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- ISSUED FOR**
- A 2019-06-19 REZONING / HERITAGE ALTERATION PERMIT
 - B 2019-10-11 REZONING / HERITAGE ALTERATION PERMIT R1
 - C 2020-08-07 REZONING / HERITAGE ALTERATION PERMIT R2
 - D 2021-01-11 REZONING / HERITAGE ALTERATION PERMIT R3



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ARCHITECT
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Northern Junk

PROJECT NAME: **NORTHERN JUNK**
PROJECT ADDRESS: **1314 WHARF STREET**
LEGAL DESCRIPTION: **LOT 182F (001-005-723)**
GOVERNING BUILDING CODE: **BCBC 2018**

REZONING/HERITAGE ALTERATION PERMIT APPLICATION R3

JANUARY 11, 2021

1314-1318 Wharf Street, Victoria BC

Cover Sheet

DRAWN: AP CHECKED: AB
PLOT DATE:

A-000

19040C

Revisions
Bubbled areas indicate revisions compared to the previously submitted plans
Received Date
January 18, 2021

PROJECT DATA

PROJECT NAME: NORTHERN JUNK
 PROJECT ADDRESS: 1314 WHARF STREET
 LEGAL DESCRIPTION: LOT 182F (001-005-723)
 GOVERNING BUILDING CODE: BCBC 2018

PROJECT INFORMATION TABLE	
ZONE (EXISTING)	INNER HARBOUR HERITAGE DISTRICT
NET SITE AREA (sqm) Above Natural Boundary	1218 sqm
GROSS SITE AREA (sqm)	1875 sqm
TOTAL FLOOR AREA	4095 sqm
COMMERCIAL FLOOR AREA	831.5 sqm
FLOOR SPACE RATIO	3.36
SITE COVERAGE %	83.5%
OPEN SITE SPACE %	14.5%
HEIGHT OF BUILDING FROM STREET GRADE (m)	19.1 (m)
NUMBER OF STOREYS	5 STOREYS FROM WHARF (6 FROM HARBOUR)
PARKING STALLS ON SITE	0
BICYCLE PARKING (long short)	56 res + 5 Commercial
BUILDING SETBACKS (SEE SITE PLAN)	
FRONT YARD (EAST)	0 m
REAR YARD (WEST)	15.83 m
SIDE YARD (NORTH)	0 m
SIDE YARD (SOUTH)	0 m
RESIDENTIAL USE DETAILS (SEE UNIT TYPE TABLE)	
TOTAL NUMBER OF UNITS	47
UNIT TYPE (SEE UNIT TYPE TABLE)	STUDIO, 1BD, 2BD, 3BD
GROUND ORIENTED UNITS	0
MINIMUM UNIT FLOOR AREA	37.5 sqm
TOTAL RESIDENTIAL FLOOR AREA	2693 sqm

DRAWING LIST

ARCHITECTURAL

- A000 COVER SHEET
- A001 PROJECT DATA
- A002 SITE SURVEY
- A010 AREA PLANS
- A011 AREA PLANS
- A012 AREA PLANS
- A013 AREA PLANS
- A014 AREA PLANS
- A101 SITE PLAN
- A201 PLAN - LEVEL 00
- A202 PLAN - LEVEL 01
- A203 PLAN - LEVEL 02
- A204 PLAN - LEVEL 03-04
- A205 PLAN - LEVEL 05
- A206 PLAN - ROOF
- A401 SOUTH ELEVATION
- A402 WEST ELEVATION
- A403 NORTH ELEVATION
- A404 EAST ELEVATION
- A405 CONTEXT ELEVATIONS
- A501 SECTION - A
- A502 SECTION - A2

LANDSCAPE

SEE LANDSCAPE SET

PROJECT DATA SUMMARY

UPDATED PROJECT STATISTICS

AREA SUMMARY

ASSUMPTIONS		BUILDING GROSS AREA	
SITE AREA (ABOVE PRESENT NATURAL BOUNDARY)	1218 sqm	1218 sqm	1218 sqm
MAX ALLOWABLE DENSITY (4.4)	57,673	5358	
EXISTING FOOTPRINTS	5,175	481	
AREAS BY USE		BUILDING GROSS AREA	
CRU 2 - L01	220.7 sqm	L01 Gross	441 sqm
CRU 1 - L01	243.2 sqm	L02 TOTAL	244 sqm
CRU 1 - L02	204.5 sqm	L01 Gross	315 sqm
CRU 2 - L02	157.0 sqm	L01 Gross	265 sqm
TOTAL COMMERCIAL	831.5 sqm	L02 TOTAL	380 sqm
Building Gross Area	4095.4 sqm	(44,083 sf)	
TOTAL Commercial Area	831.5 sqm	(8,930 sf)	
TOTAL RESIDENTIAL		BUILDING GROSS	
NET RESIDENTIAL	2652.8 sqm	(28,535.3 sf)	
NET RENTABLE (RES+COMM)	3,484.3 sqm	(37,305.2 sf)	
SITE AREAS (SEE AREA PLANS A-010)		Roof Gross	14 sqm
NET SITE AREA	1218 sqm	L05 TOTAL	14 sqm
VOLUME TBC SRW	29.9 sqm		
OPEN AREA	420 sqm		
BUILDING FOOTPRINT	797 sqm		
OPEN AREA %	34.5%		
NET SITE AREA - DFW S/R W AREA	964.2 sqm		
		BUILDING GROSS	4,095 sqm
		SITE AREA FOR FSR	1,218 sqm
		FSR	3.36
		NET RENTABLE (RES+COMM)	3,484 sqm

UNIT SUMMARY

UNIT TYPE	STUDIO	1BD	2BD	3BD	TOTAL UNITS
LEVEL P1	0	0	0	0	0
LEVEL 01	0	0	0	0	0
LEVEL 02	1	8	2	1	12
LEVEL 03	1	8	2	1	12
LEVEL 04	1	8	2	1	12
LEVEL 05	1	6	3	1	11
LEVEL 06	0	0	0	0	0
TOTAL	4	30	9	4	47
PERCENTAGE	5%	64%	19%	9%	100%
FAMILY UNITS					

AVERAGE UNIT SIZES					
LEVEL	STUDIO	1BD	2BD	3BD	TOTAL UNITS
LEVEL 01	0	0	0	0	0
LEVEL 02	38	390	152	83	663
LEVEL 03	38	390	152	83	663
LEVEL 04	38	390	152	83	663
LEVEL 05	38	289	253	83	663
TOTAL	152 sqm	1,659 sqm	710 sqm	332 sqm	2,653 sqm
Unit Count	4	30	9	4	47
AVG SIZES (SF)	38 sqm	55.3 sqm	78.9 sqm	83 sqm	56.9 sqm
AVG SIZES (SF)	409.8 sf	523.3 sf	849.3 sf	893.2 sf	607.6 sf

PARKING SUMMARY

NOTE: NO VEHICLE PARKING PROVIDED ON SITE. SEE TRAFFIC REPORT FOR TRAFFIC MANAGEMENT STRATEGY

BICYCLE PARKING			Site Storage			
Residential	Count	Reqmt	Residential	Count	Reqmt	Provided
1.0' UNIT < 45m2	12	12	In-Suite	22	0	
1.25' UNIT > 45m2	35	43.75	8/Box Locker Combo	25	0	
Total Residential	47	55.75	Total Residential	47	0	47
Commercial	Area	Reqmt	Provided			
1.0' 200 m2	#	4.2				
Total	5	5				



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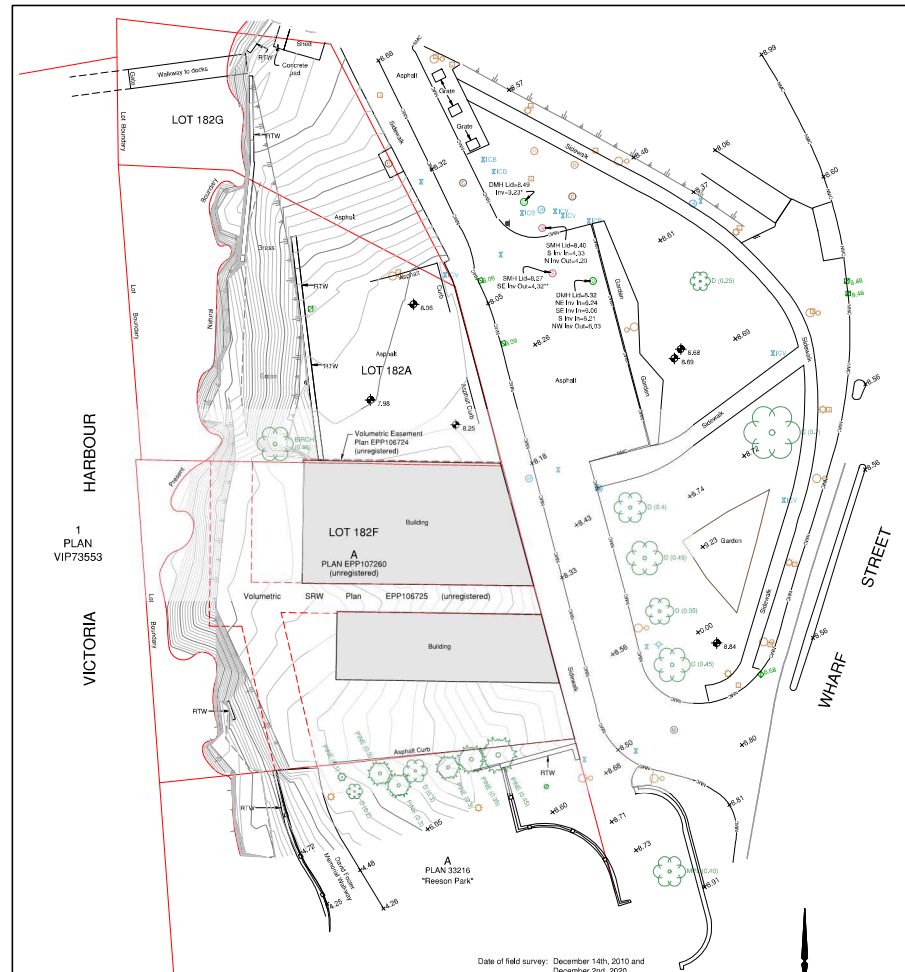
Northern Junk

1314-1318 Wharf Street, Victoria BC

Project Data

DRAWN: AP CHECKED: AB
 PLOT DATE:

A-001



- LEGEND**
- ⊕ denotes monitoring well
 - ⊕ denotes catchbasin
 - ⊕ denotes drain
 - ⊕ denotes drain manhole
 - ⊕ denotes sewer manhole
 - ⊕ denotes water manhole
 - ⊕ denotes water valve
 - ⊕ denotes irrigation control box
 - ⊕ denotes irrigation control valve
 - ⊕ denotes hydrant
 - ⊕ denotes water meter
 - ⊕ denotes communications manhole
 - ⊕ denotes hydro manhole
 - ⊕ denotes junction box
 - ⊕ denotes streetlight davit
 - ⊕ denotes lamp pole
 - ⊕ denotes unknown utility manhole
 - ⊕ denotes hand rail
 - ⊕ denotes top of bank
 - N.M.C. denotes non-mountable curb
 - ⊕ denotes edge of pavement
 - ⊕ denotes building outline
 - ⊕ denotes spot elevation
 - ⊕ denotes deciduous tree, species and diameter
 - ⊕ denotes coniferous tree, species and diameter
 - ⊕ denotes property line
 - ⊕ denotes interest line

Date of field survey: December 14th, 2010 and December 20th, 2020

Contour interval = 0.2 m.

Elevations are to geoidic datum, derived from City of Victoria geoidic control monument 17-29. Published Elevation = 6,305 m.

Vertical Datum CGVD08 (HTV2.0).
Tree diameters are taken at breast height. Tree symbols are diagrammatic only to show relative sizes.

Lot boundaries shown hereon are derived from files to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.

This plan represents the best information available at the time of survey. GeoVerra Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

The introduced plot size of this plan is 420mm in width by 606mm in height (ISO A2 size) when plotted at a scale of 1:250

All distances are in metres and decimals thereof.

CLIENT: CROSTOWN PROPERTIES (WHARF STREET) LTD.	PROJECT: NORTHERN JUNK BUILDING	TITLE: TOPOGRAPHIC SURVEY	
		PROJECT NO.: 20P-00205-60	DRAWING NO.:
CLIENT REF. NO.:	301-2600 Upson Road Victoria, BC V8K 0B9 T: 250-384-5510 • www.geoverra.com	SCALE: As-Noted	DATE: 2020-12-07
		DESCRIPTION: GEOMATICS	SHEET NO.:
		20P-00205-00-SRW/S001-PR0	
		1 OF 1	

SURVEY INCLUDED FOR REFERENCE ONLY. NTS*

△ SURVEY PLAN UPDATED



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Northern Junk

1314-1318 Wharf Street, Victoria BC

Site Survey

DRAWN: AP
PLOT DATE: CHECKED: AB

A-002

19004C

SURVEYORS LETTER/RATIONALE



File No: 171-10644-00 Date: July 26th, 2017

To: Crosstown Properties (Wharf Street) Ltd.
305 - 111 Water Street
Vancouver, BC V6B 1A7

From: Mich Laseur, BCLS
WSP Canada
301 - 3600 Uptown Boulevard
Victoria, BC V8T 0G9
Phone 250.384.5510

Attention: Jean Evista

RE: AREA CALCULATION – ABOVE AND BELOW PRESENT NATURAL BOUNDARY LOT 182G, LOT 182A, LOT 182A and CLOSED ROAD PLAN 899884; BEING THE PROPOSED JOHNSON STREET GATEWAY SITE

This letter is written to verify the areas of the above noted properties. The properties in question contain land falling below the Present Natural Boundary. We confirm that our interpretation of the Present Natural Boundary is consistent with the definition of the Ordinary High Water Mark.

To clarify the allocation of these areas we have prepared the attached sketch detailing those areas above and below the Present Natural Boundary.

In summary
The total area above the Present Natural Boundary for these properties is **4,152 square meters**.
The total area below the Present Natural Boundary for these properties is **646 square meters**.

Regards,

Mich Laseur, BCLS
Branch Manager / Land Surveyor, Victoria Geomatics
Co: Adrian Politano, Rory O'Connell, Sheila Middleton

WSP
301 - 3600 Uptown Boulevard
Vancouver, BC V8T 0G9
Phone: 1-250-246-5110
www.wsp.com

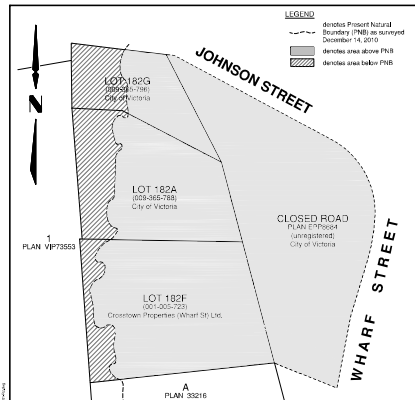


TABLE OF AREAS			
LOT	ABOVE PNB	BELOW PNB	TOTAL
182G	304 m ²	199 m ²	503 m ²
182A	724 m ²	289 m ²	1013 m ²
182F	1218 m ²	158 m ²	1376 m ²
Closed Road	1905 m ²		1905 m ²
TOTALS	4152 m ²	646 m ²	4798 m ²

wsp
WSP Canada
301 - 3600 Uptown Boulevard
Vancouver, BC V8T 0G9
Phone: 1-250-246-5110
www.wsp.com

CROSSTOWN PROPERTIES (WHARF ST) LTD.
171-10644-00-000-00-3305K001-82

SITE AREAS

SITE AREAS (SEE AREA PLANS A-010)	
GROSS SITE AREA	1375.5 sq m
NET SITE AREA	1217.7 sq m
VOLUMETRIC SRW	253.5 sq m
OPEN AREA	420.4 sq m
BUILDING FOOTPRINT	797.1 sq m
OPEN AREA S	14.53
NET SITE AREA - CPW SRW AREA	864.28 sq m

*NET SITE AREA IS ABOVE PRESENT NATURAL BOUNDARY



SITE AREAS - AREA PLAN 1
SCALE: 1:100

VOLUMETRIC SRW ADDED; AREAS UPDATED



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Northern Junk

1314-1318 Wharf Street, Victoria BC

Area Plans

DRAWN: AP CHECKED: AB
PLOT DATE:

A-010

19004C

AREAS ADJUSTED FOR NEW INTERIOR LAYOUT



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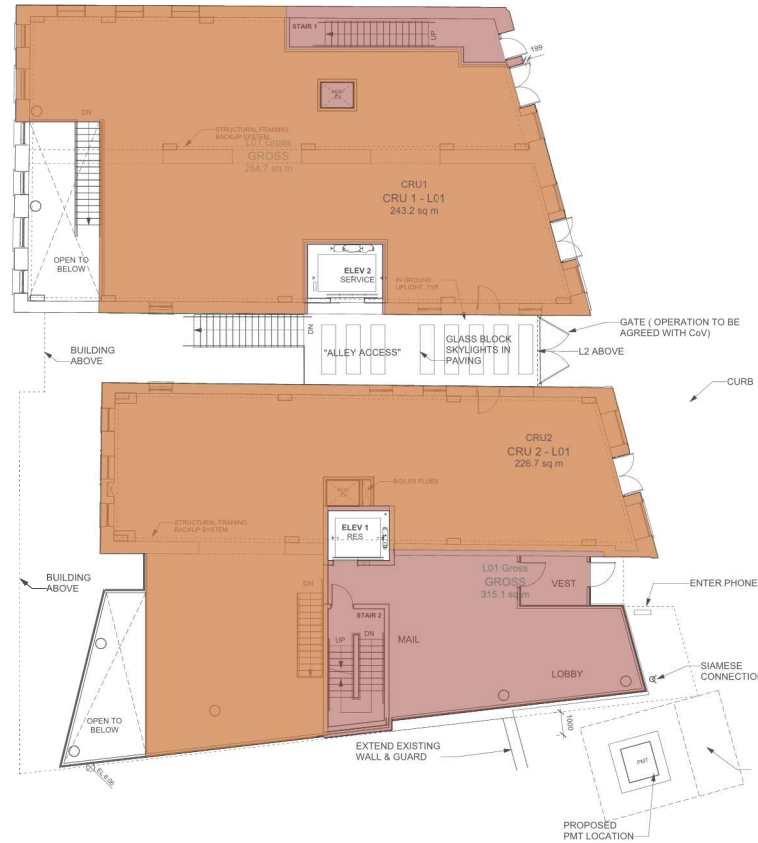
LEVEL 01 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
CRU1	CRU 1 - L00	204.5 sq m
CRU2	CRU 2 - L00	157.0 sq m
Total Suite Area		2 361.6 sq m
Total Gross Area		L00 GROSS 544.0 sq m
EFFIC		66%

LEVEL 01 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
CRU1	CRU 1 - L01	243.2 sq m
CRU2	CRU 2 - L01	226.7 sq m
Total Suite Area		2 469.9 sq m
Total Gross Area		L01 GROSS 315.1 sq m
EFFIC		81%

- AREA LEGEND**
- RESIDENTIAL SUITE
 - COMMERCIAL AREA
 - GROSS FLOOR AREA



LEVEL 00 - FSR AREA PLAN 1
SCALE: 1:100



LEVEL 01 - FSR AREA PLAN 2
SCALE: 1:100

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Northern Junk

1314-1318 Wharf Street, Victoria BC
Area Plans

DRAWN: AP CHECKED: AB
PLOT DATE:

A-011

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Northern Junk

1314-1318 Wharf Street, Victoria BC

Area Plans

DRAWN: AP CHECKED: AB
 PLOT DATE:

A-012

19004C

LEVEL 02 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
201	3BD	83 sm
202	2BD	86 sm
203	1BD	53 sm
204	1BD	53 sm
205	1BD	40 sm
206	1BD	46 sm
207	1BD	46 sm
208	1BD	55 sm
209	1BD	58 sm
210	1BD	38 sm
211	ST	38 sm
212	2BD	66 sm
Total Suite Area		12
Total Gross Area		739 sm
EFFIC		90%

LEVEL 03-04 AREAS sm		
SUITE NUMBER	SUITE TYPE	SUITE AREA
301 sm	3BD sm	83 sm
302 sm	2BD sm	86 sm
303 sm	1BD sm	53 sm
304 sm	1BD sm	53 sm
305 sm	1BD sm	40 sm
306 sm	1BD sm	46 sm
307 sm	1BD sm	46 sm
308 sm	1BD sm	55 sm
309 sm	1BD sm	58 sm
310 sm	1BD sm	38 sm
311 sm	ST sm	38 sm
312 sm	2BD sm	66 sm
Total Suite Area sm		12 sm
Total Gross Area sm		739 sm
EFFIC		90%

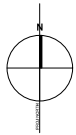
AREA LEGEND
 RESIDENTIAL SUITE
 COMMERCIAL AREA
 GROSS FLOOR AREA



LEVEL 02 - FSR AREA PLAN 1
 SCALE: 1:100



LEVEL 03 - FSR AREA PLAN 2
 SCALE: 1:100



AREA LEGEND

- RESIDENTIAL SUITE
- COMMERCIAL AREA
- GROSS FLOOR AREA

LEVEL 03-04 AREAS sqm		
SUITE NUMBER	SUITE TYPE	SUITE AREA
301 sm	3BD sm	53 sm
302 sm	2BD sm	55 sm
303 sm	1BD sm	53 sm
304 sm	1BD sm	53 sm
305 sm	1BD sm	40 sm
306 sm	1BD sm	45 sm
307 sm	1BD sm	49 sm
308 sm	1BD sm	55 sm
309 sm	1BD sm	58 sm
310 sm	1BD sm	38 sm
311 sm	ST sm	38 sm
312 sm	2BD sm	66 sm
Total Suite Area sm		663 sm
GROSS sm		739 sm
Total Gross Area sm		739 sm
EFFIC		90%

LEVEL 05 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
501	3BD	83 sm
502	2BD	86 sm
503	1BD	53 sm
504	1BD	53 sm
505	1BD	40 sm
506	1BD	46 sm
507	2BD	101 sm
508	1BD	58 sm
509	1BD	38 sm
510	ST	38 sm
511	2BD	66 sm
Total Suite Area		663 sm
GROSS		739 sm
Total Gross Area		739 sm
EFFIC		90%



LEVEL 04 - FSR AREA PLAN 1
SCALE: 1:100



LEVEL 05 - FSR AREA PLAN 2
SCALE: 1:100

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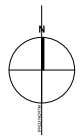
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1314-1318 Wharf Street, Victoria BC

Area Plans

DRAWN: AP CHECKED: AB
PLOT DATE:

A-013

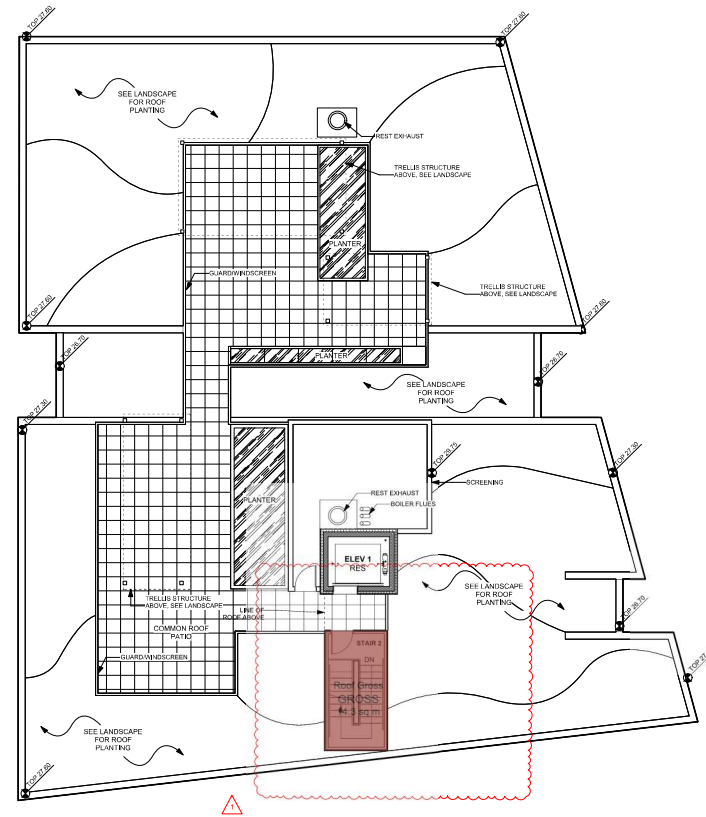


NEW SHEET FOR ROOFTOP ACCESS STAIR AREA

ROOF AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
Total Suite Area	0	0 sqm
Total Gross Area	GROSS	14 sqm
EFFIC		0%



ISSUED FOR



1 ROOF AREAS
Scale: 1:100

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Northern Junk

1314-1318 Wharf Street, Victoria BC

Area Plans

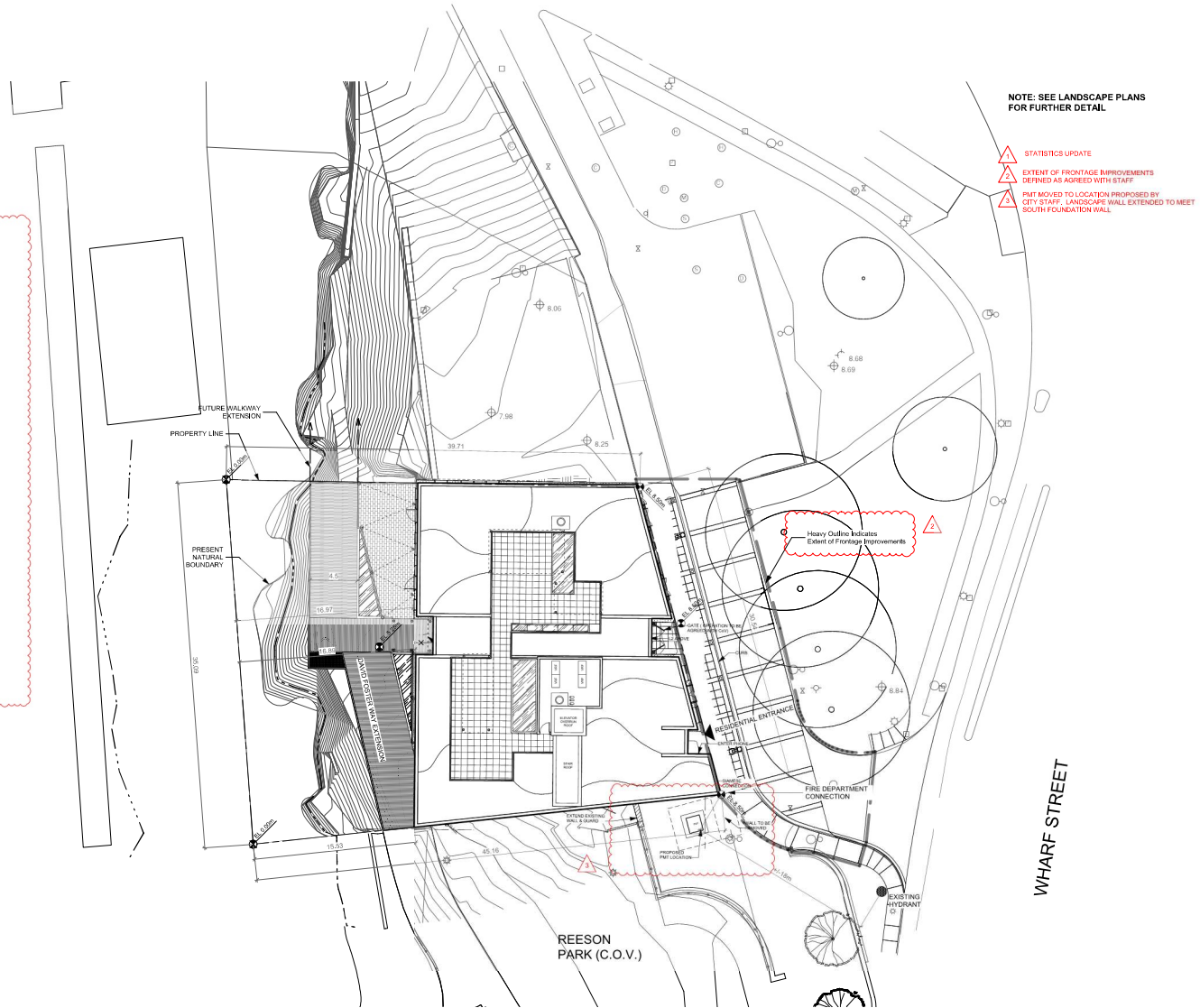
DRAWN: AP CHECKED: JB
PLOT DATE

A-014

19004C

Address: 1314 WHARF ST
 PID: 001-005-723
 Folio: 01074004
 Legal Information: LOT 182-F,
 VICTORIA

PROJECT INFORMATION TABLE	
ZONE (EXISTING)	INNER HARBOUR HERITAGE DISTRICT
NET SITE AREA (sqm) Above Natural Boundary	12.18 sqm
GROSS SITE AREA (sqm)	13.95 sqm
TOTAL FLOOR AREA	4095 sqm
COMMERCIAL FLOOR AREA	831.5 sqm
FLOOR SPACE RATIO	3.30
SITE COVERAGE %	65.43
OPEN SITE SPACE %	34.57
HEIGHT OF BUILDING FROM STREET GRADE (m)	19.10m
NUMBER OF STOREYS	5 STOREYS FROM WHARF (6 FROM HARBOUR)
PARKING STALLS ON SITE	0
BICYCLE PARKING (Long Term)	56 res + 5 Commercial
BUILDING SETBACKS (SEE SITE PLAN)	
FRONT YARD (EAST)	0.0m
REAR YARD (WEST)	15.83 m
SIDE YARD (NORTH)	0.0m
SIDE YARD (SOUTH)	0.0m
RESIDENTIAL USE DETAILS (SEE UNIT TYPE TABLE)	
TOTAL NUMBER OF UNITS	47
UNIT TYPE (SEE UNIT TYPE TABLE)	STUDIO, 1BD, 2BD, 3BD
GROUND ORIENTED UNITS	4
MINIMUM UNIT FLOOR AREA	37.5 sqm
TOTAL RESIDENTIAL FLOOR AREA	2653 sqm



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 - D 2021-01-11 REZONING / HERITAGE ALTERATION PERMIT R3

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Site Plan

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19004C

SITE PLAN 1



- ▲ PMT MOVED TO LOCATION PROPOSED BY CITY STAFF. LANDSCAPE WALL EXTENDED TO MEET SOUTH FOUNDATION WALL
- ▲ EXTENT OF FRONTAGE IMPROVEMENTS DEFINED AS AGREED WITH STAFF
- ▲ GAS METERS REMOVED FROM HERITAGE BUILDING FACE. REGULATORS LOCATED ON SOUTH ELEVATION

GENERAL PLAN NOTES:

- SEE AREA PLANS FOR FLOOR AND SITE AREAS
- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS



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D	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT R3

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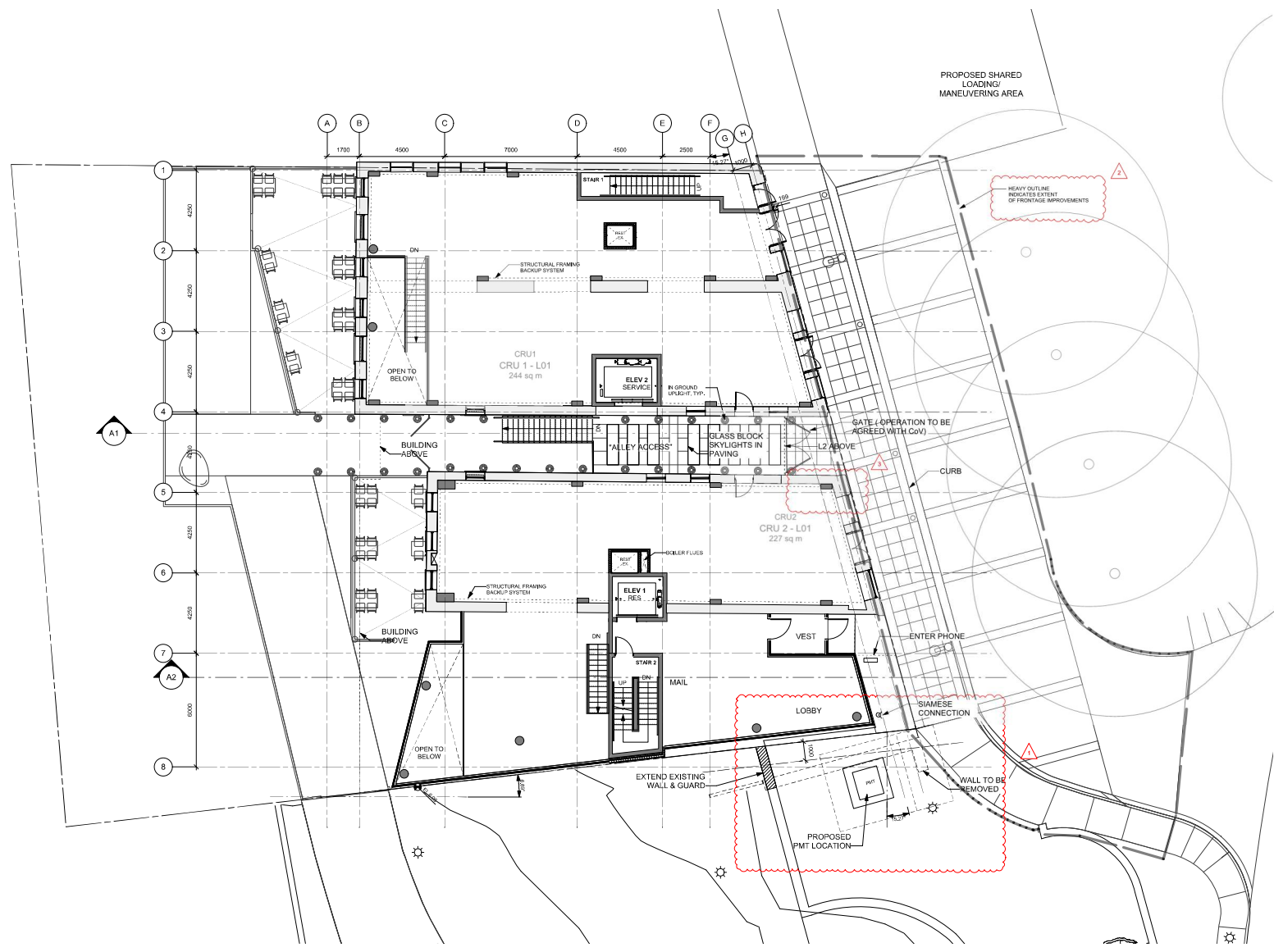
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Plan - Level 01

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A-202

19004C



PLAN L1
 SCALE: 1:100

1

GENERAL PLAN NOTES:
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 - SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS.



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Plan - Level 02

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 PLOT DATE:

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PLAN L2 1
 SCALE: 1:100

GENERAL PLAN NOTES:
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 - SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS.



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Plan - Level 03-04

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PLAN L3-4 1
 SCALE: 1:100

A-204

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 - SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS.



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Plan - Level 05

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 PLOT DATE:

PLAN L5 1
 SCALE: 1:100

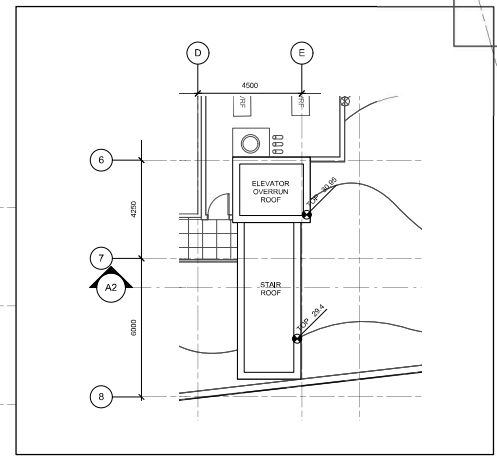
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UPPER ROOF PLAN
 Scale: 1:100

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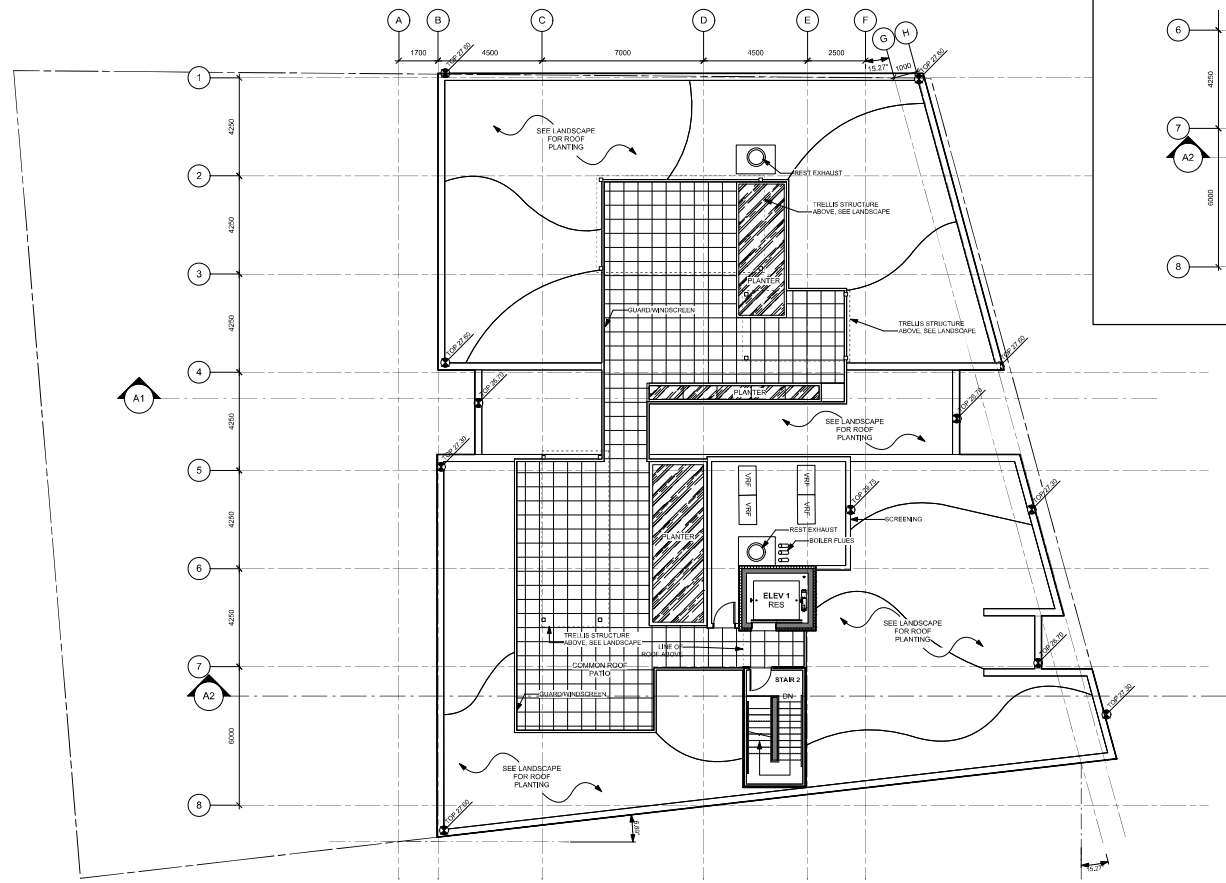
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Plan - Roof

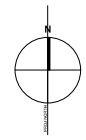
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 PLOT DATE:

A-206

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ROOF PLAN
 Scale: 1:100

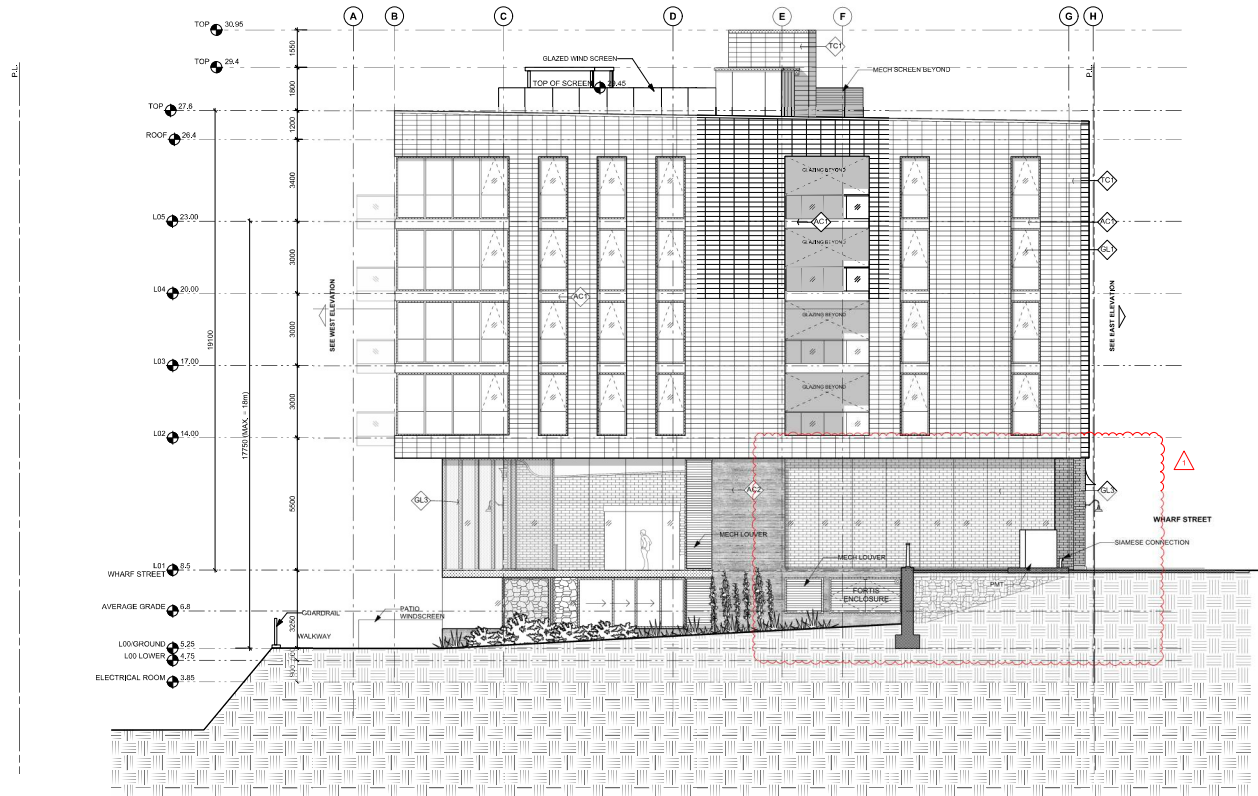


△ EXTENSION OF REASON PARK
 PLATFORM AND PERILOCATIONS SHOWN
 FOR FTS GAS REGULATOR ENCLOSURE
 ADDED



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D	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT R3



SOUTH ELEVATION
 SCALE: 1:100

MATERIAL LEGEND

GL1	NEW RESIDENTIAL GLAZING
GL2	HERITAGE STYLE GLAZING
GL3	COMMERCIAL GLAZING
CMP1	METAL PANEL TYPE 1
AC1	PRECAST ARCH CONCRETE
AC2	BOARD FORM ARCH CONCRETE
BM1	EXPOSED BRICK MASONRY
BM2	NEW BRICK MASONRY TYPE 1
TM1	TERROSCOTTA MASONRY
MB1	STAINLESS METAL 60PPT
PM1	DARK PAINTED METAL
PM2	MEDIUM PAINTED METAL

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South Elevation

DRAWN: AP CHECKED: AB

PLOT DATE:

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WEST ELEVATION
SCALE: 1:100

MATERIAL LEGEND

GL1 - NEW RESIDENTIAL GLAZING
GL2 - HISTORIC STILE GLAZING
GL3 - COMMERCIAL GLAZING
CMPL - METAL PANEL TYPE 1
AC1 - PRECAST ARCH CONCRETE
AC2 - BOARD FORM ARCH CONCRETE
BM1 - EXISTING BRICK MASONRY
BM2 - NEW BRICK MASONRY TYPE 1
TM1 - TERRAZZOTA MASONRY
MB1 - STAINLESS METAL 60PH
PM1 - DARK PAINTED METAL
PM2 - MEDIUM PAINTED METAL

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West Elevation

DRAWN: AP CHECKED: AB

PLOT DATE:
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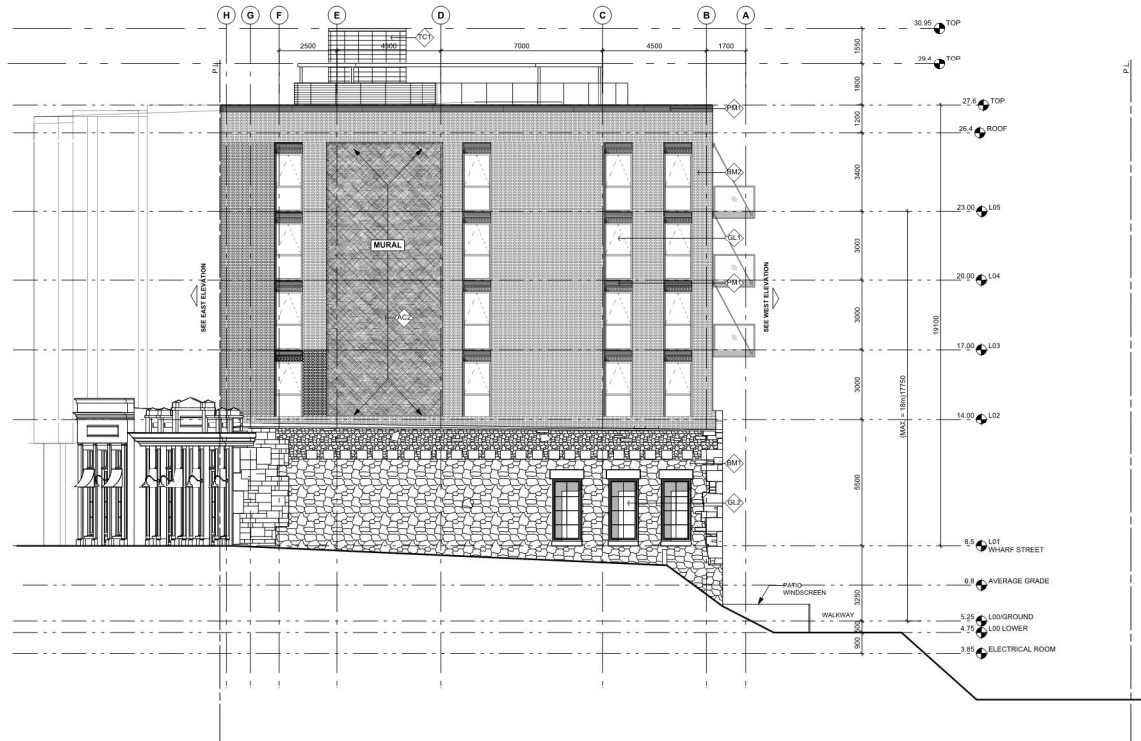


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NORTH ELEVATION 1
SCALE: 1:100

MATERIAL LEGEND	
GL1	NEW PRESIDENTIAL GLAZING
GL2	HERITAGE STYLE GLAZING
GL3	COMMERCIAL GLAZING
CMP1	METAL PANEL TYPE 1
AC1	PRECAST ARCH CONCRETE
AC2	BOARD FORM ARCH CONCRETE
BM1	EXISTING BRICK MASONRY
BM2	NEW BRICK MASONRY TYPE 1
TM1	TERRACOTTA MASONRY
SM1	STAMPED METAL SOFFIT
PM1	DARK PAINTED METAL
PM2	MEDIUM PAINTED METAL

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North Elevation

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LOCATION OF PAD MOUNTED TRANSFORMER



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EAST ELEVATION 1
SCALE: 1:100

MATERIAL LEGEND	
GL1	NEW RESIDENTIAL GLAZING
GL2	HERITAGE STYLE GLAZING
GL3	COMMERCIAL GLAZING
CMPI	METAL PANEL TYPE 1
AC1	PRECAST ARCH CONCRETE
AC2	BOARD FORM ARCH CONCRETE
BM1	EXISTING BRICK MASONRY
BM2	NEW BRICK MASONRY TYPE 1
TM1	TERRACOTTA MASONRY
SM1	STAMPED METAL SOFFIT
PM1	DARK PAINTED METAL
PM2	MEDIUM PAINTED METAL

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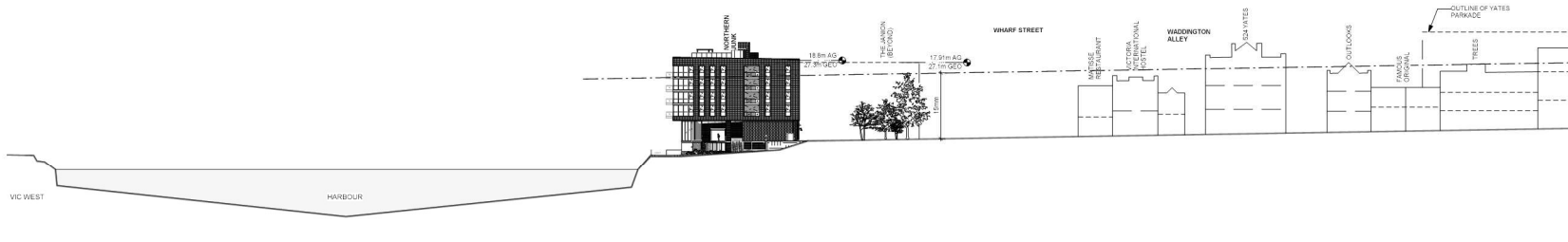
East Elevation

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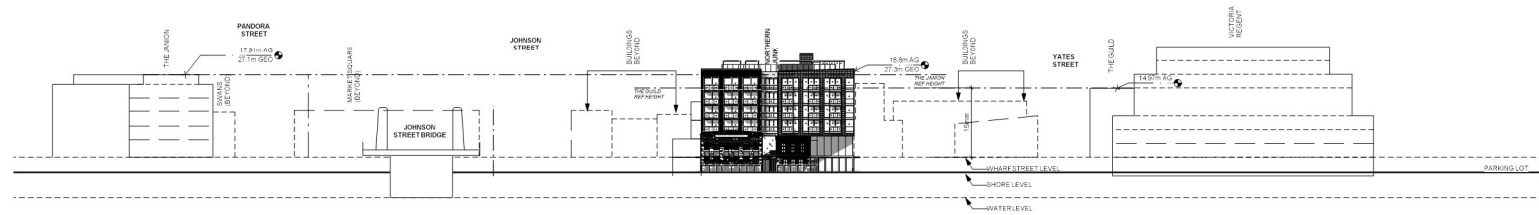
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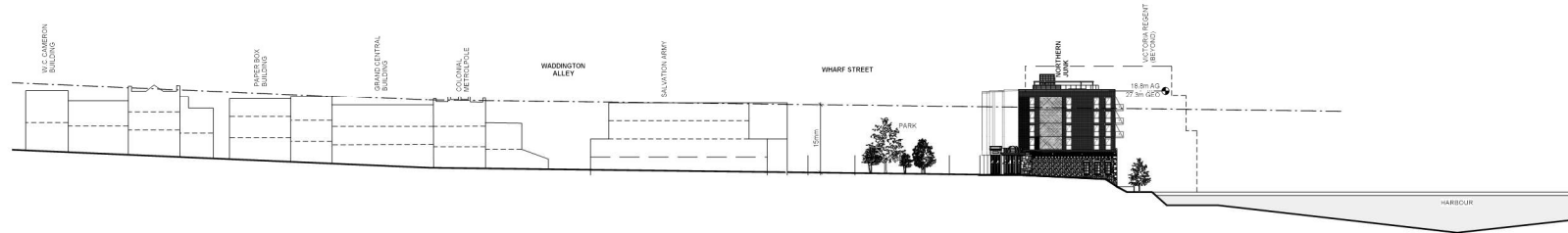
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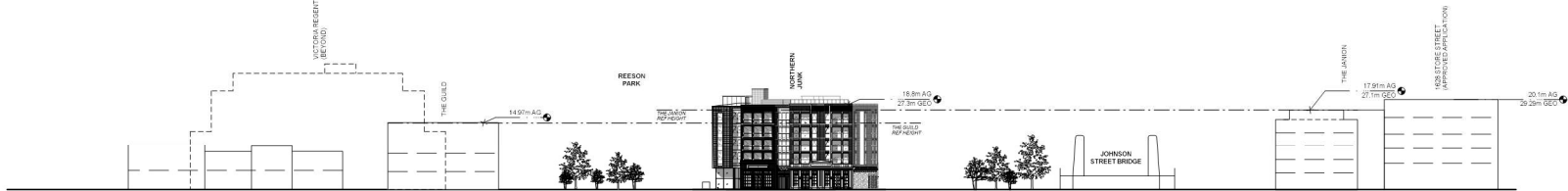
1 CONTEXT ELEVATION SOUTH
1:500



2 CONTEXT ELEVATION WEST
1:500



3 CONTEXT ELEVATION NORTH
1:500



4 CONTEXT ELEVATION EAST
1:500

NOTE: CONTEXT ELEVATIONS ARE APPROXIMATE BASED ON BEST ESTIMATES AND AVAILABLE INFORMATION.

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Context Elevations

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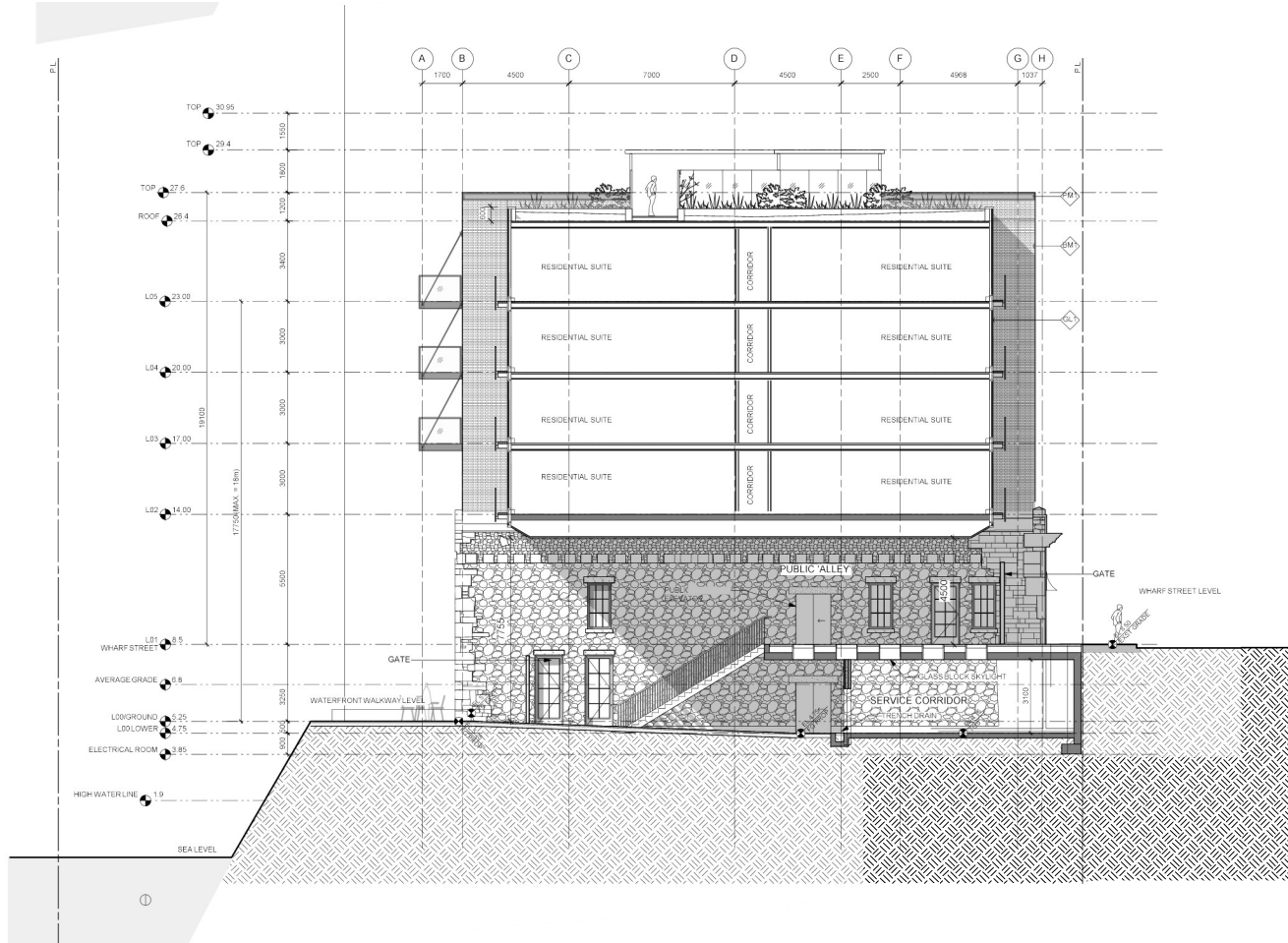


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SEAL



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Section - A

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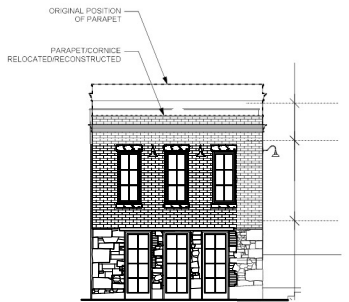
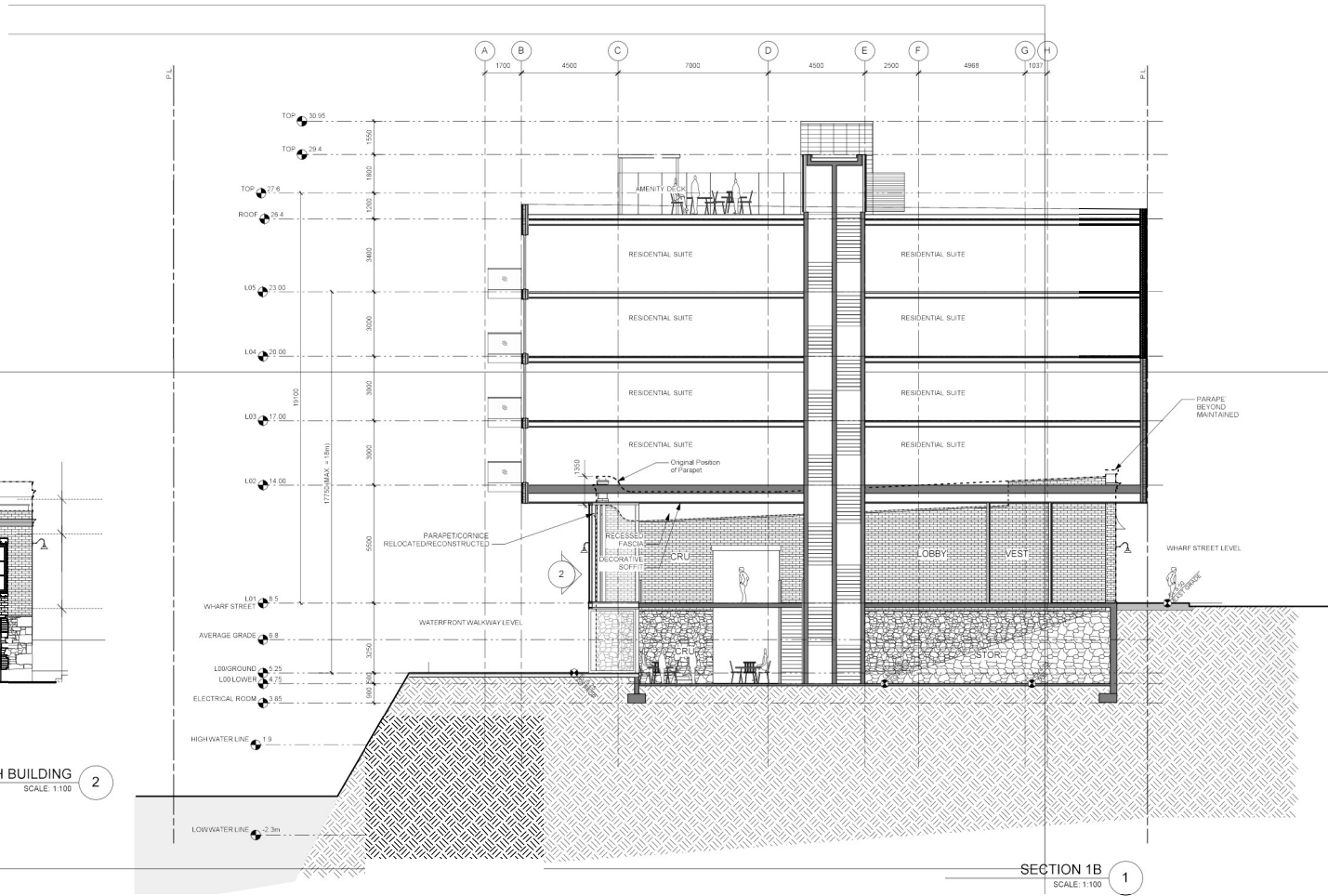
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Section - A2

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A-502

19004C



WEST ELEVATION OF SOUTH BUILDING
 SCALE: 1:100

SECTION 1B
 SCALE: 1:100

JOHNSON STREET NORTHERN JUNK

REZONING /HERITAGE ALTERATION PERMIT_R3

DRAWING LIST:

- L0.00 COVER
- L0.01 DESIGN RATIONALE
- L0.02 HIGH AND LOW TIDE DIAGRAM
- L1.01 LAYOUT PLAN - SURFACE LOT LOADING OPTIONS
- L1.02 LAYOUT AND MATERIALS PLAN - GROUND LEVEL
- L1.03 LAYOUT AND MATERIALS PLAN - ROOF
- L2.01 SECTIONS
- L2.02 SECTIONS



NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R1
4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3

PROJECT
**Johnson Street
 Northern Junk
 Site Layout**

ADDRESS
 1314 WHARF STREET
 Lot 182F (001-005-723)

DRAWING TITLE
COVER

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PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2021-01-13
DRAWN	TK
REVIEWED	JO

L0.00

Northern Junk Design Rationale

The landscape design associated with the updated Northern Junk building creates a functional and vibrant urban waterfront space that celebrates City of Victoria's shoreline. The public will benefit from the extended connection of the David Foster Way, proximities to Reeson Park and Johnson Street Bridge Public Realm.

Wharf Street Connection

The cast in place concrete sidewalk follows the requirements outlined in the Downtown Public Realm Plan and Streetscape Standards for the district of Inner Harbour. While there isn't room to include street trees between the existing buildings and the curb line, by not shifting the curb to achieve the necessary space we are able to protect the mature trees opposite the building. The hardscape paving in the passage between the buildings uses the same rhythm as the jointing in the sidewalk to create unity of the two spaces. The passageway also benefits from the glass tiles that create a light well into the spaces below. In-ground lighting along the edges provides safe lighting levels to prevent CTPED related issues. A gate located in line with the building faces and designed with historical reference can be used to secure the passageway after business hours.

Reeson Park Interface

The building design promotes an eyes-on-the park relationship of the CRU, the lobby and the residential units above Reeson Park. This is not only a benefit to the residents but provides a significant CPTED improvement as the sunken park is not in view from the street.

David Foster Way

The public extension of David Foster Way matches and aligns with the existing 4.5-meter width. The walkway is constructed from heavy timber members that evoke the industrial historical significance of the site. Emphasizing this relationship between the built and natural environment is a large precast "stone" seating feature. It provides a place to rest, wait for a table at the restaurant or simply enjoy the view.

The two outdoor patios are surfaced with stone pavers that create significant visual distinction between private and public spaces and also carry the historical connotation. These patios will provide animation along the David Foster Way. The comfortable atmosphere of the outdoor dining patios is created by discrete glass enclosures and two planters defining the spaces and protecting from the ocean winds. It is further emphasized by catenary lighting that defines the space with open canopy and provides soft ambient light.

The lower level of the passageway between the historical buildings uses heavy timber paving to create visual unity between the passageway and David Foster Way. In-ground lighting along the edges provides safe lighting levels to prevent CTPED related issues. As at the top on Wharf Street, a gate in line with the buildings provides after business hour security.

Rooftop

The rooftop includes an extensive sedum grass and perennial green roof and patios for residents. The patios are paved with hydrapressed pavers to allow for ease of removal for replacement and access to the slab for maintenance. There are three large cast in place planters located on the roof, one of which will serve as urban agricultural plot for the residents. Three shade structures will be providing comfort for residents using the roof for gardening or for leisure. The plant palette includes small native trees and native adapted plants with a variety of bloom periods and textures to reduce the need for watering while delivering all season interest.

Sustainability

Locally sourced stone pavers, manufactured timber and paving slabs have been selected as the paving material for their durability. A high efficiency, fully automated drip irrigation system with rain sensor will ensure healthy plant growth while keeping water use to a minimum. The green roof improves air quality, provides significant areas of planted space which will contribute to the reduction of heat island effect, reduce the urban storm water runoff and increases the habitat area along the shoreline.



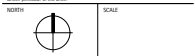
RESPONSES AND DATES		
NO.	DATE	DESCRIPTION
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2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_A1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_A1
4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_A1

Johnson Street Northern Junk Site Layout

ADDRESS
1314 WHARF STREET
Lot 182F (001-005-723)

DESIGN RATIONALE

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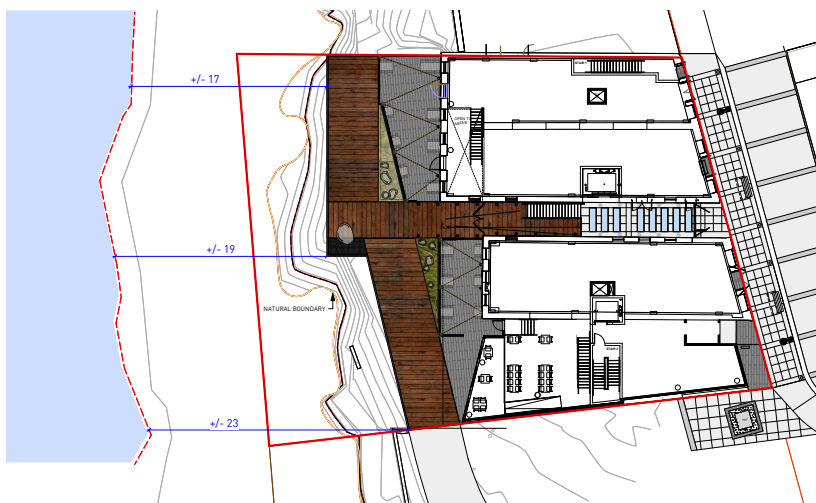
PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2021-01-13
DRAWN	TK
REVIEWED	JO

DRAWING

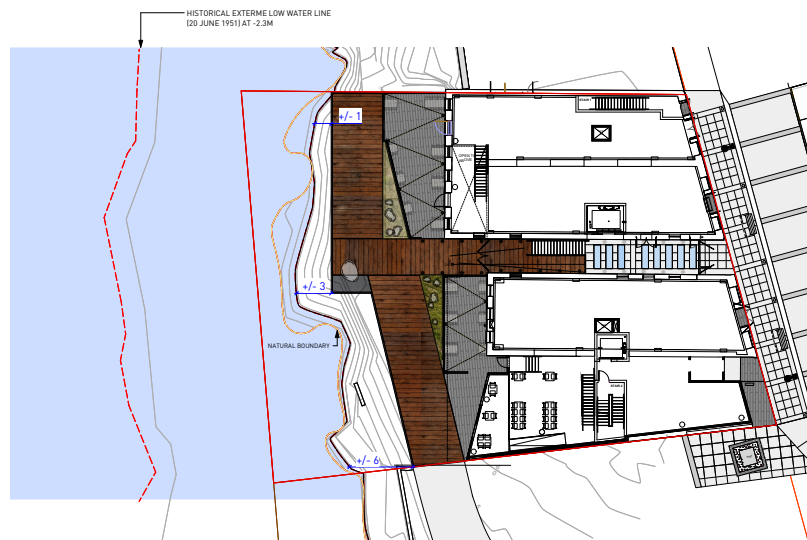
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REVISIONS AND DATES

NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_A1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_A2
4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_A3



**HISTORICAL EXTREME LOW WATER LINE
 (20 JUNE 1951) AT -2.3M**



**HISTORICAL EXTREME HIGH WATER LINE
 (02 JAN 2003) AT 1.9M GEODETIC**

PROJECT
**Johnson Street
 Northern Junk
 Site Layout**

ADDRESS
 1314 WHARF STREET
 Lot 182F (001-005-723)

DRAWING TITLE
**HIGH AND LOW TIDE
 DIAGRAM**

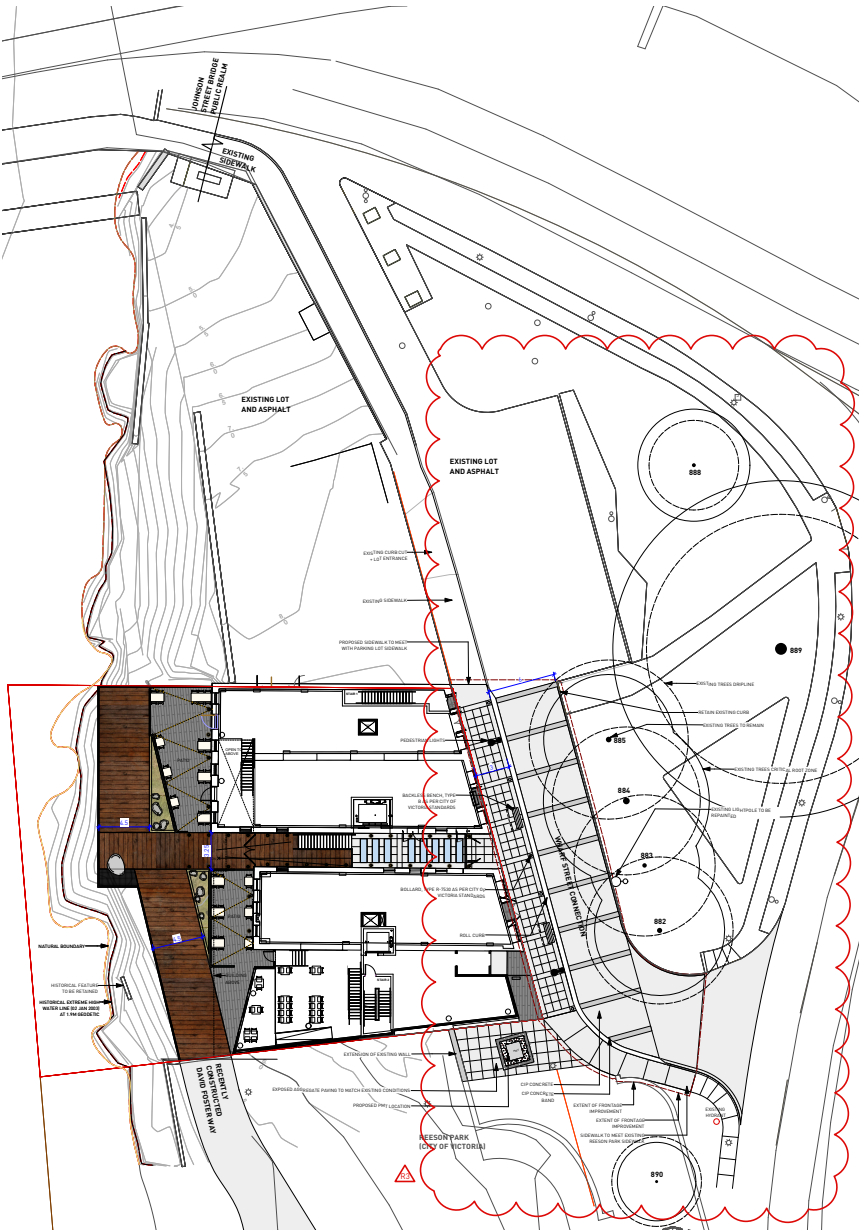
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SCALE: 1:200

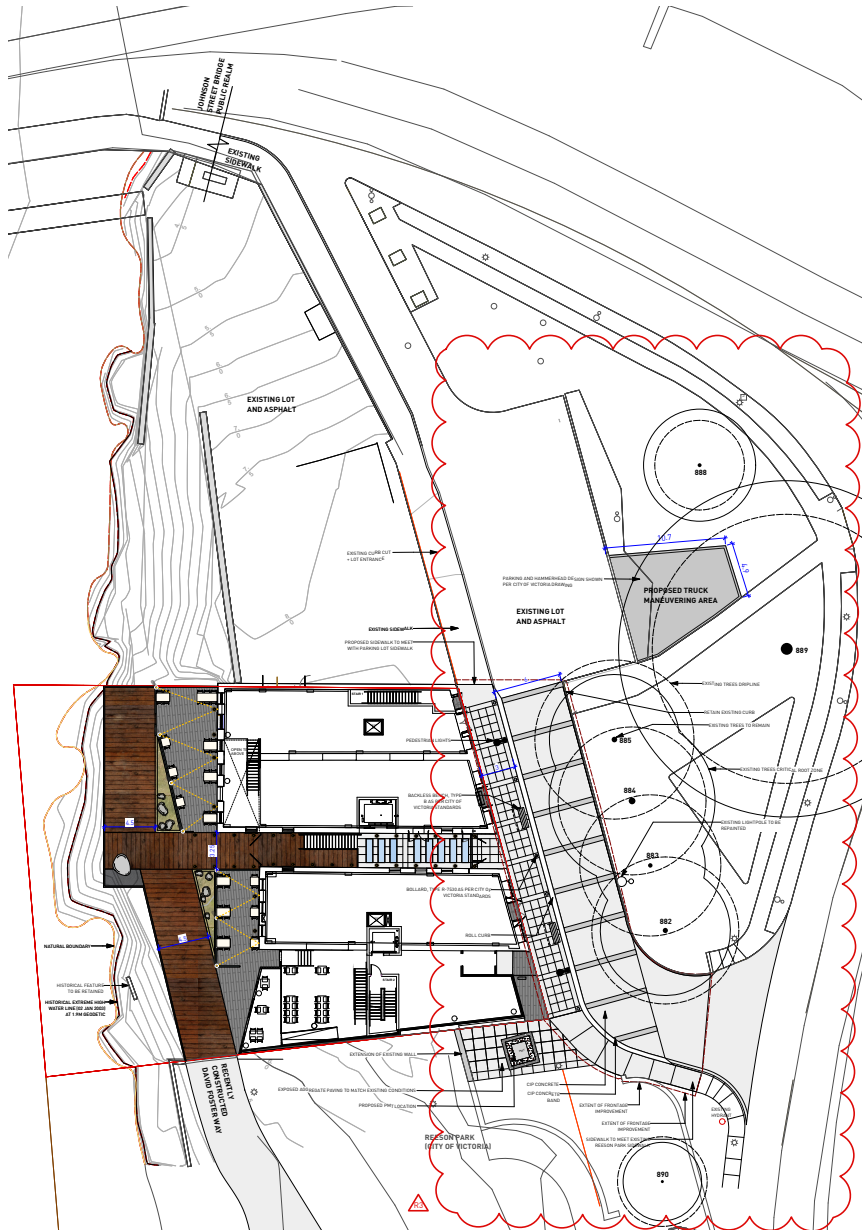
PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2021-01-13
DRAWN	TK
REVIEWED	JO

DRAWING

INTERIM PROPOSED CONDITION: MAINTAIN THE PARKING LOT



ULTIMATE PROPOSED CONDITION: ADJACENT SITE REDEVELOPED



REVISIONS AND DATES

NO.	DATE	DESCRIPTION
1	2020-06-10	REVISION / HERITAGE ALTERATION PERMIT
2	2020-10-11	REVISION / HERITAGE ALTERATION PERMIT_A1
3	2020-08-07	REVISION / HERITAGE ALTERATION PERMIT_A2
4	2021-01-11	REVISION / HERITAGE ALTERATION PERMIT_A3

PROJECT
**Johnson Street
 Northern Junk
 Site Layout**

ADDRESS
 1314 WHARF STREET
 Lot 182F (001-005-723)

CONTENTS
**LAYOUT - SURFACE LOT
 LOADING OPTION**

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DATE: 2021-01-11
 SCALE: 1:200

PROJECT NO: 15030
 DATE: October 2019
 FILE NAME: 15030 Northern Junk Plan.vrx
 PLOTTED: 2021-01-13
 DRAWING: TK REVIEWED: JO

L1.01

LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLAN. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
- REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.
- FOR TREE MANAGEMENT PLAN, REFER TO ABBREVIATED REPORT

HARDSCAPE MATERIALS LEGEND

KEY	DESCRIPTION
M1	Metal Guard Rail As per City of Victoria Standards for David Foster Way
M2	Parapet Wall Refer to Architecture

PAVING MATERIALS LEGEND

KEY	DESCRIPTION
P1	Timber Decking
P2	Stone Paving
P3	Light Wells
P4	CIP Concrete Sidewalk As per City of Victoria Standards
P5	CIP Concrete
P6	Stamped Asphalt Street Stone As per City of Victoria Standards
P7	Metal Grate Platform
P8	Asphalt
P9	Hydroponic Pavers
P10	Maintenance Strip

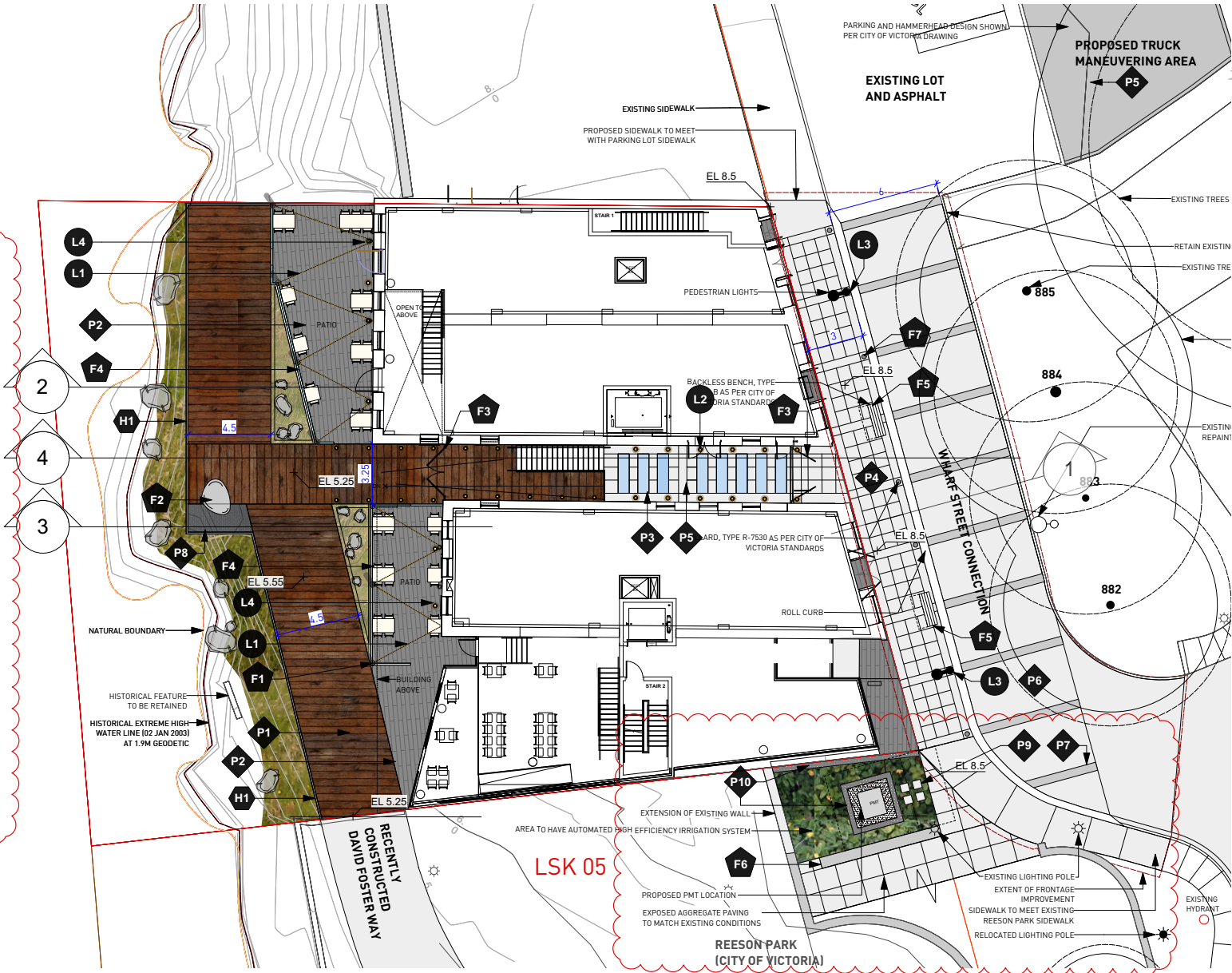
SITE FURNISHING MATERIALS LEGEND

KEY	DESCRIPTION
F1	Catenary Light Pole
F2	Metallic Stone Free Shape Seat
F3	Metal Gate
F4	Glass Overhead Refer to Architecture
F5	Backless Bench As per City of Victoria Standards
F6	Bollard As per City of Victoria Standards
F7	Custom Bench
F8	Trellis Structure
F9	Urban Agriculture Planting Table With Storage
F10	Urban Agriculture Planters
F11	CIP Concrete Planters

LIGHTING MATERIALS LEGEND

KEY	DESCRIPTION
L1	Catenary Lighting
L2	In Ground Lighting
L3	Proposed Pedestrian Lights
L4	Lighting for Heritage Building

IMAGES AS PER FOLLOWING:
 1. CATENARY LIGHTING
 2. IN GROUND LIGHTING
 3. STONE PAVING
 4. STONE SHAPESEAT
 5. TIMBER DECKING



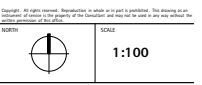
REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2020-08-18	REVISION / HERITAGE ALLOCATION PERMIT #1
2	2020-10-11	REVISION / HERITAGE ALLOCATION PERMIT #1
3	2020-09-07	REVISION / HERITAGE ALLOCATION PERMIT #2
4	2021-01-11	REVISION / HERITAGE ALLOCATION PERMIT #3
5	2021-03-04	REVISION / HERITAGE ALLOCATION PERMIT #3 UPGRADE

Johnson Street Northern Junk Site Layout

ADDRESS:
1314 WHARF STREET
Lot 182F (001-005-723)

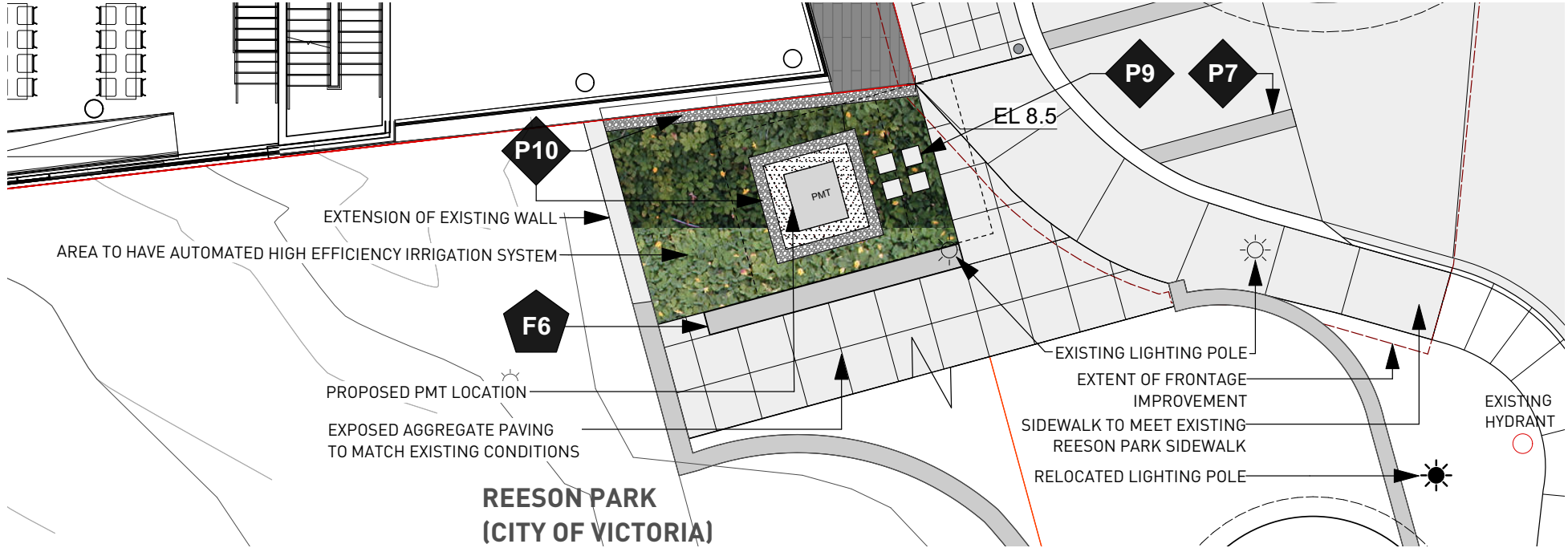
LAYOUT AND MATERIALS PLAN - GROUND LEVEL



PROJECT NO: 15030
 DATE: October 2019
 FILE NAME: 15030 Northern Junk Plan.vwx
 PLOTTER: 2021-03-09
 DRAWER: TK REVISION: JD

L1.02

PWL partnership
 PWL Partnership Landscape Architects Inc
 1st Flr, East Asia House
 1021 West 57th Street
 Vancouver BC, Canada V6E 2C2
 www.pwl-landscape.com
 T 604.682.1111
 F 604.682.1112



P9	Hydrapressed Pavers
P10	Maintenance Strip
F6	Custom Bench

Revised:



RESPONSES AND DATES		
NO.	DATE	DESCRIPTION
1	2020-06-10	REVISION / HERITAGE ALTERATION PERMIT
2	2020-10-11	REVISION / HERITAGE ALTERATION PERMIT_A1
3	2020-08-07	REVISION / HERITAGE ALTERATION PERMIT_A2
4	2021-01-11	REVISION / HERITAGE ALTERATION PERMIT_A3

PROJECT
 Johnson Street
 Northern Junk
 Site Layout

ADDRESS
 1314 WHARF STREET
 Lot 182F (001-005-723)

DRAWING TITLE
 LAYOUT AND MATERIALS
 PLAN - ROOF LEVEL

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NOTES

SCALE

1:100

PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2021-01-13
DRAWN	TK
REVIEWED	JO

DRAWING
 L1.03

- LAYOUT AND MATERIALS GENERAL NOTES**
- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
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 - REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURVES AND OUTLETS.
 - FOR TREE MANAGEMENT PLAN, REFER TO ARBORIST REPORT.

HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
	Metals Guard Rail As per City of Victoria Standards for David Foster Way
	Permeable Wall Refer to Architecture

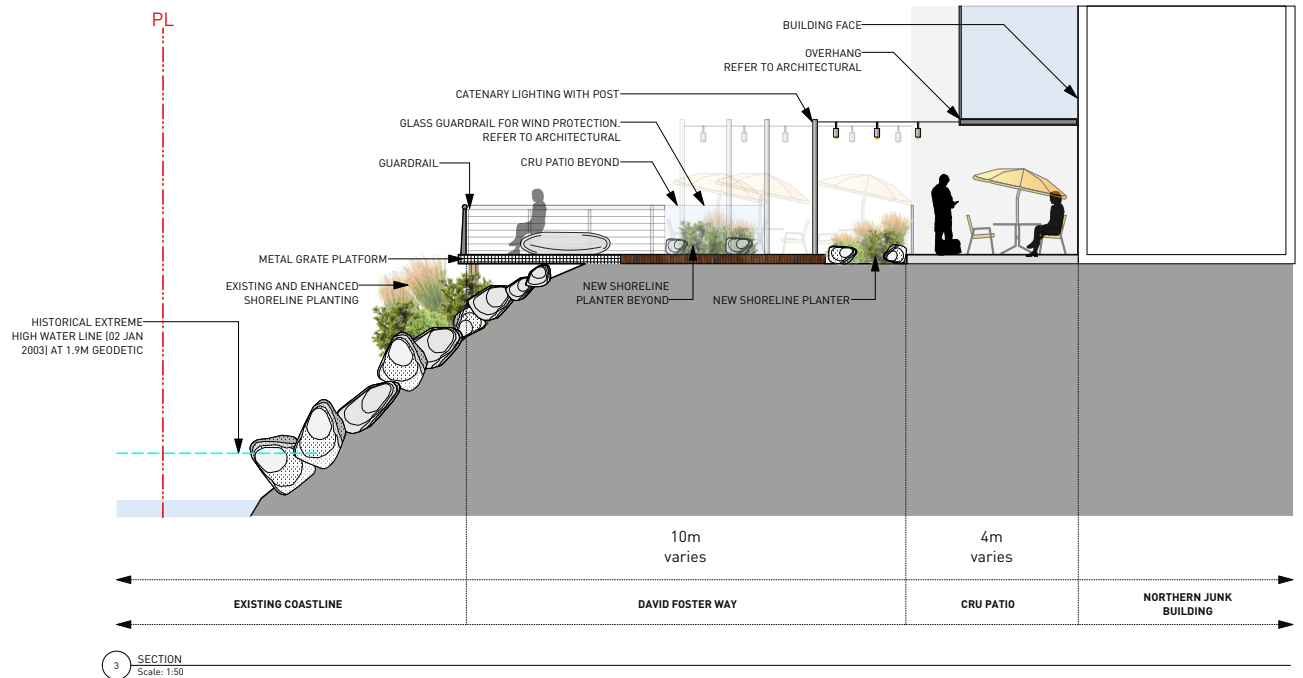
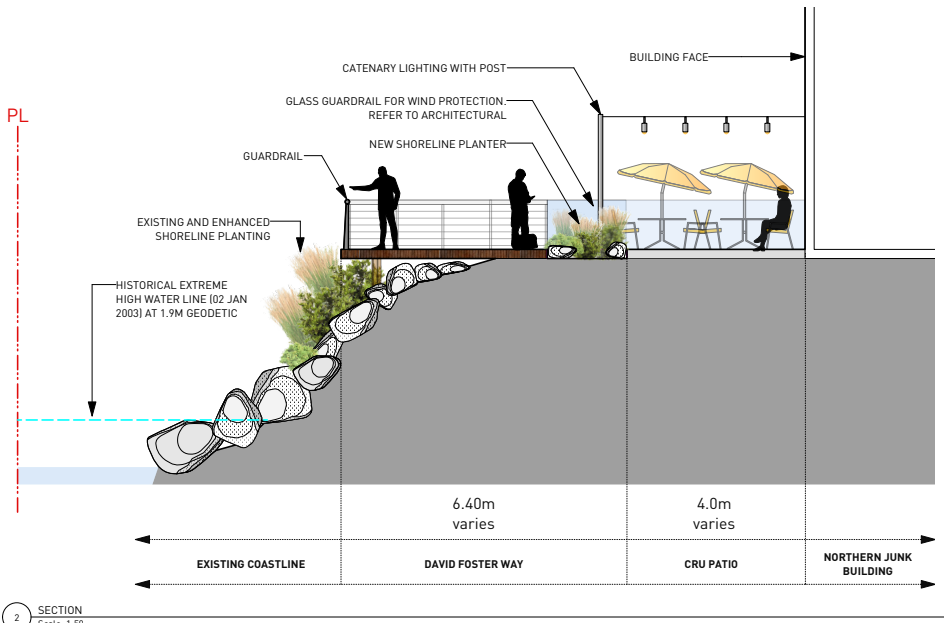
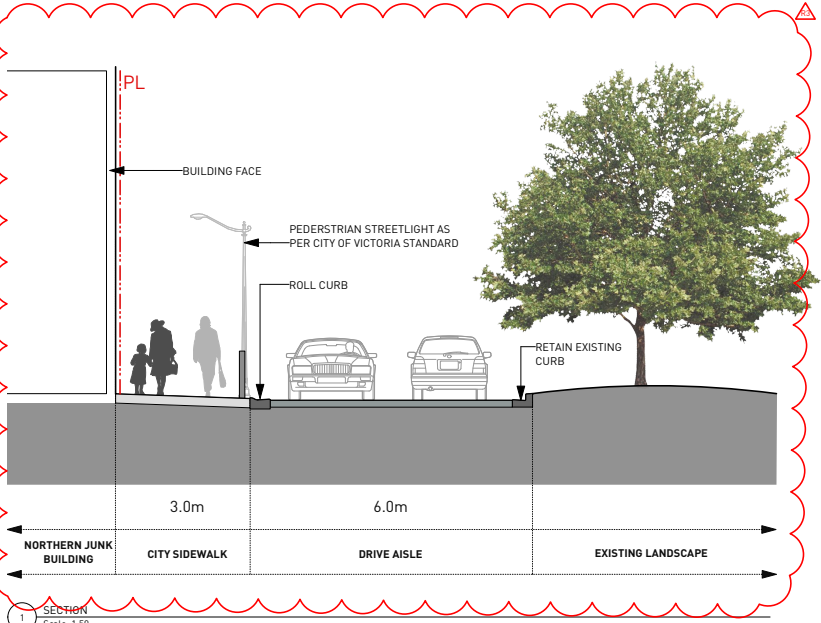
PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
	Timber Decking
	Stone Paving
	Light Walks
	CIP Concrete Sidewalk As per City of Victoria Standards
	CIP Concrete
	Stamped Asphalt Street Bond
	Metal Grate Platform
	Hydrograss Pavers

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
	Canopy Light Post
	Metals Stone Free Shape Seat
	Metal Gate
	Glass Guardrail Refer to Architecture
	Backless Bench As per City of Victoria Standards
	Billiard As per City of Victoria Standards
	Trellis Structures
	Urban Agriculture Palleting Tables With Storage
	Urban Agriculture Planters
	CIP Concrete Planters

LIGHTING MATERIALS LEGEND	
KEY	DESCRIPTION
	Canopy Lights
	In Ground Lights
	Proposed Pedestrian Lights
	Lighting for Heritage Building



FOR GUARDRAIL
 CONDITION, REFER TO
 ARCHITECTURAL



REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2
4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3

PROJECT
Johnson Street Northern Junk

ADDRESS
1314 WHARF STREET
Lot 182F (001-005-723)

DRAWING TITLE
SECTIONS

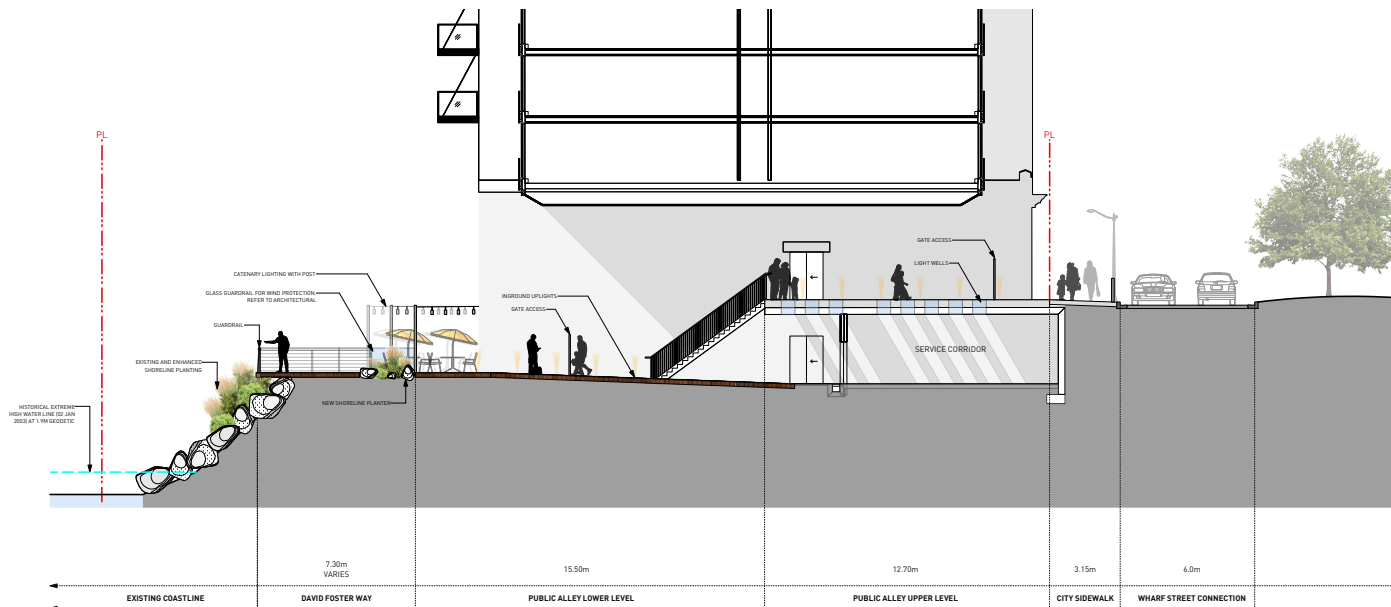
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PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Sections.vwx
PLOTTED	
DRAWN	TK
REVIEWED	JO
CHECKED	

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2
4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3



4 SECTION
 Scale: 1:100

PROJECT
**Johnson Street
 Northern Junk**

ADDRESS
 1314 WHARF STREET
 Lot 182F (001-005-723)

DRAWING TITLE
SECTIONS

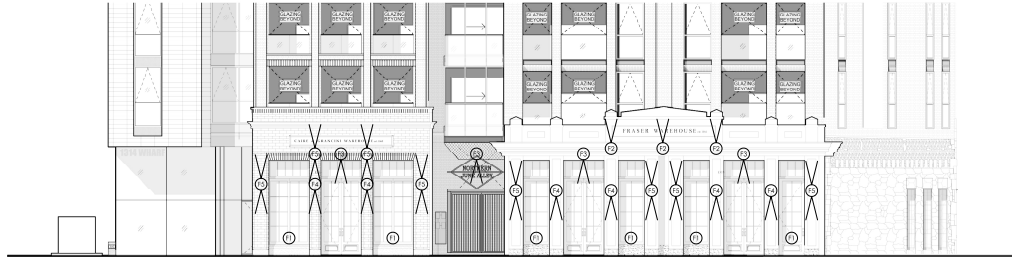
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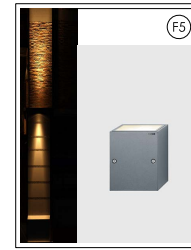
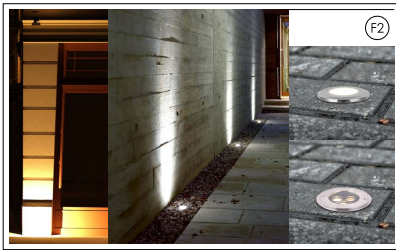
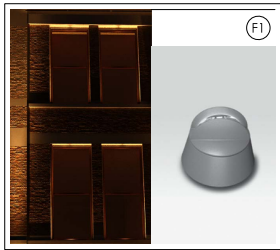
PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Sections.vwx
PLOTTED	
DRAWN	TK
REVIEWED	JO

DRAWING

L2.02



1 EAST ELEVATION
SCALE - 1:100



3 FIXTURE TYPES
N.T.S.

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ARCHITECT

Boniface Oleksiuk Politano Architects
460-1506 West Georgia Street
Vancouver, BC V6G 2G2
Tel: 609-021-4068
info@bonifacemetro.ca

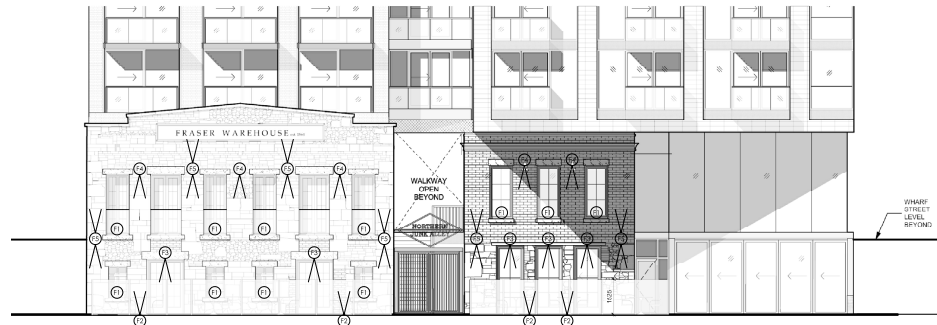
LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	PRODUCT	MOUNTING	WATTS (W)	TYPE	LAMP LED Lumens	COLOR	V	REMARKS
1	180 DEG WINDOW SILL MOUNTED LUMINAIRE C/W NARROW BEAM TO FRAME WINDOW	IGUZZINI TRICK 1 BU16-UNV-XX	SURFACE	3	LED	77	3000	120	SILVER COLOUR FIXTURE
2	IN-GROUND STAINLESS STEEL HOUSING UPLIGHT 24DEG NARROW FLOOD	LITEHARBOR VOLTECH ROUND IN-GROUND MR16 LED BULB 1V6.30-H-S1	IN-GROUND	10	LED	600	3000	120	STAINLESS STEEL HOUSING
3	2.5 DIA IP44 24DEG RECESSED DOWNLIGHT WITH CLEAR GLASS LENS	HONTECH HT-THD10WAW C/W REMOTE DRIVER	RECESSED	10	LED	850	3000	120	ALUMINUM FINISH TRIM COLOUR
4	2374 X 187W X 40'D SLOPING GOOSENECK SINGLE BULB FIXTURE	LONGSHIRE TIDES -HALEIGH OUTDOOR BARN LIGHT	WALL SURFACE MOUNTED	8	LED	650	2700	120	GALVANIZED SILVER
5	IRE 65 ADJUSTABLE SQUARE NARROW BEAM UPLIGHT - DOWNLIGHT WITH BLENDING LENS	ERCO 34500-000 C/W MOUNTING PLATE	WALL	20	LED	1800	3000	120	ALUMINUM FINISH FIXTURE

NOTES

1. THESE LUMINAIRES ARE OPTIONAL. THESE SHALL BE NOT BE INCLUDED IN THE BASE BID AND SHALL BE SHOWN AS A BREAKOUT "ADD PRICE" PRICE. PRICE SHALL INCLUDE ALL COMPONENTS FOR LUMINAIRE TO BE OPERATIONAL INCLUDING TAXES, INSTALLATION, HANDLING, SHIPPING, WIRING.
2. FINAL CALCULATIONS WITH STREET LIGHTING SHOULD BE ADVANCED TO AVOID LIGHT POLLUTION. PROCESS TO BE VERIFIED DURING CONSTRUCTION DRAWINGS PRIOR TO TENDER OR PROCUREMENT OF NOTED FIXTURES.

GENERAL NOTES

- A. DUE TO CONSTANT CHANGES IN CATALOGUE NUMBERS, ALL NUMBERS INDICATED MUST BE VERIFIED WITH THE MANUFACTURER PRIOR TO ORDERING.
- B. ALL LUMINAIRE FINISHES TO BE APPROVED BY ARCHITECT PRIOR TO ORDERING.
- C. TIME OF COORDINATION FOR ALL CEILING TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO ORDERING. CONTRACTOR TO OBTAIN A SET OF FINISH ARCHITECTURAL DRAWINGS AND COORDINATE MOUNTING WITH CEILING TYPES SHOWN. NO EXTRAS WILL BE ALLOWED FOR ROUGH IN.
- D. CONTRACTOR TO ALLOW A MINIMUM 2 WEEKS FOR INTL REVIEW OF ENTIRE LIGHTING SHOP DRAWING PACKAGE. NO DELAY CLAIMS WILL BE ALLOWED FOR ANY SUBSEQUENT REVIEW TIME REQUIRED DUE TO INCORRECT SHOP DRAWINGS.
- E. ALL CONTROLS INTEGRATED WITH LUMINAIRES TO BE COMMISSIONED ON SITE AFTER INSTALL. CONTRACTOR TO ENSURE THAT ALLOWANCE IS MADE FOR ADJUSTING AND COMMISSIONING OF ALL CONTROLS AS REQUIRED.
- F. COORDINATE MOUNTING HEIGHT OF ALL WALL MOUNTED LUMINAIRES WITH ARCHITECT PRIOR TO HOUGH IN.
- G. ALL JUNCTION BOXES FOR SURFACE MOUNT LUMINAIRES SHALL NOT BE HIGHER THAN THE LUMINAIRE MOUNTING PLATE.
- H. ALL LED LUMINAIRES ARE INCLUDED WITH CONSTANT CURRENT DRIVERS UNLESS SPECIFIED.
- I. ALL LUMINAIRES SHALL BE APPROVED AS DEFINED IN CURRENT CANADIAN ELECTRICAL CODE (CEC)



2 WEST ELEVATION
SCALE - 1:100

SEAL

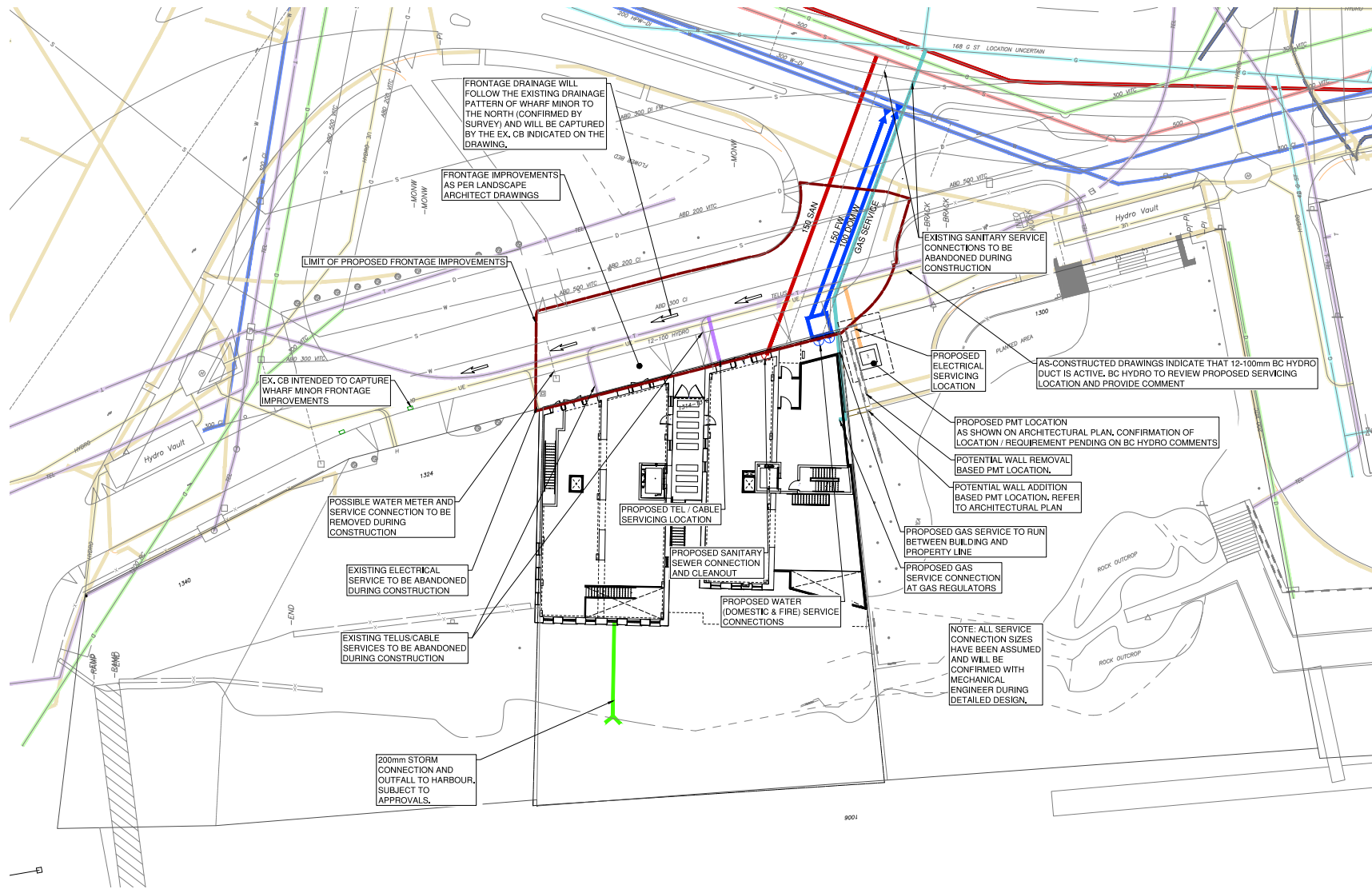
Northern Junk

1314-1318 Wharf Street, Victoria BC

Lighting Plan

DRAWN: PLOT DATE: CHECKED:

A-600



LEGEND

SURFACE DETAIL	<ul style="list-style-type: none"> HYDRO MANHOLE HYDRO POLE HYDRO POLE WITH DIP JOINT POLE HYDRO POLE WITH LIGHT HYDRO SERVICE BOXES HYDRO VAULT 	<ul style="list-style-type: none"> SEWER LATERAL WATER VALVE ON MAIN WATER SERVICE VALVE WATER METER BOULEVARD SERVICE FIRE HYDRANT REDUCER LIGHT MANHOLE LIGHT PULL BOX - SIDEWALK 	<ul style="list-style-type: none"> TEL MANHOLE TEL POLE TEL POLE WITH DIP TEL POLE WITH LIGHT TEL SERVICE BOXES TEL VAULT POLE ANCHOR HYDRO/TEL POLE TO BE RELOCATED 	<ul style="list-style-type: none"> SIGNAL PULL BOX - SIDEWALK LIGHT/SIGNAL PULL BOX - STREET LIGHT POLE (STEEL) SIGNAL POLE (STEEL) LIGHT/SIGNAL POLE (STEEL) CLUSTER LAMP - TYPE A CLUSTER LAMP - TYPE B STREET SIGN PARKING METER 	<ul style="list-style-type: none"> HYDRO/TEL POLE TO BE REMOVED GAS METER GAS VALVE GAS SNIFFER TEST HOLE FENCE LINE RETAINING WALL TREE ROCK OUTCROP 	<ul style="list-style-type: none"> SANITARY STORM WATER HYDRO LIGHTING GAS TEL/CABLE
-----------------------	---	--	--	--	--	---

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DISCLAIMER
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

THIS DRAWING IS NOT TO BE SCALED.

REV	DATE	DESCRIPTION	DES	DRN	CHK	PA
1	2021-10-12	REVISED AS PER CITY COMMENTS	EP	EP	JL	JL
2	2021-10-17	REVISED AS PER CITY COMMENTS	EP	EP	JL	JL
3	2021-10-11	ISSUED FOR REVIEW	EP	CD	JL	JL
4	2021-10-11	ISSUED FOR REVIEW	EP	CD	JL	JL

REV	DATE	DESCRIPTION	DES	DRN	CHK	PA
1	2021-10-12	REVISED AS PER CITY COMMENTS	EP	EP	JL	JL
2	2021-10-17	REVISED AS PER CITY COMMENTS	EP	EP	JL	JL
3	2021-10-11	ISSUED FOR REVIEW	EP	CD	JL	JL
4	2021-10-11	ISSUED FOR REVIEW	EP	CD	JL	JL

CROSSTOWN PROPERTIES (WHARF STREET) LTD.

CLIENT REF NO: 0000



**JOHNSON STREET GATEWAY
NORTHERN JUNK**

PROJECT NO: 171-08724-00

SCALE: 1:200

DISCIPLINE: CIVIL

CONCEPTUAL SITE SERVICING PLAN

DRAWING NO: C01

SHEET NO: 1 OF 1

ISSUE: REVISED AS PER CITY COMMENTS

DATE: 2021-01-12

ISSUE: 2