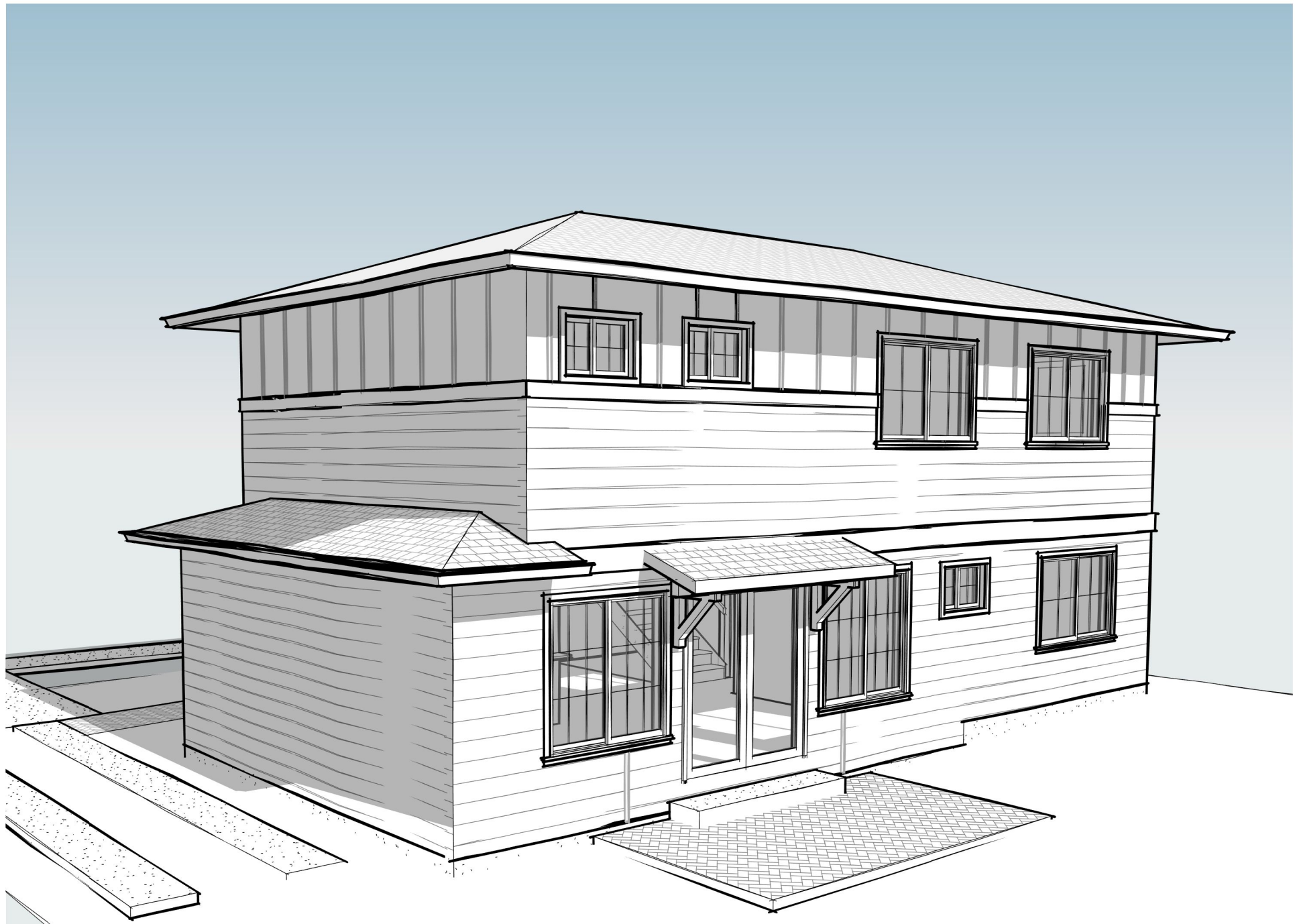


1 Front Left



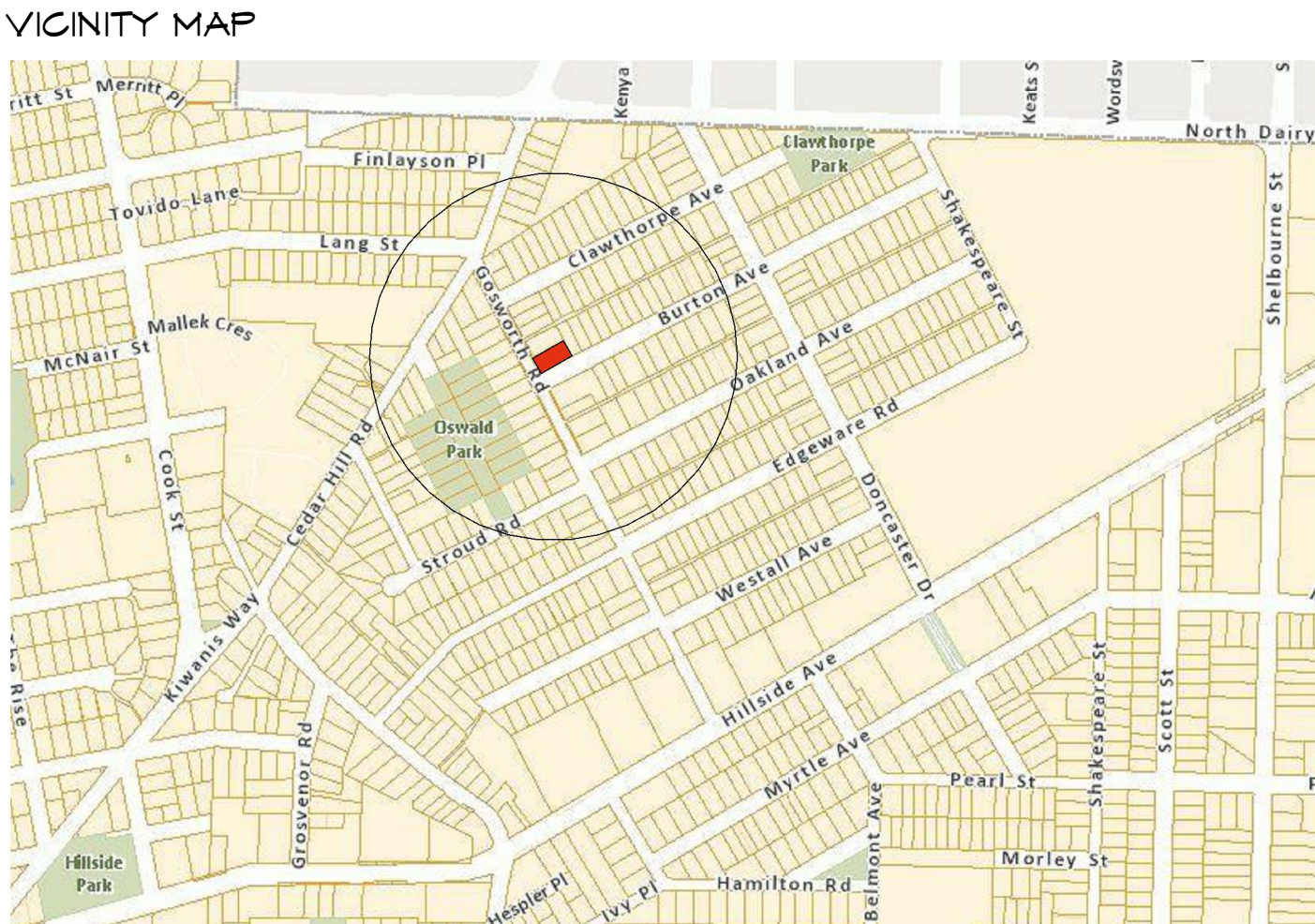
2 Front Right



3 Rear




4 South (Front) Cover
3/16" = 1'-0"



- GENERAL NOTES:**
- 1) DIMENSIONS PROVIDED SHALL TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS OF BUILDING DESIGNER AND CONSULTANT'S DRAWINGS PRIOR TO WORK COMMENCEMENT. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY. ANY NOTES ELSEWHERE ON THE PLANS THAT EXCEED THE REQUIREMENTS STATED IN THE GENERAL NOTES TAKE PRECEDENCE.
 - 2) PRIOR TO ANY ALTERATION OR MODIFICATION OF PLANS OR DETAILS ON SITE, CONTRACTOR(S), TRADEPERSONS AND/OR HOMEOWNER(S) MUST CONTACT BUILDING DESIGNER TO CONFIRM BUILDING CODE AND/OR STRUCTURAL ENGINEERING REQUIREMENTS AND TO MAINTAIN ACCURACY AND COMPLETENESS OF PLANS.
 - 3) ALL NEW CONSTRUCTION TO MEET CURRENT BC BUILDING CODE 2012.
 - 4) VENTILATION INTAKE AND EXHAUST TO MEET ALL BCBC REGULATIONS.
 - 5) VENTILATION CHECKLIST TO BE COMPLETED PRIOR TO FRAMING INSPECTION.
 - 6) SAFETY GLASS REQUIRED FOR ALL BATHTUB ENCLOSURES, SIDELIGHTS, AND GLASS IN DOORS.
 - 7) EGRESS FROM ALL BEDROOMS TO MEET CURRENT BCBC REGULATIONS.
 - 8) CARBON MONOXIDE ALARM LOCATIONS TO BE DETERMINED, AS PER BCBC.
 - 9) PHOTO-ELECTRIC/INTERCONNECTED SMOKE DETECTORS LOCATED AS PER BCBC.

- LIST OF CHANGES MADE TO PREVIOUS SET OF PLANS:**
- 1 - UPPER FLOOR AREA AND MASSING REDUCED; SHEET A1, A7
 - 2 - SIDING MODIFIED, SHEET A4



Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date:
April 18, 2019

PROJECT DATA:

Property Owners: 2960521 Holdings Ltd.

Civic Address: 2921 Gosworth Road, Victoria BC, V8T 3C8

Legal Description: Amended lot 18, Block 1, Section 29-30, Victoria District, Plan 1222

Zone: R1-B

Project Description: Rezoning to R1-S2; Small Lot House

Site Area: 670m² (7212 SF)

Storeys: LOT A: 1
LOT B: 2

PROJECT INFORMATION TABLE - PARENT LOT (A)		
	PROPOSED/EXIST.	ALLOWED
Zoning:	R1-S2	
Site Area:	314.8 M ²	MIN. 260 M ²
Site Coverage:	96.1 M ² = 30.5 %	40 %
Total Floor Area:	91.7 M ²	190 M ²
Floor Space Ratio:	0.29	0.6
Height of building (M):	4.7 M	7.5 M
Number of storeys:	1	2
SETBACKS		
Front Yard:	3.38 M *	6.0 M
Rear Yard:	2.67 M	6.0 M
Side - East:	1.5 M	1.5 M
Side - West:	7.54 M	2.4 M
Open Site Space (%):	62.5 %	
Parking Stalls on site:	1	MIN. 1
* VARIANCE SOUGHT: 1. Side Yard Setback: from 2.4m to 1.9m (Habitable Room) 2. Front Yard Setback: from 6.0m to 3.38m		

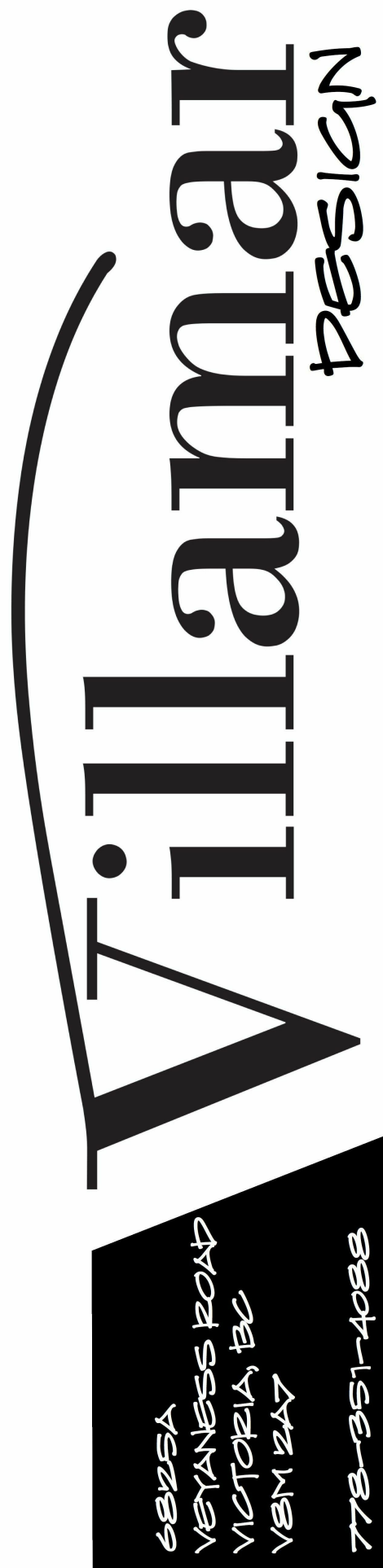
PROJECT INFORMATION TABLE - SMALL LOT (B)		
	PROPOSED	ALLOWED
Zoning:	R1-S2	
Site Area:	315 M ²	MIN. 260 M ²
Site Coverage:	84.4 M ² = 26.8 %	40 %
Total Floor Area:	142.8 M ²	190 M ²
Floor Space Ratio:	0.45	0.60
Height of building (M):	6.18 M	7.5 M
Number of storeys:	2	2
SETBACKS		
Front Yard:	4.9 M	6.0 M
Rear Yard:	6.0 M	6.0 M
Side - East:	3.39 M	1.5 M
Side - West:	1.50 M	1.5 M
Open Site Space (%):	60.0 %	
Parking Stalls on site:	1	MIN. 1
VARIANCE SOUGHT: Front Yard setback: from 6.0m to 4.9m		

PROJECT TEAM:

SURVEYOR:
Wey Mayenburg Land Surveying Inc.
#4-2227 James White Boulevard
Sidney, BC V8L 1Z5
250-656-5155

STRUCTURAL ENGINEER:
Byron Rotgans, P.Eng.
Munro Engineering Ltd.
1198 Munro St.
Victoria, BC V8A 5P6
250-851-2640

Sheet List	
Sheet Number	Sheet Name
A1	Cover
A2	Site
A2.1	Site - Context
A3	LOT A - Elevations & Floor Plan
A4	LOT B - Elevations
A6	LOT B - Main Floor Plan
A7	LOT B - Upper Floor Plan



2921 Gosworth Rd.
Victoria, BC

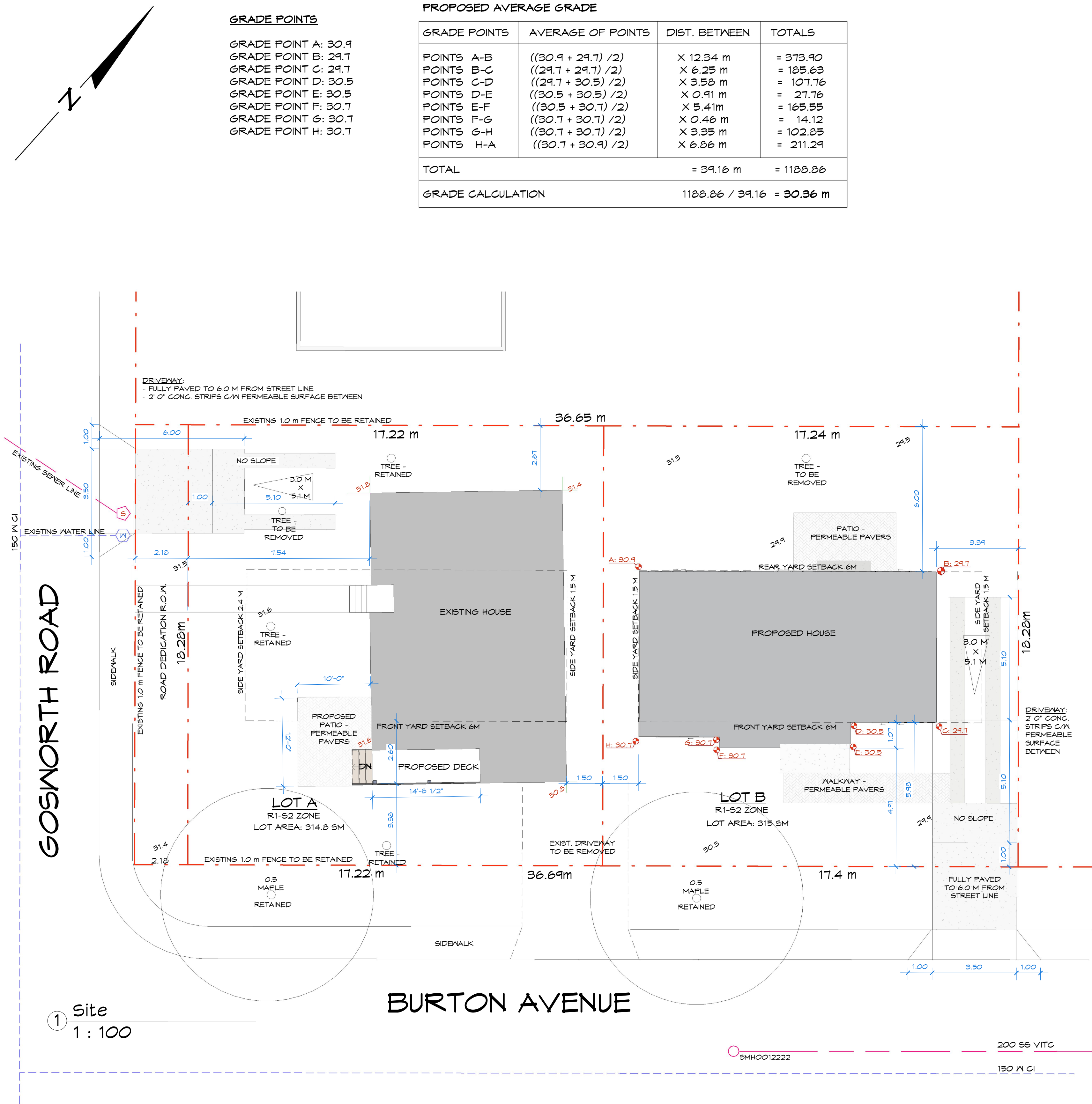
2960521
Holdings Ltd.

DATE	ISSUED FOR
Apr. 16, 2019	Revisions: COTN
Jan. 25, 2019	Revisions: City Review
Nov. 30, 2018	Revisions: City Review
Oct. 15, 2018	Rezoning Application

REZONE

Cover

SHEET ISSUE DATE	
APRIL 16, 2019	
PROJECT NUMBER	1017
DRAWN BY	AJN
CHECKED BY	DE
A1	
SCALE As indicated	



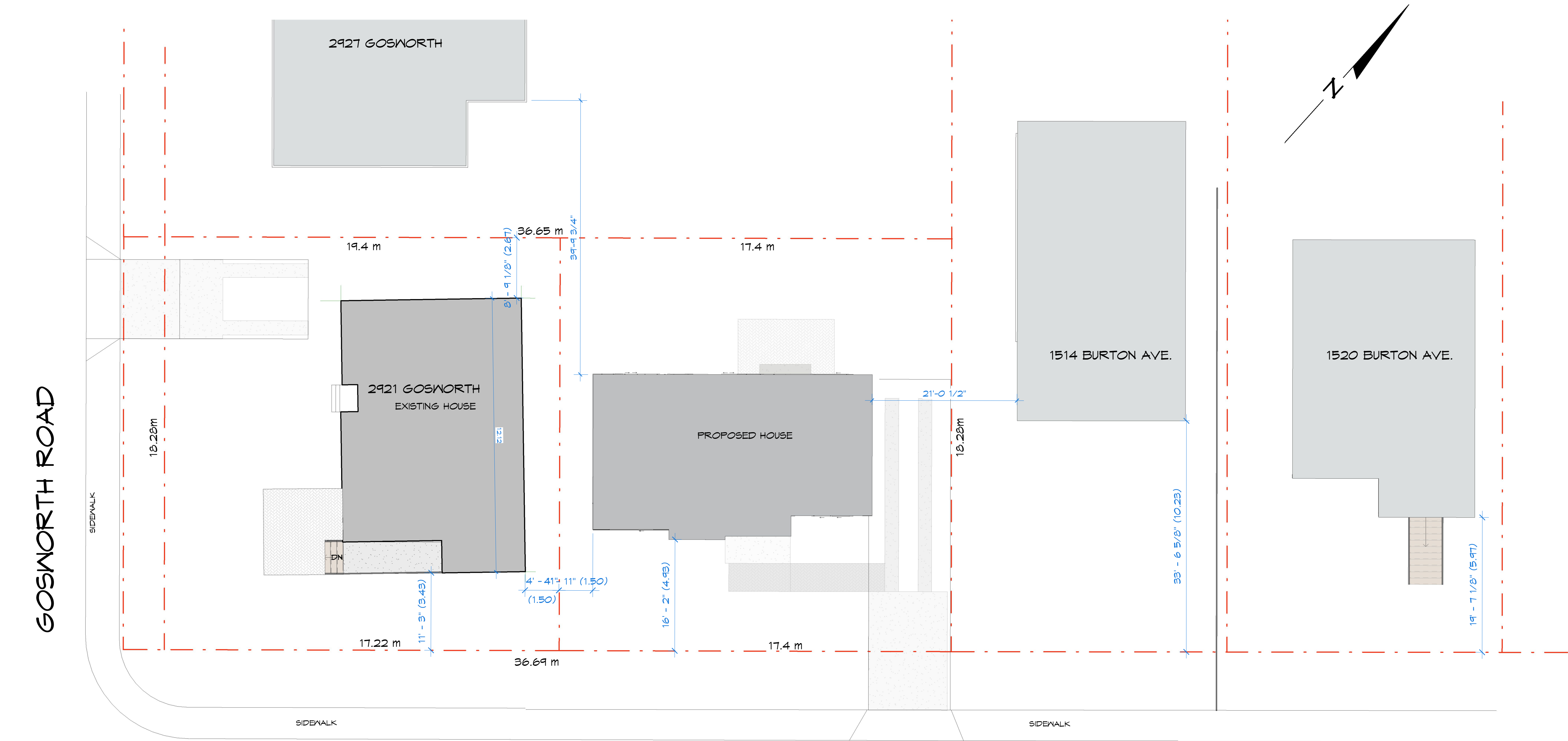
DATE	ISSUED FOR
Apr. 16, 2019	Revisions: COTN
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REZONE

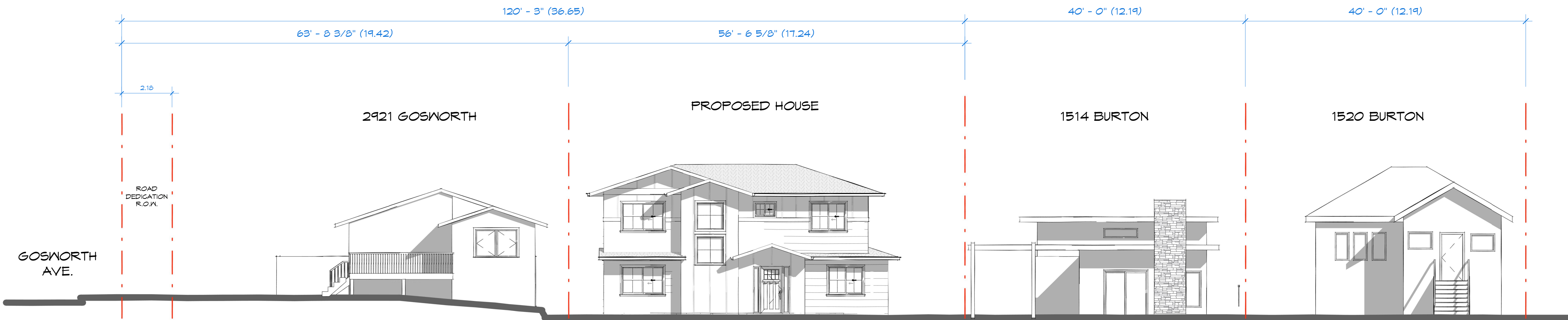
Site

SHEET ISSUE DATE	APRIL 16, 2019
PROJECT NUMBER	1817
DRAWN BY	AJW
CHECKED BY	DE
	A2
SCALE	As indicated

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② Site - Context
1:96



① South (Front)-Streetscape
1:96

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V8M 2A7
778-951-4088

2921 Gosworth Rd.
Victoria, BC

29GOS21
Holdings Ltd.

DATE	ISSUED FOR
Apr. 16, 2019	Revisions: COTW
Jan. 25, 2019	Revisions: City Review
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REZONE

Site - Context

SHEET ISSUE DATE
APRIL 16, 2019

PROJECT NUMBER
1017

DRAWN BY
AJW

CHECKED BY
DE

A2.1

SCALE
As indicated

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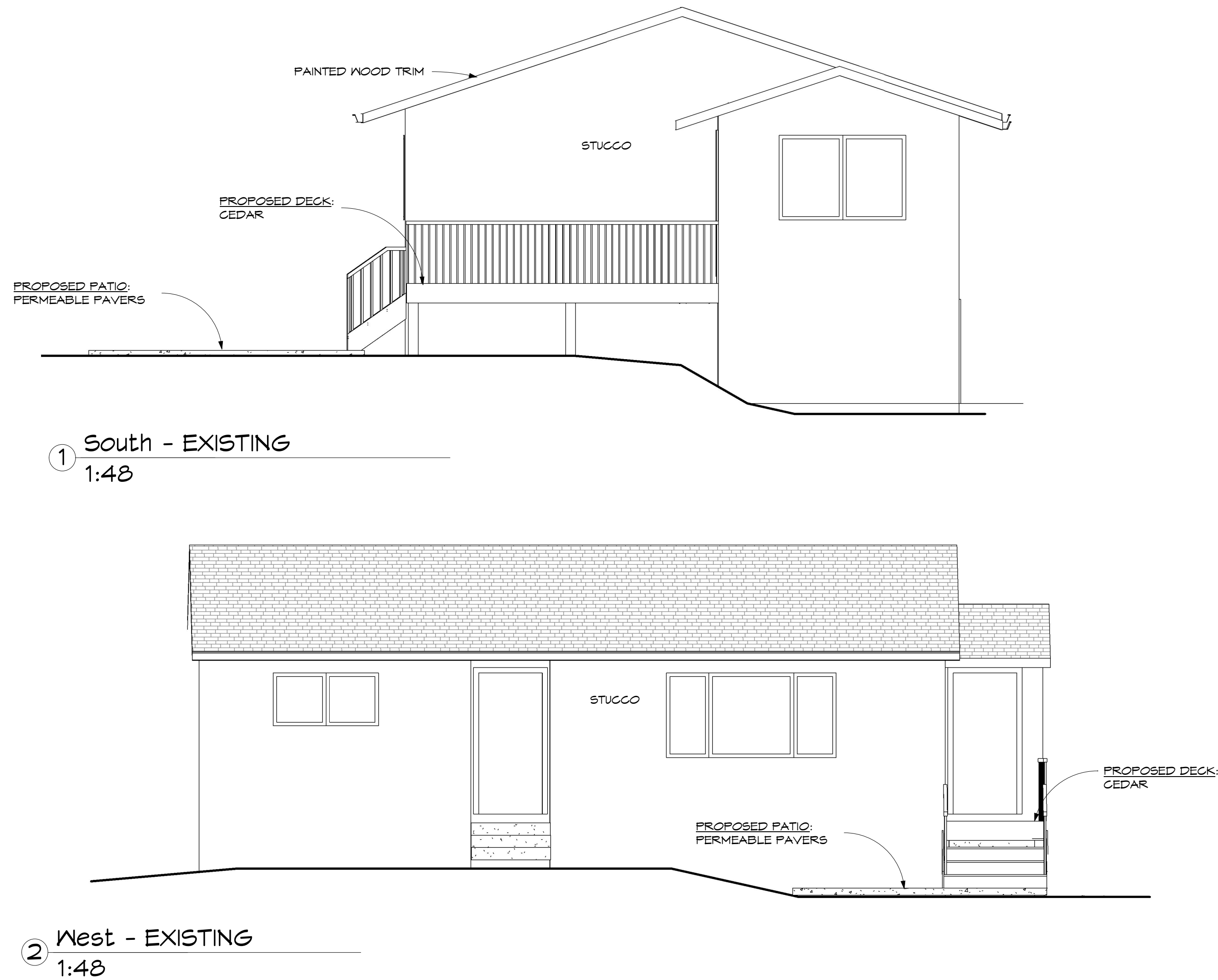
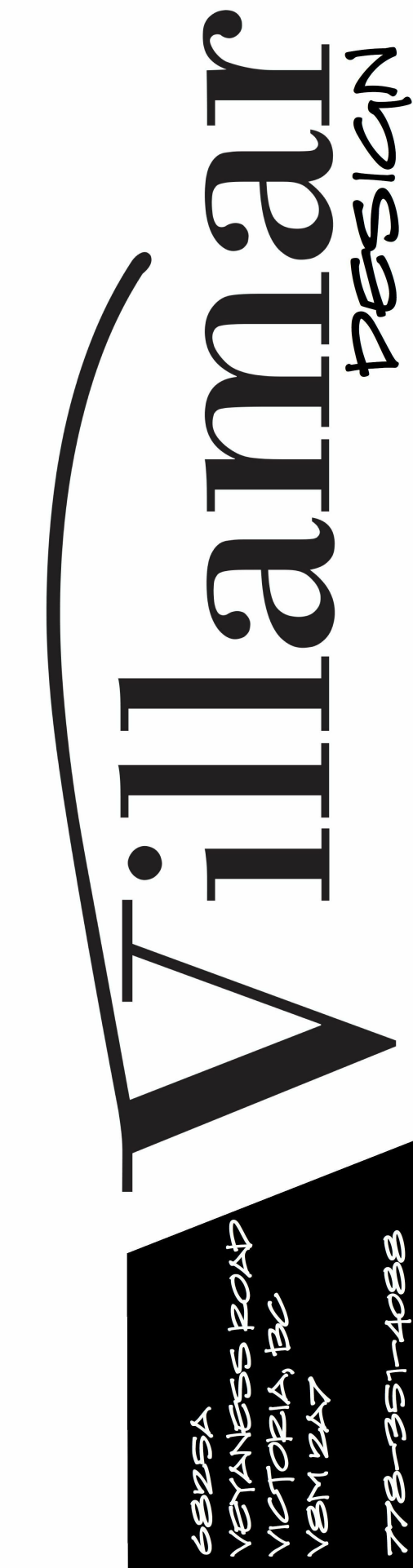
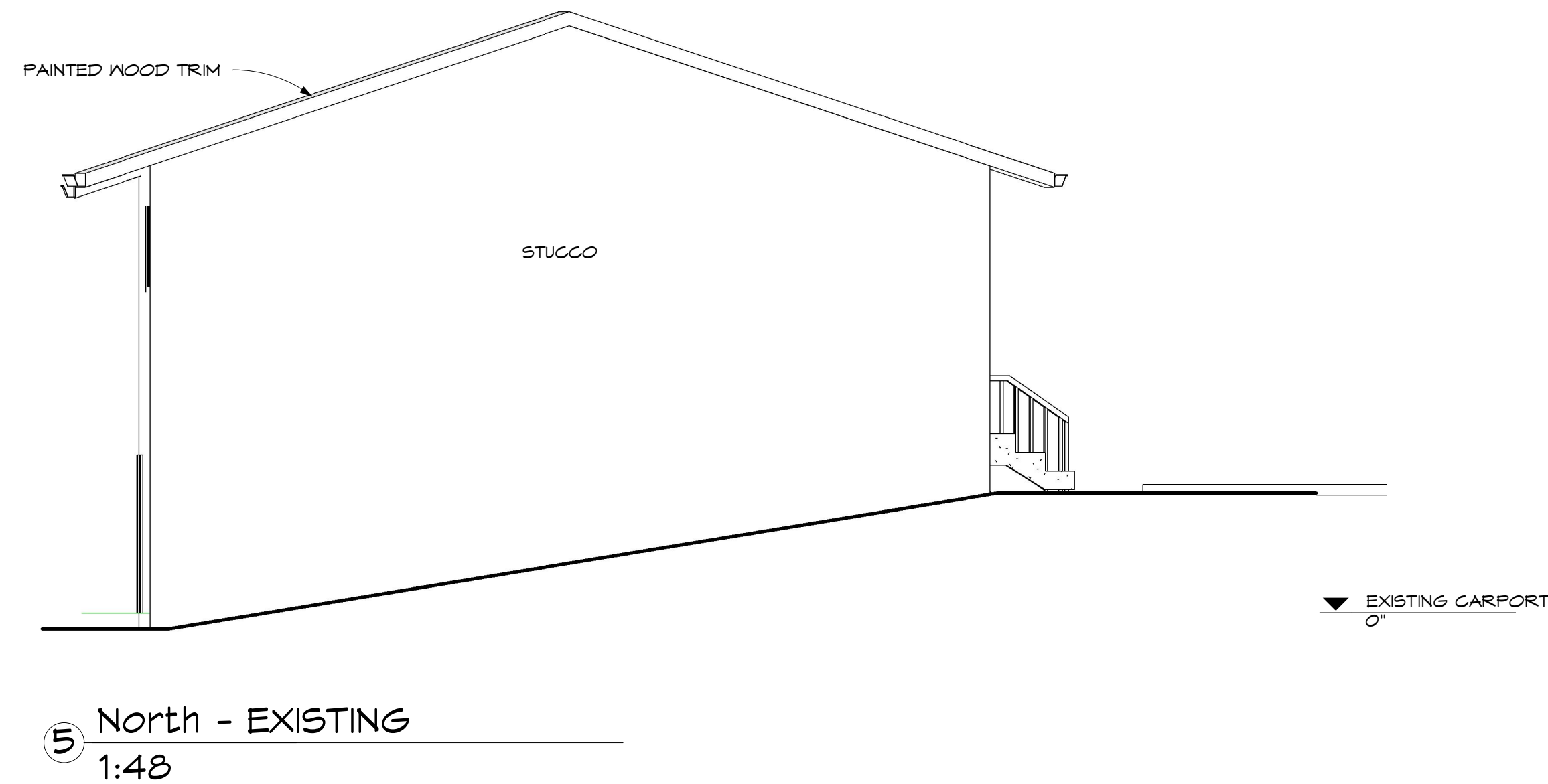
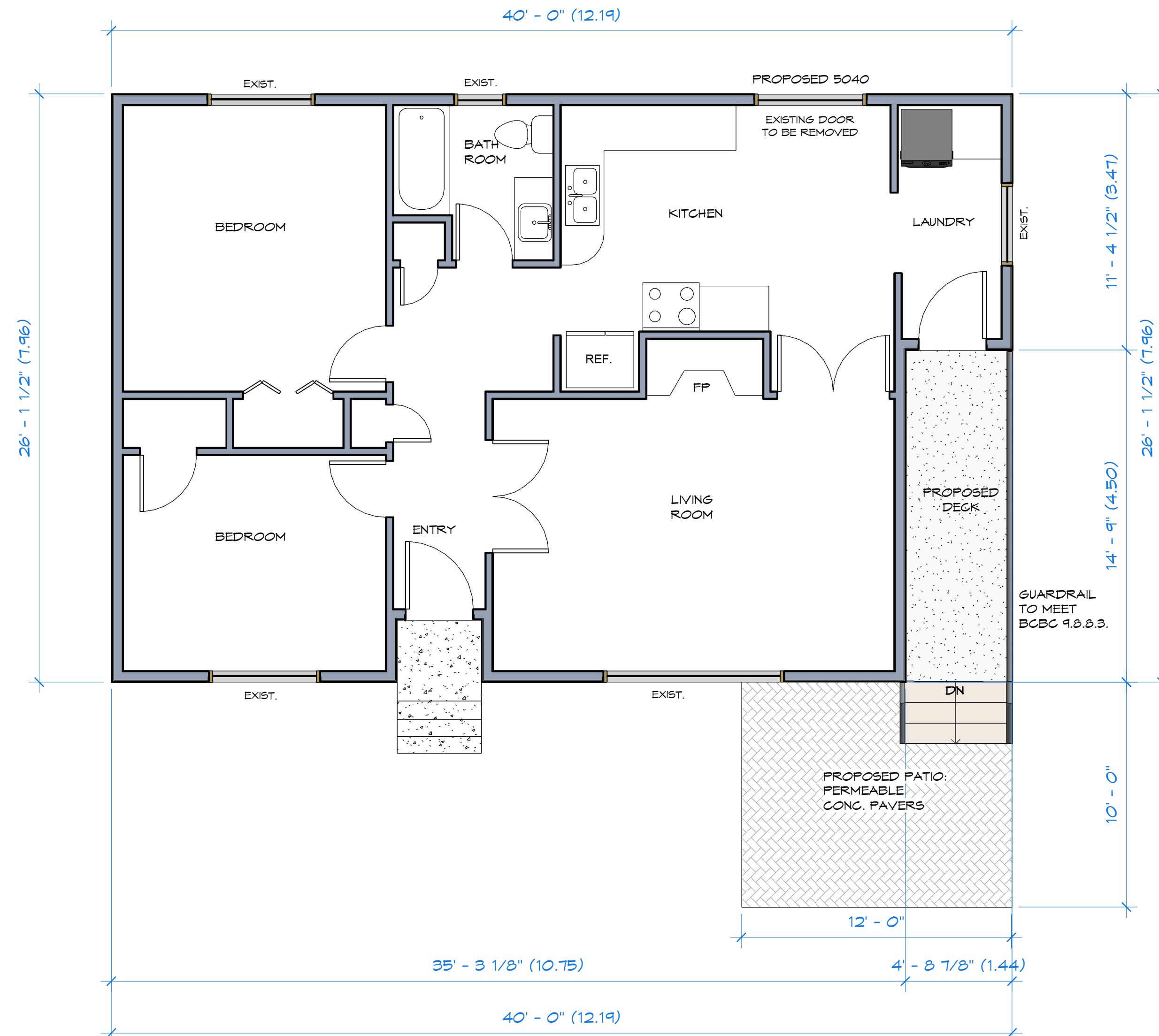
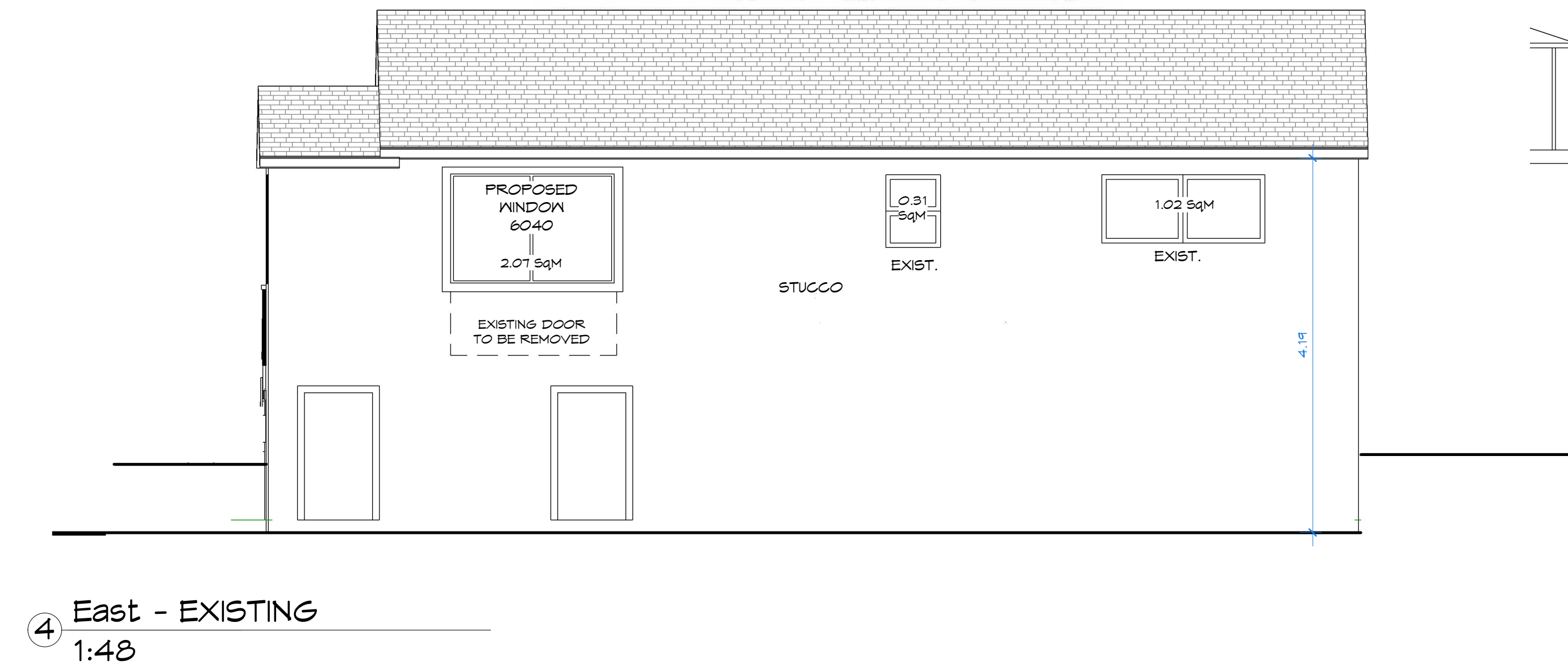


Table 9.16.15.4
Maximum Area of Glazed Openings in Exterior Walls of Buildings Containing only Dwelling Units
Forming Part of Sentence 9.10.15.4 (1)

Column 1: Maximum Area of Existing Building Face, m ²	Column 2: Maximum Aggregate Area of Glazed Openings, % of Existing Building Face Area										
	Limiting Distance, m										
	Less than 1.2	1.2	1.5	2.0	4.0	6.0	8.0	10.0	12.0	16.0	20.0
30	0	7	9	12	30	88	100	-	-	-	-
40	0	7	8	11	32	69	100	-	-	-	-
50	0	7	8	10	28	57	100	-	-	-	-
75	0	7	7	8	18	34	56	84	100	-	-
100	0	7	7	8	12	19	28	40	59	92	100

PLEASE PROVIDE THE FOLLOWING INFORMATION:
Area of exterior wall of existing building adjacent to proposed new lot line: 51.2 (a)
Area of all openings on the wall: 3.4 (b)
Calculations: 100 X (b) 3.4 divided by (a) 51.2 = 6.6 % (c)



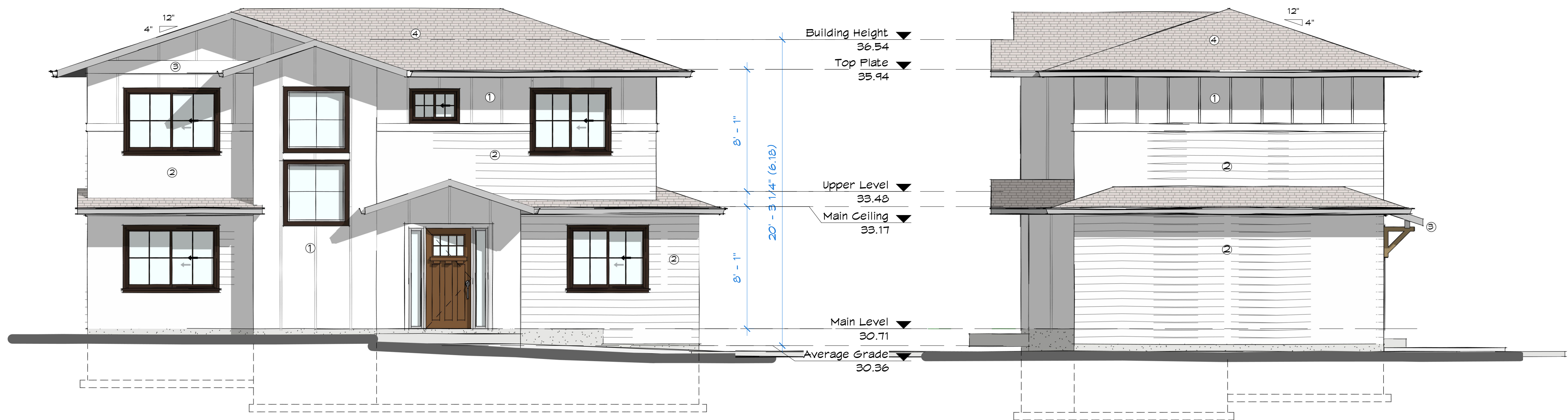
2921 Gosworth Rd.
Victoria, BC

29GOS21
Holdings Ltd.

DATE	ISSUED FOR
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REZONE	
LOT A - Elevations & Floor Plan	
SHEET ISSUE DATE	APRIL 16, 2019
PROJECT NUMBER	1017
DRAWN BY	AJW
CHECKED BY	DE
A3	
SCALE As indicated	

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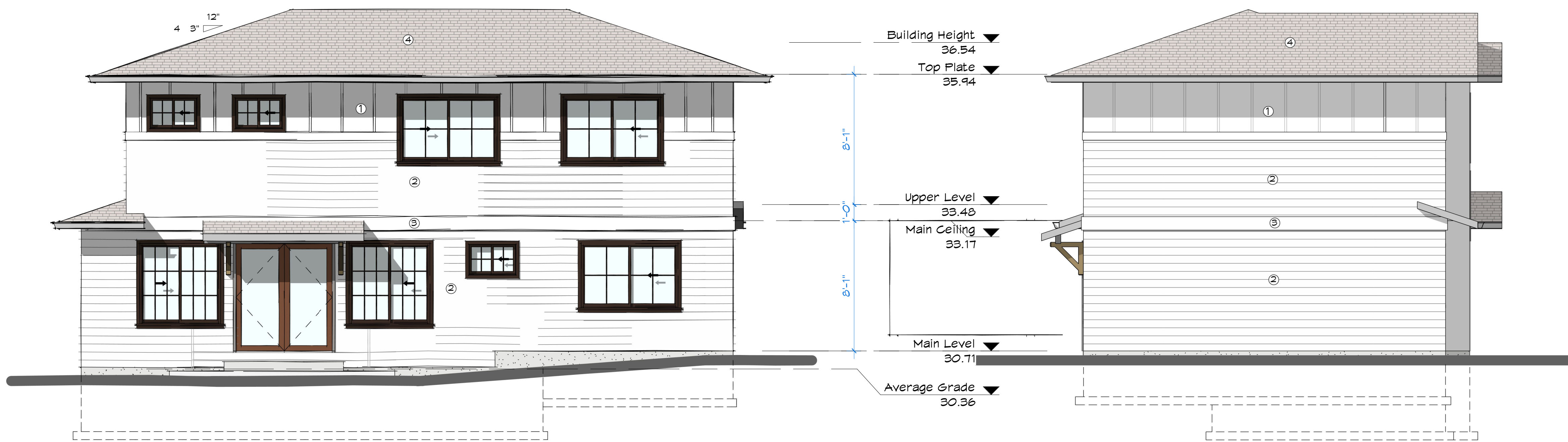


① South (Front)
1/4" = 1'-0"

② East (right)
1/4" = 1'-0"

MATERIAL and COLOUR KEY

- 1 - BOARD & BATTEN SIDING - HardiePanel or equal, Arctic White
- 2 - LAP SIDING - HardieBoard or equal
- 3 - PAINTED WOOD TRIM - White
- 4 - ASPHALT ROOF SHINGLES - Malarkey or equal, Storm Grey
- WINDOWS AS SHOWN - Black



③ North (Rear)
1/4" = 1'-0"

④ West (Left)
1/4" = 1'-0"

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REZONE

LOT B - Elevations

SHEET ISSUE DATE

APRIL 16, 2019

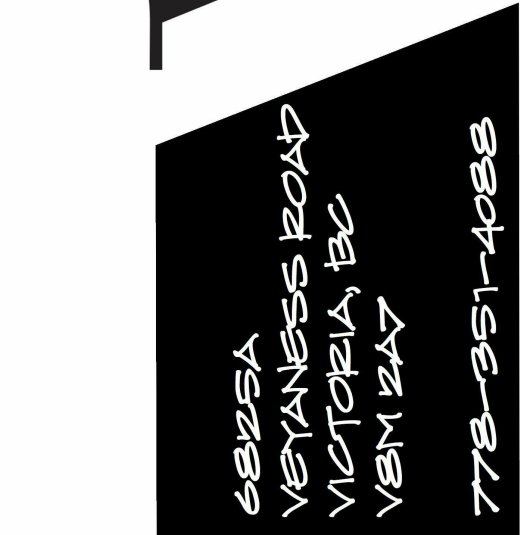
PROJECT NUMBER 1017

DRAWN BY AJW

CHECKED BY DE

A4

SCALE As indicated



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Holdings Ltd.

DATE	ISSUED FOR
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REZONE

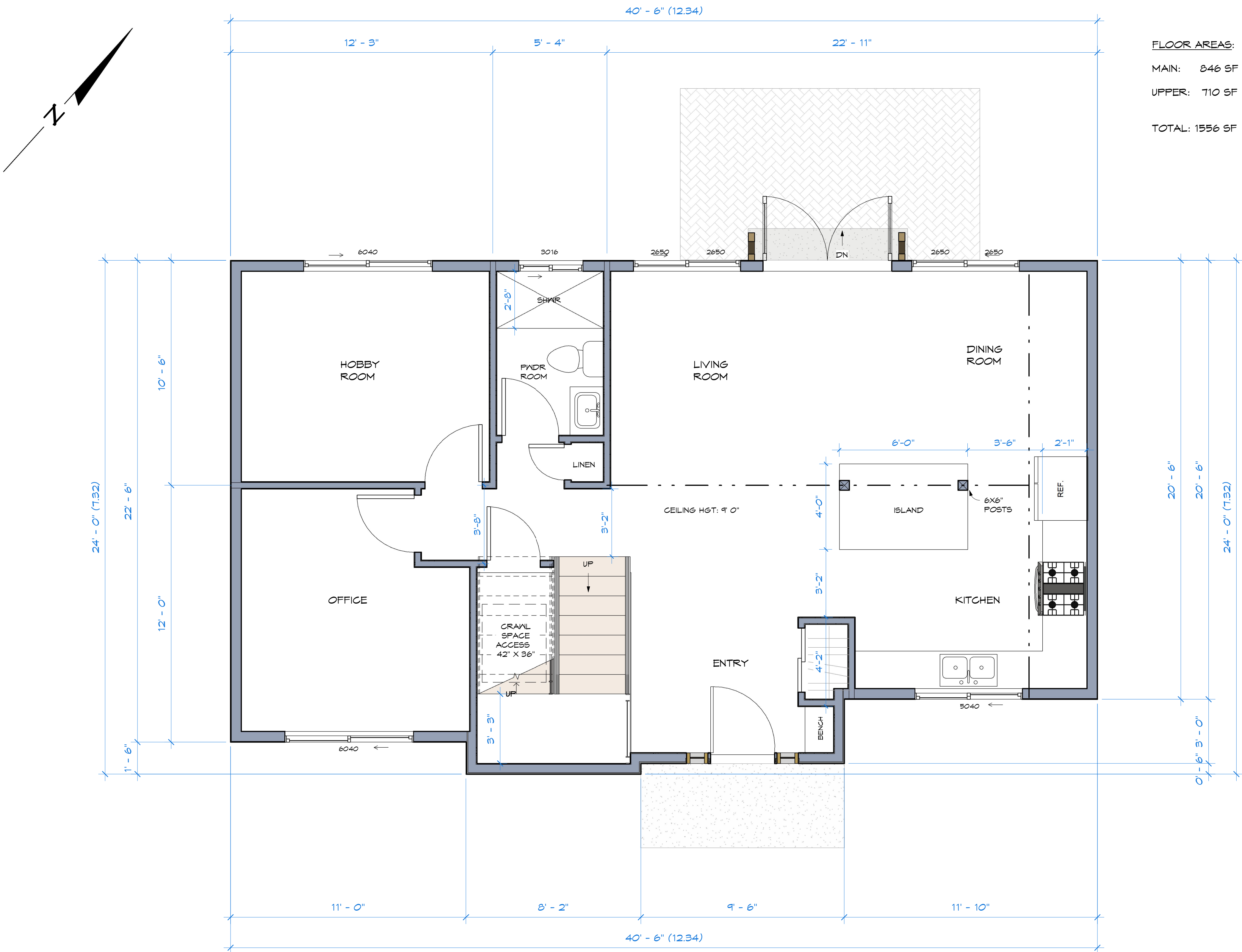
LOT B - Foundation
Plan

SHEET ISSUE DATE	
APRIL 16, 2019	
PROJECT NUMBER	1017
DRAWN BY	AJW
CHECKED BY	DE

A5

SCALE As indicated

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FLOOR AREAS:
MAIN: 846 SF
UPPER: 710 SF
TOTAL: 1556 SF

① Main Level
1:32



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REZONE

LOT B - Main Floor
Plan

SHEET ISSUE DATE	APRIL 16, 2019
PROJECT NUMBER	1017
DRAWN BY	AJW
CHECKED BY	DE
	A6
SCALE	As indicated



TOTAL: 1537 SF

DAY	FEET
1	1
2	0
3	1
4	1
5	0
6	0
7	0
8	0
9	0
10	0
11	0
12	0

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Holdings Ltd.

DATE	ISSUED FOR
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LOT B - Upper
Floor Plan

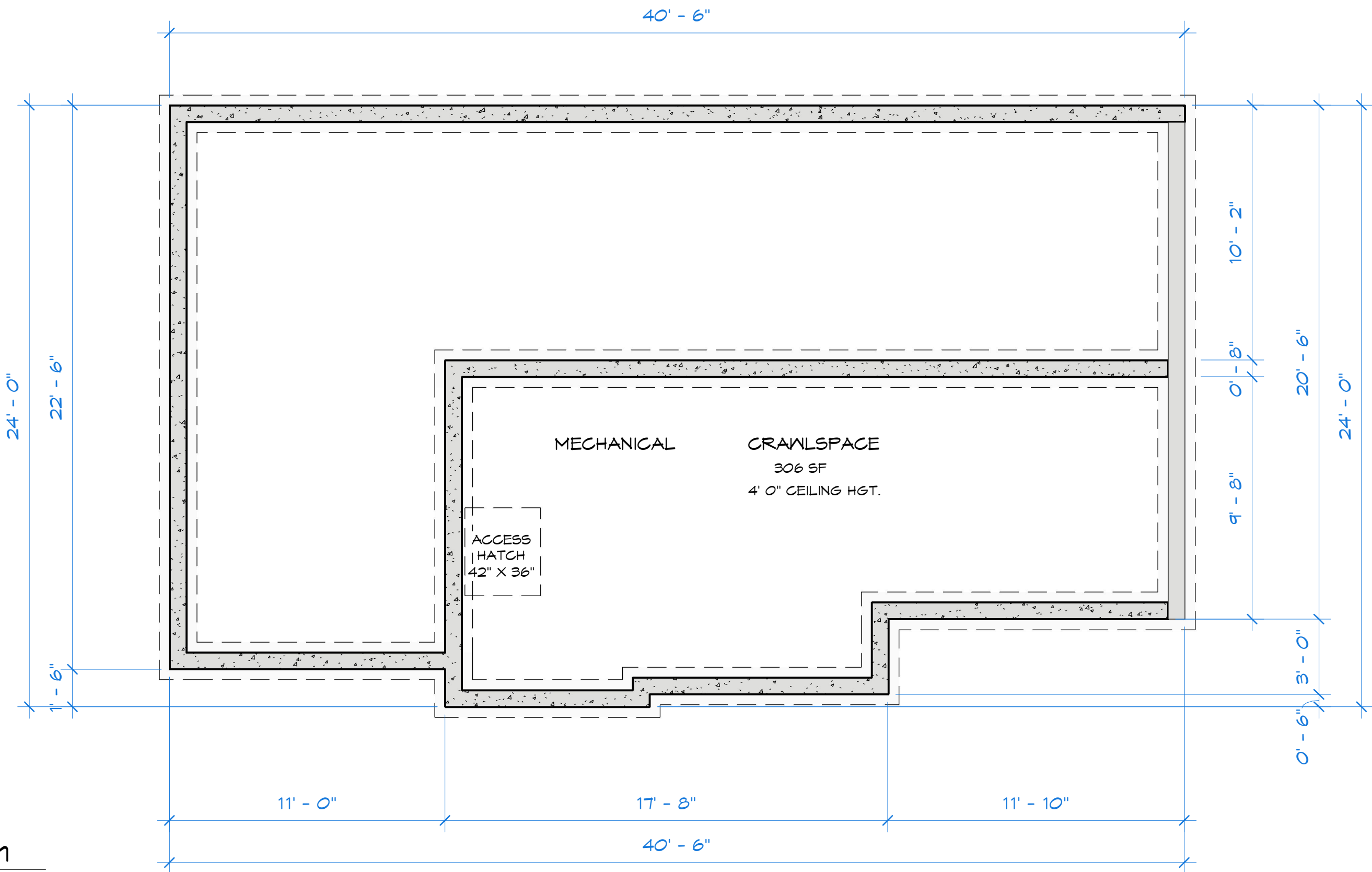
APRIL 16, 2019

CHECKED BY	DE
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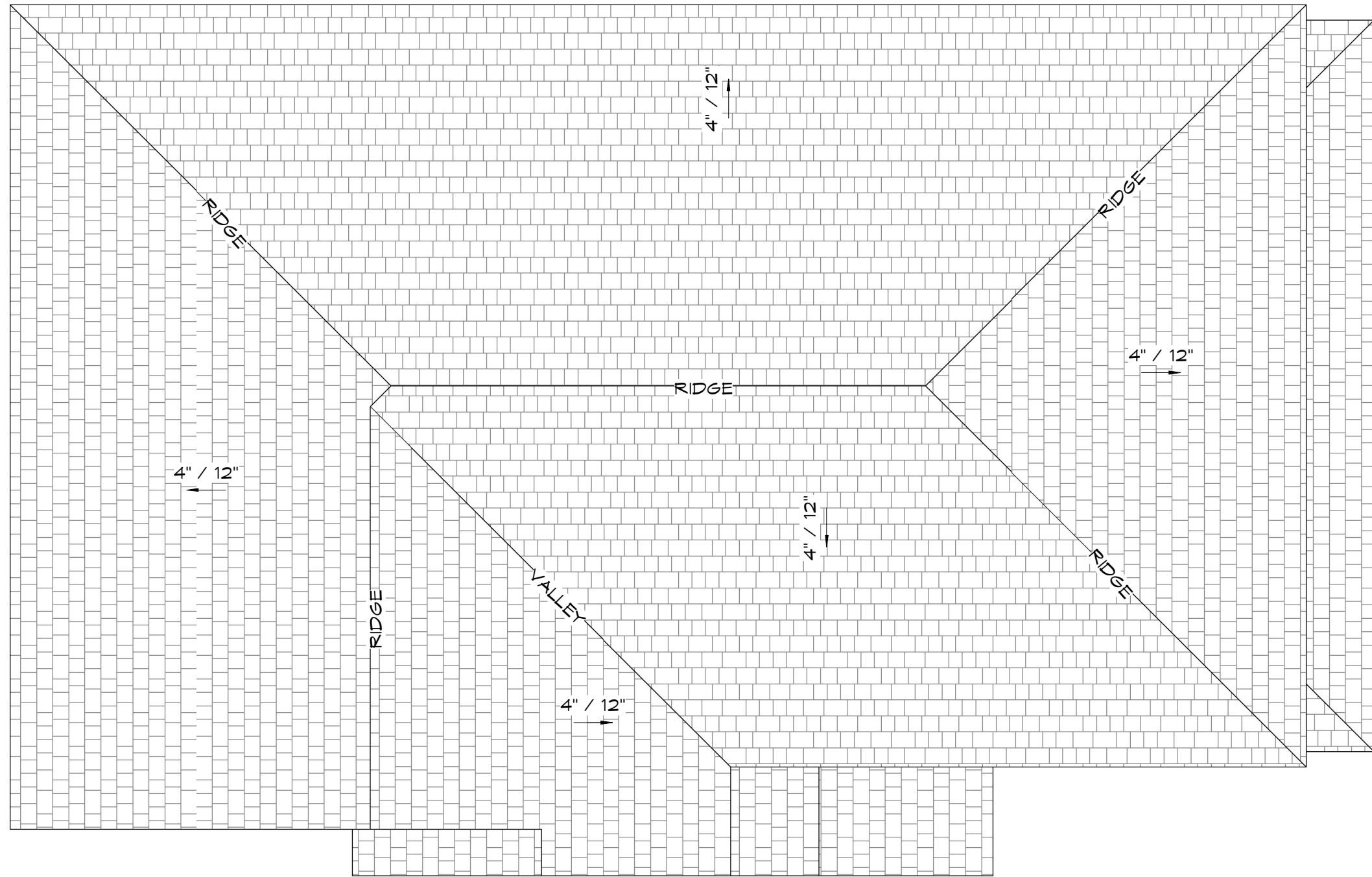
A7

SCALE	As indicated
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② Foundation Plan
1/4" = 1'-0"



① Roof Plan
1/4" = 1'-0"



ROOF AREAS:

MAIN ROOF: 1170 SF
LOWER ROOFS: 192 SF

TOTAL: 1362 SF

* THIS IS FOR REFERENCE ONLY
AND MUST BE CONFIRMED BY
ROOFING CONTRACTOR

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REZONE

LOT B - Foundation
and Roof Plan

SHEET ISSUE DATE APRIL 16, 2019	
PROJECT NUMBER	1017
DRAWN BY	AJW
CHECKED BY	DE
A8	
SCALE As indicated	



INTERLOCKING PAYER PATIO & WALKWAYS



GROUNDCOVERS AND PERENNIALS



ROCK BOULDERS IN PLANTING AREA



COLOUR AND TEXTURE PLANTIS SCHEME



LEGEND
HARDSCAPE FINISHES:

PP1

Permeable paving to meet current 2018 City of Victoria standards

PP2

Concrete unit permeable paving [Permeable paving to meet current 2018 City of Victoria standards]

PP3

Municipal road or sidewalk(s) , and/or existing paving to remain.

PP4

Crushed granular screenings

SOFTSCAPE:

Lawn

Planting area

MISCELLANEOUS:

Wooden perimeter fencing /screening approx. 1500-1800mm height

Large rock boulders approx 4' x3' dia.

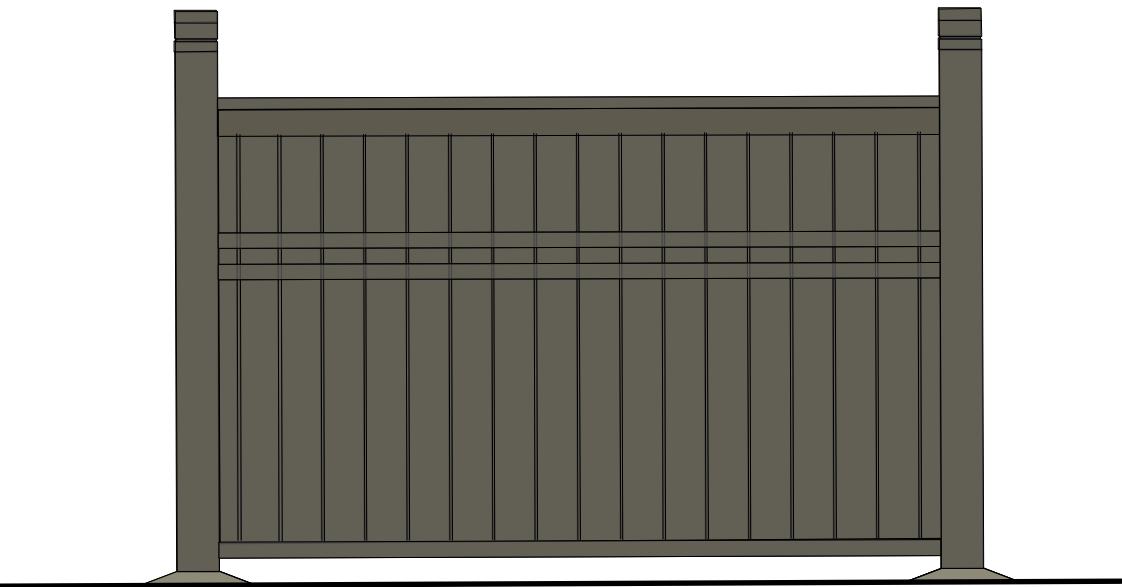
Concrete or mortared rock retaining/upstand walls; Heights vary.

NOTES:
1) All building layout information and setback dimensions supplied by Villamar Design.
2) All survey information supplied by Glen Mitchell BCLS and Wey Mayenburg BCLS
3) This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.
4) All errors and omissions must be reported immediately to the Designer.
5) This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designers name.

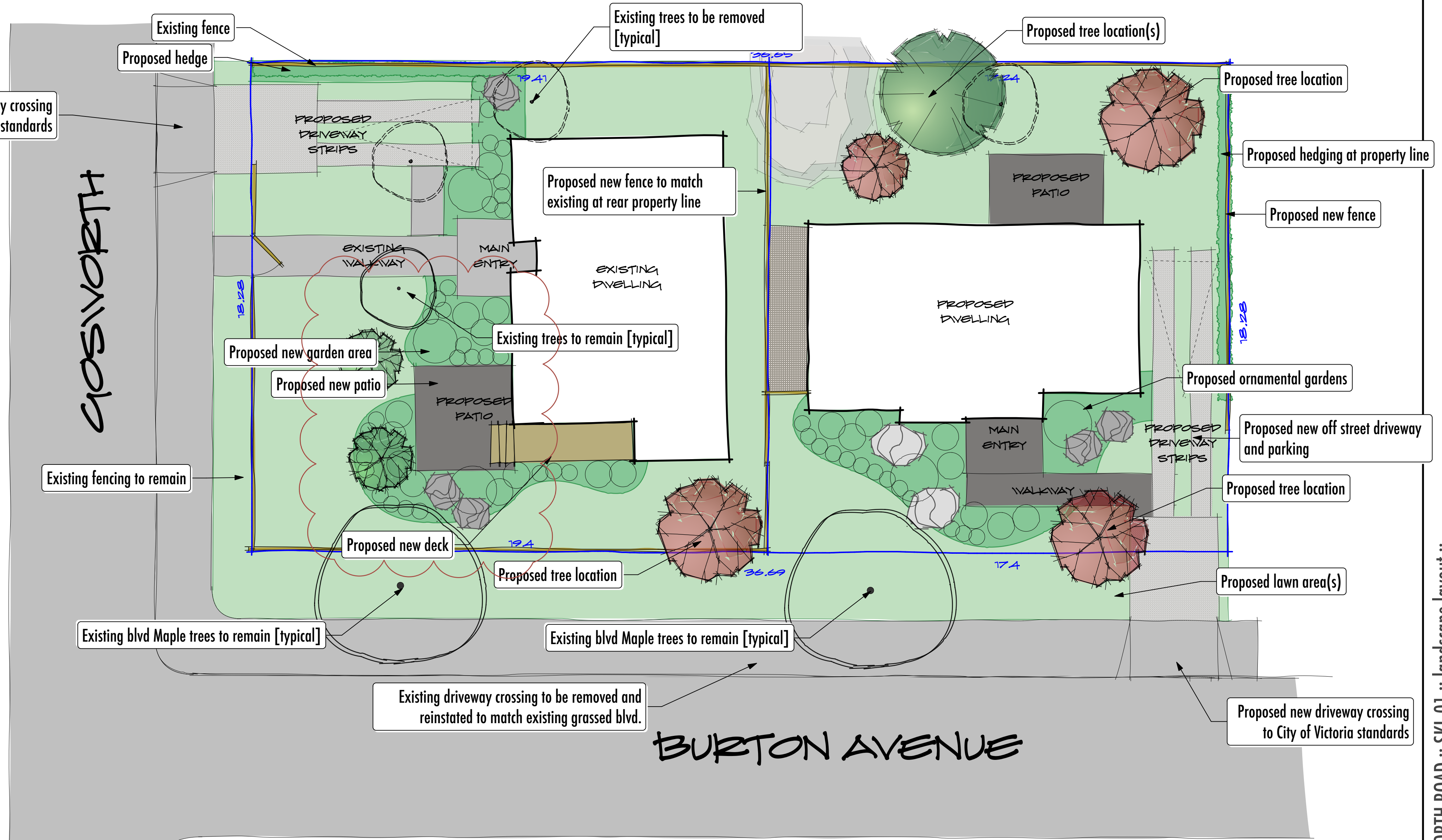
RECOMMENDED PLANT LIST			
BOTANICAL NAME	COMMON NAME	SIZE /REMARKS	
TREES			
Acer rubrum Crimson Sentry	Crimson Sentry Maple	6cm. cal. /B&B	
Acer palmatum Bloodgood	Bloodgood Japanese Maple	2.4M ht.	
Acer circinatum**	Vine Maple	2.0M ht.	
Fagus sylv. Dawyckii Gold	Columnar Gold Beech	3.5M ht.	
Liquidambar styraciflua	American Sweetgum	6cm. cal. /B&B	
SHRUBS & PERENNIALS			
Buxus Microphylla Winter Gem	Littleleaf Boxwood	#3 Pot	
Camelia Japonica	Pink Flowering Camelia	#5 Pot	
Calamagrostis x acutiflora Karl Foerster	Karl Foerster Grass	#2 Pot	
Ceanothus	California Lilac	1.5M. Ht.	
Erysimum cheiri. Bowles Mauve	English Wallflower	#1 Pot	
Echinacea purpurea	Purple Echinacea	#1 Pot	
Euphorbia wulfenii	Wolf's Euphorbia	#2 Pot	
Euonymus Alatus Compacta	Dwarf Burning Bush	#5 Pot	
Hamamelis Int. Jellena	Orange Witch Hazel	1.5M. Ht.	
Lavandula Munstead	English Lavender	#1 Pot	
Liriope Muscari	Big Blue Lily Turf	#1 Pot	
Magnolia Kickii	Purple Magnolia	#5 Pot	
Mahonia aquifolium**	Oregon Grape	#3 Pot	
Pennisetum alop. Orientale	Oriental Fountain Grass	#1 Pot	
Pennisetum alop. Little Bunny	Little Bunny Grass	#1 Pot	
Phormium tenax Amazing Red	Dwarf NZ Flax	#5 Pot	
Phormium tenax Sundowner	Bronze NZ Flax	#5 Pot	
Ribes Sang. King Edward**	Ornamental Currant	#5 Pot	
Rosemary Officinalis	Rosemary	#3 Pot	
Rudbeckia Fulgida	Orange Coneflower	#1 Pot	
Spiraea x bumalda Goldflame	Goldflame Spirea	#2 Pot	
VINES & GROUNDCOVER			
Arctostaphylos uva ursi**	Kinnickinnick	SP3	
Thymus pseudolanuginosus	Wooly Thyme	SP3	
Parthenocissus Tricus. Veitchii	Boston Ivy	#2 Pot / Staked	
** indigenous plants for consideration in these new garden areas			

NOTES:

Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition). All growing medium to comply to BCLSA/ BCLNA standard designation "TP - Level-1 Well Groomed Areas". Underground irrigation system to be installed. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IABC Standards. All irrigation piping under hardsurfaces to be sleeved. Driveway material to be permeable. Walkways and patios to be interlocking brick pavers (concrete unit pavers). Fencing to be built to match existing perimeter fencing. All new fencing to meet the City of Victoria bylaws for height and extent. All new fence posts to have metal bracket connections set into concrete piers or drilled into rock and epoxied. Existing fence in parent property to remain as is. All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be verified by a surveyor and /or arbourist where necessary. Arbourist to install tree protection fencing for all affected boulevard trees and existing trees to remain (on site) where necessary. Boulevard landscape to remain unchanged from existing.



PERIMETER FENCING / SCREENING
NTS



SKL.01
20.JULY.2018
1:100
LATEST REVISION: 16.APRIL.2019

2921 GOSWORTH ROAD LANDSCAPE LAYOUT

**STUDIO
ONE
CREATIVE**
PHONE: 250-881-0706
EMAIL: DENSING@MAC.COM