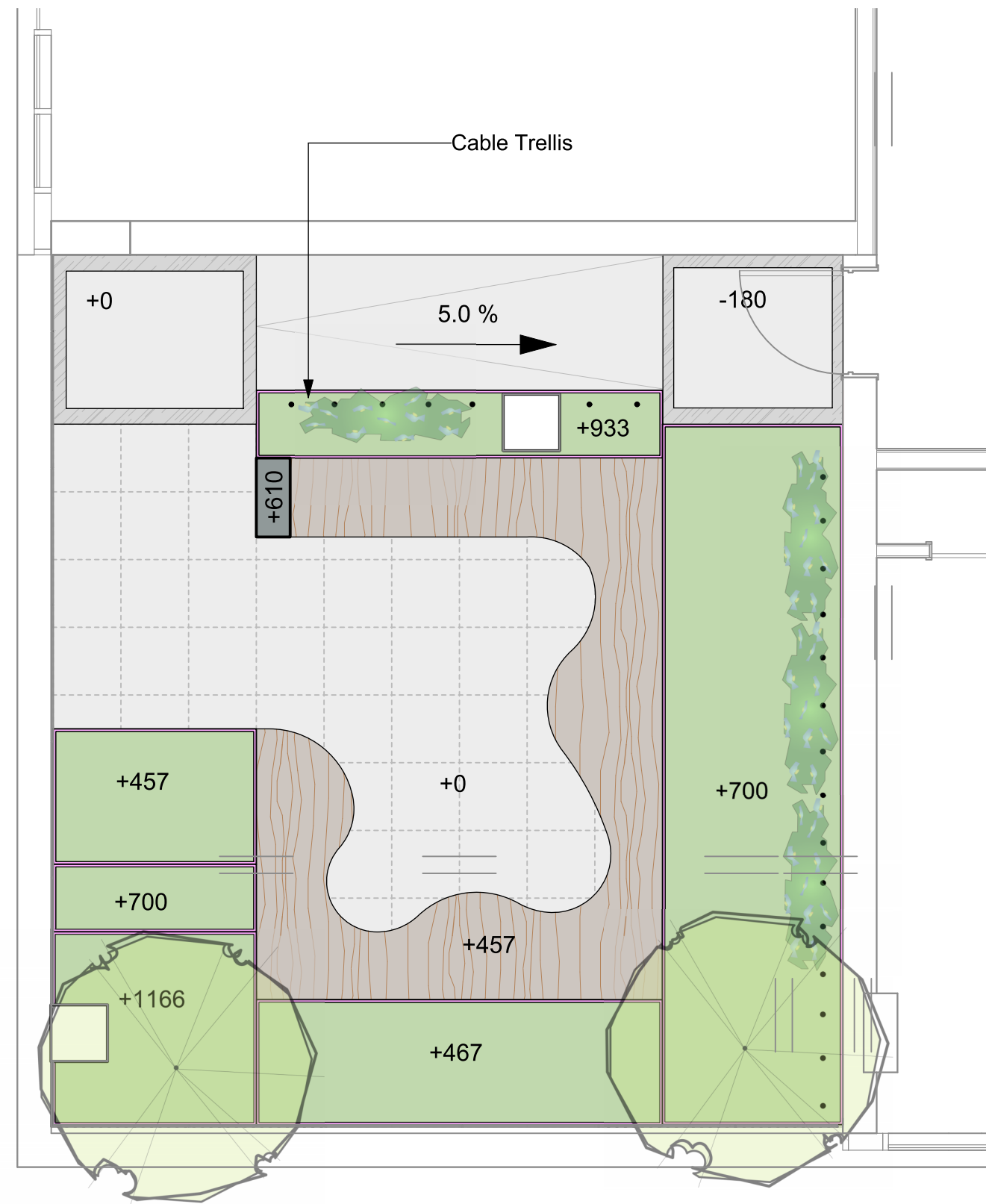
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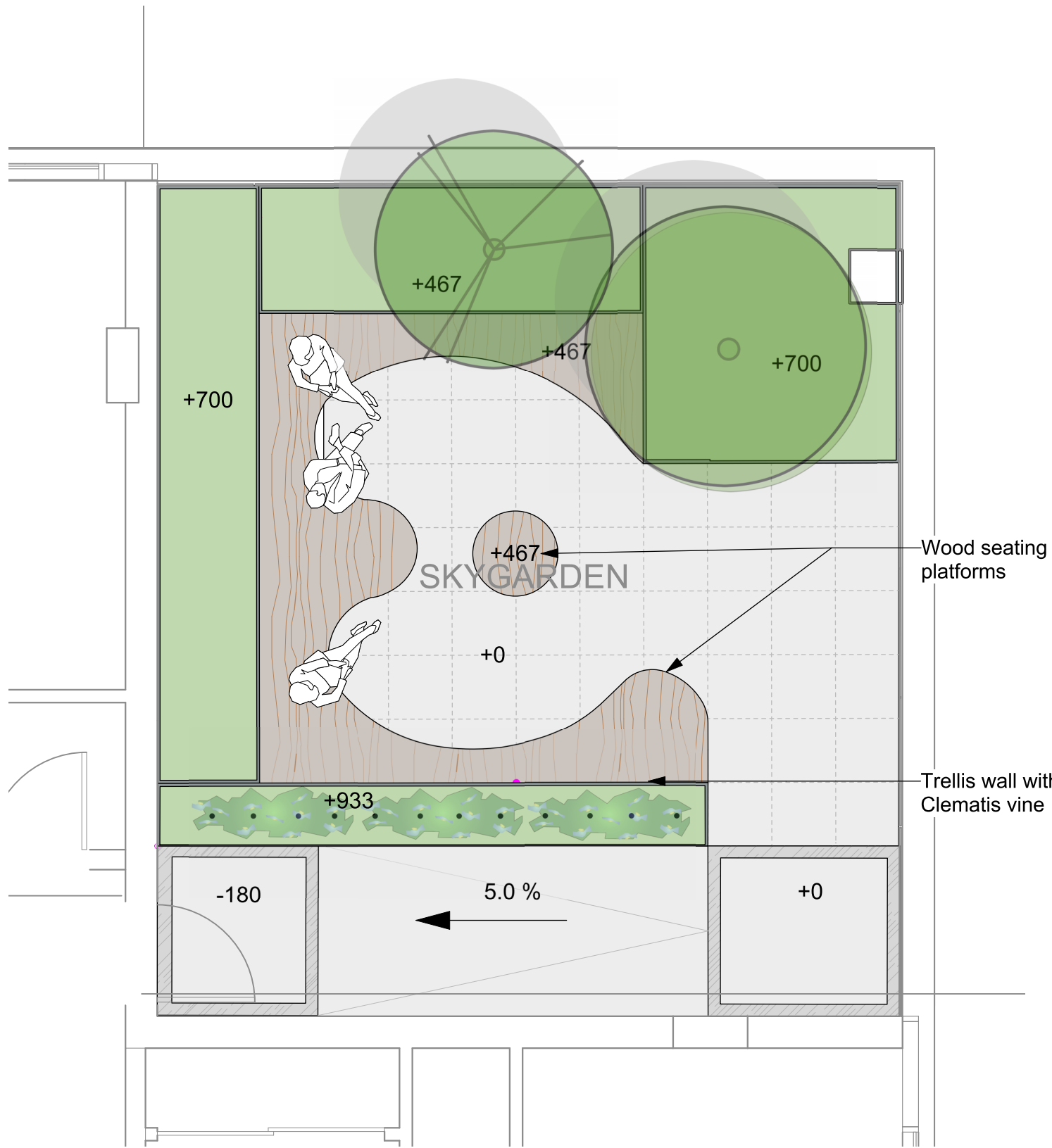
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Scale: 1:50



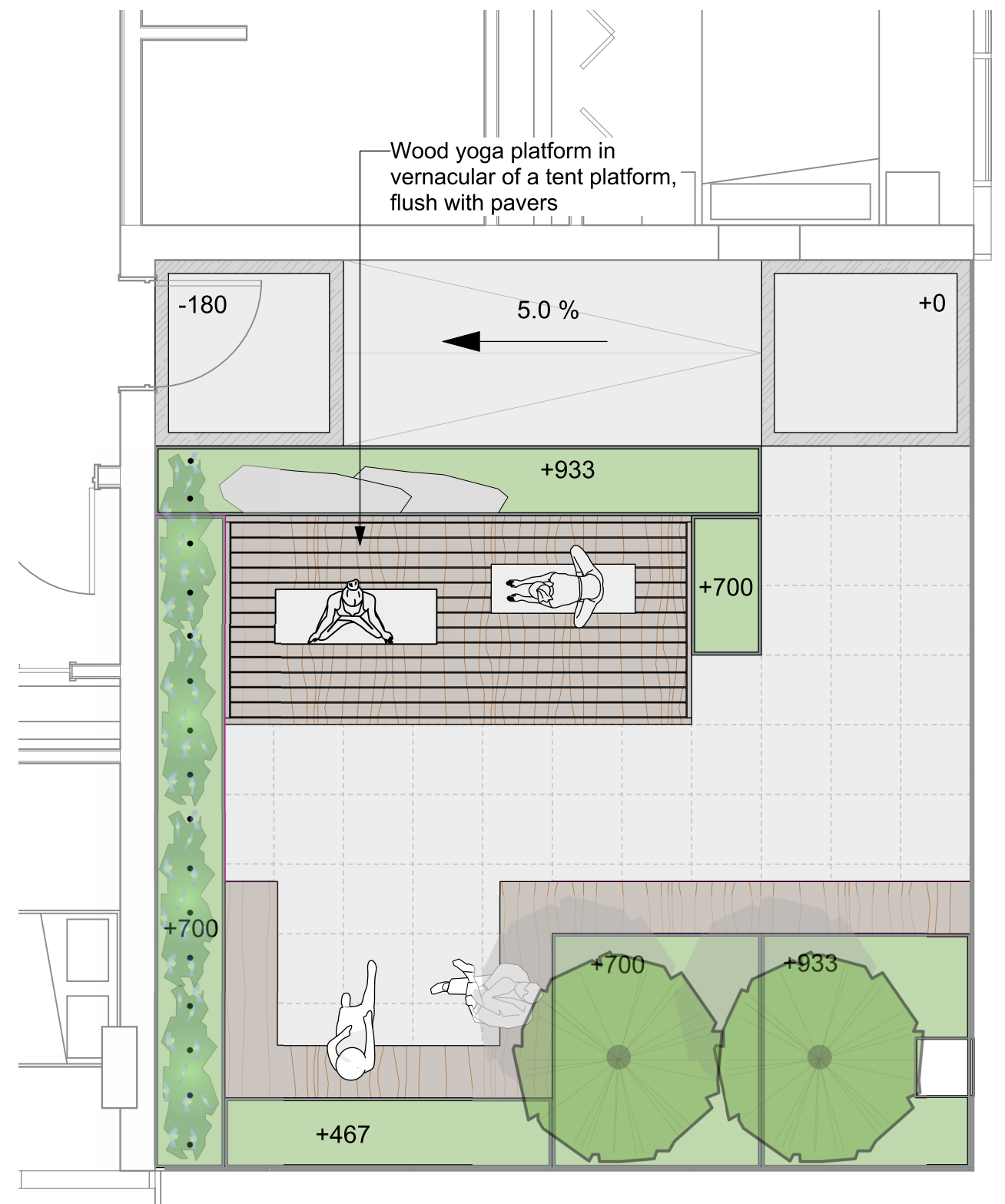
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Scale: 1:50



3 The Hang Out - SW - L 12/13
Scale: 1:50



4 The Dogwood Showcase - NE - L 14/15
Scale: 1:50

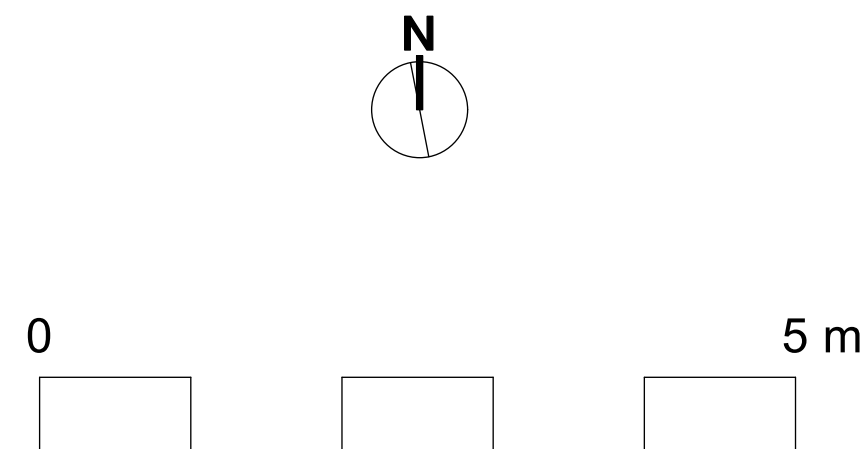


5 Strathcona Subalpine - SE - L 17/18
Scale: 1:50



6 The Dallas Bluffs - SW - L 19/20
Scale: 1:50

MATERIALS LEGEND	
HARDSCAPE SURFACES	
	Concrete Paving CoV New Town Standard CIP Sidewalk
	Belgard Glocal Porcelain Paver 600 mm x 600 mm porcelain paver
	Belgard Classic Standard Paver 112.5 mm x 225 mm x 60 mm pedestrian paver
	Concrete Pavers: 225x75x 60mm, Natural Grey, Herringbone Pattern, Mortar Set (CoV New Town Std.)
	Concrete Band
	Street marker on Basal Paver, 300 x 450 mm x 60 mm basalt, mortar set, flame finish with sandblasted lettering, per CoV Std.
	Cedar Plank Flooring UV-Treated, 88.9 x 88.9 x 2438 mm planks, stain to match sauna facade
STEPS, RAMPS, CURBS, WALLS	
	Seating Wall - Concrete
	Artificial Landscape Boulder 600mm diameter minimum, no sharp edges, to meet BCBG requirements. Key 1/3 of base into grade.
	Privacy Screen
SOFTSCAPE	
	Planting Area -Tree & Shrub -600mm Depth (unless otherwise noted)
	Planting Area -Rain Garden -600mm Depth (unless otherwise noted)
SITE FURNISHINGS	
	Bike Rack, City of Victoria New Town Standard
	Waste Receptacle, City of Victoria New Town Standard, Round
	Bollard Light, City of Victoria New Town Standard (by others, electrical)
	Wood Bench 450mm height unless otherwise noted. Shapes and lengths vary, see plan.
	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture



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client
Jawl Residential Ltd
3374 Tennyson Ave
Victoria, BC

project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title
**Landscape
Materials - Sky
Gardens**

project no.	124.05
scale	1:50 @ 24"x36"
drawn by	JR/SC/DT
checked by	SM
sheet no.	

L1.03



MATERIALS LEGEND	
HARDSCAPE SURFACES	
	Concrete Paving CoV New Town Standard CIP Sidewalk
	Belgard Glocal Porcelain Paver 600 mm x 600 mm porcelain paver
	Belgard Classic Standard Paver 112.5 mm x 225 mm x 60 mm pedestrain paver
	Concrete Pavers: 225x75x 60mm, Natural Grey, Herringbone Pattern, Mortar Set (CoV New Town Std.)
	Concrete Band
	Street marker on Basal Paver, 300 x 450 mm x 60 mm basalt, mortar set, flame finish with sandblasted lettering, per CoV Std.
	Cedar Plank Flooring UV-Treated, 88.9 x 88.9 x 2438 mm planks, stain to match sauna facade
STEPS, RAMPS, CURBS, WALLS	
	Seating Wall - Concrete
	Artificial Landscape Boulder 600mm diameter minimum, no sharp edges, to meet BCBG requirements. Key 1/3 of base into grade.
	Privacy Screen
SOFTSCAPE	
	Planting Area -Tree & Shrub -600mm Depth (unless otherwise noted)
	Planting Area -Rain Garden -600mm Depth (unless otherwise noted)
SITE FURNISHINGS	
	Bike Rack, City of Victoria New Town Standard
	Waste Receptacle, City of Victoria New Town Standard, Round
	Bollard Light, City of Victoria New Town Standard (by others, electrical)
	Wood Bench 450mm height unless otherwise noted. Shapes and lengths vary, see plan.
	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture

MDI LANDSCAPE ARCHITECTS
5388A Tennyson Ave
Victoria, BC V8Z 3P6
P: 250.412-2891
E: admin@mdidesign.ca

NOT FOR CONSTRUCTION

3	REVISED DP	2025-04-10
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1	DEVELOPMENT TRACKER	2024-05-10
No.	Issued For	Issue Date

client
Jawl Residential Ltd
3374 Tennyson Ave
Victoria, BC

project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title
**Landscape
Materials -
Penthouses**

project no. 124.05
scale 1:50 @ 24"x36"
drawn by JR/SC/DT
checked by SM
sheet no.

L1.04



3	REVISED DP	2025-04-10
2	DP REZONING	2024-09-26
1	DEVELOPMENT TRACKER	2024-05-10
No.	Issued For	Issue Date



project

741 FISGARD

741 Fisgard Street

Victoria, BC

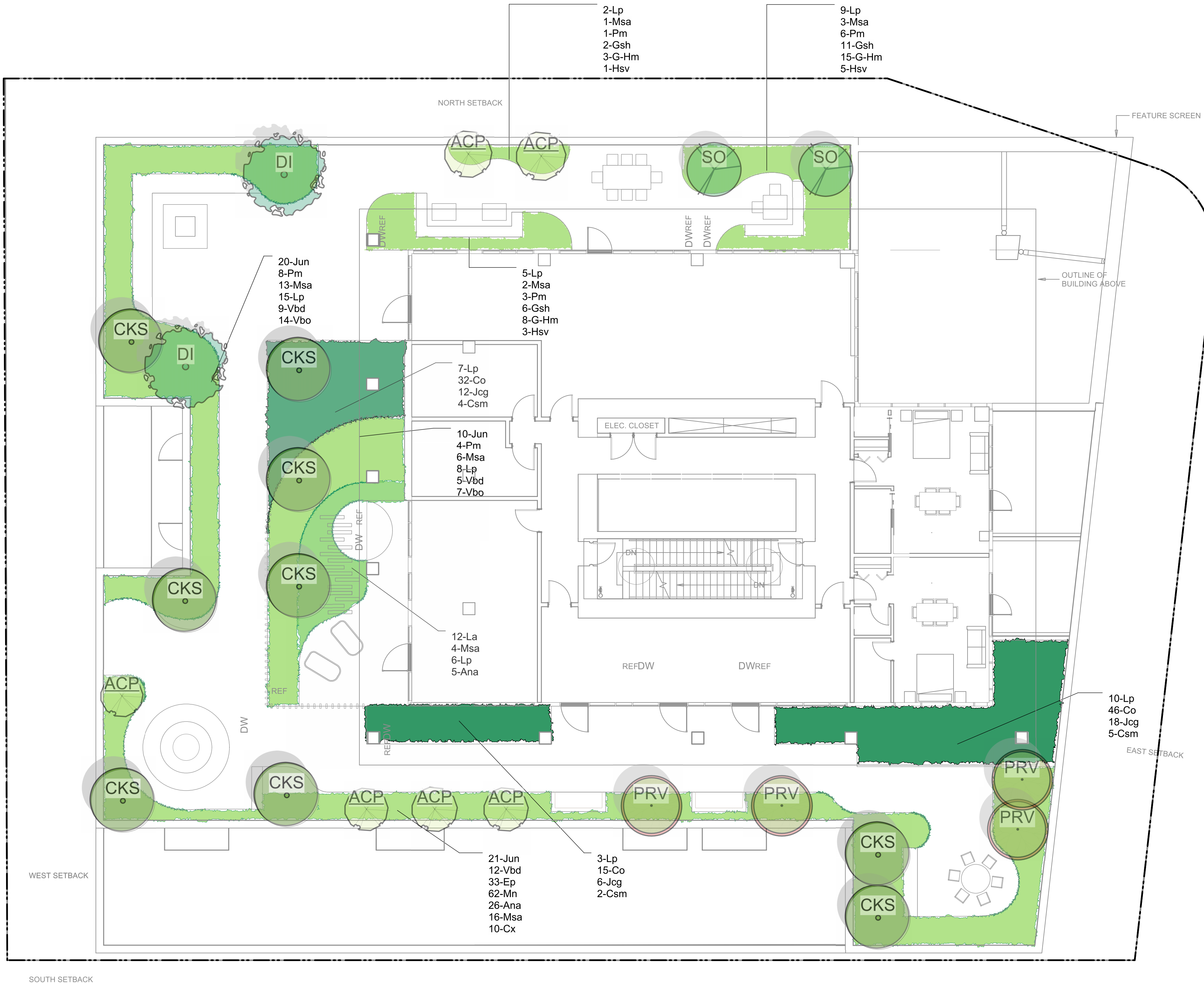
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Planting - Ground Level

project no.	124.05
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drawn by	JR/SC/DT
checked by	SM
sheet no.	

L3.01





REFER TO SHEET L3.04 FOR
PLANT SCHEDULES

NOT FOR CONSTRUCTION

3	REVISED DP	2025-04-10
2	DP REZONING	2024-09-26
1	DEVELOPMENT TRACKER	2024-05-10
No.	Issued For	Issue Date

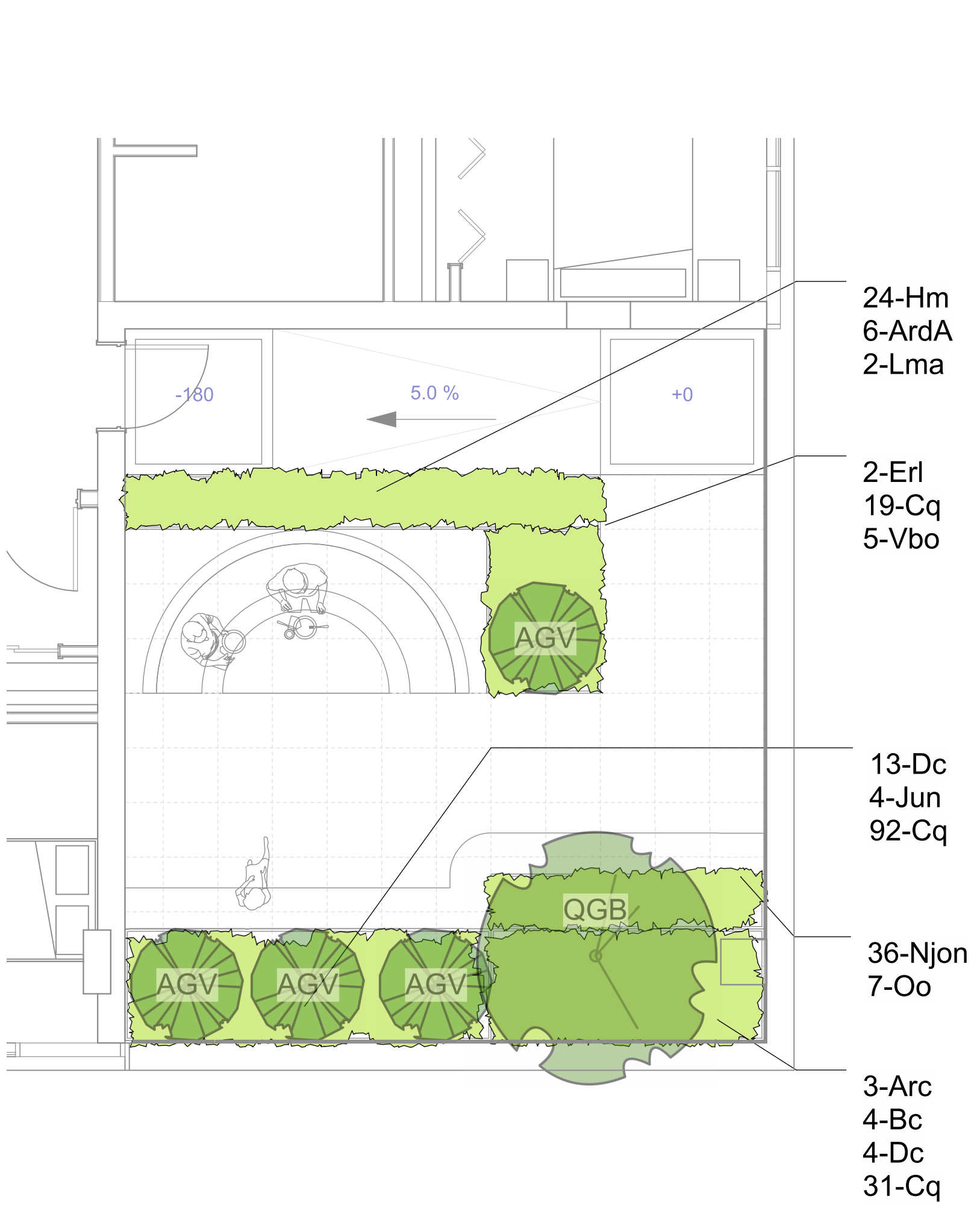


client
Jawl Residential Ltd
3374 Tennyson Ave
Victoria, BC

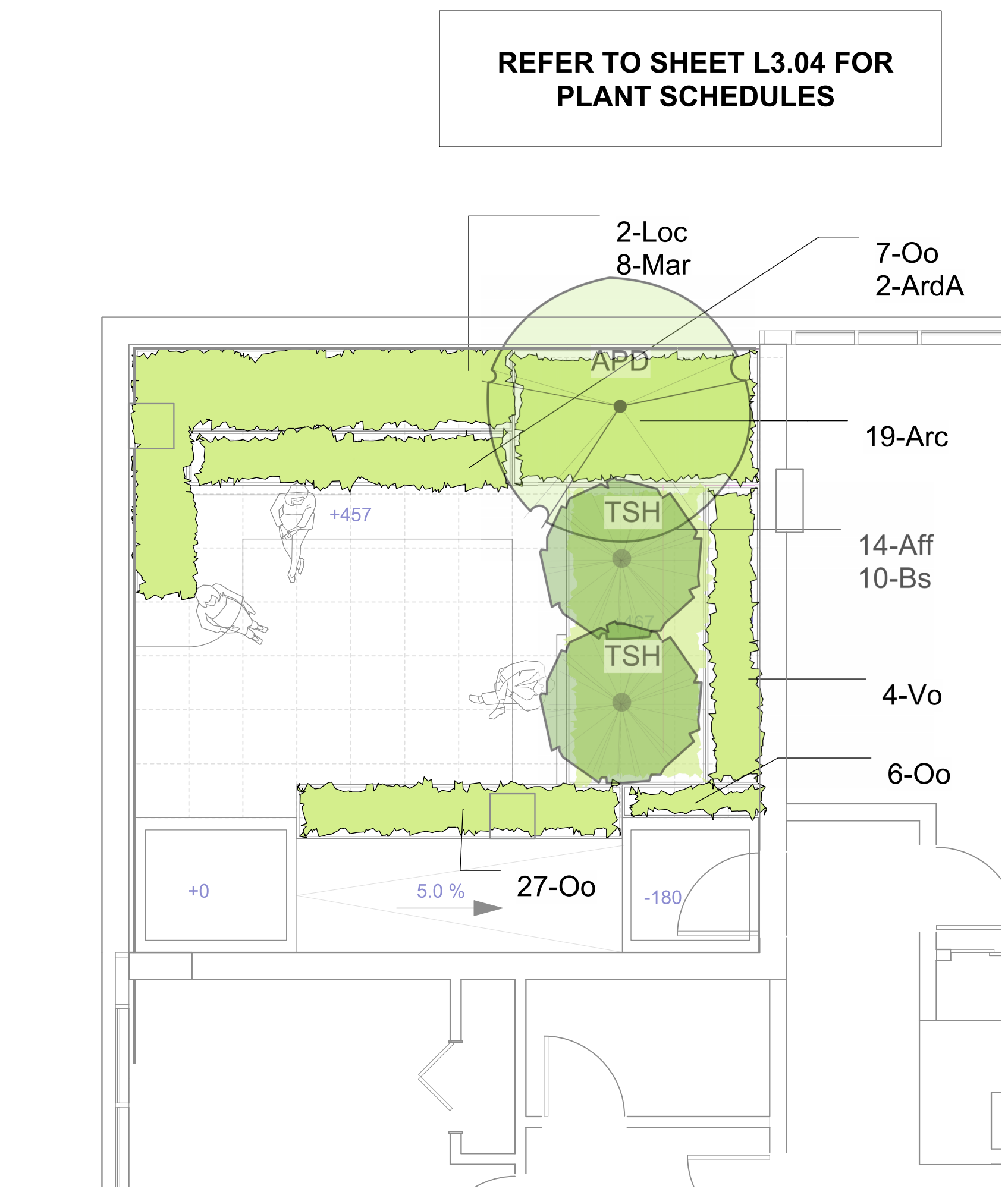
project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title
Planting - Amenity

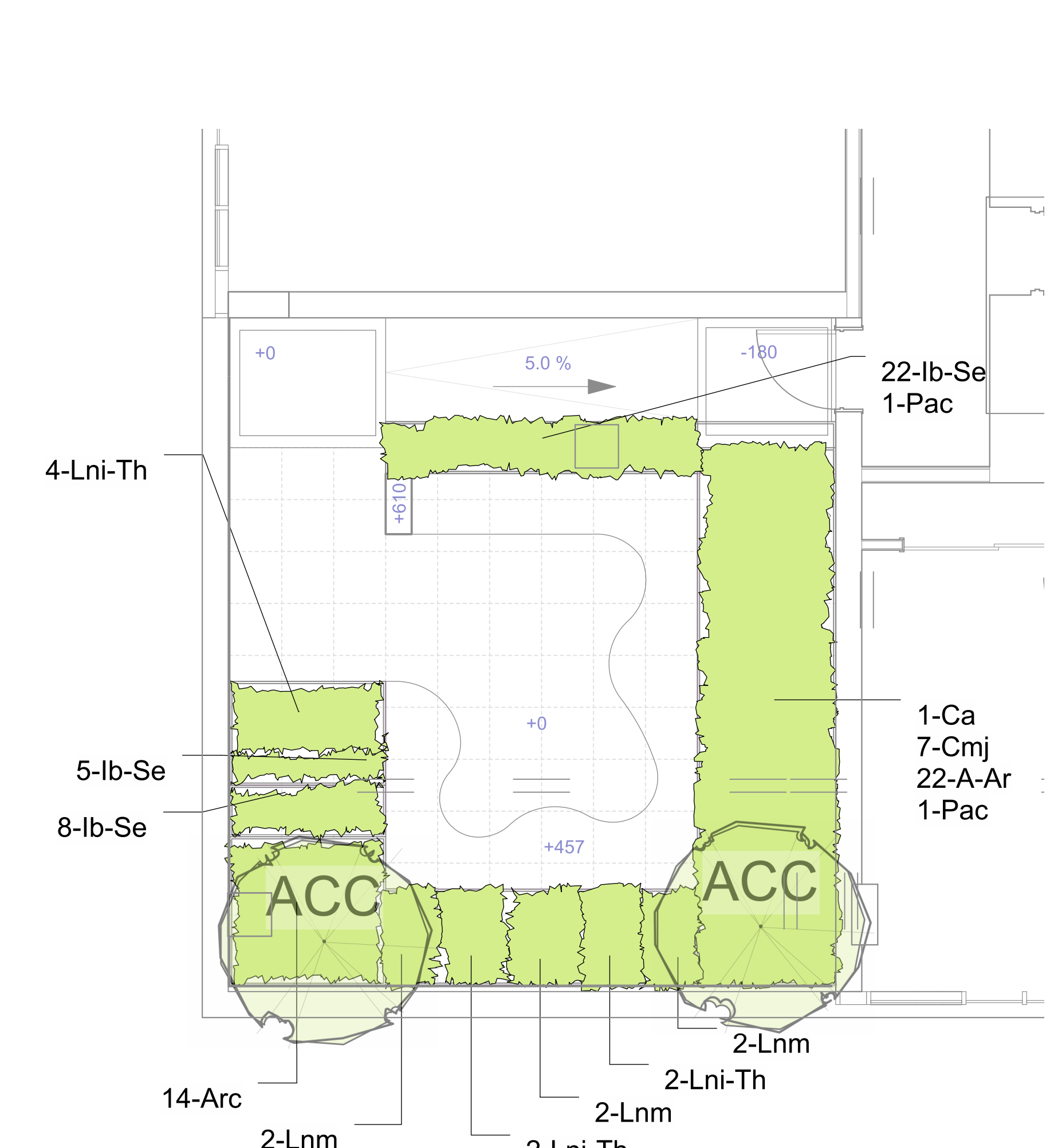
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sheet no.	



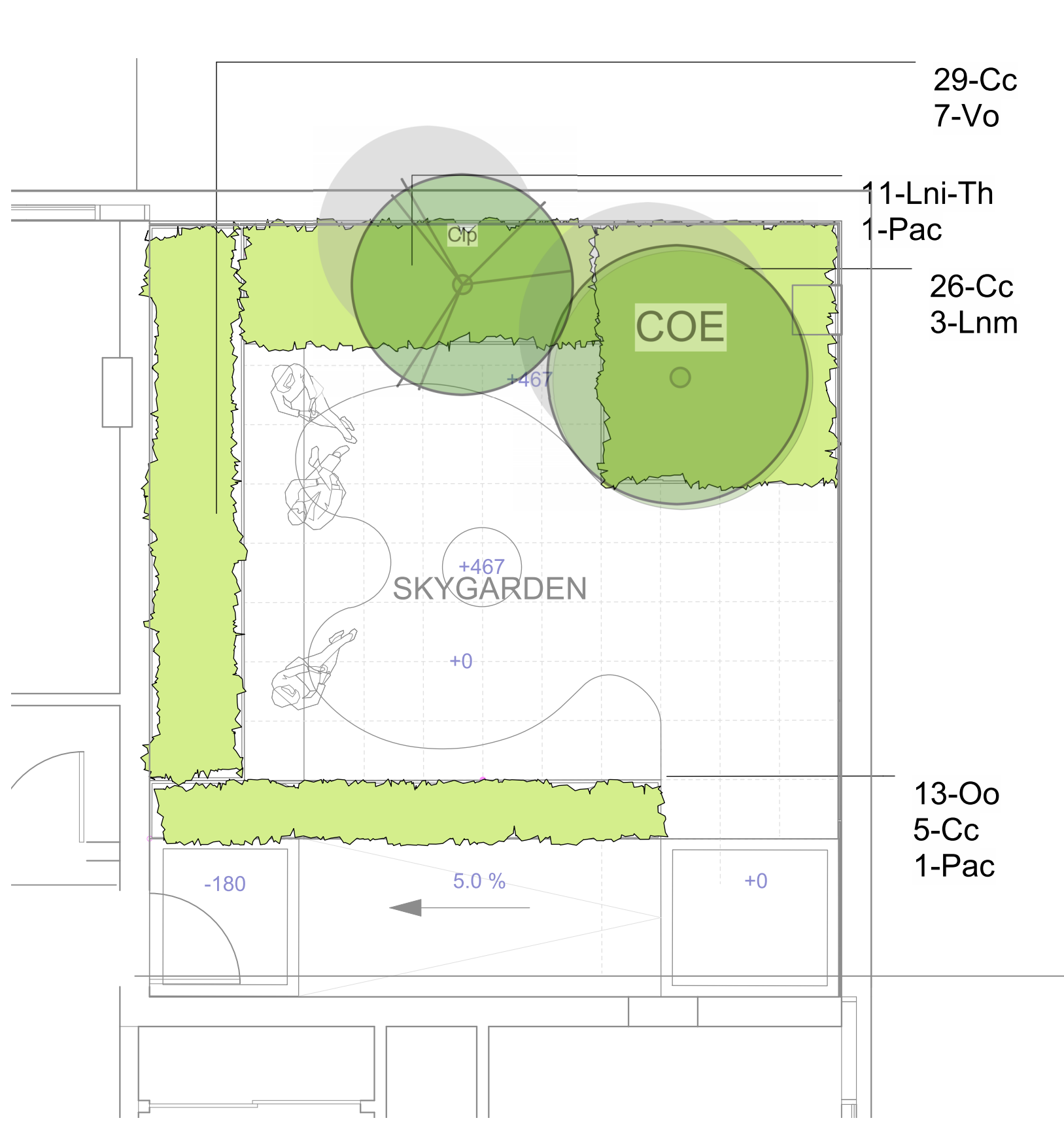
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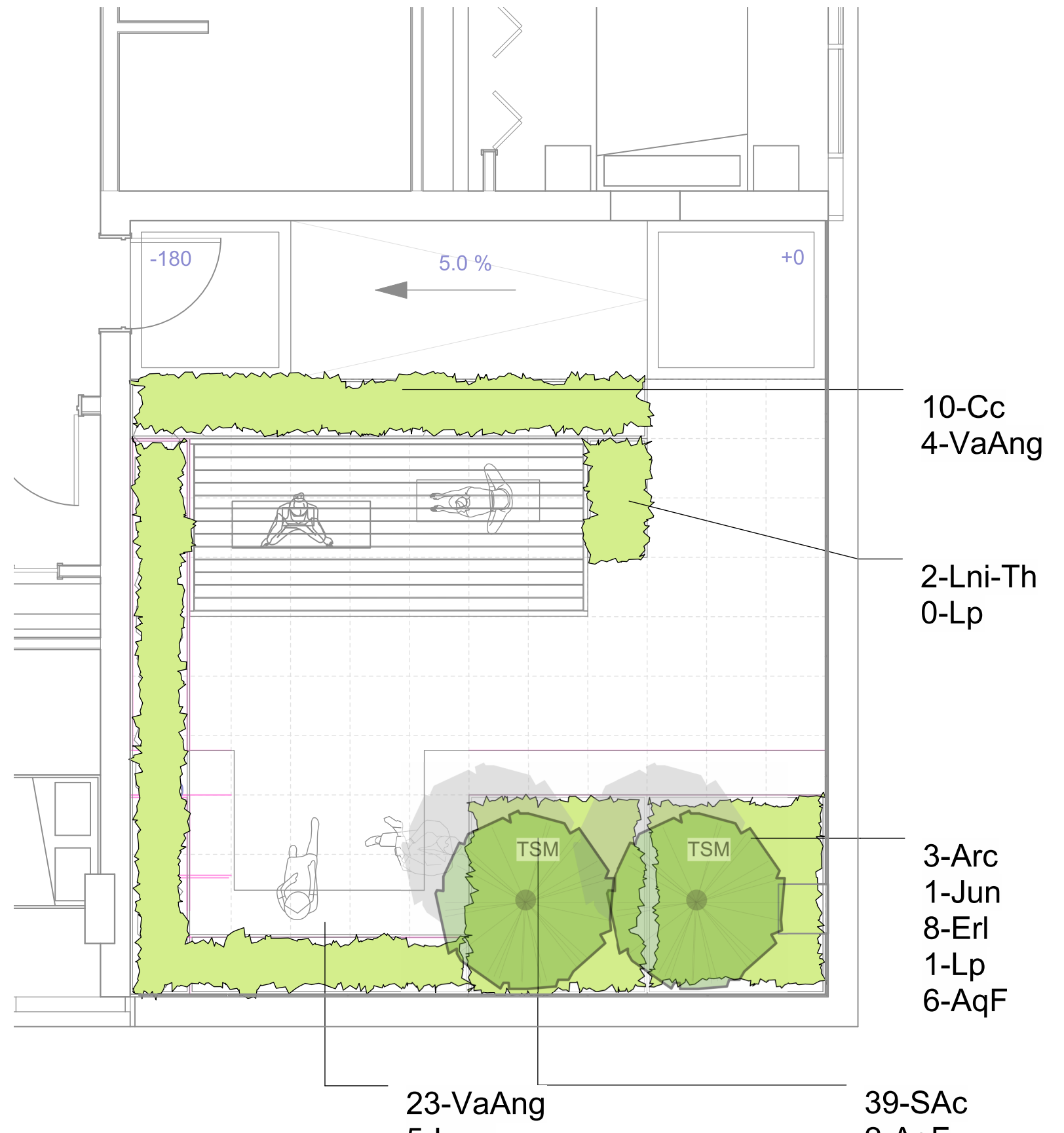
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Scale: 1:50



3 The Hang Out - SW - L 12/13
Scale: 1:50



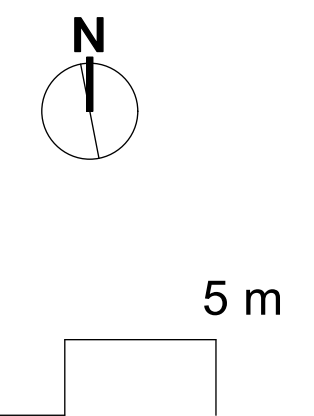
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5 Strathcona Subalpine - SE - L 17/18
Scale: 1:50



6 The Dallas Bluffs - SW - L 19/20
Scale: 1:50



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3	REVISED DP	2025-04-10
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1	DEVELOPMENT TRACKER	2024-05-10
No.	Issued For	Issue Date



client
Jawl Residential Ltd
3374 Tennyson Ave
Victoria, BC

project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title
Planting - Sky Gardens

project no.	124.05
scale	1:50 @ 24"x36"
drawn by	JR/SC/DT
checked by	SM
sheet no.	

GROUND LEVEL

05

GROUND LEVEL PLANT LIST					
TREES	Sym	Qty	Botanical Name	Common Name	Schd. Size
	APS		1 Acer palmatum 'Seiryu'	Laceleaf Japanese Maple	4cm cal., b&b, multi-stem.
	GTS		5 Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	6.0 cm cal, b&b
	MXG		1 Magnolia x 'Galaxy'	Galaxy Magnolia	6.0 cm cal, b&b
	TBD		5 Tree Species TBD by City of Victoria	Tree Species TBD by City of Victoria	TBD
			0		
SHRUBS					
	Ana	53	Aster novae-angliae	New England Aster	#1 pot
	Arc	19	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
	Gsh	250	Gaultheria shallon	Salal	#1 pot, 40cm o.c.
	Lp	75	Lonicera pileata	Privet Honeysuckle	#1 pot
	Ma	20	Mahonia aquifolium	Oregon Grape	#2 pot
	Msa	4	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
	Tbr	11	Taxus baccata 'Repandens'	English Weeping Yew	#1 pot
	Vbo	22	Verbena bonariensis	Tall Verbena	#1 pot
	Vo	28	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
			0		
RAIN GARDEN					
	Co	131	Carex obnupta	Slough Sedge	#1 pot
	Csm	8	Cornus sericea 'Midwinter Fire'	Midwinter Fire Red-twiggged Dogwood	#1 pot
	Jcg	36	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
	Lp	20	Lonicera pileata	Privet Honeysuckle	#1 pot

AMENITY LEVEL

AMENITY LEVEL PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
ACP	6	Acer circinatum 'Pacific Fire'	Pacific Fire Vine Maple	4cm cal., b&b, multi-stem.
CKS	9	Cornus kousa 'Satomi'	Satomi Dogwood	6.0 cm cal, b&b
DI	2	Davidia involucrata	Dove Tree	6.0 cm cal, b&b
PRV	4	Parrotia persica 'Ruby Vase'	Ruby Vase Persian Ironwood	6.0 cm cal, b&b
SO	2	Styrax obassia	Fragrant Snowbell	6.0 cm cal, b&b
	0			
SHRUBS:				
Ana	31	Aster novae-angliae	New England Aster	#1 pot
Cx	10	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot
Ep	33	Echinacea purpurea	Purple Coneflower	#1 pot
Gsh	19	Gaultheria shallon	Salal	#1 pot, 40cm o.c.
G-Hm	26	Hakonechloa macra	Hakone Grass	#1 pot
Hsv	9	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
Jun	51	Juniperus communis 'Mondap'	Alpine Carpet Juniper	#1 pot
La	12	Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	#1 pot
Lp	45	Lonicera pileata	Privet Honeysuckle	#1 pot
Mn	62	Mahonia nervosa	Oregon Grape Holly	#1 pot
Msa	45	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
Pm	22	Polystichum munitum	Sword Fern	#1 pot
Vbo	21	Verbena bonariensis	Tall Verbena	#1 pot
Vbd	26	Viburnum davidii	David Viburnum	#2 pot
	0			
RAIN GARDEN PLANTS:				
Co	93	Carex obnupta	Slough Sedge	#1 pot
Csm	11	Cornus sericea 'Midwinter Fire'	Midwinter Fire Red-twiggged Dog	#1 pot
Jcg	36	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Lp	20	Lonicera pileata	Privet Honeysuckle	#1 pot

SKY GARDEN LEVELS

MORNING MEADOW PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
TREES				
SHRUBS				
Arc	3	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
ArdA	6	Aruncus dioicus var. aethusifolius	Dwarf Goats Beard	#1 pot
Bc	4	Bromus carinatus	California Brome	Sp3
Cq	142	Camassia quamash	Camas	2 bulbs each, 40cm o.c.
Dc	17	Deschampsia cespitosa	Tufted Hair Grass	#1 pot
Erl	2	Eriophyllum lanatum	Wooly Sunflower	#1 pot
Hm	24	Heuchera micrantha 'Crevice alumroot'	Crevice alum root	#1 pot
Jun	4	Juniperus scopulorum 'Blue Creeper'	Blue Creeper Dwarf Rocky Mountain Juniper	#1 pot
Lma	2	Lonicera 'Mandarin'	Lonicera 'Mandarin'	#2 pot
Njon	36	Narcissus jonquilla	Daffodil	
Oo	7	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
Vbo	5	Verbena bonariensis	Tall Verbena	#1 pot
	0			

THE NIGHT FOREST PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
TREES				
SHRUBS				
Aff	14	Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern	#1 pot
Arc	19	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
ArdA	2	Aruncus dioicus var. aethusifolius	Dwarf Goats Beard	#1 pot
Bs	10	Blechnum spicant	Deer Fern	#1 pot
Loc	2	Lonicera ciliosa	Western Trumpet Honeysuckle	#1 pot
Mar	8	Mahonia repens	Prostrate Oregon Grape	#1 pot
Oo	40	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
Vo	4	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
	0			

THE HANG OUT PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
TREES:				
SHRUBS:				
A-Ar	22	Aloea rosea	Hollyhock	
Arc	14	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
Ca	1	Clematis armandii	Evergreen Clematis	#2 pot
Cmj	7	Clematis x jackmanii	Jackman Clematis	#1 pot
Ib-Se	35	Iberis sempervirens	Evergreen Candytuft	plug
Lni-Th	8	Lonicera nitida 'Thunderbolt'	Thunderbolt Boxed Leaf Honey Suckle	#2 pot
Lnm	6	Lonicera nitida 'Maigrun'	Boxedleaf Honeysuckle 'Maigrun'	#3 pot
Pac	2	Passiflora caerulea	Blue Passionflower	#1 pot
	0			

DOGWOOD SHOWCASE PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
TREES				
SHRUBS				
Cc	60	Cornus canadensis	Bunchberry	Sp3
Lni-Th	11	Lonicera nitida 'Thunderbolt'	Thunderbolt Boxed Leaf Honey Suckle	#2 pot
Lnm	3	Lonicera nitida 'Maigrun'	Boxedleaf Honeysuckle 'Maigrun'	#3 pot
Oo	13	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
Pac	2	Passiflora caerulea	Blue Passionflower	#1 pot
Vo	7	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
	0			

STRATHCONA SUBALPINE PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
TREES				
SHRUBS				
AqF	8	Aquilegia formosa	Western Red Columbine	1 ga
Arc	3	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
Cc	10	Cornus canadensis	Bunchberry	Sp3
Erl	8	Eriophyllum lanatum	Wooly Sunflower	#1 pot
Jun	1	Juniperus scopulorum 'Blue Creeper'	Blue Creeper Dwarf Rocky Mountain Juniper	#1 pot
Lma	5	Lonicera 'Mandarin'	Lonicera 'Mandarin'	#2 pot
Lni-Th	2	Lonicera nitida 'Thunderbolt'	Thunderbolt Boxed Leaf Honey Suckle	#2 pot
Lp	1	Lupinus polyphyllus	Native Large Leaf Lupine	1 ga
SAc	39	Silene acaulis	Moss campion	1 ga
VaAng	27	Vaccinium angustifolium 'Top Hat'	Top Hat Dwarf Blueberry	#3 pot
	0			

DALLAS BLUFFS PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
TREES				
SHRUBS				
Arm	82	Armeria maritima	Common Thrift	Sp3, 30cm o.c.
Bc	49	Bromus carinatus	California Brome	Sp3
Csf	1	Cornus sericea 'flaviramea'	Yellow-twig Dogwood	#3 pot
Dc	18	Deschampsia cespitosa	Tufted Hair Grass	#1 pot
Lm	14	Leymus mollis	Dunegrass / Dune Wildrye	Sp3
Pac	2	Passiflora caerulea	Blue Passionflower	#1 pot
	0			

PENTHOUSE LEVEL

PENTHOUSE PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
TREES				

NOTE: PENTHOUSE PLANTING TO BE SELECTED BY FUTURE BUYER

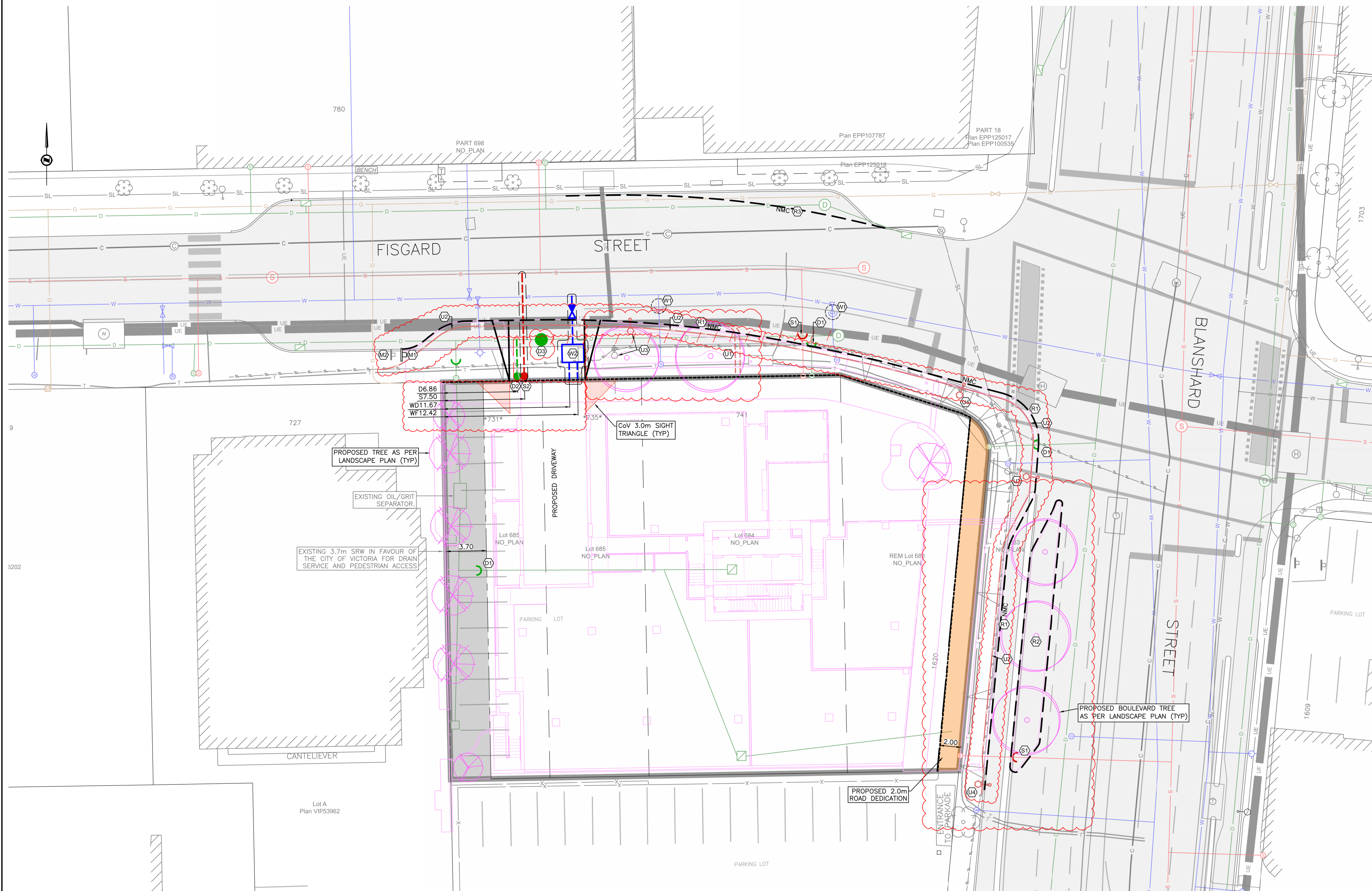


NOT FOR CONSTRUCTION

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No.	Issued For	Issue Date



client	Jawl Residential Ltd 3374 Tennyson Ave Victoria, BC
project	741 FISGARD 741 Fisgard Street Victoria, BC
sheet title	Plant Schedules
project no.	124.05
scale	NA @ 24"x36"
drawn by	JR/SC/DT
checked by	SM
sheet no.	



SHEET NOTES:

WATER

- (W1) CITY OF VICTORIA CREWS TO CAP AND ABANDON EXISTING WATER SERVICES AT DEVELOPERS EXPENSE.
- (W2) CITY OF VICTORIA WATER CREWS TO INSTALL H2O RATED WATER VAULT COMPLETED WITH DOWA, 100mm DOMESTIC SERVICE AND 150mm FIRE SUPPLY LINE AT DEVELOPER'S EXPENSE. DETAILED DESIGN AT BUILDING PERMIT STAGE.

SEWER

- (S1) CONTRACTOR TO CAP AND ABANDON EXISTING SEWER SERVICES.
- (S2) CITY OF VICTORIA CREWS TO INSTALL NEW 150mm SEWER SERVICE COMPLETED WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE. DETAILED DESIGN AT BUILDING PERMIT STAGE.

DRAIN

- (D1) CONTRACTOR TO CAP AND ABANDON EXISTING DRAIN SERVICES.
- (D2) CITY OF VICTORIA CREWS TO INSTALL NEW 150mm DRAIN SERVICE COMPLETED WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE. DETAILED DESIGN AT BUILDING PERMIT STAGE.
- (D3) CONTRACTOR TO INSTALL TERMINAL MANHOLE AND ABANDON UPSTREAM STORM DRAIN.

ROAD

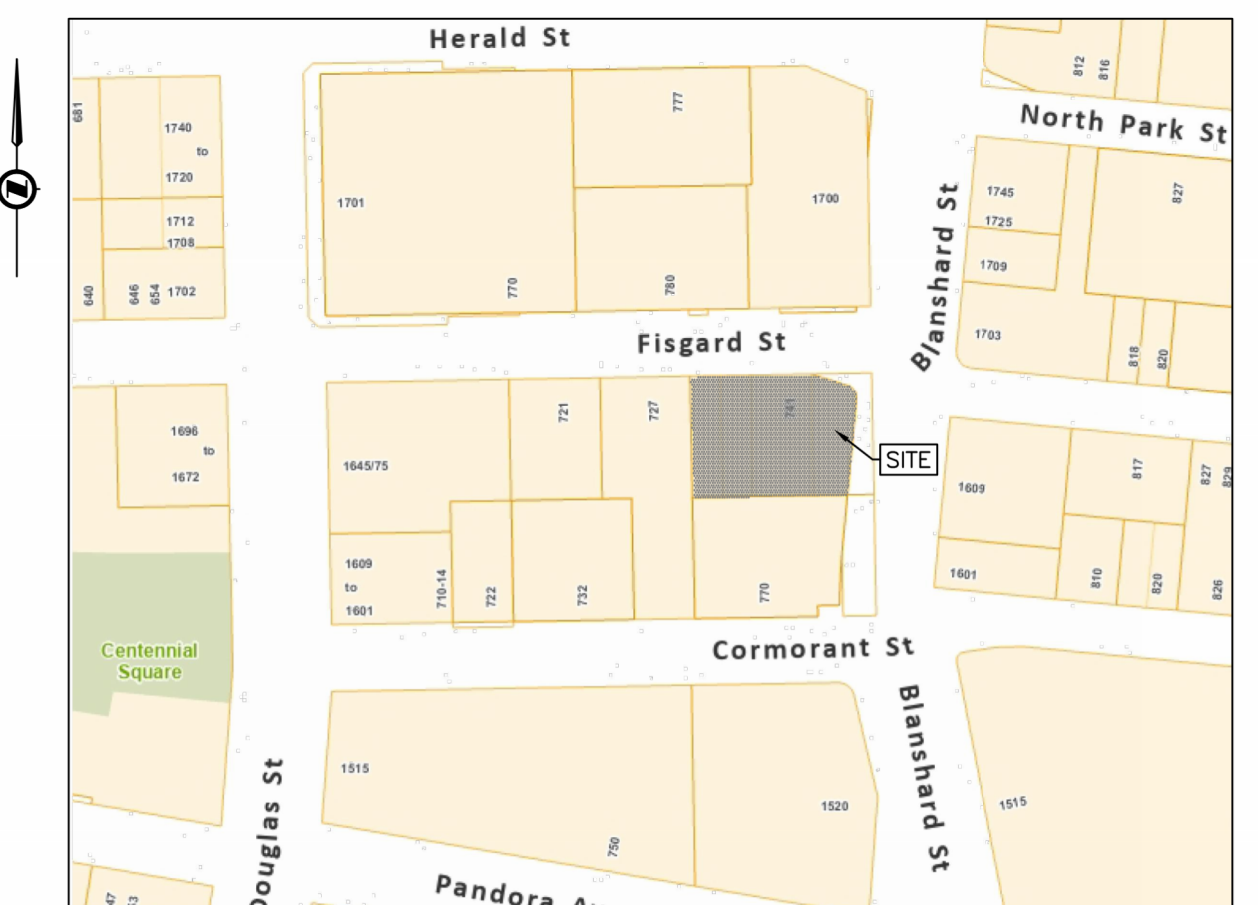
- (R1) CONTRACTOR TO REMOVE EXISTING FRONTAGE AND INSTALL NEW NON-MOUNTABLE CURB & GUTTER, SIDEWALK, AND MILL & FILL TO CENTERLINE AS PER CITY OF VICTORIA SPECIFICATIONS.
- (R2) CONTRACTOR TO INSTALL NEW CONCRETE ISLAND AS PER CITY OF VICTORIA SPECIFICATIONS. REFER TO LANDSCAPE PLANS FOR DETAILS.
- (R3) CONTRACTOR TO INSTALL NEW NON-MOUNTABLE CURB AND INFILL SIDEWALK AS REQUIRED.

UTILITY

- (U1) ASSUMED BC HYDRO SERVICE. APPLICATION TO BC HYDRO TO BE MADE AS PROJECT PROGRESSES THROUGH DP/REZONING.
- (U2) EXISTING STREETLIGHT CONDUIT TO BE RELOCATED AS REQUIRED.
- (U3) EXISTING STREETLIGHT TO BE RELOCATED AS REQUIRED.
- (U4) EXISTING STREETLIGHT TO BE REMOVED/REPLACED AS REQUIRED.

MISCELLANEOUS

- (M1) PROPOSED LOADING ZONE SIGN. DETAILS AS BUILDING PERMIT.
- (M2) EXISTING PARKING METER TO BE REMOVED.



KEY PLAN
NTS

LEGAL DESCRIPTION: LOT B LOTS 699 TO 700 INCLUSIVE AND OF LOTS 703 TO 704 INCLUSIVE VICTORIA CITY PLAN EPP100458

BENCHMARK: MONUMENT GCM 72835
ELEV. 23.559m

1620 BLANSHARD STREET PRELIMINARY SERVICING PLAN

Scale
horiz. 1:200 Scale N/A
vert.
Sheet 1 of 1
Eng. Project No. 34870
Drafted by. JA



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ISSUED FOR REZONING / REDEVELOPMENT

V:\Projects\34870 - 1620 Blanshard Holdings - 1620 Blanshard\05 - Engineering\03 - Drawings & Sketches (Eng)\34870 - PRODUCTION - DP.dwg Plot Date: April 1, 2025

